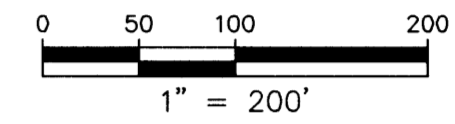
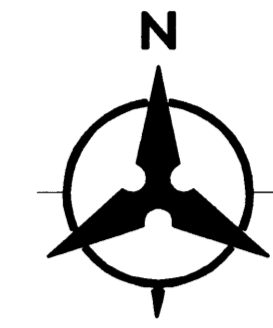
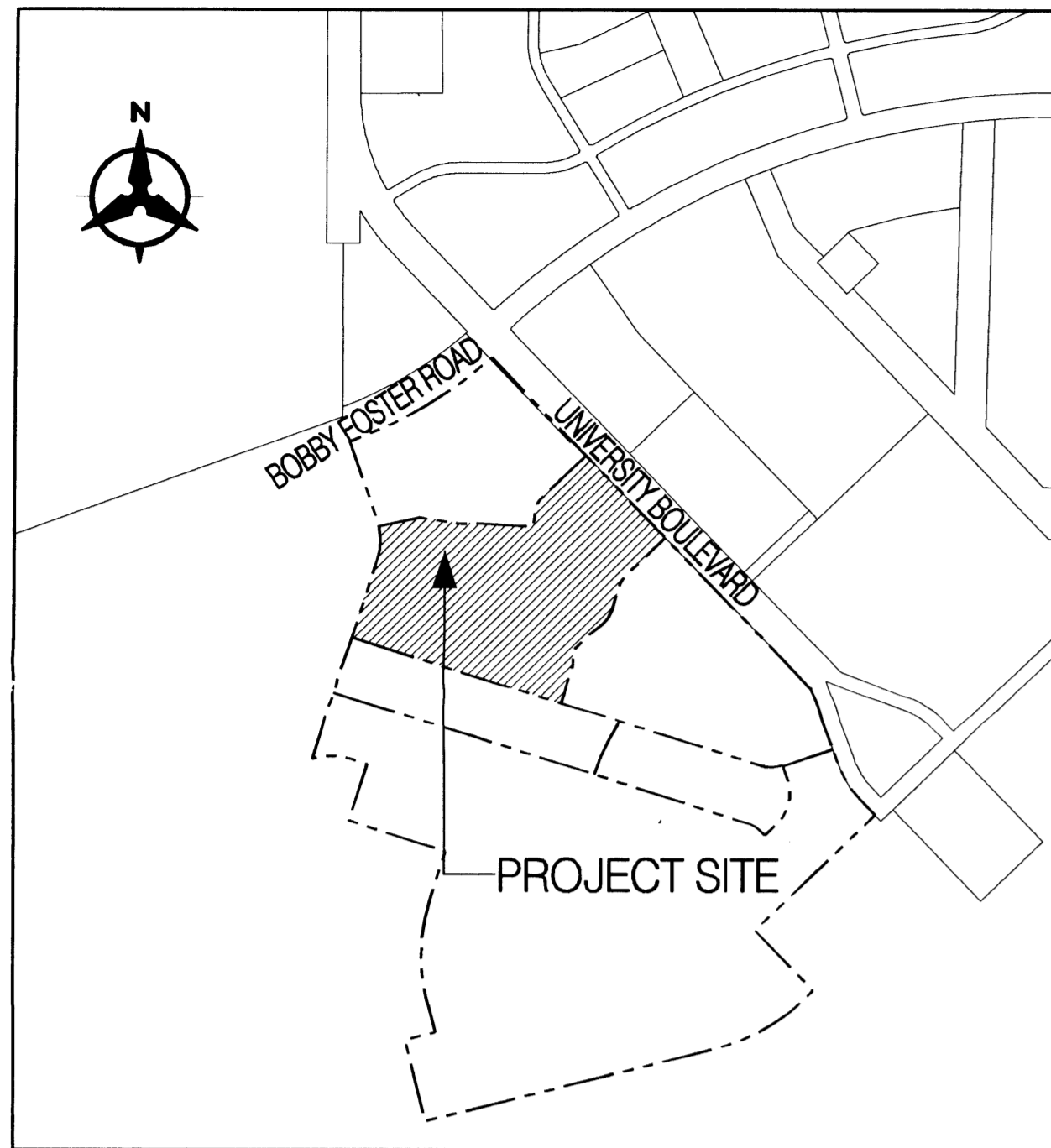
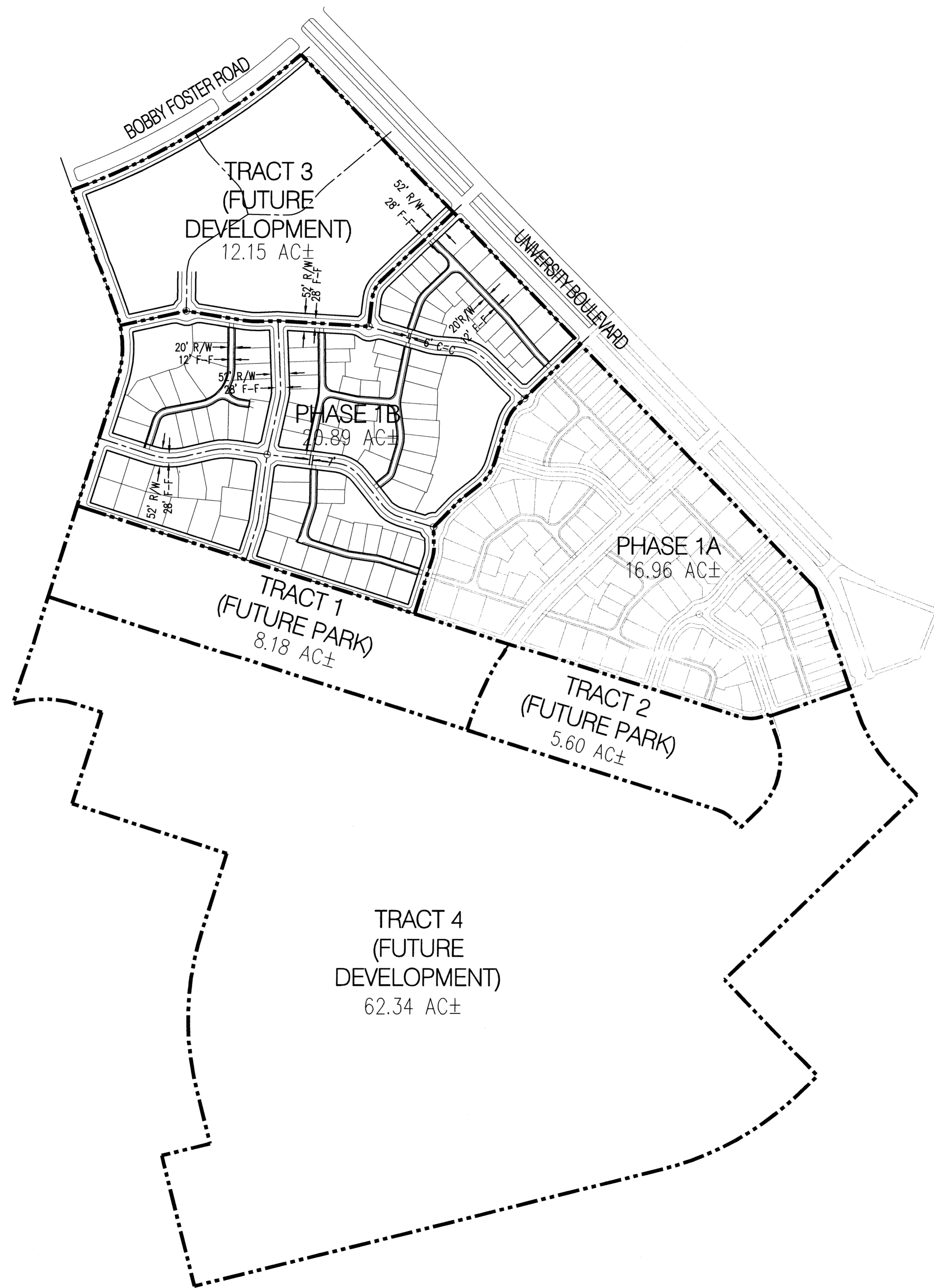


# MESA DEL SOL FIRST NEIGHBORHOOD PHASE 1B

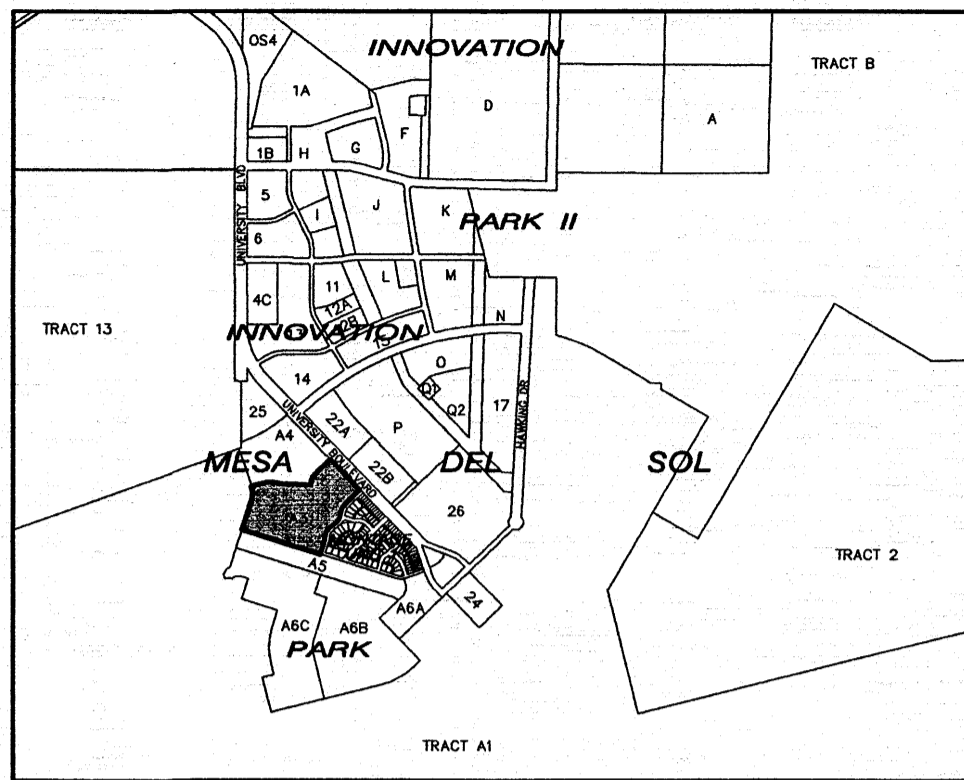


NOTES:

1. EXISTING ZONING: SU2-PC  
PROPOSED DEVELOPMENT: RESIDENTIAL
2. PROPOSED ACREAGE: 16.28 AC
3. MINIMUM LOT DIMENSION: 40'x40'
4. PROPOSED NUMBER OF LOTS: 117±



VICINITY MAP  
NOT TO SCALE



**LOCATION MAP**  
**ZONE ATLAS INDEX MAP No. R-16**  
**NOT TO SCALE**

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Number: R-16
3. Zoning: PC
4. Gross Subdivision Acreage: 21.8222 Acres.
5. Total number of Lots/Tracts Created: One hundred eight (108) Lots and eleven (11) Tracts
6. 0.938 mile public street right-of-way was created.
7. Date of Survey: October, 2010.
8. Plat is located within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Tract A-3 of the Bulk Land Plat of Tracts A-1 thru A-6 Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 6, 2010 in Book 2010C, page 131 as Document No. 2010123421 into one hundred eight (108) lots and eleven (11) tracts, to vacate existing easements, to grant new easements and to dedicate public street right-of-way to the City of Albuquerque.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**DESCRIPTION**

A certain tract of land situate within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract A-3 of the Bulk Land Plat of Tracts A-1 thru A-6 Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 6, 2010 in Book 2010C, page 131 as Document No. 2010123421.

Tract contains 21.8222 acres, more or less.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Tracts A-1 thru A-6 Mesa Del Sol Innovation Park, Albuquerque, New Mexico, filed on December 6, 2010 in Book 2010C, page 131 as Document No. 2010123421.
3. Basis of Bearings is between City of Albuquerque Control Stations "1-R16" and "3-Q16". Bearing = N12°15'06"E.
4. Distances are ground distances.
5. Record easements taken from search and report File No. FT000058876 dated Monday, September 27, 2010 from Fidelity National Title.
6. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' Typ), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even feet where necessary to fall within the par. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset. Remaining lot corners will be marked with a 5/8" rebar and plastic cap stamped "Gromatzky PS 16469", a nail and washer stamped "Gromatzky PS 16469" or a nail and washer stamped "line only".
7. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."
8. Tracts 6, 7, 8, 9 and 10 (alley tracts) are subject to a blanket PUE, blanket private access and blanket private drainage easements granted with the filing of this plat. Blanket private access and blanket private drainage easements are granted to and to be maintained by Mesa Del Sol Community Company, Inc. Blanket public utility easements are granted to the designated franchised utility companies.
9. The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded as Document #2011107179.
10. Centerline monuments to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
11. The portion of the existing floating access and utility easement granted on June 21, 2006, Book A119, Page 1052, Document #2006091310, records of Bernalillo County, New Mexico encumbering Tract A-3, Mesa Del Sol Innovation Park, is hereby terminated with the dedication of public right-of-way as shown on this plat.
12. Tracts 6, 7, 8, 9 and 10 (alley tracts) will be conveyed by a separate deed to Mesa Del Sol Community Company, Inc.
13. Tracts I thru N are private common area tracts to be owned and maintained by the Homeowner's Association, and are encumbered by a blanket private drainage, water and sanitary sewer easement for the benefit of the adjoining lots granted with the filing of this plat.
14. With the exception of lots adjacent to University Boulevard, SE, all lot sideyards shall have a 5' shared Private Drainage Easement centered on the lot line (2.5' on each side) granted with the filing of this plat.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with the owner(s) free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as shown on this plat. Access easements are permanent. Said owner(s) hereby dedicate Public Rights-of-Way as shown on this plat to City of Albuquerque, New Mexico in Fee Simple with Warranty Covenants.

FOREST CITY MESA RESIDENTIAL DEVELOPMENT, LLC, a Delaware limited liability company

By: Brent F. Dupes

State of New Mexico )  
 County of Bernalillo ) SS

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_, 2012, by Brent F. Dupes, Secretary of Forest City Mesa Residential Development, LLC, a Delaware limited liability company.

