

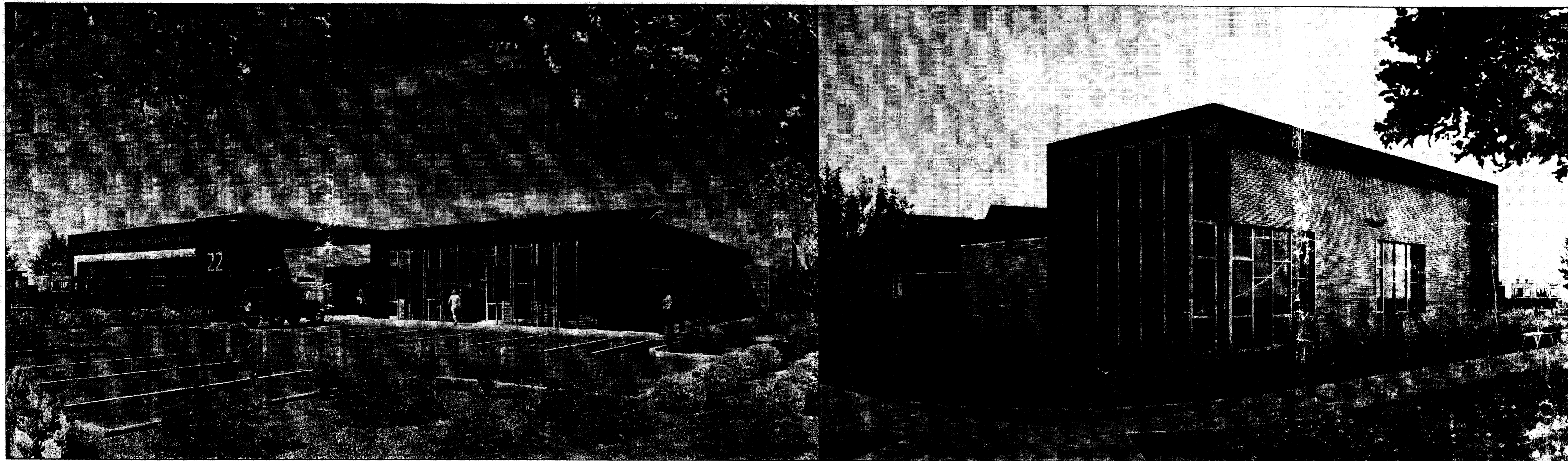
PROJECT # 1005542

# Mesa Del Sol

Employment Center - Phase One  
MESA DEL SOL FIRE STATION  
Albuquerque, New Mexico

## DRB SUBMITTAL: Site Plan for Building Permit

09-02-2008



### DRAWING INDEX

- SHEET 1 OF 7 COVER
- SHEET 2 OF 7 SITE PLAN
- SHEET 3 OF 7 LANDSCAPE PLAN
- SHEET 4 OF 7 WATER HARVESTING PLAN
- SHEET 5 OF 7 PRELIMINARY GRADING PLAN
- SHEET 6 OF 7 CONCEPTUAL UTILITY PLAN
- SHEET 7 OF 7 BUILDING ELEVATIONS

PROJECT TEAM

**OWNER**

FOREST CITY COVINGTON NM, LLC  
801 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106  
(505) 400-3021  
FAX: (505) 242-2978

**ARCHITECT/PLANNER**

DEKKER/PERICH/SABATINI, LTD.  
6801 JEFFERSON ST., N.E. SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700  
FAX: (505) 761-4222

**LANDSCAPE ARCHITECT**

DEKKER/PERICH/SABATINI, LTD.  
6801 JEFFERSON ST., N.E. SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700  
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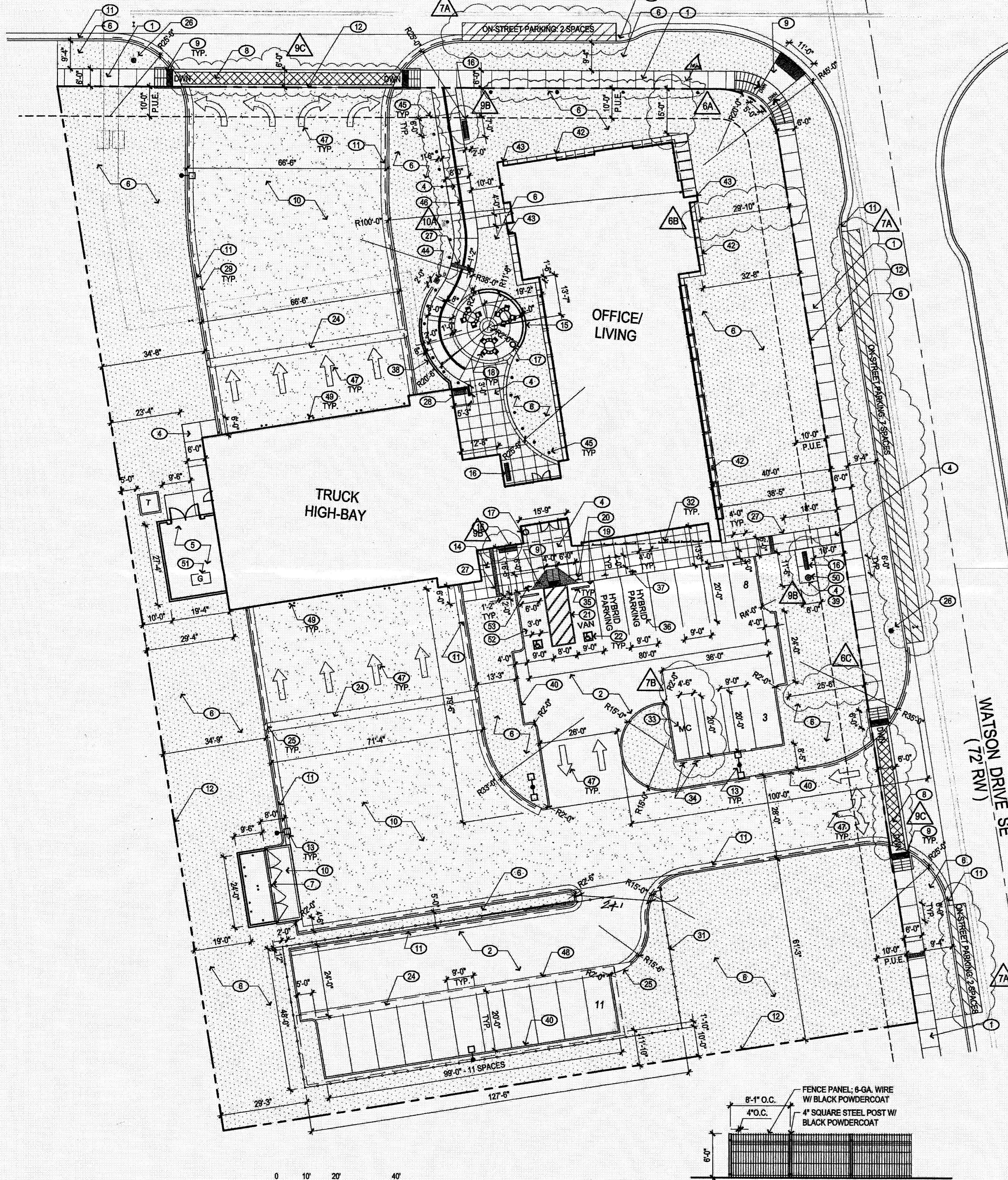
**AGENT**

DENISH + KLINE ASSOCIATES  
500 MARQUETTE NW STE 350  
ALBUQUERQUE, NM 87103  
(505) 842-6461  
FAX: (505) 842-6471

**CIVIL ENGINEER**

BOHANNAN HUSTON, INC.  
7500 JEFFERSON ST., NE  
ALBUQUERQUE, NM 87109-4335  
505-623-1000  
FAX: 505-798-7988

SOLAR MESA AVENUE SE  
(72' RW)



**SITE INFORMATION**

LEGAL DESCRIPTION  
THE NORTHEAST CORNER OF TRACT L  
BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK II  
RECORDED: 8-7-08 BOOK: 2008C PAGE: 0175  
FINAL PLAT PENDING

GROSS BUILDING AREA (GBA):  
BUILDING (1 STORY) = 12,200 SF.

TOTAL SITE AREA: 78,919 SF = 1.81 ACRES  
GROSS F.A.R. (GBA/site area) = 0.15

**PARKING INFORMATION**

1. PARKING REQUIREMENTS FOR FIRE HOUSE:  
OCCUPANT LOAD FOR PUBLIC MEETING SPACE  
1 SPACE FOR EACH 4 SEATS  
PUBLIC ASSEMBLY PLACE PER COA ZONING CODE.  
20 SEATS = 5 PARKING SPACES  
CREW PARKING SPACES = 11 (1 PER PERSON)  
SHIFT CHANGE = 11 (1 PER PERSON)

TOTAL PARKING REQUIRED = 27 PARKING SPACES

PROVIDED: 27 PARKING SPACES  
11 SECURE PARKING  
11 PUBLIC PARKING  
11 ON-STREET PARKING/ 2 = 5 PARKING SPACES

2. HANDICAP PARKING STALLS REQUIRED:  
1-25 PARKING STALLS REQUIRED  
(1 VAN ACCESSIBLE)

PROVIDED: 2 HC STALL (1 VAN ACCESSIBLE).

3. BICYCLE PARKING REQUIRED: (1-20 AUTOS)  
TOTAL: 2 SPACES

PROVIDED: 2 SPACES

4. MOTORCYCLE PARKING REQUIRED:  
1-25 PARKING STALLS, 1 MOTORCYCLE SPACE REQUIRED.  
TOTAL: 1 SPACE

PROVIDED: 2 SPACES

5. HYBRID CAR PARKING REQUIRED:  
5% OF BUILDING OCCUPANTS: 2 SPACES REQUIRED.

PROVIDED: 2 SPACES

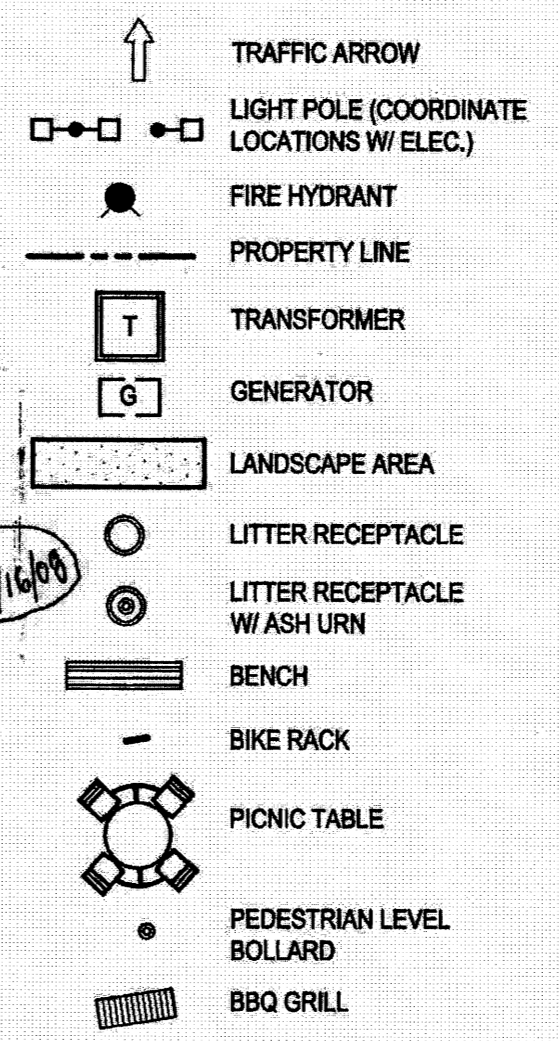
**GENERAL NOTES**

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE.
- B. SEE CONCEPTUAL CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
- C. SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING.
- D. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- E. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD. DWG. #2428.
- F. THE PROJECT WILL BE CONSTRUCTED ALL AT ONCE. IT WILL NOT BE PHASED.
- G. ALTERNATIVE TRANSPORTATION FACILITIES: THE PROJECT INCORPORATES SIDEWALKS AND BIKE RACKS.

