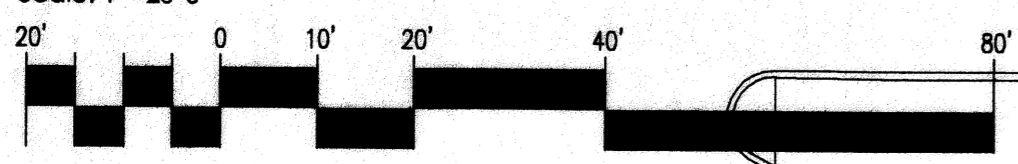
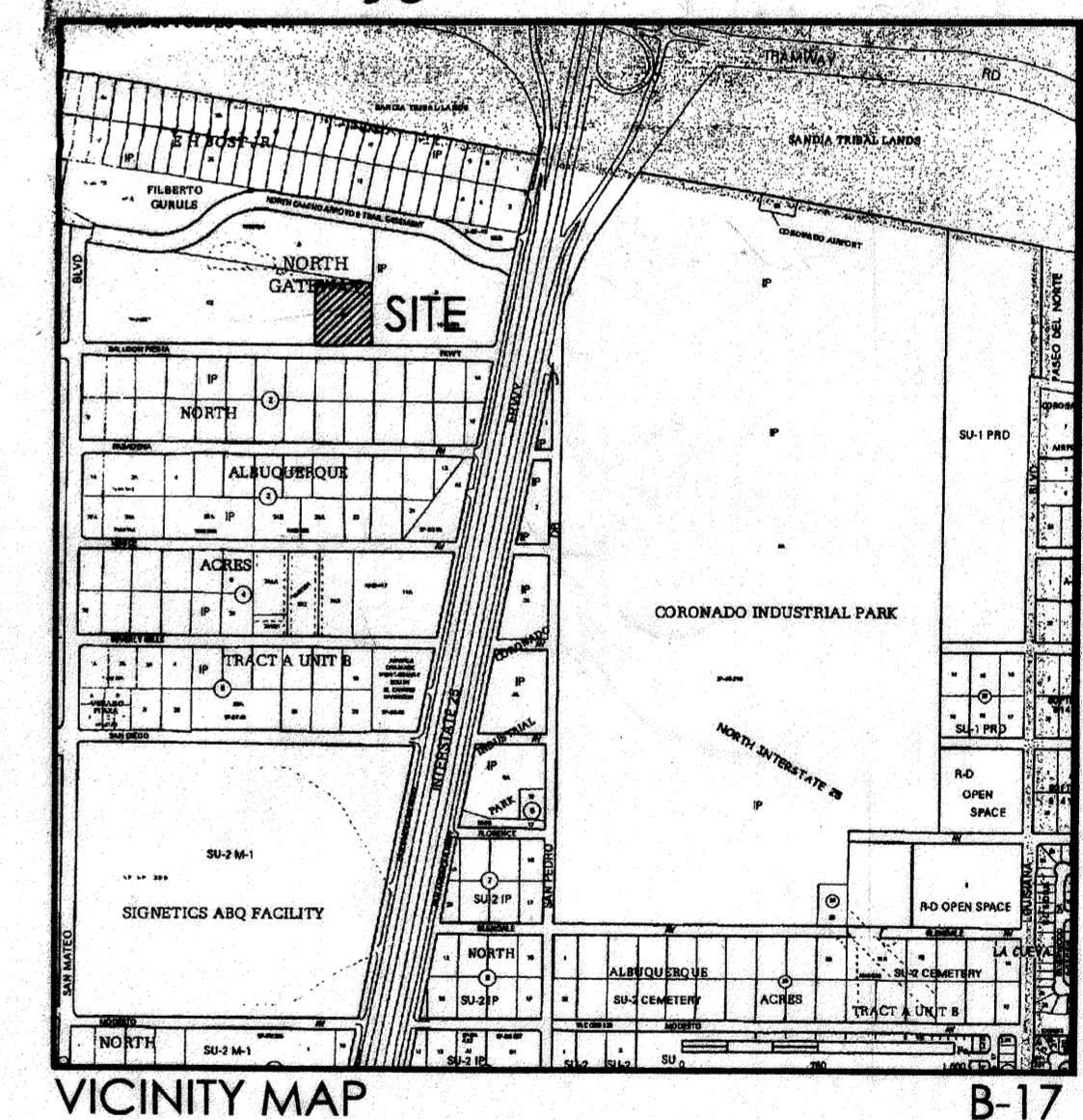


1 Site Plan for Building Permit
Scale: 1" = 20'-0"



SITE DEVELOPMENT DATA:
LEGAL DESCRIPTION: TRACT C-1-A, NORTH GATEWAY SUBDIVISION
CURRENT ZONING: IP
ZONE ATLAS PAGE: C-17-Z
LOT AREA: 2.41 ACRES (105,040 SQ. FT.)
BUILDING AREA: 16,950sf FIRST FLOOR OFFICE AREA
 1,979sf FIRST FLOOR STORAGE AREA
 7,268sf SECOND FLOOR OFFICE AREA
 26,197sf TOTAL BUILDING AREA
PARKING REQUIREMENTS: 16,950sf/200 = 85 SPACES
 1,979sf/2000 = 1 SPACE
 7,268sf/300 = 25 SPACES
 111 SPACES REQUIRED
 111 SPACES LESS 10% BUS ROUTE CREDIT =
 100 SPACES REQUIRED
 100 SPACES PROVIDED INCLUDING 4 HANDICAP
 SPACES PLUS 3 MOTORCYCLES SPACES

