

HATCH LEGEND

SCORED CONCRETE FINISH	[Pattern]
LANDSCAPE AREA SEE LANDSCAPE SH# S101	[Pattern]
PROPOSED CONCRETE SIDEWALK	[Pattern]
ASPHALT PAVING	[Pattern]

McGraw-Hill Construction Information

Light-Fixture @25' Pole Light

APPROVED BY DRB ON _____

PRELIMINARY PLAN

General Submittal Requirements

A. WRITTEN SUMMARY
1. TWO STORY GOVERNMENT SERVICES FACILITY WITH 150 CAR PARKING, LOADING AND STORAGE FACILITIES
2. FLOOR OFFICES
3. STONE FINISH ELEVATOR AND STAIR TOWERS RECALL THE SALINAS MISSIONS SOUTH - EAST OF THE AVES. W/ CORNER GRASSY LOT, ASSEMBLY 7 TO ADDRESS THE INTERSECTION OF TURING & FRITT'S CROSSING
4. THE STUCCO COLORS ARE DESERT TONES AND THE GLAZING TINT WILL BE BLUE REINFORCING THE COLOR OF THE SKY

B. SITE DEVELOPMENT PLAN SHEETS:
1. SITE PLAN INCLUDING UTILITIES + EASEMENTS, LIGHTING DATA AS101
2. SITE DETAILS AS102
3. BUILDING + STRUCTURE ELEVATIONS AS103
4. LANDSCAPE PLAN L101
5. PRELIMINARY GRADING PLAN (WATER HARVESTING DATA) C101
6. PRELIMINARY DRAINAGE PLAN (WATER HARVESTING DATA) C102
7. CONCEPTUAL UTILITY PLAN C103

C. 8/12 X 11 REDUCTIONS:
1. SITE PLAN INCLUDING UTILITIES + EASEMENTS, LIGHTING DATA AS101
2. SITE DETAILS AS102
3. BUILDING + STRUCTURE ELEVATIONS AS103
4. LANDSCAPE PLAN L101
5. PRELIMINARY GRADING PLAN (WATER HARVESTING DATA) C101
6. PRELIMINARY DRAINAGE PLAN (WATER HARVESTING DATA) C102
7. CONCEPTUAL UTILITY PLAN C103

SITE DATA

LEGAL DESCRIPTION
TRACT II INNOVATION PARK, MESA DEL SOL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROPOSED USAGE: GOVERNMENT OFFICE + PARKING GARAGE (NOT HEATED)

LOT AREA: 211,969.88 SF / 5.00939 ACRES

BLDG. AREA: 1ST FLR = 36,388 / 2ND FLR = 35,136 / TOTAL = 71,524

ZONING: SU-2 PC, PLANNED COMMUNITY

PROPOSED FAR: GROSS HEATED FLOOR AREA / LOT AREA (COA ZONING 14-16-1-5) (6,231 / 35,136) / 276% ± 0/19

BUILDING SETBACK: FRITT'S CROSSING VARIES FROM 0' TO 151' MAXIMUM TURING DRIVE: 52'

PARKING REQUIREMENTS: 4780/6000 + 3 SPACES WAREHOUSE
1ST FLOOR REQUIRED 184/200 + 8 SPACES OFFICE
2ND FLOOR REQUIRED 336/31200 + 13 SPACES OFFICE
TOTAL SPACES REQUIRED 124

IC REQUIRED 8 SPACES
PROVIDED 4 STREET SPACES
PROVIDED 10 SPACES NON-SECURE
IC PROVIDED 2 SPACES NON-SECURE (1 VAN ACCESSIBLE)
PROVIDED 63 SPACES ENCLOSED SECURE
IC PROVIDED 3 SPACES ENCLOSED SECURE (1 VAN)
PROVIDED 40 SPACES SECURE (1 VAN ACCESSIBLE)
IC PROVIDED 3 SPACES SECURE (1 VAN ACCESSIBLE)
TOTAL PROVIDED 125 SPACES
19 TOTAL - 4 ON STREET - 193 MORE THAN 18 GSA LEASE REQ'D MIN OF ONSITE SPACES

MOTORCYCLE SPACES 4 REQUIRED PROVIDED SECURE

BICYCLE SPACES: REQUIRED 24/40 / 1 SPACES PROVIDED SECURE + 4 SPACES PROVIDED SECURE ENCLOSED + 2 SPACES (EXCEEDS 10%) PROVIDED NON-SECURE / 2 SPACES TOTAL PROVIDED 8

85 PREFERRED PARKING FOR CAR AND VAN POOL SHALL BE AS ADMINISTERED BY GSA + DEPARTMENT OF JUSTICE SECURITY SERVICES

LANDSCAPE CALCULATIONS SEE SH# S101

KEY NOTES

1. REFUSE BIN ENCLOSURE W/ GATE - SEE ENLARGED PLAN THIS SHEET + ELEVATIONS SHEET AS102
2. CARD READER - SET IN CURBED ISLAND W/ CONCRETE FILLED BOLLARDS - SEE DETAIL ROLLING WROUGHT-IRON GATE SEE DETAILS SHEET AS102
3. GRAVELLED BALDRYWAY
4. 8 FT HIGH NON-CLIMB FENCE TYPICAL + 50 FT SECURE PERIMETER - SEE DETAIL
5. LINE OF 50 FT SECURE PERIMETER OFFSET
6. 100 FT MAX SETBACK - SEE EXISTING + FUTURE EMPLOYMENT CENTER DESIGN STDS PGS 1, 2
7. ASPHALT PAVING PER GSA REPORT RECOMMENDATIONS
8. XERIC LANDSCAPE - SEE SHEET S101
9. FIRST FLOOR PROGRAM + SEE SH# GSA
10. ENCLOSED PARKING ON FIRST FLOOR
11. SEMI-TRUCK MANEUVERING SPACE W/ DOCK WELL + LIFT + EXTERIOR SIDE OF OVERHEAD DOOR
12. STORM WATER DISCHARGE - SEE SH# C101
13. PROPERTY LINE
14. DOUBLE PUBLIC UTILITY EASEMENT
15. PROPOSED WATER METER LOCATION
16. FIRELINE LOCATION
17. PRIVATE FIRE HYDRANT
18. POST INDICATOR VALVE LOCATION
19. SEWER LINE LOCATION
20. DOUBLE CLEANOUT SANITARY SEWER
21. EXISTING CURB + GUTTER N RIGHT-OF-WAY
22. EXISTING CURB + PAVING ON ADJACENT PROPERTY
23. SCREEN WALL + HATCH UNITS - SEE PLAN THIS SHEET + TYPICAL ELEVATION SH# AS102
24. SCREEN WALL + ELECTRICAL TRANSFORMER + GAS METER - SEE PLAN THIS SHEET + TYPICAL ELEVATION SH# AS102
25. SCREEN WALL + ELECTRICAL PULL BOX + ABOVE GROUND CUT OFF IN GRASSY VAULT IS USED - SEE TYPICAL SCREEN WALL ELEVATION SH# AS102
26. EXISTING 6" WIDE CONCRETE SIDEWALK + CURB + GUTTER - ENCROACHES ON PROPERTY
27. NEW 6" WIDE CONCRETE SIDEWALK
28. ON-STREET PARKING - 8' X 23' TYPICAL
29. STANDARD 9' X 20' PARKING SPACE
30. 11' HIGH RADIO ANTENNA W/ ONE 1" DIAMETER DISH AFFIXED TO TRUSS TYPE STRUCTURE PER GSA REQUIREMENTS
31. CURB CUT W/ 25' RADII + 30" THROUGH
32. HANDICAPPED ACCESSIBLE PARKING SPACE W/ SIGN PER DETAIL SH#AS102
33. VAN ACCESSIBLE SPACE W/ SIGN PER DETAIL SH#AS102
34. STANDARD BLUE ACCESSIBLE SYMBOL PAINTED ON ASPHALT
35. 6" THICK FLAGSTONE PATTERNEED CONCRETE LOADING ZONE + ACCESSIBLE PATH - COLOR TO MATCH CONCRETE + ENTRY SIDEWALK
36. REQUIRED FOR COVERED SECURE STORAGE
37. TUBE STEEL TWO BIKE RACK IN PARKING STRUCTURE - SEE DETAIL SH#AS102 (EXCEEDS 10%)
38. NOT USED
39. 6" WIDE MINIMUM DECORATIVE CONCRETE WALK
40. MOTORCYCLE SPACES + SIGNS PER DETAIL SH#AS102
41. GAS METER BY FPM
42. ELECTRICAL TRANSFORMER BY FPM
43. ELECTRICAL PULL BOX BY FPM
44. 100% METAL HALIDE FULL CUTOFF FIXTURE IN BOLLARD ARRANGED PER FEDERAL PROTECTIVE SERVICES REQUIREMENTS TO PROVIDE 1 FOOTCANDLE + IN COMPLIANCE W/ DARK SKY ORDINANCE OF NEW MEXICO
45. 400 W METAL HALIDE FULL CUTOFF SINGLE FIXTURE ATTACHED POLE W/ CONCRETE BASE MAX HEIGHT OF FIXTURE ABOVE GRADE 75' INCLUDING 30" MAX HT CONCRETE BASE - SEE DETAIL SH#AS102, ARRANGE PER FEDERAL PROTECTIVE SERVICES REQUIREMENTS TO PROVIDE 1 FOOTCANDLE + IN COMPLIANCE W/ DARK SKY ORDINANCE OF NEW MEXICO
46. EGRESS TO PUBLIC WAY DUE TO SECURITY CONCERN. PEDESTRIAN + BIKE ACCESS TO FUTURE OPEN SPACE CORRIDOR MUST BE MADE VIA SIDEWALK + ROADWAY ALONG FRITT'S CROSSING RIGHT-OF-WAY. WE CANNOT ALLOW OR APPEAR TO ENCOURAGE ACCESS ACROSS THE SITE BY CONNECTIONS TO UNZONED PORTIONS OF THE SITE NOR BY PROVIDING A GATE THROUGH THE SECURITY FENCE
47. SECURITY GATE WELECTRIC STRIKE + PROXIMITY READER
48. EXISTING FIRE HYDRANT
49. FIRE DEPARTMENT CONNECTION

DURA BILT Products, Inc.
DESIGN / BUILDER
Since 1950
LICENSE NO. 3244

4808 JEFFERSON NE.
ALBUQUERQUE NM. 87109
Telephone: (505) 883-9100
Fax: (505) 883-9198
www.durabiltproducts.com

NOTICE: This drawing and design is the property of Dura Bilt Products Inc. and is loaned subject to the conditions that it is not to be copied, reproduced or distributed directly or indirectly, except to the interest of Dura Bilt Products Inc. Any use for any other purpose is strictly prohibited.

