



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- V** Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P** Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

- D** Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West, LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place, NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rrb@tierrawestllc.com

APPLICANT: Argus Jefferson Partners, LLC Jeff Jesionowski PHONE: 505-855-7602
 ADDRESS: 4700 Montgomery Blvd. NE Suite 200 FAX: 505-837-0633
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: jeff@amcdevelopment.net
 Proprietary interest in site: _____ **List all owners:** _____

DESCRIPTION OF REQUEST: Final Sign-off for EPC Approved Site Development Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LT 2-A-1 & 2-A-2 of Tract B Plat of Lots 2-A-1 & 2-A-2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Envirco Tract
 Existing Zoning: M-1 Proposed zoning: M-1 MRGCD Map No _____
 Zone Atlas page(s): E-17-Z UPC Code: 101706228445410108/101706231145410107

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

 1005517

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? N/A
 No. of existing lots: 2 No. of proposed lots: 4 Total site area (acres): 7.1472 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Jefferson Street
 Between: Osuna Rd and Ellison St
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE 1-27-16
 (Print Name) Ronald R. Bohannon Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

| <input type="checkbox"/> INTERNAL ROUTING | Application case numbers | Action | S.F. | Fees |
|--|--------------------------|--------|-------|----------|
| <input type="checkbox"/> All checklists are complete | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> All fees have been collected | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> All case #s are assigned | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> AGIS copy has been sent | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> Case history #s are listed | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> Site is within 1000ft of a landfill | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> F.H.D.P. density bonus | | | | Total |
| <input type="checkbox"/> F.H.D.P. fee rebate | | | | \$ _____ |
| | Hearing date _____ | | | |

Project # _____

Staff signature & Date _____

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

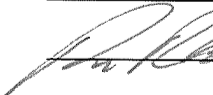
- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
X Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
N/A Solid Waste Management Department signature on Site Plan for Building Permit
X Zone Atlas map with the entire property(ies) clearly outlined
X Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 Infrastructure List, if relevant to the site plan
N/A Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
X List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R Bohannon

 Applicant name (print)

 Applicant signature / date



Form revised **October 2007**

- | | |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected | _____ - _____ |
| <input type="checkbox"/> Case #s assigned | _____ - _____ |
| <input type="checkbox"/> Related #s listed | _____ - _____ |

 Planner signature / date
 Project # _____

gaw

TIERRA WEST, LLC



January 29, 2016

Mr. Jack Cloud, Chair
Development Review Board n
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: JEFFERSON & OSUNA
SITE DEVELOPMENT PLAN FOR SUBDIVISION
CONDITIONS OF APPROVAL-15 EPC-40021**

Dear: Mr. Cloud

Per the Official Notice of Decision we are requesting the approval of the Site Plan for Subdivision for the above reference project. The following address how each of the conditions have been met:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter specifies how the Site Plan for Subdivision was modified to address EPC conditions.

2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.

We met with Catalina Lehner, Planner on January 21, 2016 to confirm all conditions were met and to the best of our knowledge meet those conditions.

3. Future site development plans for building permit shall comply with the design standards.

The proposed development plans will comply with the design standards.

4. Site Development Plan for Subdivision:
The monument sign proposed along the private drive, on the subject site's northern side, shall be removed because it is not allowed pursuant to Zoning Code 14-16-3-2, Shopping Center Regulations.

The sign along the private drive was removed from the plan as shown on the Site Development Plan.

5. Design Standards-Clarification & Future Review:

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

- A. The requirement that pedestrian pathways be clearly demarcated with a contrasting material (ex. textured concrete) shall be stated [Subsection 3-1(H)(1), General Parking Regulations].

A note was added to the Design Standards stating this requirement(see attached redlines)

- B. The requirement for a minimum 8 foot sidewalk along building facades shall be listed [14-16-3-18(C)(1), General Building and Site Design Regulations for Non-Residential Uses].

A note was added to the Design Standards stating this requirement (see attached redlines).

- C. The requirement for outdoor seating for major facades greater than 100 feet in length shall be listed [14-16-3-18 (C)(3), General Building and Site Design Regulations for Non- Residential Uses].

A note was added to the Design Standards stating this requirement (see attached redlines).

- D. Pursuant to the Shopping Center Regulations, Signage Standard F shall be clarified to indicate that monument signs are allowed at the rate of 1 for each 300 feet of frontage on an arterial roadway. The signs do not have to be spaced 300 feet apart as stated in the proposed standard.

A note was added to the Design Standards stating this requirement (see attached redlines). The length of frontage along Jefferson Blvd will allow for two monument signs.

- E. Instances of "should" in the Utilities introductory language and Signage introductory language shall be changed to "shall" as to not contradict subsequent language in each section.

All instances of "should" in the Design Standards have been changed to "shall" (see attached redlines).

6. The following conditions from Transportation Planning Staff shall be met:

- A. Indicate that sufficient space within the site properties will be provided to accommodate required number of parking spaces for the proposed development. Traffic Circulation Layout requirements shall be followed as per the development Process Manual, Chapter 23.

A note was added to the Site Plan for Subdivision stating this requirement(see attached redlines) .

- B. Based on proposed site access locations, provide copies of all access agreements with adjacent properties.

Copies of access agreements are attached to this letter. The recorded agreements will be provided to DRB at the hearing.

- C. Show existing sidewalk facilities on Osuna and on Jefferson. Label existing driveway width for the westernmost driveway onto Osuna Road. Also, show all three existing driveways and respective driveway widths off of Osuna Road that are being utilized by the proposed development as indicated in the Traffic Impact Study dated May 28, 2015.

Existing sidewalk facilities on Osuna & Jefferson and existing drives with respective widths on Osuna were added to the Site Plan for Subdivision (see attached redlines).

- D. A six-foot sidewalk from handicapped parking spaces and from existing sidewalk on public right-of-way to the proposed doorways for the new buildings will be required for the proposed development. All ADA accessibility guidelines shall apply for the proposed traffic circulation layout.

A note was added to the Design Standards stating this requirement (see attached redlines).

- E. Developer will be required to implement improvements that are recommended in the approved Traffic Impact Study.

Agree to general comment. An Infrastructure List with the proposed improvements which track with the recommendation from the study will be provided with Site Plan for Building Permit submittals.

- F. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)

Agree to general comment and will provide an infrastructure list for the improvements with Site Plan for Building Permit submittals.

7. The following conditions from PNM shall be met:

- A. PNM easements are located on the northwest portion of the property. It is the applicant's obligation to abide by any conditions or terms of those easements.

A vacation request was submitted Jan 29th for DRB vacation showing the existing easements that serviced the previous use that no longer exists. New easements will be granted for the required new PNM facilities to service the new development

- B. On the Design Standards Sheet in the section entitled "Screening, Fencing and Walls" delete "Public Utility Structures" and insert the following language as an additional bullet:

"Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

This note was added to the Design Standards (see attached redlines).

- C. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances. Contact Mike Moyer, PNM Service Center, 4201 Edith Boulevard NE, Albuquerque, NM 87107.

Agree to general comment and we are in contact with PNM for routing of lines along with new service to the site.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

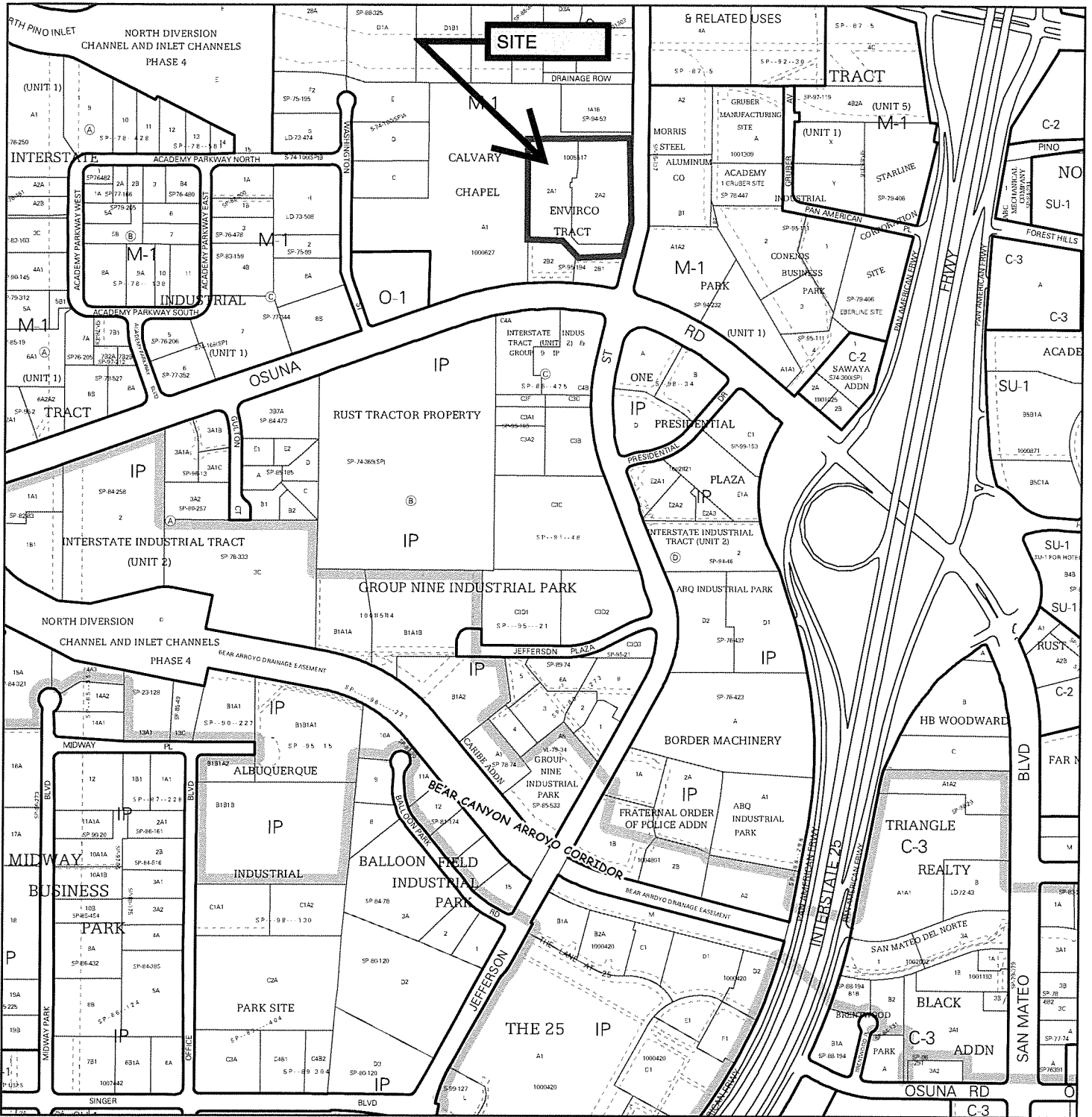
Sincerely,



Vincent Carrica, PE

JN: 2014065

VC/rrb/jg



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

| | |
|----------------------|------------------------|
| SECTOR PLANS | Escarpment |
| Design Overlay Zones | 2 Mile Airport Zone |
| City Historic Zones | Airport Noise Contours |
| H-1 Buffer Zone | Wall Overlay Zone |
| Petroglyph Mon. | |

0 750 1500 Feet

12. Since the subject site is greater than 5 acres in size and a site development plan is proposed, the Albuquerque Archaeological Ordinance (Bill No. O-07-72) applies. The City Archaeologist issued a Certificate of No Effect due to lack of significant archaeological sites in the area and extensive, prior land disturbance.
13. The affected neighborhood organizations are the Sungate Estates Homeowners Association (HOA), the South Valley Coalition of Neighborhood Associations (NAs), the SW Alliance of Neighbors (SWAN), and the Westside Coalition. The applicant notified them as required. As of this writing, Staff has not received any written comments. A representative of the church inquired about the request, but has not expressed any concerns.

RECOMMENDATION -15EPC-40021, October 8, 2015

APPROVAL of 15EPC-40021, a Site Development Plan for Subdivision for Lots 2-A-1 and 2-A-2, Tract B, Plat of Lots 2-A-1 and 2-A-2, Envirco Tract, (being a replat of Lot 2-A, Tract B), an approximately 7.2 acre site located on the western side of Jefferson Street NE, between Osuna Road NE and Ellison Street, zoned M-1, based on the preceding Findings.

CONDITIONS OF APPROVAL -15EPC-40021, October 8, 2015, Site Development Plan for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.
3. Future site development plans for building permit shall comply with the design standards.
4. Site Development Plan for Subdivision:
The monument sign proposed along the private drive, on the subject site's northern side, shall be removed because it is not allowed pursuant to Zoning Code 14-16-3-2, Shopping Center Regulations.

5. Design Standards—Clarification & Future Review:
 - A. The requirement that pedestrian pathways be clearly demarcated with a contrasting material (ex. textured concrete) shall be stated [Subsection 3-1(H)(1), General Parking Regulations].
 - B. The requirement for a minimum 8 foot sidewalk along building facades shall be listed [14-16-3-18(C)(1), General Building and Site Design Regulations for Non-Residential Uses].
 - C. The requirement for outdoor seating for major facades greater than 100 feet in length shall be listed [14-16-3-18(C)(3), General Building and Site Design Regulations for Non-Residential Uses].
 - D. Pursuant to the Shopping Center Regulations, Signage Standard F shall be clarified to indicate that monument signs are allowed at the rate of 1 for each 300 feet of frontage on an arterial roadway. The signs do not have to be spaced 300 feet apart as stated in the proposed standard.
 - E. Instances of “should” in the Utilities introductory language and the Signage introductory language shall be changed to “shall” as to not contradict subsequent language in each section.
6. The following conditions from Transportation Planning Staff shall be met:
 - A. Indicate that sufficient space within the site properties will be provided to accommodate required number of parking spaces for the proposed development. Traffic Circulation Layout requirements shall be followed as per the Development Process Manual, Chapter 23.
 - B. Based on proposed site access locations, provide copies of all shared access agreements with adjacent properties.
 - C. Show existing sidewalk facilities on Osuna and on Jefferson. Label existing driveway width for the westernmost driveway onto Osuna Road. Also, show all three existing driveways and respective driveway widths off of Osuna Road that are being utilized by the proposed development as indicated in the Traffic Impact Study dated May 28, 2015.
 - D. A six-foot sidewalk from handicapped parking spaces and from existing sidewalk on public right-of-way to the proposed doorways for the new buildings will be required for the proposed development. All ADA accessibility guidelines shall apply for the proposed traffic circulation layout.
 - E. Developer will be required to implement improvements that are recommended in the approved Traffic Impact Study.
 - F. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
 - G. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

-
7. The following conditions from PNM shall be met:
- A. PNM easements are located on the northwest portion of the property. It is the applicant's obligation to abide by any conditions or terms of those easements.
 - B. On the Design Standards Sheet in the section entitled "Screening, Fencing and Walls" delete "Public Utility Structures" and insert the following language as an additional bullet:
"Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications."
 - C. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances. Contact:

Mike Moyer, PNM Service Center, 4201 Edith Boulevard NE, Albuquerque, NM 87107

Catalina Lehner

Catalina Lehner, AICP
Senior Planner

cc: Tierra West, LLC. Attn: Vince Carrica, 5571 Midway Park Place NE, Albuquerque, NM 87109
Steve Wentworth, Alameda North Valley Assoc., 8919 Boe Lane NE, Albuquerque, NM 87113
Mark Rupert, Alameda North Valley Assoc., PO Box 10454, Albuquerque, NM 87184
Michael Pridham, District 4 Coalition of NAs, 6413 Northland Ave. NE, Albuquerque, NM 87109
Peggy Neff, District 4 Coalition of NAs, 8305 Calle Soquelle NE, Albuquerque, NM 87113
Kyle Silber, North Valley Coalition, PO Box 70232, Albuquerque, NM 87197
David Wood, North Valley Coalition, 158 Pleasant NW, Albuquerque, NM 87107

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

September 11, 2015

Argus Jefferson Partners, LLC
Attn: Jeff Jesionowski
4700 Montgomery Blvd. NE, #200
Albuquerque, NM 87109

Project# 1005517
15EPC-40021 Site Plan for Subdivision

LEGAL DESCRIPTION:

The above action for Lots 2-A-1 and 2-A-2, Tract B, Plat of Lots 2-A-1 and 2-A-2, Envirco Tract (being a replat of Lot 2-A, Tract B), zoned M-1, located on Jefferson Street NE, between Osuna Road NE and Ellison Street NE, containing approximately 7.2 acres. (E-17)
Staff Planner: Catalina Lehner