- KEYED NOTES:**
- [1] THE PEDESTRIAN AND BICYCLE CONNECTION FROM THIS PROPERTY TO THE ADJACENT PROPERTY TO THE NORTH ONCE THAT PROPERTY IS DEVELOPED.
 - [2] 6" HIGH WROUGHT IRON FENCE. SEE 6/A402.
 - [3] WROUGHT IRON CARD-OPERATED SWING GATES
 - [4] CONCRETE ISLAND WITH CARD-READER FOR ENTRANCE ACCESS. EXIT ON LOOP SYSTEM.
 - [5] DOUBLE-LOADED COVERED PARKING WITH CENTER STEEL COLUMNS AND CANTILEVERED CANOPY STRUCTURE WITH PREFINISHED METAL ROOF PANELS.
 - [6] COVERED PARKING WITH STEEL COLUMNS AND CANTILEVERED CANOPY STRUCTURE WITH PREFINISHED METAL ROOF PANELS. COLUMNS TO BE LOCATED AT THE END OF THE PARKING STALL.
 - [7] DOUBLE CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH. GATES TO BE TUBE STEEL FRAME WITH PREFINISHED ROOF PANELS. SEE 4/A402.
 - [8] WROUGHT IRON PEDESTRIAN GATE WITH CARD READER ACCESS.
 - [9] 6" WIDE CITY STANDARD CONCRETE SIDEWALK (C.O.A. STANDARD DETAIL 2430.)
 - [10] CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" o.c. AND EXPANSION JOINTS AT 20'-0" o.c.
 - [11] CITY STANDARD HC RAMP (COA STANDARD DETAIL 2441)
 - [12] LANDSCAPE AREA. SEE LANDSCAPE PLAN.
 - [13] 4' HIGH NATURAL STONE VENEER YARD WALL WITH FARM CREDIT LOGO AND ALUMINUM CHANNEL LETTERS WITH SHIELDED GROUND MOUNTED LIGHTING DIRECTED AT SIGNAGE. SEE 3/A402.
 - [14] EXISTING MEDIAN TO REMAIN.
 - [15] ASPHALT PAVING PER SOILS REPORT RECOMMENDATIONS.
 - [16] EXISTING CONCRETE DRIVE PAD.
 - [17] SPECIALTY PAVING AT BUILDING ENTRANCE PLAZA.
 - [18] EXISTING CITY STANDARD HC RAMP.
 - [19] CONCRETE PARKING BUMPERS.
 - [20] PAINTED HC PARKING SYMBOL.
 - [21] CONCRETE CURB.
 - [22] 24" WIDE CONCRETE STRIP, TYP.
 - [23] EXISTING CITY STANDARD 4" WIDE SIDEWALK.
 - [24] SITE LIGHTING, 20' COLORED POLE WITH SHOEBOX FIXTURE.
 - [25] CONCRETE PAD & TRANSFORMER WITH 6" DIA. PIPE BOLLARDS COORDINATE LOCATION WITH PNM.
 - [26] HC PARKING SIGN, TYPICAL OF 4.
 - [27] PAINTED HC PARKING STRIPING.
 - [28] TEXTURED CONCRETE CROSSWALK.
 - [29] HC RAMP.
 - [30] EXISTING FIRE HYDRANT.
 - [31] BIKE RACK. SEE 5/A402.
 - [32] 4" WIDE MOTORCYCLE SPACE, TYP. OF 3 CONCRETE DRIVEPAD (COA STANDARD DETAIL 2425).
 - [33] EXISTING 10' PUBLIC UTILITY EASEMENT.
 - [34] SCORED CONCRETE WALKWAY/ACCESS AISLE.
 - [35] 36" SQUARE CONCRETE TABLE AND BENCHES.
 - [36] LINE OF CLEAR SITE TRIANGLE.
 - [37] 18" TALL NATURAL STONE VENEER PIERS AT BUILDING ENTRY WITH RECESSED STEP LIGHTING.
- RADIUS INFORMATION**
- ① RADIUS = 3'-0"
 - ② RADIUS = 15'-0"
 - ③ RADIUS = 25'-0"
 - ④ RADIUS = 30'-0"
 - ⑤ RADIUS = 49'-0"



PROJECT NUMBER: 100545 APPLICATION NUMBER: 07-00588

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION <i>Roger A. Green</i>	5-30-07 Date
UTILITIES DEPARTMENT <i>David Alan</i>	6-11-07 Date
PARKS AND RECREATION DEPARTMENT <i>REARLS</i>	5-30-07 Date
CITY ENGINEER <i>N/A</i>	5-30-07 Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
SOLID WASTE MANAGEMENT <i>Michael Helton</i>	5/30/07 Date
DRB CHAIRPERSON, PLANNING DEPARTMENT <i>B. Matson</i>	6/12/07 Date