My Commission Expires: \_\_\_\_\_  
 Notary Public

**PLAT OF**  
**MESA DEL SOL**  
**NEIGHBORHOOD**  
**MONTAGE UNIT 2**  
**( A REPLAT OF TRACT A-3, MESA DEL SOL**  
**INNOVATION PARK)**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**  
**NOVEMBER, 2012**

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:

QWEST CORPORATION d/b/a CENTURYLINK QC \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_

TW TELECOM, INC. \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

REAL PROPERTY DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

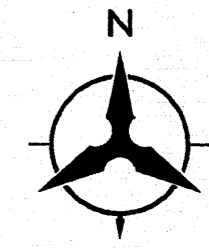
**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky  
 New Mexico Professional Surveyor 16469  
 Date: \_\_\_\_\_



**PLAT OF  
MESA DEL SOL  
NEIGHBORHOOD  
MONTAGE UNIT 2**  
(A REPLAT OF TRACT A-3, MESA DEL SOL  
INNOVATION PARK)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 2012



SCALE: 1" = 100'

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	29° 16' 07"	38.12'	74.58'	146.00'	73.77'	S31° 24' 20" W
C2	34° 47' 54"	32.59'	63.16'	104.00'	62.20'	S34° 10' 13" W
C3	07° 34' 04"	10.32'	20.60'	156.00'	20.59'	S47° 47' 09" W
C4	45° 02' 48"	60.54'	114.79'	146.00'	111.85'	S21° 28' 43" W
C5	18° 43' 21"	15.50'	30.72'	94.00'	30.58'	S08° 19' 00" W
C6	35° 38' 41"	85.84'	166.10'	267.00'	163.44'	N00° 08' 40" W
C7	21° 32' 55"	27.78'	54.91'	146.00'	54.59'	N88° 23' 45" E
C8	11° 28' 48"	17.49'	34.86'	174.00'	34.80'	S86° 34' 12" E
C9	05° 52' 15"	10.56'	21.11'	206.00'	21.10'	S89° 22' 28" E
C10	39° 28' 47"	52.39'	100.60'	146.00'	98.62'	N26° 18' 01" E

Tangent Data		
ID	BEARING	DISTANCE
T1	S51° 34' 11" W	72.21'
T2	S44° 00' 07" W	43.88'
T3	S01° 02' 40" E	5.47'
T4	N87° 41' 25" E	45.79'
T5	N06° 33' 38" E	43.42'

NOTE: TABLES ARE FOR THIS SHEET ONLY

TRACT A-1  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-4  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-5  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

MESA DEL SOL  
NEIGHBORHOOD  
MONTAGE UNIT 1  
FILED: DECEMBER 15, 2011  
(2011C-136)

ACS BRASS TABLE STAMPED "3-Q16"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 1,533,498.782 Y = 1,457,045.094  
GROUND TO GRID FACTOR = 0.999663002  
DELTA ALPHA = -00°12'17.33"  
NAVD 1988 ELEVATION = 5310.390

EXISTING 10' PUBLIC  
UTILITY EASEMENT  
FILED: SEPTEMBER 13, 2007  
(2007C-259)

EXISTING 10' PNM EASEMENT  
FILED: JULY 22, 1954  
(BK D285, PG 517) DOCUMENT NO. 28421  
MODIFIED BY QUITCLAIM DEED AND ASSIGNMENT  
FILED: FEBRUARY 8, 1955 (BK D305, PG 307)  
DOCUMENT NO. 48709  
HATCHED PORTION VACATED BY VACATION ACTION  
12DRB-

ACS BRASS TABLE STAMPED "1-R16"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 1,532,715.669 Y = 1,453,438.899  
GROUND TO GRID FACTOR = 0.999664099  
DELTA ALPHA = -00°12'22.46"  
NAVD 1988 ELEVATION = 5291.451

**LEGEND**

- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- - - VACATED EASEMENT LINE
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ⊕ BLOCK DESIGNATION



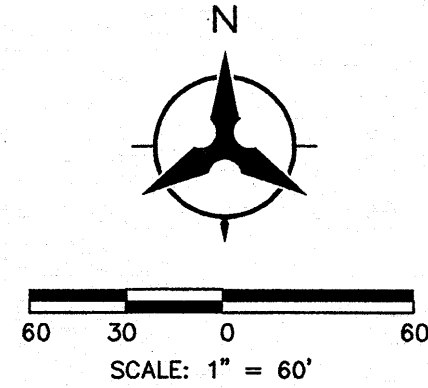
**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

PLAT OF  
**MESA DEL SOL  
 NEIGHBORHOOD  
 MONTAGE UNIT 2**

(A REPLAT OF TRACT A-3, MESA DEL SOL  
 INNOVATION PARK)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2012

**LEGEND**

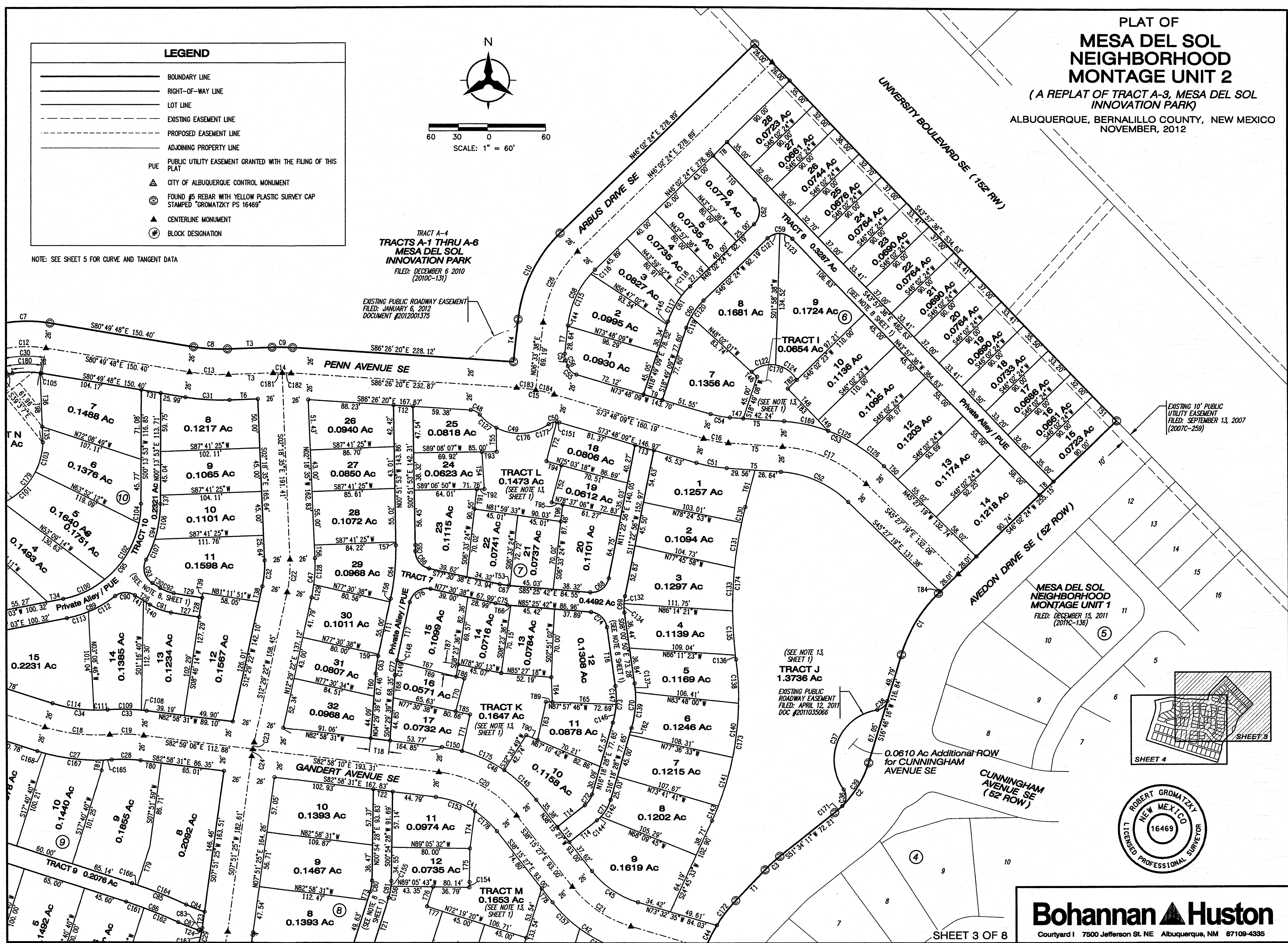
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- - - - EXISTING EASEMENT LINE
- - - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ▲ CENTERLINE MONUMENT
- ⊙ BLOCK DESIGNATION



NOTE: SEE SHEET 5 FOR CURVE AND TANGENT DATA

TRACT A-4  
**TRACTS A-1 THRU A-6**  
**MESA DEL SOL**  
**INNOVATION PARK**  
 FILED: DECEMBER 6 2010  
 (2010C-131)

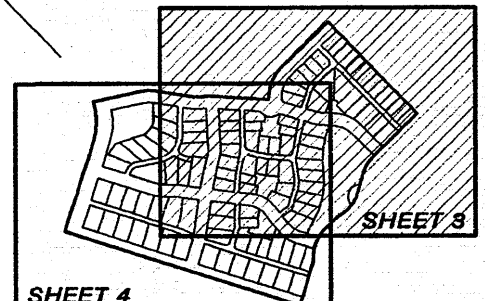
EXISTING PUBLIC ROADWAY EASEMENT  
 FILED: JANUARY 6, 2012  
 DOCUMENT #2012001375



EXISTING 10' PUBLIC  
 UTILITY EASEMENT  
 FILED: SEPTEMBER 13, 2007  
 (2007C-259)

(SEE NOTE 13,  
 SHEET 1)  
**TRACT J**  
**1.3736 Ac**  
 EXISTING PUBLIC  
 ROADWAY EASEMENT  
 FILED: APRIL 12, 2011  
 DOC #2011035066

**MESA DEL SOL  
 NEIGHBORHOOD  
 MONTAGE UNIT 1**  
 FILED: DECEMBER 15, 2011  
 (2011C-136)



**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

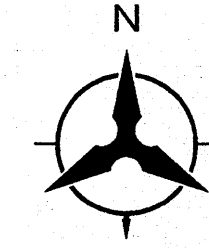
CL 25' PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT GRANTED TO CITY OF ALBUQUERQUE AND ABCWUA WITH THE FILING OF THIS PLAT

CL 20' PUBLIC WATER EASEMENT GRANTED TO CITY OF ALBUQUERQUE AND ABCWUA WITH THE FILING OF THIS PLAT C7

TRACTS A-1 THRU A-6 MESA DEL SOL INNOVATION PARK  
FILED: DECEMBER 6, 2010 (2010C-131)

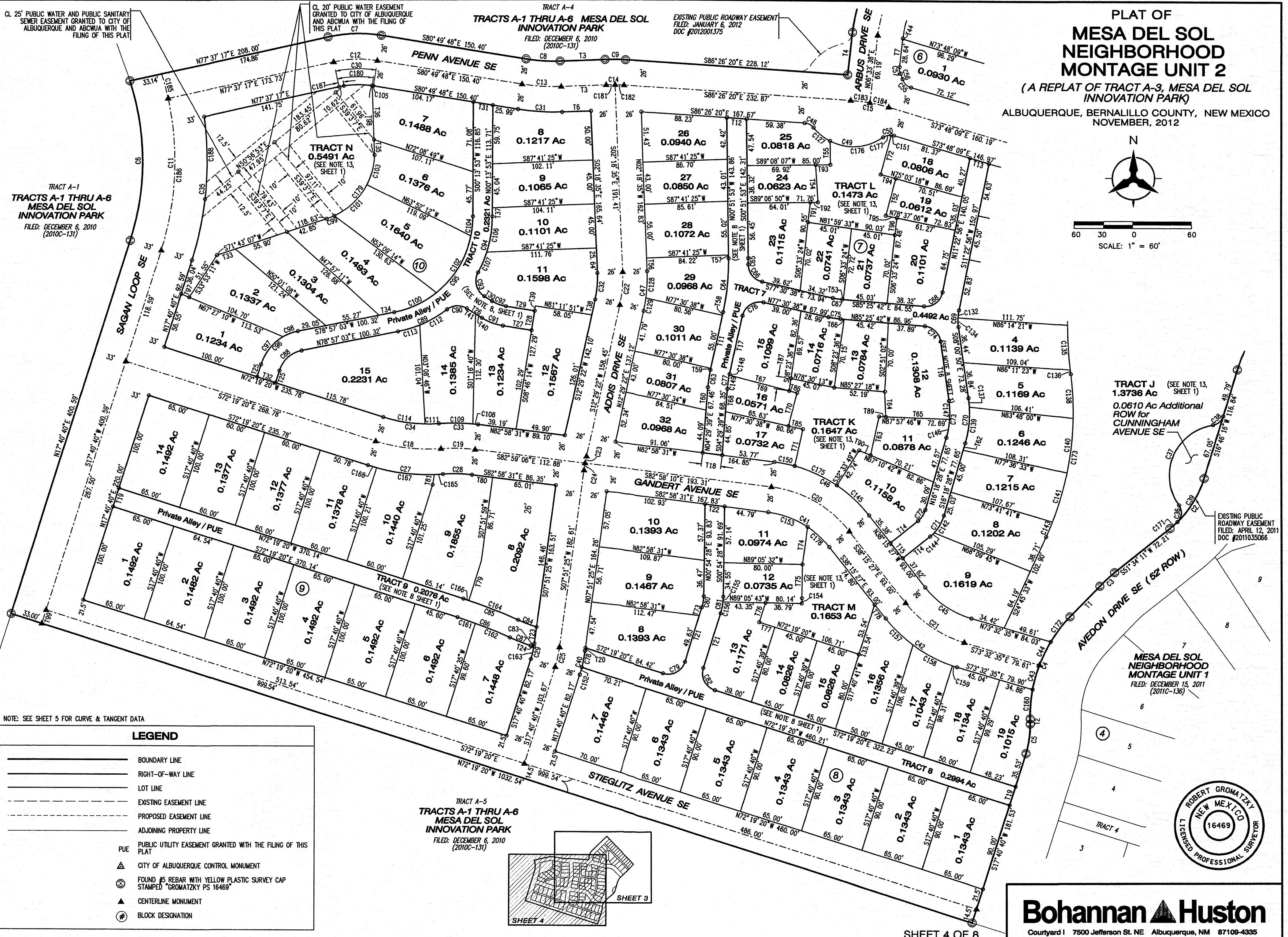
EXISTING PUBLIC ROADWAY EASEMENT FILED: JANUARY 6, 2012 DOC #2012001375

PLAT OF  
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**  
(A REPLAT OF TRACT A-3, MESA DEL SOL INNOVATION PARK)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 2012



60 30 0 60  
SCALE: 1" = 60'

TRACT A-1  
TRACTS A-1 THRU A-6  
MESA DEL SOL INNOVATION PARK  
FILED: DECEMBER 6, 2010 (2010C-131)