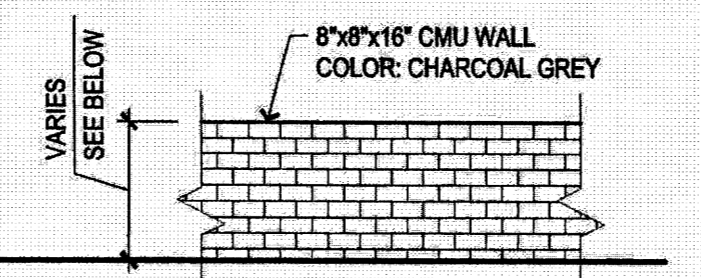
**KEYED NOTES**

- 1. CONCRETE SIDEWALK. COA STD. DWG. #2720.
- 2. ASPHALT PAVING.
- 3. CONCRETE PAVING AT PATIO.
- 4. CONCRETE WALK WITH CONTROL JOINTS
- 5. SERVICE YARD CMU SCREEN WALL (8'-0" A.F.F.).
- 6. LANDSCAPE AREA, TYP. SEE L101.
- 7. DOUBLE ENCLASURE (SOLID WASTE/RECYCLE). SEE 2/A001.
- 8. SCORED COLORED CONCRETE PAVING AT PEDESTRIAN CROSSINGS.
- 9. ACCESSIBLE RAMP: SEE 10A01.
- 10. HEAVY DUTY CONCRETE PAVING.
- 11. CURB AND GUTTER. SEE COA STD. DWG # 2415B
- 12. PROPERTY LINE.
- 13. SITE LIGHTING. POLE LIGHTS @ 20' HIGH, MAX.
- 14. BIKE RACK
- 15. 10" HIGH CONCRETE SEAT WALL.
- 16. BENCH.
- 17. LITTER RECEPTACLE
- 18. PICNIC TABLE
- 19. VAN ACCESSIBLE PARKING.
- 20. VAN ACCESSIBLE SIGN.
- 21. 4" WIDE PAINTED (SAFETY WHITE) STRIPING, TYP.
- 22. PAINTED A.D.A. PAVEMENT SIGNAGE
- 23. EXISTING FIRE HYDRANT.
- 24. VALLEY GUTTER. SEE CIVIL PLAN.
- 25. CURB BREAKS. SEE CIVIL PLAN.
- 26. FIRE HYDRANT, SEE CIVIL.
- 27. SIDEWALK CULVERT WITH STEEL PLATE TOP, TYP. SEE COA STD. DWG # 2238.
- 28. BBQ GRILL
- 29. CURB PAINTED RED W/ SAFETY WHITE LETTERING "FIRE LANE - NO PARKING" AT 12'-0" O.C. / DASHED LINE INDICATES EXTENTS.
- 30. NOT USED.
- 31. SECURE FIREFIGHTER PARKING TO PREVENT THEFT/ VANDALIZATION OF VEHICLES / 6'-HIGH STEEL SECURITY FENCE W/ MOTORIZED GATE. SEE DETAIL 3 BELOW.
- 32. VERTICAL SOLAR PANEL ARRAYS.
- 33. MOTORCYCLE PARKING.
- 34. MOTORCYCLE ONLY PARKING SIGN.
- 35. 8'-0" WIDE CONCRETE WHEEL STOP.
- 36. HYBRID CAR PARKING.
- 37. HYBRID CAR PARKING SIGN.
- 38. CMU SITE WALL. SEE DETAIL 4/A001.
- 39. SMOKING AREA.
- 40. 6" CONCRETE HEADER CURB.
- 41. NOT USED.
- 42. CONCRETE APRON.
- 43. ALIGN CONCRETE APRON W/ FACE OF FINISH OF STUCCO WALL.
- 44. FLAGPOLE
- 45. PEDESTRIAN LEVEL LIGHTING. 10A
- 46. COLORED CONCRETE STRIPE
- 47. ARROW INDICATES DIRECTION OF TRAVEL ONLY.
- 48. PRE-MANUFACTURED CARPORT STRUCTURE.
- 49. PIPE BOLLARD
- 50. LITTER RECEPTACLE WITH ASH URN.
- 51. EMERGENCY GENERATOR.
- 52. ACCESSIBLE PARKING.
- 53. ACCESSIBLE PARKING SIGN.

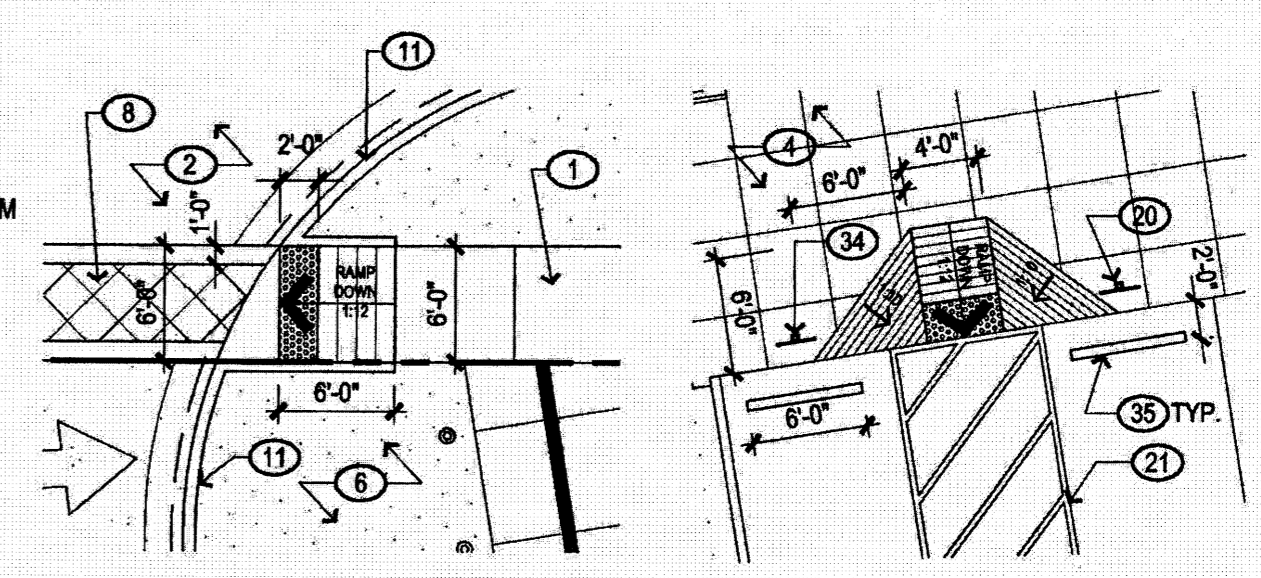
**LEGEND**



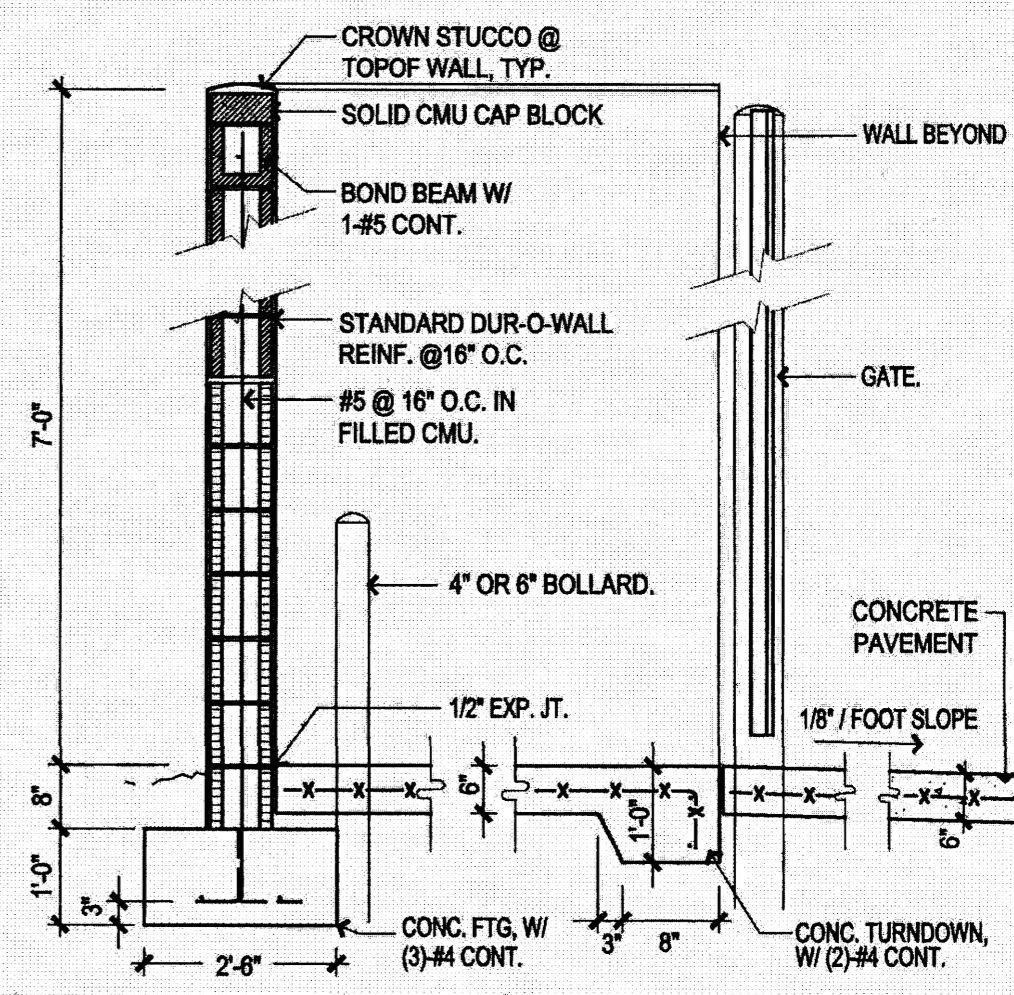
AFD PLANS CHECKING OFFICE  
824-3611  
APPROVED/DISAPPROVED  
9/17/08  
SIGNATURE & DATE



VERTICAL DIMENSIONS:  
7'-0" @ REFUSE ENCLASURE, (SOUTH OF APPARATUS BAYS)  
5'-10" @ SERVICE YARD SCREEN WALL (ADJACENT WEST OF TRUCK BAYS)  
4'-0" @ COURTYARD SCREEN WALL (NORTHEAST CORNER OF TRUCK BAYS)