revision by date

rev

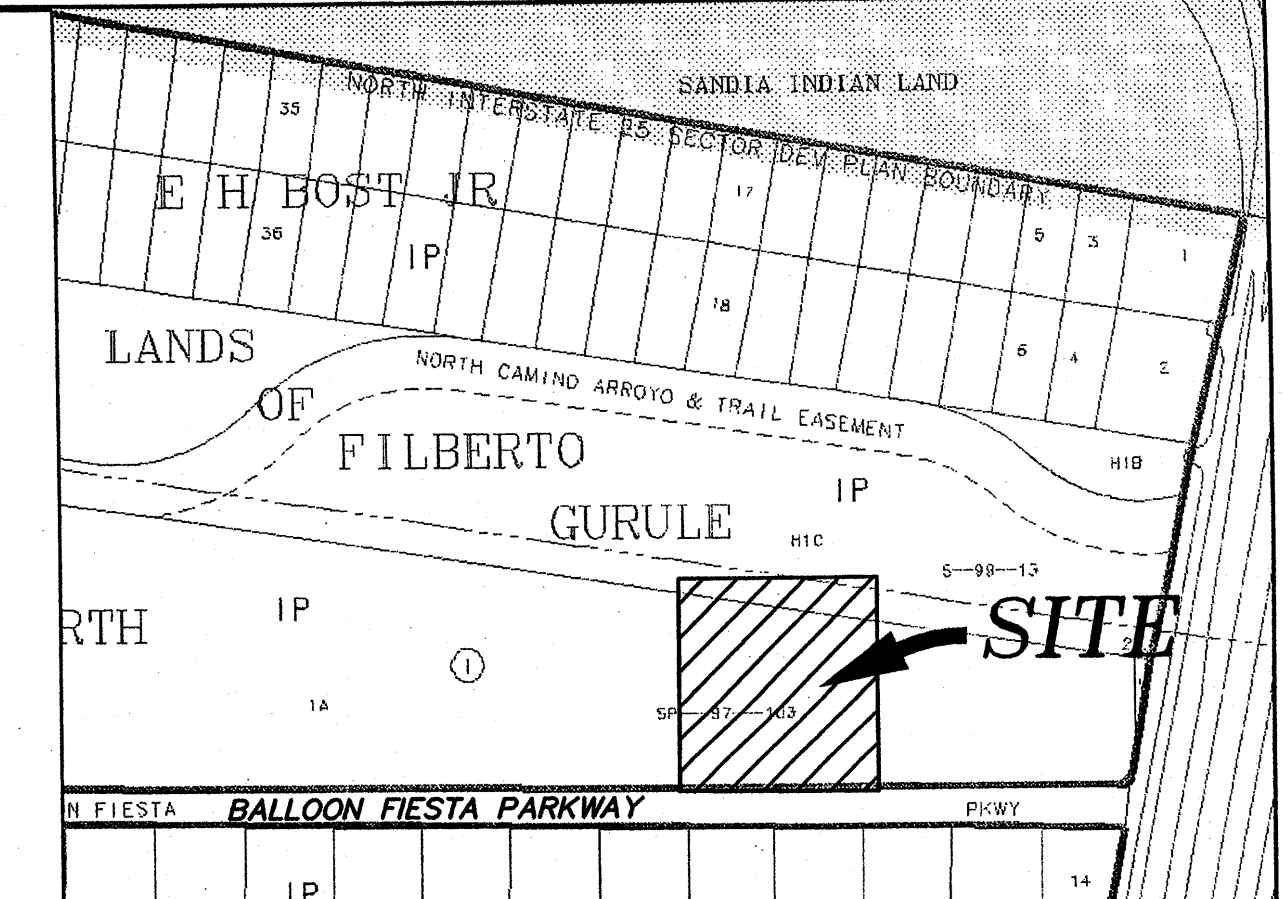
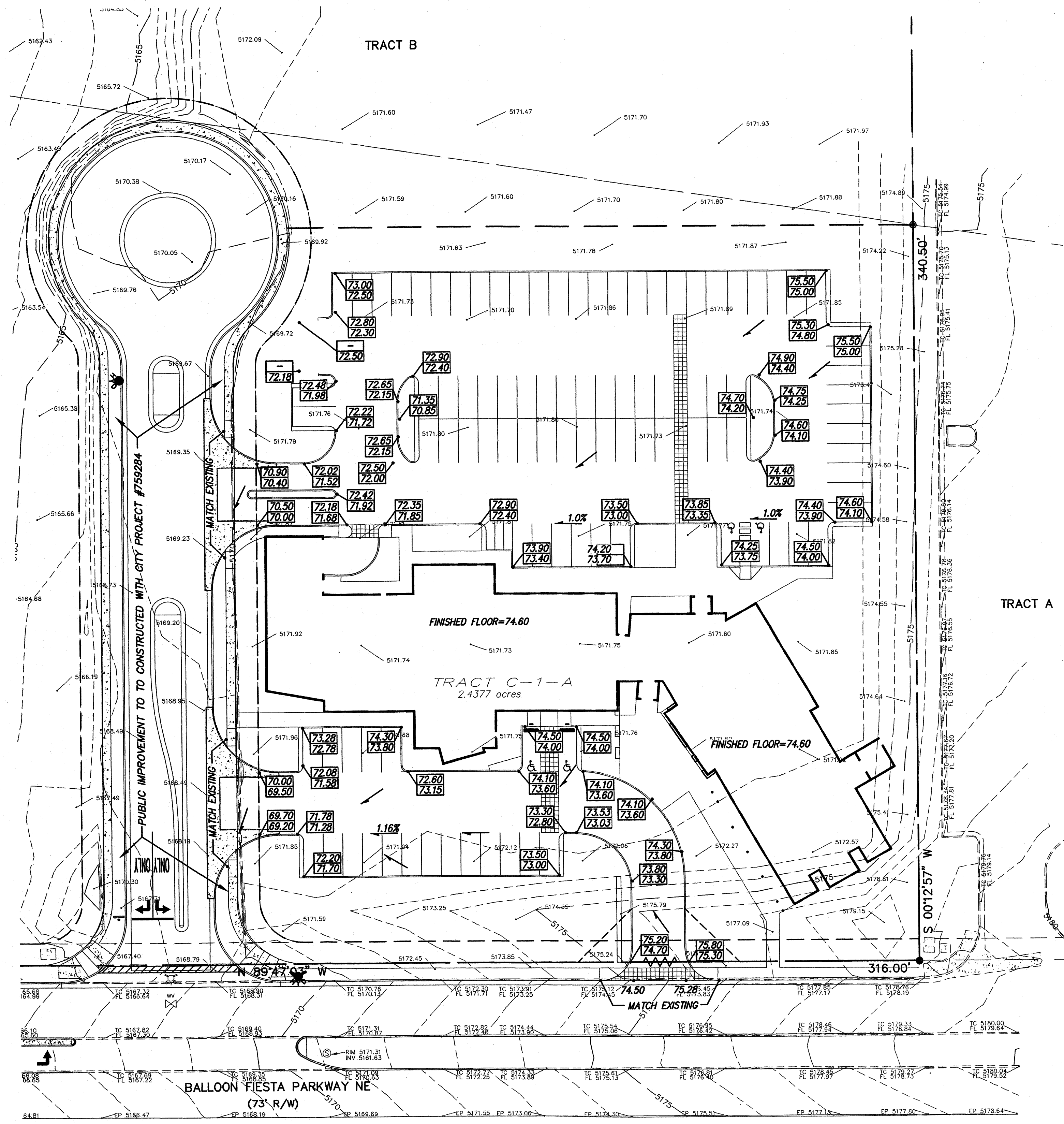
MH
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

