

1 Site Plan  
Scale: 1"=20'-0"

- GENERAL NOTES:
- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
  - [B] LIGHTING TO BE PROVIDED TO ADEQUATELY ILLUMINATE THE PARKING, COVERED PARKING, BUILDING PERIMETER AND MONUMENT SIGN ON NATURAL STONE WALL AT SOUTHERN ENTRANCE.
  - [C] SPECIAL PAVING (COLORED CONCRETE OR STONE PAVERS) TO BE INSTALLED AT NORTH AND SOUTH BUILDING ENTRANCES.
  - [D] ALL NEW DRIVEWAY CONSTRUCTION WILL BE TO CITY OF ALBUQUERQUE STANDARDS AND REREQUIREMENTS.

- KEYED NOTES:
- [1] 8" HIGH WROUGHT IRON FENCE.
  - [2] WROUGHT IRON CARD-OPERATED SWING GATES.
  - [3] CONCRETE ISLAND WITH CARD-READER FOR ENTRANCE ACCESS. EXIT ON LOOP SYSTEM.
  - [4] DOUBLE-LOADED COVERED PARKING WITH CENTER STEEL COLUMNS AND CANTILEVERED CANOPY STRUCTURE WITH PREFINISHED METAL ROOF PANELS. COLLECT WATER WITH A GUTTER AND DOWNSPOUT SYSTEM.
  - [5] COVERED PARKING WITH STEEL COLUMNS AND CANTILEVERED CANOPY STRUCTURE WITH PREFINISHED METAL ROOF PANELS. COLLECT WATER WITH A GUTTER AND DOWNSPOUT SYSTEM. COLUMNS TO BE LOCATED AT THE END OF THE PARKING STALL.
  - [6] CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH. GATES TO BE TUBE STEEL FRAME WITH PREFINISHED ROOF PANELS.
  - [7] WROUGHT IRON PEDESTRIAN GATE WITH CARD READER ACCESS.
  - [8] NEW CONCRETE SIDEWALK TO C.O.A. STANDARDS.
  - [9] NEW CONCRETE SIDEWALK.
  - [10] HIGH DESERT GRASS AND WILD FLOWER LANDSCAPE.
  - [11] CRUSHER FINES AND PEA GRAVEL WITH PLANTING MATERIAL.
  - [12] 6" HIGH NATURAL STONE VENEER WALL WITH FARM CREDIT LOGO AND ALUMINUM CHANNEL LETTERS. STONE WALL TO STEP DOWN TO 18" HIGH AS IT TRAVELS NORTH TO THE BUILDING ENTRANCE.
  - [13] COBBLE TO STABILIZE THE EXISTING SLOPE AT THE PROPERTY LINES.
  - [14] ASPHALT PAVING PER SOILS REPORT RECOMMENDATIONS.
  - [15] NEW DRIVE PAD PER C.O.A. STANDARDS.
  - [16] SPECIALTY PAVING AT BUILDING ENTRANCE PLAZA.

269237  
 IIB Const / sprinkled  
 1164gpm  
 1-2 Fire Hydrant.

APPROVED DISAPPROVED  
 HYDRANT(S) ONLY  
 4-12-07  
 SIGNATURE & DATE

CITY OF ALBUQUERQUE  
 "SOLID WASTE"  
 MANAGEMENT DEPARTMENT  
 APPROVED *JW* 5-20-07

revision	
by	
date	
rev	A A A A A

**MH**  
 Mullen Heller  
 Architecture P.C.  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]

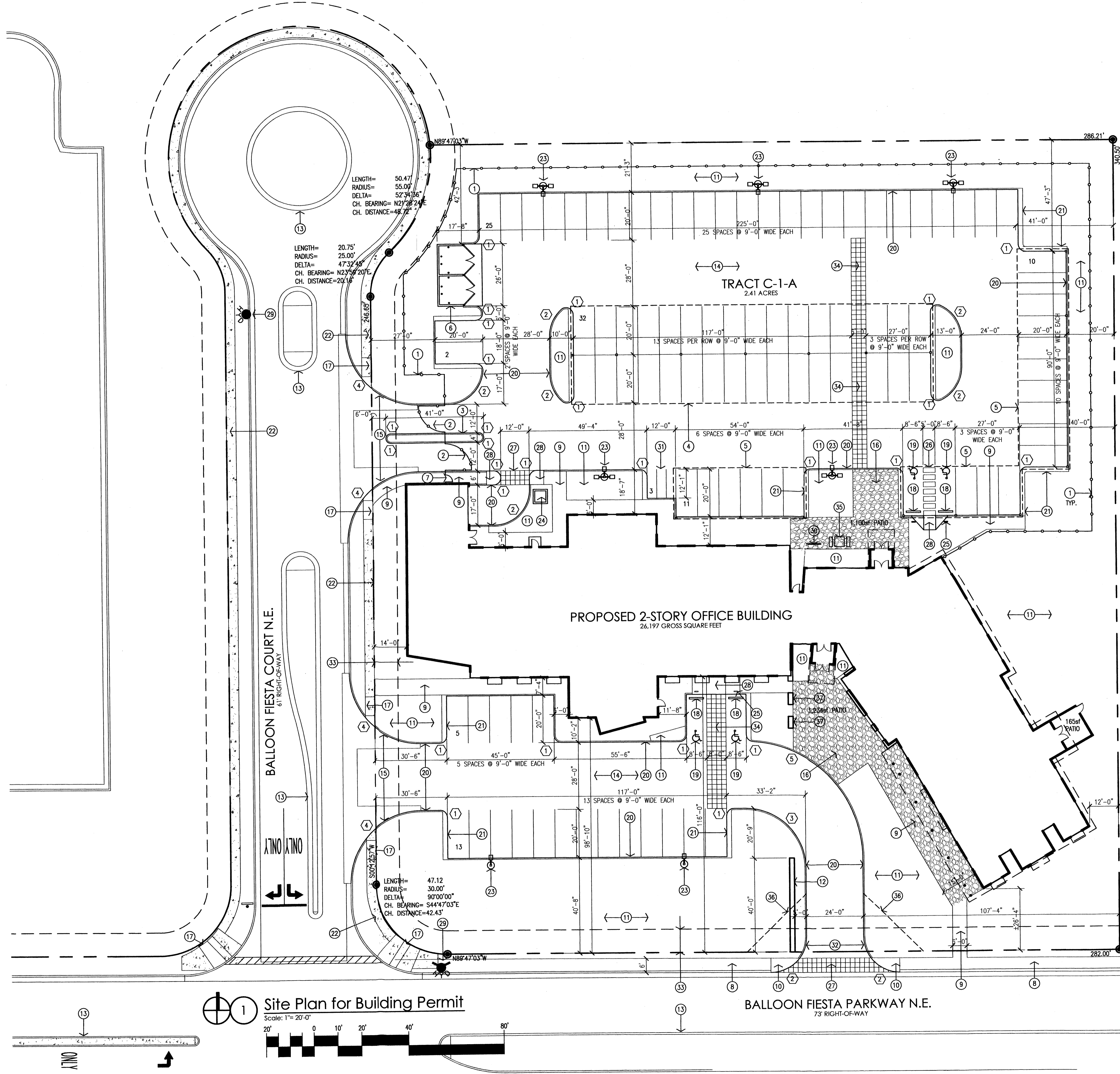
job number	06-36
drawn by	jdh
project manager	Douglas Heller, AIA
date	3/23/07

project title  
 Farm Credit of New Mexico  
 5651 Balloon Fiesta Parkway NW  
 Albuquerque, NM

sheet title  
 Site Plan

sheet  
 A001

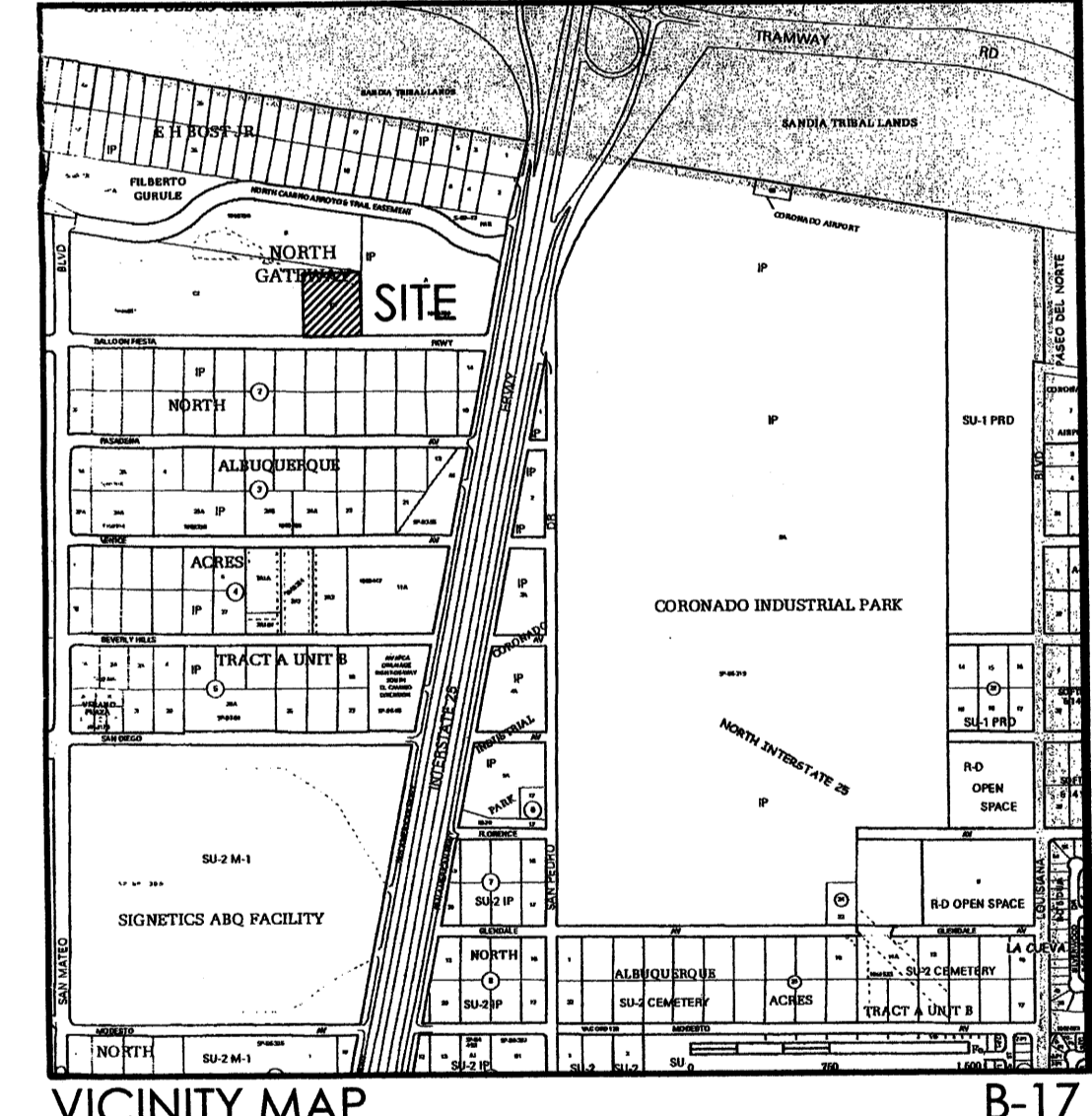




**SITE DEVELOPMENT DATA:**  
 LEGAL DESCRIPTION: TRACT C-1-A, NORTH GATEWAY SUBDIVISION  
 CURRENT ZONING: IP  
 ZONE ATLAS PAGE: C-17-Z  
 LOT AREA: 2.41 ACRES (105,040 SQ. FT.)  
 BUILDING AREA: 16,950sf FIRST FLOOR OFFICE AREA  
 1,979sf FIRST FLOOR STORAGE AREA  
 7,268sf SECOND FLOOR OFFICE AREA  
 26,197sf TOTAL BUILDING AREA  
 PARKING REQUIREMENTS: 16,950sf/200 = 85 SPACES  
 1,979sf/2000 = 1 SPACE  
 7,268sf/300 = 25 SPACES  
 111 SPACES REQUIRED  
 111 SPACES LESS 10% BUS ROUTE CREDIT =  
 100 SPACES REQUIRED  
 100 SPACES PROVIDED INCLUDING 4 HANDICAP  
 SPACES PLUS 3 MOTORCYCLES SPACES