TRACT J (SEE NOTE 13, SHEET 1)  
1.3736 Ac  
0.0610 Ac Additional ROW for CUNNINGHAM AVENUE SE

EXISTING PUBLIC ROADWAY EASEMENT FILED: APRIL 12, 2011 DOC #2011035066

MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 1  
FILED: DECEMBER 15, 2011 (2011C-136)

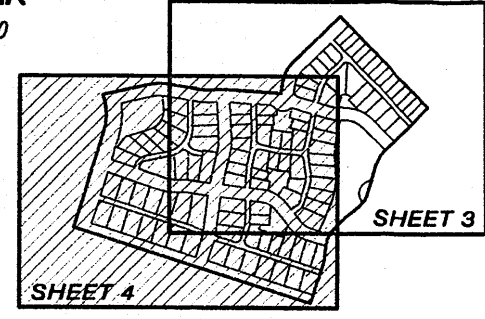


NOTE: SEE SHEET 5 FOR CURVE & TANGENT DATA

**LEGEND**

- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ▲ CENTERLINE MONUMENT
- ⊕ BLOCK DESIGNATION

TRACT A-5  
TRACTS A-1 THRU A-6  
MESA DEL SOL INNOVATION PARK  
FILED: DECEMBER 6, 2010 (2010C-131)



SHEET 4 OF 8

**Bohannon & Huston**  
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335



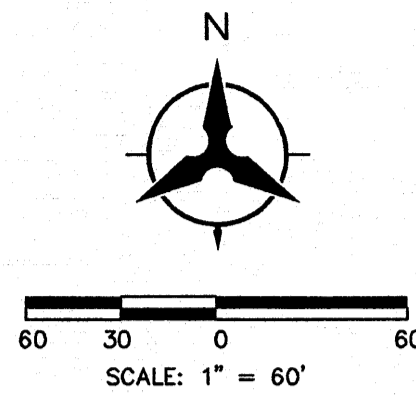
PLAT OF  
**MESA DEL SOL  
 NEIGHBORHOOD  
 MONTAGE UNIT 2**

(A REPLAT OF TRACT A-3, MESA DEL SOL  
 INNOVATION PARK)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2012

**EASEMENT DETAILS**

SEE SHEET 8 FOR EASEMENT CURVE &  
 TANGENT TABLE & TYPICAL PUE DETAIL

LEGEND	
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ADJOINING PROPERTY LINE
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	CENTERLINE MONUMENT
	BLOCK DESIGNATION



NOTE: SEE SHEET 8 FOR CURVE AND TANGENT DATA

TRACT A-4  
**TRACTS A-1 THRU A-6  
 MESA DEL SOL  
 INNOVATION PARK**  
 FILED: DECEMBER 6, 2010  
 (2010C-131)

EXISTING PUBLIC ROADWAY EASEMENT  
 FILED: JANUARY 6, 2012  
 DOCUMENT #2012001375

EXISTING 10' PNM EASEMENT  
 FILED: JULY 22, 1954  
 (BK D285, PG 517) DOCUMENT NO. 28421  
 MODIFIED BY QUITCLAIM DEED AND ASSIGNMENT  
 FILED: FEBRUARY 8, 1955 (BK D305, PG 307)  
 DOCUMENT NO. 48709

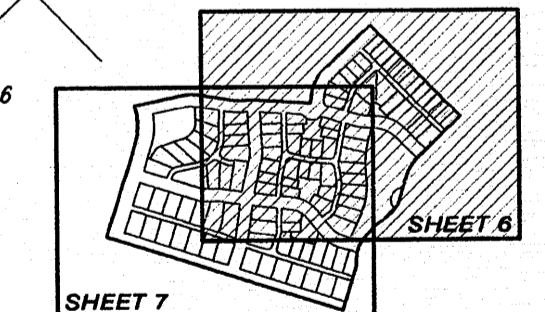
EXISTING 10' PUBLIC  
 UTILITY EASEMENT  
 FILED: SEPTEMBER 13, 2007  
 (2007C-259)

**MESA DEL SOL  
 NEIGHBORHOOD  
 MONTAGE UNIT 1**  
 FILED: DECEMBER 15, 2011  
 (2011C-136)

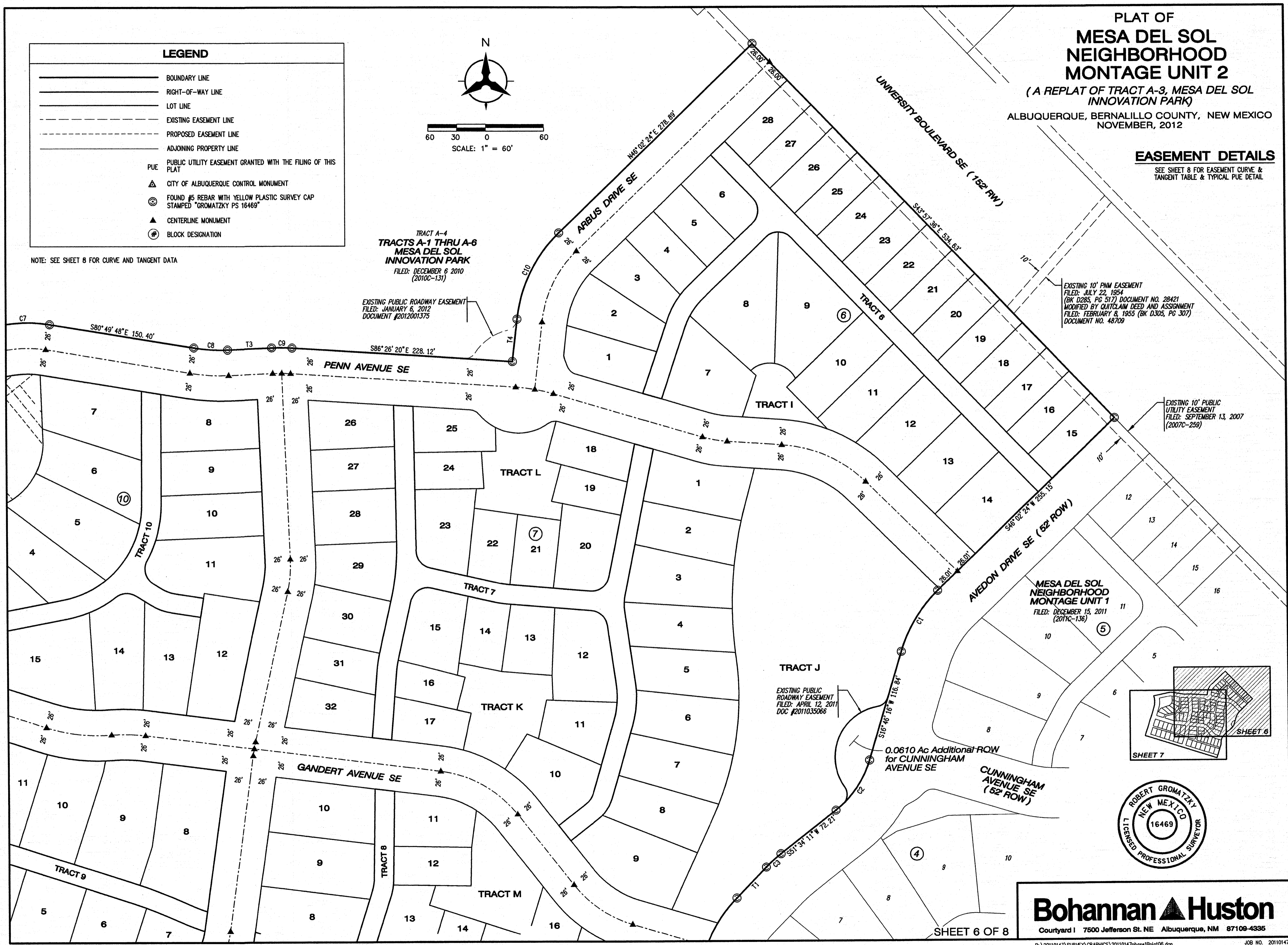
TRACT J  
 EXISTING PUBLIC  
 ROADWAY EASEMENT  
 FILED: APRIL 12, 2011  
 DOC #2011035066

0.0610 Ac Additional ROW  
 for CUNNINGHAM  
 AVENUE SE

CUNNINGHAM  
 AVENUE SE  
 (62' ROW)



**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

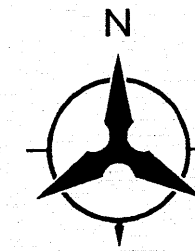


**EASEMENT DETAILS**

SEE SHEET 8 FOR EASEMENT CURVE & TANGENT TABLE & TYPICAL PUE DETAIL

**PLAT OF MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

(A REPLAT OF TRACT A-3, MESA DEL SOL INNOVATION PARK)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 2012



60 30 0 60  
SCALE: 1" = 60'

TRACT A-1  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-4  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

EXISTING PUBLIC ROADWAY EASEMENT  
FILED: JANUARY 6, 2012  
DOC #2012001375

TRACT A-5  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

0.0610 Ac Additional  
ROW for  
CUNNINGHAM  
AVENUE SE

TRACT J

EXISTING PUBLIC  
ROADWAY EASEMENT  
FILED: APRIL 12, 2011  
DOC #2011035066

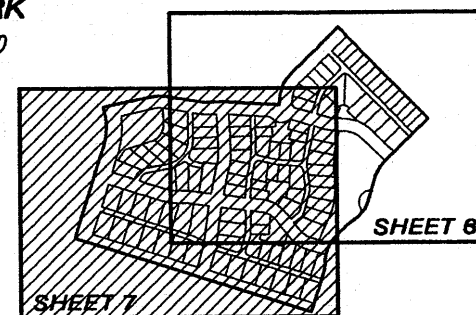
MESA DEL SOL  
NEIGHBORHOOD  
MONTAGE UNIT 1  
FILED: DECEMBER 15, 2011  
(2011C-136)



NOTE: SEE SHEET 5 FOR CURVE & TANGENT DATA

**LEGEND**

- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- PUE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- CENTERLINE MONUMENT
- BLOCK DESIGNATION



SHEET 7 OF 8

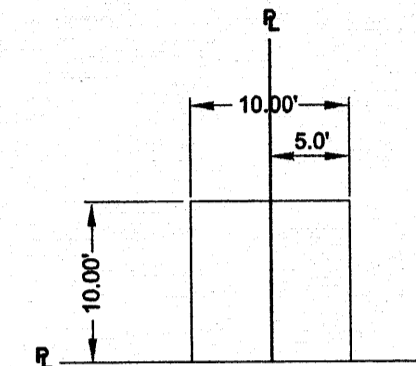
**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

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JOB NO. 20110147



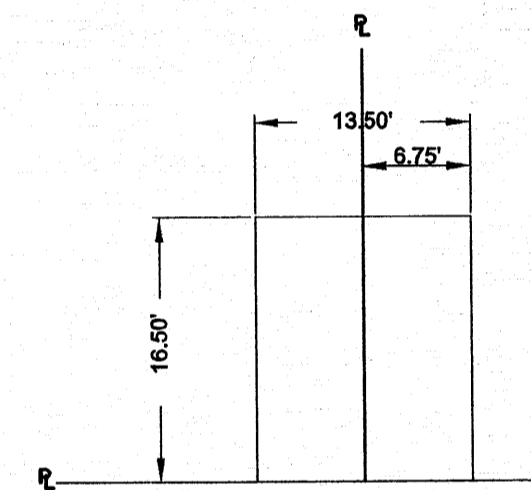
PLAT OF  
**MESA DEL SOL  
 NEIGHBORHOOD  
 MONTAGE UNIT 2**  
 (A REPLAT OF TRACT A-3, MESA DEL SOL  
 INNOVATION PARK)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2012



1. P.U.E. GRANTED FOR THE COMMON AND JOINT USE BY ELECTRIC, GAS AND TELECOM PROVIDERS.
2. THIS DETAIL IS PROVIDED TO ILLUSTRATE TYPICAL P.U.E. GEOMETRY. SEE SHEETS 6 & 7 FOR THE ACTUAL DIMENSIONS AND LOCATIONS GRANTED BY THIS PLAT.

**ALLEY**  
 (20' PRIVATE ACCESS & DRAINAGE, AND P.U.E.)

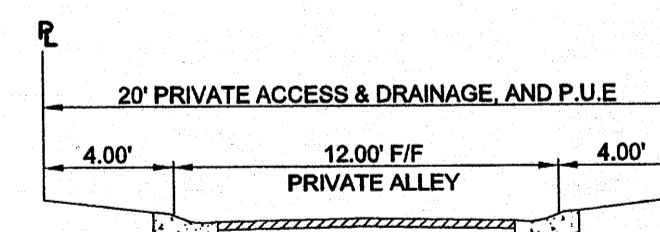
**TYPICAL 10.0' X 10.0' P.U.E.** (A)  
 NOT TO SCALE



1. P.U.E. GRANTED FOR THE COMMON AND JOINT USE BY ELECTRIC, GAS AND TELECOM PROVIDERS.
2. THIS P.U.E. IS SIZED TO ACCOMMODATE ELECTRIC TRANSFORMERS IN ACCORDANCE WITH WORKING SPACE CRITERIA OUTLINED IN PNM ELECTRIC SERVICE GUIDE 2011.
3. THIS DETAIL IS PROVIDED TO ILLUSTRATE TYPICAL P.U.E. GEOMETRY. SEE SHEETS 6 & 7 FOR THE ACTUAL DIMENSIONS AND LOCATIONS GRANTED BY THIS PLAT.

