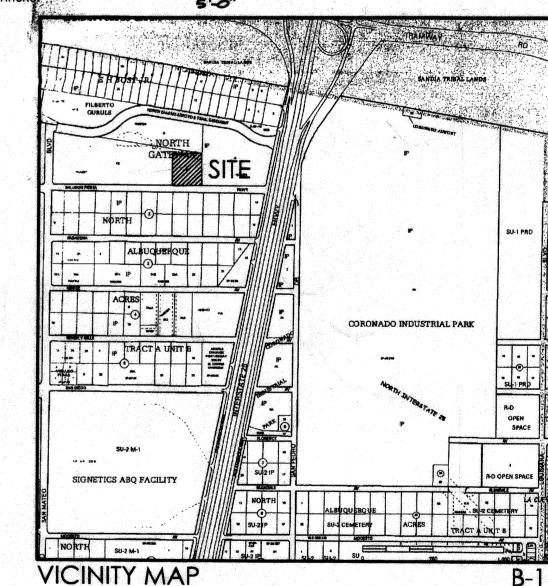


SHE DEVELOPMENT DATA: LEGAL DESCRIPTION: TRACT C-1-A, NORTH GATEWAY SUBDIVISION CURRENT ZONING: ZONE ATLAS PAGE: C-17-Z LOT AREA: 2.41 ACRES (105,040 SQ. FT.) BUILDING AREA: 16.950sf FIRST FLOOR OFFICE AREA 1,979sf FIRST FLOOR STORAGE AREA 7.268sf SECOND FLOOR OFFICE AREA 26,197sf TOTAL BUILDING AREA PARKING REQUIREMENTS: 16,950sf/200 = 85 SPACES 1,979sf/2000 = 1 SPACE7,268sf/300 = 25 SPACES111 SPACES REQUIRED 111 SPACES LESS 10% BUS ROUTE CREDIT= 100 SPACES REQUIRED 100 SPACES PROVIDED INCLUDING 4 HANDICAP SPACES PLUS 3 MOTORCYCLES SPACES **KEYED NOTES:** A. THE PEDESTRIAN AND BICYCLE CONNECTION FROM EXISTING CONCRETE DRIVE PAD. THIS PROPERTY TO THE ARROYO WILL BE ALONG THE 4' SPECIALTY PAVING AT BUILDING ENTRANCE PLAZA. SIDEWALK ON THE WEST PROPERTY LINE AND THROUGH EXISTING CITY STANDARD HC RAMP. THE ADJECNT PROPERTY TO THE NORTH ONCE THAT CONCRETE PARKING BUMPERS. PROPERTY IS DEVELOPED. PAINTED HC PARKING SYMBOL. CONCRETE CURB. **KEYED NOTES:** 24" WIDE CONCRETE STRIP, TYP. 6' HIGH WROUGHT IRON FENCE. SEE 6/A402. EXISTING CITY STANDARD 4' WIDE SIDEWALK. WROUGHT IRON CARD-OPERATED SWING GATES SITE LIGHTING, 20' COLORED POLE WITH SHOEBOX CONCRETE ISLAND WITH CARD-READER FOR ENTRANCE ACCESS. EXIT ON LOOP SYSTEM. CONCRETE PAD & TRANSFORMER WITH 6" DIA. DOUBLE-LOADED COVERED PARKING WITH CENTER PIPE BOLLARDS COORDINATE LOCATION WITH PNM. STEEL COLUMNS AND CANTILEVERED CANOPY HC PARKING SIGN, TYPICAL OF 4. STRUCTURE WITH PREFINISHED METAL ROOF PAINTED HC PARKING STRIPING. TEXTURED CONCRETE CROSSWALK. [5] COVERED PARKING WITH STEEL COLUMNS AND HC RAMP. CANTILEVERED CANOPY STRUCTURE WITH EXISTING FIRE HYDRANT. PREFINISHED METAL ROOF PANELS. COLUMNS TO BIKE RACK. SEE 5/A402. BE LOCATED AT THE END OF THE PARKING STALL. 4' WIDE MOTORCYCLE SPACE, TYP. OF 3 DOUBLE CMU DUMPSTER ENCLOSURE WITH STUCCO CONCRETE DRIVEPAD (COA STANDARD DETAIL FINISH. GATES TO BE TUBE STEEL FRAME WITH PREFINISHED ROOF PANELS. SEE 4/A402. EXISTING 10' PUBLIC UTILITY EASEMENT. WROUGHT IRON PEDESTRIAN GATE WITH CARD SCORED CONCRETE WALKWAY/ACCESS AISLE. READER ACCESS. 36" SQUARE CONCRETE TABLE AND BENCHES. 6' WIDE CITY STANDARD CONCRETE SIDEWALK LINE OF CLEAR SITE TRIANGLE. (C.O.A. STANDARD DETAIL 2430.) 18' TALL NATURAL STONE VENEER PIERS AT CONCRETE SIDEWALK WITH CONTROL JOINTS 0 BUILDING ENTRY WITH RECESSED STEP LIGHTING. 5'-0"o.c. AND EXPANSION JOINTS AT 20'-0"o.c. [10] CITY STANDARD HC RAMP (COA STANDARD RADIUS INFORMATION DETAIL 2441).  $\langle 1 \rangle$  RADIUS = 3'-0" LANDSCAPE AREA, SEE LANDSCAPE PLAN. 4' HIGH NATURAL STONE VENEER YARD WALL WITH  $\langle 2 \rangle$  RADIUS = 15'-0" FARM CREDIT LOGO AND ALUMINUM CHANNEL  $\langle 3 \rangle$  RADIUS = 25'-0" LETTERS WITH SHIELDED GROUND MOUNTED LIGHTING DIRECTED AT SIGNAGE. SEE 3/A402. SLOPE 4 RADIUS = 30'-0" EXISTING MEDIAN TO REMAIN. 010 TO 5 RADIUS = 49'-0" ASPHALT PAVING PER SOILS REPORT RECOMMENDATIONS.