SBP  
 PRELIMINARY PLAN  
 APPROVED BY DBB  
 ON 5/30/07

- KEYED NOTES:**
- [1] THE PEDESTRIAN AND BICYCLE CONNECTION FROM THIS PROPERTY TO THE ARROYO WILL BE ALONG THE 4' SIDEWALK ON THE WEST PROPERTY LINE AND THROUGH THE ADJACENT PROPERTY TO THE NORTH ONCE THAT PROPERTY IS DEVELOPED.
  - [2] 6' HIGH WROUGHT IRON FENCE. SEE 6/A402.
  - [3] WROUGHT IRON CARD-OPERATED SWING GATES CONCRETE ISLAND WITH CARD-READER FOR ENTRANCE ACCESS. EXIT ON LOOP SYSTEM.
  - [4] DOUBLE-LOADED COVERED PARKING WITH CENTER STEEL COLUMNS AND CANTILEVERED CANOPY STRUCTURE WITH PREFINISHED METAL ROOF PANELS.
  - [5] COVERED PARKING WITH STEEL COLUMNS AND CANTILEVERED CANOPY STRUCTURE WITH PREFINISHED METAL ROOF PANELS. COLUMNS TO BE LOCATED AT THE END OF THE PARKING STALL.
  - [6] DOUBLE CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH. GATES TO BE TUBE STEEL FRAME WITH PREFINISHED ROOF PANELS. SEE 4/A402.
  - [7] WROUGHT IRON PEDESTRIAN GATE WITH CARD READER ACCESS.
  - [8] 6' WIDE CITY STANDARD CONCRETE SIDEWALK (C.O.A. STANDARD DETAIL 2430).
  - [9] CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" o.c. AND EXPANSION JOINTS AT 20'-0" o.c.
  - [10] CITY STANDARD HC RAMP (COA STANDARD DETAIL 2441).
  - [11] LANDSCAPE AREA. SEE LANDSCAPE PLAN.
  - [12] 4' HIGH NATURAL STONE VENEER YARD WALL WITH FARM CREDIT LOGO AND ALUMINUM CHANNEL LETTERS WITH SHIELDED GROUND MOUNTED LIGHTING DIRECTED AT SIGNAGE. SEE 3/A402.
  - [13] EXISTING MEDIAI TO REMAIN.
  - [14] ASPHALT PAVING PER SOILS REPORT RECOMMENDATIONS.
  - [15] EXISTING CONCRETE DRIVE PAD.
  - [16] SPECIALTY PAVING AT BUILDING ENTRANCE PLAZA.
  - [17] EXISTING CITY STANDARD HC RAMP.
  - [18] CONCRETE PARKING BUMPERS.
  - [19] PAINTED HC PARKING SYMBOL.
  - [20] CONCRETE CURB.
  - [21] 24" WIDE CONCRETE STRIP, TYP.
  - [22] EXISTING CITY STANDARD 4' WIDE SIDEWALK.
  - [23] SITE LIGHTING, 20' COLORED POLE WITH SHOEBOX FIXTURE.
  - [24] CONCRETE PAD & TRANSFORMER WITH 6" DIA. PIPE BOLLARDS COORDINATE LOCATION WITH PNM.
  - [25] HC PARKING SIGN, TYPICAL OF 4.
  - [26] PAINTED HC PARKING STRIPING.
  - [27] TEXTURED CONCRETE CROSSWALK.
  - [28] HC RAMP.
  - [29] EXISTING FIRE HYDRANT.
  - [30] BIKE RACK. SEE 5/A402.
  - [31] 4' WIDE MOTORCYCLE SPACE, TYP. OF 3 CONCRETE DRIVEPAD (COA STANDARD DETAIL 2425).
  - [32] EXISTING 10' PUBLIC UTILITY EASEMENT.
  - [33] SCORED CONCRETE WALKWAY/ACCESS AISLE.
  - [34] 36" SQUARE CONCRETE TABLE AND BENCHES.
  - [35] LINE OF CLEAR SITE TRIANGLE.
  - [36] 18" TALL NATURAL STONE VENEER PIERS AT BUILDING ENTRY WITH RECESSED STEP LIGHTING.
- RADIUS INFORMATION**
- ① RADIUS = 3'-0"
  - ② RADIUS = 15'-0"
  - ③ RADIUS = 25'-0"
  - ④ RADIUS = 30'-0"
  - ⑤ RADIUS = 49'-0"



**PROJECT NUMBER:** \_\_\_\_\_ **APPLICATION NUMBER:** \_\_\_\_\_

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

revision

**MH**  
 Mullen Heller  
 Architecture P.C.  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque 87102  
 505 268 4144[p]  
 505 268 4244 [f]

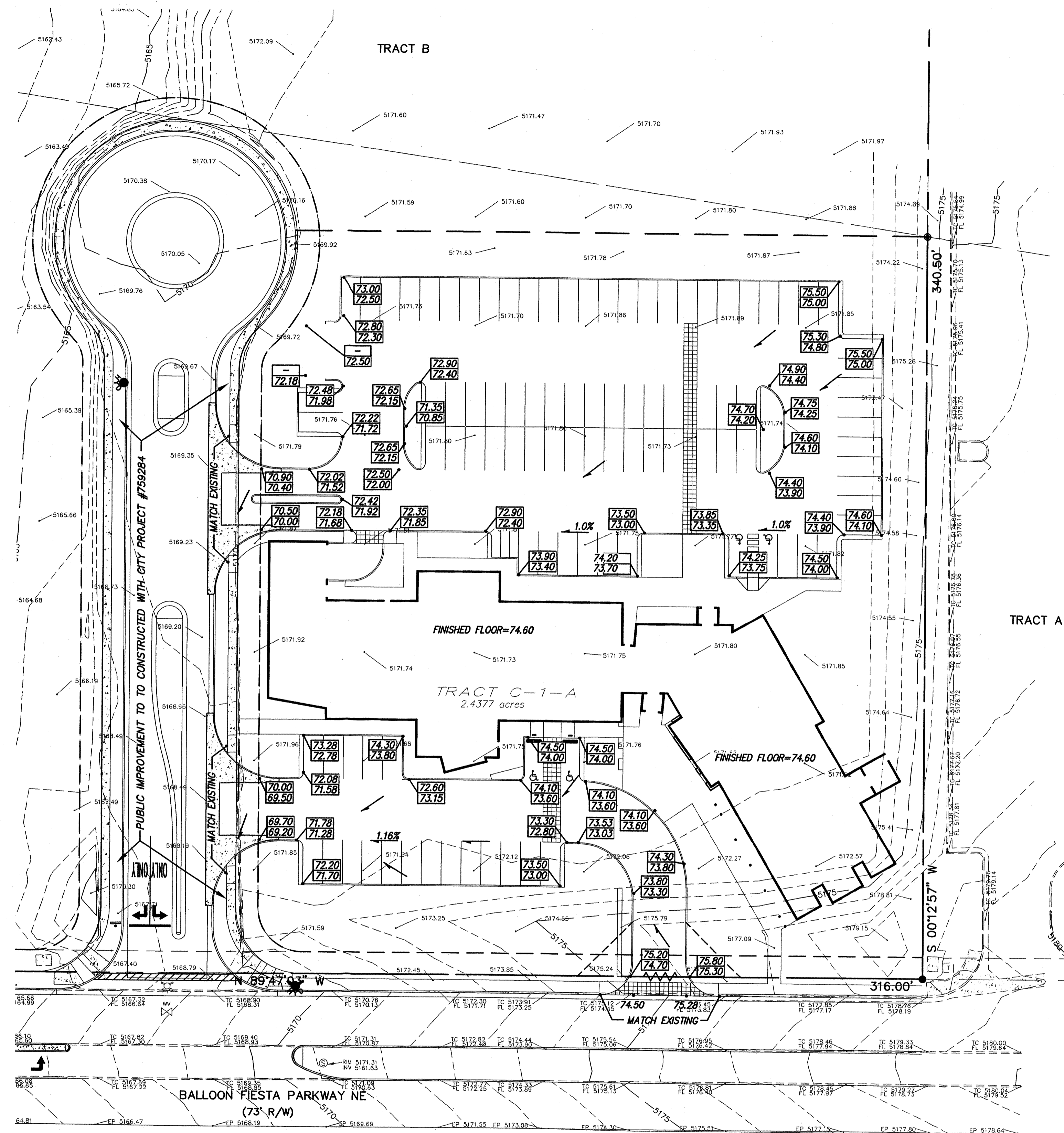
job number 06-36  
 drawn by jdh  
 project manager Douglas Heller, AIA  
 date 5/25/07

project title Farm Credit of New Mexico  
 5651 Balloon Fiesta Parkway NW  
 Albuquerque, NM  
 sheet title Site Plan for Building Permit  
 sheet A001









**I. PROJECT DESCRIPTION**

The proposed site area comprises approximately 2.4 acres and is located along the north side of Balloon Fiesta Parkway NE. The current legal description of the site is Tract C-1-A of North Gateway Plat. The property is contained within the North Gateway development for which a Master Conceptual Grading and Drainage Plan was approved. The Purpose of this report is to present the drainage management plan for the proposed building in order to obtain the conceptual grading and drainage plan approval. All applicable ordinances, the DPM and AHYMO were utilized to prepare this plan.

**II. DRAINAGE DESIGN CRITERIA**

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual. The 100-year, 6-hour storm event was utilized to determine site runoff rates using  $P(1 \text{ hr}) = 2.10"$ ,  $P(6 \text{ hr}) = 2.50"$  and  $P(24 \text{ hr}) = 2.80"$ , obtained from the DPM. The onsite Land Treatment values used were Treatment D=85 and Treatment B=15.

**III. EXISTING DRAINAGE CONDITION**

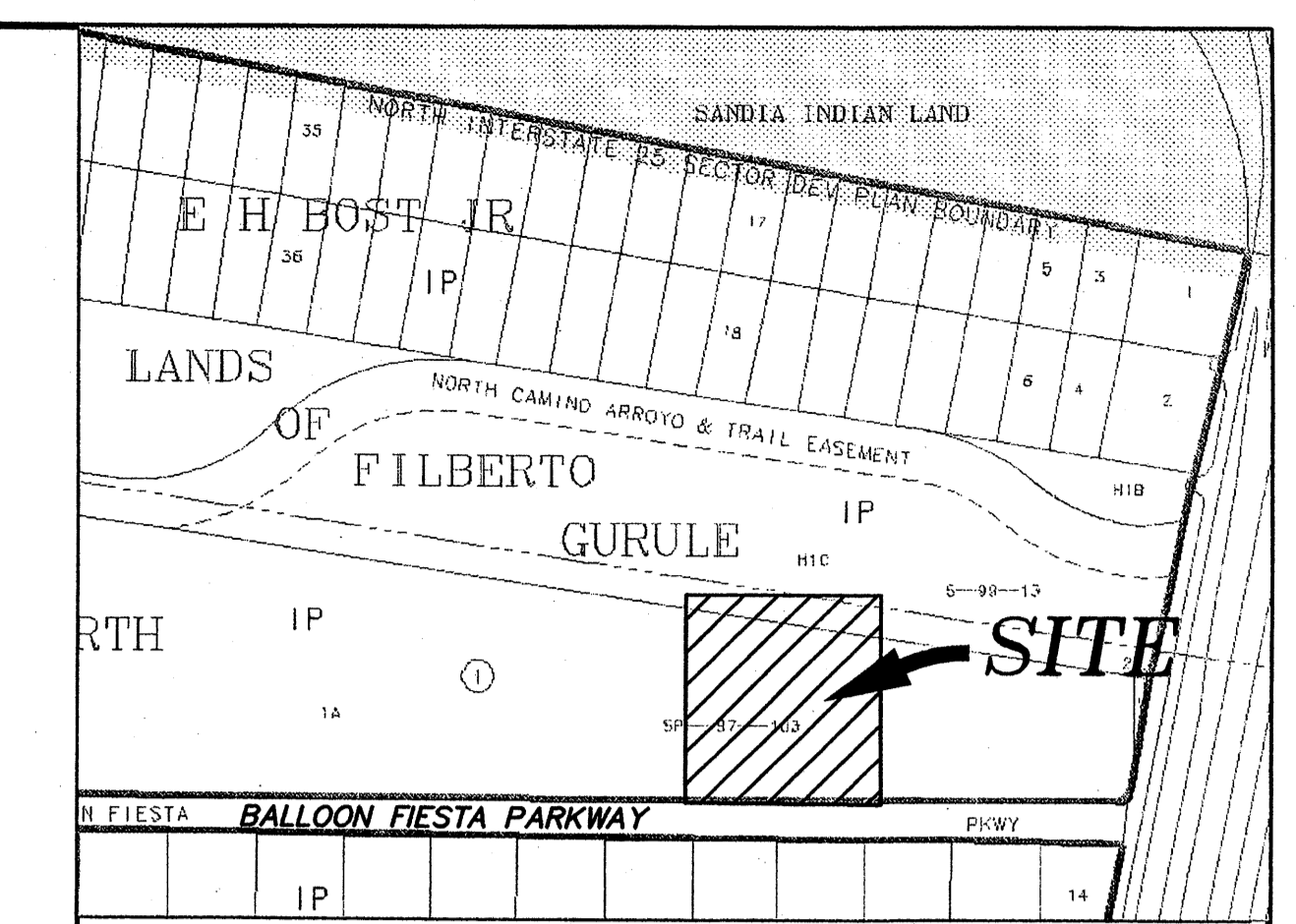
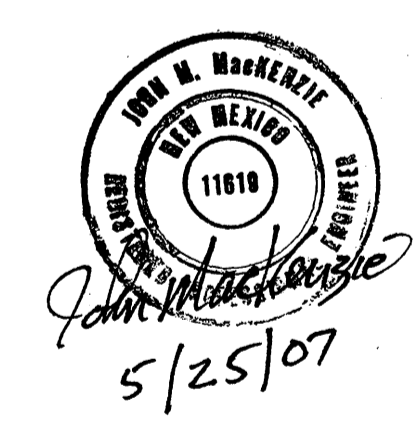
Mark Goodwin and Associates submitted a drainage report covering the subject property in connection with its work on the original subdivision of the North Gateway in 2007. The report has an engineer's stamp date of 03/07/07. According to the report, developed runoff discharging from this site is designed to be discharged freely onto the Balloon Fiesta Parkway NE. There are no offsite flows that enter the site.

**IV. DEVELOPED DRAINAGE CONDITIONS**

The total developed conditions flow from this site is 11.06 cfs. The proposed grading and drainage plan for the new development complies with the North Gateway Master Drainage Plan. The developed runoff from Tract C-1-A is designed to discharge freely onto the Balloon Fiesta Parkway NE, this can be achieved by adding a Type "A" storm inlet at intersection of Balloon Fiesta Parkway NE and San Mateo Blvd NE along the north side of Balloon Fiesta Parkway NE. All the capacity calculations and AHYMO printouts are attached in the Appendix A.

**V. CONCLUSIONS**

The proposed drainage scheme for the new buildings can be readily accommodated through the implementation of this plan. It has been adequately shown in this report that the internal conveyance of storm water to off-site facilities can be accomplished while meeting all current City requirements.