**ALLEY**  
 (20' PRIVATE ACCESS & DRAINAGE, AND P.U.E.)

**TYPICAL 13.5' X 16.5' P.U.E.** (B)  
 NOT TO SCALE

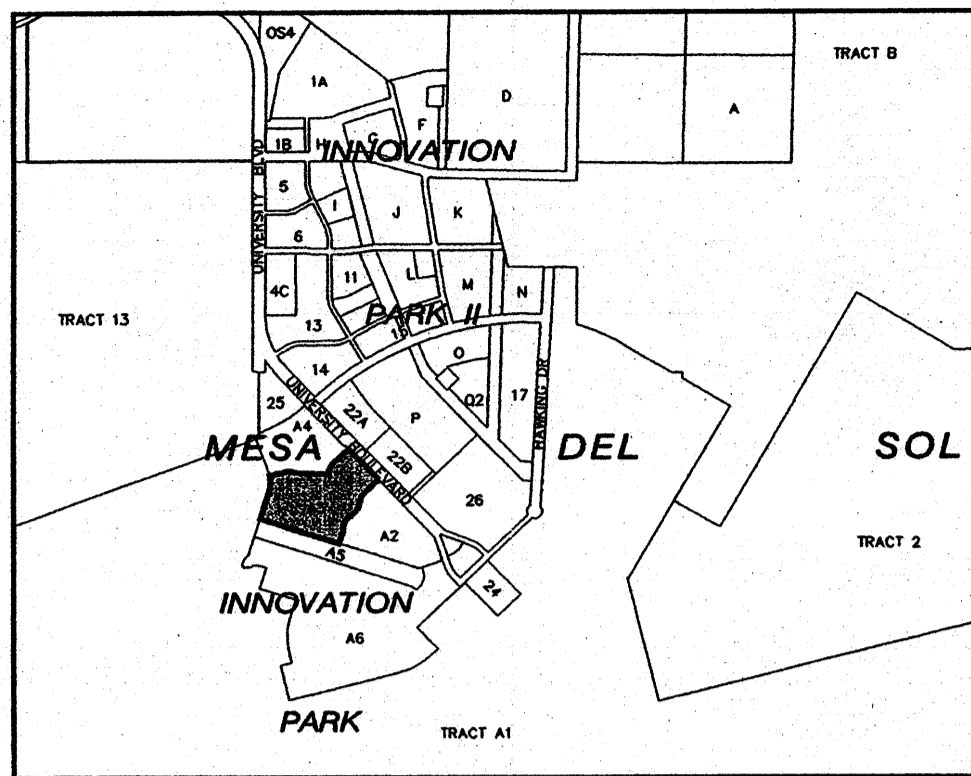


1. BLANKET PRIVATE ACCESS, DRAINAGE, AND PUBLIC UTILITY EASEMENTS ARE GRANTED PER NOTE 8, SHEET 1 OF THIS PLAT. PLEASE SEE SHEETS 3 AND 4 FOR THE ACTUAL DIMENSIONS AND LOCATION OF THE ALLEY TRACTS AND EASEMENTS.
2. CURB AND GUTTER INFORMATION SHOWN ON THIS DETAIL IS FOR INFORMATION ONLY AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION OF ANY IMPROVEMENTS. THIS DETAIL IS SHOWN FOR THE PURPOSE OF OBTAINING PUBLIC UTILITY COMPANY APPROVALS.

**TYPICAL ALLEY/ P.U.E. SECTION** (C)  
 NOT TO SCALE



**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335

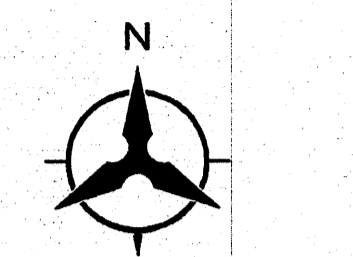


**LOCATION MAP**  
ZONE ATLAS INDEX MAP NOS. R-15 & R-16  
NOT TO SCALE

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEG
C1	29°16'07"	38.12'	74.58'	146.00'	73.77'	S31°24'20"W
C2	34°47'54"	32.59'	63.16'	104.00'	62.20'	S34°10'13"W
C3	07°34'04"	10.32'	20.60'	156.00'	20.59'	S47°17'09"W
C4	45°02'48"	60.54'	114.79'	146.00'	111.85'	S21°28'43"W
C5	18°43'21"	15.50'	30.72'	94.00'	30.58'	S08°19'00"W
C6	35°38'41"	85.84'	166.10'	267.00'	163.44'	N00°08'40"W
C7	21°32'55"	27.78'	54.91'	146.00'	54.59'	N88°23'45"E
C8	11°28'48"	17.49'	34.86'	174.00'	34.80'	S86°34'12"E
C9	05°52'15"	10.55'	21.11'	206.00'	21.10'	S89°22'28"E
C10	39°28'47"	52.39'	100.60'	146.00'	98.62'	N26°18'01"E

ID	BEARING	DISTANCE
T1	S44°00'07"W	43.88'
T2	S01°02'40"E	5.47'
T3	N87°41'25"E	45.79'
T4	N06°33'38"E	43.42'

**PRELIMINARY PLAT OF  
MESA DEL SOL  
NEIGHBORHOOD  
MONTAGE UNIT 2**  
(A REPLAT OF TRACT A-3, MESA DEL SOL  
INNOVATION PARK)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2011



SCALE: 1" = 60'



ACS BRASS TABLE STAMPED "1-16"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 1,533,468.792 Y = 1,457,045.094  
GROUND TO GRID FACTOR = 0.999963002  
DELTA ALPHA = -001217.33"  
NAVD 1988 ELEVATION = 5310.390

EXISTING 10' PUBLIC  
UTILITY EASEMENT  
FILED: SEPTEMBER 13, 2007  
(2007C-259)

TRACT A-1  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-4  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-2  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-5  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

**LEGAL DESCRIPTION**  
TRACT A-3 BULK LAND PLAT OF TRACTS A-1 THRU A-6 MESA DEL SOL INNOVATION PARK  
FILED: DECEMBER 6, 2010 IN BOOK 2010C, PAGE 131 AS DOCUMENT #2010123421

- GENERAL NOTES**
- EXISTING ZONING: PC  
PROPOSED DEVELOPMENT: RESIDENTIAL
  - GROSS ACREAGE: 21.8222 Acres  
NET ACREAGE:  
TOTAL NUMBER OF LOTS/TRACTS: 117 LOTS; 11 TRACTS INCLUDING 5 ALLEY TRACTS  
PROPOSED DENSITY:
  - MINIMUM LOT DIMENSIONS: 32x90'
  - ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
  - ALLEYS ARE TO BE PRIVATE AND MAINTAINED BY A HOMEOWNERS ASSOCIATION
  - LOT BUILDING SETBACKS SHALL CONFORM TO LEVEL A AND LEVEL B MASTER PLANS, SEE SUMMARY TABLE, THIS SHEET
  - 0.75 MILE FULL WIDTH STREETS CREATED  
0.19 MILE HALF WIDTH STREET CREATED
  - ALL OF THE PROPERTY SHOWN ON THIS PLAT MAY BE SUBJECT TO A GRANT OF TELECOMMUNICATIONS EASEMENT AND REAL COVENANT FILED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS.
  - ZONE ATLAS NOS. R-15 & R-16

- PARKING REQUIREMENTS**
- OFFSTREET: A MINIMUM OF TWO COVERED PARKING SPACES PER LOT SHALL BE PROVIDED PER THE LEVEL A AND B MASTER PLANS.  
TOTAL MINIMUM NUMBER OF OFFSTREET PARKING SPACES TO BE PROVIDED: 234 SPACES
  - ONSTREET: GUEST PARKING WILL BE ACCOMMODATED BY ONSTREET PARKING AS PER THE LEVEL A AND B MASTER PLANS.  
TOTAL ONSTREET PARKING PROVIDED: 380 SPACES

- ADDITIONAL NOTES**
- ALL ALLEYS ARE PRIVATE AND WILL HAVE A BLANKET PUE, PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENTS.
  - COVENANTS WILL PROHIBIT PARKING IN ALL ALLEYS.

- SURVEY NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (⊙) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY PS 16469".
  - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE POINTS, PTS. ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (⊙) WILL BE MARKED BY A FOUR (4) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 16469".
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

**LEGEND**

- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ▲ CENTERLINE MONUMENT
- ⊙ BLOCK DESIGNATION

**APPROVED**

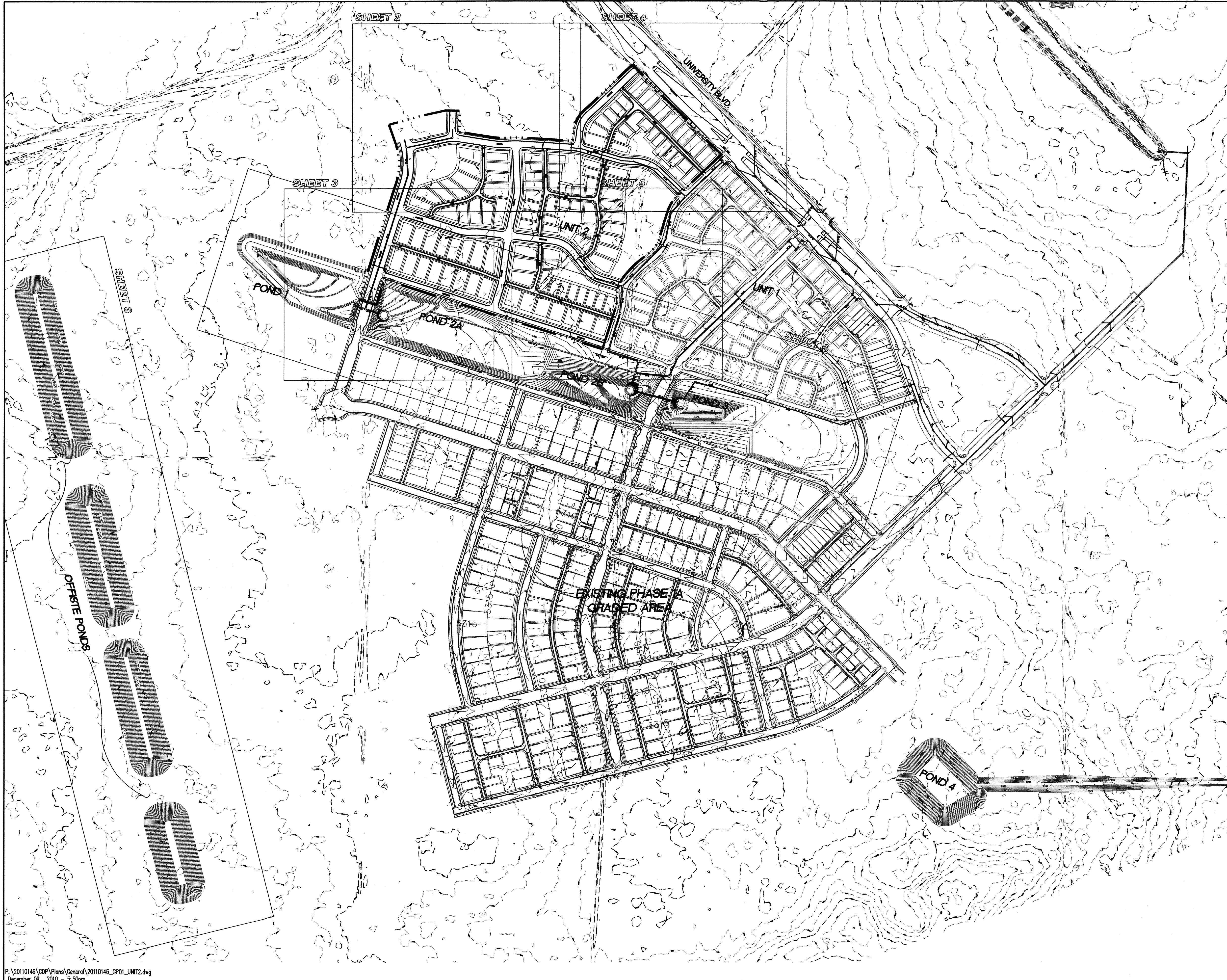
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CITY SURVEYOR

*[Signature]* DATE 1/14  
MICHAEL D. DALY, PRESIDENT  
MESA DEL SOL, LLC

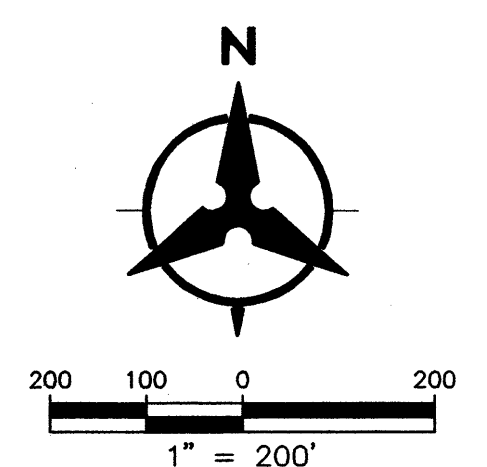
**BUILDING SETBACK SUMMARY**

LOT TYPE	BLOCK	LOTS	BUILDING SETBACKS			
			FRONT	SIDE	SIDE @ STREET	REAR
C	8	1-7	10'	5'	10'	5'
		9	1-15			
D1	7	1-9	10'	5'	10'	4'
		8	8-10			
		10	1-16			
D2	6	1-6	10'	5'	10'	4'
		7	25-33			
		8	11-20			
E1	6	7-18	10'	5'	10'	4'
		7	19-25			
SP	6	19-32	10'	0' (ONE SIDE SIDE)	10'	4'

**Bohannon & Huston**  
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY GEO-TEST, INC. DATED 9-29-10
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- ▲ (91.62) FUTURE SPOT ELEVATION
  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
  - EXISTING CURB & GUTTER
  - === PROPOSED MOUNTABLE CURB & GUTTER
  - ==== PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATLIE GUARD INLET
  - ↑ WALL DRAIN
  - GRADING PHASE BOUNDARY
- ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**DRAFT OVERALL GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	R-15,16 S-15,18	1	7

AS-BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
REVISION BY	DATE
DRAWINGS BY	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	