PROJECT NUMBER: 1005545

APPLICATION NUMBER: 07-00588

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, MANSPORTATION DIVISION

Date

UTILITIES DEVELOPMENT

PARKS AND RECREATION DEPARTMENT

CITY ENGINEER

\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

Date

\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

Date

Date

DRB CHAIRPERSON, PLANNING DEPARTMENT

Date

Date

DEBOX
A. PNM.
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

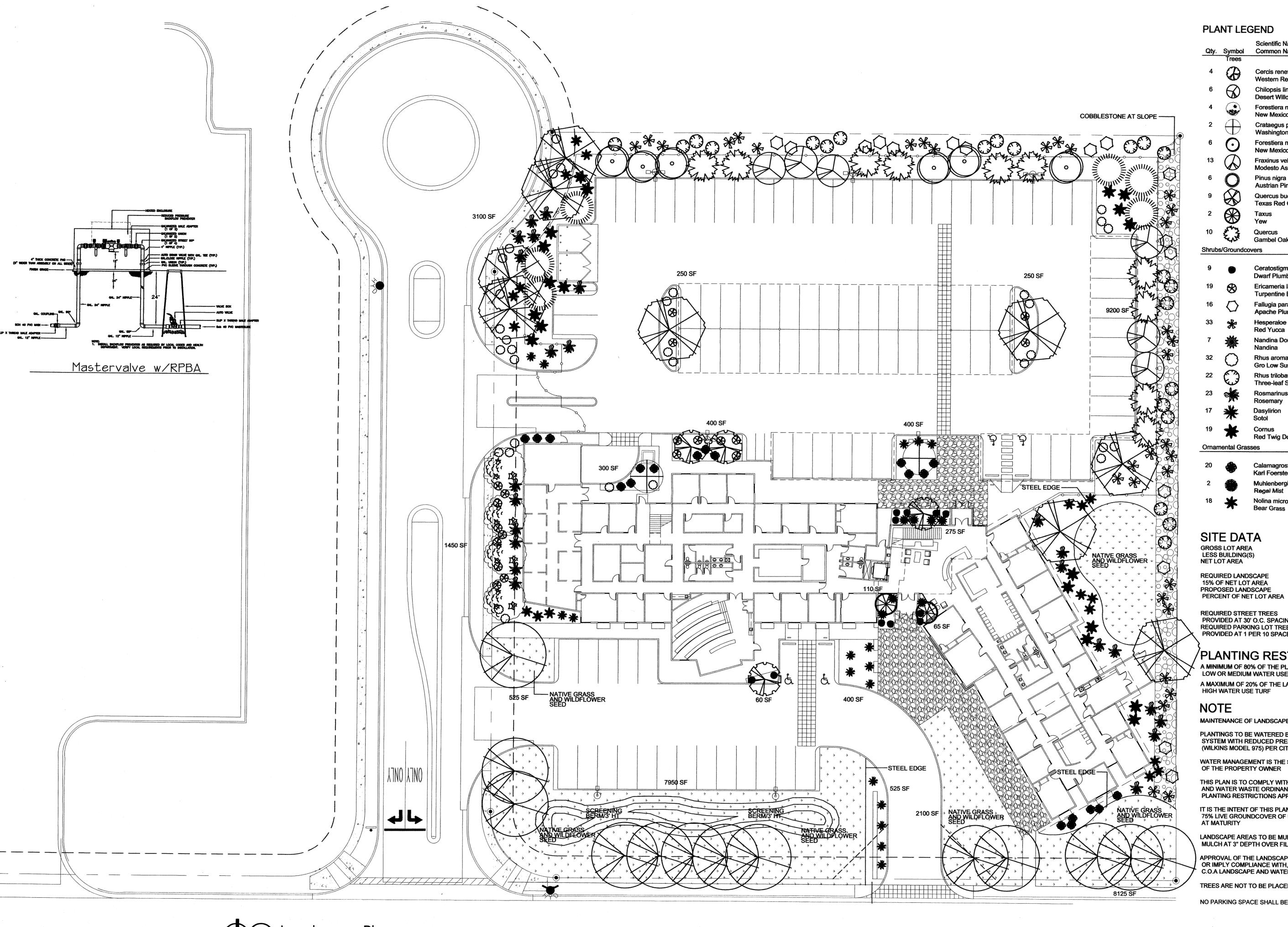
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ING.