DATE: 28 JUL 2008
PLOT DATE: 1 AUG 2009

REVISIONS:

- 1. 6/17/09 ARC LETTER RESPONSE
- 2. 7/3/09 ARC LETTER RESPONSE
- 3. 7/15/09 DRB COMMENTS RESPONSE

FILE: AS101.DWG

OFFICE FACILITY PROVIDED BY SEVEN PROPERTIES LLP FOR

General Services Administration

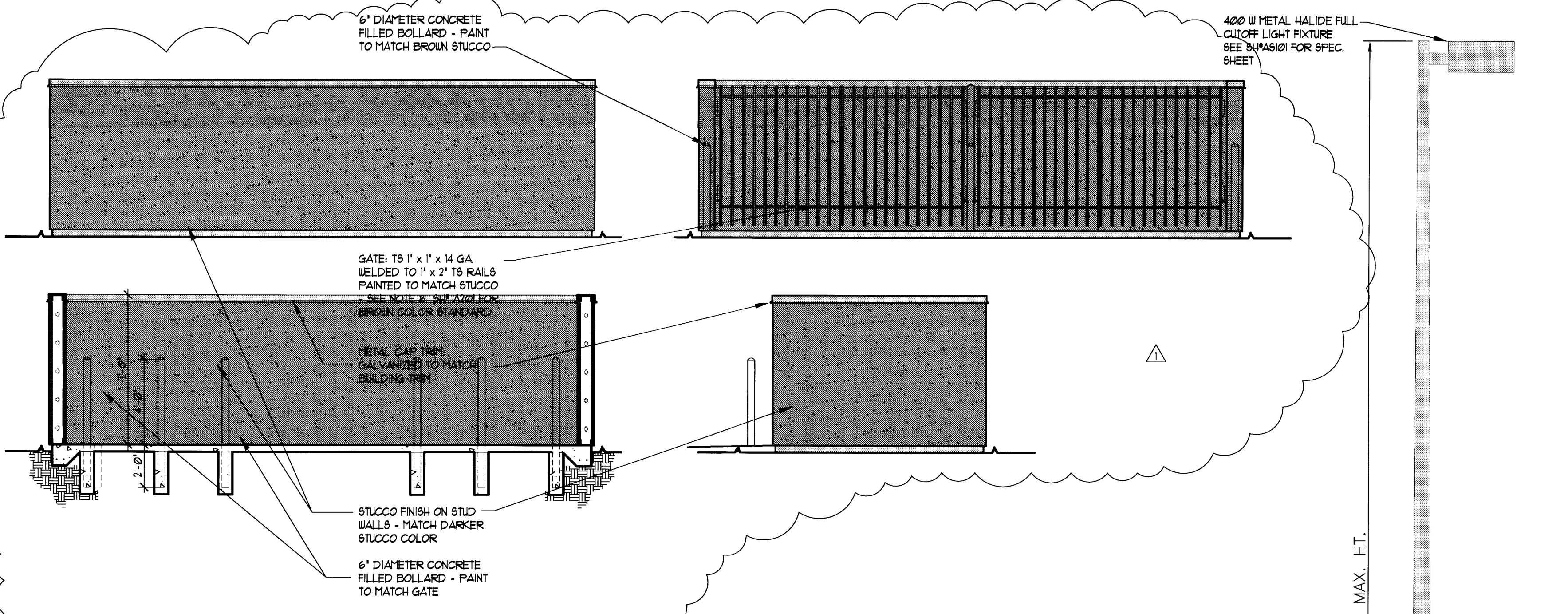
2660 FRITT'S CROSSING SE.
ALBUQUERQUE, NEW MEXICO 87106

STATE OF NEW MEXICO
REGISTERED ARCHITECT
LLOYD W. GOLDRICK
No. 2137

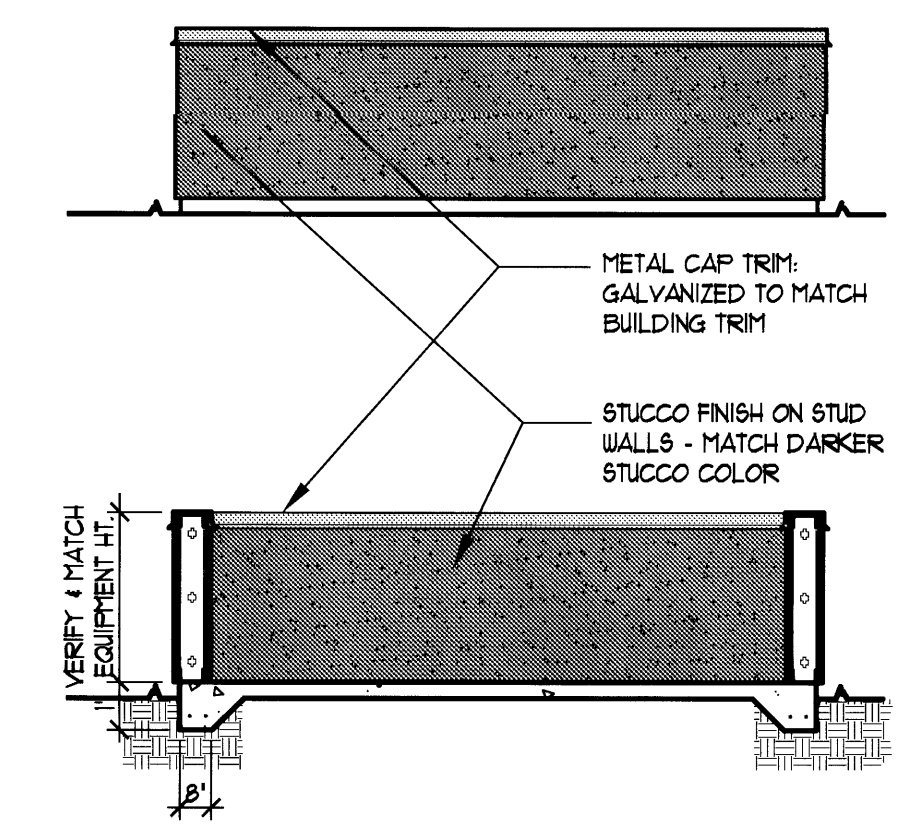
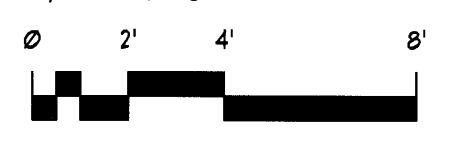
SITE PLAN
SHEET NO.
AS101
JOB NO.: 08-119

City project # 1006005

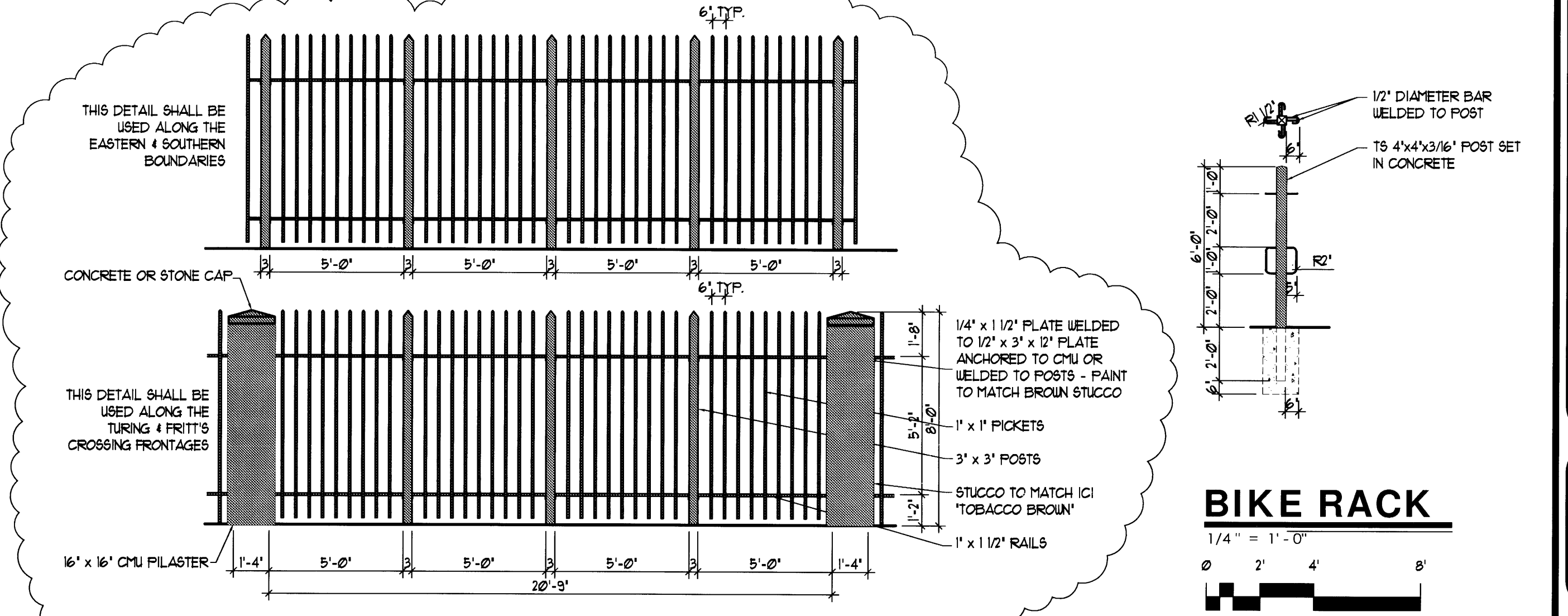
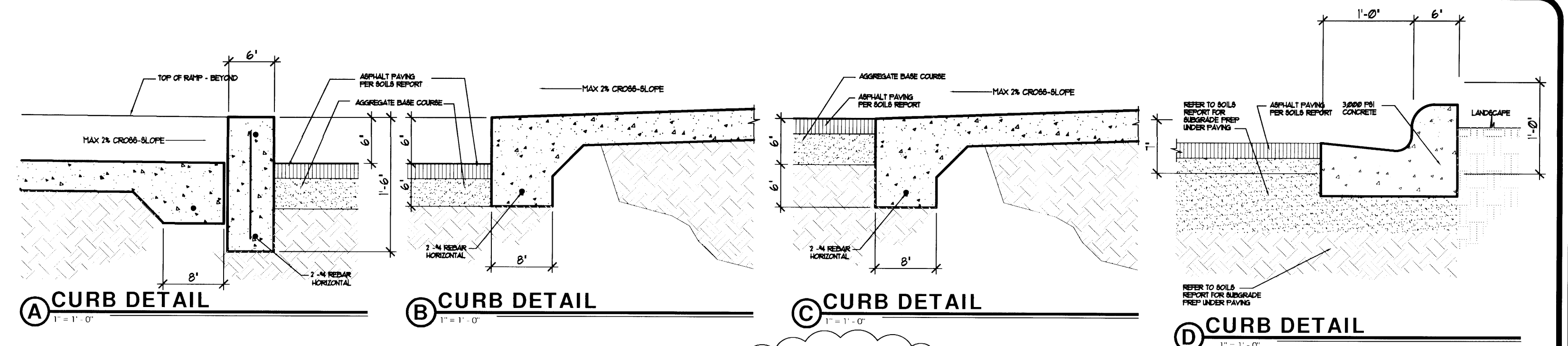
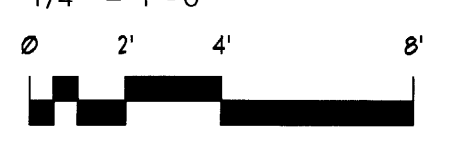
H:\CD\W\1006005\1006005_119\DWG\1006005_119.dwg 1/21/2009 10:47:37 AM DWG TO PDF.plt