**VICINITY MAP** ZONE MAP: C-17-Z

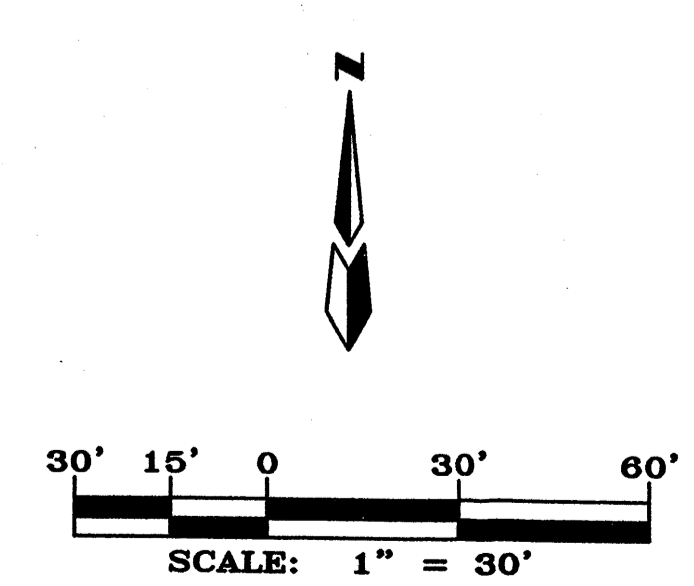
**T B M (TEMPORARY BENCHMARK)**

**LEGAL DESCRIPTION:**  
TRACT C-1-A OF NORTH GATEWAY PLAT.

**NOTES**

**LEGEND**

- EX. CURB & GUTTER
- EX. EASEMENT
- EX. OVERHEAD POWER LINE
- EX. FOUND REBAR WITH CAP "LS 5978"
- EX. SET BATHY MARKER "LS 14271"
- EX. SANITARY SEWER MANHOLE
- EX. SANITARY SEWER LINE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- PROPERTY LINE
- NEW SPOTS
- NEW WATER BREAK
- NEW BUILDING
- NEW CURB

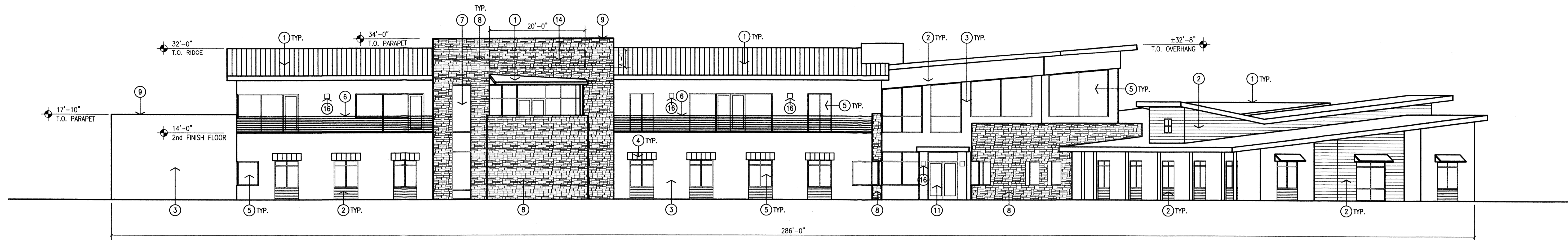


**FARM CREDIT BUREAU  
CONCEPTUAL GRADING & DRAINAGE PLAN**

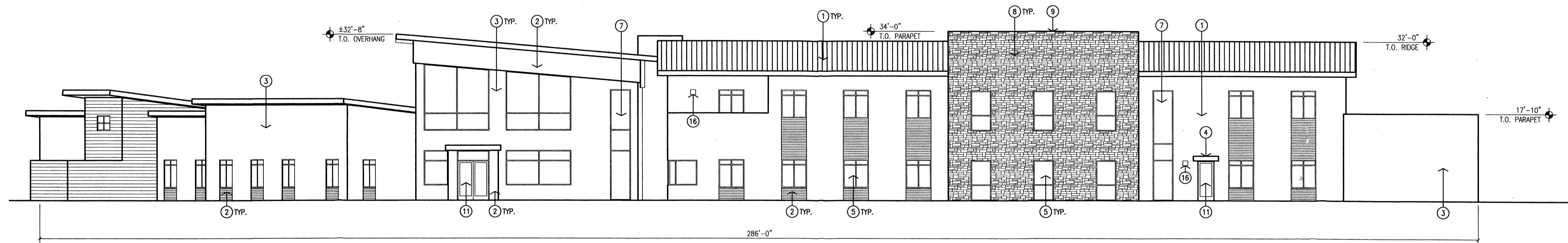
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: CAR	Checked: DMG	Sheet 1 of 1
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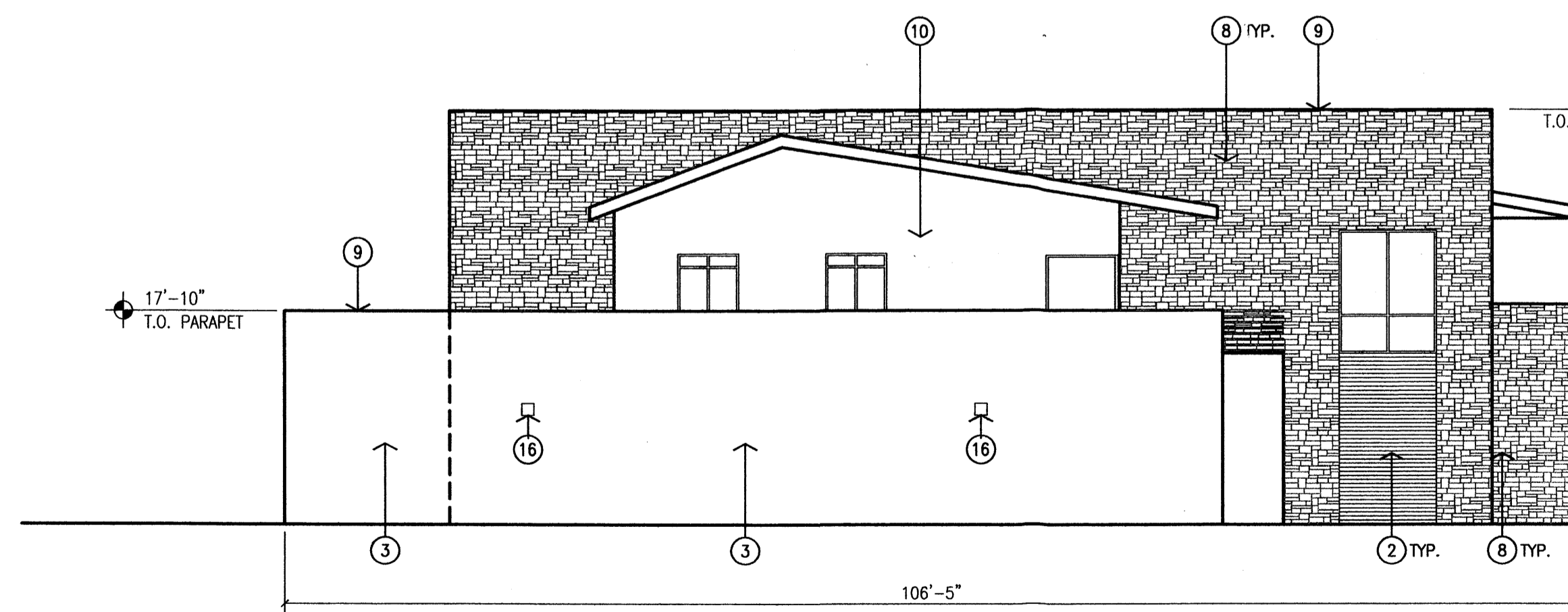




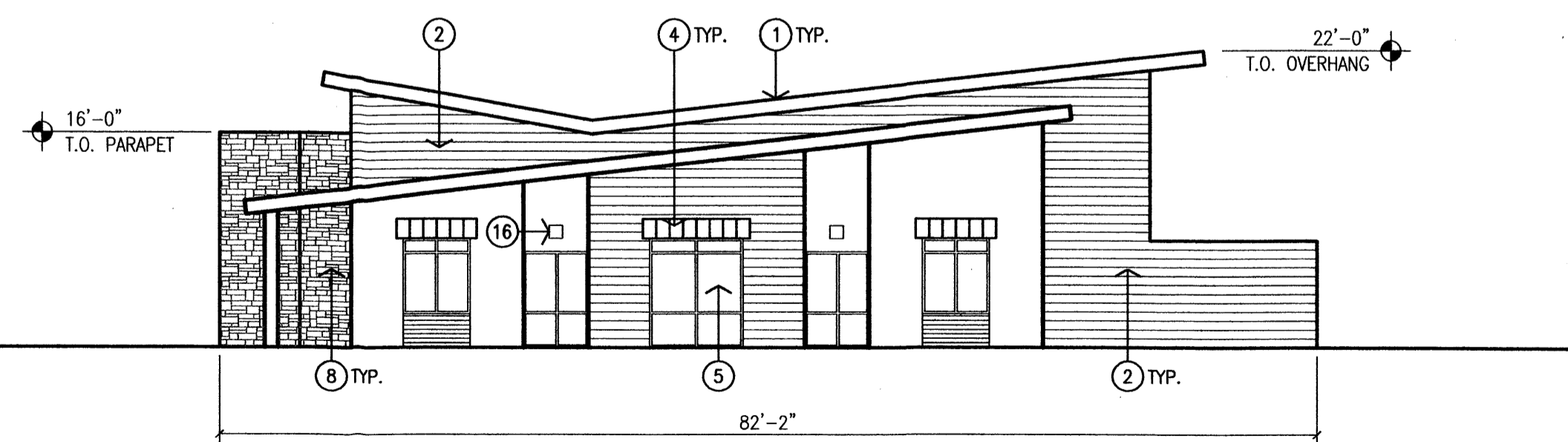
1 South Elevation  
Scale: 3/32"=1'-0"



2 North Elevation  
Scale: 3/32"=1'-0"



3 West Elevation  
Scale: 3/32"=1'-0"



4 Southwest Elevation  
Scale: 3/32"=1'-0"

KEYED NOTES:

- [1] PREFINISHED STANDING SEAM METAL ROOF WITH MATCHING SOFFIT, FASCIA, TRIM, GUTTER AND DOWNSPOUT SYSTEM. COLOR: GUN METAL GRAY.
- [2] PREFINISHED ALUMINUM METAL PANELS. COLOR: TERRA COTTA.
- [3] EXTERIOR INSULATION FINISH SYSTEM. COLOR: MEDIUM TAN.
- [4] TUBE STEEL CANOPY FRAME WITH PREFINISHED STANDING SEAM ROOF. COLOR: GUN METAL GRAY.
- [5] ALUMINUM STOREFRONT. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [6] CUSTOM STAINLESS STEEL CABLE GUARD RAIL SYSTEM.
- [7] ALUMINUM CURTAIN WALL SYSTEM. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [8] NATURAL STONE VENEER. COLORS: GOLD, GREY AND RED.
- [9] PREFINISHED METAL PARAPET CAP TO MATCH STONE VENEER.
- [10] TUBE STEEL CANOPY WITH PREFINISHED ALUMINUM ROOF SOFFIT AND FASCIA PANELS. COLOR: GUN METAL GRAY.
- [11] 8'-0" ALUMINUM STOREFRONT DOORS WITH CUSTOM HARDWARE. COLOR: TERRA COTTA.
- [12] STEEL PIPE COLUMN WITH CAST-IN-PLACE CONCRETE BASE. COLOR: TERRA COTTA.
- [13] EXTERIOR INSULATION FINISH SYSTEM. COLOR: LIGHT TAN.
- [14] ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. PREFINISHED BLACK AND ANODIZED ALUMINUM.
- [15] STONE VENEER YARD WALL WITH ANODIZED ALUMINUM AND PREFINISHED BLACK LETTERS AND LOGO. GROUND MOUNTED LIGHT TO ILLUMINATE THE SIGN.
- [16] WALL MOUNTED LIGHTING. HOUSING COLOR TO MATCH STOREFRONT.

revision

by

date

rev



Mullen Heller  
Architecture P.C.