PO Box 1293

On September 10, 2015, the Environmental Planning Commission (EPC) voted to DEFER Project #1005517/15EPC-40021, a Site Development Plan for Subdivision, based on the following findings:

Albuquerque FINDINGS:

1. This request is for a site development plan for subdivision with design standards.

New Mexico 87103 2. The applicant requests a 30-day deferral to the October 8, 2015 EPC hearing in order to allow additional time to continue to coordinate access easements through adjacent parcels.

www.cabq.gov APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or b **SEPTEMBER 25, 2015.** The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

OFFICIAL NOTICE OF DECISION

Project #1005517

September 10, 2015

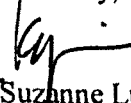
Page 2 of 2

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

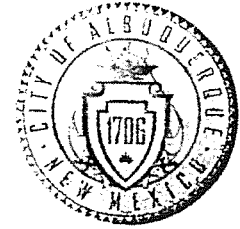

for Suzanne Lubar
Planning Director

SL/CCL

cc: Argus Jefferson Partners, Attn: Jeff Jesionowski, 4700 Montgomery Blvd. NE #200, ABQ, NM 87109
Tierra West, LLC. Attn: Vince Carrica, 5571 Midway Park Place NE, Albuquerque, NM 87109
DPS, Attn: Chris Gunning, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
Steve Wentworth, Alameda North Valley Assoc., 8919 Boe Lane NE, Albuquerque, NM 87113
Mark Rupert, Alameda North Valley Assoc., PO Box 10454, Albuquerque, NM 87184
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CITY OF ALBUQUERQUE

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URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

August 14, 2015

Argus Jefferson Partners, LLC
Attn: Jeff Jesionowski
4700 Montgomery Blvd. NE, #200
Albuquerque, NM 87109

Project# 1005517
15EPC-40021 Site Plan for Subdivision

LEGAL DESCRIPTION:

The above action for Lots 2-A-1 and 2-A-2, Tract B, Plat of Lots 2-A-1 and 2-A-2, Enviroco Tract (being a replat of Lot 2-A, Tract B), zoned M-1, located on Jefferson Street NE, between Osuna Road NE and Ellison Street NE, containing approximately 7.2 acres. (E-17)
Staff Planner: Catalina Lehner

PO Box 1293

On August 13, 2015, the Environmental Planning Commission (EPC) voted to DEFER Project #1005517/15EPC-40021, a Site Development Plan for Subdivision, based on the following findings:

Albuquerque FINDINGS:

1. This request is for a site development plan for subdivision with design standards.

New Mexico 2-10 The applicant requests a 30-day deferral to the September 10, 2015 EPC hearing in order to allow additional time to coordinate access easements through adjacent parcels.

www.cabq.gov APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **AUGUST 28, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

OFFICIAL NOTICE OF DECISION

Project #1005517

August 13, 2015

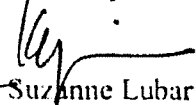
Page 2 of 2

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan; within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/CLL

cc: Argus Jefferson Partners, Attn: Jeff Jesionowski, 4700 Montgomery Blvd. NE #200, ABQ, NM 87109
Tierra West, LLC. Attn: Vince Carrica, 5571 Midway Park Place NE, Albuquerque, NM 87109
DPS, Attn: Chris Gunning, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
Steve Wentworth, Alameda North Valley Assoc., 8919 Boe Lane NE, Albuquerque, NM 87113
Mark Rupert, Alameda North Valley Assoc., PO Box 10454, Albuquerque, NM 87184
Michael Pridham, District 4 Coalition of NAs, 6413 Northland Ave. NE, Albuquerque, NM 87109
Peggy Neff, District 4 Coalition of NAs, 8305 Calle Soquelle NE, Albuquerque, NM 87113
Kyle Silber, North Valley Coalition, PO Box 70232, Albuquerque, NM 87197
David Wood, North Valley Coalition, 158 Pleasant NW, Albuquerque, NM 87107

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

July 10, 2015

Argus Jefferson Partners, LLC
Attn: Jeff Jesionowski
4700 Montgomery Blvd. NE, #200
Albuquerque, NM 87109

Project# 1005517
15EPC-40021 Site Plan for Subdivision

LEGAL DESCRIPTION:

The above action for Lots 2-A-1 and 2-A-2, Tract B, Plat of Lots 2-A-1 and 2-A-2, Envirco Tract (being a replat of Lot 2-A, Tract B), zoned M-1, located on Jefferson Street NE, between Osuna Road NE and Ellison Street NE, containing approximately 7.2 acres. (E-17)
Staff Planner: Catalina Lehner

PO Box 1293

On July 9, 2015, the Environmental Planning Commission (EPC) voted to DEFER Project #1005517/15EPC-40021, a Site Development Plan for Subdivision, based on the following findings:

FINDINGS:

1. This request is for a site development plan for subdivision with design standards.
2. The applicant requests a 30-day deferral to the August 13, 2015 EPC hearing in order to allow additional time to work on the design standards.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or **JULY 24, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to the City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Build Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

OFFICIAL NOTICE OF DECISION

Project #1005517

July 10, 2015

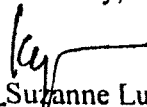
Page 2 of 2

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and another person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


For Suzanne Lubar
Planning Director

SL/CCL

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David Wood, North Valley Coalition, 158 Pleasant NW, Albuquerque, NM 87107

Current DRC
Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST
(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENT'S AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
LOTS 1-4, INDEPENDENCE SQUARE
PROPOSED NAME OF PLAT**

Date Submitted: 1/29/16
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed | DRC # | Constructed Under | DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|--------------------------|-------|--------------------------|-------|---------|---|----------------------|-------------------------------|-------------------------------|----------------------------|-------|-------------------|
| | | | | | | | | | Private Inspector | P. E. | City Cst Engineer |
| <input type="checkbox"/> | | <input type="checkbox"/> | | 12' F-E | Arterial Paving 6' Sidewalk, Curb & Gutter | Jefferson Street, NE | 70' north of Property Line | 60' south of Property Line | / | / | / |
| <input type="checkbox"/> | | <input type="checkbox"/> | | - | Traffic Signal | Jefferson Street, NE | Jefferson Street | Private Roadway | / | / | / |
| <input type="checkbox"/> | | <input type="checkbox"/> | | | | | | | / | / | / |
| <input type="checkbox"/> | | <input type="checkbox"/> | | | | | | | / | / | / |
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| <input type="checkbox"/> | | <input type="checkbox"/> | | | | | | | / | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | |
|---------------------------------|----------------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------------|----------------------|
| | | | | | | | Private Inspector | City Cnst Engineer |
| <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> |
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| <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> | <input type="text"/> |

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

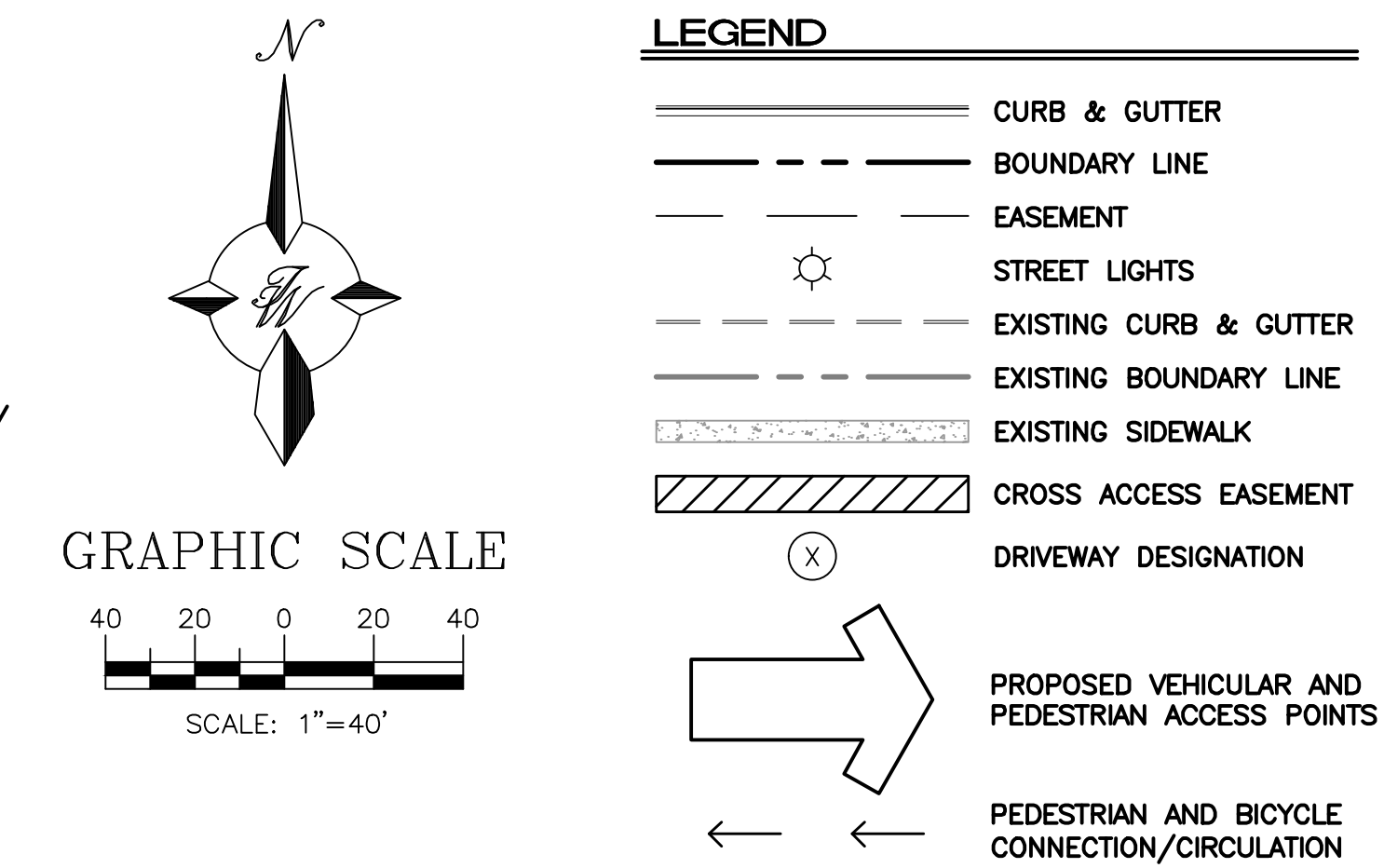
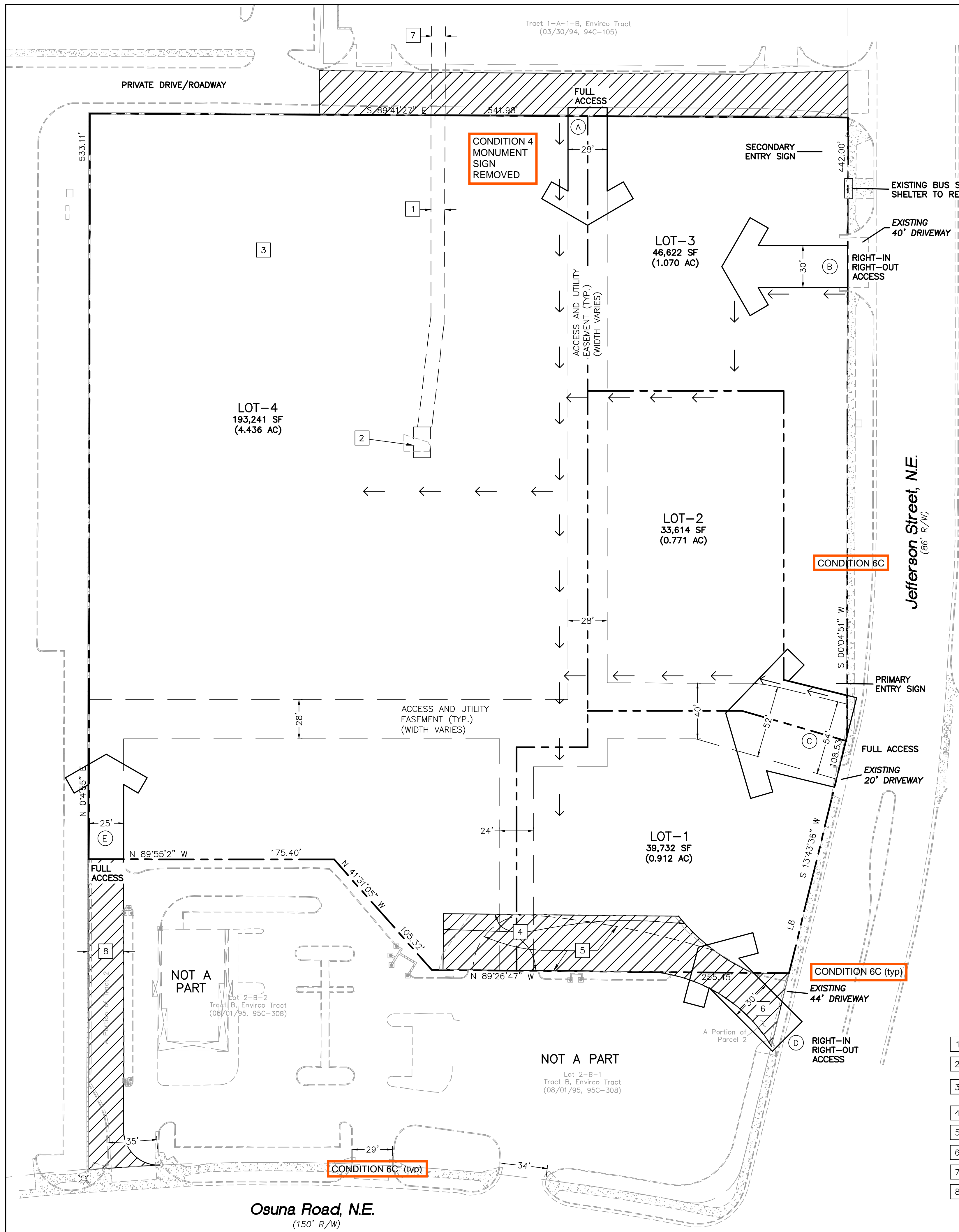
AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS** _____

VINCENT CARRIGA, PE
 NAME (print) _____
 DRB CHAIR - date _____
 PARKS & RECREATION - date _____

TERRA WEST, LLC
 FIRM _____
 TRANSPORTATION DEVELOPMENT - date _____
 AMAFCA - date _____
 UTILITY DEVELOPMENT - date _____
 CITY ENGINEER - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT / OWNER |
|----------|------|-----------|-----------------|---------------|
| | | | | |
| | | | | |
| | | | | |



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
The site consists of approximately 7.15 acres and is located in the North I-25 corridor. It is bounded to the west by developed church property, to the north by existing developed (church parking and office) property, to the east by Jefferson Street and on the south by existing retail developments.

ZONING AND PROPOSED USES:
The Site is zoned M-1 (Light Manufacturing Zone). The Site does not lie within a Sector Development Plan Area.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-20 M-1 Light Manufacturing Zone of the Comprehensive Zoning Code. Activities allowed on the site must correspond to those enumerated in the M-1 zone.

APPLICABLE PLANS:
City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I).

North Valley Area Plan.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The applicant is requesting three accesses to Jefferson Street to the east in addition to one access point off the adjacent existing private drive to the north and the existing access off Osuna Road via an existing ingress/egress easement through the adjacent tract. Final design and location of these access points will be determined by future Site Development Plans for Building Permit.

Transit - The property is currently served by transit facilities on Jefferson Street including an existing bus stop/shelter that is to remain.

Bicycle Facilities - There are existing bicycle lanes along Jefferson Street which provide connectivity to Bear Arroyo Trail and North Diversion Channel Trail. New bicycle lanes will be added by the City on Osuna Road under the Osuna Road Widening Project.

Continuous bicycle connections through parking areas will be provided from the adjacent City bike lanes to onsite bicycle parking facilities at each building.

Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits. Existing public sidewalks along Jefferson and Osuna will remain or be adjusted as development occurs within the site.

Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the sites perimeter.

BUILDING HEIGHTS AND SETBACKS:
Buildings shall not exceed the heights as specified in the O-1 Zone (by reference from Section 14-16-2-20) of the Comprehensive Zoning Code. Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline.