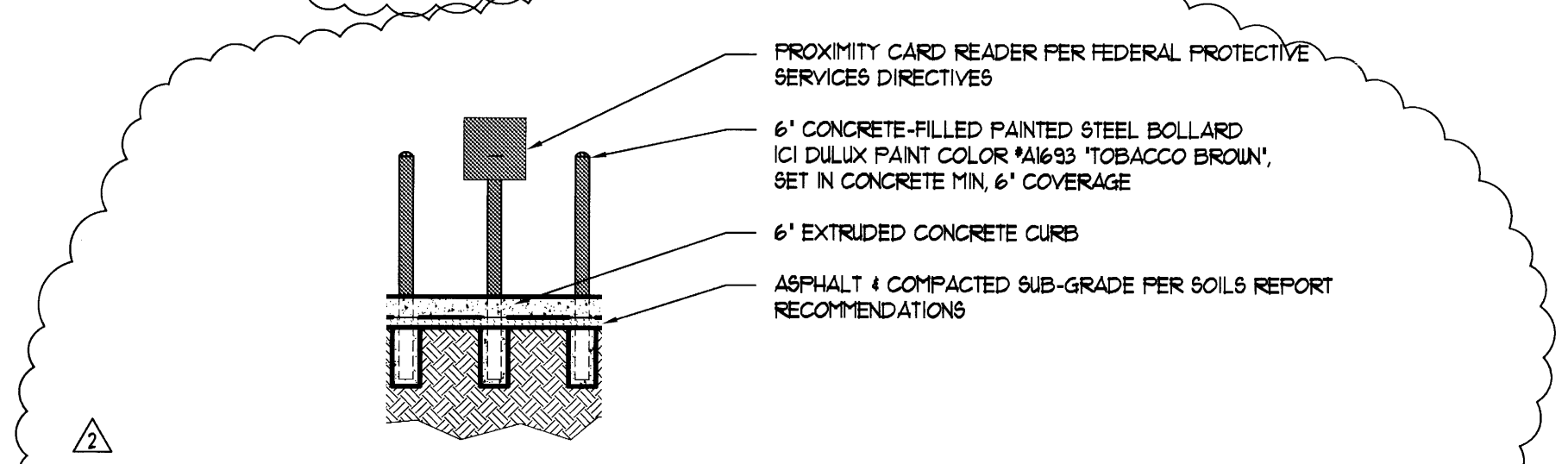
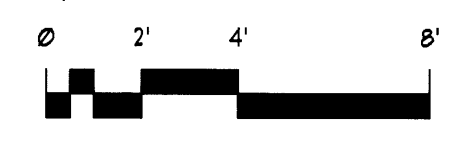
REFUSE BIN ELEVATIONS
1/4" = 1'-0"



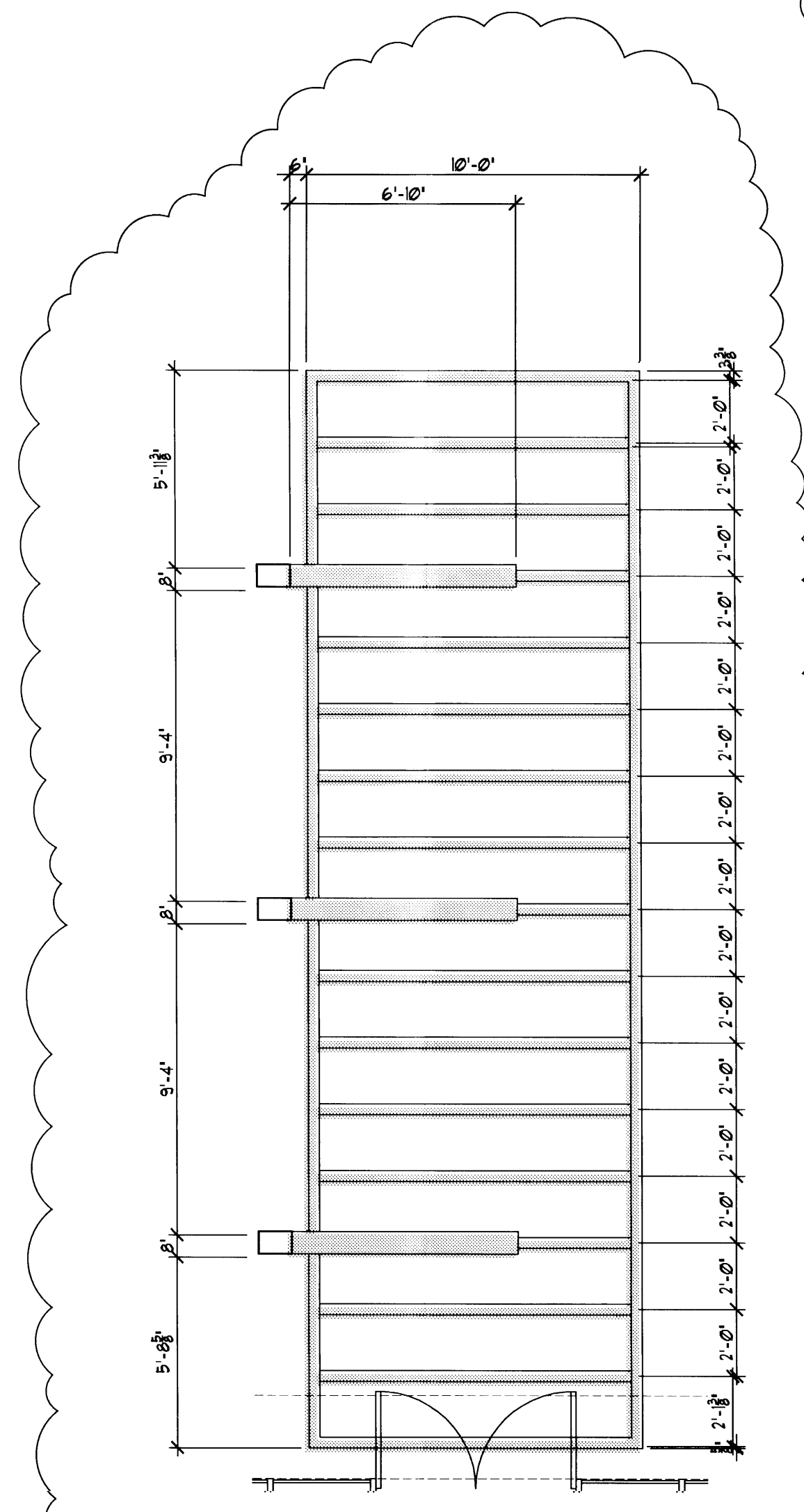
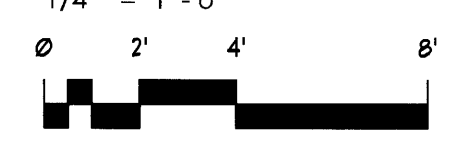
SCREEN WALL - TYPICAL
1/4" = 1'-0"