job number 06-36
drawn by jph
project manager Douglas Heller, AIA
date 5/25/07

Project file Farm Credit of New Mexico
5651 Balloon, Fiesta Parkway NW
Albuquerque, NM
sheet file Site Plan for Building Permit

sheet A001

1005545



VICINITY MAP ZONE MAP: C-17-Z

T B M (TEMPORARY BENCHMARK)

LEGAL DESCRIPTION:
TRACT C-1-A OF NORTH GATEWAY PLAT.

NOTES

LEGEND

	EX. CURB & GUTTER
	EX. EASEMENT
	EX. OVERHEAD POWER LINE
	EX. FOUND REBAR WITH CAP "LS 5978"
	EX. SET BATHEY MARKER "LS 14271"
	EX. SANITARY SEWER MANHOLE
	EX. SANITARY SEWER LINE
	EX. WATER VALVE
	EX. FIRE HYDRANT
	PROPERTY LINE
	NEW SPOTS
	NEW WATER BREAK
	NEW BUILDING
	NEW CURB

I. PROJECT DESCRIPTION

The proposed site area comprises approximately 2.4 acres and is located along the north side of Balloon Fiesta Parkway NE. The current legal description of the site is Tract C-1-A of North Gateway Plat. The property is contained within the North Gateway development for which a Master Conceptual Grading and Drainage Plan was approved. The Purpose of this report is to present the drainage management plan for the proposed building in order to obtain the conceptual grading and drainage plan approval. All applicable ordinances, the DPM and AHYMO were utilized to prepare this plan.

II. DRAINAGE DESIGN CRITERIA

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual. The 100-year, 6-hour storm event was utilized to determine site runoff rates using $P(1 \text{ hr}) = 2.10"$, $P(6 \text{ hr}) = 2.50"$ and $P(24 \text{ hr}) = 2.80"$, obtained from the DPM. The onsite Land Treatment values used were Treatment D=85 and Treatment B=15.

III. EXISTING DRAINAGE CONDITION

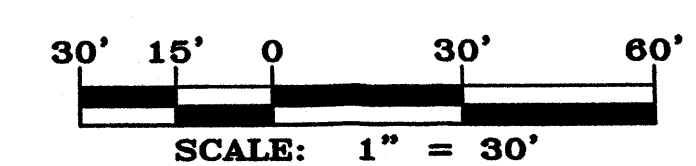
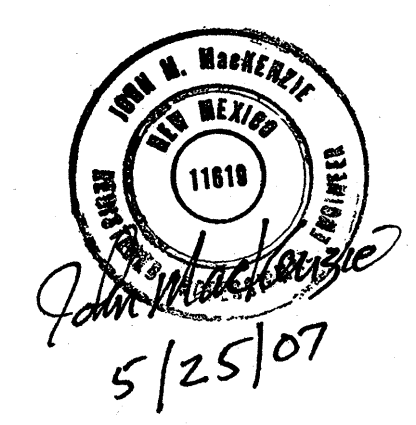
Mark Goodwin and Associates submitted a drainage report covering the subject property in connection with its work on the original subdivision of the North Gateway in 2007. The report has an engineer's stamp date of 03/07/07. According to the report, developed runoff discharging from this site is designed to be discharged freely onto the Balloon Fiesta Parkway NE. There are no off-site flows that enter the site.