1 TYPICAL ACCESSIBLE RAMP  
1" = 10'-0"



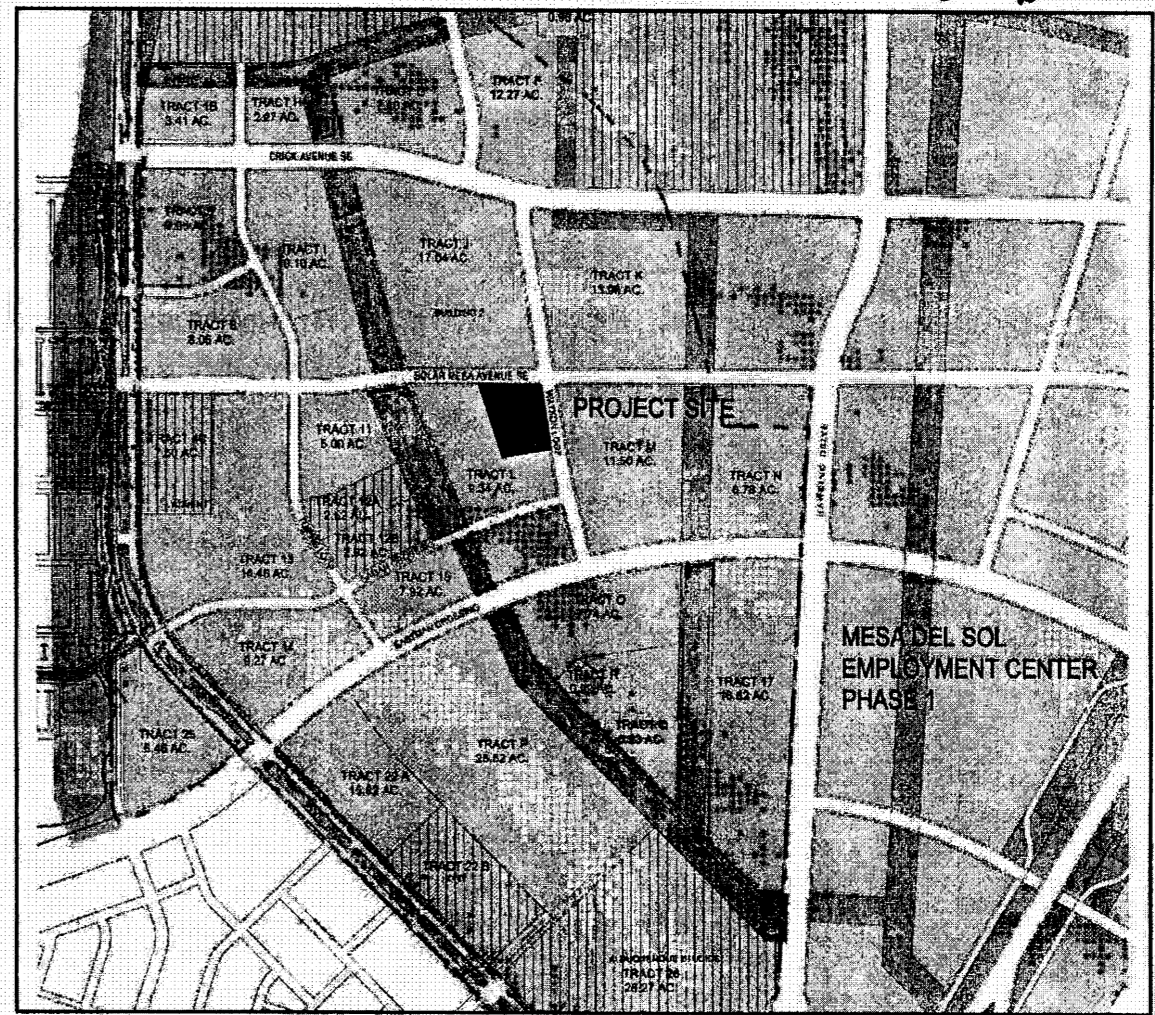
2 ENCLOSURE SECTION  
1/2" = 1'-0"

PROJECT NUMBER: #1005542  
APPLICATION NUMBER: EPC Site Development Plan-Building Permit

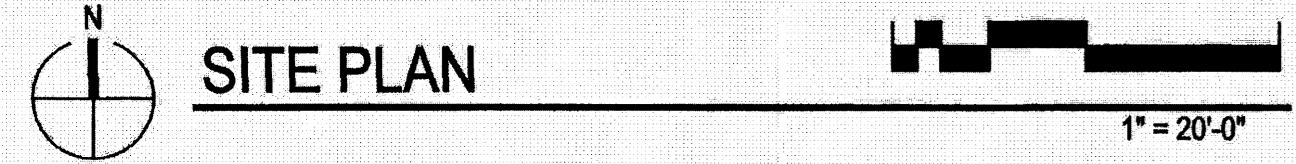
Is an Infrastructure List Required? (x) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	9/17/08
TRANSPORTATION ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	11-25-09
UTILITIES DIVISION	DATE
<i>[Signature]</i>	9/17/08
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	9-17-08
CITY ENGINEER	DATE
<i>[Signature]</i>	9/17/08
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	12-03-09
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



VICINITY MAP  
SCALE: 1"=1000'



SITE PLAN  
1" = 20'-0"

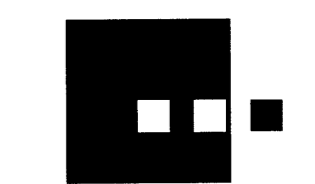
3 SECURITY FENCE ELEVATION  
1/8" = 1'-0"

4 CMU SITE WALL ELEVATION  
1/8" = 1'-0"

REVISIONS

△	EPC Comment 08.12.08
△	Site Plan, F.Rts Avenue alignment change
△	
△	

DRAWN BY: SZ/ SY  
REVIEWED BY: KR  
DATE: August 27, 2007  
PROJECT NO.: 07025  
DRAWING NAME: SITE PLAN



**Dekker  
Perich  
Sabatini**

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ARCHITECT

ENGINEER

PROJECT

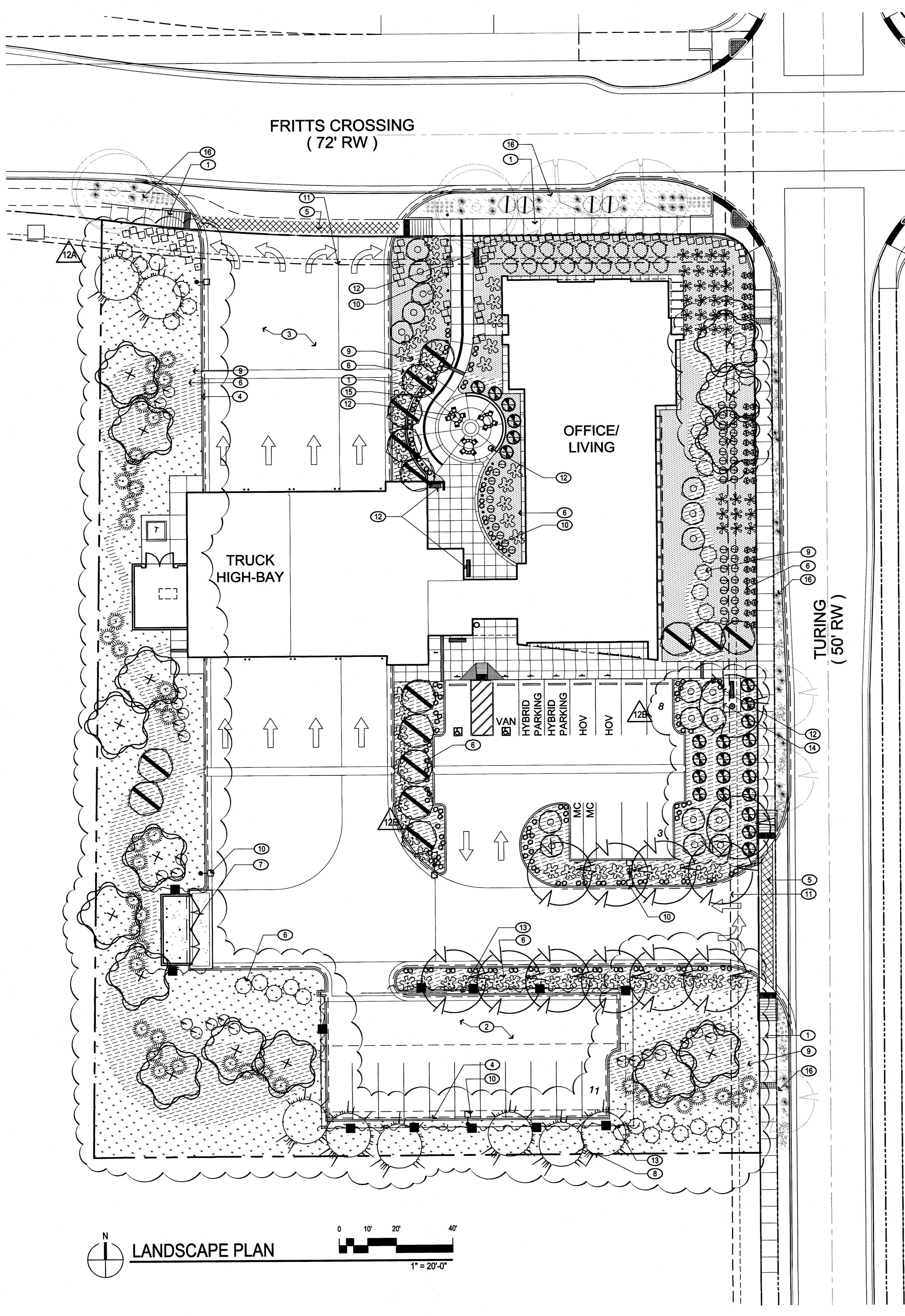
**FIRE HOUSE  
@ MESA DEL SOL  
ALBUQUERQUE, NEW MEXICO**

REVISIONS  
△  
△  
△  
△

DRAWN BY SZJ/SY  
REVIEWED BY MB  
DATE OCTOBER 20, 2009  
PROJECT NO. 07025.004  
DRAWING NAME

**LANDSCAPE PLAN  
FULL BUILDOUT**

SHEET NO. **L101**  
3 OF 6



**PLANTING NOTES**

- LANDSCAPE DESCRIPTION: THE LANDSCAPE DESIGN UTILIZES HIGHLY VISIBLE AREAS OF NATIVE GRASSES TO REINFORCE THE SPECIAL LOCATION OF THE PROJECT - ON A HIGH DESERT GRASSLAND MESA. NATIVE SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT, AND ESTABLISH WILDLIFE HABITAT.
- EXISTING PLANT MATERIAL: THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- WATER USE DESCRIPTION: PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES. THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED. THERE IS NO HIGH WATER USE TURF ON THIS PROJECT.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- LANDSCAPE AREAS SHALL BE COVERED WITH VARIOUS MULCH TYPES OR SEEDED. SEE PLANT LEGEND.
- LANDSCAPE BUFFER AREA LOCATED ON THE SW AND SE EDGES OF THE PROPERTY.
- TREE PITS TO BE 3.5 TIMES THE ROOT BALL DIAMETER. SHRUB PITS TO BE 3 TIMES THE CONTAINER DIAMETER.
- SOIL PREPARATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING: PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE, SEE L102.
- PONDING AREA IS LOCATED OFF SITE. SEE CONCEPTUAL GRADING AND DRAINAGE PLAN.
- IRRIGATION PLAN

- NOTE THAT AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL SUPPLY THE IRRIGATION PLAN AND DETAILS FOR ARCHITECT REVIEW AND APPROVAL.
- WE HAVE ADDED NOTES TO THE LANDSCAPE PLAN THAT WILL ENSURE THAT A FUTURE IRRIGATION SYSTEM DESIGN WILL FUNCTION AS DESIRED.
- CONTRACTOR TO APPLY NECESSARY NATURAL RABBIT REPELLANTS TO PLANT MATERIAL.