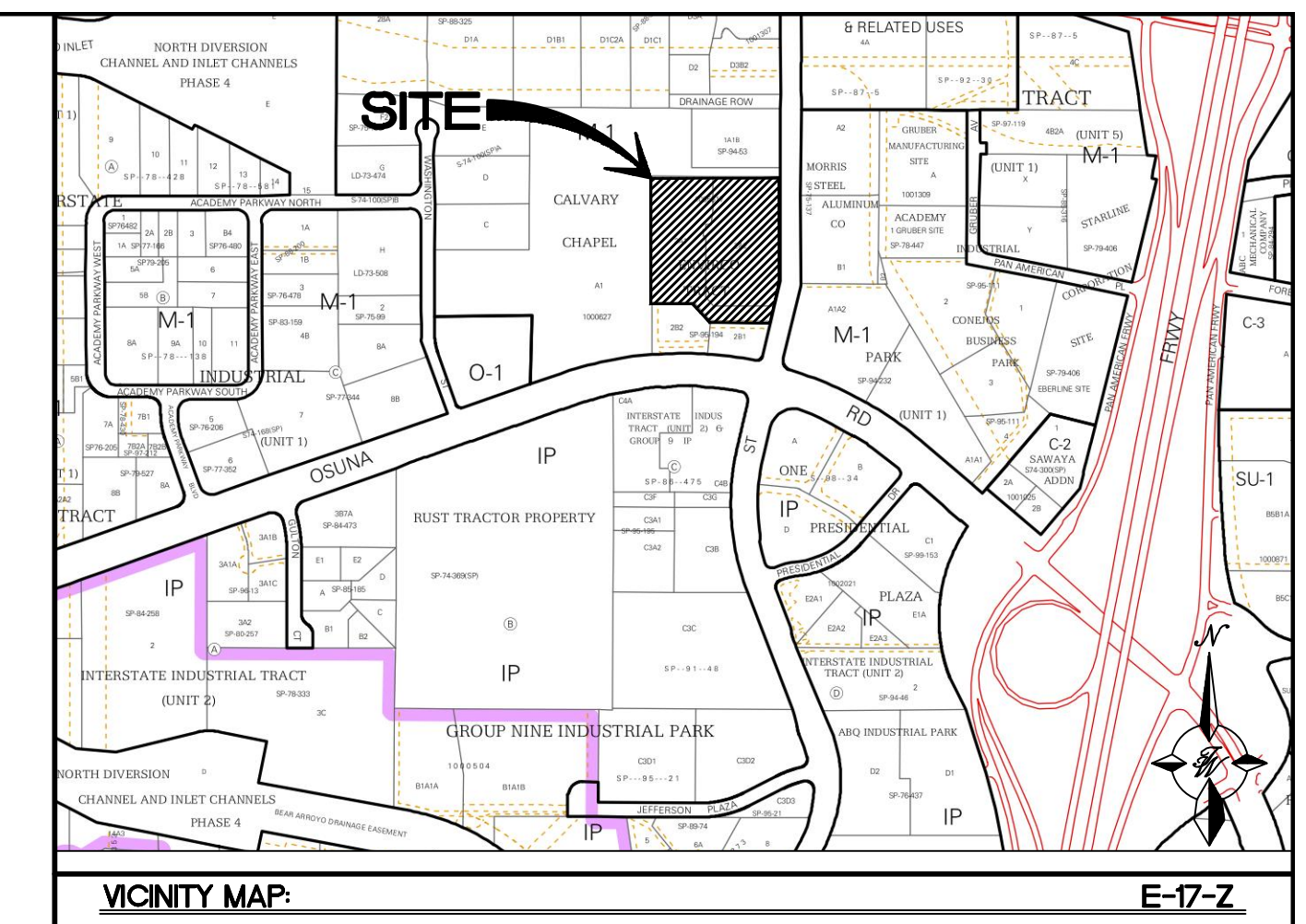
Minimum Setbacks Are:
Front = 5 ft
Corner side yard = 5ft
Junction of driveway/alley and a public sidewalk = 11ft

MAXIMUM F.A.R./DENSITY:
Buildings within Lots 1, 2 and 3 shall not exceed a maximum F.A.R. of 0.5. Buildings within Lot 4 shall not exceed a maximum F.A.R. of 1.0.

LANDSCAPE PLAN:
Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance and Pollen Control Ordinance.

Easement Notes

- 1 10' PNM EASEMENT (94C-180, 06/02/94)
- 2 12' X 22' PNM EASEMENT (94C-180, 06/02/94) (MODIFIED BY 07C-127, 05/18/07)
- 3 BLANKET SURFACE DRAINAGE EASEMENT ON LOT 2-A-1, FOR THE BENEFIT OF LOT 2-A-2 (07C-127, 05/18/07)
- 4 ACCESS EASEMENT AGREEMENT (BK. 95-21, PG. 6308-6315, 09/06/95)
- 5 EASEMENT AGREEMENT (BK. 95-9, PG. 1118-1134, 04/12/95)
- 6 PRIVATE INGRESS & EGRESS EASEMENT & LANDSCAPE EASEMENT (94C-180, 06/02/94)
- 7 10' UNDERGROUND ELECTRIC EASEMENT (C20-120, 12/10/82)
- 8 25' PRIVATE INGRESS/EGRESS, SANITARY SEWER EASEMENT AND PRIVATE DRAINAGE EASEMENT (94C-180, 06/02/94)



SITE INFORMATION

LEGAL DESCRIPTION: LOT 2-A-1 AND LOT 2-A-2 ENVIRO TRACT

EXISTING ZONING: M-1

LOT AREA: 7.1472 ACRES

ADDRESS: 6701 JEFFERSON STREET, N.E.

GENERAL NOTES: **CONDITION 6A & 6D**

1. SUFFICIENT SPACE WITHIN THE SITE PROPERTIES WILL BE PROVIDED TO ACCOMMODATE REQUIRED NUMBER OF PARKING SPACES FOR THE PROPOSED DEVELOPMENT. TRAFFIC CIRCULATION LAYOUT REQUIREMENTS SHALL BE FOLLOWED AS PER THE DEVELOPMENT PROCESS MANUAL, CHAPTER 23.
2. A SIX-FOOT SIDEWALK FROM HANDICAPPED PARKING SPACES AND FROM EXISTING SIDEWALK ON PUBLIC RIGHT-OF-WAY TO THE PROPOSED DOORWAYS FOR THE NEW BUILDINGS WILL BE REQUIRED FOR THE PROPOSED DEVELOPMENT. ALL ADA ACCESSIBILITY GUIDELINES SHALL APPLY FOR THE PROPOSED TRAFFIC CIRCULATION LAYOUT.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| ABCWUA | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

| NO. | DATE | REVISIONS | BY |
|-----|---------|-----------------------------|----|
| 1 | 1/19/16 | ADDRESS EPC CONDITIONS | VC |
| 2 | 7/13/15 | ADDRESS ADDITIONAL COMMENTS | VC |
| 3 | 6/24/15 | ADDRESS INITIAL COMMENTS | VC |

| | | |
|-----------------|--|--------------|
| ENGINEER'S SEAL | 6701 JEFFERSON ST, NE | DRAWN BY |
| | SITE DEVELOPMENT PLAN FOR SUBDIVISION | DATE |
| | | 2014065-SPSB |
| | | SHEET # |
| | | SP-1 |
| | | JOB # |
| | | 2014065 |

| | |
|--|--|
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com | WINCENT P. CARRICA P.E. #16212 |
|--|--|

REVISIONS

| | |
|------------|-------------------|
| 6/24/2015 | PLANNING COMMENTS |
| 7/13/2015 | PLANNING COMMENTS |
| 12/18/2015 | EPC CONDITIONS |

| | |
|--------------|-------------------|
| DRAWN BY | GG |
| REVIEWED BY | CG |
| DATE | 05/27/2015 |
| PROJECT NO. | 15-P084 / 15-0073 |
| DRAWING NAME | |

**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION
DESIGN STANDARDS**

DESIGN STANDARDS

I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the property, and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office space and supporting retail / restaurant establishment amenities to the Journal Center area. Intended uses include a multi-story office building, with retail, restaurant establishment, and bank pads along Jefferson Street.

- a. Goals:
 - i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
 - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome.
- b. Permissive and conditional uses shall be as allowed under the M-1 Zone of the City of Albuquerque's Code of Ordinances.
- c. All Design Standards are intended to meet or exceed the requirements of the City of Albuquerque's Code of Ordinances.

II. SETBACKS & BUILDING HEIGHT LIMITATIONS

Although the underlying site zoning is M-1, the site is surrounded by development that consists primarily of office and retail uses. M-1 zoning references O-1 for setbacks, therefore, the setbacks and building heights shall be similar to those in O-1 zone and the nearby Journal Center area.

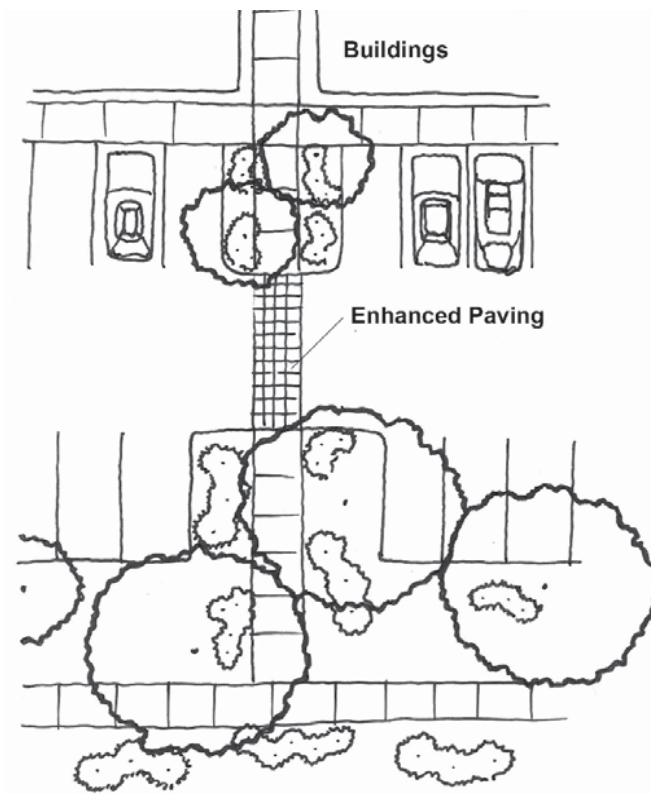
- a. Building setbacks shall conform to the requirements of the O-1 Zone, by reference from Section 14-16-2-20, M-1 Zone of the City of Albuquerque's Code of Ordinances except as noted below.
 - i. Buildings on lots along Jefferson Street shall be setback not more than 90 feet from the public right-of-way in order to limit the amount of parking between the buildings and the street.
- b. Landscape setbacks shall conform to the requirements of Section 14-16-3-10 of the City of Albuquerque's Code of Ordinances except as noted below.
 - i. Parking areas along Jefferson Street shall be setback 15 feet from the public right-of-way to provide space for screening of parked cars through the use of plant materials or low walls. Where parking areas or driveways are not parallel with the street, the setback shall be an average of at least 15 feet.
- c. Building heights shall be as allowed under Section 14-16-2-15, O-1 Zone of the City of Albuquerque's Code of Ordinances.

III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention shall be given to parking area design. To lessen its visual impact, parking shall be broken into a series of smaller areas, and views of parking from off-site shall be interrupted with screening materials.

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with Section 14-16-3-1 of the City of Albuquerque's Code of Ordinances.
 - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian connection to buildings.
 - ii. Parking shall be placed behind buildings or screened from surrounding neighborhoods by means of 2.5 to 3 foot high walls and / or landscaping. Walls shall be architecturally cohesive with surrounding buildings.
- b. Bicycle parking shall comply with Section 14-16-3-1(B) of the City of Albuquerque's Code of Ordinances.
 - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for clear visibility of the main entry from parking areas and pedestrian connections.

- e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
 - i. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.



IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with Section 14-16-3-1(H) of the City of Albuquerque's Code of Ordinances.
 - i. Pedestrian pathways shall be clearly demarcated with a contrasting material such as textured concrete. **Condition 5A**
 - ii. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter.
 - iii. Parking areas shall include pedestrian connections to all buildings within the approximately seven (7) acre site.
 - iv. Shade provided with trees or shade structures shall be provided at pedestrian connections to enhance the pedestrian experience.
 - v. Sidewalks shall be 8'-0" wide along facades of buildings per Section 14-16-3-18(C)(1) of the City of Albuquerque's Code of Ordinances. **Condition 5B**
- b. A minimum 200 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurant establishments may be combined into one with a total area equal to 200 square feet per establishment.
 - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per Section 14-16-3-18(C)(4) of the City of Albuquerque's Code of Ordinances.
 - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
 - iii. Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.
- c. Major facades greater than 100 feet in length shall incorporate outdoor seating per the requirements of Section 14-16-3-18(C)(3) of the City of Albuquerque's Code of Ordinances. **Condition 5C**



V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance) of the City of Albuquerque's code of ordinances.
- b. A minimum of 15% of the net site area shall be devoted to landscape materials.
- c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- d. Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- e. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- f. Minimum plant material sizes at the time of installation shall be:
 - i. Canopy Trees - 2" Caliper
 - ii. Evergreen Trees - 10' Minimum height
 - iii. Accent Trees - 2" Caliper
 - iv. Shrubs and Groundcovers - 1 gallon minimum
- g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- h. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
 - i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
 - j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- k. Landscape beds shall be at grade to promote water harvesting.
- l. Landscape Plans shall be designed using plants selected from the following palette:

LARGE TREES

- | | |
|-----------------------|------------------------------------|
| Accolade Elm | Ulmus hybrid "Accolade" |
| Afghan Pine | Pinuseldarica |
| Austrian Pine | Pinusnigra |
| Chinese Pistache | Pistaciachinensis |
| Escarpment Oak | Quercus fusiformis |
| Japanese Pagoda Tree | Sophora japonica |
| Modesto Ash | Fraxinusvelutina "Modesto" |
| Purple Robe Locust | Robinia pseudoacacia "Purple Robe" |
| Raywood Ash | Fraxinusvelutina "Raywood" |
| Rio Grande Cottonwood | Populuswislizenii |
| Texas Red Oak | Quercusbuckleyi |

SMALL TREES

- | | |
|------------------|--------------------------|
| Chaste Tree | Vitexagnus-castus |
| Desert Willow | Chilopsislinearis |
| Golden Rain Tree | Koelreuteriapaniculata |
| New Mexico Olive | Forestieraneomexicana |
| Oklahoma Redbud | Cercisreniformis |
| Sensation Maple | Acer negundo "Sensation" |

SHRUBS

- | | |
|-----------------------------------|-------------------------------------|
| Apache Plume | Fallugiaparadoxa |
| Bird of Paradise | Caesalpinigiilliesii |
| Blue Rubber Rabbitbrush | Ericamerianausosus "Blue" |
| Buffalo Juniper | Juniperus |
| Creeping Mahonia | Mahonia repens |
| Damianita | Chrysactiniamexicana |
| Dark Knight Blue Mist Spirea | Caryopteriscanonensis "Dark Knight" |
| Black Knight Butterflybush | Buddleia davidii "Black Knight" |
| Dwarf Fragrant Sumac | Rhusaromatica "Gro-low" |
| Fernbush | Chamaebatiarimillefolium |
| Littleleaf Mountain Mahogany | Cercocarpusintricatus |
| Moonlight Scotch Broom | Cytisusscoparius "Moonlight" |
| Pawnee Buttes Western Sand Cherry | Prunusbessyii "Pawnee Buttes" |

VI. WALLS & FENCES

- Thompson Broom
- Threeleaf Sumac
- Turpentine Bush
- Winter Gem Boxwood

GRASSES

- | | |
|----------------------------------|---|
| Blonde Ambition Blue Grama Grass | Bouteloua "Blond Ambition" |
| Blue Avena Grass | Helictotrichonempervirens |
| Deergrass | Muhlenbergiagrigenes |
| Giant Sacaton | Sporoboluswrightii |
| Indian Grass | Sorghastrumnutans |
| Karl Foerster Feather Reed Grass | Calamagrostisacutiflora "Karl Foerster" |
| Native Wonder Grass Blend | 50% Buchloedactyloides/ 50% Boutelougracilis |
| Mexican Feathergrass | Nasellatenuissima |
| Prairie Dropseed | Sporobolusheterolepis |
| The Blues Bluestem | Schizachyriumscoparium "The Blues" |
| Variegated Reed Grass | Calamagrostisacutiflora "Overdam" |