drawn by
project manager Douglas Heller, ,
date 5/25

lloon Fiesta Parkway NW que, NM

FOILM sheet title

A001



## PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Us
	Trees			
4		Cercis reneformis Western Redbud	15-Gal	Medium
6	$\bigcirc$	Chilopsis linearis Desert Willow	5-Gal	Low +
4		Forestiera neomexicana New Mexico Olive	2" B&B	Medium
2	$\bigoplus$	Crataegus phaenopyrum Washington Hawthorn	2" B&B	Medium-
6	$\odot$	Forestiera neomexicana New Mexico Olive	5-Gal	Medium
13	$\bigcirc$	Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium :
6	The state of the s	Pinus nigra Austrian Pine	5'-6' Ht.	Medium
9	$\otimes$	Quercus buckleyi Texas Red Oak	2" B&B	Medium
2	$\otimes$	Taxus Yew	15 Gal	Medium
10	ELVIA FLANT	Quercus Gambel Oak	5-Gal	Low +
Shrub	s/Groundco	overs	****	
9	•	Ceratostigma Dwarf Plumbago	1-Gal	Low +
19	⊗	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
16	$\bigcirc$	Fallugia paradoxa Apache Plume	1-Gal	Low
33	*	Hesperaloe parviflora Red Yucca	5-Gal	Low+
7	*	Nandina Domestica Nandina	5-Gal	Medium+
32	$\bigcirc$	Rhus aromatica Gro Low Sumac	5-Gal	Low+
22		Rhus trilobata Three-leaf Sumac	1-Gal	Low+
23	The same	Rosmarinus officinalis Rosemary	5-Gal	Low +
17	*	Dasylirion Sotol	5-Gal	Low +
19	*	Cornus Red Twig Dogwood	5-Gal	Low +
Ornan	nental Gras	• •		
20	*	Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
2		Muhlenbergia capillaris 'Regal Mist' Regal Mist	1-Gal	Medium
18	4-	Nolina microcarpa	5-Gal	Low +

## SITE DATA

GROSS LOT AREA LESS BUILDING(S) NET LOT AREA	106.186 S 18.930 S 87.256 S
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	13.088 9
PROPOSED LANDSCAPE	35.485 s

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET 21 REQUIRED PARKING LOT TREES

# PROVIDED AT 1 PER 10 SPACES (100 SPACES/10) 10 PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

# NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

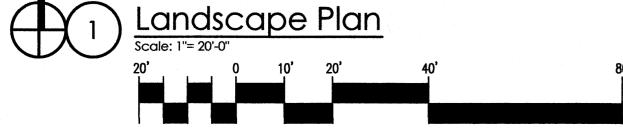
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

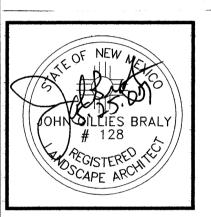
NO PARKING SPACE SHALL BE MORE THEN 100'

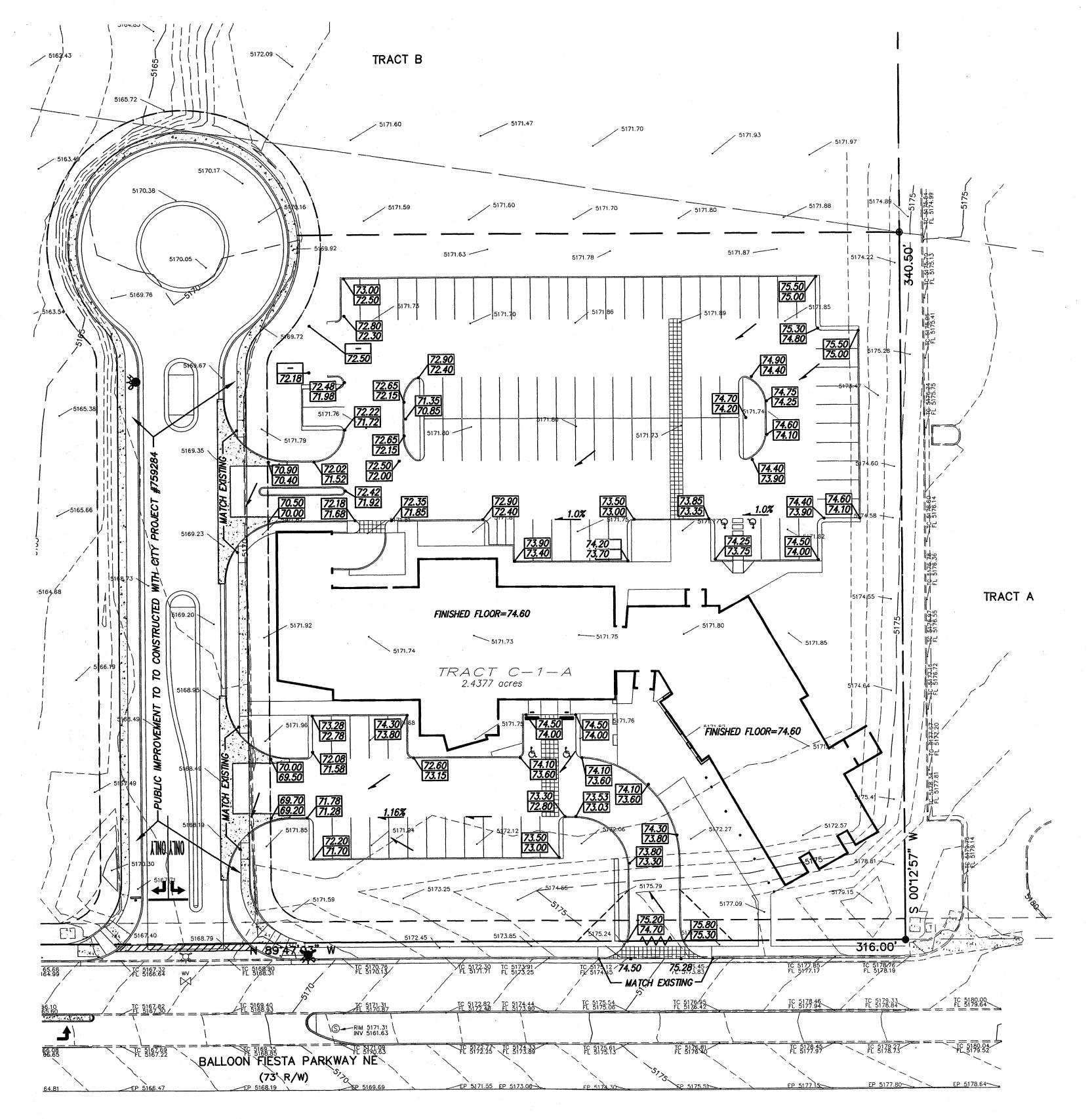


Mullen Heller

Architecture P.C. 1015 Tijeras Avenue NW Suite 220

Albuquerque 87102 505 268 4144[p] 505 268 4244 [f]