IV. DEVELOPED DRAINAGE CONDITIONS

The total developed conditions flow from this site is 11.06 cfs. The proposed grading and drainage plan for the new development complies with the North Gateway Master Drainage Plan. The developed runoff from Tract C-1-A is designed to discharge freely onto the Balloon Fiesta Parkway NE; this can be achieved by adding a Type "A" storm inlet at intersection of Balloon Fiesta Parkway NE and San Mateo Blvd NE along the north side of Balloon Fiesta Parkway NE. All the capacity calculations and AHYMO printouts are attached in the Appendix A.

V. CONCLUSIONS

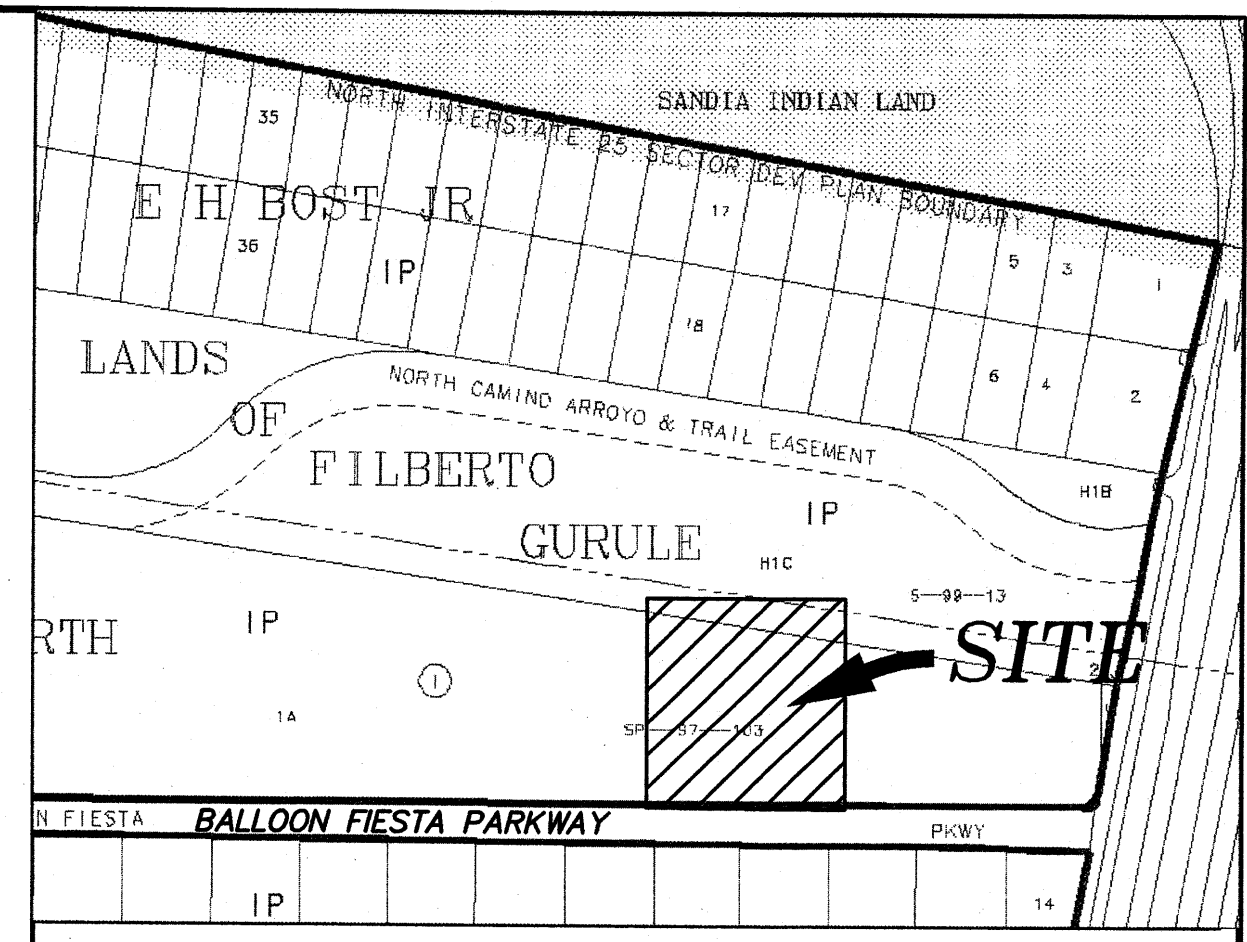
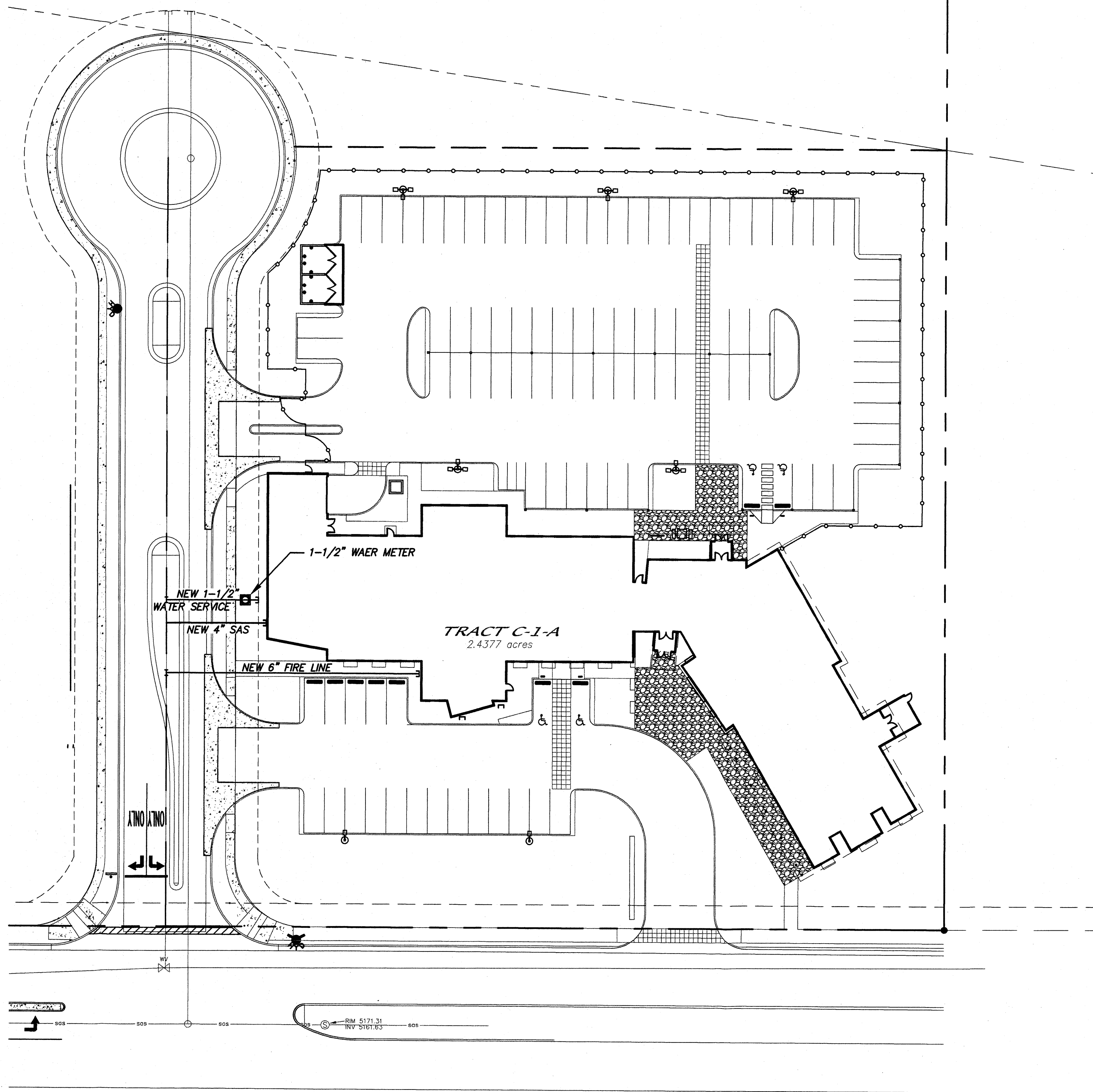
The proposed drainage scheme for the new buildings can be readily accommodated through the implementation of this plan. It has been adequately shown in this report that the internal conveyance of storm water to off-site facilities can be accomplished while meeting all current City requirements.