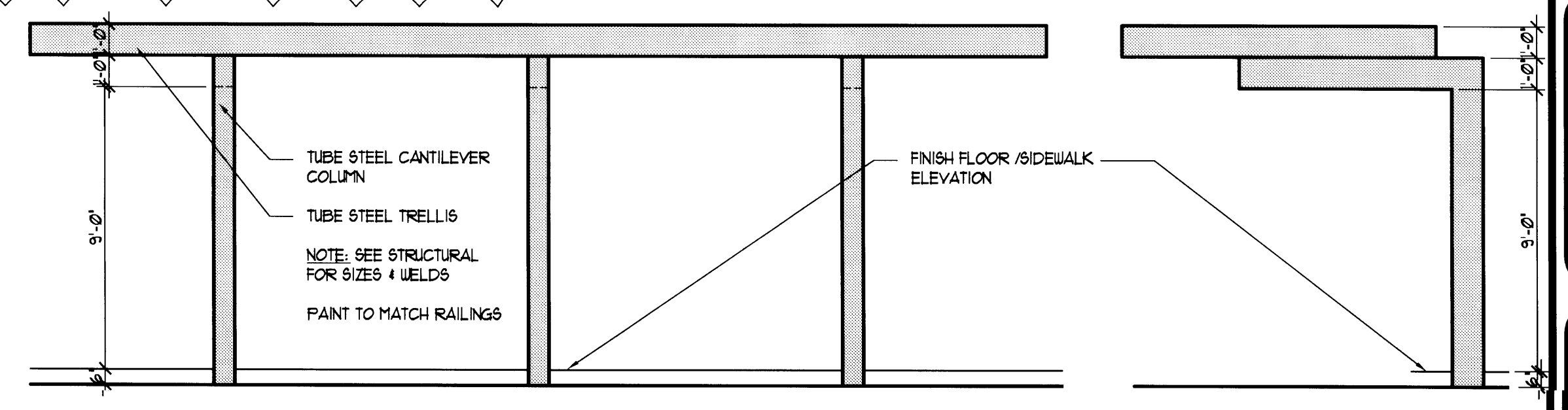
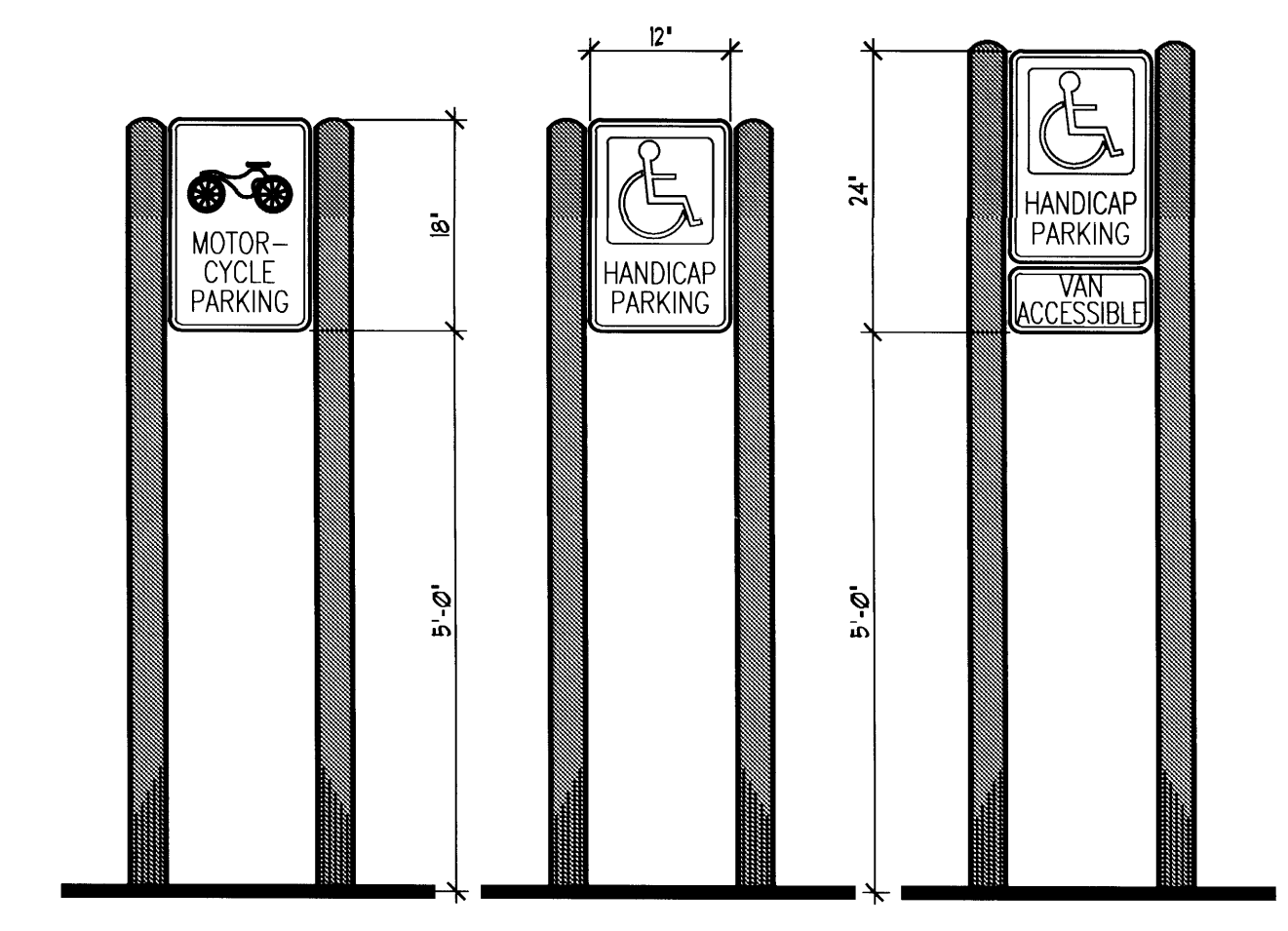
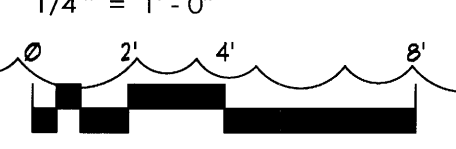
SECURITY FENCE - TYPICAL
1/4" = 1'-0"



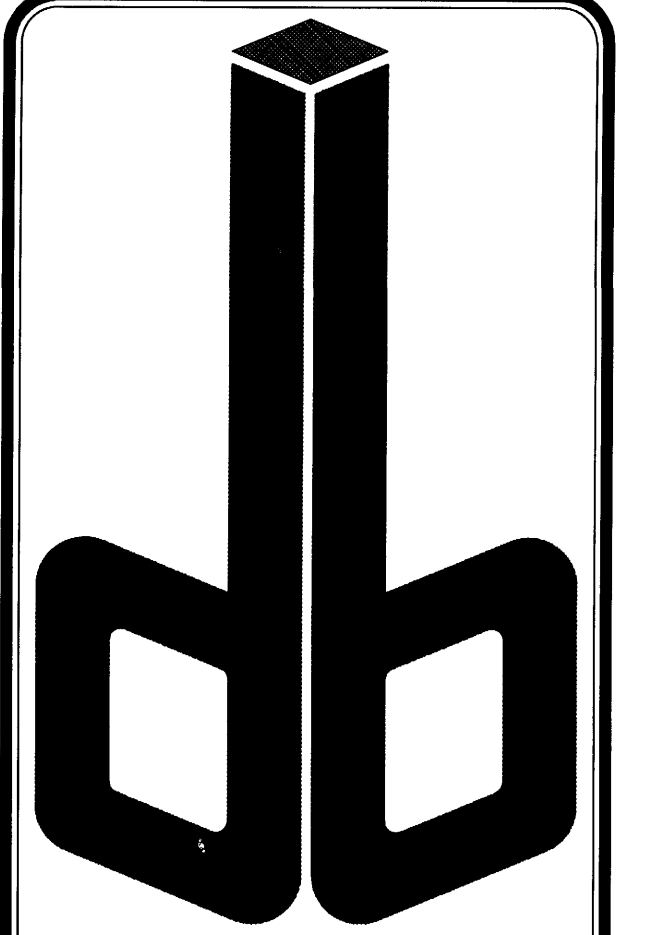
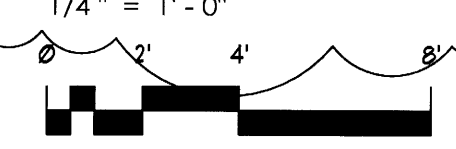
CARD READER SECTION
1/4" = 1'-0"



ENTRY TRELLIS - PLAN
1/4" = 1'-0"



ENTRY TRELLIS - ELEVATIONS
1/4" = 1'-0"



DURA BILT
Products, Inc.

DESIGN / BUILDER
Since 1950
LICENSE NO. 3244

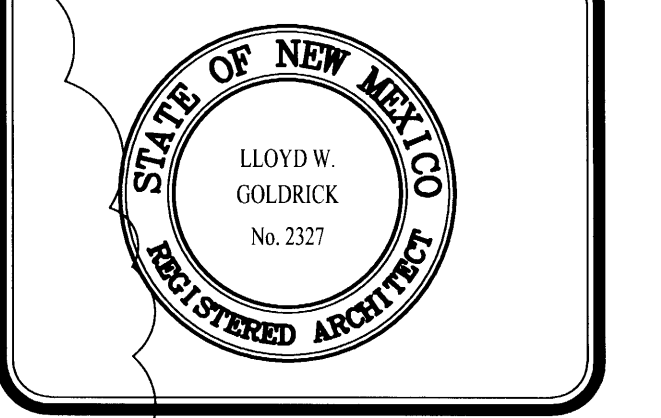
4808 JEFFERSON N.E.
ALBUQUERQUE N.M. 87109
Telephone: (505) 883-9100
Fax: (505) 883-9198
www.durabiltproducts.com

NOTICE: This drawing and design is property of Dura Bilt Products, Inc. and is loaned subject to the conditions that it is not to be copied, reproduced or distributed directly or indirectly, except to the interest of Dura Bilt Products, Inc. Any use for any other purpose is strictly prohibited.

DATE: 28 JUL 2008
PLOT DATE: 4 AUG 2009

REVISIONS:
A - 87109 ARC LETTER RESPONSE
B - 12310 DRB LETTER RESPONSE
C -
D -
E -
FILE: AS-102.DWG

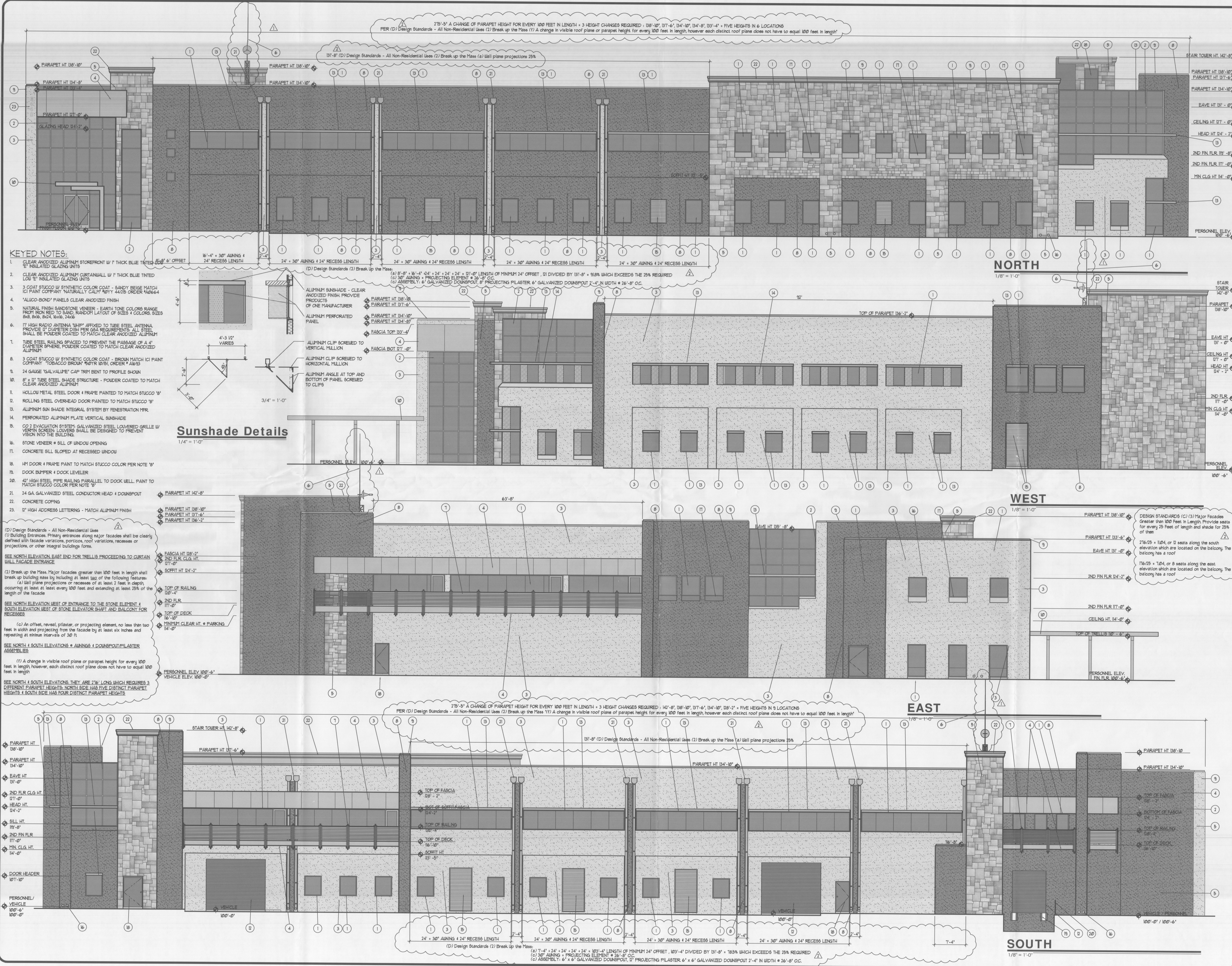
OFFICE FACILITY PROVIDED BY
SEVEN PROPERTIES LLP FOR
General Services Administration
2660 FRITT'S CROSSING SE.
ALBUQUERQUE, NEW MEXICO 87106