#### I. PROJECT DESCRIPTION

The proposed site area comprises approximately 2.4 acres and is located along the north side of Balloon Fiesta Parkway NE. The current legal description of the site is Tract C-1-A of North Gateway Plat. The property is contained within the North Gateway development for which a Master Conceptual Grading and Drainage Plan was approved. The Purpose of this report is to present the drainage management plan for the proposed building in order to obtain the conceptual grading and drainage plan approval. All applicable ordinances, the DPM and AHYMO were utilized to prepare this plan.

#### II. DRAINAGE DESIGN CRITERIA

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual. The 100-year, 6-hour storm event was utilized to determine site runoff rates using P (1 hr) = 2.10", P (6 hr) =2.50"and P (24 hr) = 2.80", obtained from the DPM. The onsite Land Treatment values used were Treatment D=85 and Treatment B=15.

#### III. EXISTING DRAINAGE CONDITION

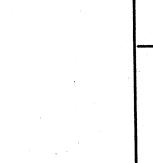
Mark Goodwin and Associates submitted a drainage report covering the subject property in connection with its work on the original subdivision of the North Gateway in 2007. The report has an engineer's stamp date of 03/07/07. According to the report, developed runoff discharging from this site is designed to be discharged freely onto the Balloon Fiesta Parkway NE. There are no offsite flows that enter the site.

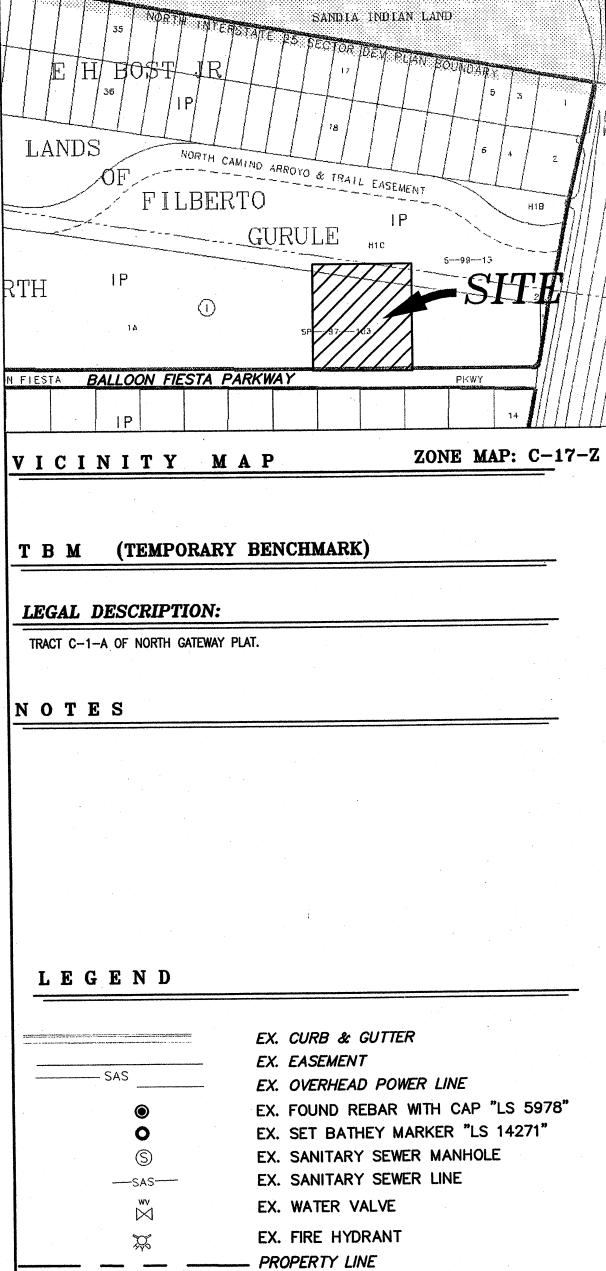
#### IV. DEVELOPED DRAINAGE CONDITIONS

The total developed conditions flow from this site is 11.06 cfs. The proposed grading and drainage plan for the new development complies with the North Gateway Master Drainage Plan. The developed runoff from Tract C-1-A is designed to discharge freely onto the Balloon Fiesta Parkway NE, this can be achieved by adding a Type "A" storm inlet at intersection of Balloon Fiesta Parkway NE and San Mateo Blvd NE along the north side of Balloon Fiesta Parkway NE. All the capacity calculations and AHYMO printouts are attached in the Appendix A

#### V. CONCLUSIONS

The proposed drainage scheme for the new buildings can be readily accommodated through the implementation of this plan. It has been adequately shown in this report that the internal conveyance of storm water to off-site facilities can be accomplished while meeting all current City requirements.