FARM CREDIT BUREAU
CONCEPTUAL GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: CAR	Checked: DMG	Sheet 1 of 7
Scale: 1" = 30'	Date: 04/30/07	Job: A6096	



VICINITY MAP ZONE MAP: C-17-Z

T B M (TEMPORARY BENCHMARK)

LEGAL DESCRIPTION:
TRACT C-1-A OF NORTH GATEWAY PLAT.

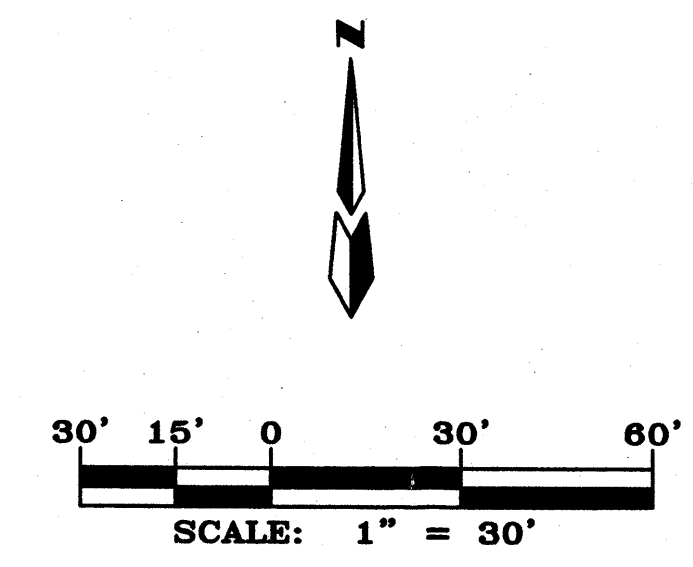
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LEGEND