1015 Tijeras Avenue NW  
Suite 220  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

06-36

jah

DAH

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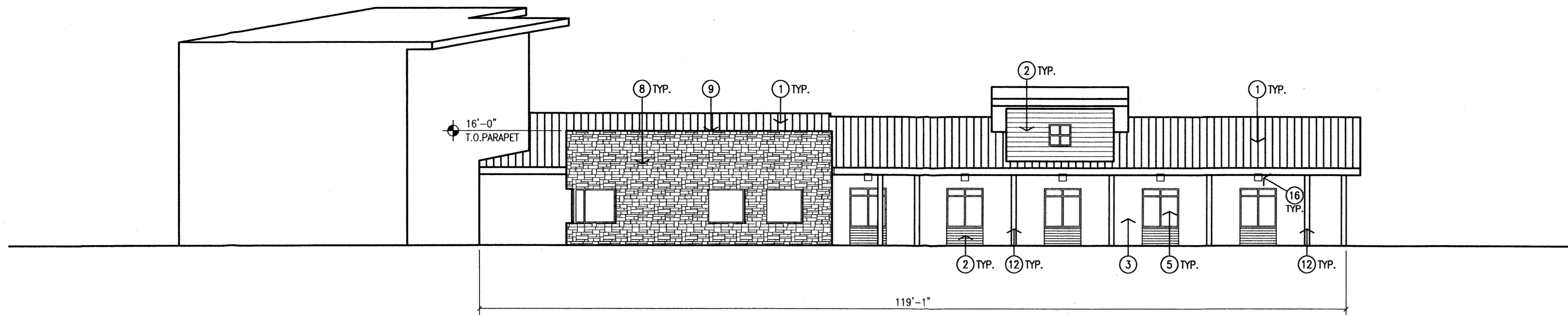
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Exterior Elevations

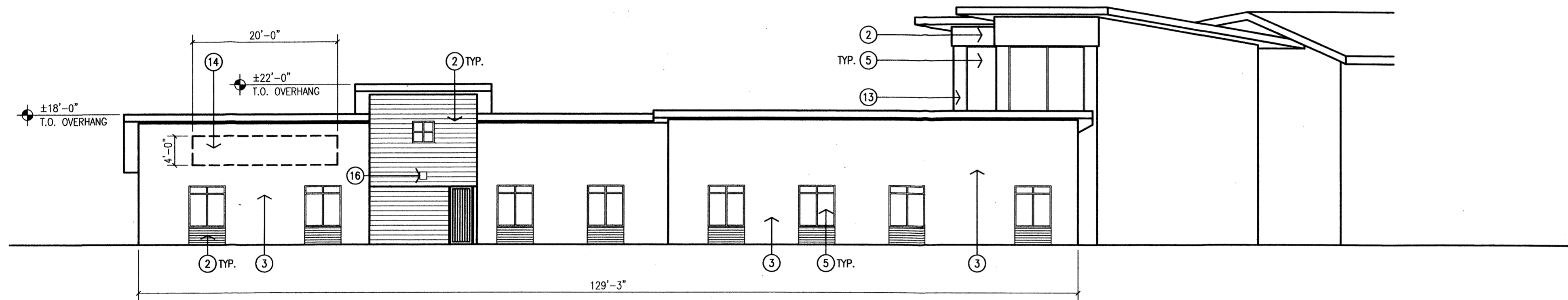
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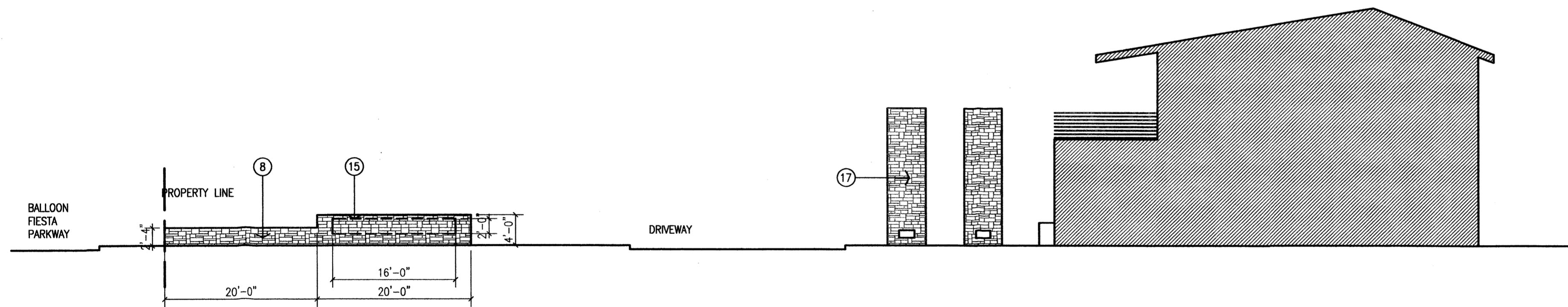




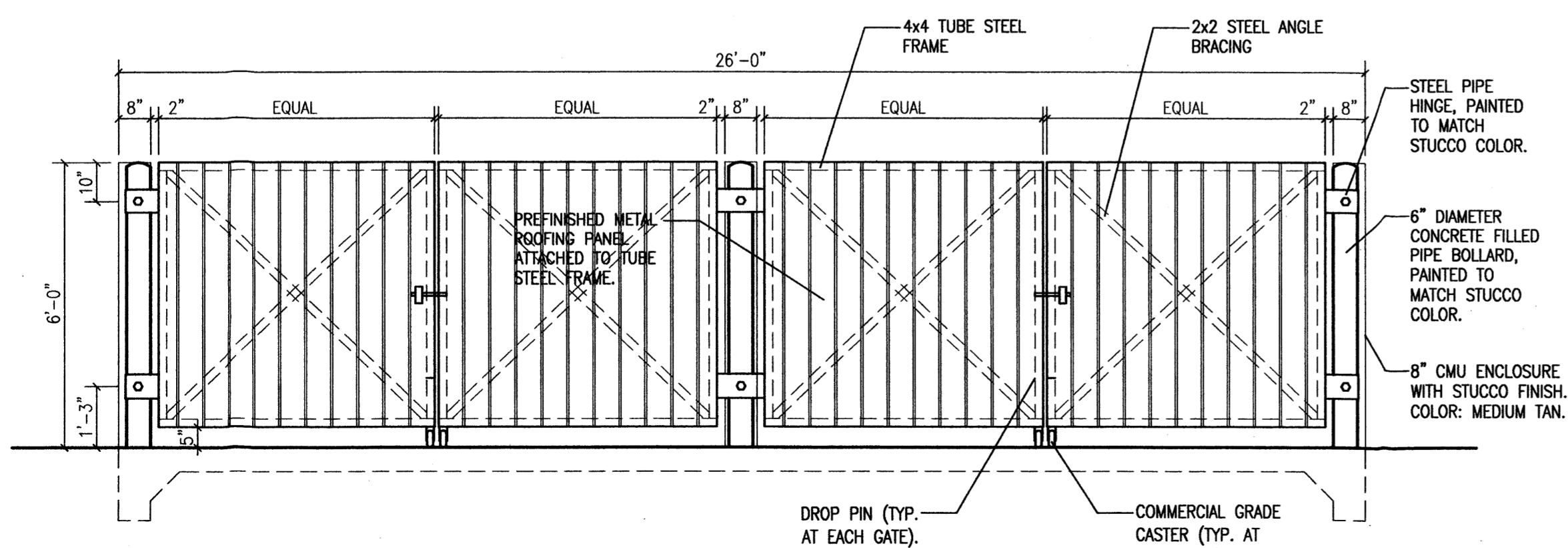
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Scale: 3/32"=1'-0"



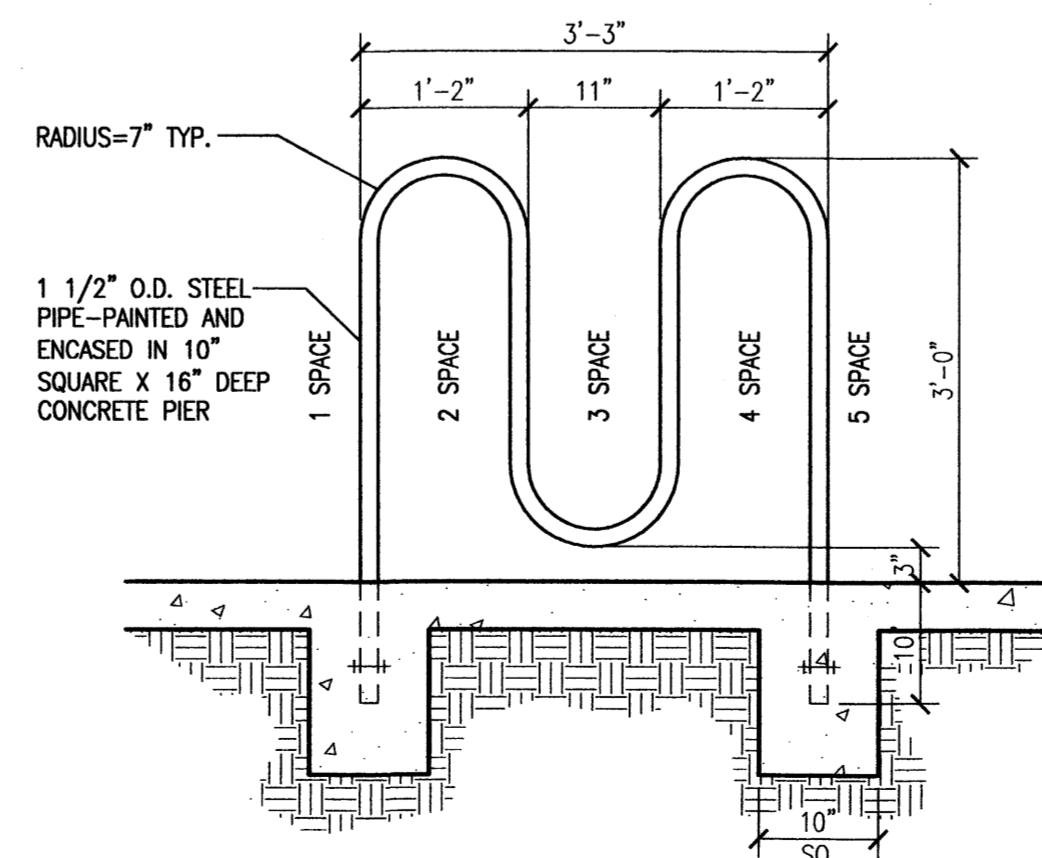
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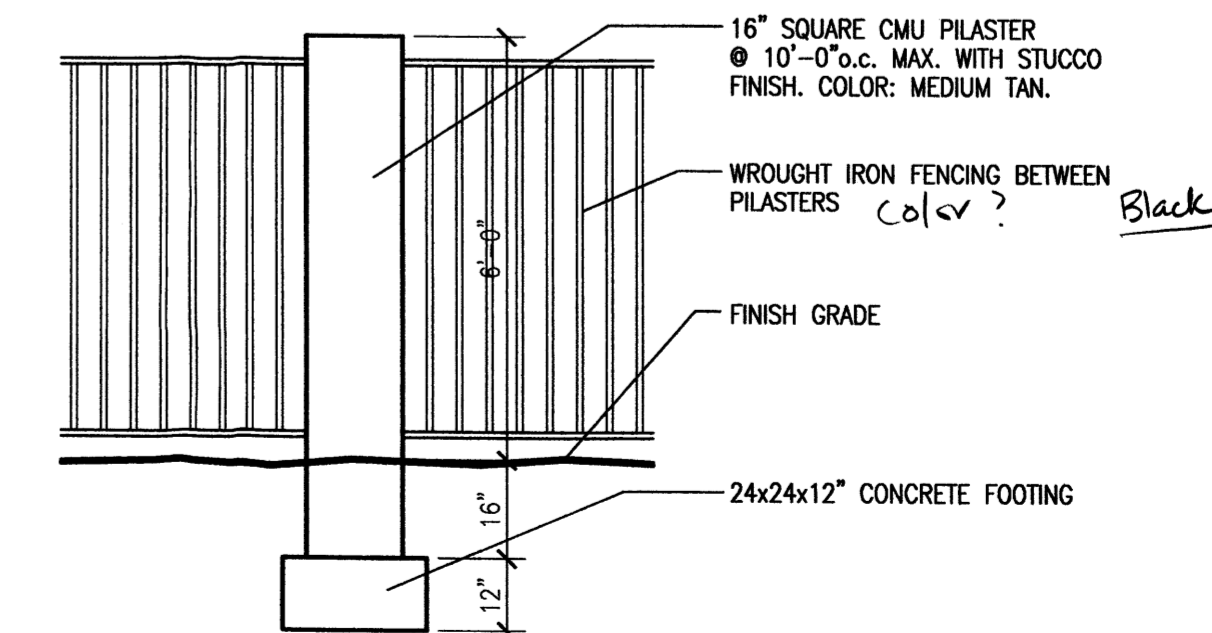
3 Monument Sign/Yard Wall Elevation  
Scale: 3/32"=1'-0"