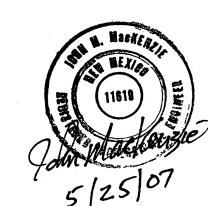


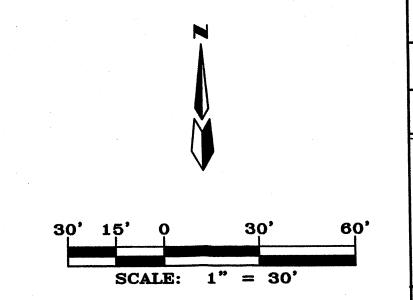
NEW SPOTS

NEW BUILDING

NEW CURB

NEW WATER BREAK





FARM CREDIT BUREAU

CONCEPTUAL GRADING & DRAINAGE PLAN



Designed: DMG Drawn: CAR

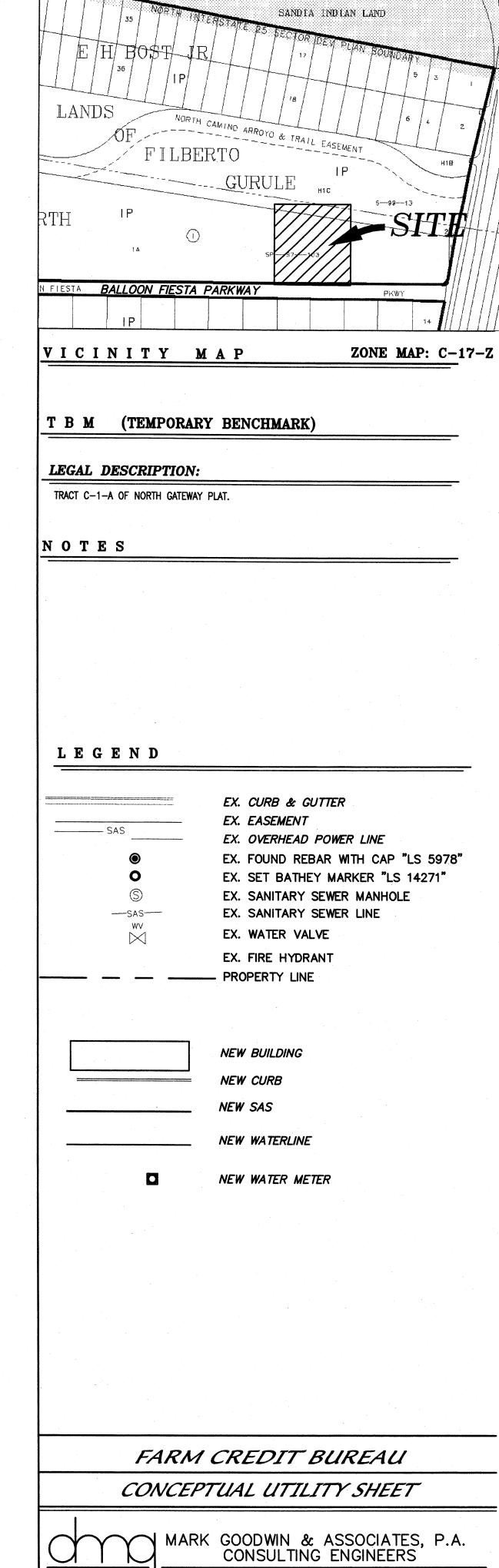
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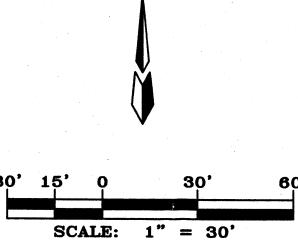
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS

P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

Checked: DMG

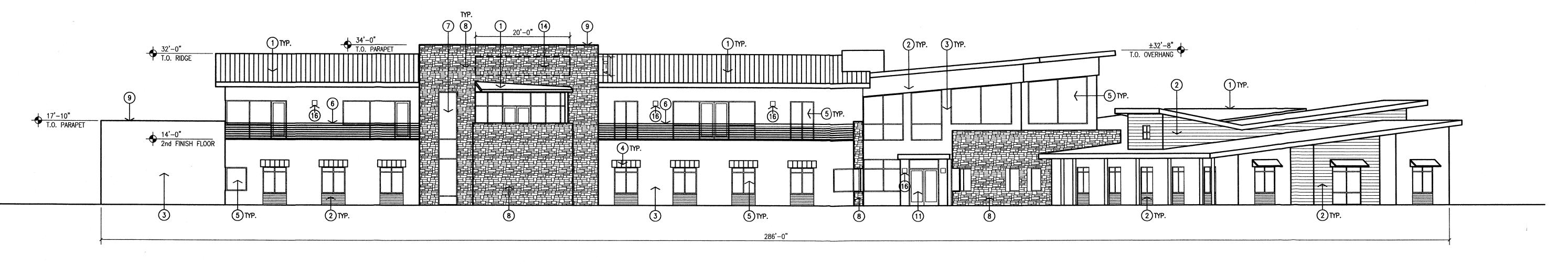
F: \A06J0BS\A6096 FARM CREDIT\dwg\Grade & Drain\A06096GD-02.dwg 5/25/2007 SPS, CAR | Scale: 1" = 30' | Date: 04/30/07