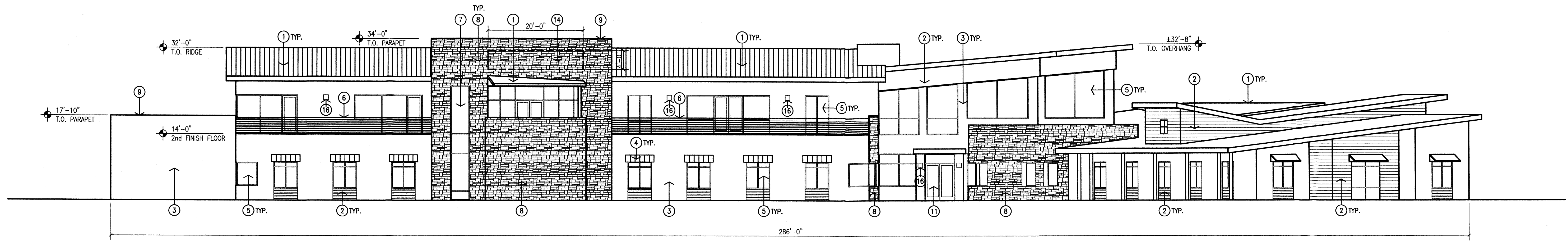
- EX. CURB & GUTTER
 - EX. EASEMENT
 - SAS --- EX. OVERHEAD POWER LINE
 - ⊙ EX. FOUND REBAR WITH CAP "LS 5978"
 - ⊙ EX. SET BATHY MARKER "LS 14271"
 - ⊙ EX. SANITARY SEWER MANHOLE
 - SAS --- EX. SANITARY SEWER LINE
 - WV EX. WATER VALVE
 - ⊗ EX. FIRE HYDRANT
 - - - - - PROPERTY LINE
-
- [] NEW BUILDING
 - NEW CURB
 - NEW SAS
 - NEW WATERLINE
 - NEW WATER METER

FARM CREDIT BUREAU
CONCEPTUAL UTILITY SHEET

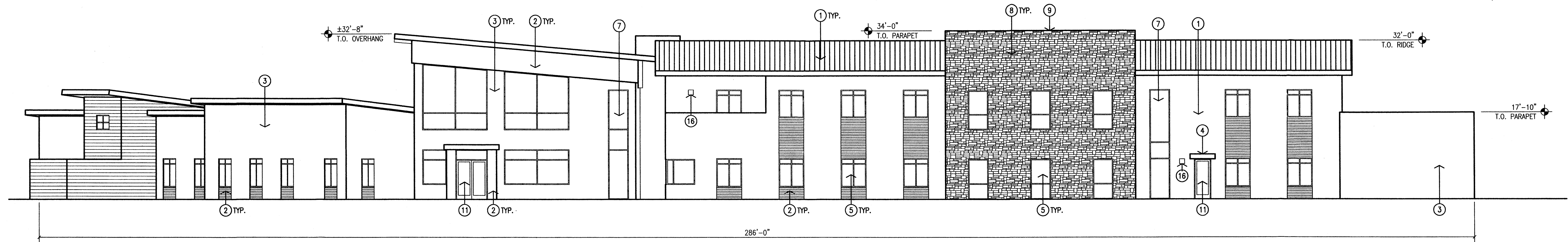
dmg MARK GOODWIN & ASSOCIATES, P.A.
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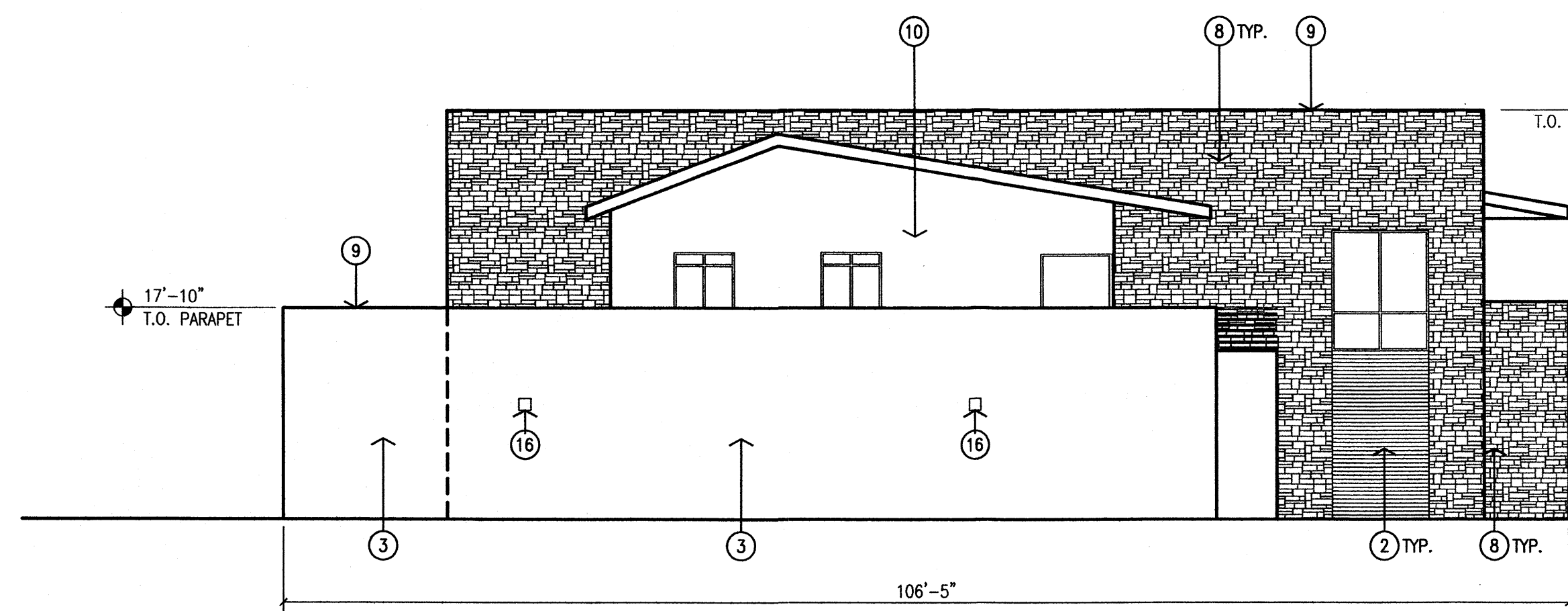
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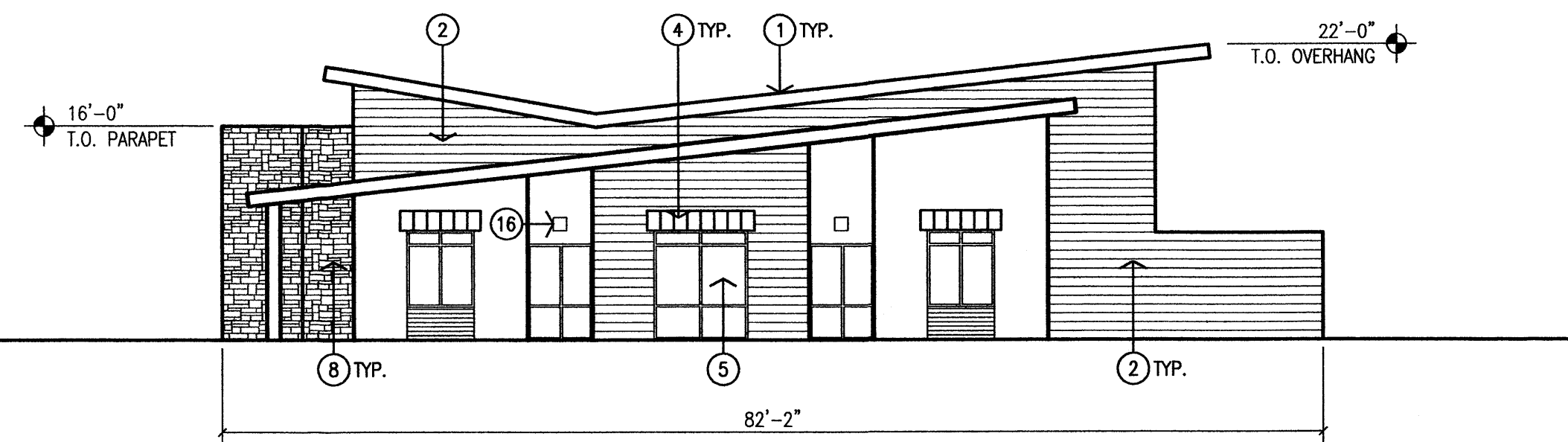
1 South Elevation
Scale: 3/32"=1'-0"