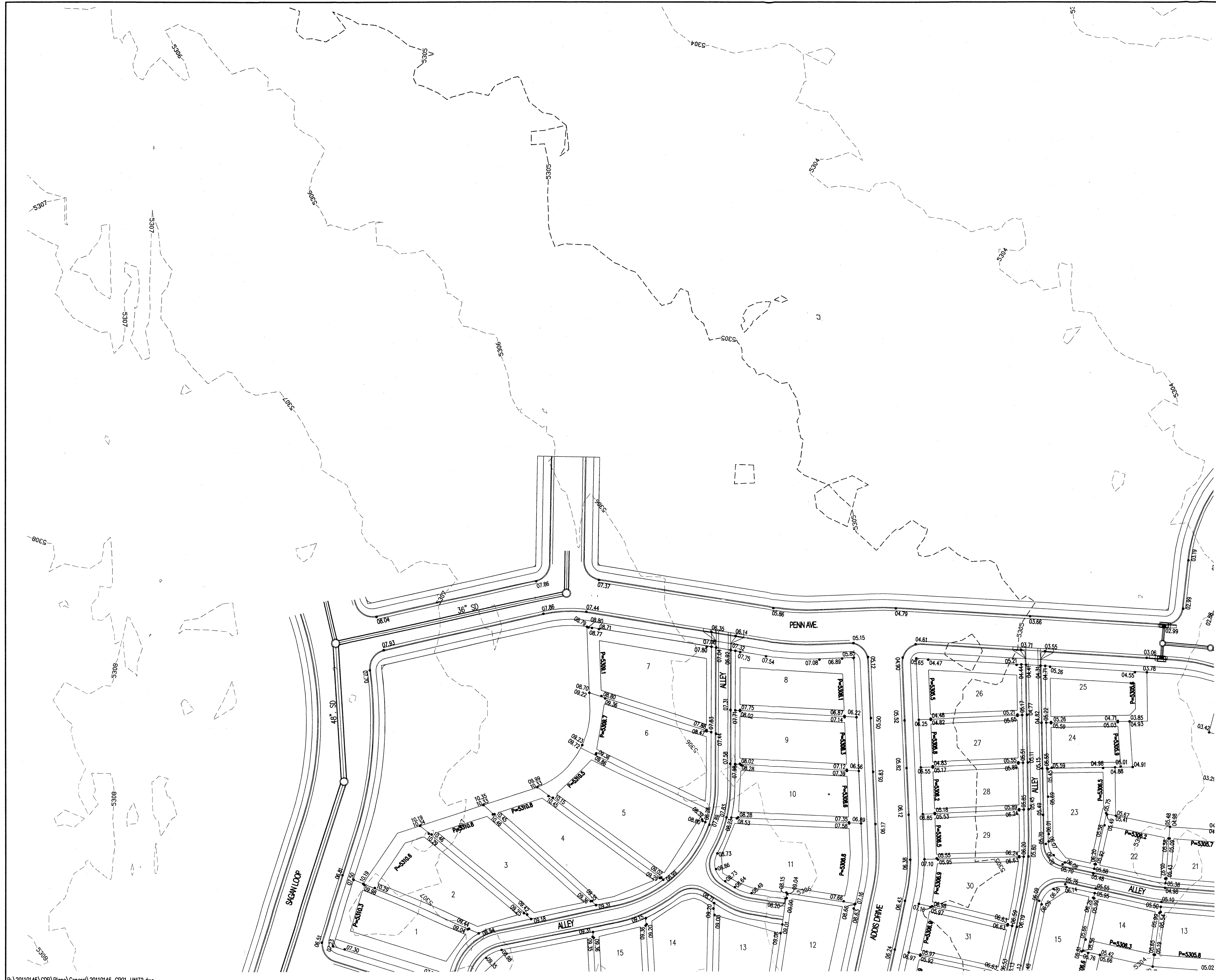
  

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FIELD NOTES	NO.
DATE	
BY	

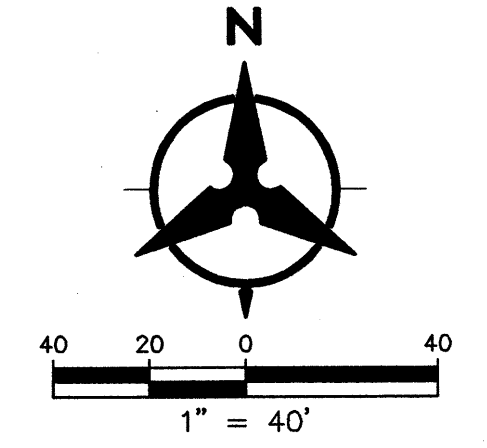
  

ENGINEER'S SEAL	
REMARKS	By
REVISIONS	
DESIGN	
Designed By: GJS	DATE: 12/20/10
Drawn By: ARR	DATE: 12/20/10
Checked By: GJS	DATE: 12/20/10

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- GENERAL NOTES**
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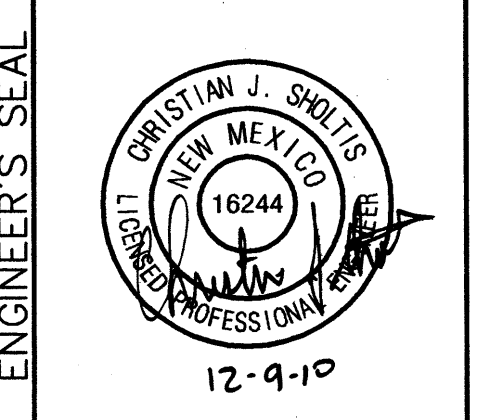


- LEGEND**
- ▲ (91.62) FUTURE SPOT ELEVATION
  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
  - EXISTING CURB & GUTTER
  - === PROPOSED MOUNTABLE CURB & GUTTER
  - ==== PROPOSED STANDARD CURB & GUTTER
  - 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATTLE GUARD INLET
  - WALL DRAIN
  - GRADING PHASE BOUNDARY
- ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKS BY	DATE
INSPECTORS	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWN BY	DATE
RECORDED BY	DATE
MICROFILM INFORMATION	
NO.	DATE

BENCH MARKS	
CONTRACTOR	DATE
WORKS BY	DATE
INSPECTORS	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWN BY	DATE
RECORDED BY	DATE
MICROFILM INFORMATION	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY



ENGINEER'S SEAL	
NO.	DATE
REVISIONS	DATE
DESIGN	DATE
By	DATE
Drawn By: CJS	DATE: 12/2010
Checked By: ARR	DATE: 12/2010

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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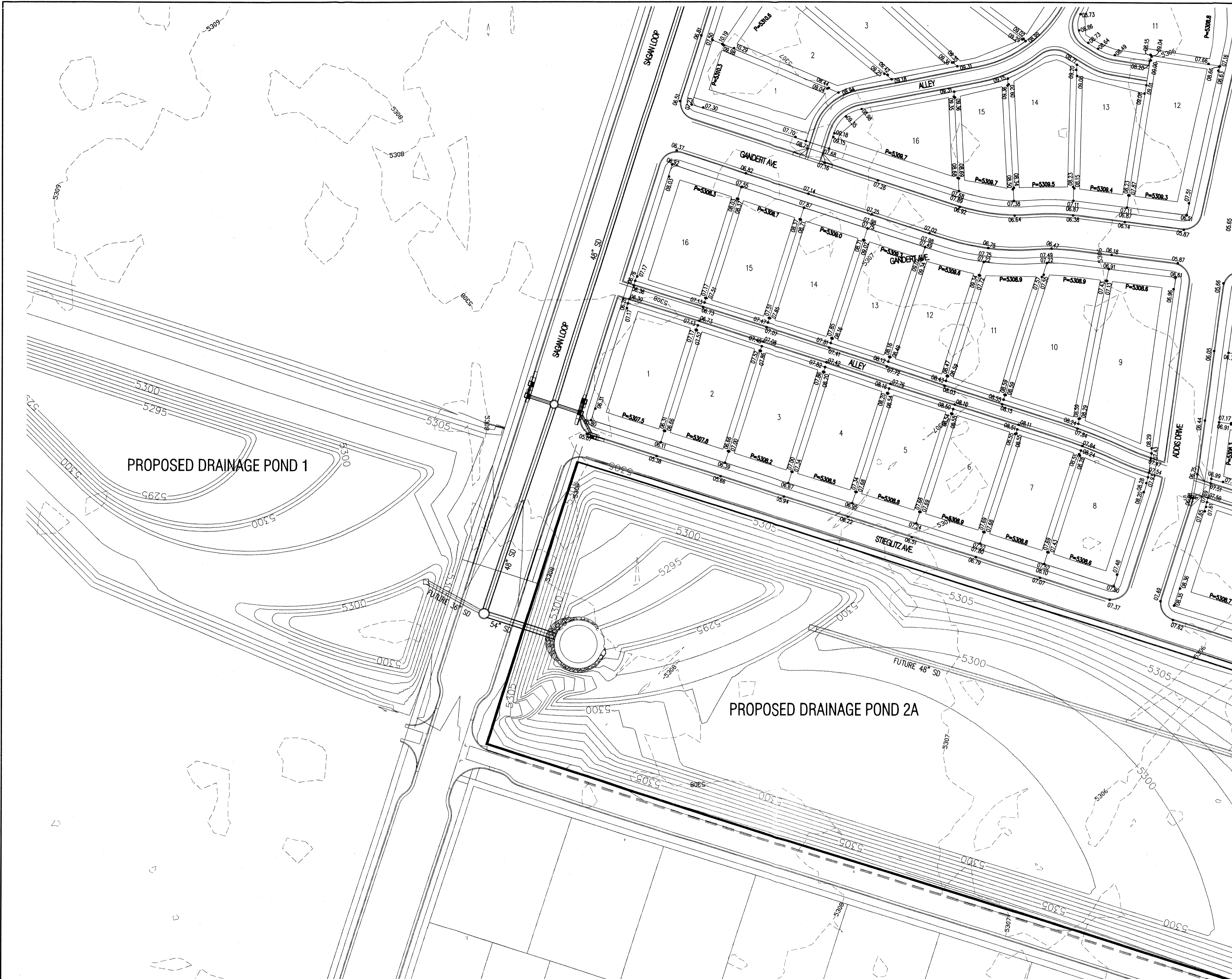
**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**DRAFT GRADING AND EROSION CONTROL PLAN**

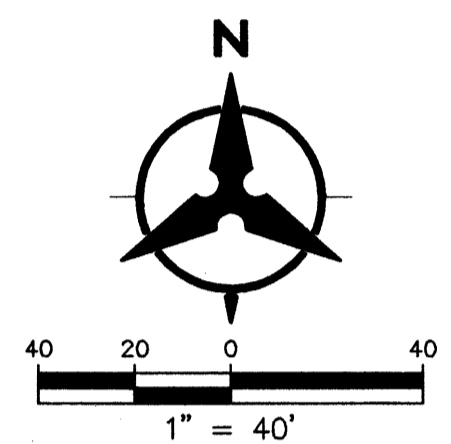
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet **2** Of **7**  
 R-15,16 S-15,16

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- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
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  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATTLE GUARD INLET
  - ↑ WALL DRAIN
  - GRADING PHASE BOUNDARY

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**DRAFT GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **R-15,16 S-15,16** Sheet **3** Of **7**

AS-BUILT INFORMATION	
CONTRACTOR	DATE
STAMPED BY	DATE
SUPERVISOR'S FIELD VERIFICATION BY	DATE
COMMENTS BY	DATE
APPROVED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
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GEOGRAPHIC POSITION (NAD 83)	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
X = 1,532,715.669 Y = 1,453,438.899	
GROUND-TO-GRID FACTOR = 0.999664099	
Ad = -001222.46"	
NAD 1988 ELEVATION = 5291.451	

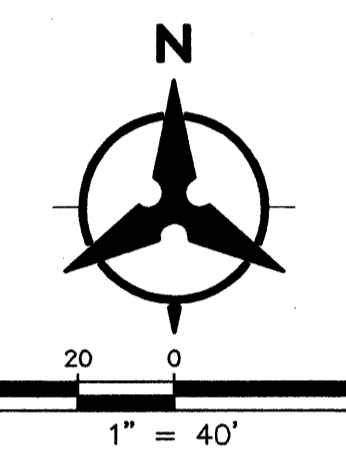
ENGINEER'S SEAL	
By	DATE
REVISIONS	
DESIGN	
Designed By: CJS	DATE: 12/2010
Drawn By: ARR	DATE: 12/2010
Checked By: CJS	DATE: 12/2010

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**GENERAL NOTES**

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  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
  - EXISTING CURB & GUTTER
  - == PROPOSED MOUNTABLE CURB & GUTTER
  - == PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATTLE GUARD INLET
  - WALL DRAIN
  - GRADING PHASE BOUNDARY
- ROUGH GRADING (±0.5')
- APPROVED FOR ROUGH GRADING DATE

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ARCHITECTURE .LOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**DRAFT GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
	R-15,16 S-15,18	4	7

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

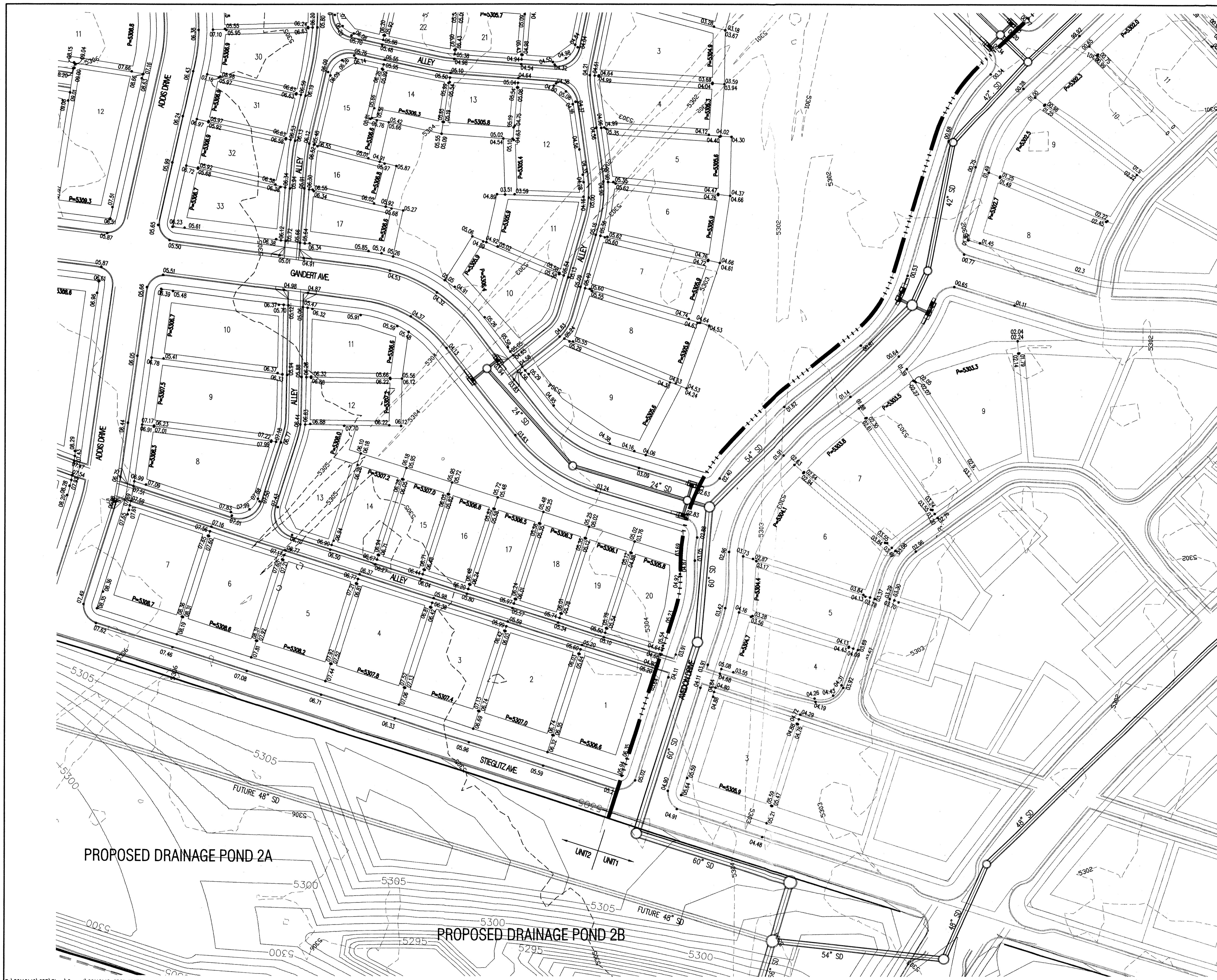
BENCH MARKS	
MARK	DESCRIPTION
1	ACS BRASS TABLE STAMPED "1" - R16, 1984"
2	GEOGRAPHIC POSITION (NAD 83)
3	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
4	X = 1,532,715.669 Y = 1,453,438.899
5	GROUND-TO-GRID FACTOR = 0.999664099
6	RECORDED BY
7	NO.