ACCENTS

- | | |
|---------------------|-----------------------|
| Beargrass | Nolinamicrocarpa |
| Broadleaf Yucca | Yuccabaccata |
| Desert Spoon | Dasyliirionwheelerii |
| Parry's Agave | Agaveparryi |
| Prickly Pear Cactus | Opuntiaengelmannii |
| Red Yucca | Hesperaloeperuviflora |

PERENNIALS

- | | |
|----------------------------|----------------------------|
| Autumn Sage varieties | Salvia greggii varieties |
| Blanketflower species | Gaillardia species |
| Butterfly Weed | Asclepias species |
| Catmint species | Nepeta species |
| Germander species | Teucrium species |
| Desert Zinnia | Zinnia grandiflora |
| Whirling Butterfly species | Gauralindheimeri varieties |
| Hyssop species | Agastache species |
| Lavender species | Lavandula species |
| May Night Sage | Salvia nemerosa |
| Penstemon species | Penstemon species |
| Poppy Mallow | Callirhoeinvolucrata |
| Rocky Mountain Columbine | Aquilegia caerulea |
| Tickseed species | Coreopsis species |
| Turkish Speedwell | Veronica liwanensis |
| Yarrow species | Achillea species |

VINES

- | | |
|------------------|-------------------|
| Chinese Wisteria | Wisteriachinensis |
| Trumpet Vine | Campsisradicans |

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, shall be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping. These walls shall be architecturally cohesive with surrounding buildings.
- b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
 - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
 - ii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
 - iii. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- c. Walls and fences shall be at least as tall as the objects they are intended to screen and shall not exceed 8 feet high.
- d. All screening devices shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.
- e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the City of Albuquerque's Code of Ordinances.
 - i. All mechanical equipment shall be screened from public

| REVISIONS | |
|-----------|-----------------------------|
| △ | 6/24/2015 PLANNING COMMENTS |
| △ | 7/13/2015 PLANNING COMMENTS |
| △ | 12/18/2015 EPC CONDITIONS |
| △ | |

| | |
|--------------|-------------------|
| DRAWN BY | GG |
| REVIEWED BY | CG |
| DATE | 05/27/2015 |
| PROJECT NO. | 15-P084 / 15-0073 |
| DRAWING NAME | |

SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN STANDARDS

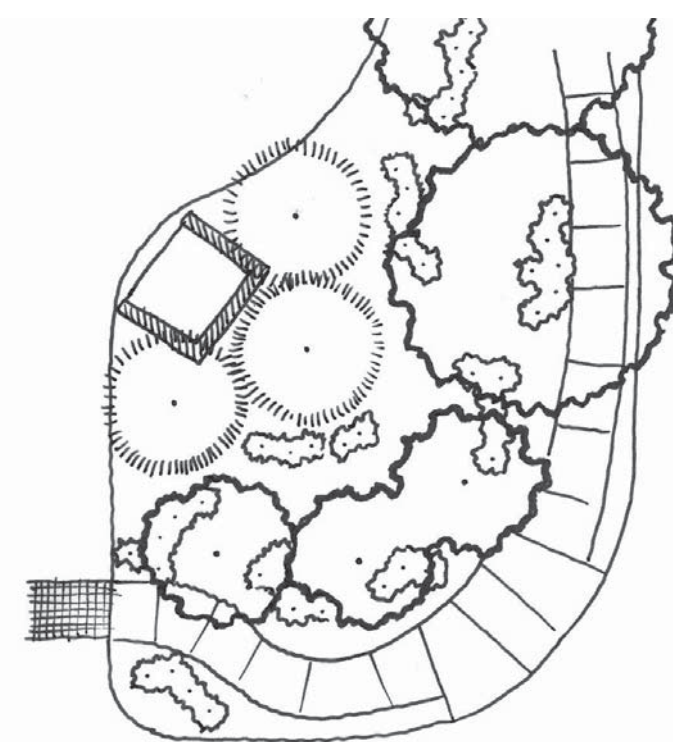
DESIGN STANDARDS (continued)

view by materials of the same nature as the adjacent buildings.

- f. Walls and fences shall comply with Section 14-16-3-19 of the City of Albuquerque's Comprehensive Zoning Code.
- g. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- i. Acceptable wall & fence materials include but are not limited to:
 - i. stucco over concrete masonry units (CMU)
 - ii. split face block
 - iii. brick
 - iv. stone
 - v. curved interlock blocks
 - vi. tubular steel, wrought iron bars, or other grill work
- j. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- k. The site is fairly level, but will likely require some retaining at the west perimeter adjacent to the Calvary parking lot.
 - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.
 - ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
 - iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- l. Grading and Drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
 - i. All measures shall be taken to provide public safety at pond locations.
 - ii. Site ponding shall be integrated with the landscape plan.

m. Screening shall be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electrical Service Guide at www.pnm.com for specifications.

Condition 7B



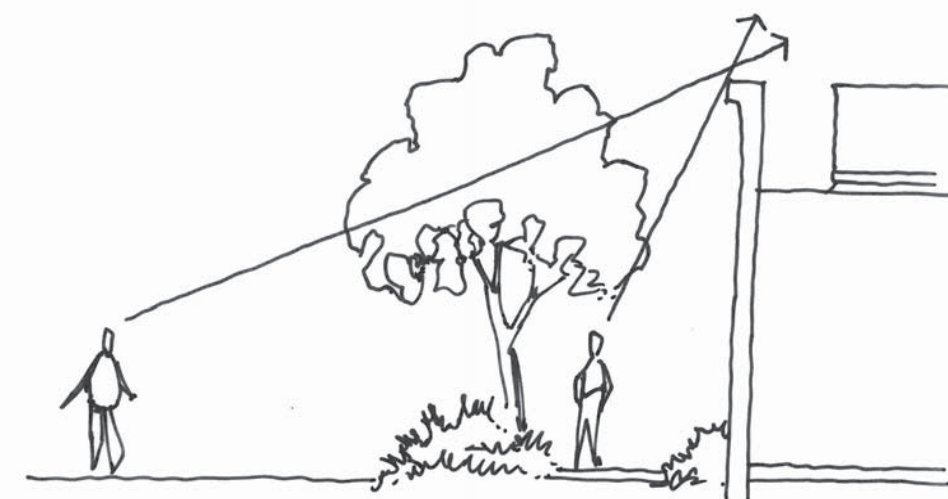
REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

VII. UTILITIES

Condition 5E

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- a. All new electrical distributions lines shall be placed underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architectural design of buildings and site features shall demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Site Design Regulations for Non-Residential Uses of the City Zoning Code (14-16-3-18).
- b. Architectural Style
 - i. The development shall provide a cohesive material and color palette among all buildings.
 - ii. All buildings shall be "modern" in design.
 - iii. Historical references to traditional New Mexico styles shall be a modern interpretation of those styles.
 - iv. Generic franchise architecture is prohibited.
- c. Articulation
 - i. Buildings shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, or fenestration.
 - iii. Massing elements shall be reinforced with color variation or material distinctions.
- d. Materials
 - i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate.
 - ii. Individual building elements shall be of excellent design and quality materials such as:
 1. Metal wall panels
 2. Porcelain tile
 3. Natural stone panels
 4. Concrete
 5. Rammed earth
 6. Glass
 7. Stucco or Exterior Insulation & Finish System
 8. Brick or decorative concrete masonry units

iii. The following external building materials shall be prohibited:

- 1. Engineered wood paneling
- 2. Vinyl or plastic siding
- 3. Plain concrete masonry units
- iv. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patterned glazing is prohibited.
- v. Canopies, trellises, and awnings shall be of durable materials such as metal, corrugated metal, or steel.
- vi. Colors shall include light to medium earth tones with accent colors in limited areas.
 1. No more than one accent color shall be used per building.
 2. The use of contrasting colors for shade elements or awnings is encouraged.

IX. LIGHTING

To enhance safety, security and visual aesthetics, daytime and night-time appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the City of Albuquerque's Comprehensive Zoning Code.
- b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- c. All free-standing lights shall be of consistent design throughout the site.
- d. High pressure sodium & cobra-head type lighting fixtures are not permitted.
- e. Light fixtures shall be located on Site Development Plans for Building Permit
- f. The height of street lights and off-street parking areas lights shall not exceed 26 feet.
- g. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- h. Pedestrian lighting shall not exceed 12 feet in height.
- i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- j. Exterior elevations of buildings fronting the public right-of-way may be feature lighted to enhance the identity of the building.



LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

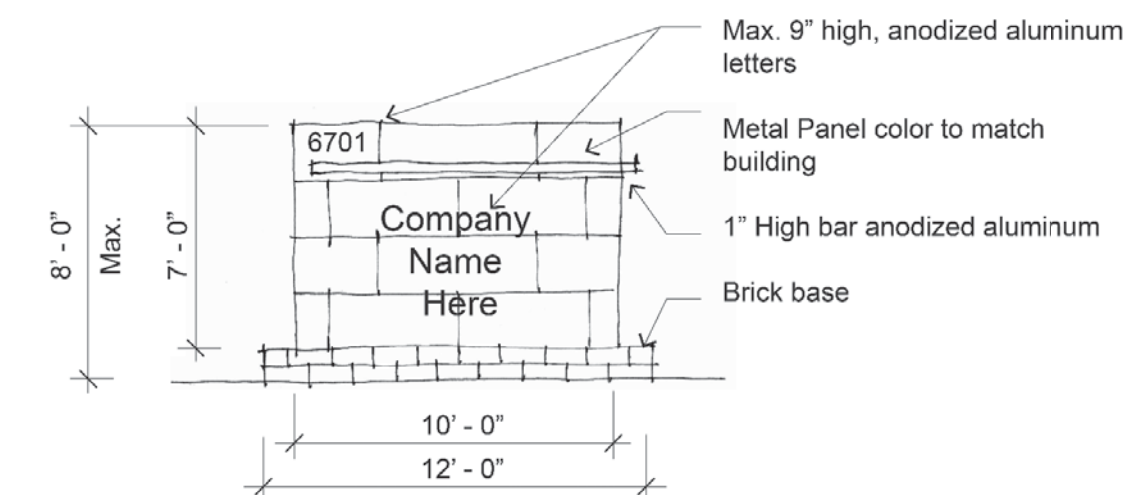
X. SIGNAGE

Condition 5E

Signage and graphics shall create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

- a. Signage shall comply with the Section 14-16-3-5 General Sign Regulations of the City of Albuquerque's Code of Ordinances.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs shall comply with Section 14-16-3-2(B) (4) and are permissible at the rate of one sign for each 300 feet of frontage on an arterial roadway. These signs shall be coordinated to have the same appearance (height, size, color, material, text height, style etc.) at all locations.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.