**PLANT SCHEDULE**

Trees	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
	12		24" Box Multi-trunk	CHITALPA	Chitalpa x tashkentensis	30.00	30.00	Low Water Use	6-2 GPH
	15		24" Box Multi-trunk	NEW MEXICO OLIVE	Forestiera neomexicana	12.00	12.00	Medium Water Use	4-2 GPH
	8		10' Height, B & B	AFGHAN PINE	Pinus eldarica	30.00	20.00	Medium Water Use	6-2 GPH
	15		24" Box Multi-trunk	CHASTE TREE	Vitex agnus-castus	25.00	20.00	Medium Water Use	4-2 GPH
Shrub	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
	19		1-Gal	BIRD OF PARADISE	Caesalpinia gillesii	10.00	8.00	Low Water Use	2-2 GPH
	29		5-Gal	FERNBUSH	Chamaebatia millefolium	5.00	5.00	Low Water Use	2-2 GPH
	24		1-Gal	MOONLIGHT BROOM	Cytisus x scoparius 'Moonlight'	5.00	5.00	Low Water Use	2-2 GPH
	24		1-Gal	APACHE PLUME	Fallugia paradoxa	5.00	6.00	Low Water Use	2-2 GPH
Perennials	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
	83		1-Gal	WINECUPS	Callirhoe involucrata	1.00	2.50	Low Water Use	2-1 GPH
	46		5-Gal	GROSSO LAVENDER	Lavandula x intermedia 'Grosso'	2.50	2.50	Medium Water Use	2-2 GPH
	12		1-Gal	TRUMPET VINE	Campsis radicans	12.00	8.00	Medium Water Use	2-2 GPH
Succulent	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
	33		5-Gal	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use	2-2 GPH
	70		5-Gal	DESERT PRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use	2-1 GPH
Grass	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
	152		1-Gal	THREADGRASS	Nassella tenuissima	2.00	2.00	Low Water Use	2-1 GPH
	43		1-Gal	GIANT SACATON	Sporobolus wrightii	4.00	5.00	Low Water Use	2-2 GPH
	47		1-Gal	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides	2.00	2.00	Medium Water Use	2-2 GPH
	18		5-Gal	MAIDEN GRASS	Miscanthus sinensis	8.00	5.00	Medium Water Use	2-2 GPH
Mulch/Seed	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
		28,498 SF	Rate: One .6 Cubic foot bag/1,000 SF One .6 Cubic foot bag/2,000 SF	Soil Biology Amendment Terra-Pro Commercial Protein Crumbles				For use over plant pits in all landscape areas Total includes two applications. See specifications.	
		6,273 SF	Size: Crusher Fine	Mulch: 2" Depth over filter fabric Color: Santa Fe Brown					
		12,800 SF	Size: Cobble	Mulch: 6" Depth over filter fabric Color: Santa Ana Tan					
		11,288 SF	Rate: 2lbs/1000 SF	Homesteader's Choice Curtis and Curtis				Spray irrigated until established	

**PLANT SCHEDULE: STREETSCAPE**

Trees	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
		2	2 1/2" Cal	CHINESE PISTACHE	Pistacia chinensis	35.00	35.00	Medium Water Use	6-2 GPH
		2	2 1/2" Cal	THORNLESS HONEYLOCUST	Gleditsia triacanthos 'Inermis'	40.00	30.00	Medium Water Use	6-2 GPH
		3	24" Box	CHITALPA	Chitalpa x tashkentensis	30.00	30.00	Low Water Use	6-2 GPH
Shrub	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
		144	1-Gal	DESERT MARIGOLD	Balleya multiradiata	1.50	1.50	Low Water Use	2-1 GPH
		4	1-Gal	APACHE PLUME	Fallugia paradoxa	5.00	6.00	Low Water Use	2-2 GPH
Succulent	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
		23	5-Gal	PALMER'S AGAVE	Agave palmeri	2.00	2.00	Low Water Use	2-1 GPH
Grass	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
		38	1-Gal	NASHVILLE MUHLEY	Muhlenbergia rigida 'Nashville'	2.00	2.00	Low Water Use	2-1 GPH
Mulch/Seed	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements	Emitter Requirements
		2,170 SF	Size: 3/8"	Mulch: 2" Depth over filter fabric Color: Desert Tan					

- 10B LIGHTING**
- ALL LIGHTING SHALL COMPLY TO LIGHTING STANDARDS OF THE MESA DEL SOL EMPLOYMENT CENTER MASTER DEVELOPMENT PLAN.
  - ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
  - LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
  - LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.

- 14A IRRIGATION NOTES**
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
  - THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. SEE DETAILS C1/C2 L201 FOR EMITTER PLACEMENT AND POLYTUBE CONNECTIONS.
  - CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.
  - DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL, OTHER THEN SEEDED AREAS.
  - THE LANDSCAPE CONTRACTOR, AT THE TIME OF THE 11 MONTH REVIEW, WILL SHUT OFF ALL SPRAY IRRIGATION.

**LANDSCAPE CALCULATIONS**

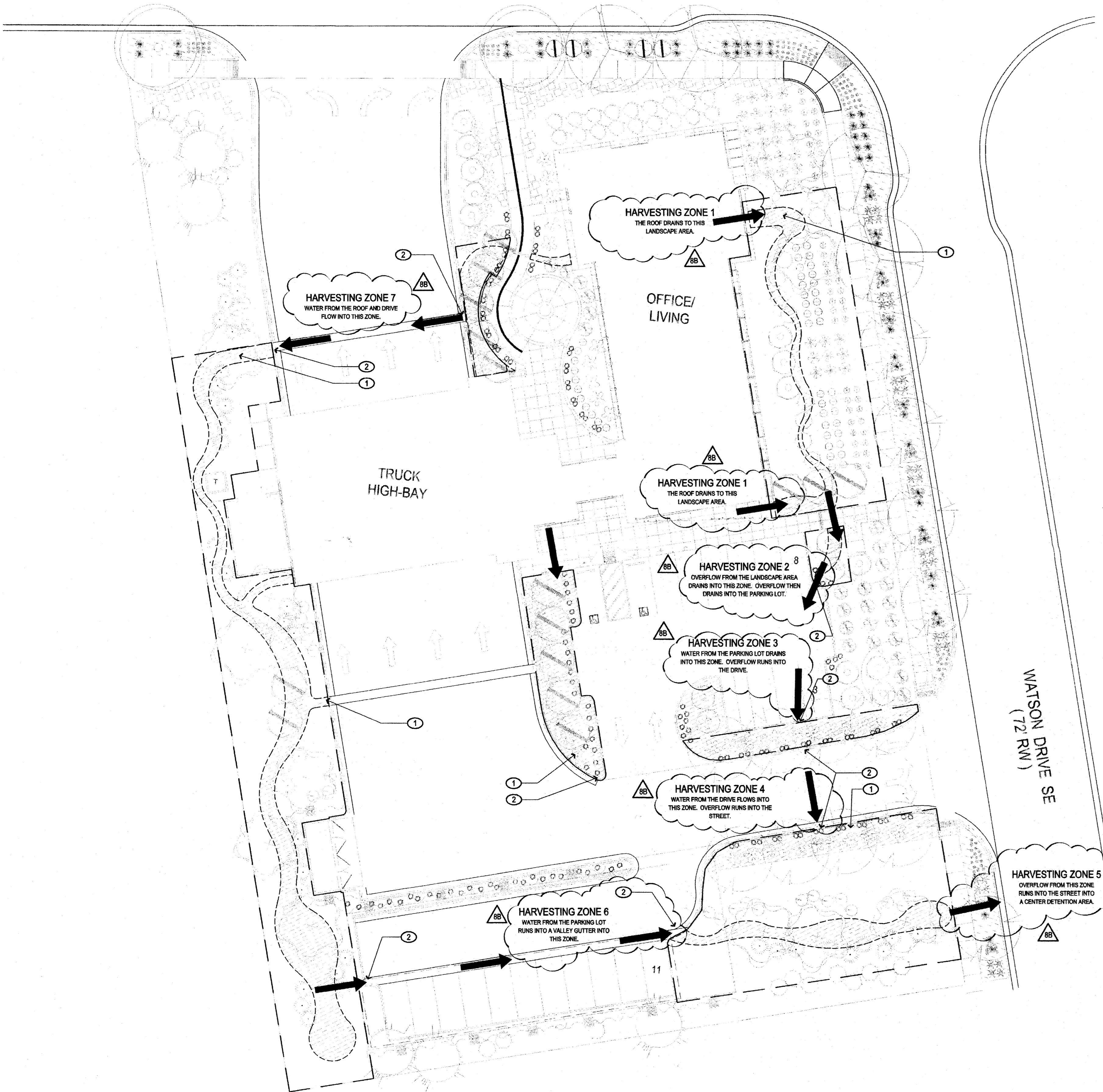
SITE AREA: 74,998 SF = 1.72 ACRES  
 TOTAL BUILDING: 12,200 SF  
 NET SITE AREA: 62,798 SF  
 REQUIRED LANDSCAPE AREA: 9,419 SF (15% OF NET LOT AREA)  
 PROVIDED LANDSCAPE AREA: 30,324 SF  
 STREET TREES ALONG FRITTS CROSSING TOTAL: 4 TREES, 140 LF  
 STREET TREES ALONG TURING LOOP TOTAL: 3 TREES, 230 LF

**KEYED NOTES**

- CONCRETE SIDEWALK. SEE A001
- ASPHALT PAVING.
- HEAVY DUTY CONCRETE PAVING.
- CURB AND GUTTER. SEE A001.
- DECORATIVE CONCRETE PAVING. SEE A001
- LANDSCAPE AREA.
- DOUBLE ENCLOSURE (SOLID WASTE/RECYCLE). SEE 2/A001.
- PROPERTY LINE.
- WATER HARVESTING ZONE: SEE CIVIL PLAN.
- SITE LIGHTING. SEE A001.
- 10' PUE.
- SITE FURNISHING. SEE A001.
- SECURITY FENCE. SEE A001.
- SMOKING AREA. SEE A001.
- SITE WALL. SEE A001.
- STREETSCAPE LANDSCAPING



SOLAR MESA AVENUE SE  
(72' RW)



**GENERAL NOTES**

PASSIVE WATER HARVESTING:  
HARVESTING OF STORMWATER SURFACE RUNOFF AND ROOF RUNOFF ARE THE HATCHED AREAS NOTED ON THE PLAN.

ZONES  
WATER HARVESTING SWALES AS SHOWN ON THE PLAN WILL HELP CAPTURE THE WATER FROM SURFACE RUNOFF AND ROOF RUNOFF, AND WILL PROVIDE SUPPLEMENTAL WATER FOR PLANTS WITHIN THE WATER HARVESTING ZONES.