2 North Elevation
Scale: 3/32"=1'-0"



3 West Elevation
Scale: 3/32"=1'-0"



4 Southwest Elevation
Scale: 3/32"=1'-0"

KEYED NOTES:

- [1] PREFINISHED STANDING SEAM METAL ROOF WITH MATCHING SOFFIT, FASCIA, TRIM, GUTTER AND DOWNSPOUT SYSTEM. COLOR: GUN METAL GRAY.
- [2] PREFINISHED ALUMINUM METAL PANELS. COLOR: TERRA COTTA.
- [3] EXTERIOR INSULATION FINISH SYSTEM. COLOR: MEDIUM TAN.
- [4] TUBE STEEL CANOPY FRAME WITH PREFINISHED STANDING SEAM ROOF. COLOR: GUN METAL GRAY.
- [5] ALUMINUM STOREFRONT. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [6] CUSTOM STAINLESS STEEL CABLE GUARD RAIL SYSTEM.
- [7] ALUMINUM CURTAIN WALL SYSTEM. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [8] NATURAL STONE VENEER. COLORS: GOLD, GREY AND RED.
- [9] PREFINISHED METAL PARAPET CAP TO MATCH STONE VENEER.
- [10] TUBE STEEL CANOPY WITH PREFINISHED ALUMINUM ROOF SOFFIT AND FASCIA PANELS. COLOR: GUN METAL GRAY.
- [11] 8'-0" ALUMINUM STOREFRONT DOORS WITH CUSTOM HARDWARE. COLOR: TERRA COTTA.
- [12] STEEL PIPE COLUMN WITH CAST-IN-PLACE CONCRETE BASE. COLOR: TERRA COTTA.
- [13] EXTERIOR INSULATION FINISH SYSTEM. COLOR: LIGHT TAN.
- [14] ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. PREFINISHED BLACK AND ANODIZED ALUMINUM.
- [15] STONE VENEER YARD WALL WITH ANODIZED ALUMINUM AND PREFINISHED BLACK LETTERS AND LOGO. GROUND MOUNTED LIGHT TO ILLUMINATE THE SIGN.
- [16] WALL MOUNTED LIGHTING. HOUSING COLOR TO MATCH STOREFRONT.

revision

by

date

rev



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Architecture P.C.

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505 268 4244 [f]

job number 06-36
drawn by jch
project manager Douglas Heller, AIA
date 5/25/07

project title
Farm Credit of New Mexico
5651 Balloon Fiesta Parkway NW
Albuquerque, NM

sheet title
Exterior Elevations

sheet-
A401