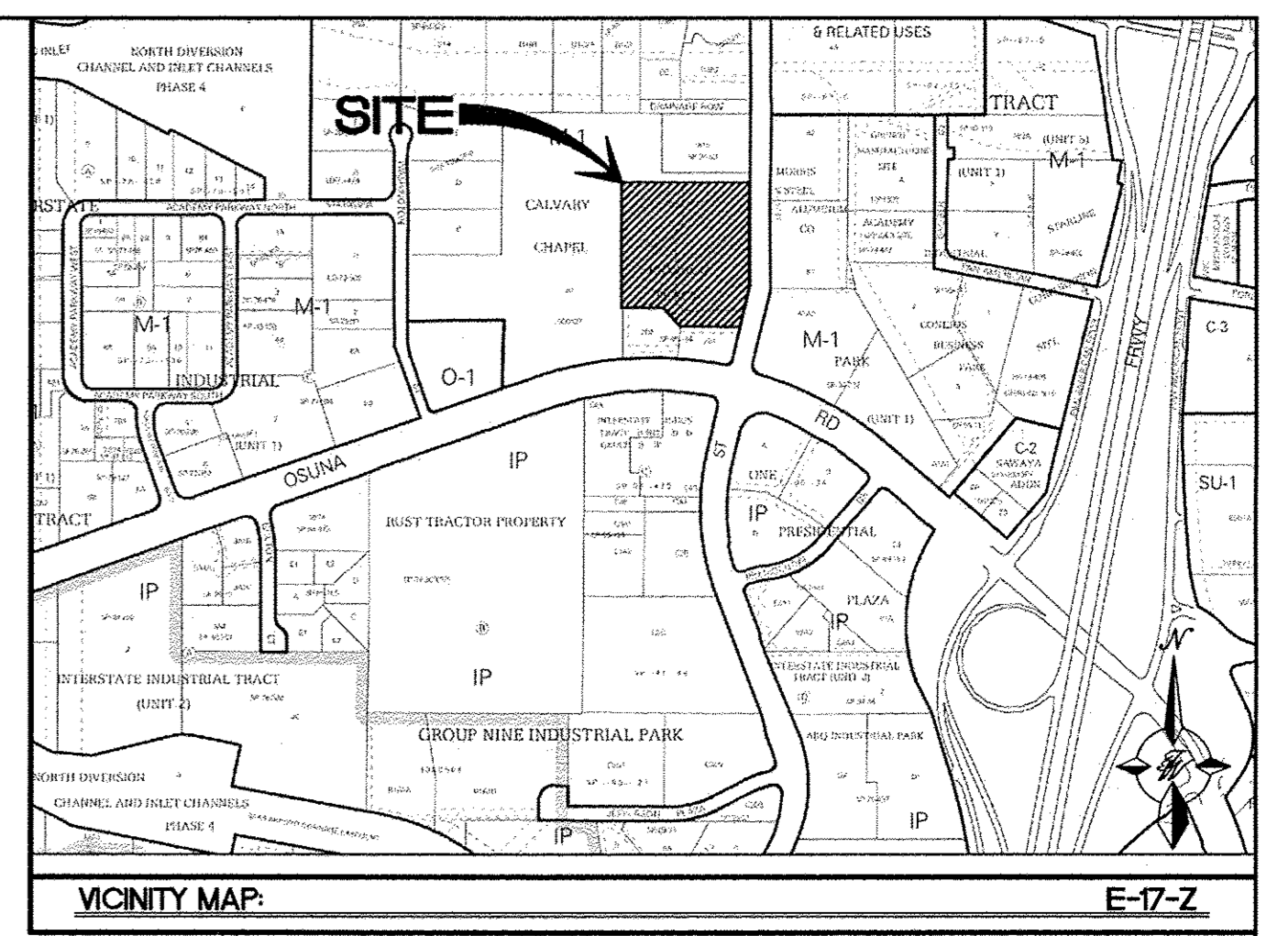
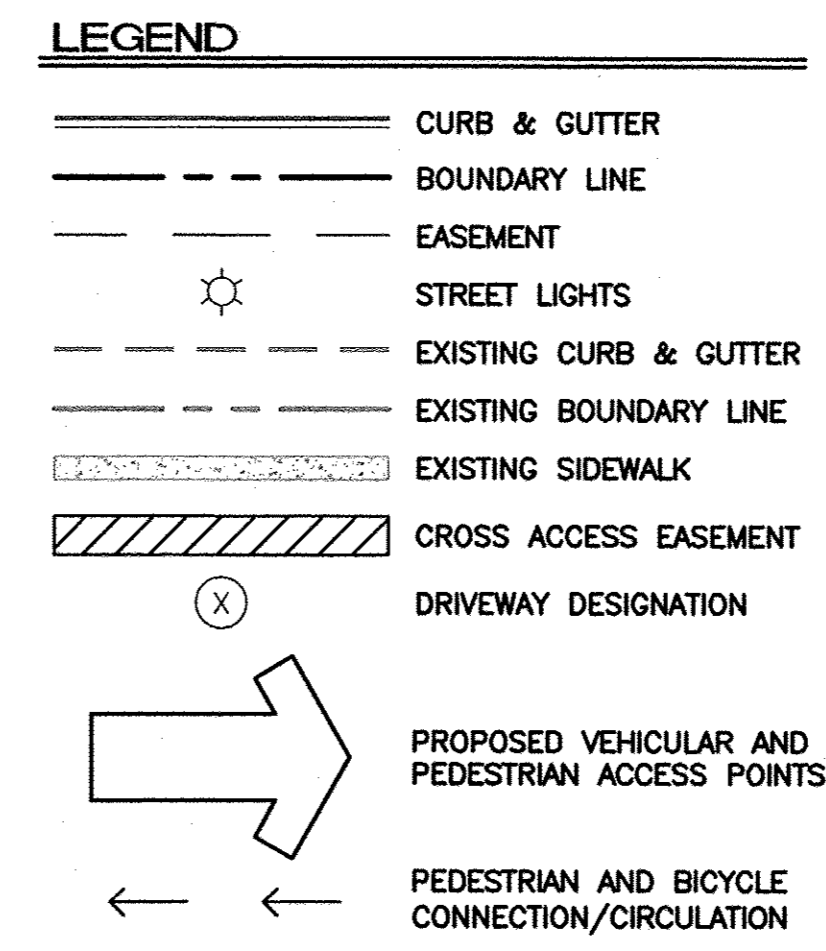
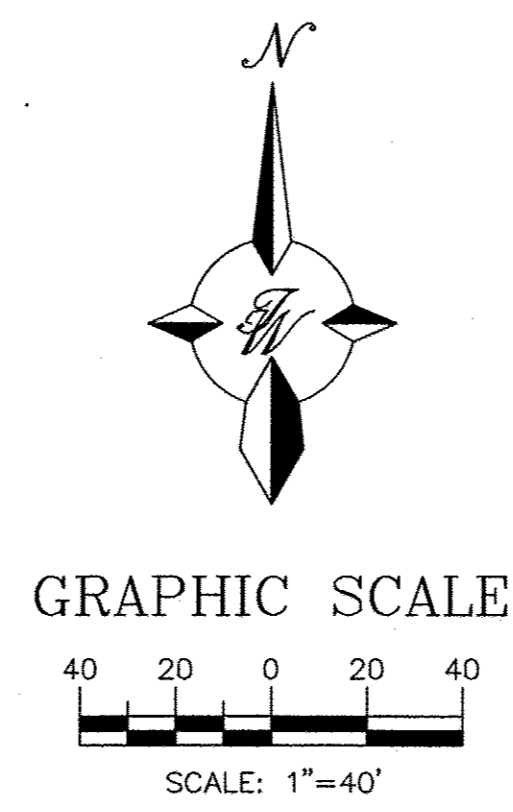
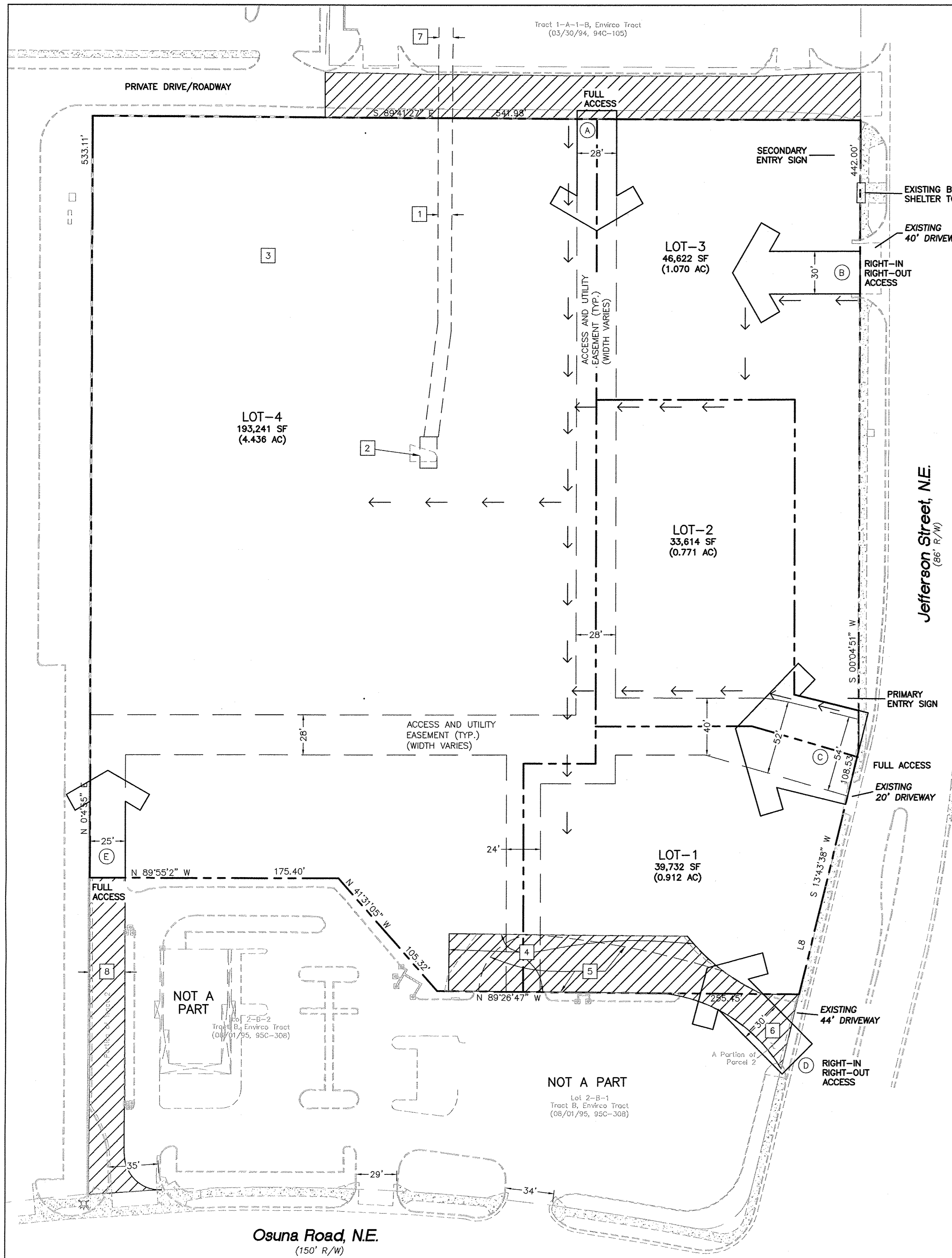
Condition 5D



SIGNAGE - should be coordinated with building and forms.

XI. PROCESS

Site Development Plans for Building Permit shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by this Site Development Plan for Subdivision.



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
The site consists of approximately 7.15 acres and is located in the North I-25 corridor. It is bounded to the west by developed church property, to the north by existing developed (church parking and office) property, to the east by Jefferson Street and on the south by existing retail developments.

ZONING AND PROPOSED USES:
The Site is zoned M-1 (Light Manufacturing Zone). The Site does not lie within a Sector Development Plan Area.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-20 M-1 Light Manufacturing Zone of the Comprehensive Zoning Code. Activities allowed on the site must correspond to those enumerated in the M-1 zone.

APPLICABLE PLANS:
City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I),
North Valley Area Plan.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The applicant is requesting three accesses to Jefferson Street to the east in addition to one access point off the adjacent existing private drive to the north and the existing access off Osuna Road via an existing ingress/egress easement through the adjacent tract. Final design and location of these access points will be determined by future Site Development Plans for Building Permit.

Transit - The property is currently served by transit facilities on Jefferson Street including an existing bus stop/shelter that is to remain.

Bicycle Facilities - There are existing bicycle lanes along Jefferson Street which provide connectivity to Bear Arroyo Trail and North Diversion Channel Trail. New bicycle lanes will be added by the City on Osuna Road under the Osuna Road Widening Project.

Continuous bicycle connections through parking areas will be provided from the adjacent City bike lanes to onsite bicycle parking facilities at each building.

Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits. Existing public sidewalks along Jefferson and Osuna will remain or be adjusted as development occurs within the site.

Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the sites perimeter.

BUILDING HEIGHTS AND SETBACKS:
Buildings shall not exceed the heights as specified in the O-1 Zone (by reference from Section 14-16-2-20) of the Comprehensive Zoning Code. Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline.

Minimum Setbacks Are:
Front = 5 ft
Corner side yard = 5ft
Junction of driveway/alley and a public sidewalk = 11ft

MAXIMUM F.A.R./DENSITY:
Buildings within Lots 1, 2 and 3 shall not exceed a maximum F.A.R. of 0.5. Buildings within Lot 4 shall not exceed a maximum F.A.R. of 1.0.

LANDSCAPE PLAN:
Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance and Pollen Control Ordinance.

SITE INFORMATION

LEGAL DESCRIPTION: LOT 2-A-1 AND LOT 2-A-2 ENVIRO TRACT

EXISTING ZONING: M-1

LOT AREA: 7.1472 ACRES

ADDRESS: 6701 JEFFERSON STREET, N.E.

GENERAL NOTES:

- SUFFICIENT SPACE WITHIN THE SITE PROPERTIES WILL BE PROVIDED TO ACCOMMODATE REQUIRED NUMBER OF PARKING SPACES FOR THE PROPOSED DEVELOPMENT. TRAFFIC CIRCULATION LAYOUT REQUIREMENTS SHALL BE FOLLOWED AS PER THE DEVELOPMENT PROCESS MANUAL, CHAPTER 23.
- A SIX-FOOT SIDEWALK FROM HANDICAPPED PARKING SPACES AND FROM EXISTING SIDEWALK ON PUBLIC RIGHT-OF-WAY TO THE PROPOSED DOORWAYS FOR THE NEW BUILDINGS WILL BE REQUIRED FOR THE PROPOSED DEVELOPMENT. ALL ADA ACCESSIBILITY GUIDELINES SHALL APPLY FOR THE PROPOSED TRAFFIC CIRCULATION LAYOUT.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

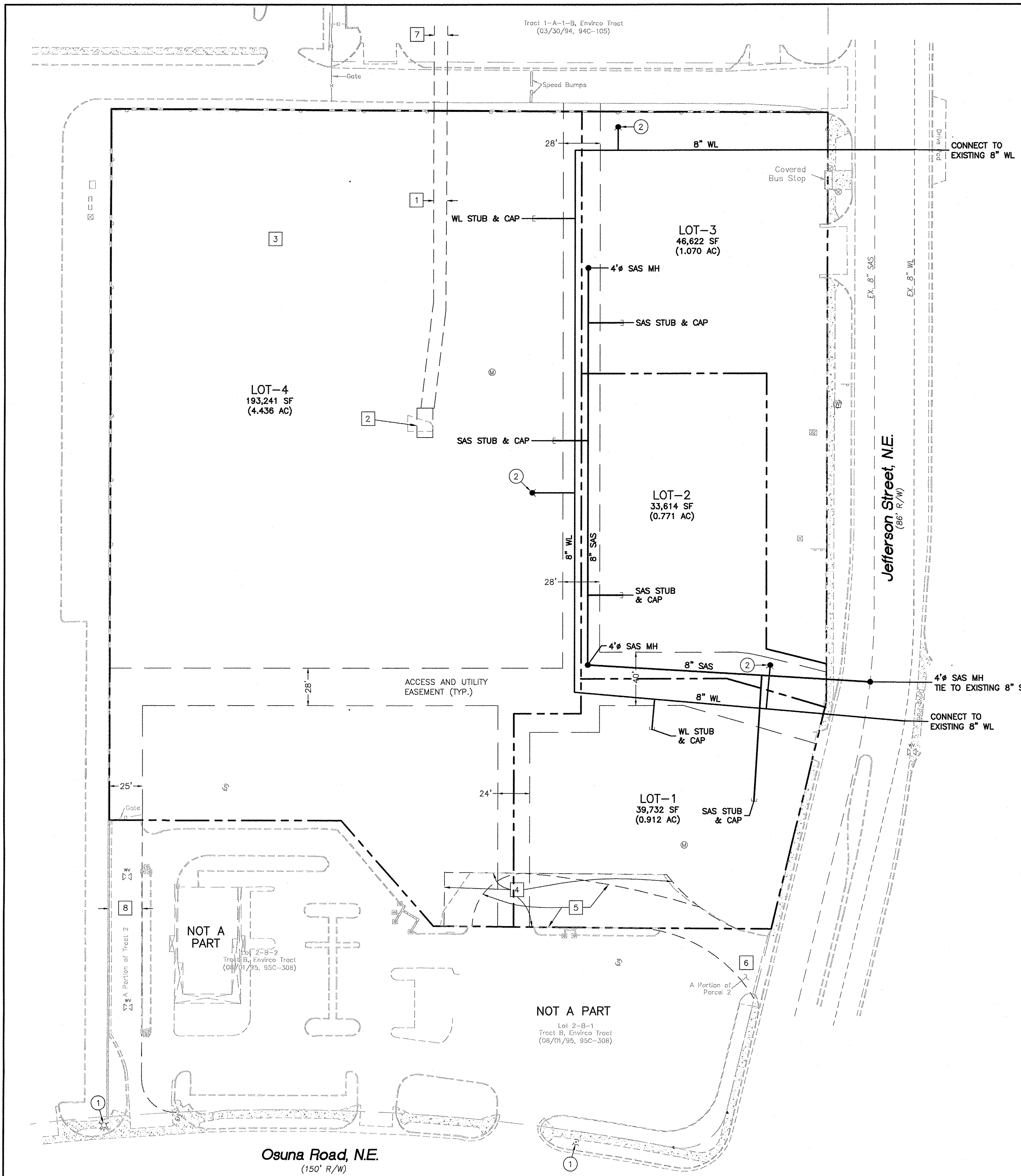
| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| ABCWUA | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

- Easement Notes**
- 10' PNM EASEMENT (94C-180, 06/02/94)
 - 12' X 22' PNM EASEMENT (94C-180, 06/02/94) (MODIFIED BY 07C-127, 05/18/07)
 - BLANKET SURFACE DRAINAGE EASEMENT ON LOT 2-A-1, FOR THE BENEFIT OF LOT 2-A-2 (07C-127, 05/18/07)
 - ACCESS EASEMENT AGREEMENT (BK. 95-21, PG. 6308-6315, 09/06/95)
 - EASEMENT AGREEMENT (BK. 95-9, PG. 1118-1134, 04/12/95)
 - PRIVATE INGRESS & EGRESS EASEMENT & LANDSCAPE EASEMENT (94C-180, 06/02/94)
 - 10' UNDERGROUND ELECTRIC EASEMENT (C20-120, 12/10/82)
 - 25' PRIVATE INGRESS/EGRESS, SANITARY SEWER EASEMENT AND PRIVATE DRAINAGE EASEMENT (94C-180, 06/02/94)

| NO. | DATE | REVISIONS | BY |
|-----|---------|-----------------------------|----|
| 1 | 1/19/16 | ADDRESS EPC CONDITIONS | VC |
| 2 | 7/13/15 | ADDRESS ADDITIONAL COMMENTS | VC |
| 3 | 6/24/15 | ADDRESS INITIAL COMMENTS | VC |

| | | |
|--|---|---|
| | 6701 JEFFERSON ST, NE SITE DEVELOPMENT PLAN FOR SUBDIVISION | DRAWN BY DY DATE 7/13/15 2014065-SPSB |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 871109 (505) 858-3100 www.tierrawestllc.com | SHEET # SP-1 JOB # 2014065 |



Easement Notes

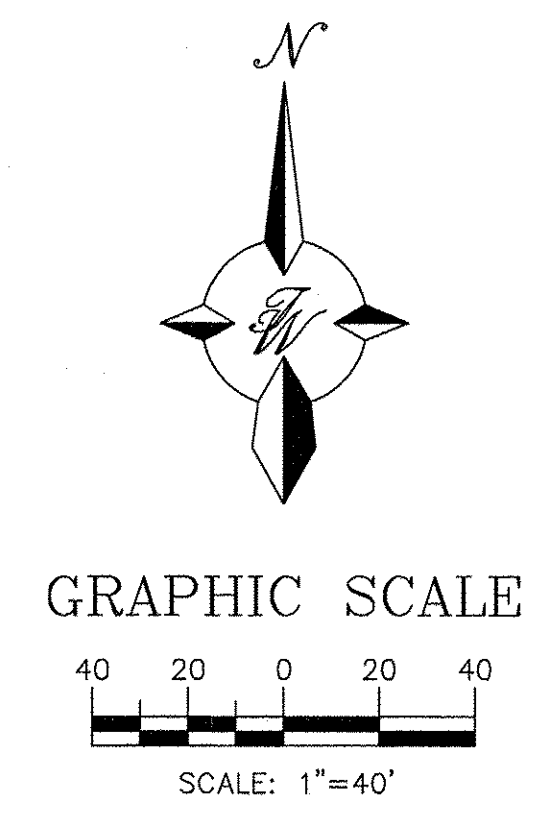
- 1 10' PNM EASEMENT (94C-180, 06/02/94)
- 2 12' X 22' PNM EASEMENT (94C-180, 06/02/94) (MODIFIED BY 07C-127, 05/18/07)
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- 5 EASEMENT AGREEMENT (BK. 95-9, PG. 1118-1134, 04/12/95)
- 6 PRIVATE INGRESS & EGRESS EASEMENT & LANDSCAPE EASEMENT (94C-180, 06/02/94)
- 7 10' UNDERGROUND ELECTRIC EASEMENT (C20-120, 12/10/82)
- 8 25' PRIVATE INGRESS/EGRESS, SANITARY SEWER EASEMENT AND PRIVATE DRAINAGE EASEMENT (94C-180, 06/02/94)