CURB CUTS  
THE SITE PLAN HAS CURB CUTS IN AREAS ALONG THE PARKING LOT AND DRIVEWAY AS NOTED ON THE PLAN TO HELP DRAIN THE WATER AWAY FROM THE BUILDING AND INTO VARIOUS LANDSCAPE AREAS.

**KEYED NOTES**

1. WATER HARVESTING ZONE: SEE GRADING PLAN
2. CURB BREAKS: SEE SITE PLAN

**LANDSCAPE WATER DEMAND CALCULATIONS**

LANDSCAPING  
WATER USAGE AMOUNTS BELOW ARE BASED ON ESTABLISHED PLANTINGS;  
WATER USAGE DURING ESTABLISHMENT IS CONSIDERABLY GREATER, DUE TO PLANT ROOTING AND WEATHER CONDITIONS DURING THAT PERIOD.  
(LWU = LOW WATER USE, MWU = MEDIUM WATER USE, HWU = HIGH WATER USE)

PREPARED FOR LEED CALCULATIONS

Trees

Month	Seasonal Factor	# trees LWU	LWU Gallons per Week	Total LWU Gallons per Week	# trees MWU	MWU Gallons per Week	Total MWU Gallons per Week	# trees HWU	HWU Gallons per Week	Total HWU Gallons per week	Gallons per week	Monthly Average Gallons per day
January	0.4	10	8	32	33	12	158.4	0	20	0	190.4	27
February	0.7	10	8	56	33	12	277.2	0	20	0	333.2	48
March	1	10	8	80	33	12	396	0	20	0	476	68
April	1	10	8	80	33	12	396	0	20	0	476	68
May	1.2	10	8	96	33	12	475.2	0	20	0	571.2	82
June	1.4	10	8	112	33	12	554.4	0	20	0	668.4	95
July	1.5	10	8	120	33	12	594	0	20	0	714	102
August	1.2	10	8	96	33	12	475.2	0	20	0	571.2	82
September	1	10	8	80	33	12	396	0	20	0	476	68
October	1	10	8	80	33	12	396	0	20	0	476	68
November	0.7	10	8	56	33	12	277.2	0	20	0	333.2	48
December	0.4	10	8	32	33	12	158.4	0	20	0	190.4	27
											Gallons per year	23720.6687

Shrubs (Includes accents, perennials and ornamental grasses)

Month	Seasonal Factor	# shrubs LWU	LWU Gallons per Week	Total LWU Gallons per Week	# shrubs MWU	MWU Gallons per Week	Total MWU Gallons per Week	# shrubs HWU	HWU Gallons per Week	Total HWU Gallons per week	Gallons per week	Monthly Average Gallons per day
January	0.4	537	1	214.8	128	2	102.4	0	4	0	317.2	45
February	0.7	537	1	375.9	128	2	179.2	0	4	0	555.1	79
March	1	537	1	537	128	2	256	0	4	0	793	113
April	1	537	1	537	128	2	256	0	4	0	793	113
May	1.2	537	1	644.4	128	2	307.2	0	4	0	951.6	136
June	1.4	537	1	751.8	128	2	358.4	0	4	0	1110.2	159
July	1.5	537	1	805.6	128	2	384	0	4	0	1189.6	170
August	1.2	537	1	644.4	128	2	307.2	0	4	0	951.6	136
September	1	537	1	537	128	2	256	0	4	0	793	113
October	1	537	1	537	128	2	256	0	4	0	793	113
November	0.7	537	1	375.9	128	2	179.2	0	4	0	555.1	79
December	0.4	537	1	214.8	128	2	102.4	0	4	0	317.2	45
											Gallons per year	39517.8333

**Seeded / Sodded Areas**

Assumptions  
Estimated area 17234  
Estimated demand inches/year 15 Inches (Curtis and Curtis: Homesteader's Choice seed blend: 10-25 inches per year)

Month	area	inches per month	average inches per day	Monthly Total Gallons	Monthly Average Gallons per day
January	17234	0.1	0.00	1074	35
February	17234	0.1	0.00	1074	38
March	17234	0.7	0.02	7521	243
April	17234	1.8	0.06	19339	645
May	17234	1.25	0.04	13430	433
June	17234	3.2	0.11	34381	1148
July	17234	1.75	0.06	18802	607
August	17234	1.75	0.06	18802	607
September	17234	2	0.07	21489	716
October	17234	2	0.06	21489	693
November	17234	0.25	0.01	2686	90
December	17234	0.1	0.00	1074	35
				161159	

Total Demand: Landscaping

Month	trees-gallons per day	shrubs-gallons per day	seed/sod area-gallons per day	total gallons per day	Total Gallons per Month
January	27	45	35	107	3322
February	48	79	38	165	4828
March	88	113	243	424	13141
April	88	113	645	826	24778
May	82	136	433	651	20174
June	95	159	1148	1400	41995
July	102	170	607	878	27232
August	82	136	607	824	25546
September	88	113	716	898	26926
October	88	113	693	874	27109
November	48	79	90	216	6483
December	27	45	35	107	3322

Average Daily Landscape Demand 614 gallons

Average Yearly Landscape Demand 208677 gallons

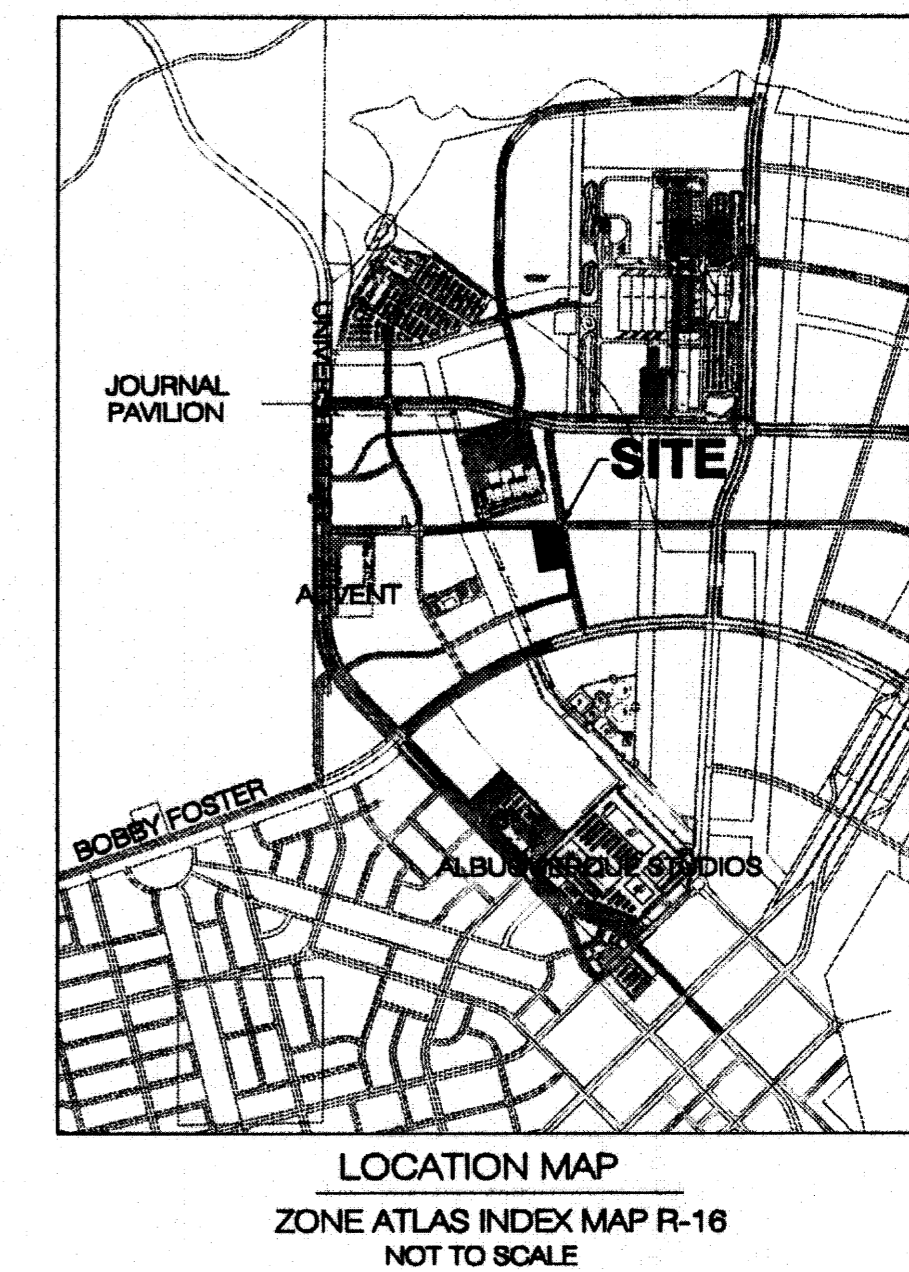
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REVISIONS	
△	BPC COMMENTS 8-13-08
△	PRINTED ROAD ALIGNMENT 8-13-08
△	
△	