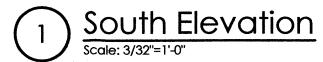


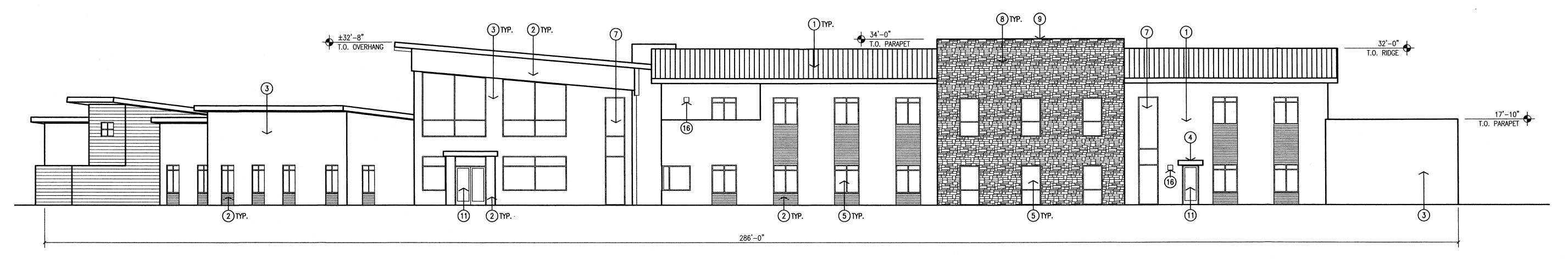


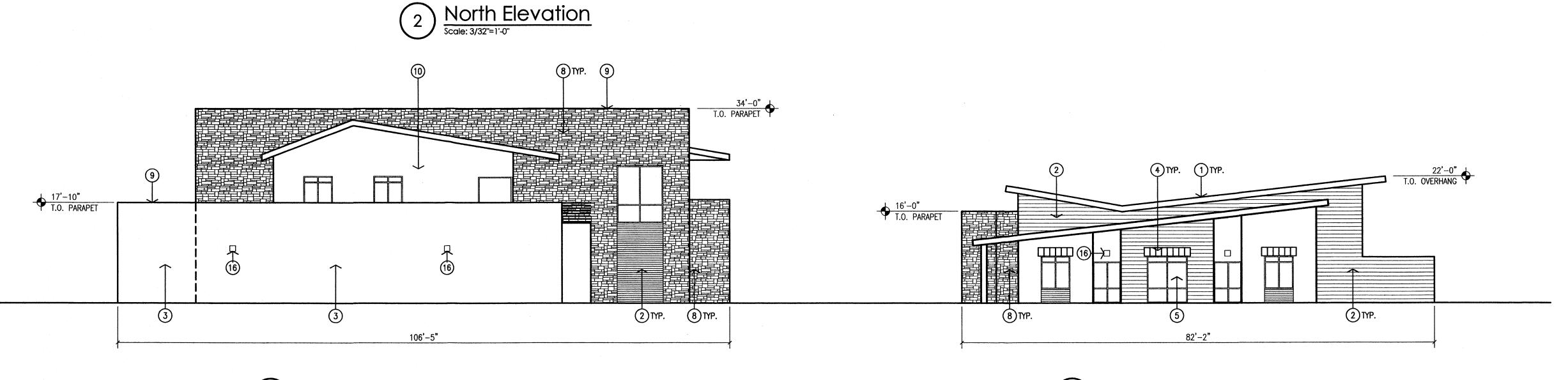
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: CAR Checked: DMG F: \A06J0BS\A6096 FARM CREDIT\dwg\Grade & Drain\A06096GD-02.dwg 6/5/2007 SPS CARScale: 1" = 30' Date: 5/3/2007 Job: A6096









West Elevation
Scale: 3/32"=1'-0"

Southwest Elevation

Scale: 3/32"=1'-0"