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

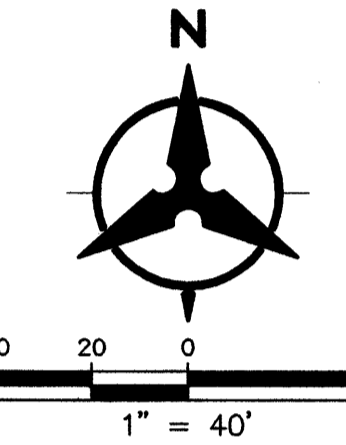
**ENGINEER'S SEAL**

REMARKS	
No.	Date
1	By
2	DESIGN
3	DATE: 12/20/10
4	DATE: 12/20/10
5	DATE: 12/20/10

P:\20110146\CDP\Plans\General\20110146\_CP01\_UNIT2.dwg  
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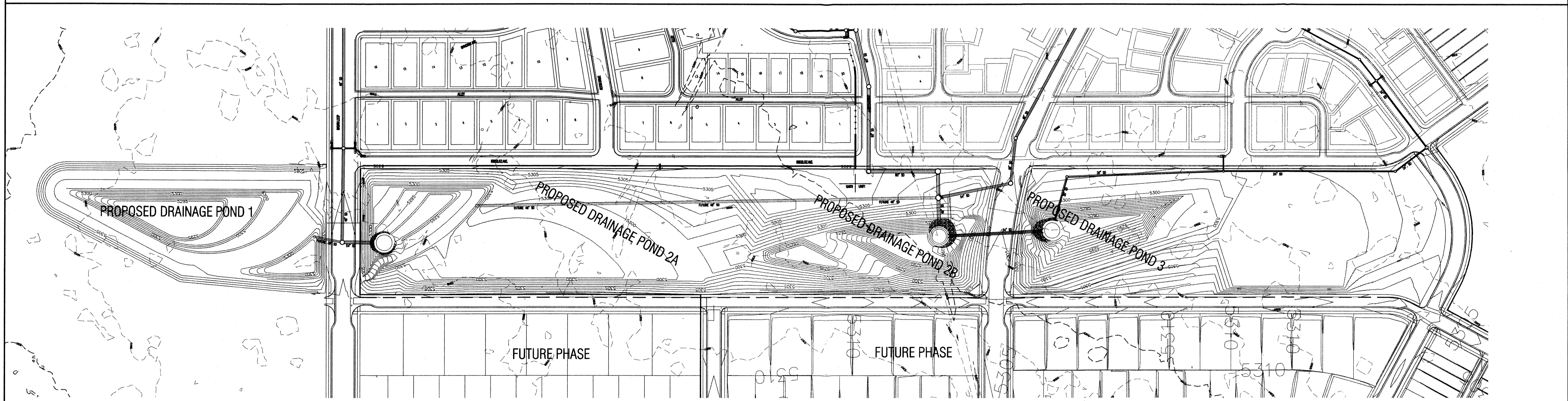
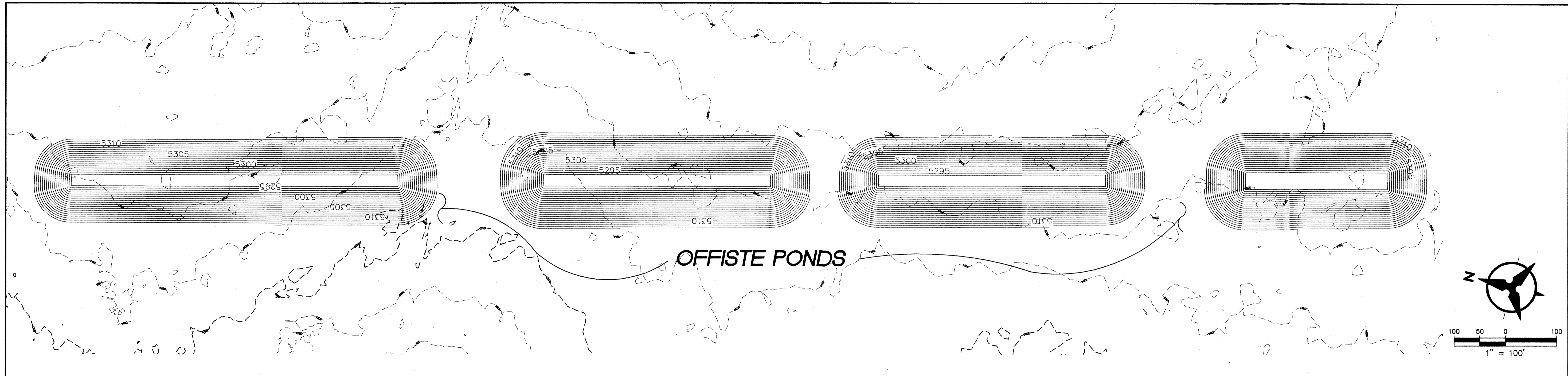
- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY GEO-TEST, INC. DATED 9-29-10
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND PROTECTED AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
  - EXISTING CURB & GUTTER
  - PROPOSED MOUNTABLE CURB & GUTTER
  - PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATTLE GUARD INLET
  - WALL DRAIN
  - GRADING PHASE BOUNDARY
- ROUGH GRADING (±0.5')  
APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE
ACS BRASS TABLET STAMPED "1_R16, 1984"							
GEOGRAPHIC POSITION (NAD 83)							
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)							
X = 1,552,715.669 Y = 1,453,438.899							
GROUND-TO-GRID FACTOR = 0.999664099							
Δδ = -00'12"22.46"							
NAVD 1988 ELEVATION = 5291.451							
REVISIONS		REMARKS		By		No. Date	
DESIGN							
DATE: 12/20/10							
DRAWN BY: AJR							
DATE: 12/20/10							
CHECKED BY: CJS							
DATE: 12/20/10							
<p><b>Bohannon &amp; Huston</b>            Engineering &amp; Spatial Data &amp; Advanced Technologies            Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335</p>							
<p><b>CITY OF ALBUQUERQUE</b>            PUBLIC WORKS DEPARTMENT            MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2</p>							
<p><b>DRAFT GRADING AND EROSION CONTROL PLAN</b></p>							
Design Review Committee		City Engineer Approval		Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.		Zone Map No.		Sheet		Of	
		R-15,16 S-15,16		5		7	

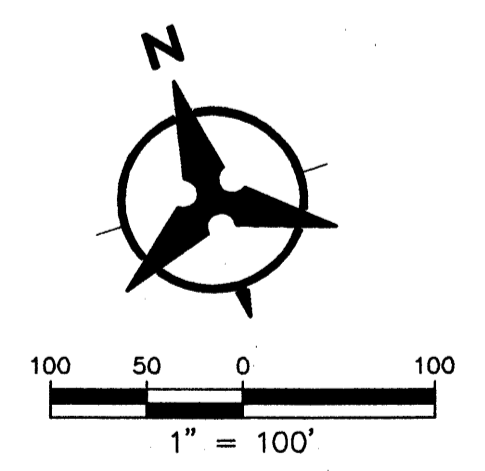
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December 09, 2010 - 5:36pm



**LEGEND**

- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- ===== EXISTING CURB & GUTTER
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5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



ROUGH GRADING

APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
STAMPED BY	DATE
REGISTERED BY	DATE
FIELD VERIFICATION BY	DATE
CORRECTED BY	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
No.	
BENCH MARKS	
ACS BRASS TABLET STAMPED "1_R16_1984"	DATE
GEOGRAPHIC POSITION (NAD 83)	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE
X = 1,532,715.669 Y = 1,453,438.899	DATE
GROUND-TO-GRID FACTOR = 0.999664099	DATE
ΔR = -00'12.22".46"	DATE
N.A.D. 1988 ELEVATION = 5291.451	DATE
No.	
SURVEY INFORMATION	
NO.	DATE
BY	
ENGINEER'S SEAL	
DESIGNED BY: CJS	DATE: 12/2010
DRAWN BY: ARR	DATE: 12/2010
CHECKED BY: CJS	DATE: 12/2010
REVISIONS	
No.	Date
By	



**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

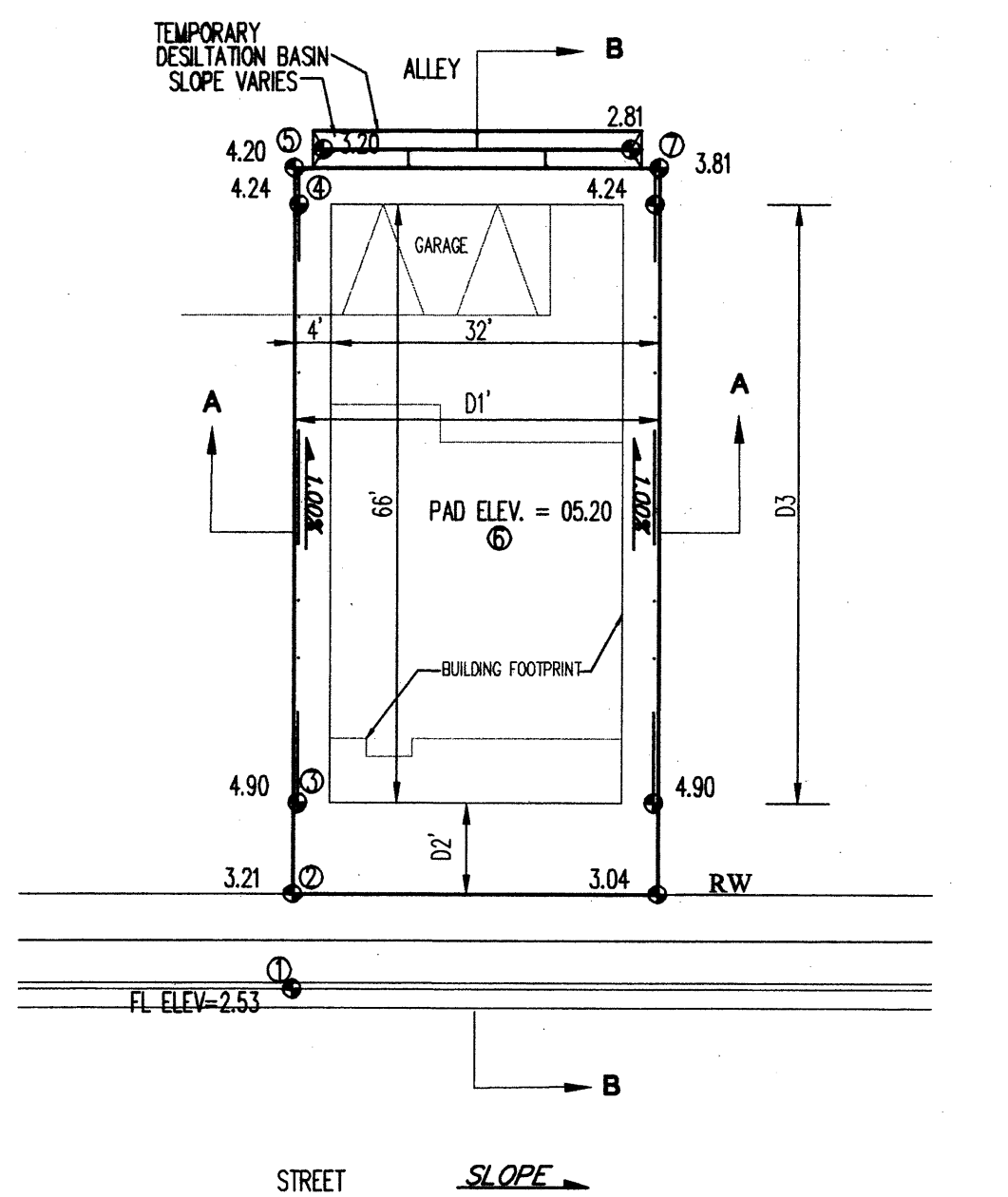
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**DRAFT GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **R-15,16 S-15,16** Sheet **6** Of **7**

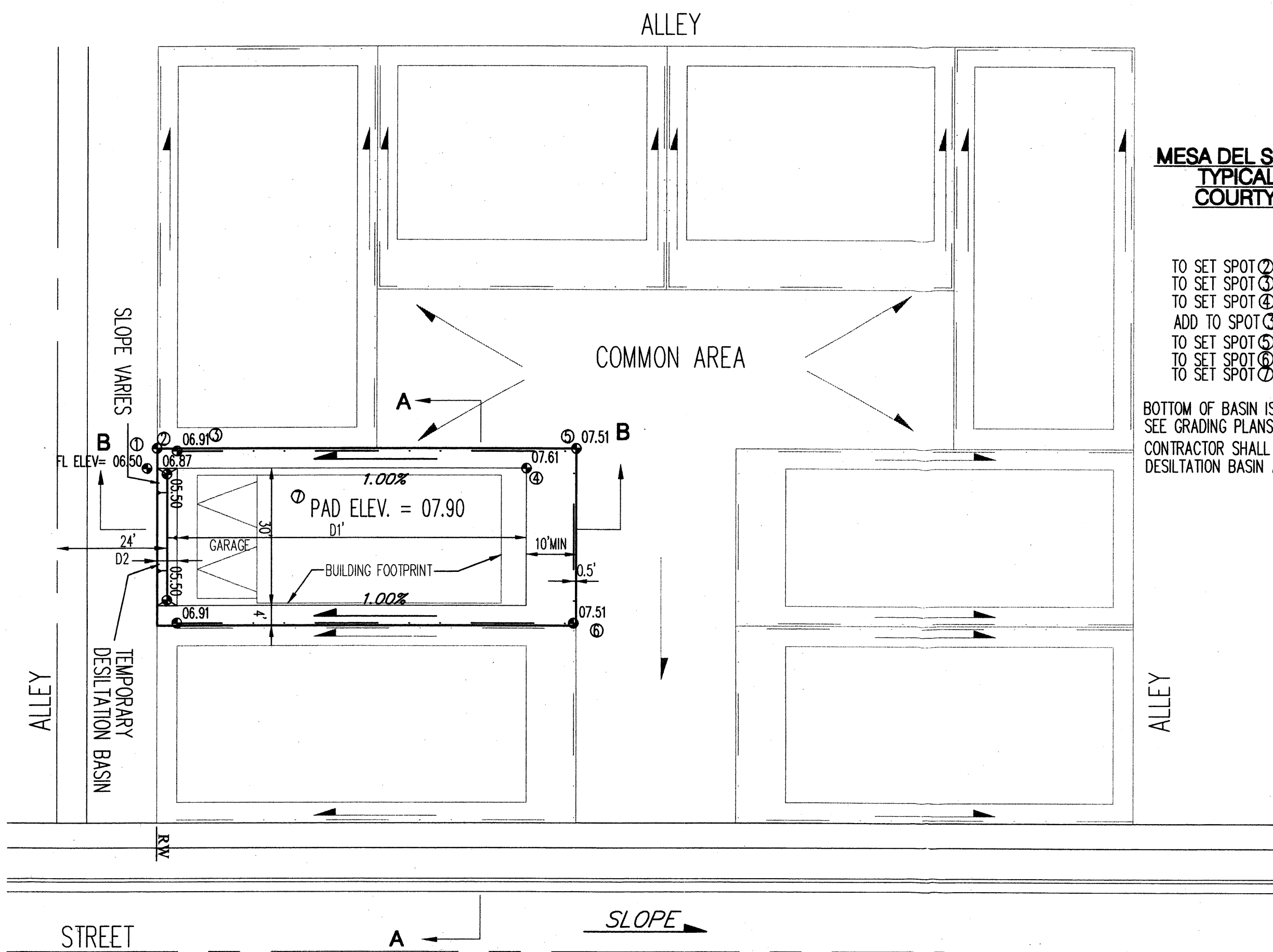




**MESA DEL SOL MONTAGE UNIT 1 & 2  
TYPICAL LOT GRADE DETAIL  
STREET PRODUCT TYPE W/ALLEY**  
SCALE: 1"=20'

- TO SET SPOT ② - ADD 0.68' TO SPOT ①
- TO SET SPOT ③ - MULTIPLY D3 BY 1.00% AND ADD TO SPOT ②
- TO SET SPOT ④ - ADD 1.03' TO SPOT ②
- TO SET SPOT ⑤ - SUBTRACT .04 FROM SPOT ④
- TO SET SPOT ⑥ - ADD 0.3' TO SPOT ②
- TO SET SPOT ⑦ - MULTIPLY D1 BY 1.00% AND SUBTRACT FROM SPOT ②