KEYED NOTES:

- 1 EXISTING FIRE HYDRANT
- 2 PROPOSED FIRE HYDRANT

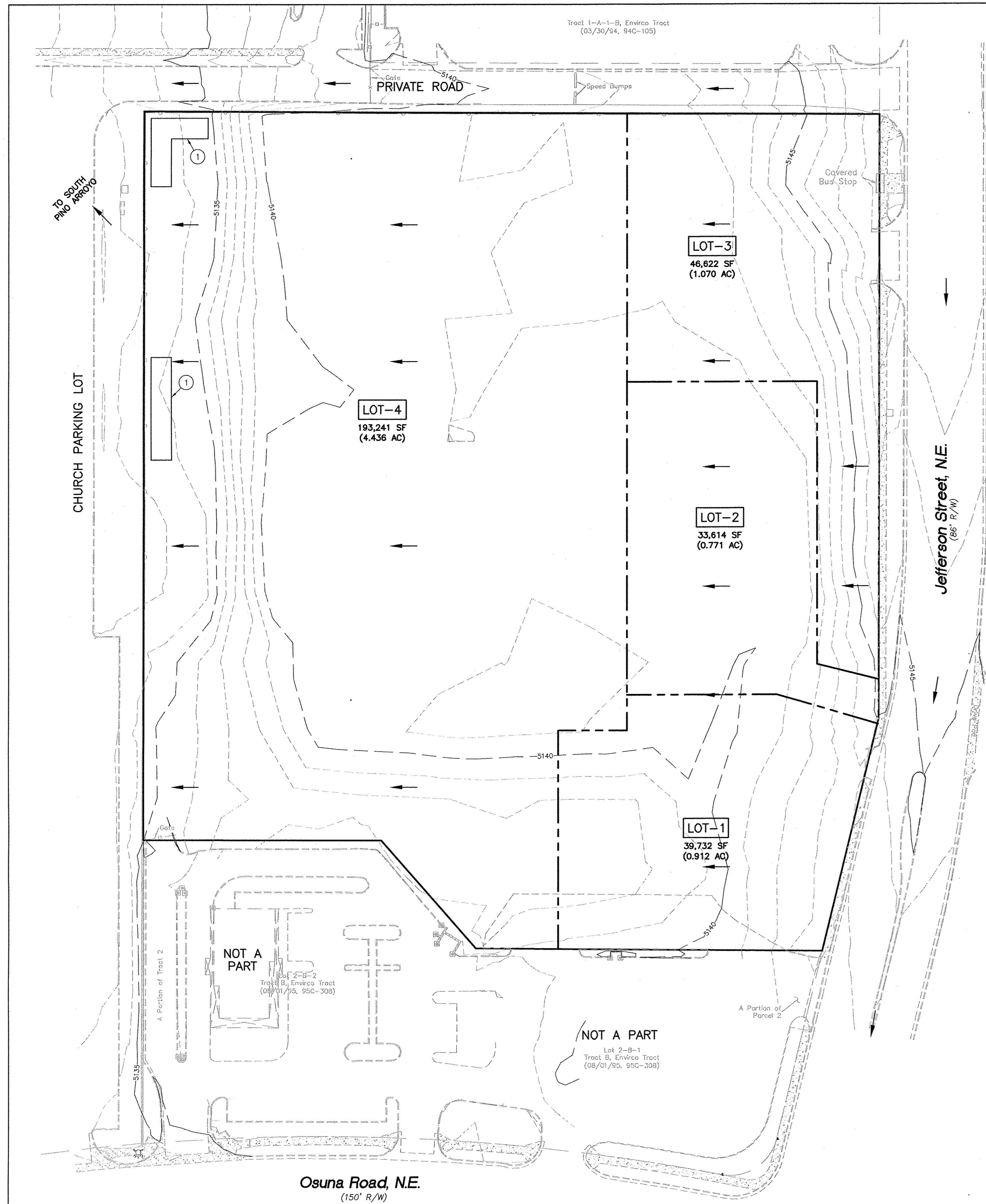
LEGEND

- ==== CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- ===== BUILDING
- ===== SIDEWALK
- ===== SCREEN WALL
- ===== RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD STORM SEWER LINE
- 8" SAS SANITARY SEWER LINE
- 8" WL WATERLINE
- o SINGLE CLEAN OUT
- oo DOUBLE CLEAN OUT
- o EXISTING SD MANHOLE
- o EXISTING INLET
- o EXISTING SAS MANHOLE
- o EXISTING FIRE HYDRANT
- o EXISTING WATER METER
- o EXISTING POWER POLE
- o EXISTING GAS VALVE
- U --- EXISTING OVERHEAD UTILITIES
- EX. UGE --- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS --- EXISTING GAS
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 10" WL --- EXISTING WATER LINE
- EX. 18" RCP --- EXISTING STORM SEWER LINE



CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

| NO. | DATE | REMARKS | BY |
|-----------------|---------|--------------------------------|-----------------|
| | 7/13/15 | ADDRESS ADDITIONAL COMMENTS | VC |
| | 6/24/15 | ADDRESS INITIAL COMMENTS | VC |
| REVISIONS | | | |
| ENGINEER'S SEAL | | 6701 JEFFERSON ST, NE | DRAWN BY DY |
| | | CONCEPTUAL MASTER UTILITY PLAN | DATE 7/13/15 |
| | | | 2014065-MUE |
| | | SHEET # | MU-1 |
| | | JOB # | 2014065 |

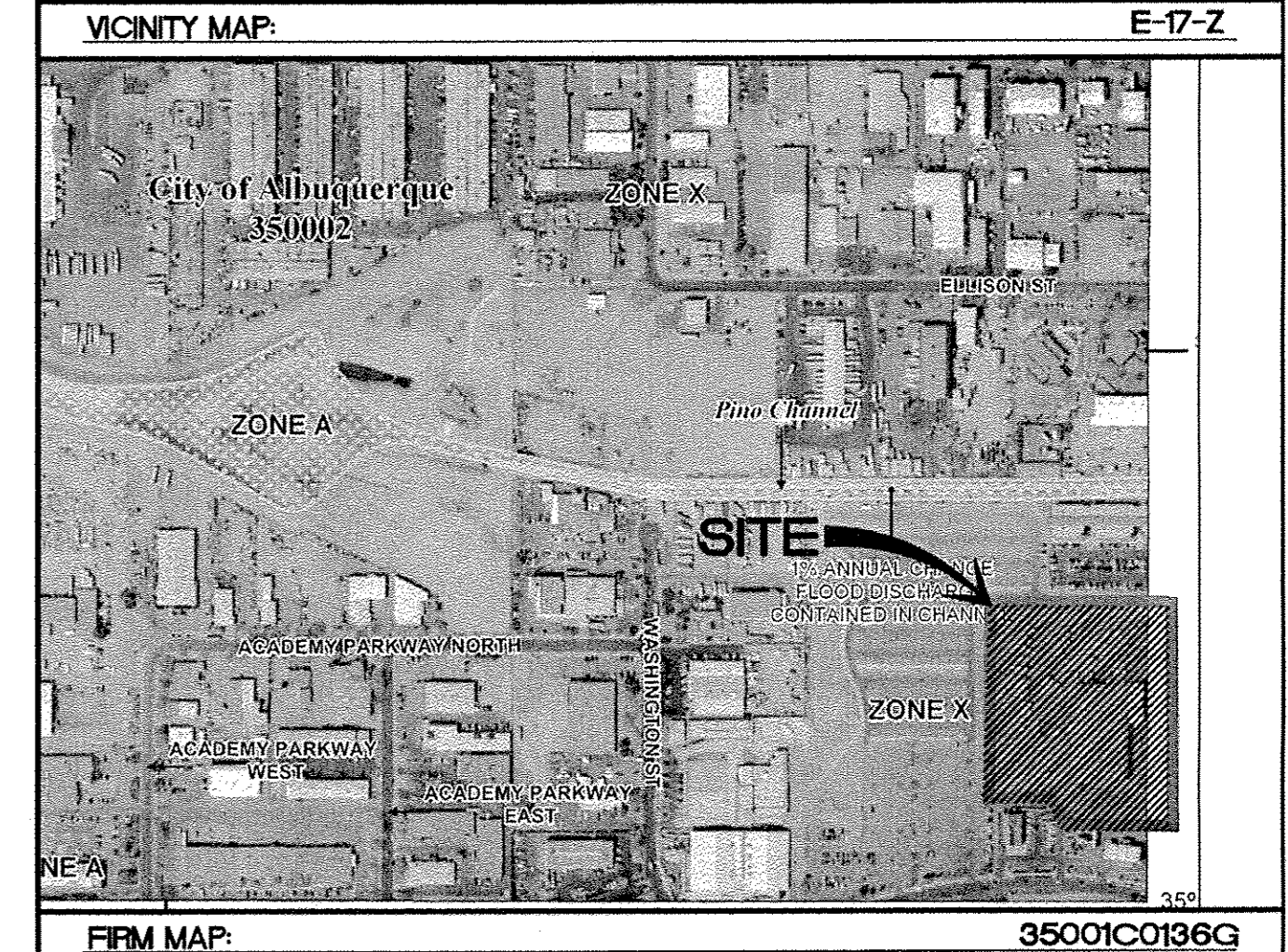
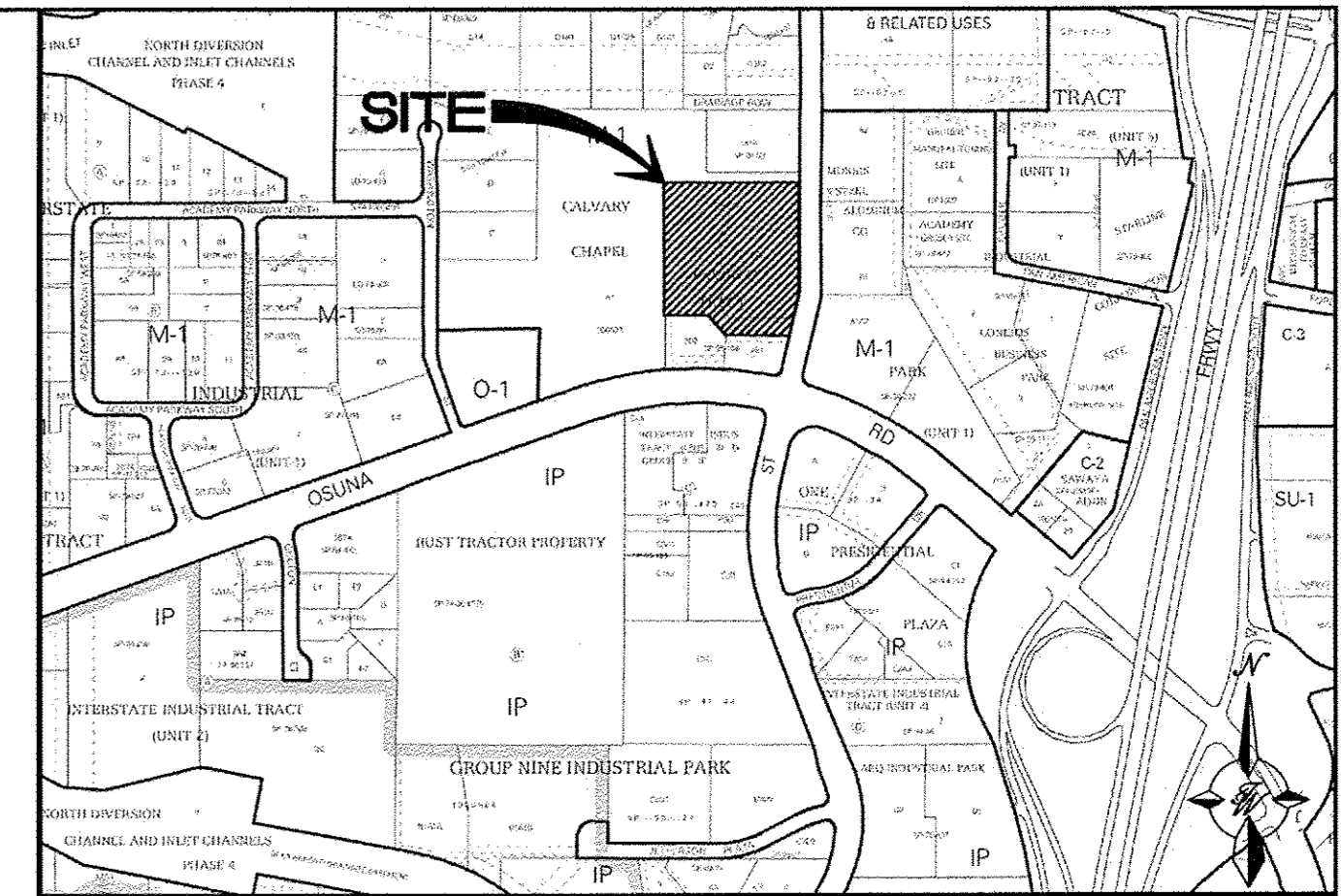


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION

KEYED NOTES:

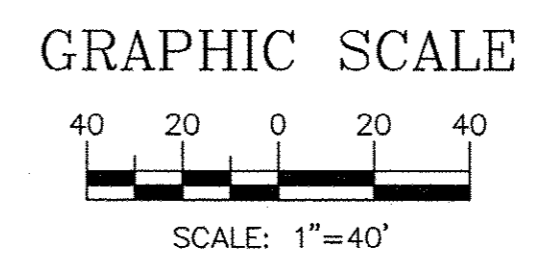
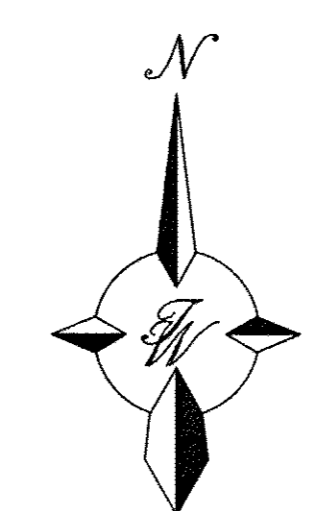
- ① DRAINAGE POND



DRAINAGE SCHEME:

EXISTING CONDITIONS:
 THE SITE WAS THE FORMER LOCATION OF A STORAGE MANUFACTURING FACILITY. THE SITE AS PREVIOUSLY DEVELOPED DRAINED VIA SURFACE FLOW TO THE WEST INTO THE ADJACENT MEGA CHURCH PARKING LOT. THE FLOWS WERE CONVEYED IN THIS PARKING LOT TO AN OUTFALL TO THE NORTH TO THE SOUTH PINO ARROYO WHICH DRAINS TO THE NORTH DIVERSION CHANNEL.

PROPOSED CONDITIONS:
 THE SITE WILL BE DEVELOPED TO CONTINUE THE EXISTING DRAINAGE PATTERNS BY CONVEYING RUNOFF VIA SURFACE FLOW FROM EAST TO WEST ACROSS THE SITE WITH RUNOFF CONVEYED TO THE ADJACENT CHURCH PARKING LOT AND NORTH TO THE SOUTH PINO ARROYO. THE CITY'S NEWLY ADOPTED LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS IN THE AMENDED DRAINAGE ORDINANCE WILL BE INCORPORATED INTO THE INDIVIDUAL GRADING AND DRAINAGE PLANS SUBMITTED AS EACH LOT IS DEVELOPED.



| NO. | DATE | REVISIONS | BY |
|-----|---------|-----------------------------|----|
| 1 | 7/13/15 | ADDRESS ADDITIONAL COMMENTS | VC |
| 2 | 6/24/15 | ADDRESS INITIAL COMMENTS | VC |

| | | |
|--|---|--|
| | 6701 JEFFERSON ST, NE CONCEPTUAL GRADING AND DRAINAGE PLAN | DRAWN BY DY DATE 7/13/15 2014065-GRE |
| | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # GR-1 JOB # 2014065 |

| REVISIONS | |
|------------|-------------------|
| 6/24/2015 | PLANNING COMMENTS |
| 7/13/2015 | PLANNING COMMENTS |
| 12/18/2015 | EPC CONDITIONS |

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| DRAWN BY | GG |
| REVIEWED BY | CG |
| DATE | 05/27/2015 |
| PROJECT NO. | 15-P084 / 15-0073 |
| DRAWING NAME | |

**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION
DESIGN STANDARDS**

DESIGN STANDARDS

I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the property, and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office space and supporting retail / restaurant establishment amenities to the Journal Center area. Intended uses include a multi-story office building, with retail, restaurant establishment, and bank pads along Jefferson Street.