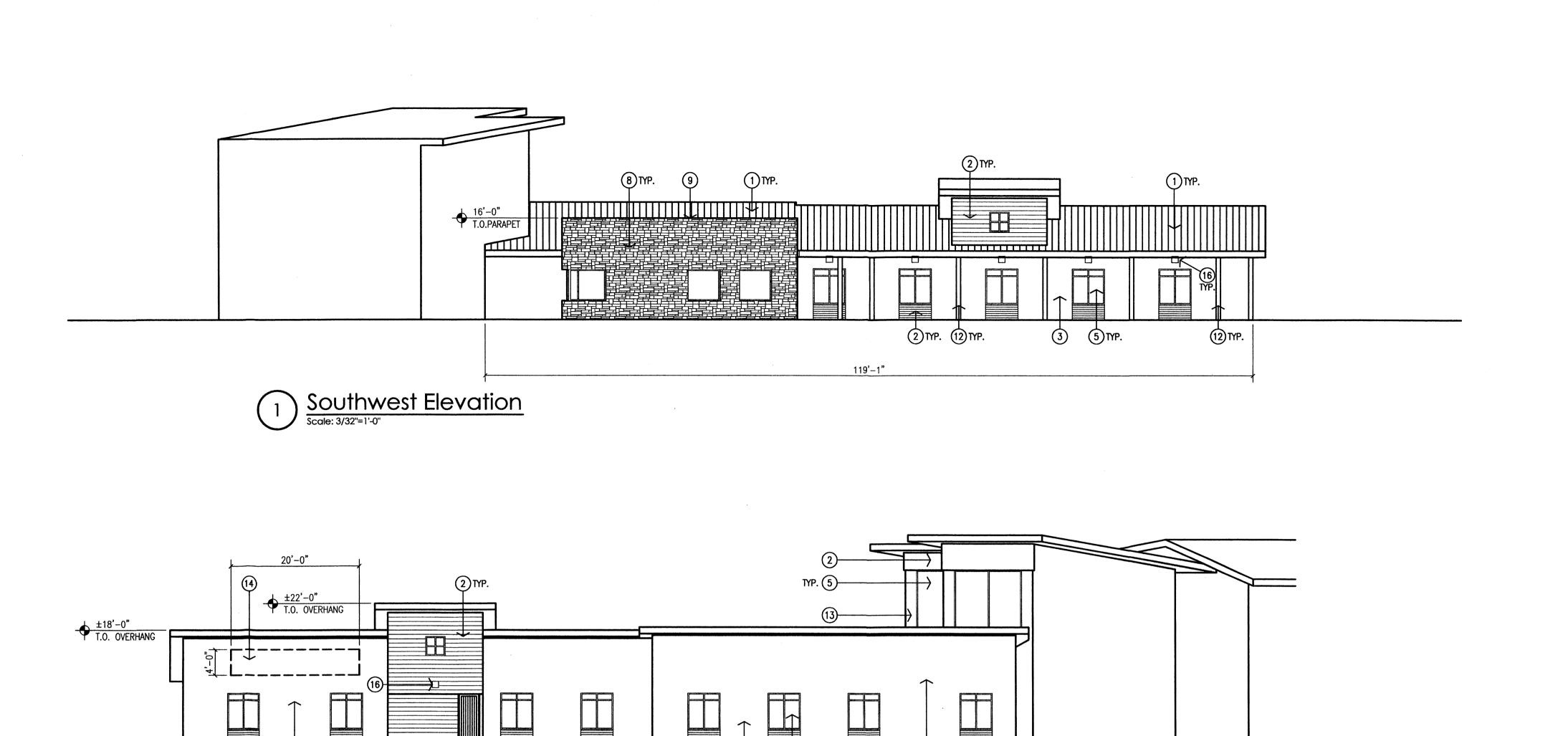
**KEYED NOTES:** 

- PREFINISHED STANDING SEAM METAL ROOF WITH MATCHING SOFFIT, FASCIA, TRIM, GUTTER AND DOWNSPOUT SYSTEM. COLOR: GUN METAL GRAY. PREFINISHED ALUMINUM METAL PANELS. COLOR:
- TERRA COTTA. EXTERIOR INSULATION FINISH SYSTEM. COLOR:
- MEDIUM TAN. TUBE STEEL CANOPY FRAME WITH PREFINISHED STANDING SEAM ROOF. COLOR: GUN METAL
- [5] ALUMINUM STOREFRONT. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- CUSTOM STAINLESS STEEL CABLE GUARD RAIL
- ALUMINUM CURTAIN WALL SYSTEM. COLOR: TERRA COTTA GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [8] NATURAL STONE VENEER. COLORS: GOLD, GREY AND RED.
- PREFINISHED METAL PARAPET CAP TO MATCH STONE VENEER.
- [10] TUBE STEEL CANOPY WITH PREFINISHED ALUMINUM ROOF SOFFIT AND FASCIA PANELS. COLOR: GUN METAL GRAY.
- [11] 8'-0" ALUMINUM STOREFRONT DOORS WITH CUSTOM HARDWARE. COLOR: TERRA COTTA.
- [12] STEEL PIPE COLUMN WITH CAST-IN-PLACE CONCRETE BASE. COLOR: TERRA COTTA.
- [13] EXTERIOR INSULATION FINISH SYSTEM. COLOR:
- [14] ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. PREFINISHED BLACK AND ANODIZED
- [15] STONE VENEER YARD WALL WITH ANODIZED ALUMINUM AND PREFINISHED BLACK LETTERS AND LOGO. GROUND MOUNTED LIGHT TO ILLUMINATE THE SIGN.
- [16] WALL MOUNTED LIGHTING. HOUSING COLOR TO MATCH STOREFRONT.

Mullen Heller Architecture P.C. 1015 Tijeras Avenue NW Suite 220 Albuquerque 87102 505 268 4144[p] 505 268 4244 [f] Mexico New kwdy NW **Of** Park Credit lloon Fiesta tue, NM