SITE DETAILS

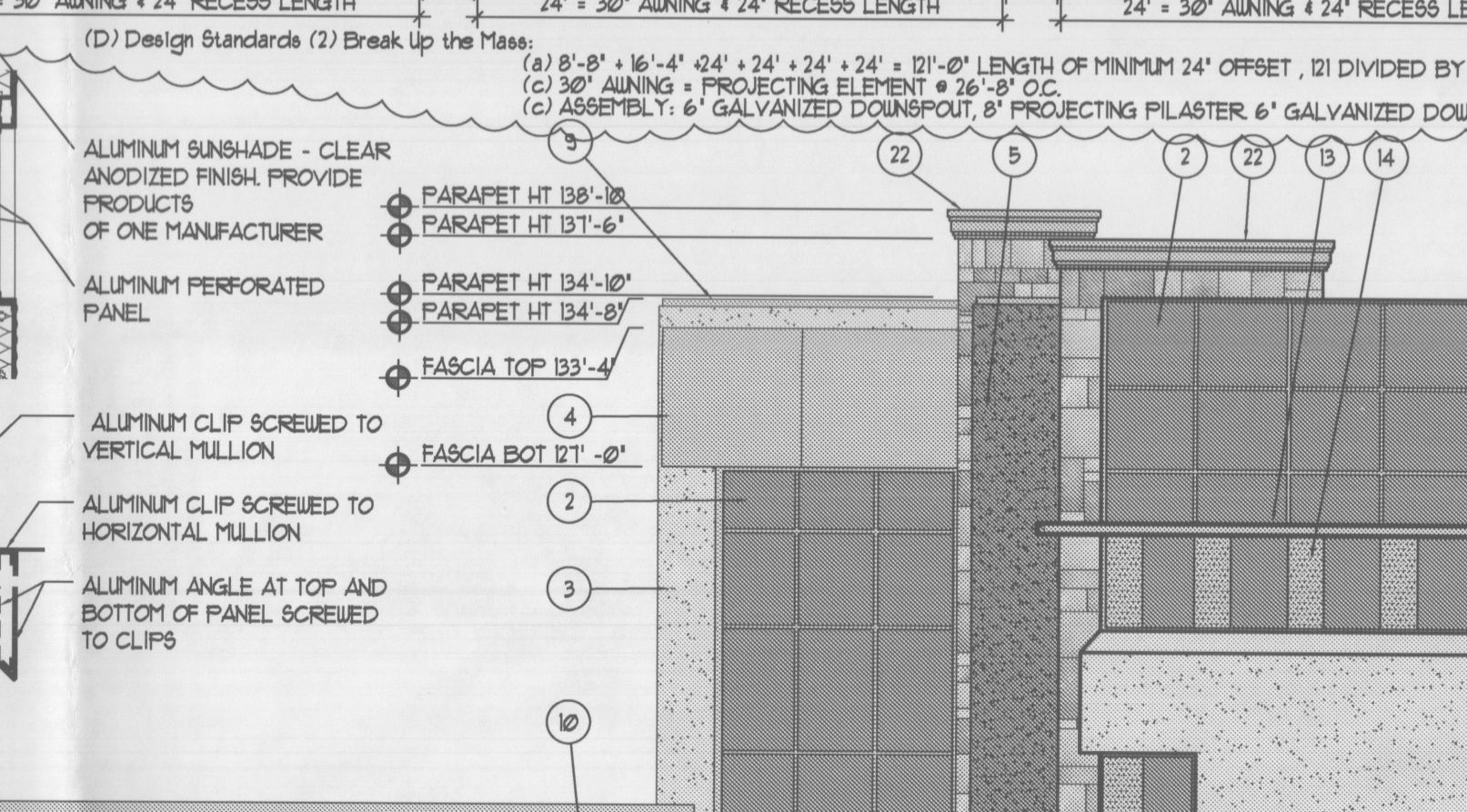
SHEET NO.
AS102

JOB NO.: 08-119



- KEYED NOTES:**
- CLEAR ANODIZED ALUMINUM STOREFRONT BY 1" THICK BLUE TINTED LOW E INSULATED GLAZING UNITS
 - CLEAR ANODIZED ALUMINUM CURTAINWALL BY 1" THICK BLUE TINTED LOW E INSULATED GLAZING UNITS
 - 3 COAT STUCCO W/ SYNTHETIC COLOR COAT - SANDY BEIGE MATCH ICI PAINT COMPANY "NATURALLY CALM" MOTY 4425 ORDER M4664
 - 'ALUICO-BOND' PANELS CLEAR ANODIZED FINISH
 - NATURAL FINISH SANDSTONE VENEER - EARTH TONE COLORS RANGE FROM RED TO SAND. RANDOM LAYOUT OF SIZES 4 COLORS, SIZES 8x8, 8x4, 8x4, 16x6, 24x6
 - 17" HIGH RADIO ANTENNA "HIP" AFFIXED TO TUBE STEEL ANTENNA. PROVIDE 1" DIAMETER DISH PER GEA REQUIREMENTS. ALL STEEL SHALL BE POWDER COATED TO MATCH CLEAR ANODIZED ALUMINUM
 - TUBE STEEL RAILING SPACED TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE. POWDER COATED TO MATCH CLEAR ANODIZED ALUMINUM
 - 3 COAT STUCCO W/ SYNTHETIC COLOR COAT - BROWN MATCH ICI PAINT COMPANY "TOBACCO BROWN" 86TR 105B, ORDER # A693
 - 24 GAUGE 'GALVALUME' CAP TRIM BENT TO PROFILE SHAUN
 - 8" x 12" TUBE STEEL SHADE STRUCTURE - POWDER COATED TO MATCH CLEAR ANODIZED ALUMINUM
 - HOLLOW METAL STEEL DOOR 4 FRAME PAINTED TO MATCH STUCCO 'B'
 - ROLLING STEEL OVERHEAD DOOR PAINTED TO MATCH STUCCO 'B'
 - ALUMINUM SUN SHADE INTEGRAL SYSTEM BY PENETRATION PFR
 - PERFORATED ALUMINUM PLATE VERTICAL SUNSHADE
 - CO 2 EVACUATION SYSTEM: GALVANIZED STEEL LOUVERED GRILLE W/ VINYL SCREEN LOUVERS SHALL BE DESIGNED TO PREVENT VISION INTO THE BUILDING.
 - STONE VENEER = SILL OF WINDOW OPENING
 - CONCRETE SILL SLOPED AT RECESSED WINDOW
 - H1 DOOR 4 FRAME PAINT TO MATCH STUCCO COLOR PER NOTE 'B'
 - DOCK BUMPER 4 DOCK LEVELER
 - 40" HIGH STEEL PIPE RAILING PARALLEL TO DOCK WELL. PAINT TO MATCH STUCCO COLOR PER NOTE 'B'
 - 24 GA GALVANIZED STEEL CONDUCTOR HEAD 4 DOWNSPOUT
 - CONCRETE COPING
 - 12" HIGH ADDRESS LETTERING - MATCH ALUMINUM FINISH

Sunshade Details
1/4" = 1'-0"



(D) Design Standards - All Non-Residential Uses
(1) Building Entrances: Primary entrances along major facades shall be clearly defined with facade variations, porticos, roof variations, recesses or projections, or other integral building forms.

SEE NORTH ELEVATION EAST END FOR TRILLIS PROCEEDING TO CURTAIN WALL FACADE ENTRANCE

(2) Break up the Mass: Major facades greater than 100 feet in length shall break up building mass by including at least two of the following features:
(a) Wall plane projections or recesses of at least 2 feet in depth, occurring at least at every 100 feet and extending at least 25% of the length of the facade
(b) Minimum clear height of 20 feet

SEE NORTH ELEVATION WEST OF ENTRANCE TO THE STONE ELEMENT 4 SOUTH ELEVATION WEST OF STONE ELEVATOR SHAFT AND BALCONY FOR RECESSES

(c) An offset, reveal, pilaster, or projecting element, no less than two feet in width and projecting from the facade by at least six inches and repeating at similar intervals of 30 feet

SEE NORTH 4 SOUTH ELEVATIONS = AWNINGS 4 DOWNSPOUT/PLASTER ASSEMBLIES

(f) A change in visible roof planes or parapet height for every 100 feet in length; however, each distinct roof plane does not have to equal 100 feet in length

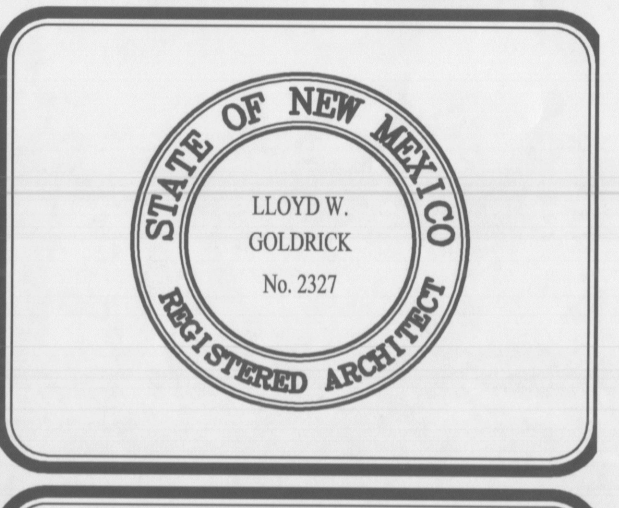
SEE NORTH 4 SOUTH ELEVATIONS. THEY ARE 216' LONG WHICH REQUIRES 3 DIFFERENT PARAPET HEIGHTS. NORTH SIDE HAS FIVE DISTINCT PARAPET HEIGHTS. 4 SOUTH SIDE HAS FOUR DISTINCT PARAPET HEIGHTS.