4 Dumpster Enclosure Elevation  
Scale: 3/8"=1'-0"



5 Bicycle Rack Detail  
Scale: 3/4"=1'-0"



6 Wrought Iron Fence Detail  
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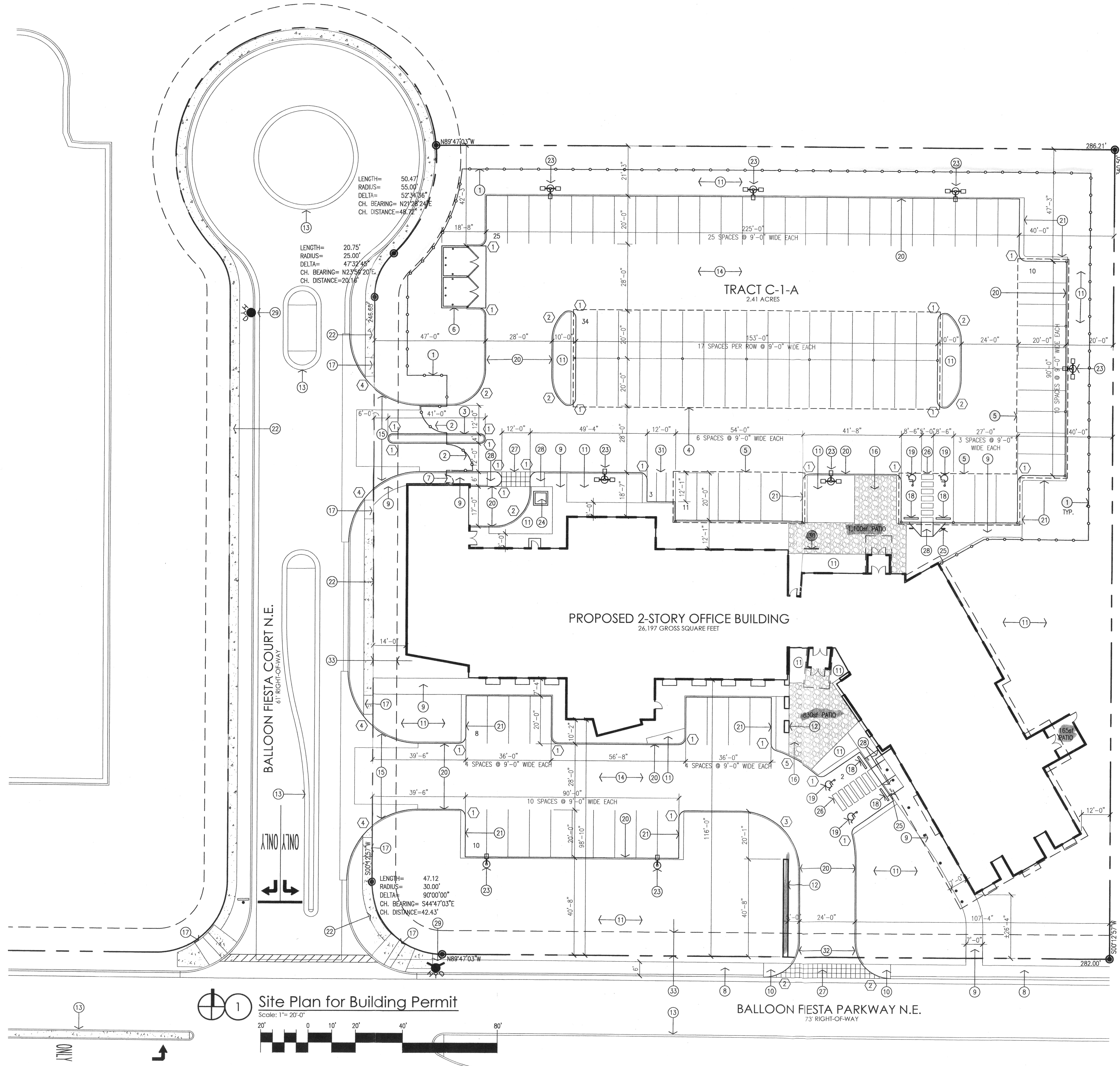
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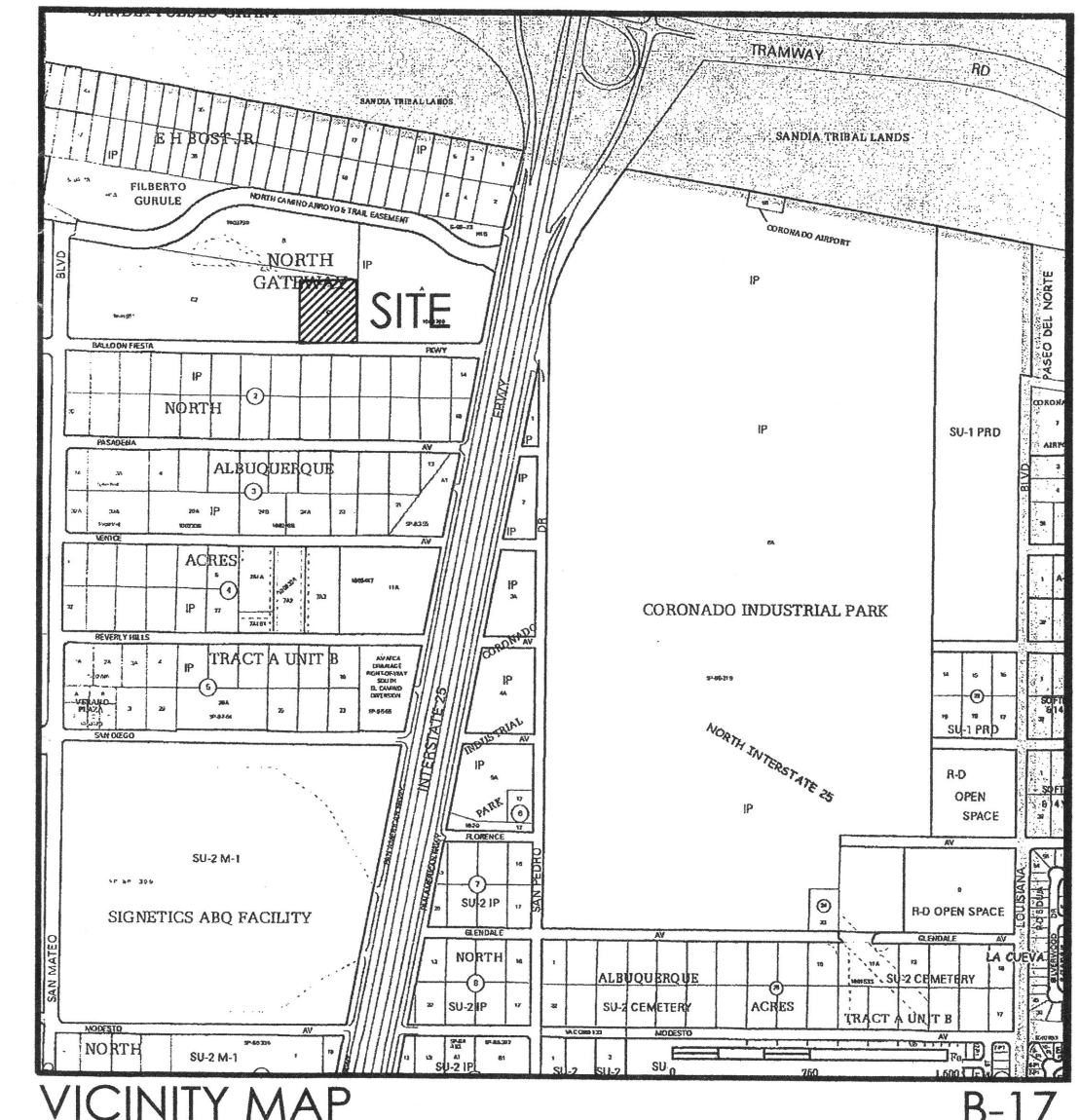
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  - [25] HC PARKING SIGN, TYPICAL OF 4.
  - [26] PAINTED HC PARKING STRIPING.
  - [27] TEXTURED CONCRETE CROSSWALK.
  - [28] HC RAMP.
  - [29] EXISTING FIRE HYDRANT.
  - [30] BIKE RACK, SEE 5/A402.
  - [31] 4" WIDE MOTORCYCLE SPACE, TYP. OF 3
  - [32] CONCRETE DRIVEPAD (COA STANDARD DETAIL 2425).
  - [33] EXISTING 10' PUBLIC UTILITY EASEMENT.
- RADIUS INFORMATION**
- ① RADIUS = 3'-0"
  - ② RADIUS = 15'-0"
  - ③ RADIUS = 25'-0"
  - ④ RADIUS = 30'-0"
  - ⑤ RADIUS = 49'-0"



**PROJECT NUMBER:** \_\_\_\_\_ **APPLICATION NUMBER:** \_\_\_\_\_

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB) DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

**IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO** IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

revision \_\_\_\_\_  
 by \_\_\_\_\_  
 date \_\_\_\_\_  
 rev. 1, 2, 3, 4

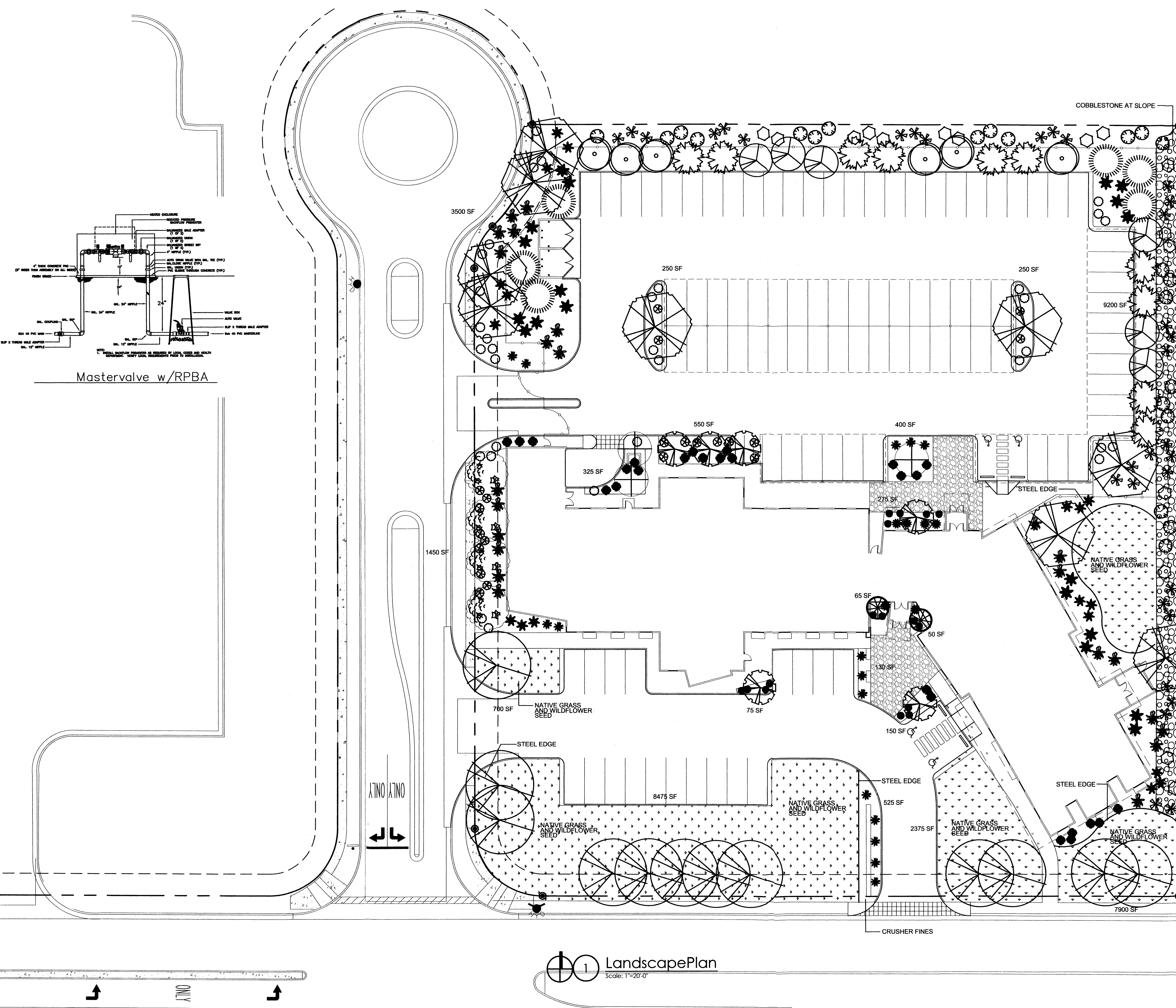
**Mullen Heller Architecture P.C.**  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]

job number 06-36  
 drawn by jph  
 project manager Douglas Heller, AIA  
 date 5/8/07

project title **Farm Credit of New Mexico**  
 5651 Balloon Fiesta Parkway NW  
 Albuquerque, NM  
 sheet title **Site Plan for Building Permit**

sheet- **A001**





**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
<b>Trees</b>				
6		<i>Cercis canadensis</i> Eastern Redbud	15-Gal	Medium
6		<i>Chilopsis linearis</i> Desert Willow	5-Gal	Low +
4		<i>Forestiera neomexicana</i> New Mexico Olive	2" B&B	Medium
3		<i>Crataegus phaenopyrum</i> Washington Hawthorn	2" B&B	Medium
6		<i>Forestiera neomexicana</i> New Mexico Olive	5-Gal	Medium
12		<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2" B&B	Medium
6		<i>Pinus nigra</i> Austrian Pine	5'-6" Ht.	Medium
9		<i>Quercus buckleyi</i> Texas Red Oak	2" B&B	Medium
2		<i>Zelkova serotina</i> Zelkova	2" B&B	Medium
10		<i>Juniperus</i> One Seed Juniper	5'-6" Ht.	Low +
<b>Shrubs/Groundcovers</b>				
9		<i>Ceratostigma</i> Dwarf Plumbago	1-Gal	Low +
21		<i>Ericameria laricifolia</i> 'Aguirre' Turpentine Bush	5-Gal	Low+
16		<i>Fallugia paradoxa</i> Apache Plume	1-Gal	Low
33		<i>Hesperaloe parviflora</i> Red Yucca	5-Gal	Low+
6		<i>Nandina domestica</i> Nandina	5-Gal	Medium+
32		<i>Rhus aromatica</i> Gro Low Sumac	5-Gal	Low+
22		<i>Rhus trilobata</i> Three-leaf Sumac	1-Gal	Low+
23		<i>Rosmarinus officinalis</i> Rosemary	5-Gal	Low +
15		<i>Dasyliion</i> Sotol	5-Gal	Low +
19		<i>Cornus</i> Red Twig Dogwood	5-Gal	Low +
<b>Ornamental Grasses</b>				
26		<i>Calamagrostis acutiflora</i> Karl Foerster Grass	5-Gal	Medium
7		<i>Muhlenbergia capillaris</i> 'Regal Mist' Regal Mist	1-Gal	Medium
18		<i>Nolina microcarpa</i> Bear Grass	5-Gal	Low +

**SITE DATA**

GROSS LOT AREA	106,186 SF
LESS BUILDING(S)	18,930 SF
NET LOT AREA	87,256 SF
REQUIRED LANDSCAPE	13,088 SF
15% OF NET LOT AREA	36,845 SF
PROPOSED LANDSCAPE	42 %
PERCENT OF NET LOT AREA	

REQUIRED STREET TREES  
 PROVIDED AT 30' O.C. SPACING ALONG STREET 22  
 REQUIRED PARKING LOT TREES  
 PROVIDED AT 1 PER 10 SPACES (100 SPACES/10) 10

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE  
 LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE  
 HIGH WATER USE TURF