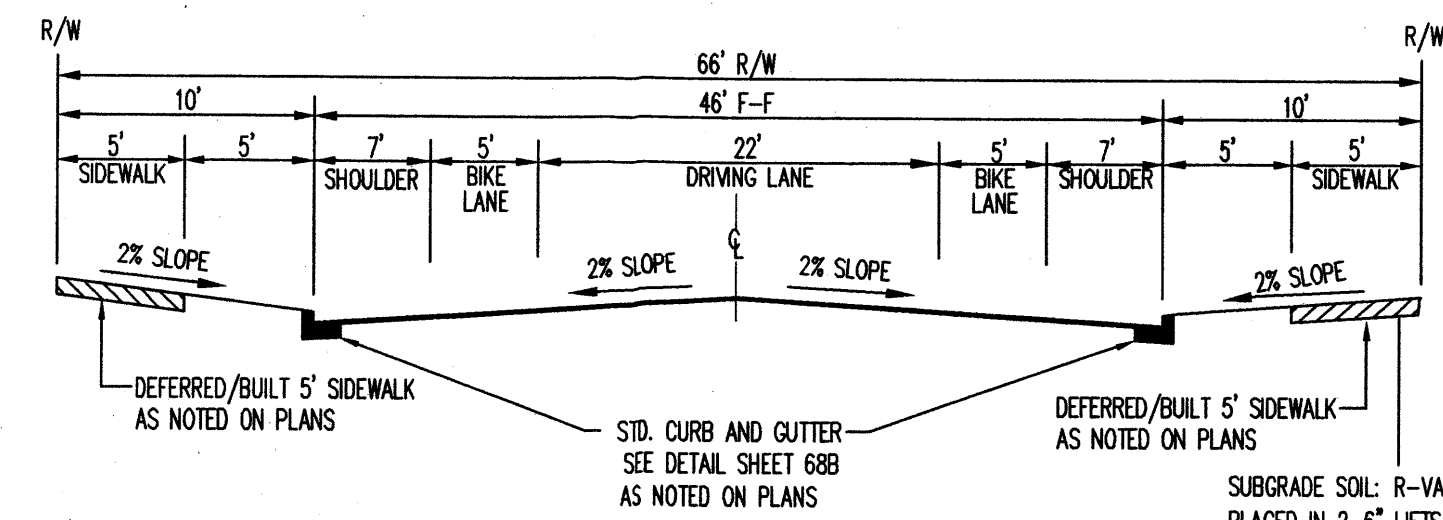
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.  
SEE GRADING PLANS FOR EXACT ELEVATIONS.  
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH BUILDING.



**MESA DEL SOL MONTAGE UNIT 1 & 2  
TYPICAL LOT GRADE DETAIL  
COURTYARD PRODUCT TYPE**  
SCALE: 1"=20'

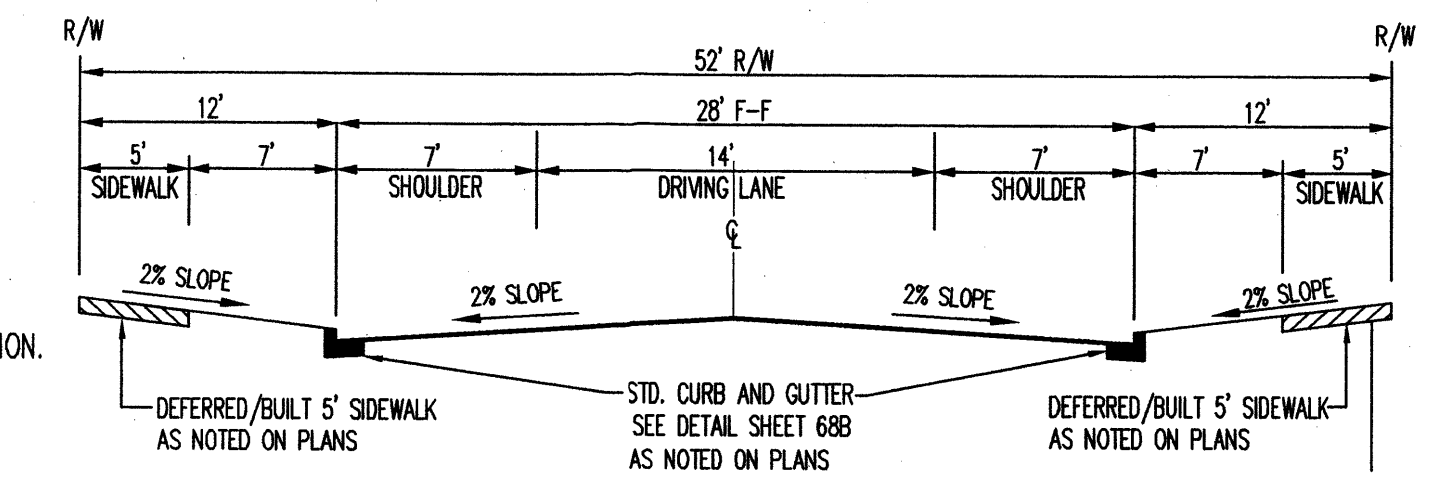
- TO SET SPOT ② - ADD 0.37' TO SPOT ①
- TO SET SPOT ③ - ADD 0.04' TO SPOT ②
- TO SET SPOT ④ - MULTIPLY D1 BY 1.00% AND ADD TO SPOT ②
- TO SET SPOT ⑤ - SUBTRACT 0.1' FROM SPOT ④
- TO SET SPOT ⑥ - MATCH SPOT ④
- TO SET SPOT ⑦ - ADD 0.3' TO SPOT ②

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.  
SEE GRADING PLANS FOR EXACT ELEVATIONS.  
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH BUILDING.