- a. Goals:
 - i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
 - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome.
- b. Permissive and conditional uses shall be as allowed under the M-1 Zone of the City of Albuquerque's Code of Ordinances.
- c. All Design Standards are intended to meet or exceed the requirements of the City of Albuquerque's Code of Ordinances.

II. SETBACKS & BUILDING HEIGHT LIMITATIONS

Although the underlying site zoning is M-1, the site is surrounded by development that consists primarily of office and retail uses. M-1 zoning references O-1 for setbacks, therefore, the setbacks and building heights shall be similar to those in O-1 zone and the nearby Journal Center area.

- a. Building setbacks shall conform to the requirements of the O-1 Zone, by reference from Section 14-16-2-20, M-1 Zone of the City of Albuquerque's Code of Ordinances except as noted below.
 - i. Buildings on lots along Jefferson Street shall be setback not more than 90 feet from the public right-of-way in order to limit the amount of parking between the buildings and the street.
- b. Landscape setbacks shall conform to the requirements of Section 14-16-3-10 of the City of Albuquerque's Code of Ordinances except as noted below.
 - i. Parking areas along Jefferson Street shall be setback 15 feet from the public right-of-way to provide space for screening of parked cars through the use of plant materials or low walls. Where parking areas or driveways are not parallel with the street, the setback shall be an average of at least 15 feet.
- c. Building heights shall be as allowed under Section 14-16-2-15, O-1 Zone of the City of Albuquerque's Code of Ordinances.

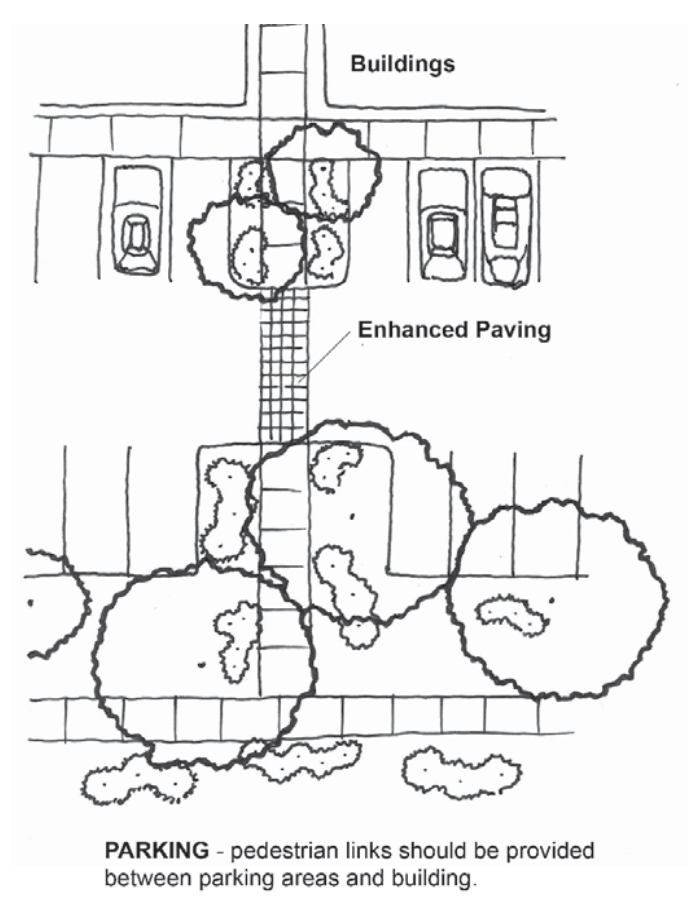
III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention shall be given to parking area design. To lessen its visual impact, parking shall be broken into a series of smaller areas, and views of parking from off-site shall be interrupted with screening materials.

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with Section 14-16-3-1 of the City of Albuquerque's Code of Ordinances.
 - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian connection to buildings.
 - ii. Parking shall be placed behind buildings or screened from surrounding neighborhoods by means of 2.5 to 3 foot high walls and / or landscaping. Walls shall be architecturally cohesive with surrounding buildings.
- b. Bicycle parking shall comply with Section 14-16-3-1(B) of the City of Albuquerque's Code of Ordinances.
 - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for clear visibility of the main entry from parking areas and pedestrian connections.

e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.

- i. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.



IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with Section 14-16-3-1(H) of the City of Albuquerque's Code of Ordinances.
 - i. Pedestrian pathways shall be clearly demarcated with a contrasting material such as textured concrete.
 - ii. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter.
 - iii. Parking areas shall include pedestrian connections to all buildings within the approximately seven (7) acre site.
 - iv. Shade provided with trees or shade structures shall be provided at pedestrian connections to enhance the pedestrian experience.
 - v. Sidewalks shall be 8'-0" wide along facades of buildings per Section 14-16-3-18(C)(1) of the City of Albuquerque's Code of Ordinances.
- b. A minimum 200 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurant establishments may be combined into one with a total area equal to 200 square feet per establishment.
 - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per Section 14-16-3-18(C)(4) of the City of Albuquerque's Code of Ordinances.
 - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
 - iii. Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.
- c. Major facades greater than 100 feet in length shall incorporate outdoor seating per the requirements of Section 14-16-3-18(C)(3) of the City of Albuquerque's Code of Ordinances.



V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance) of the City of Albuquerque's code of ordinances.
- b. A minimum of 15% of the net site area shall be devoted to landscape materials.
- c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- d. Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- e. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- f. Minimum plant material sizes at the time of installation shall be:
 - i. Canopy Trees - 2" Caliper
 - ii. Evergreen Trees - 10' Minimum height
 - iii. Accent Trees - 2" Caliper
 - iv. Shrubs and Groundcovers - 1 gallon minimum
- g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- h. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
 - i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
 - j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- k. Landscape beds shall be at grade to promote water harvesting.
- l. Landscape Plans shall be designed using plants selected from the following palette:

LARGE TREES

- | | |
|-----------------------|------------------------------------|
| Accolade Elm | Ulmus hybrid "Accolade" |
| Afghan Pine | Pinuseldarica |
| Austrian Pine | Pinusnigra |
| Chinese Pistache | Pistaciachinensis |
| Escarpment Oak | Quercus fusiformis |
| Japanese Pagoda Tree | Sophora japonica |
| Modesto Ash | Fraxinusvelutina "Modesto" |
| Purple Robe Locust | Robinia pseudoacacia "Purple Robe" |
| Raywood Ash | Fraxinusvelutina "Raywood" |
| Rio Grande Cottonwood | Populuswislizenii |
| Texas Red Oak | Quercusbuckleyi |

SMALL TREES

- | | |
|------------------|--------------------------|
| Chaste Tree | Vitexagnus-castus |
| Desert Willow | Chilopsislinearis |
| Golden Rain Tree | Koelreuteriapaniculata |
| New Mexico Olive | Forestieraneomexicana |
| Oklahoma Redbud | Cercisreniformis |
| Sensation Maple | Acer negundo "Sensation" |

SHRUBS

- | | |
|-----------------------------------|------------------------------------|
| Apache Plume | Fallugiaparadoxa |
| Bird of Paradise | Caesalpinigiilliesii |
| Blue Rubber Rabbitbrush | Ericamerianauseosus "Blue" |
| Buffalo Juniper | Juniperus |
| Creeping Mahonia | Mahonia repens |
| Damianita | Chrysactiniamexicana |
| Dark Knight Blue Mist Spirea | Caryopterisclanensis "Dark Knight" |
| Black Knight Butterflybush | Buddleia davidii "Black Knight" |
| Dwarf Fragrant Sumac | Rhusaromatica "Gro-low" |
| Fernbush | Chamaebatiarimillefolium |
| Littleleaf Mountain Mahogany | Cercocarpusintricatus |
| Moonlight Scotch Broom | Cytisusscoparius "Moonlight" |
| Pawnee Buttes Western Sand Cherry | Prunusbessyii "Pawnee Buttes" |

- Thompson Broom
- Threeleaf Sumac
- Turpentine Bush
- Winter Gem Boxwood

GRASSES

- | | |
|----------------------------------|---|
| Blonde Ambition Blue Grama Grass | Bouteloua "Blond Ambition" |
| Blue Avena Grass | Helictotrichonsepervirens |
| Deergrass | Muhlenbergiagrigenes |
| Giant Sacaton | Sporoboluswrightii |
| Indian Grass | Sorghastrumnutans |
| Karl Foerster Feather Reed Grass | Calamagrostisacutiflora "Karl Foerster" |
| Native Wonder Grass Blend | 50% Buchloedactyloides/ 50% Boutelougracilis |
| Mexican Feathergrass | Nasellatenuissima |
| Prairie Dropseed | Sporobolusheterolepis |
| The Blues Bluestem | Schizachyriumscoparium "The Blues" |
| Variegated Reed Grass | Calamagrostisacutiflora "Overdam" |

ACCENTS

- | | |
|---------------------|-----------------------|
| Beargrass | Nolinamicrocarpa |
| Broadleaf Yucca | Yuccabaccata |
| Desert Spoon | Dasyliirionwheelerii |
| Parry's Agave | Agaveparryi |
| Prickly Pear Cactus | Opuntiaengelmannii |
| Red Yucca | Hesperaloeperuviflora |

PERENNIALS

- | | |
|----------------------------|----------------------------|
| Autumn Sage varieties | Salvia greggii varieties |
| Blanketflower species | Gaillardia species |
| Butterfly Weed | Asclepias species |
| Catmint species | Nepeta species |
| Germander species | Teucrium species |
| Desert Zinnia | Zinnia grandiflora |
| Whirling Butterfly species | Gauralindheimeri varieties |
| Hyssop species | Agastache species |
| Lavender species | Lavandula species |
| May Night Sage | Salvia nemerosa |
| Penstemon species | Penstemon species |
| Poppy Mallow | Callirhoeinvolucrata |
| Rocky Mountain Columbine | Aquilegia caerulea |
| Tickseed species | Coreopsis species |
| Turkish Speedwell | Veronica liwanensis |
| Yarrow species | Achillea species |

VINES

- | | |
|------------------|-------------------|
| Chinese Wisteria | Wisteriachinensis |
| Trumpet Vine | Campsisradicans |

VI. WALLS & FENCES

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, shall be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping. These walls shall be architecturally cohesive with surrounding buildings.
- b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
 - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
 - ii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
 - iii. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- c. Walls and fences shall be at least as tall as the objects they are intended to screen and shall not exceed 8 feet high.
- d. All screening devices shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.
- e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the City of Albuquerque's Code of Ordinances.
 - i. All mechanical equipment shall be screened from public

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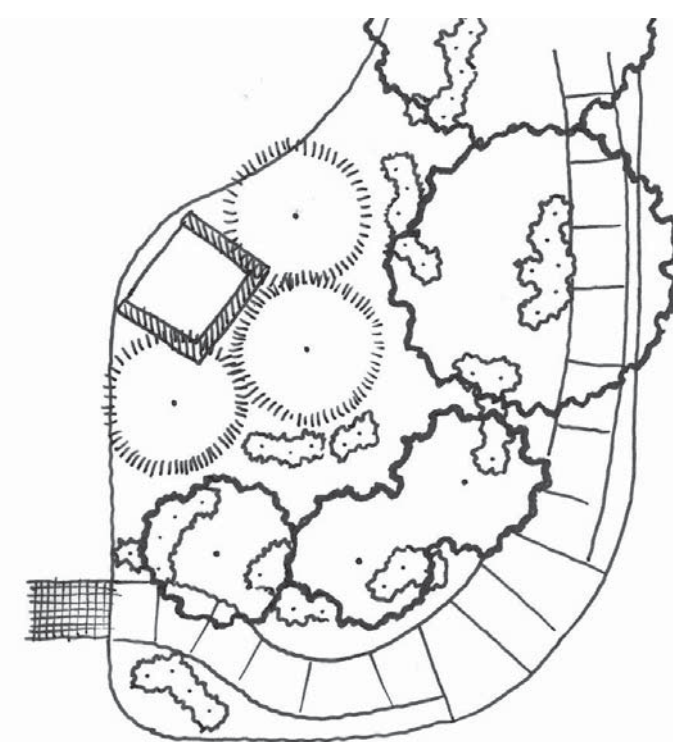
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**SITE DEVELOPMENT
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DESIGN STANDARDS**

DESIGN STANDARDS (continued)

view by materials of the same nature as the adjacent buildings.

- f. Walls and fences shall comply with Section 14-16-3-19 of the City of Albuquerque's Comprehensive Zoning Code.
- g. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- i. Acceptable wall & fence materials include but are not limited to:
 - i. stucco over concrete masonry units (CMU)
 - ii. split face block
 - iii. brick
 - iv. stone
 - v. curved interlock blocks
 - vi. tubular steel, wrought iron bars, or other grill work
- j. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- k. The site is fairly level, but will likely require some retaining at the west perimeter adjacent to the Calvary parking lot.
 - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.
 - ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
 - iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- l. Grading and Drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
 - i. All measures shall be taken to provide public safety at pond locations.
 - ii. Site ponding shall be integrated with the landscape plan.
- m. Screening shall be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electrical Service Guide at www.pnm.com for specifications.

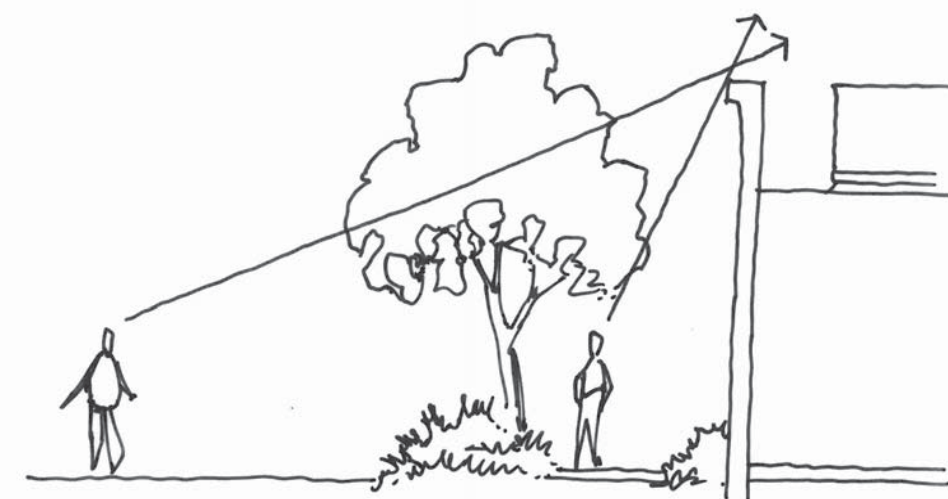


REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

VII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- a. All new electrical distributions lines shall be placed underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architectural design of buildings and site features shall demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Site Design Regulations for Non-Residential Uses of the City Zoning Code (14-16-3-18).
- b. Architectural Style
 - i. The development shall provide a cohesive material and color palette among all buildings.
 - ii. All buildings shall be "modern" in design.
 - iii. Historical references to traditional New Mexico styles shall be a modern interpretation of those styles.
 - iv. Generic franchise architecture is prohibited.
- c. Articulation
 - i. Buildings shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, or fenestration.
 - iii. Massing elements shall be reinforced with color variation or material distinctions.
- d. Materials
 - i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate.
 - ii. Individual building elements shall be of excellent design and quality materials such as:
 - 1. Metal wall panels
 - 2. Porcelain tile
 - 3. Natural stone panels
 - 4. Concrete
 - 5. Rammed earth
 - 6. Glass
 - 7. Stucco or Exterior Insulation & Finish System
 - 8. Brick or decorative concrete masonry units

iii. The following external building materials shall be prohibited:

- 1. Engineered wood paneling
- 2. Vinyl or plastic siding
- 3. Plain concrete masonry units
- iv. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patterned glazing is prohibited.
- v. Canopies, trellises, and awnings shall be of durable materials such as metal, corrugated metal, or steel.
- vi. Colors shall include light to medium earth tones with accent colors in limited areas.
 - 1. No more than one accent color shall be used per building.
 - 2. The use of contrasting colors for shade elements or awnings is encouraged.