**NOTE**

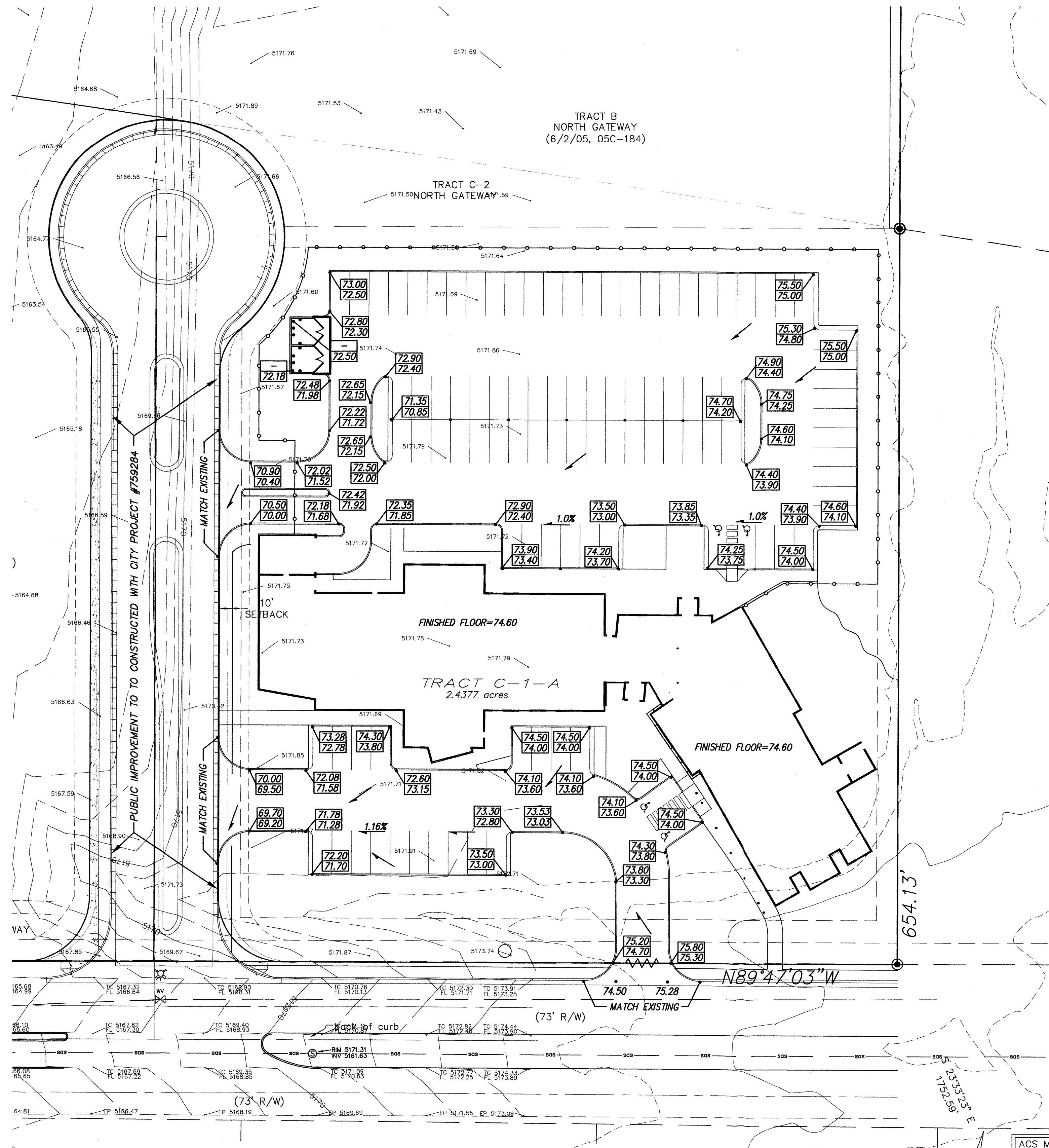
MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION  
 SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER  
 (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY  
 OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE  
 AND WATER WASTE ORDINANCE  
 PLANTING RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.  
 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS  
 AT MATURITY  
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL  
 MULCH AT 3" DEPTH OVER FILTER FABRIC  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE  
 OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE  
 C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THEN 10'  
 FROM A TREE.

LandscapePlan  
 Scale: 1"=20'-0"

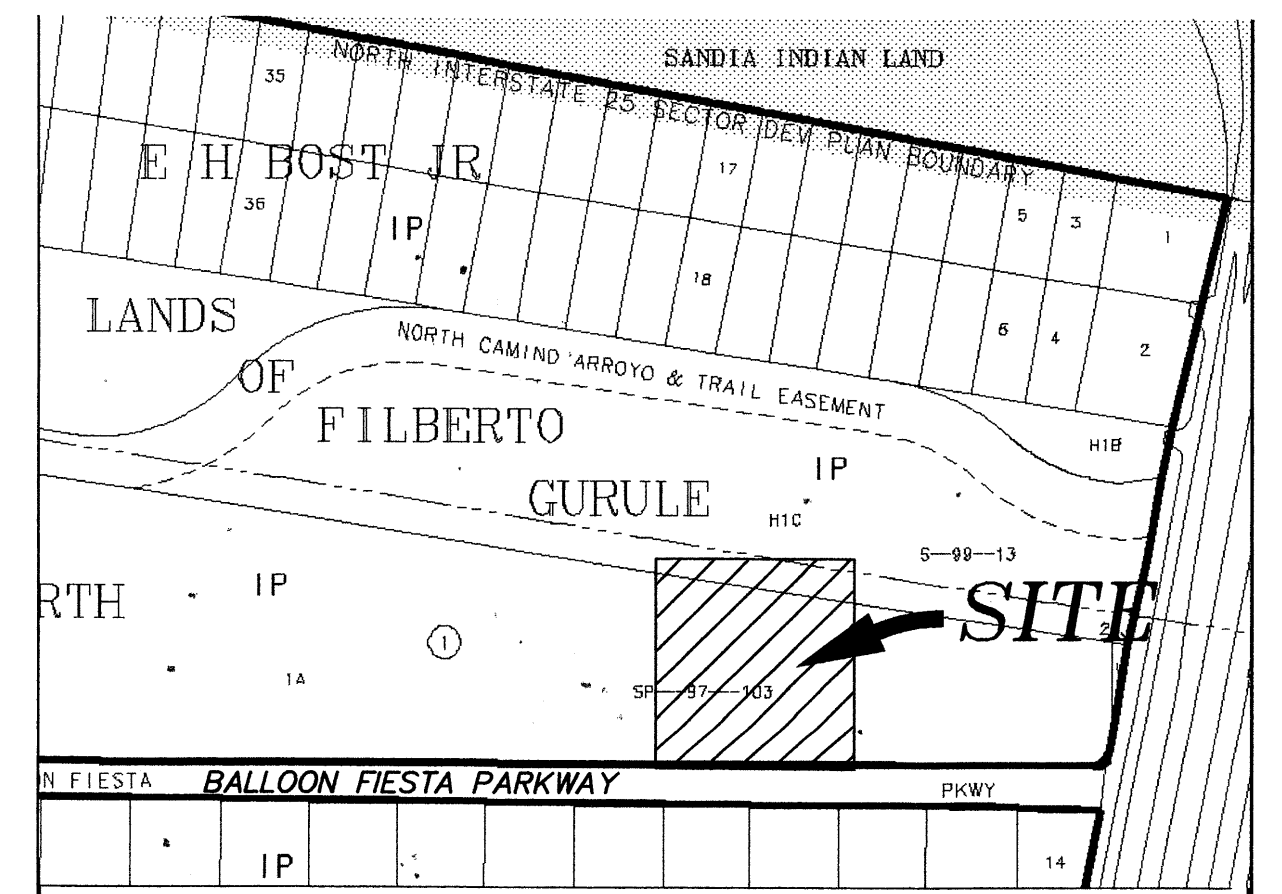
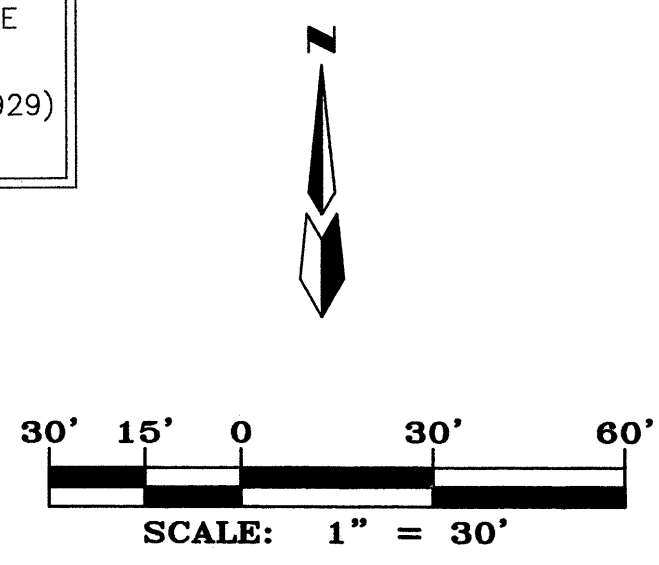
*Crowning  
 Better  
 Up*  
**HEADS UP**  
 LANDSCAPE CONTRACTORS  
 www.headsuplandscape.com  
 P.O. BOX 10597  
 ALBUQUERQUE, NM 871184  
 505.898.8615  
 505.898.2105 (fax)  
 design@huc.com

revision  
 by JC JC  
 date 5/7/07 5/7/07  
 rev A A A A  
  
 Mullen Heller  
 Architecture P.C.  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque 87102  
 505 268 4144(p)  
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 project title  
 Farm Credit of New Mexico  
 5651 Balloon Fiesta Parway NW  
 Albuquerque, NM  
 sheet title  
 Landscape Plan  
 job number 06-36  
 drawn by JC  
 project manager Douglas Heller, AIA  
 date 3/23/07  
 sheet-  
**L001**





ACS Monument "I 25-11"  
 NAD 1927 CENTRAL ZONE  
 X= 401,986.77  
 Y= 1,526,246.66  
 Z= 5206.936 (NAVD 1929)  
 G-G= 0.99966195  
 Delta Alpha= -0'11'21"



VICINITY MAP ZONE MAP: C-17-Z

T B M (TEMPORARY BENCHMARK)

LEGAL DESCRIPTION:  
 TRACT C-1-A OF NORTH GATEWAY PLAT.

NOTES

LEGEND

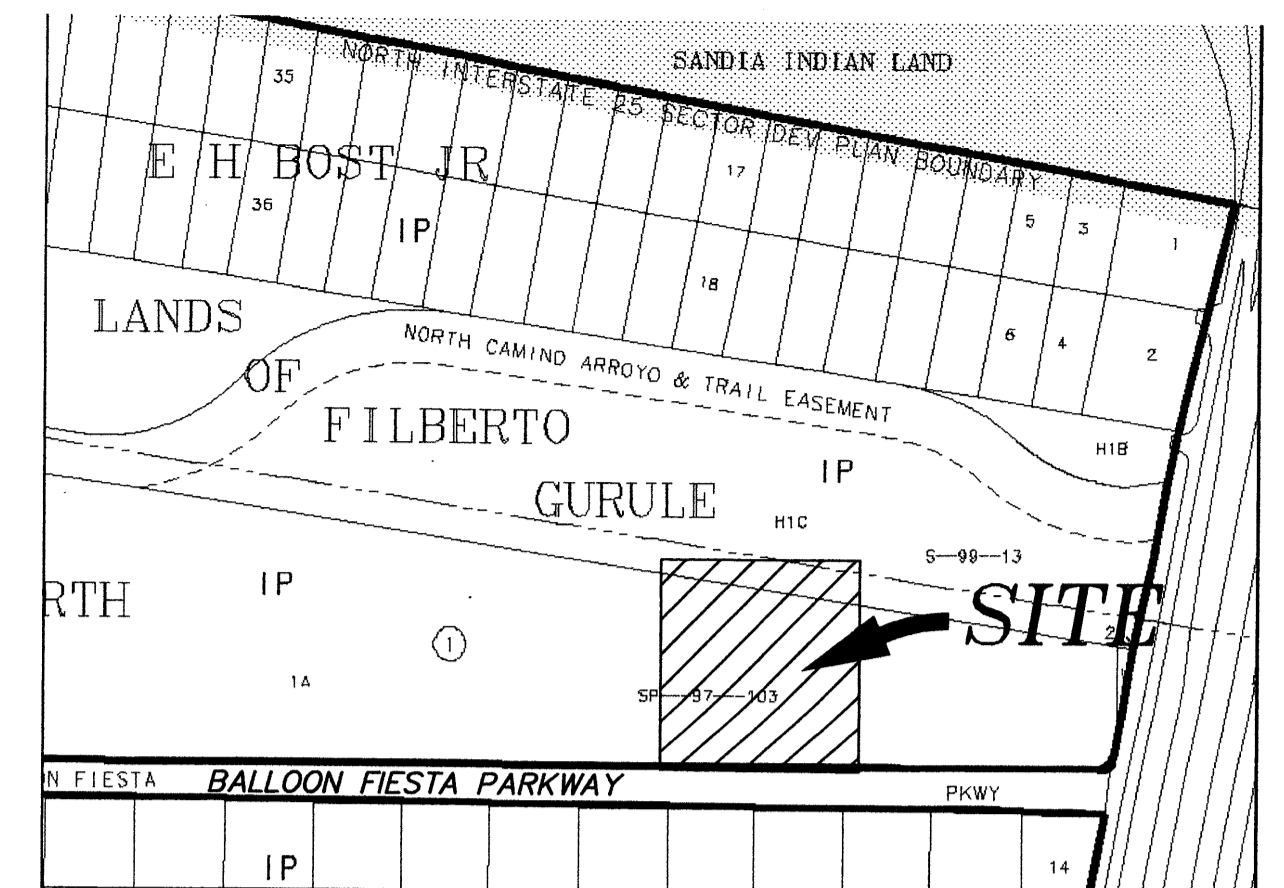
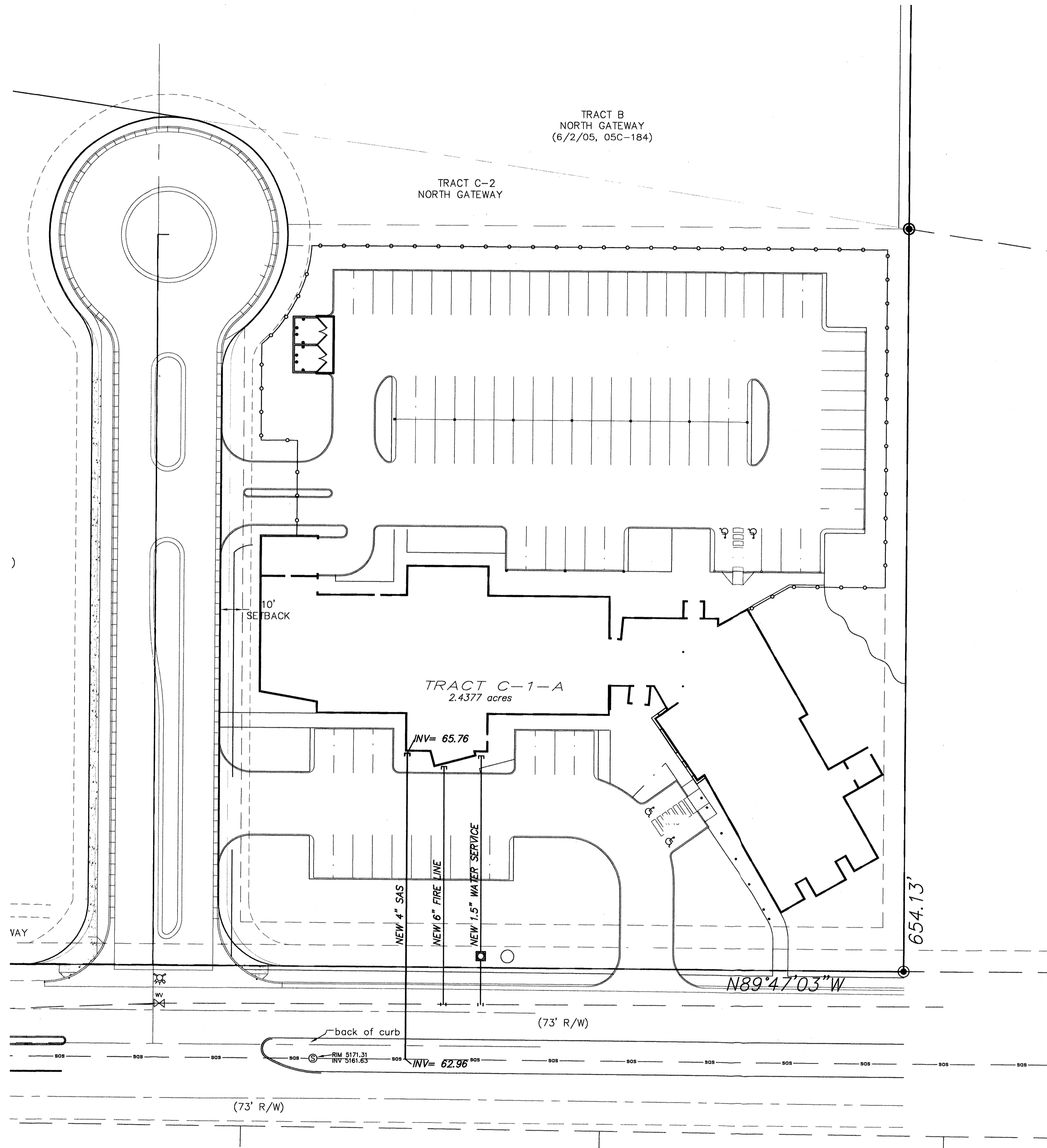
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	EX. EASEMENT
	EX. OVERHEAD POWER LINE
	EX. FOUND REBAR WITH CAP "LS 5978"
	EX. SET BATHEY MARKER "LS 14271"
	EX. SANITARY SEWER MANHOLE
	EX. SANITARY SEWER LINE
	EX. WATER VALVE
	EX. FIRE HYDRANT
	PROPERTY LINE
	NEW SPOTS
	NEW WATER BREAK
	NEW BUILDING
	NEW CURB