DURA BILT Products, Inc.
DESIGN / BUILDER
Since 1950
LICENSE NO. 3044
4808 JEFFERSON NE.
ALBUQUERQUE N.M. 87109
Telephone: (505) 883-8100
Fax: (505) 883-9198
www.durabiltproducts.com

NOTICE: This drawing and design is property of Dura Bilt Products, Inc. and is loaned subject to the conditions that it is not to be copied, reproduced or distributed directly or indirectly, except to the interest of Dura Bilt Products, Inc. Any use for any other purpose is strictly prohibited.

DATE: 28 JUL 2008
PLOT DATE: 20 JUL 2009
REVISIONS:
A - 07/29 ARC LETTER RESPONSE
B - 08/05 DRB COMMENTS
FILE: A201.DWG

OFFICE FACILITY PROVIDED BY
SEVEN PROPERTIES LLP FOR
General Services Administration
2660 FRITT'S CROSSING SE,
ALBUQUERQUE, NEW MEXICO 87106



ELEVATIONS
SHEET NO.
A201
JOB NO.: 08-119

SAS MANHOLE
 RIM = 5300.71
 FL 8" N = 5285.66
 FL 8" S = 5285.66
 FL 12" E = 5285.66

SD MANHOLE
 RIM = 5301.10
 FL 24" V = 5292.43
 FL 30" E = 5292.33

SAS MANHOLE
 RIM = 5302.72
 FL 8" N = 5287.41
 FL 8" W = 5287.51
 FL 12" E = 5287.51

BEGIN CURB RETURN, C1
 PT. EOP ELEV.
 RET. 0314
 1 0339
 2 0288
 3 0275
 RET. 0248 (C1)
 END RETURN, C1

BEGIN CURB RETURN, C2
 PT. EOP ELEV.
 RET. 0221 (C2)
 1 0238
 2 0255
 3 0272
 RET. 0289 (C2)
 END RETURN, C2

SAS MANHOLE
 RIM = 5301.94
 FL 8" N = 5289.38
 FL 8" S = 5289.48

TELE PED

MCI PULL BOX

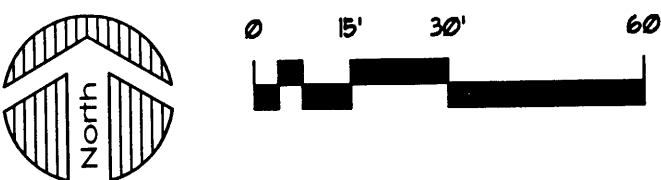
ELEC MANHOLE

6X6 TRANSFORMER

ELEC MANHOLE

GRADING PLAN

1" = 30.00'



SOURCE OF EXISTING SURVEY

TOPOGRAPHIC SURVEY PERFORMED BY
 HUITT-ZOLLARS, INC. DATED JULY 10, 2008

KEYED NOTES

1. CONSTRUCT 6" TURN DOWN SIDEWALK
2. CONSTRUCT MEDIAN CURB & GUTTER STD. DWG 2415 B
3. CONSTRUCT CONCRETE CUTOFF WALL 8"x24" - COA STD. DWG 2415 B
4. CONSTRUCT 24" SIDEWALK CURB - COA STD. DWG 2236 - SIMILAR
5. 3" SP-III ASPHALT PAVEMENT OVER 4" TYPE 1 AGG. B.C. OVER 12" SUBGRADE PREPARATION
6. 24" HOPE-CULVERT
7. SPLASH BLOCK - SEE LANDSCAPE/ARCH PLANS
8. 1' WIDE CURB OPENING
9. 2' WIDE CURB OPENING
10. 4" VALLEY GUTTER - COA STD. DWG 2420
11. ZERO CURB
12. POND OUTLET - MANUFACTURER NEENAH MODEL R-2510-A 10"x10" TYPE XL RIP RAP 12" DEEP
13. EARTHEN SWALE - 4 FOOT BOTTOM WITH 4:1 SIDESLOPES AND 1-FOOT DEEP

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE. MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY BERNALILLO COUNTY FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GENERAL LEGEND

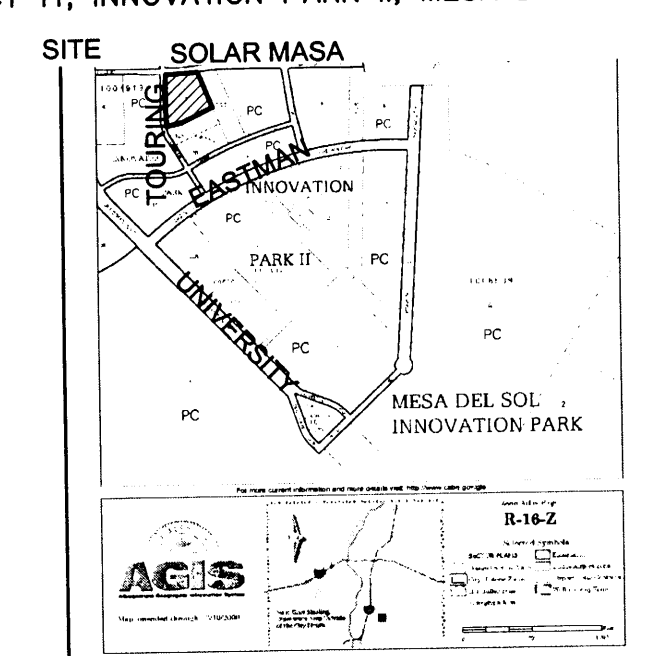
EXISTING CONTOUR	-5290-
EXISTING SPOT ELEVATION	+5300.92
EXISTING FIREHYDRANT	⊗
EXISTING WATERVALVE	⊗
EXISTING WATERLINE	—
EXISTING MANHOLE	○
EXISTING SANITARY SEWER LINE	- - -
EXISTING LIGHT	⊙
EXISTING ELECTRICAL EQUIPMENT	□
PROPOSED SPOT ELEVATION	TC 40.00
WATER BLOCK	⌊
EXISTING GROUND ELEVATION	+5301.69
FLOW DIRECTION ARROW	→
FLOW LINE ELEVATION	FL
TOP OF CONCRETE	TC
TOP OF ASPHALT	TA
FINISHED FLOOR	FF
INVERT	INV
TOP OF GRATE	TO
BENCH MARK	BM
PROPERTY CORNERS	⊕
PROPOSED STORMDRAIN	—
PROPOSED CURB AND GUTTER	—
PROPOSED SIDEWALK	—

BENCHMARK

THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 2-R15 A
 THE LOCAL BENCHMARK IS A PROPERTY CORNER ON THE SOUTH PROPERTY LINE AT THE ANGLE POINT. REBAR WITH CAP PS 1649
 NORTHING 1454441.9930
 EASTING 1530674.4370
 ELEVATION 5299.32

LEGAL DESCRIPTION

TRACT 11, INNOVATION PARK II, MESA DEL SOL



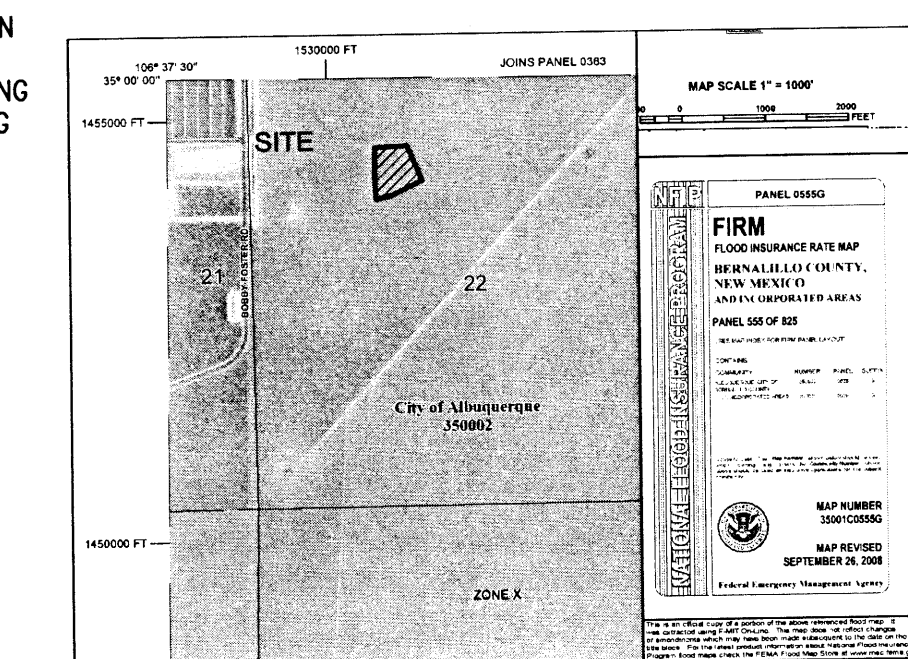
VICINITY MAP - ZONE ATLAS R-16

ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

FLOOD ZONE

THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY. PROPERTY LIES WITHIN ZONE 'X' (FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YR FLOOD HAZARD. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 3500100566 EFFECTIVE DATE: SEPTEMBER 26, 2008.

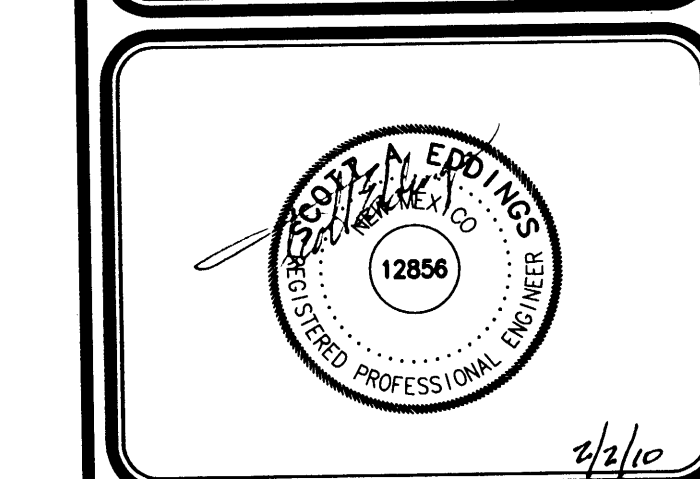


4828 JEFFERSON N.E.
 ALBUQUERQUE NM, 87109
 Telephone: (505) 883-9100
 Fax: (505) 883-9158
 www.durabiltproducts.com

NOTICE: This drawing and design is the property of Dura Bilt Products, Inc. and is loaned subject to the conditions that it is not to be copied, reproduced or distributed directly or indirectly, except to the interest of Dura Bilt Products, Inc. Any use for any other purpose is strictly prohibited.