IX. LIGHTING

To enhance safety, security and visual aesthetics, daytime and night-time appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the City of Albuquerque's Comprehensive Zoning Code.
- b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- c. All free-standing lights shall be of consistent design throughout the site.
- d. High pressure sodium & cobra-head type lighting fixtures are not permitted.
- e. Light fixtures shall be located on Site Development Plans for Building Permit
- f. The height of street lights and off-street parking areas lights shall not exceed 26 feet.
- g. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- h. Pedestrian lighting shall not exceed 12 feet in height.
- i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- j. Exterior elevations of buildings fronting the public right-of-way may be feature lighted to enhance the identity of the building.

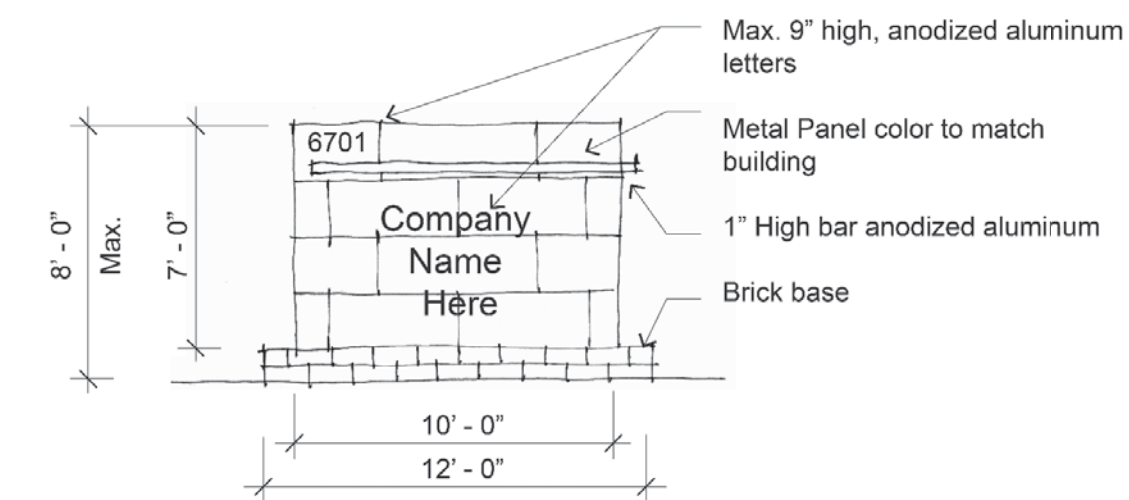


LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

X. SIGNAGE

Signage and graphics shall create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

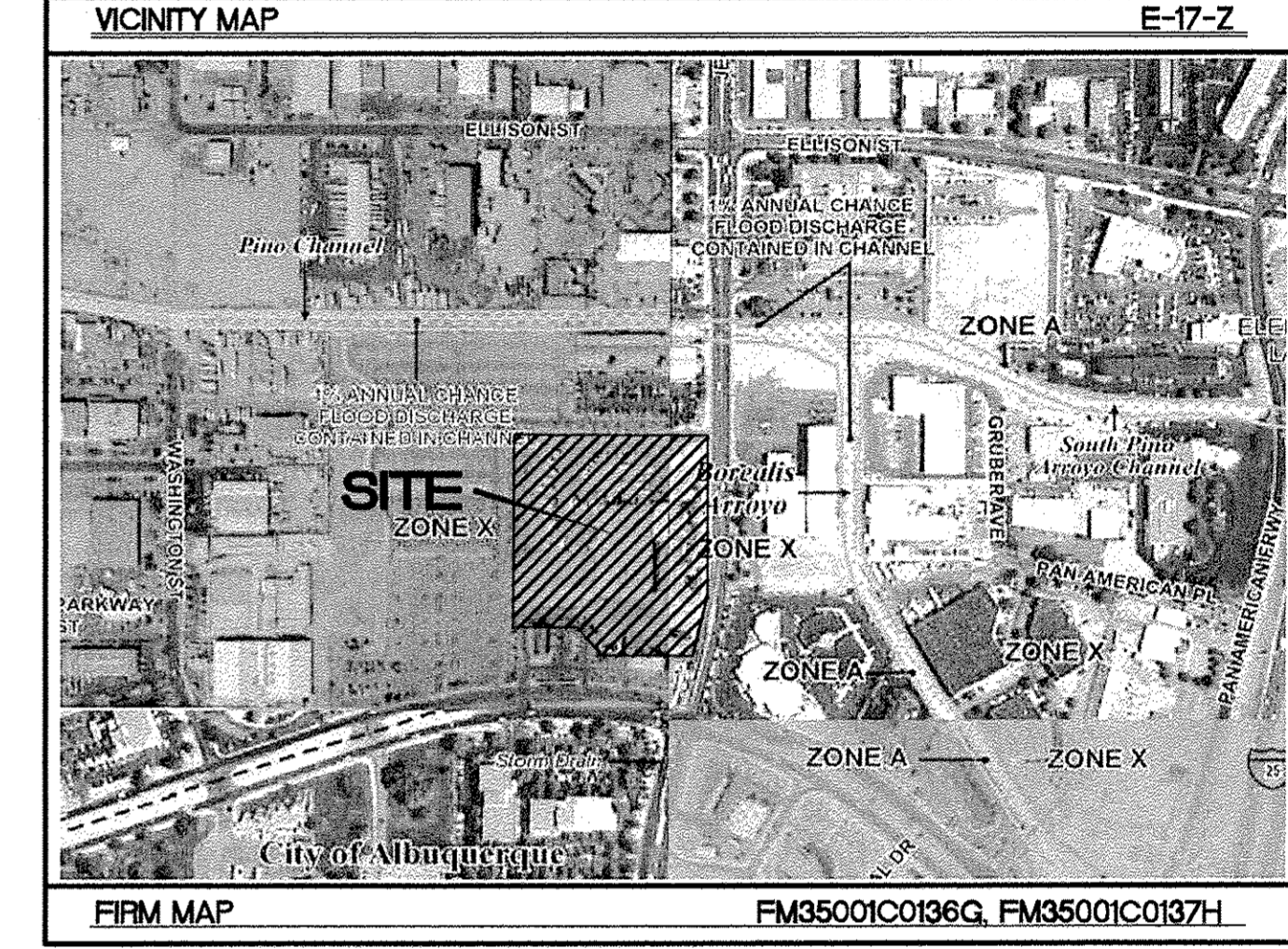
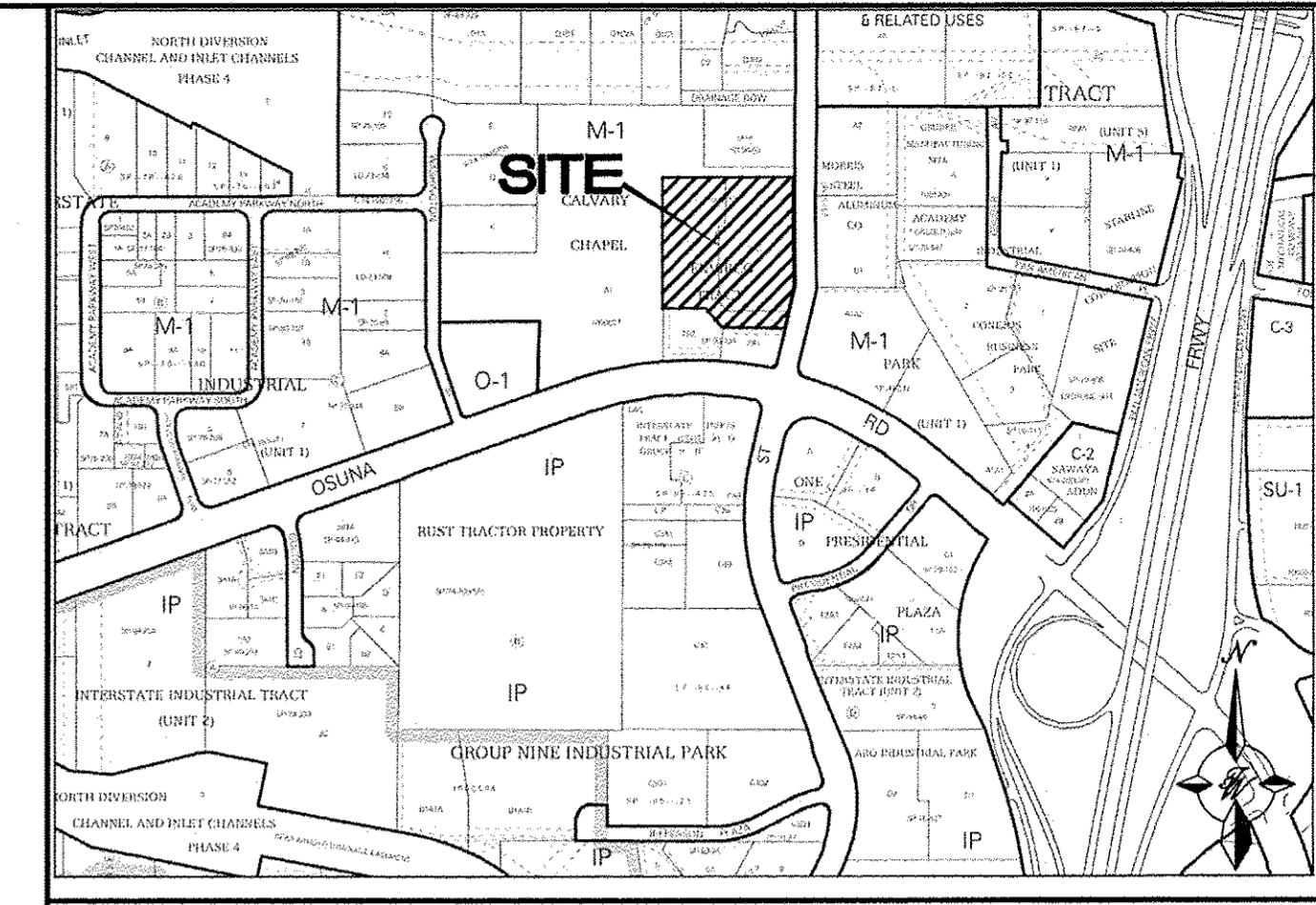
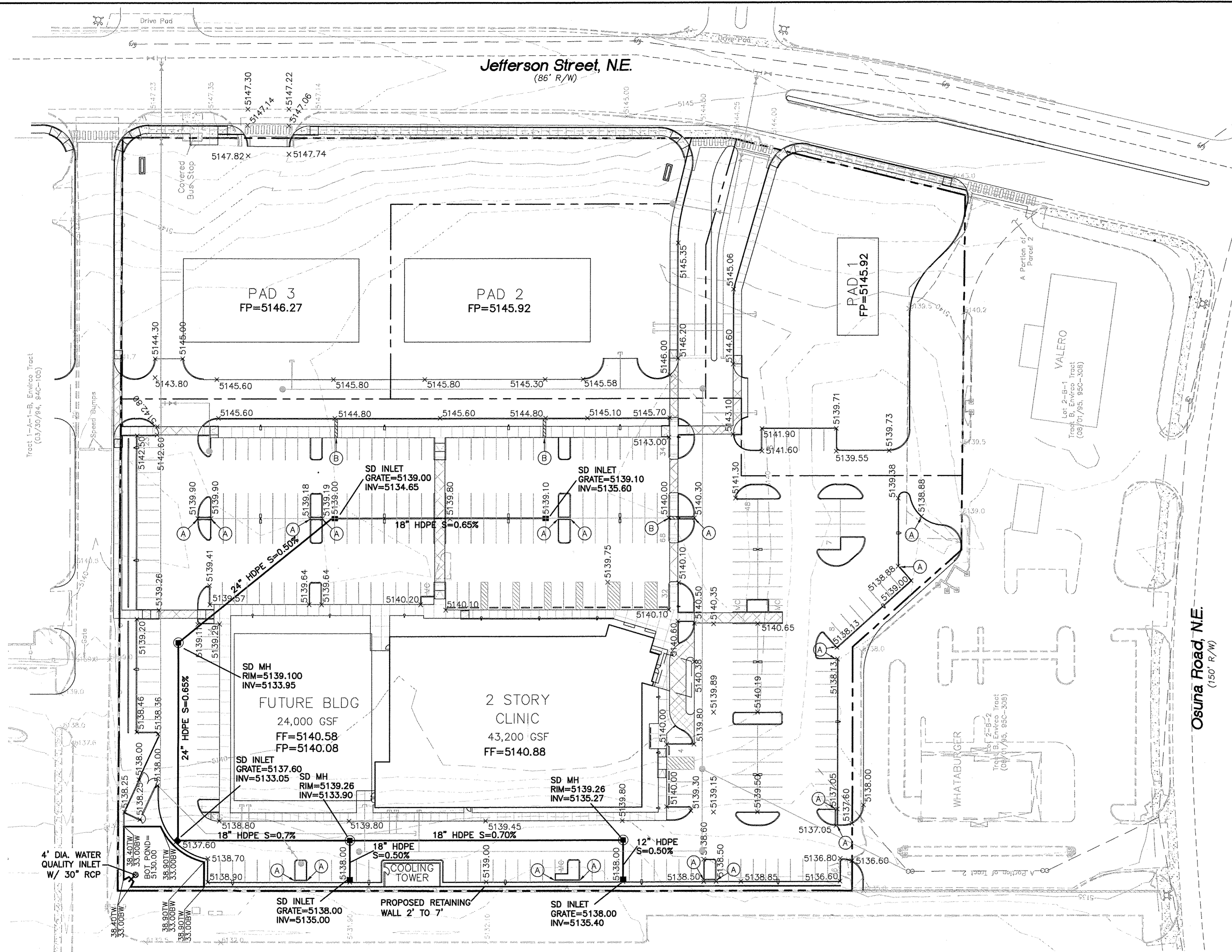
- a. Signage shall comply with the Section 14-16-3-5 General Sign Regulations of the City of Albuquerque's Code of Ordinances.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs shall comply with Section 14-16-3-2(B) (4) and are permissible at the rate of one sign for each 300 feet of frontage on an arterial roadway. These signs shall be coordinated to have the same appearance (height, size, color, material, text height, style etc.) at all locations.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.



SIGNAGE - should be coordinated with building and forms.

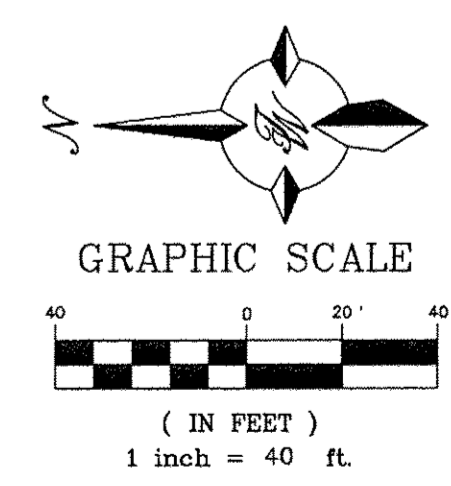
XI. PROCESS

Site Development Plans for Building Permit shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by this Site Development Plan for Subdivision.



LEGEND

| | |
|--|-----------------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | BUILDING |
| | RETAINING WALL |
| | 5010 CONTOUR MAJOR |
| | 5011 CONTOUR MINOR |
| | x 5048.25 SPOT ELEVATION |
| | EXISTING CURB & GUTTER |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | x 5048.25 EXISTING SPOT ELEVATION |



NOTICE TO CONTRACTORS

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JUNE, 2014.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

KEYED NOTE:

- (A) CURB CUT
- (B) SIDEWALK CULVERT

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

| | | |
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| | 6701 JEFFERSON ST ALBUQUERQUE, NM | DRAWN BY pm |
| | GRADING AND DRAINAGE PLAN | DATE 1-29-16 |
| | | DRAWING 2014065-GR |
| 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | | SHEET # GR-1 |
| VINCENT P. CARRICA P.E. #16212 | | JOB # 2014065 |