DRAWN BY  
REVIEWED BY  
DATE **AUGUST 11, 2008**  
PROJECT NO. **07025**  
DRAWING NAME

**GRADING AND  
DRAINAGE  
PLAN**

SHEET NO.  
**C100**



**LEGEND**

---	PROPERTY LINE
-5.301-	EXISTING CONTOURS
65.25	EXISTING GROUND SPOT ELEVATION
●	EXISTING ELECTRICAL POLE
65.23	PROPOSED SPOT ELEVATION
TC	TOP OF CURB; FL=FLOW LINE
IN	INVERT ELEVATION
S=2.0%	PROPOSED DIRECTION OF FLOW
~~~~~	WATER BLOCK
-5.305-	PROPOSED INDEX CONTOURS
---	PROPOSED INTER CONTOURS
---	PROPOSED CURB & GUTTER
⊙	EXISTING STORM DRAIN MANHOLE

**GENERAL NOTES**

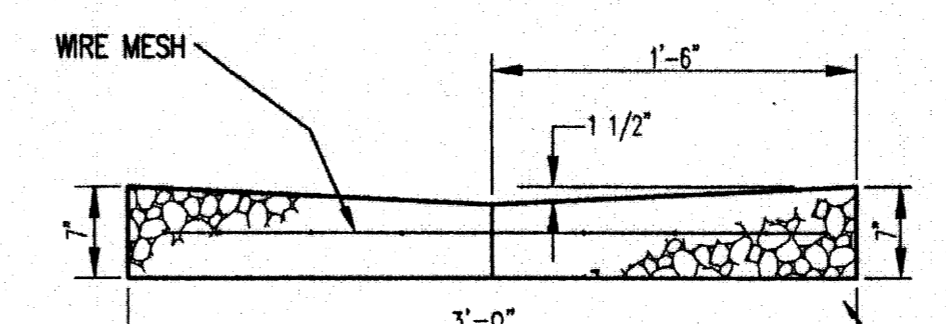
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

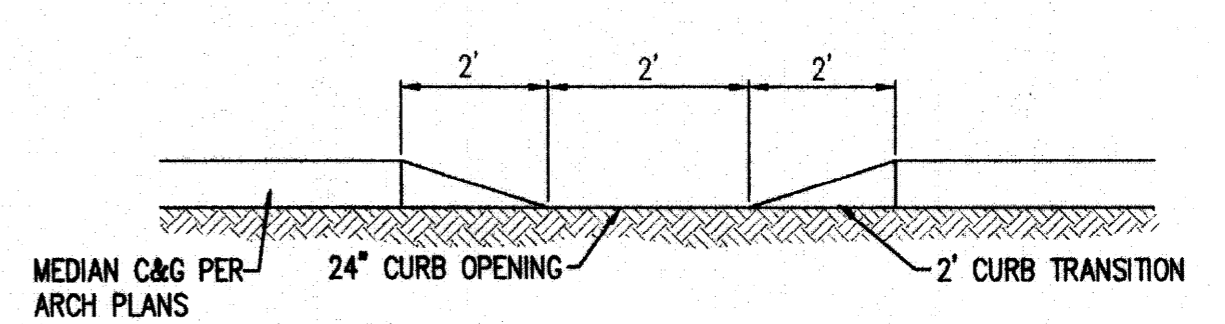
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**GRADING KEYED NOTES**

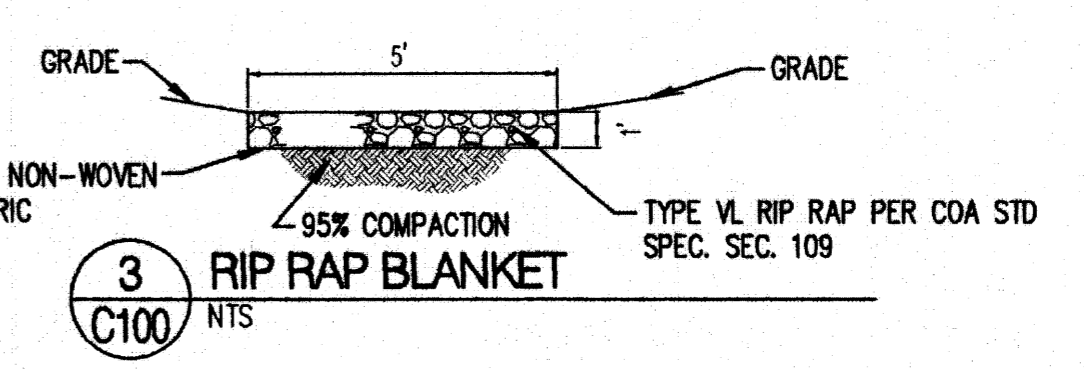
- INSTALL 3" VALLEY GUTTER PER DETAIL 1 THIS SHEET
- INSTALL 5'X5' RIP RAP BLANKET PER DETAIL 2 THIS SHEET.
- WATER HARVESTING AREA
- PROVIDE 24" CURB OPENING PER DETAIL 2 THIS SHEET
- INSTALL 1'-24" SIDEWALK CULVERT PER COA STD DWG 2236.
- TEMPORARY RETENTION POND



**1 TYPICAL VALLEY GUTTER SECTION**  
C100 NTS

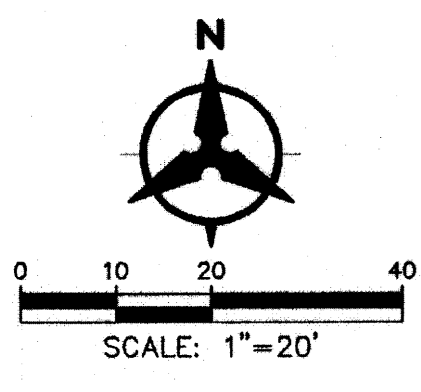
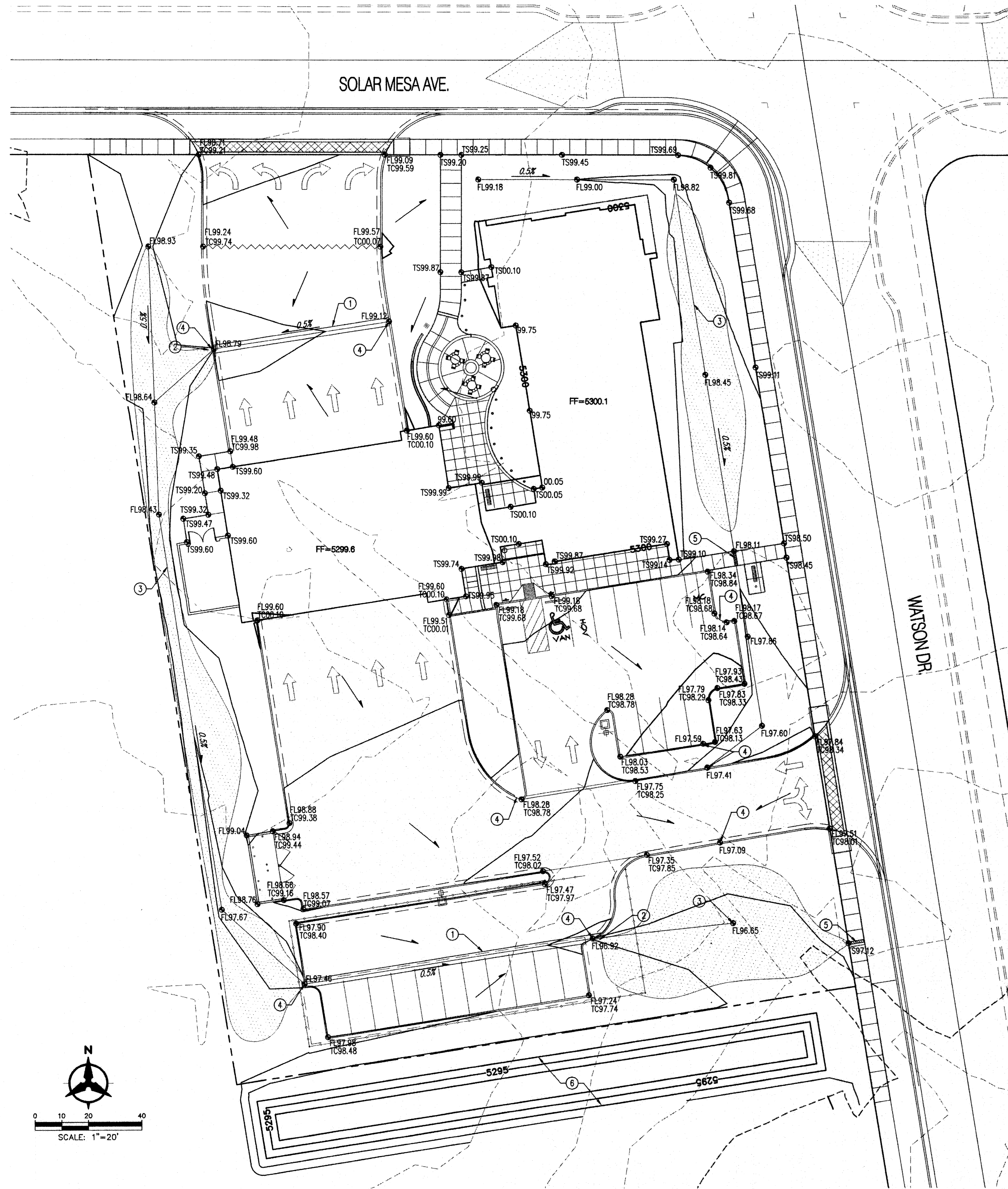


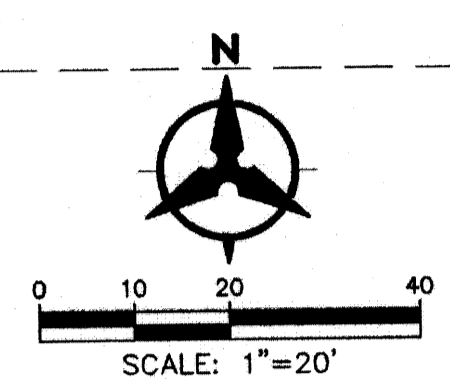
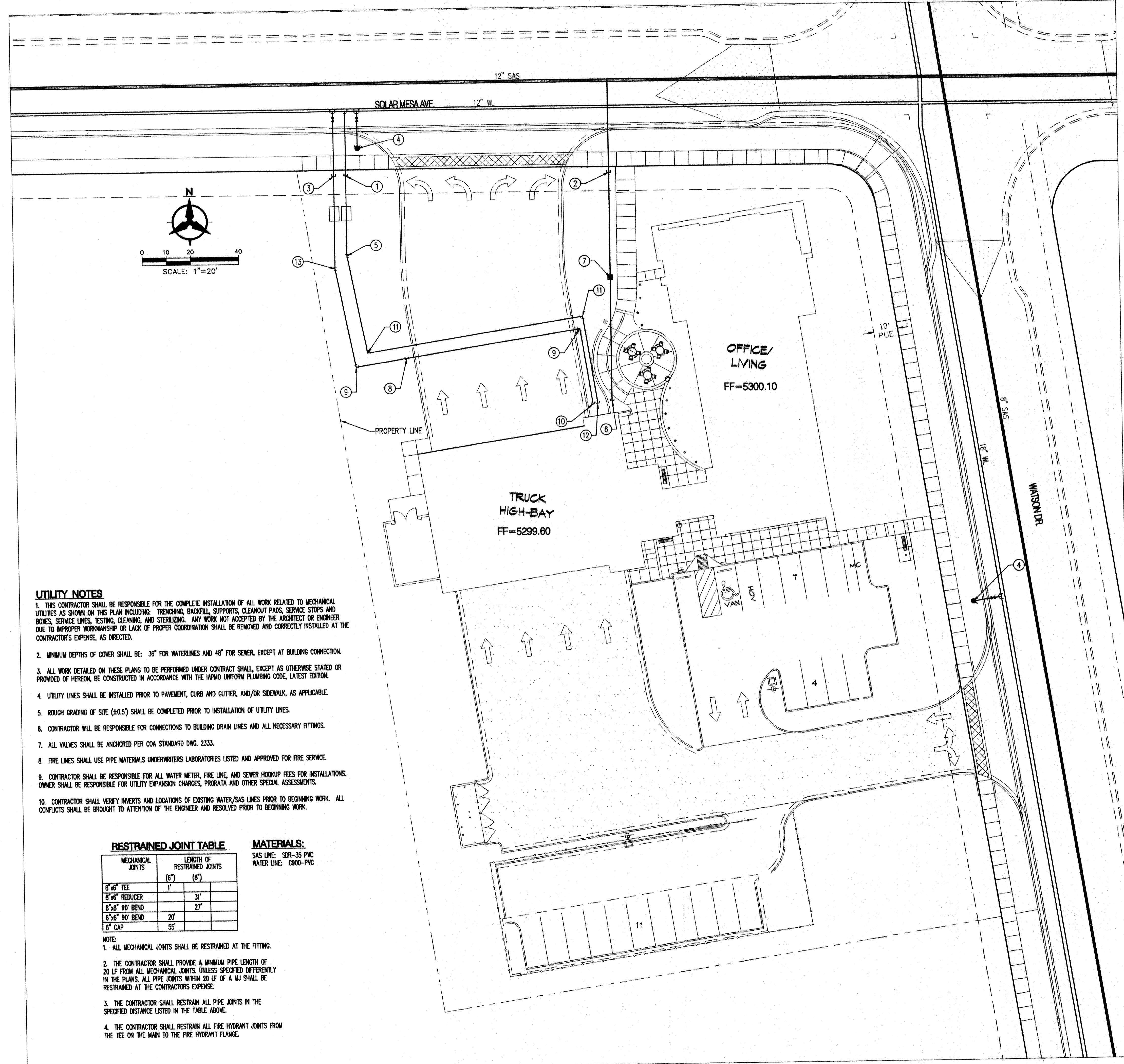
**2 TYPICAL CURB OPENING**  
C100 NTS



**3 RIP RAP BLANKET**  
C100 NTS

NOTE: ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MINIMUM CROSS SLOPE OF 1%.





**UTILITY NOTES**

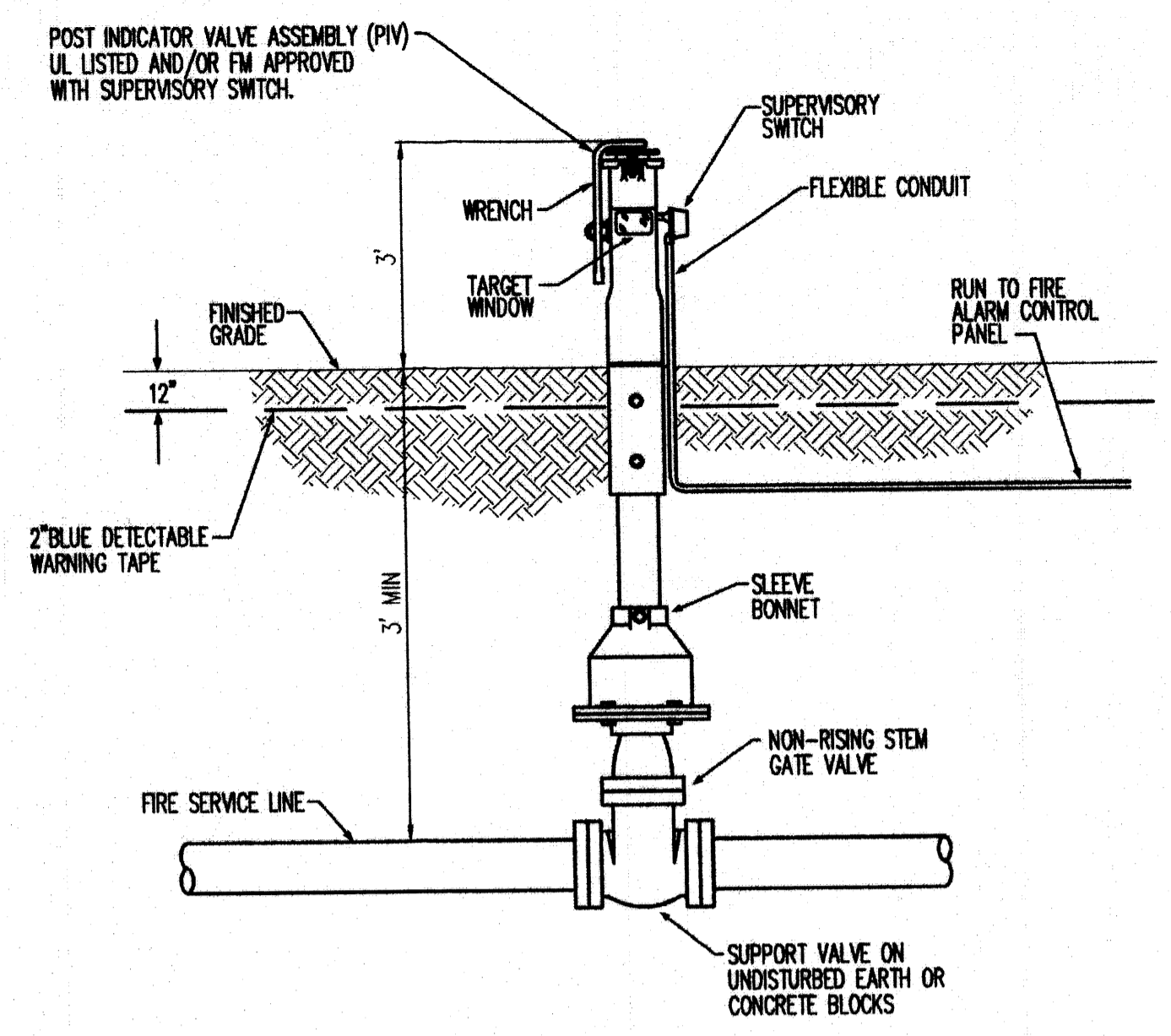
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**RESTRAINED JOINT TABLE**

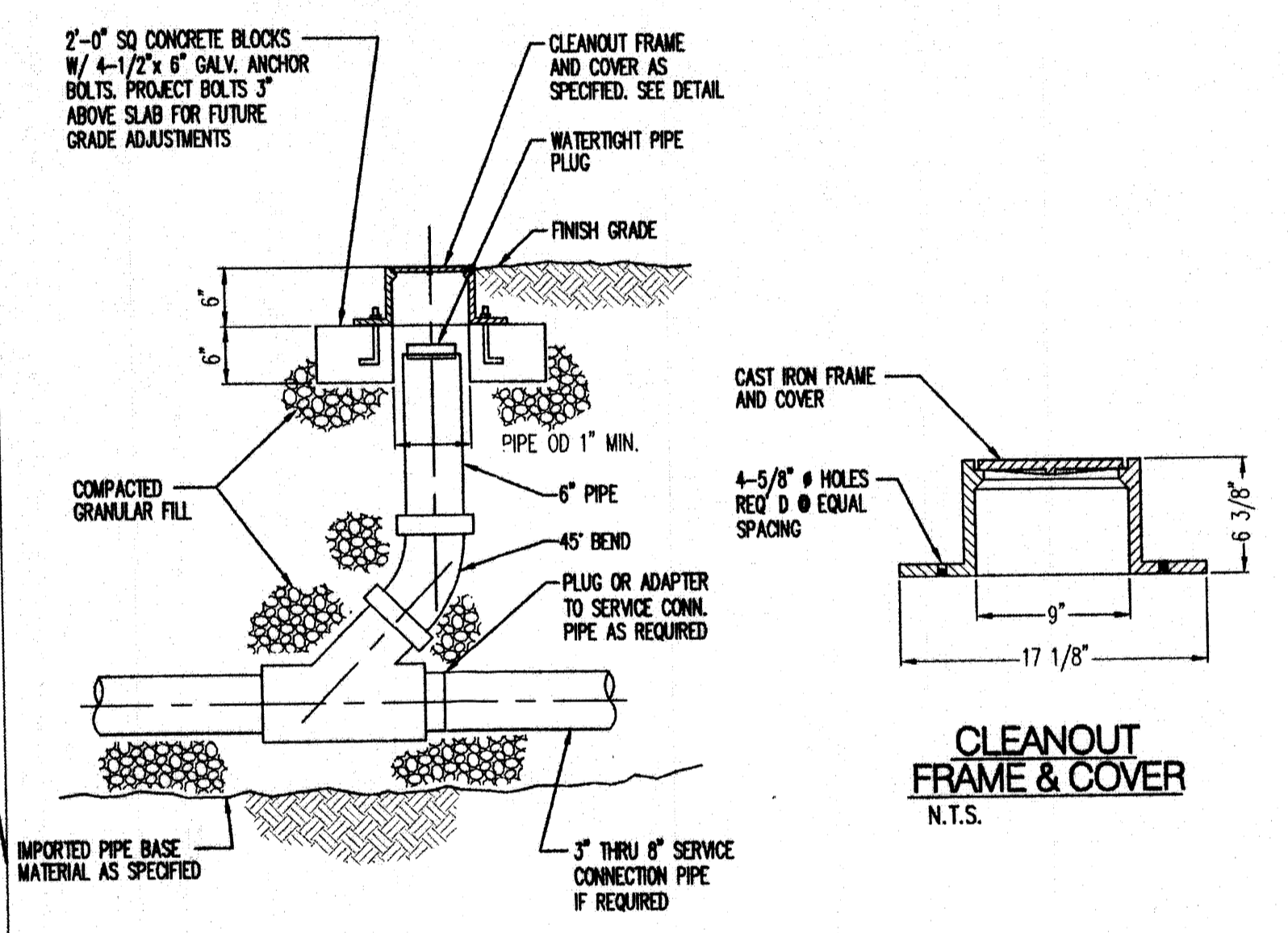
MECHANICAL JOINTS	LENGTH OF RESTRAINED JOINTS	
	(6")	(8")
8" x 6" TEE	1'	
8" x 6" REDUCER	3'	
8" x 6" 90° BEND	27"	
8" x 6" 90° BEND	20"	
8" CAP	55"	

**MATERIALS:**  
SAS LINE: 3DR-35 PVC  