REVISION
 1 - CORRECT - GRADING REVISION 12/10

OFFICE FACILITY PROVIDED BY
 SEVEN PROPERTIES LLP FOR
General Services Administration
 5600 TURING DRIVE S.E.
 ALBUQUERQUE, NEW MEXICO 87106



GRADING PLAN
 SHEET NO. **C101**

Designed By
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87144
 Phone (505) 892-5141 Fax (505) 892-3259

04.02.2010 08:11:00am - User: addings
 C:\VPRO\17364601\WORK\02_FLEES\GRANDBASE_RI.DWG [S:\VPRO\17364601\WORK\02_FLEES] (S:\VPRO\17364601\WORK\02_FLEES)
 FILE: C:\VPRO\17364601\WORK\02_FLEES\GRADING PLAN.dwg
 PLOT: C:\VPRO\17364601\WORK\02_FLEES\GRADING PLAN.dwg
 DATE: 11/18/2010 09:41:30 AM

SOURCE OF EXISTING SURVEY

TOPOGRAPHIC SURVEY PERFORMED BY HUITT-ZOLLARS, INC. DATED JULY, 2009

EXISTING CONDITIONS

EXISTING SITE IS NATURAL UNDISTURBED. THE PROJECT IS PART OF THE MESA DEL SOL DEVELOPMENT AND DRAINAGE IS GOVERNED BY THE MESA DEL SOL DRAINAGE MASTER PLAN.

PROPOSED CONDITIONS

LAND TREATMENTS FOR THE PROPOSED SITE ARE 70% D, 20% C, 10% B, AND 0% A. THE FIRST HALF INCH OF RUNOFF SHALL BE CONVEYED TO THE WATER HARVESTING POND WHICH SHALL HARVEST 9,118 CUBIC FEET OF WATER. EXCESS WATER SHALL BE CONVEYED TO THE REGIONAL STORM WATER POND LOCATED SOUTHEAST OF THE PROPERTY THROUGH A RAISED INLET.

MASS GRADING WILL RECONTOUR THE SITE TO CONVEY SURFACE RUNOFF TO SITE'S WATER HARVESTING/QUALITY POND.

HYDROLOGY ENTIRE SITE - ZONE 2

100 YEAR 24 HOUR EVENT

DRAINAGE ZONE 2	PRECIPITATION:	EXCESS PRECIPITATION:	PEAK DISCHARGE:
	360 = 2.35 in.		
	1440 = 2.75 in.		
	10day = 3.95 in.		
		TREATMENT A 0.53 in.	1.56 cfs/ac
		TREATMENT B 0.78 in.	2.28 cfs/ac
		TREATMENT C 1.13 in.	3.14 cfs/ac
		TREATMENT D 2.12 in.	4.70 cfs/ac
EXISTING CONDITIONS:	AREA	PROPOSED CONDITIONS:	AREA
TREATMENT A	5.02 ac.	TREATMENT A	0 ac.
TREATMENT B	0 ac.	TREATMENT B	0.502 ac.
TREATMENT C	0 ac.	TREATMENT C	1.004 ac.
TREATMENT D	0 ac.	TREATMENT D	3.514 ac.
TOTAL	5.02 ac.	TOTAL	5.02 ac.
EXISTING EXCESS PRECIPITATION:	Weighted E = (0.53) x (5.02) + (0.78) x (0.00) + (1.13) x (0.00) + (2.12) x (0.00) = 2.68 ac-in		
	V100-360 = (0.53) x (5.02) x 12 = 0.32 ac-ft = 9658 cf		
EXISTING PEAK DISCHARGE:	Q100 = (1.56) x (5.02) + (2.28) x (0.00) + (3.14) x (0.00) + (4.70) x (0.00) = 7.83 cfs		
PROPOSED EXCESS PRECIPITATION:	Weighted E = (0.53) x (0.00) + (0.78) x (0.50) + (1.13) x (1.00) + (2.12) x (3.51) = 1.79 ac-in		
	V100-360 = (1.79) x (5.02) x 12.0 = 0.747980 ac-ft = 32582 cf		
	V100-1440 = (0.75) x (3.51) x (2.75) x 12 = 0.865113 ac-ft = 37694 cf		
	V100-10day = (0.75) x (3.51) x (3.95) x 12 = 1.216513 ac-ft = 52991 cf		
PROPOSED PEAK DISCHARGE:	Q100 = (1.56) x (0.00) + (2.28) x (0.50) + (3.14) x (1.00) + (4.70) x (3.51) = 20.81 cfs		
RESULTS	20.81 - 7.83 = 12.98 cfs Increase in peak discharge 32582 - 9658 = 22924 cf Increase in runoff volume		

WATER HARVESTING HALF-INCH RUNOFF VOLUME

SITE AREA = 5.02 AC OR 218,825 SF
ASSUME 0.5 INCHES OF RUNOFF OVER SITE
VOLUME = 9,118 CUBIC FEET OF REQUIRED STORAGE

GENERAL LEGEND

EXISTING CONTOUR	— 5290 —
EXISTING SPOT ELEVATION	+ 5300.92
EXISTING FIREHYDRANT	⊕
EXISTING WATERVALVE	⊕
EXISTING WATERLINE	---
EXISTING MANHOLE	○
EXISTING SANITARY SEWER LINE	---
EXISTING LIGHT	⊕
EXISTING ELECTRICAL EQUIPMENT	⊕
PROPOSED SPOT ELEVATION	TC 40.00
WATER BLOCK	~
EXISTING GROUND ELEVATION	+5301.69
FLOW DIRECTION ARROW	→
FLOW LINE ELEVATION	FL
TOP OF CONCRETE	TC
TOP OF ASPHALT	TA
FINISHED FLOOR	FF
INVERT	INV
TOP OF GRATE	TG
BENCH MARK	⊕ BM
PROPERTY CORNERS	⊕
PROPOSED STORMDRAIN	———
PROPOSED CURB AND GUTTER	=====
PROPOSED SIDEWALK	=====

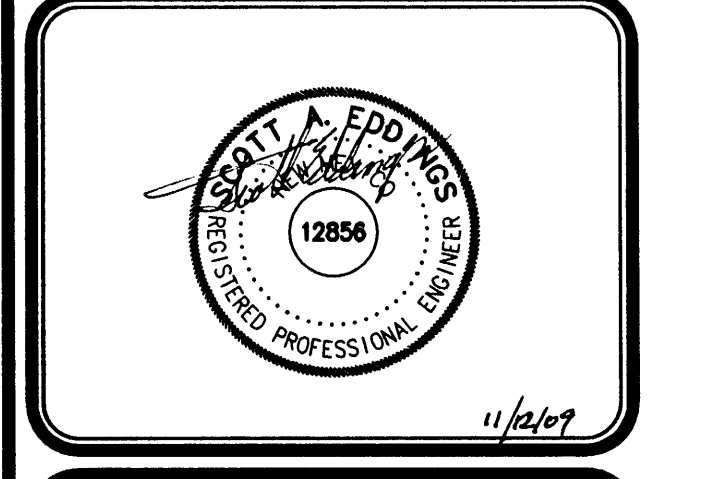
**DURA BILT
Products, Inc.**

DESIGN / BUILDER
Since 1950
LICENSE NO. 3244

4808 JEFFERSON NE.
ALBUQUERQUE NM, 87109
Telephone: (505) 883-9100
Fax: (505) 883-9198
www.durabiltproducts.com

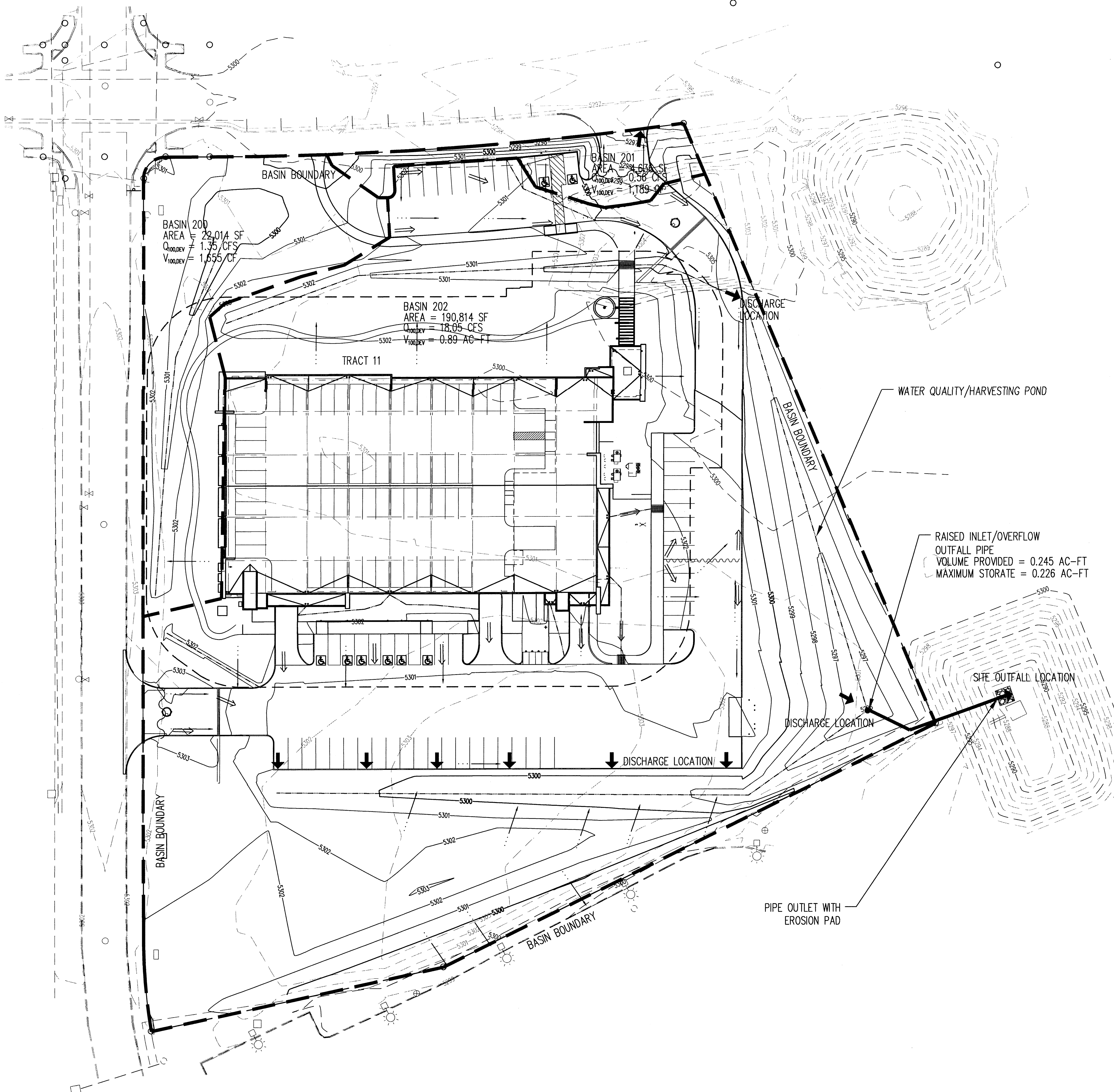
NOTICE: This drawing and design is the property of Dura Bilt Products, Inc. and is loaned subject to the conditions that it is not to be copied, reproduced or distributed directly or indirectly, except to the interest of Dura Bilt Products, Inc. Any use for any other purpose is strictly prohibited.