FARM CREDIT BUREAU  
 CONCEPTUAL GRADING & DRAINAGE PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: CAR	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 04/30/07	Job: A6096	





VICINITY MAP ZONE MAP: C-17-Z

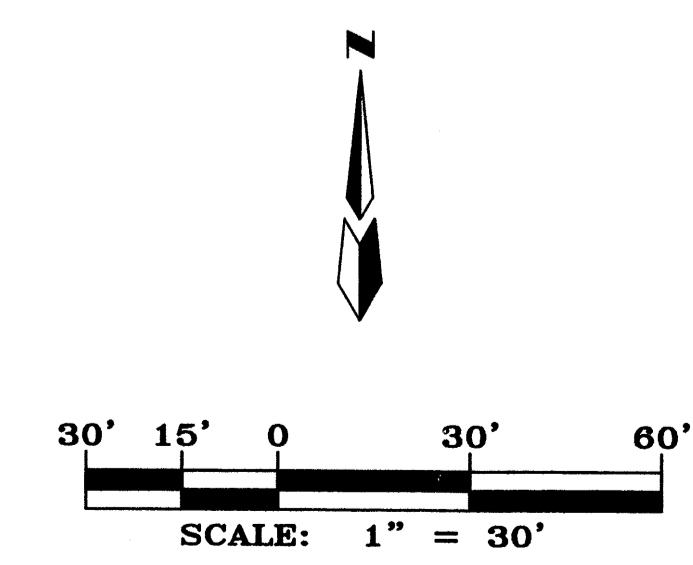
T B M (TEMPORARY BENCHMARK)

LEGAL DESCRIPTION:  
TRACT C-1-A OF NORTH GATEWAY PLAT.

NOTES

LEGEND

- EX. CURB & GUTTER
- EX. EASEMENT
- EX. OVERHEAD POWER LINE
- EX. FOUND REBAR WITH CAP "LS 5978"
- EX. SET BATHEY MARKER "LS 14271"
- EX. SANITARY SEWER MANHOLE
- EX. SANITARY SEWER LINE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- PROPERTY LINE
- NEW BUILDING
- NEW CURB
- NEW SAS
- NEW WATERLINE
- NEW WATER METER

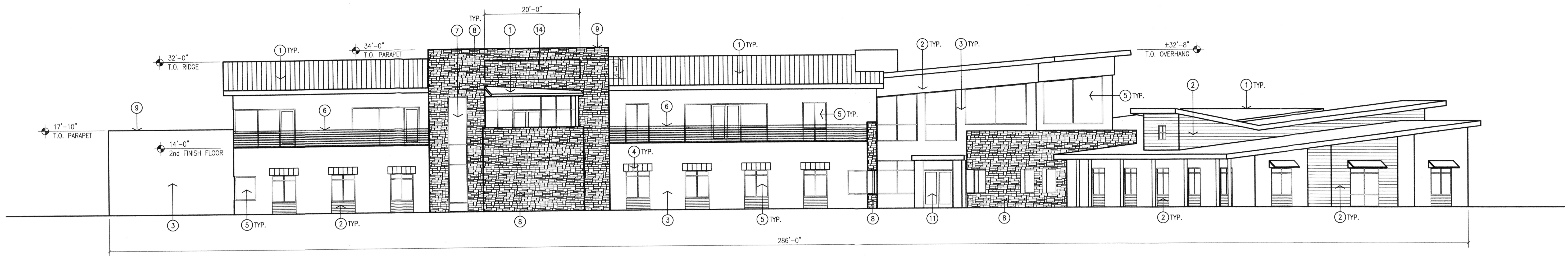


FARM CREDIT BUREAU  
CONCEPTUAL UTILITY SHEET

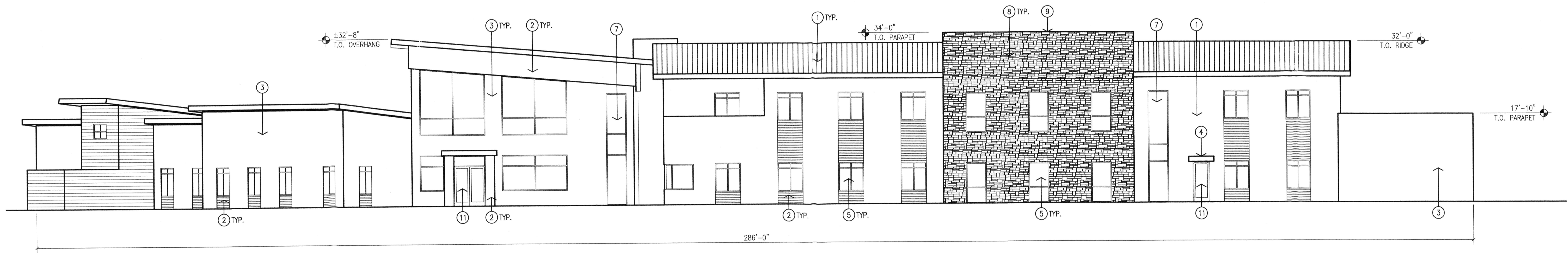
dmg MARK GOODWIN & ASSOCIATES, P.A.  
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Designed: DMG	Drawn: CAR	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 5/3/2007	Job: A6096	

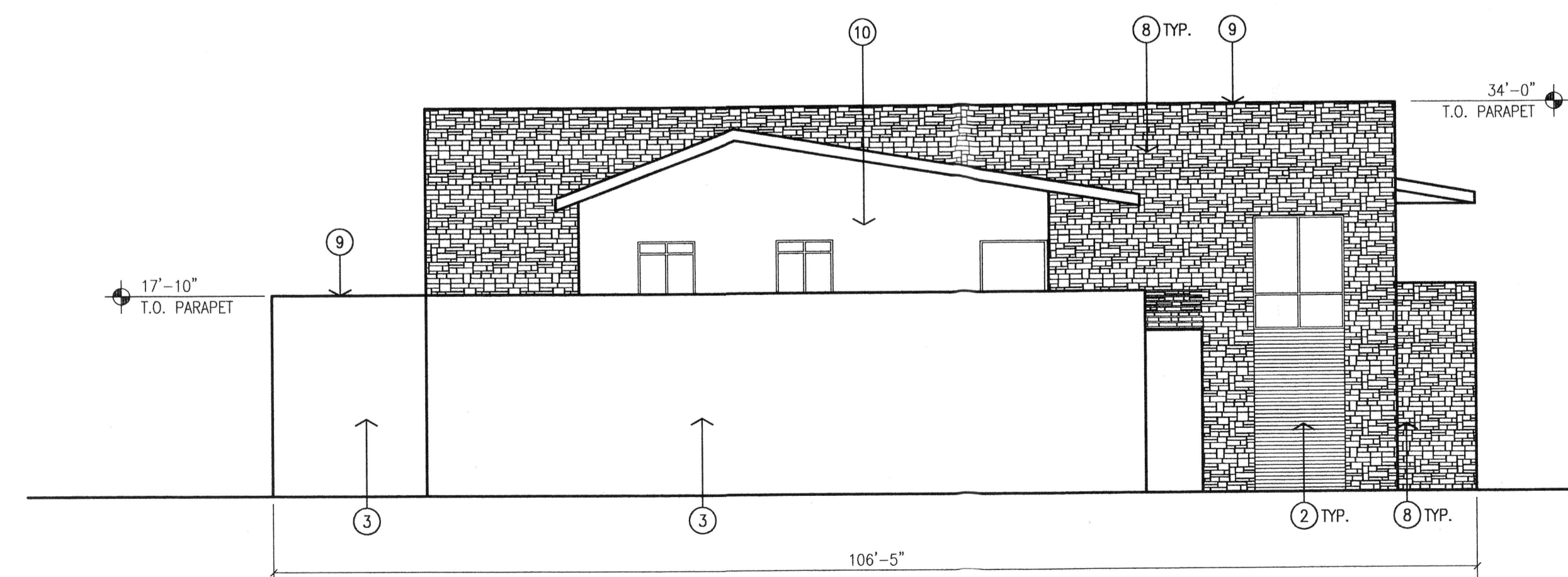




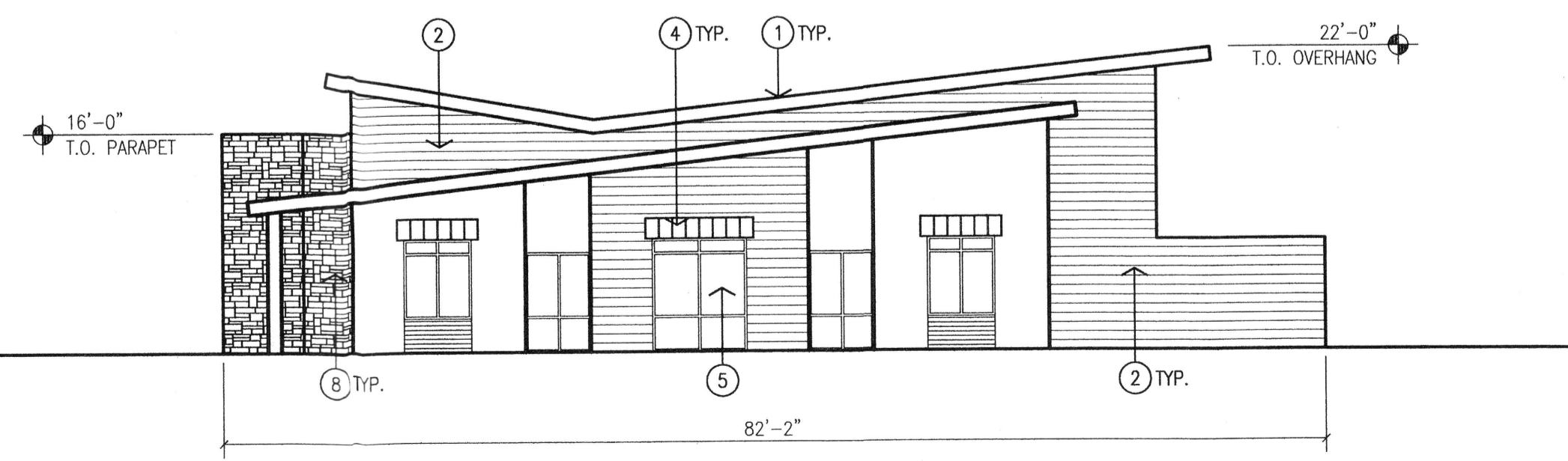
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Scale: 3/32"=1'-0"