WATER LINE: C900-PVC

- NOTE:
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. UNLESS SPECIFIED DIFFERENTLY IN THE PLANS. ALL PIPE JOINTS WITHIN 20 LF OF A MJ SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ABOVE.
  4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.



**2 POST INDICATOR VALVE DETAIL**  
C200 N.T.S.



**1 CLEANOUT DETAIL**  
C200 N.T.S.

**UTILITY KEYED NOTES**

1. CONNECT TO EXISTING DOMESTIC WATERLINE 2" STUB OUT (CONSTRUCTED UNDER SEPERATE CONTRACT). CONTRACTOR TO VERIFY SIZE AND LOCATION & CONTACT ENGINEER W/ ANY DISCREPANCIES. INSTALL 2" BACKFLOW PREVENTOR PER COA STD DWG 2385. INSTALL HOTBOX; COORDINATE W/ ELECTRICAL CONTRACTOR.
2. CONNECT TO EXISTING 6" SAS STUB OUT. (CONSTRUCTED UNDER SEPERATE CONTRACT). CONTRACTOR TO VERIFY SIZE, LOCATION, AND INVERT & CONTACT ENGINEER W/ ANY DISCREPANCIES.
3. CONNECT TO EXISTING 6" STUB OUT FIRELINE. (CONSTRUCTED UNDER SEPERATE CONTRACT). CONTRACTOR TO VERIFY SIZE AND LOCATION & CONTACT ENGINEER W/ ANY DISCREPANCIES. INSTALL 6" BACKFLOW PREVENTOR PER COA STD DWG 2385. INSTALL HOTBOX; COORDINATE W/ ELECTRICAL CONTRACTOR.
4. EXISTING PUBLIC FIRE HYDRANT. CONSTRUCTED UNDER SEPERATE CONTRACT.
5. INSTALL 2" 11.25' BEND W/ RESTRAINED JOINTS.
6. INSTALL 6" SAS SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
7. INSTALL SAS CLEANOUT PER DETAIL 1 THIS SHEET.
8. INSTALL P.I.V. PER DETAIL 2 THIS SHEET.
9. INSTALL 6" 90° BEND W/ RESTRAINED JOINTS.
10. EXTEND 6" FIRE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. INSTALL 2" 90° BEND W/ RESTRAINED JOINTS.
12. EXTEND 2" WATER SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
13. INSTALL 6" 11.25' BEND W/ RESTRAINED JOINTS.

REVISIONS

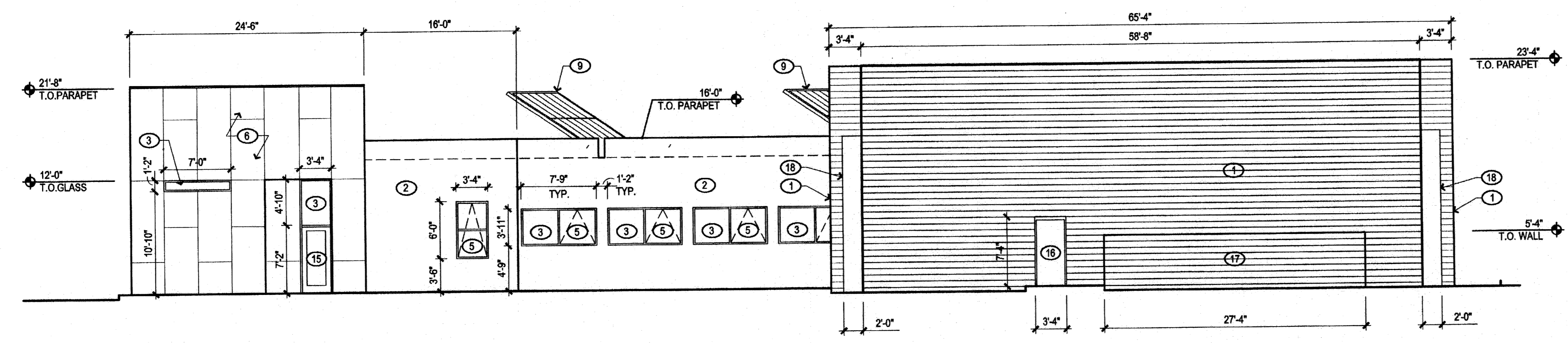
△	RFC COMMENTS 8-12-08
△	PRITS ROAD ALIGNMENT 8-12-08
△	
△	