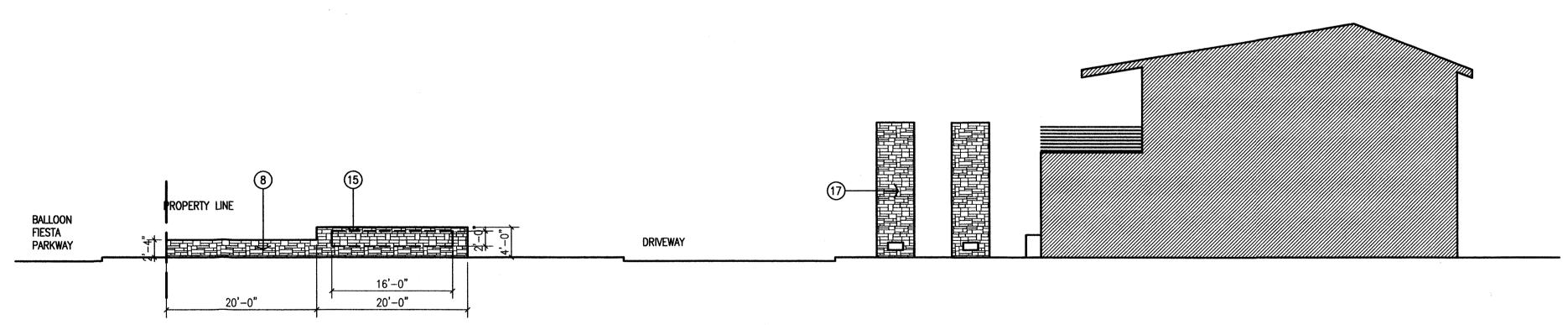
A401

Project title
Farm
5651 Ball
Albuquera



2 Northeast Elevation
Scale: 3/32"=1'-0"

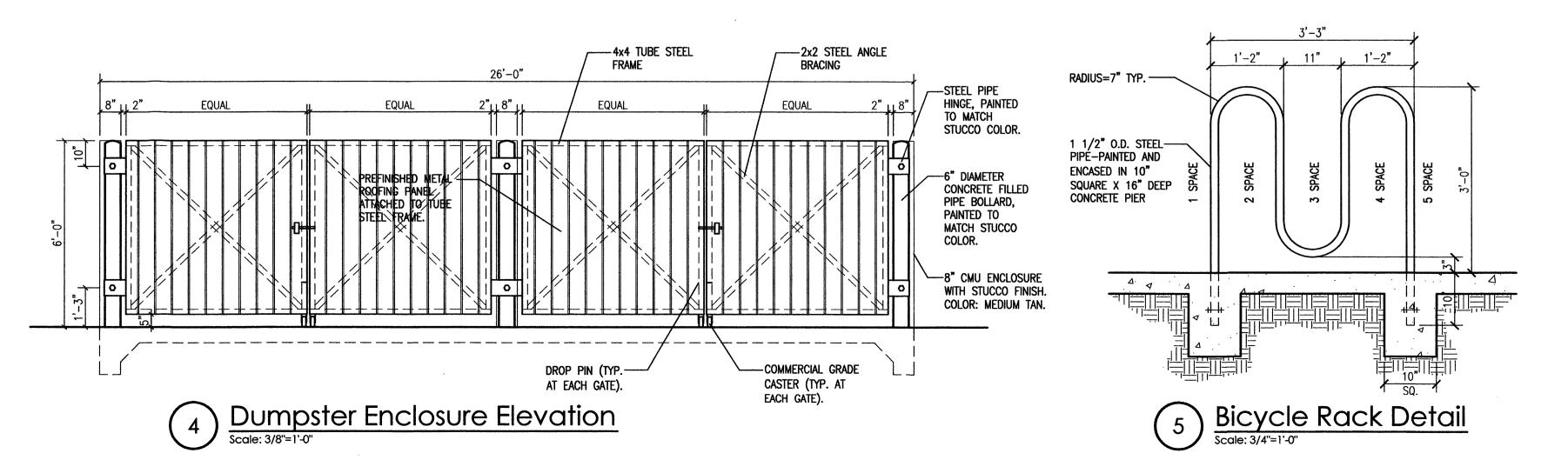
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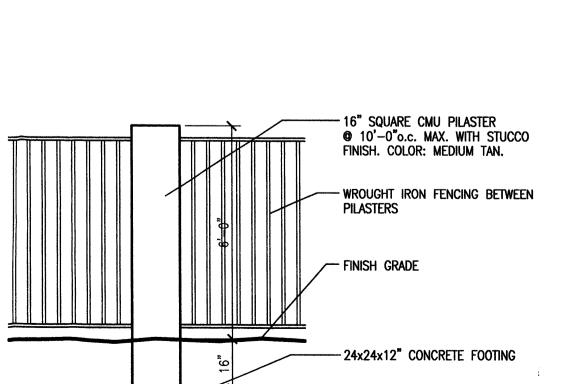


129'-3"

Monument Sign/Yard Wall Elevation

Scale: 3/32"=1"-0"





6 Wrought Iron Fence Detail
Scale: 3/8"=1'-0"

### **KEYED NOTES:**

- [1] PREFINISHED STANDING SEAM METAL ROOF WITH MATCHING SOFFIT, FASCIA, TRIM, GUTTER AND DOWNSPOUT SYSTEM. COLOR: GUN METAL GRAY.

  [2] PREFINISHED ALUMINUM METAL PANELS. COLOR:
- [2] PREFINISHED ALUMINUM METAL PANELS. COLOR: TERRA COTTA.
- EXTERIOR INSULATION FINISH SYSTEM. COLOR:
   MEDIUM TAN.

  TUBE STEEL CANOPY FRAME WITH PREFINISHED STANDING SEAM ROOF. COLOR: GUN METAL
- [5] ALUMINUM STOREFRONT. COLOR: TERRA COTTA.
  GLAZING: 1" INSULATED, LOW E WITH BRONZE
  TINTED GLASS.
- [6] CUSTOM STAINLESS STEEL CABLE GUARD RAIL
- [7] ALUMINUM CURTAIN WALL SYSTEM. COLOR:
  TERRA COTTA GLAZING: 1" INSULATED, LOW E
  WITH BRONZE TINTED GLASS.
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- CONCRETE BASE. COLOR: TERRA COTTA.
  [13] EXTERIOR INSULATION FINISH SYSTEM. COLOR:
- LIGHT TAN.

  [14] INTERNALLY ILLUMINATED, PREFINISHED BLACK AND ANODIZED ALUMINUM REVERSE CHANNEL LETTERS
- AND LOGO.

  [15] STONE VENEER YARD WALL WITH INTERNALLY ILLUMINATED, PREFINISHED BLACK AND ANODIZED ALUMINUM LETTERS AND LOGO. GROUND
- MOUNTED FLUORESCENT LIGHTS TO ILLUMINATE SIGN EACH SIDE.

  [16] WALL MOUNTED LIGHTING. HOUSING COLOR TO MATCH STOREFRONT.
- MATCH STOREFRONT.

  [17] STONE VENEER PIERS WITH RECESSED STEP LIGHTING.

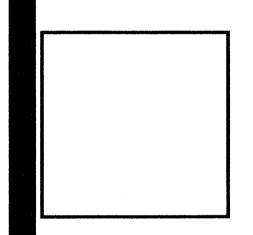
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awn by jdh
oject manager Douglas Heller, AIA

t of New Mexico

Farm Credit of Nev 5651 Balloon Fiesta Parkway Nalbuquerque, NM

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