OFFICE FACILITY PROVIDED BY
SEVEN PROPERTIES LLP FOR
**General Services
Administration**
2660 FRITTS CROSSING SE.
ALBUQUERQUE, NEW MEXICO 87106



DRAINAGE PLAN
SHEET NO. **C102**

Designed By
HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259



GRADING PLAN
1" = 30.00'

11/2019 1:42 PM
 C:\PROJECTS\20090801\20090801\02_PLOT_FILES\20090801\02_PLOT_FILES\GRADING.PLOT_FILES
 11/2019 1:42 PM
 C:\PROJECTS\20090801\20090801\02_PLOT_FILES\20090801\02_PLOT_FILES\GRADING.PLOT_FILES
 11/2019 1:42 PM
 C:\PROJECTS\20090801\20090801\02_PLOT_FILES\20090801\02_PLOT_FILES\GRADING.PLOT_FILES

BASIN HYDROLOGY

Version: 1997.02c
RYNO PROGRAM (RYNO 97)
RUN DATE (MON/DAY/YR) = 11/12/2009
START TIME (HR:MIN:SEC) = 16:58:19
INPUT FILE = G:\Proj\11084680\1084680_1\RYNO\RYNO.DAT

COMPUTED 24-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.
DT = 0.050000 HOURS
END TIME = 24.000000 HOURS

COMPUTE NM HYD ID=1 HYD=200.D AREA=0.0008 SQ MI
K = .118320HR TP = .133000HR K/TP RATIO = .89627 SHAPE CONSTANT, N = 3.986799
UNIT PEAK = 2.1311 CFS UNIT VOLUME = .9955 B = 354.29 P60 = 1.8200

POND ROUTING

Table with columns: TIME (HRS), INFLOW (CFS), ELEV (FEET), VOLUME (AC-FT), OUTFLOW (CFS). Shows hydrograph data for area 200.D.

Table with columns: TIME (HRS), FLOW (CFS), TIME (HRS), FLOW (CFS). Shows hydrograph data for area 201.D.

Table with columns: TIME (HRS), FLOW (CFS), TIME (HRS), FLOW (CFS). Shows hydrograph data for area 201.D.

EARTHEN SWALE

Worksheet
Worksheet for Trapezoidal Channel

Table with columns: Project Description, Input Data, Results. Details channel parameters like Manning's Coef, Channel Slope, Depth, etc.

LANDSCAPE DEPRESSION 200

Table with columns: Elevation, Area, Average Area, Volume, Accumulative Volume. Shows landscape depression data.

DEPRESSION IS APPROXIMATELY 3,136 CUBIC FEET

STORMWATER QUALITY POND - SOUTHEAST CORNER OF SITE

Table with columns: Elevation, Area, Average Area, Volume, Accumulative Volume. Shows stormwater pond data.

VOLUME PROVIDED IS 10,672 CUBIC FEET
VOLUME REQUIRED IS 9,118 CUBIC FEET

STORMWATER QUALITY POND - OUTLET STRUCTURE

Table for NEENA R-2510-A showing objective: Analyze capacity of a NEENA R-2510-A and various calculations for weir, orifice, and culvert.

1-FOOT CURB OPENING

Worksheet
Worksheet for Rectangular Channel

Table with columns: Project Description, Input Data, Results. Details curb opening parameters like Manning's Coef, Channel Slope, etc.

2-FOOT SIDEWALK CULVERT

Worksheet
Worksheet for Rectangular Channel

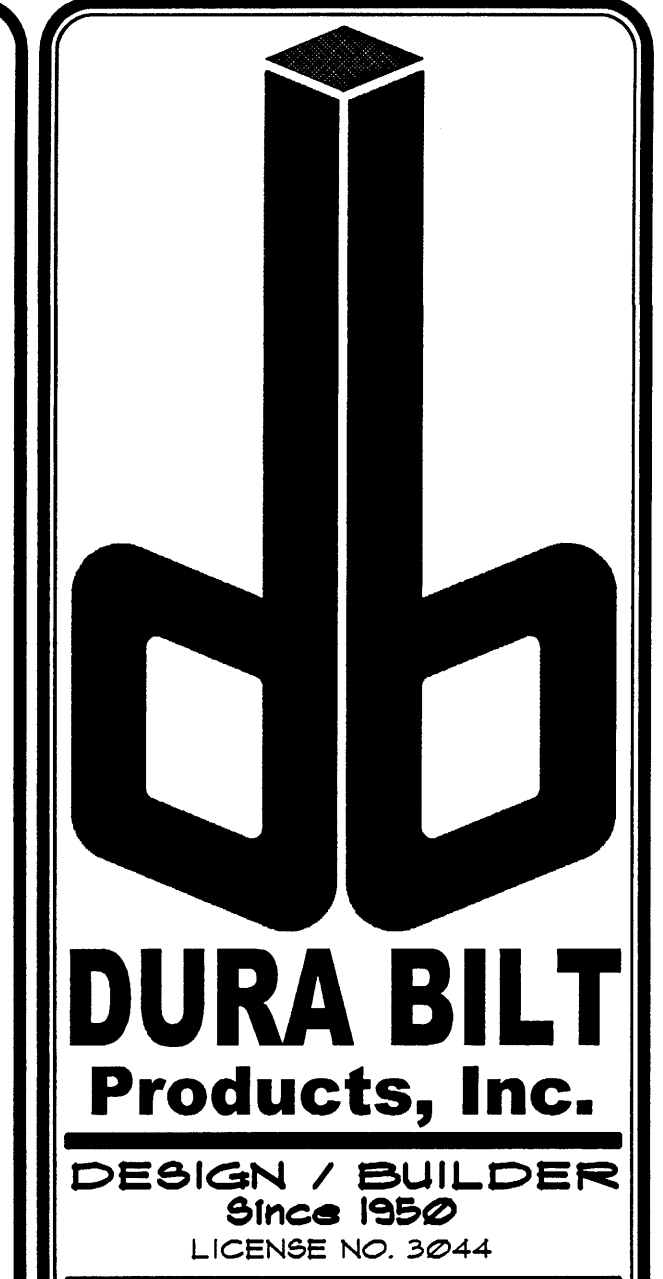
Table with columns: Project Description, Input Data, Results. Details sidewalk culvert parameters like Manning's Coef, Channel Slope, etc.

STORMWATER QUALITY POND - DISCHARGE PIPING

Worksheet
Worksheet for Circular Channel

Table with columns: Project Description, Input Data, Results. Details discharge piping parameters like Manning's Coef, Channel Slope, etc.

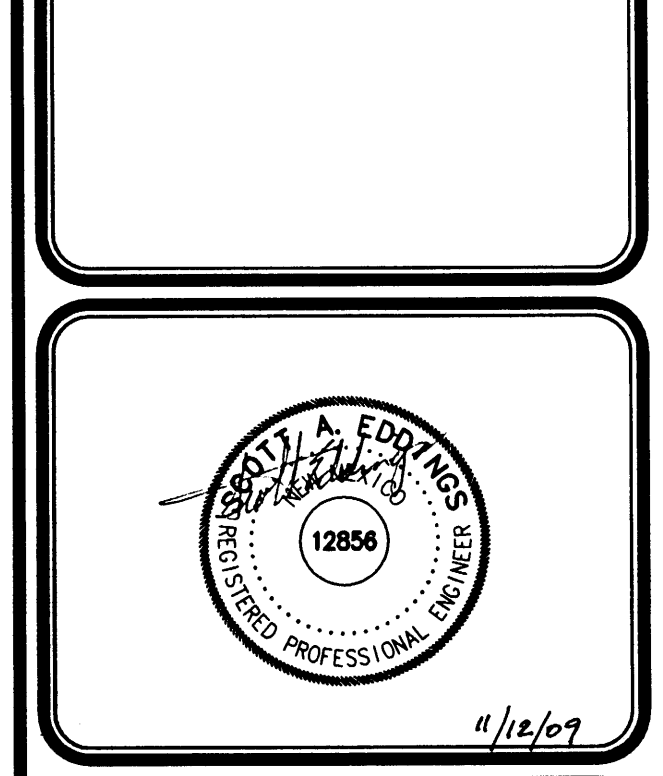
Nov 13, 2009 5:49:25pm - User: andrea...
G:\Proj\11084680\1084680_1\RYNO\RYNO.DAT



DESIGN / BUILDER Since 1950 LICENSE NO. 3044
4808 JEFFERSON N.E. ALBUQUERQUE N.M. 87109
Telephone: (505) 883-9100 Fax: (505) 883-9158 www.durabilproducts.com

NOTICE: This drawing and design is the property of Dura Bilt Products, Inc. and is loaned subject to the conditions that it is not to be copied, reproduced or distributed directly or indirectly, except to the interest of Dura Bilt Products, Inc. Any use for any other purpose is strictly prohibited.

OFFICE FACILITY PROVIDED BY SEVEN PROPERTIES LLP FOR
General Services Administration
2660 FRITT'S CROSSING S.E. ALBUQUERQUE, NEW MEXICO 87106



HYDROLOGY AND HYDRAULICS

SHEET NO. C103

Project Engineer: Huitt-Zollars, Inc. FlowMaster v7.0 (7/0005)
11/12/09 08:20:07 AM Huitt-Zollars, Inc. 37 Brookside Road Waterbury, CT 06708 USA +1-203-755-1866

HUITT-ZOLLARS
Huitt-Zollars, Inc.
330 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-5259