DRAWN BY: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_  
DATE: AUGUST 11, 2008  
PROJECT NO.: 07028  
DRAWING NAME: \_\_\_\_\_

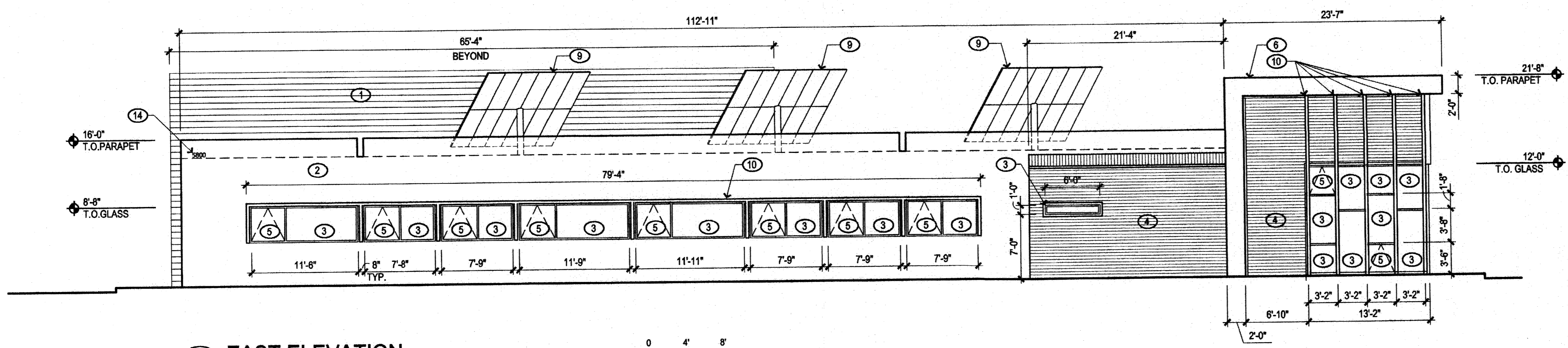
**UTILITY PLAN**

**MATERIALS NOTES**

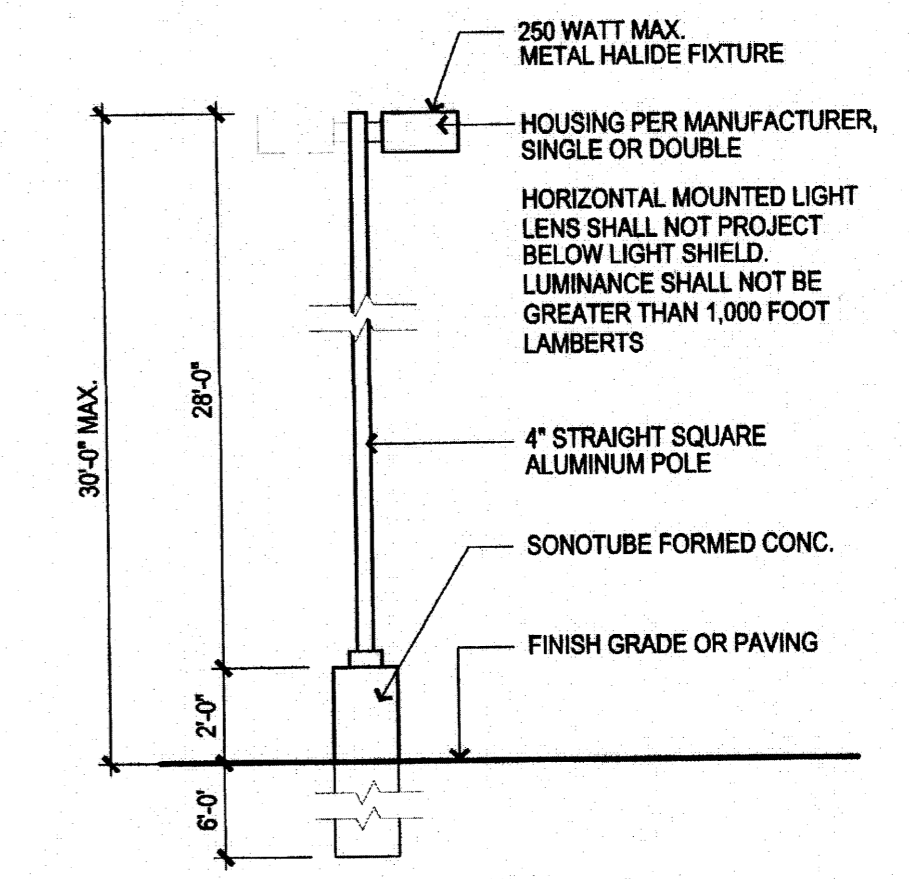
1. SMOOTH FACE CMU / CHARCOAL GRAY
2. SMOOTH STUCCO / DUNN EDWARDS DES125 / RED RIVER
3. ALUMINUM STOREFRONT SYSTEM / CLEAR ANODIZED
4. GALVALUME METAL SIDING / PBD PANEL MBCI
5. OPERABLE OPENING IN STOREFRONT SYSTEM
6. SMOOTH STUCCO / COLOR TO MATCH ALUMINUM STOREFRONT
7. ALUMINUM DIE-CUT CHANNEL LETTERS / CLEAR ANODIZED / FONT: TAHOMA TRUE-TYPE / 1/8" HIGH / 88.75 SQ. FT.
8. NOT USED
9. PV SOLAR PANELS & RACK SYSTEM
10. SUN SCREEN / TUBE STEEL WITH PERFORATED ALUMINUM PANEL INFILL
11. COMPOSITE METAL PANEL SYSTEM / LAMINATOR INCORPORATED, OMEGA-LITE SYSTEM IV ROUT & RETURN
12. PAINTED STEEL OVERHEAD DOOR WITH GLASS LITE
13. ALUMINUM DIE-CUT CHANNEL LETTERS / CLEAR ANODIZED / FONT: TAHOMA TRUE-TYPE / 4/8" HIGH / 21 SQ. FT.
14. ALUMINUM DIE-CUT CHANNEL LETTERS / CLEAR ANODIZED / FONT: TAHOMA TRUE-TYPE / 6" HIGH / STREET ADDRESS
15. FULL-LITE ALUMINUM STOREFRONT DOOR / CLEAR ANODIZED
16. HOLLOW-METAL DOOR / PAINT TO MATCH CMU
17. UTILITY SCREEN WALL / SMOOTH FACE CMU / CHARCOAL GRAY
18. ALUMINUM PANEL / LAMINATOR INCORPORATED, OMEGA-LITE SYSTEM IV ROUT & RETURN



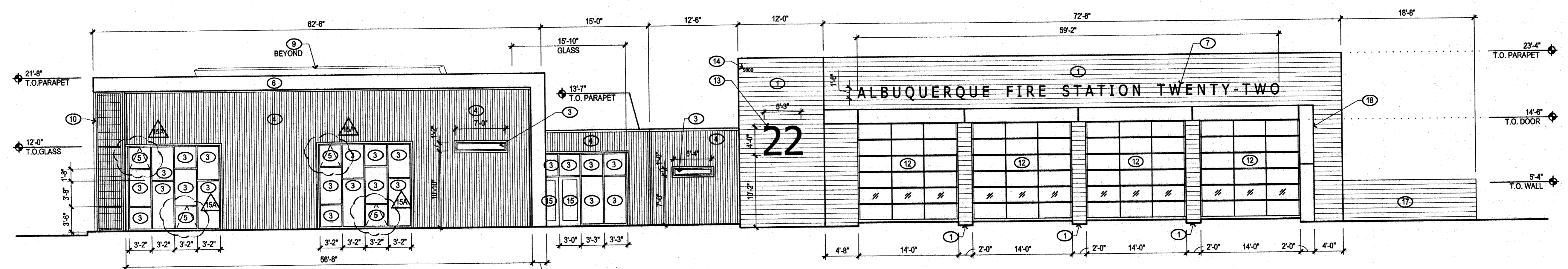
**A1 WEST ELEVATION**  
1/8" = 1'-0"



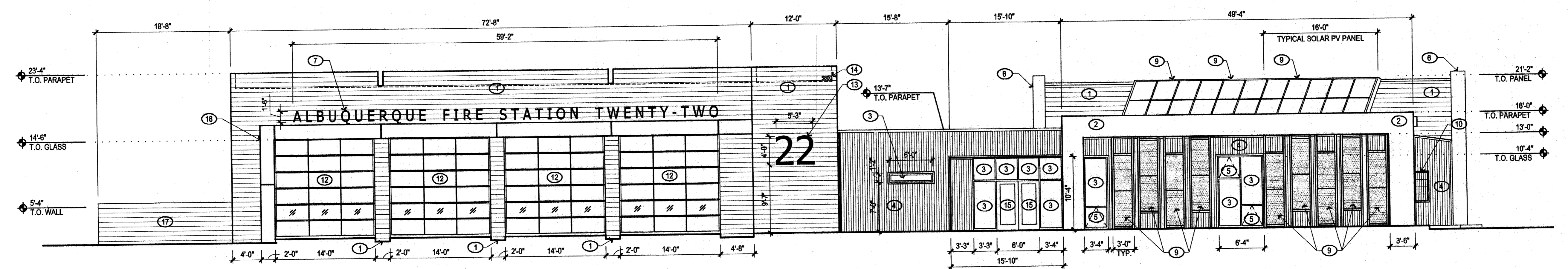
**B1 EAST ELEVATION**  
1/8" = 1'-0"



**B5 PARKING LOT LIGHT POLE  
DETAIL**  
1/4" = 1'-0"



**C1 NORTH ELEVATION**  
1/8" = 1'-0"



**D1 SOUTH ELEVATION**  
1/8" = 1'-0"

ENGINEER

PROJECT

**FIRE HOUSE  
@ MESA DEL SOL**  
ALBUQUERQUE, NEW MEXICO

REVISIONS

△	EPC Comment 08.12.08
△	
△	
△	

DRAWN BY	BB
REVIEWED BY	SHL
DATE	AUGUST 27, 2007
PROJECT NO.	07025
DRAWING NAME	ELEVATIONS