2 North Elevation  
Scale: 3/32"=1'-0"



3 West Elevation  
Scale: 3/32"=1'-0"



4 Southwest Elevation  
Scale: 3/32"=1'-0"

KEYED NOTES:

- [1] PREFINISHED STANDING SEAM METAL ROOF WITH MATCHING SOFFIT, FASCIA, TRIM, GUTTER AND DOWNSPOUT SYSTEM. COLOR: GUN METAL GRAY.
- [2] PREFINISHED ALUMINUM METAL PANELS. COLOR: TERRA COTTA.
- [3] EXTERIOR INSULATION FINISH SYSTEM. COLOR: MEDIUM TAN.
- [4] TUBE STEEL CANOPY FRAME WITH PREFINISHED STANDING SEAM ROOF. COLOR: GUN METAL GRAY.
- [5] ALUMINUM STOREFRONT. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [6] CUSTOM STAINLESS STEEL CABLE GUARD RAIL SYSTEM.
- [7] ALUMINUM CURTAIN WALL SYSTEM. COLOR: TERRA COTTA. GLAZING: 1" INSULATED, LOW E WITH BRONZE TINTED GLASS.
- [8] NATURAL STONE VENEER. COLORS: GOLD, GREY AND RED.
- [9] PREFINISHED METAL PARAPET CAP TO MATCH STONE VENEER.
- [10] TUBE STEEL CANOPY WITH PREFINISHED ALUMINUM ROOF SOFFIT AND FASCIA PANELS. COLOR: GUN METAL GRAY.
- [11] 8'-0" ALUMINUM STOREFRONT DOORS WITH CUSTOM HARDWARE. COLOR: TERRA COTTA.
- [12] STEEL PIPE COLUMN WITH CAST-IN-PLACE CONCRETE BASE. COLOR: TERRA COTTA.
- [13] EXTERIOR INSULATION FINISH SYSTEM. COLOR: LIGHT TAN.
- [14] ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. PREFINISHED BLACK AND ANODIZED ALUMINUM.
- [15] STONE VENEER YARD WALL WITH ANODIZED ALUMINUM AND PREFINISHED BLACK LETTERS AND LOGO. GROUND MOUNTED LIGHT TO ILLUMINATE THE SIGN.

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by	
date	
rev	A A A A A



Mullen Heller  
Architecture P.C.

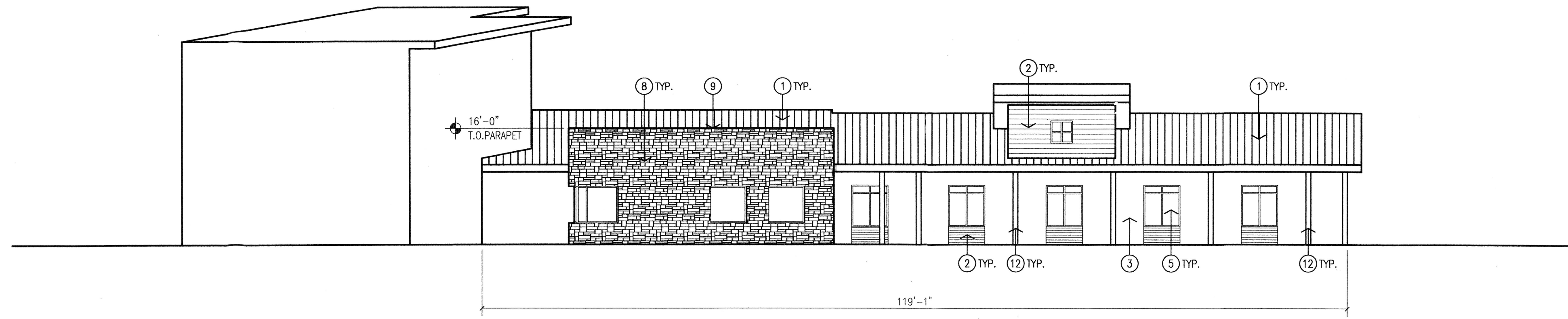
1015 Tijeras Avenue NW  
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505 268 4144 [p]  
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job number	06-36
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project manager	Douglas Heller, AIA
date	5/8/07

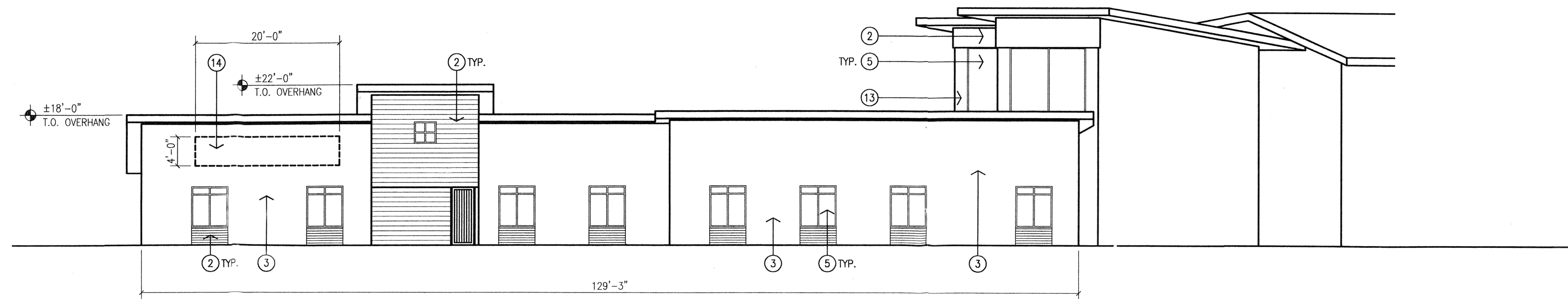
project title  
Farm Credit of New Mexico  
5651 Balloon Fiesta Parkway NW  
Albuquerque, NM  
sheet title  
Exterior Elevations

sheet-  
A401

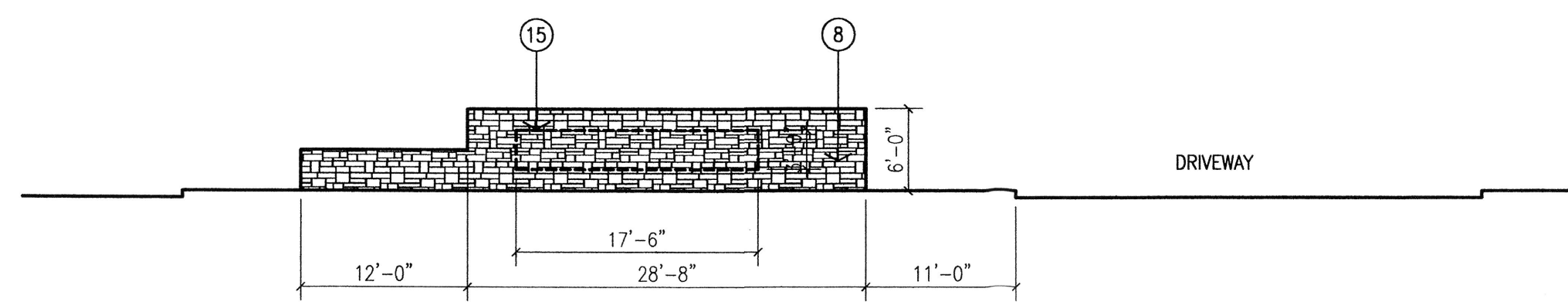




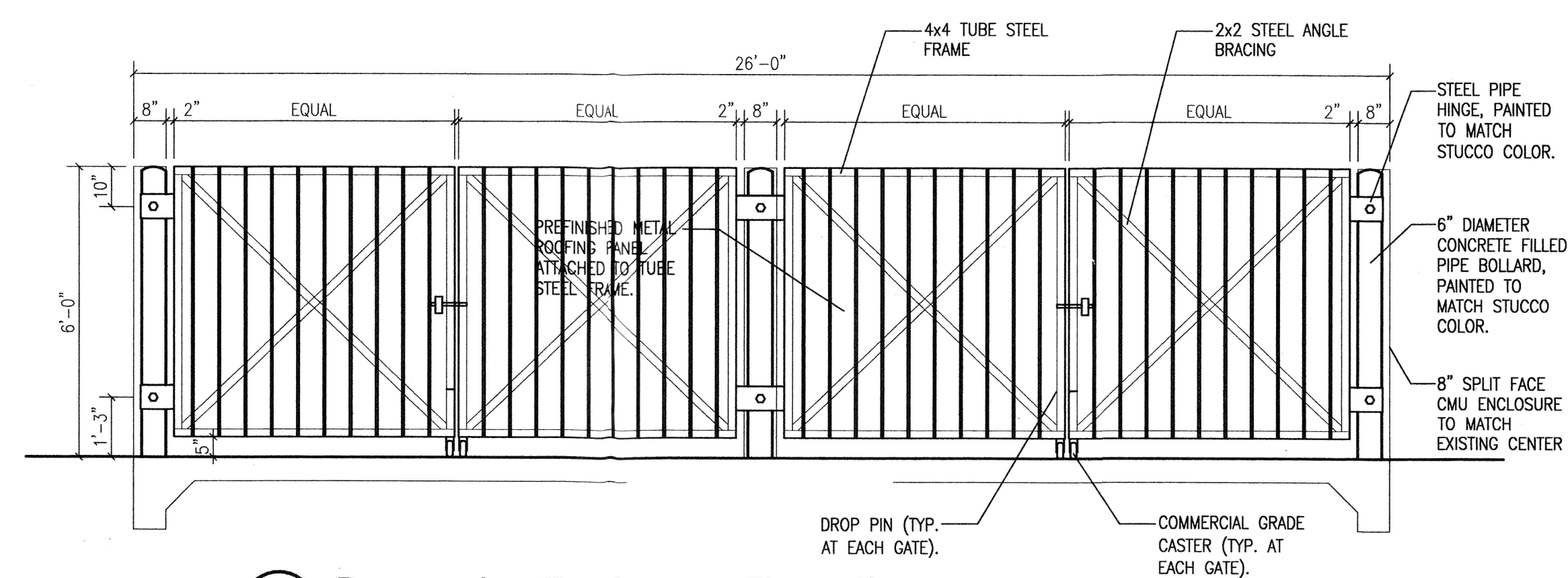
1 Southwest Elevation  
Scale: 3/32"=1'-0"



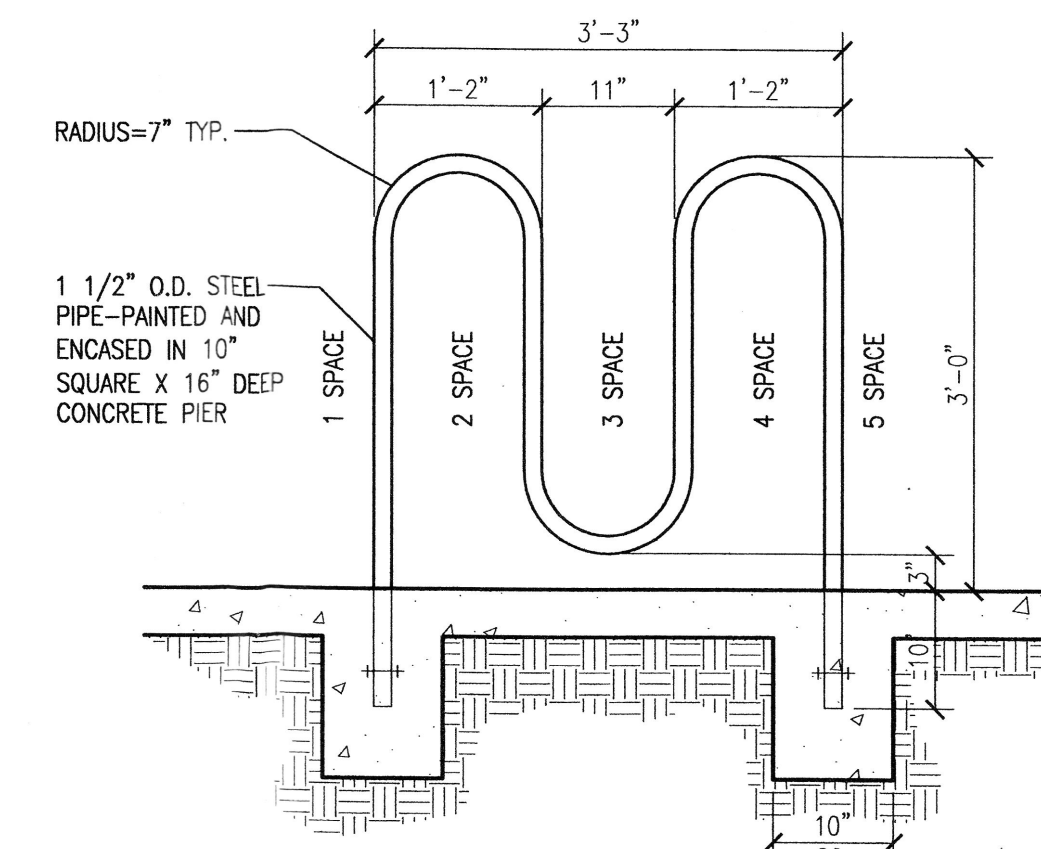
2 Northeast Elevation  
Scale: 3/32"=1'-0"



3 Monument Sign/Yard Wall Elevation  
Scale: 3/32"=1'-0"



4 Dumpster Enclosure Elevation  
Scale: 3/8"=1'-0"



5 Bicycle Rack Detail  
Scale: 3/4"=1'-0"

- KEYED NOTES:
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  - [2] PREFINISHED ALUMINUM METAL PANELS. COLOR: TERRA COTTA.
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revision

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rev



Mullen Heller  
Architecture P.C.

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505 268 4144 [p]  
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06-36

job

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project manager

date

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project title  
Farm Credit of New Mexico  
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Albuquerque, NM

sheet title

Exterior Elevations

sheet-

A402