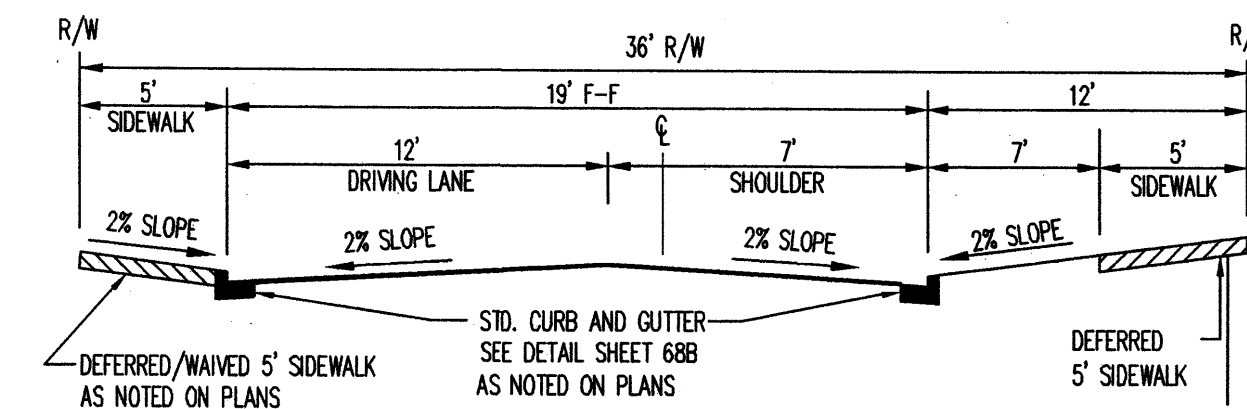
**RESIDENTIAL PARKWAY CONNECTOR - 66' ROW**  
NOT TO SCALE

SUBGRADE SOIL: R-VALUE>50.  
PLACED IN 2-6" LIFTS.  
95% MIN. COMPACTION, PER ASTM D-1557  
AT OPT. MOISTURE ±2%



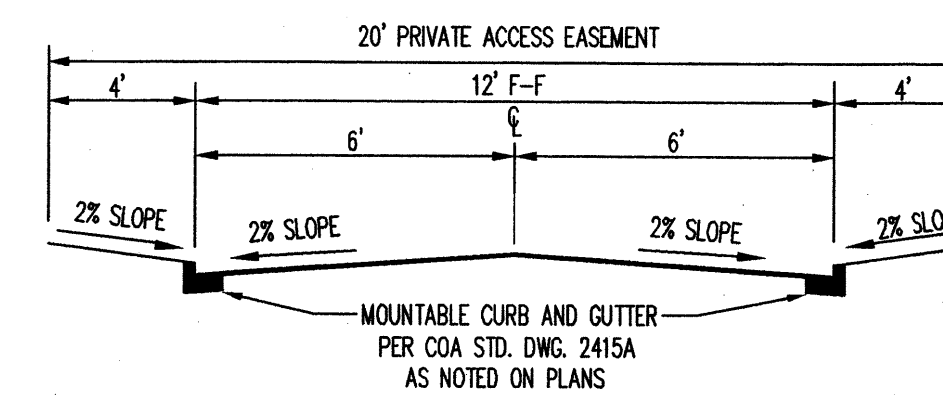
**RESIDENTIAL LOCAL STREET - 52' ROW**  
NOT TO SCALE

SUBGRADE SOIL: R-VALUE>50.  
PLACED IN 2-6" LIFTS.  
95% MIN. COMPACTION, PER ASTM D-1557  
AT OPT. MOISTURE ±2%

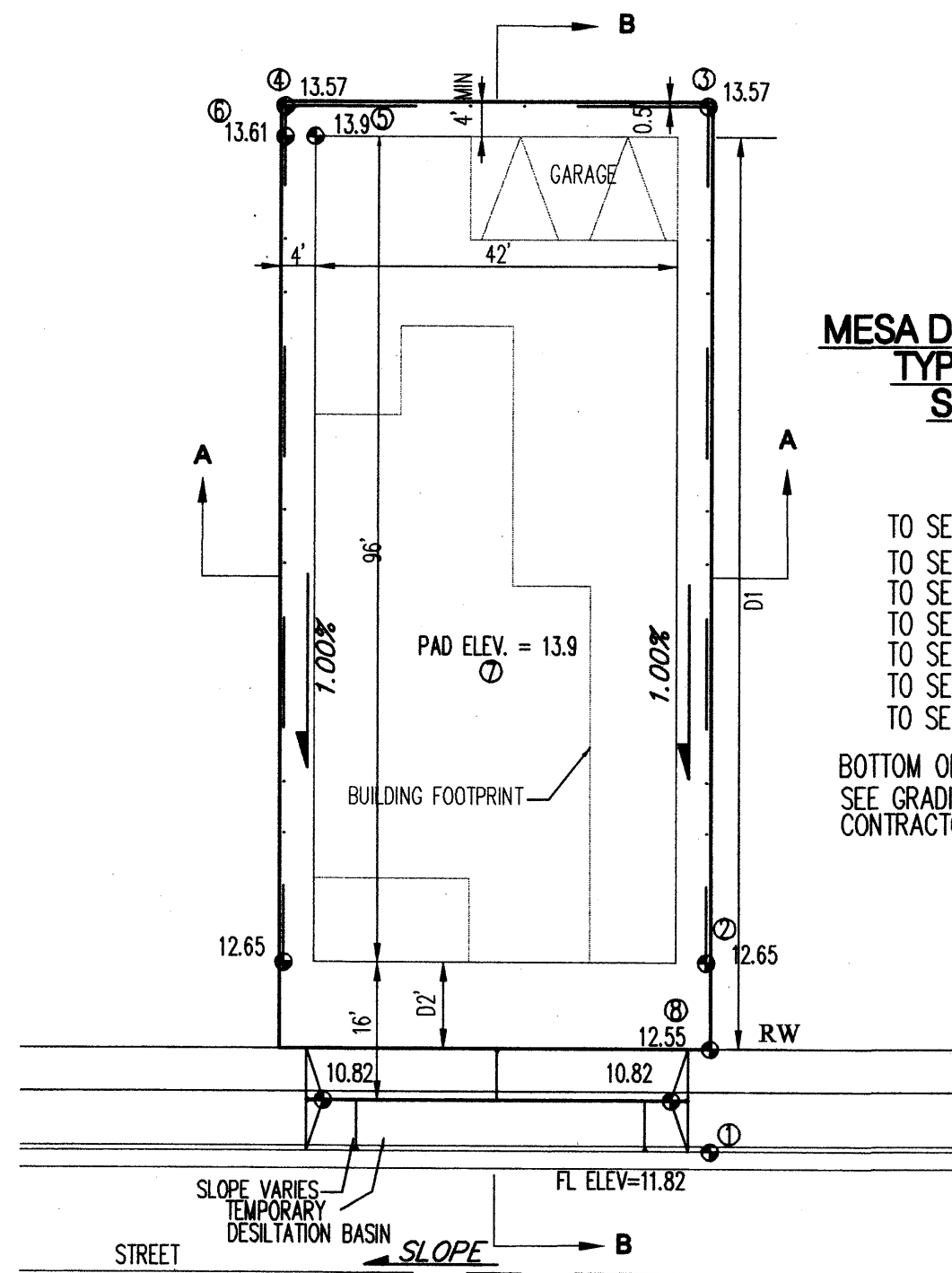


**RESIDENTIAL LOCAL ONE-WAY  
WITH PARK FRONTAGE - 36' ROW**  
NOT TO SCALE

SUBGRADE SOIL: R-VALUE>50.  
PLACED IN 2-6" LIFTS.  
95% MIN. COMPACTION, PER ASTM D-1557  
AT OPT. MOISTURE ±2%



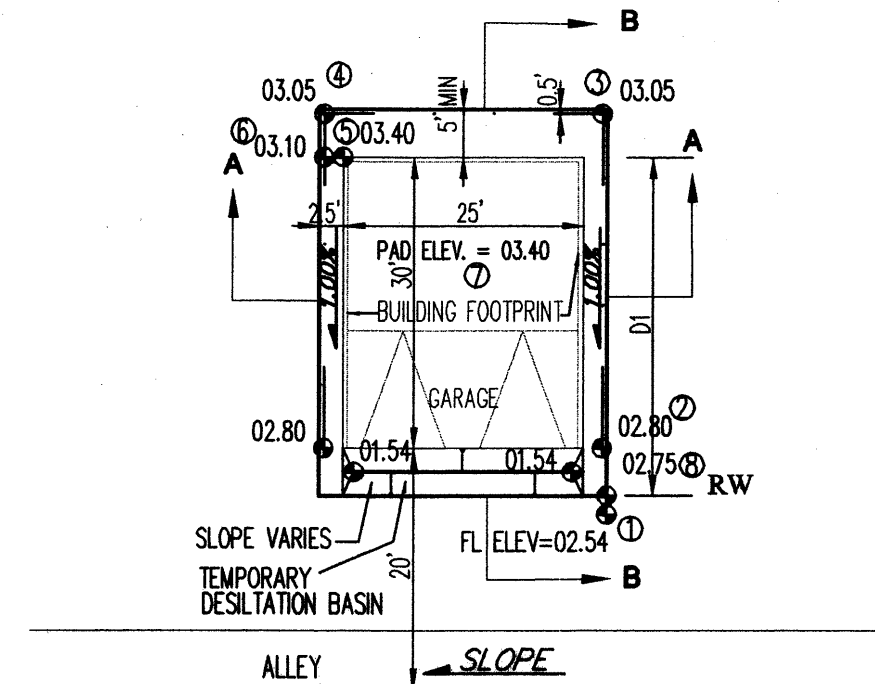
**ALLEY TRACT - 20' PRIVATE ACCESS EASEMENT**  
NOT TO SCALE



**MESA DEL SOL MONTAGE UNIT 1 & 2  
TYPICAL LOT GRADE DETAIL  
STREET PRODUCT TYPE**  
SCALE: 1"=20'

- TO SET SPOT ② - ADD 0.05' TO SPOT ①
- TO SET SPOT ③ - SUBTRACT 0.05' FROM SPOT ②
- TO SET SPOT ④ - SUBTRACT 0.05' FROM SPOT ③
- TO SET SPOT ⑤ - MATCH SPOT ②
- TO SET SPOT ⑥ - MULTIPLY D1 BY 1.00% AND ADD TO SPOT ②
- TO SET SPOT ⑦ - ADD 0.3' TO SPOT ②
- TO SET SPOT ⑧ - MULTIPLY D2 BY 1.00% AND SUBTRACT FROM SPOT ②

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.  
SEE GRADING PLANS FOR EXACT ELEVATIONS.  
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH BUILDING.



**MESA DEL SOL MONTAGE UNIT 1 & 2  
TYPICAL LOT GRADE DETAIL  
COURTYARD W/ ALLEY PRODUCT TYPE**  
SCALE: 1"=20'

- TO SET SPOT ② - ADD 0.05' TO SPOT ①
- TO SET SPOT ③ - SUBTRACT 0.05' FROM SPOT ②
- TO SET SPOT ④ - SUBTRACT 0.05' FROM SPOT ③
- TO SET SPOT ⑤ - MATCH SPOT ②
- TO SET SPOT ⑥ - MULTIPLY D1 BY 1.00% AND ADD TO SPOT ②
- TO SET SPOT ⑦ - ADD 0.3' TO SPOT ②

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.  
SEE GRADING PLANS FOR EXACT ELEVATIONS.  
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH BUILDING.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	REMARKS	REVISIONS
ACCS BRASS TABLET STAMPED "1_R16_1984"							
CONTRACTOR'S ADDRESS BY	DATE						
FIELD NOTES BY	DATE						
REVISIONS BY	DATE						
CORRECTED BY	DATE						
MICROFILM INFORMATION		ENGINEER'S SEAL		DATE: 12/2010		DATE: 12/2010	
NO.	DATE	16244		DATE: 12/2010		DATE: 12/2010	
RECORDED BY		12-9-10		DATE: 12/2010		DATE: 12/2010	
NO.		16244		DATE: 12/2010		DATE: 12/2010	
NO.		16244		DATE: 12/2010		DATE: 12/2010	

**Bohman & Huston**  
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

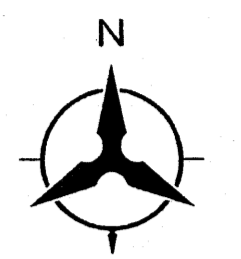
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**GRADING AND EROSION CONTROL PLAN DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	R-15,16 S-15,16	7	7

**PRELIMINARY PLAT OF  
MESA DEL SOL  
NEIGHBORHOOD  
MONTAGE UNIT 2**  
(A REPLAT OF TRACT A-3, MESA DEL SOL  
INNOVATION PARK)

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2012



ACS BRASS TABLE STAMPED "3-016"  
GEOGRAPHIC POSITION (NAD 83)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 1,533,488.782 Y = 1,457,045.094  
GROUND TO GRID FACTOR = 0.999963002  
DELTA ALPHA = -001217.33"  
NAVD 1988 ELEVATION = 5310.350

EXISTING 10' PUBLIC  
UTILITY EASEMENT  
FILED: SEPTEMBER 13, 2007  
(2007-290)

**LEGAL DESCRIPTION**

TRACT "A-3" BULK LAND PLAT OF TRACTS A-1 THRU A-6 MESA DEL SOL INNOVATION PARK  
FILED: DECEMBER 6, 2010 IN BOOK 2010C, PAGE 131 AS DOCUMENT #2010123421

**GENERAL NOTES**

- EXISTING ZONING: PC8  
PROPOSED DEVELOPMENT: RESIDENTIAL
- GROSS ACREAGE: 21.8222 Acres  
NET ACREAGE:  
TOTAL NUMBER OF LOTS/TRACTS: 117 LOTS; 11 TRACTS INCLUDING 5 ALLEY TRACTS  
PROPOSED DENSITY:
- MINIMUM LOT DIMENSIONS: 32x90
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED  
FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- ALLEYS ARE TO BE PRIVATE AND MAINTAINED BY A HOMEOWNERS ASSOCIATION
- LOT BUILDING SETBACKS SHALL CONFORM TO LEVEL A AND LEVEL B MASTER PLANS.  
SEE SUMMARY TABLE, THIS SHEET
- 0.75 MILE FULL WIDTH STREETS CREATED  
0.19 MILE HALF WIDTH STREET CREATED
- ALL OF THE PROPERTY SHOWN ON THIS PLAT MAY BE SUBJECT TO A GRANT OF  
TELECOMMUNICATIONS EASEMENT AND REAL COVENANT FILED IN THE BERNALILLO  
COUNTY, NEW MEXICO REAL ESTATE RECORDS.
- ZONE ATLAS NOS. R-15 & R-16

**PARKING REQUIREMENTS**

- OFFSTREET: A MINIMUM OF TWO COVERED PARKING SPACES PER LOT SHALL BE PROVIDED  
PER THE LEVEL A AND B MASTER PLANS.  
TOTAL MINIMUM NUMBER OF OFFSTREET PARKING SPACES TO BE PROVIDED: 234 SPACES
- ONSTREET: GUEST PARKING WILL BE ACCOMMODATED BY ONSTREET PARKING AS PER  
THE LEVEL A AND B MASTER PLANS.  
TOTAL ONSTREET PARKING PROVIDED: 380 SPACES

**ADDITIONAL NOTES**

- ALL ALLEYS ARE PRIVATE AND WILL HAVE A BLANKET PUE, PRIVATE ACCESS AND  
PRIVATE DRAINAGE EASEMENTS.
- COVENANTS WILL PROHIBIT PARKING IN ALL ALLEYS.
- TRACTS I THRU N ARE PRIVATE COMMON AREA TRACTS TO BE OWNED AND  
MAINTAINED BY THE HOMEOWNERS ASSOCIATION, AND ARE ENCOMBERED BY A  
BLANKET PRIVATE DRAINAGE, WATER AND SANITARY SEWER EASEMENT FOR THE  
BENEFIT OF ADJOINING LOTS.

**SURVEY NOTES**

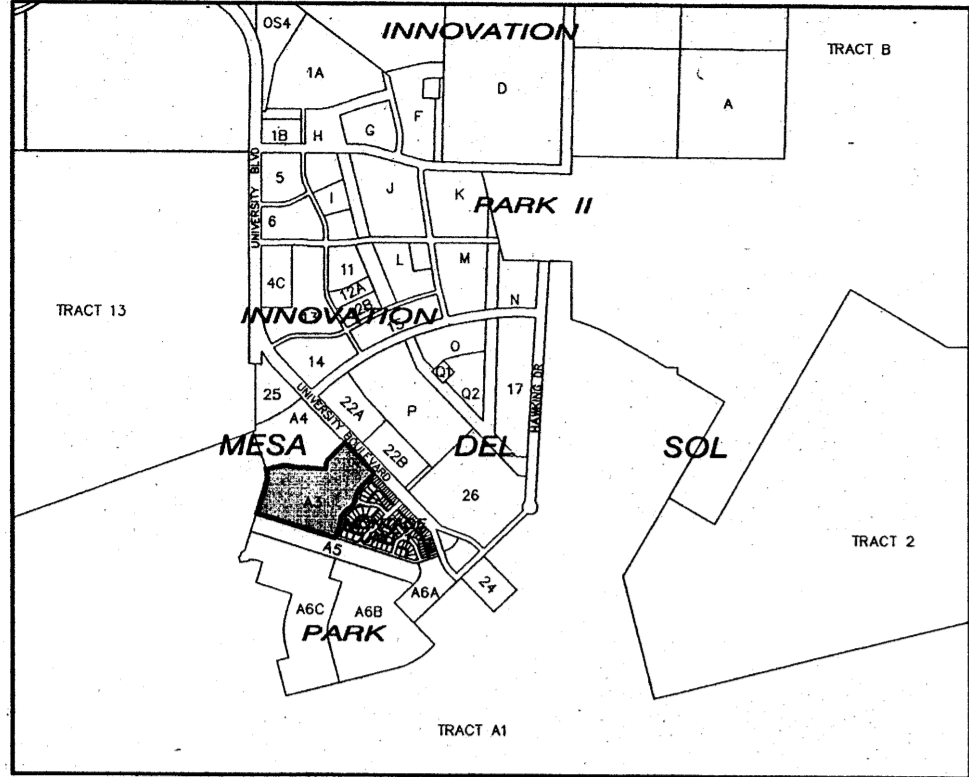
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE  
MARKED BY A #5 REBAR STAMPED "GROMATZKY PS 16469".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED  
CENTERLINE PCS, PITS, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN  
THUS ( ) WILL BE MARKED BY A FOUR (4) ALUMINUM CAP STAMPED "CITY OF  
ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE  
COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY,  
STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF  
CENTERLINE MONUMENTATION.

**Curve Data**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	29°16'07"	38.12'	74.58'	146.00'	73.77'	S31°24'20"W
C2	34°47'54"	32.59'	63.16'	104.00'	62.20'	S34°10'13"W
C3	07°34'04"	10.32'	20.60'	156.00'	20.59'	S47°47'09"W
C4	45°02'48"	60.54'	114.79'	146.00'	111.85'	S21°28'43"W
C5	18°43'21"	15.50'	30.72'	94.00'	30.58'	S08°19'00"W
C6	35°38'41"	85.84'	166.10'	267.00'	163.44'	N00°08'40"W
C7	21°32'55"	27.78'	54.91'	146.00'	54.59'	N88°23'45"E
C8	11°28'48"	17.48'	34.86'	174.00'	34.80'	S85°34'12"E
C9	05°52'15"	10.56'	21.11'	206.00'	21.10'	S89°22'28"E
C10	39°28'47"	52.39'	100.60'	146.00'	98.62'	N26°18'01"E

**Tangent Data**

ID	BEARING	DISTANCE
T1	S44°00'07"W	43.88'
T2	S01°02'40"E	5.47'
T3	N87°41'25"E	45.79'
T4	N06°33'38"E	43.42'



**LOCATION MAP**  
ZONE ATLAS INDEX MAP Nos. R-15 & R-16  
NOT TO SCALE

TRACT A-1  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

TRACT A-4  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

EXISTING PUBLIC ROADWAY EASEMENT  
FILED: JANUARY 6, 2012  
DOC #2012001375

EXISTING 10' PUE EASEMENT  
FILED: JULY 22, 1954  
(BK D305, PG 317)  
DOCUMENT NO. 29421  
MODIFIED BY OUTCLAIM  
DEED AND ASSIGNMENT  
FILED: FEBRUARY 8, 1955  
(BK D305, PG 307)  
DOCUMENT NO. 40709  
VACATED BY VACATION ACTION  
10089-70355

MESA DEL SOL  
NEIGHBORHOOD  
MONTAGE UNIT 1  
FILED: DECEMBER 15, 2011  
(2011C-136)

EXISTING PUBLIC  
ROADWAY EASEMENT  
FILED: APRIL 12, 2011  
DOC #2011035066  
TO BE GRANTED AS  
R/W WITH THE FINAL  
PLAT

ACS BRASS TABLE STAMPED "1-R16"  
GEOGRAPHIC POSITION (NAD 83)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 1,532,715.669 Y = 1,453,438.899  
GROUND TO GRID FACTOR = 0.999964099  
DELTA ALPHA = -001222.45"  
NAVD 1988 ELEVATION = 5291.451

TRACT A-5  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK  
FILED: DECEMBER 6, 2010  
(2010C-131)

APPROVED

*[Signature]* 9/10/12  
CITY SURVEYOR DATE  
*[Signature]* 9/17/12  
BRENT F. OWENS, SECRETARY DATE  
MESA DEL SOL, LLC

**LEGEND**

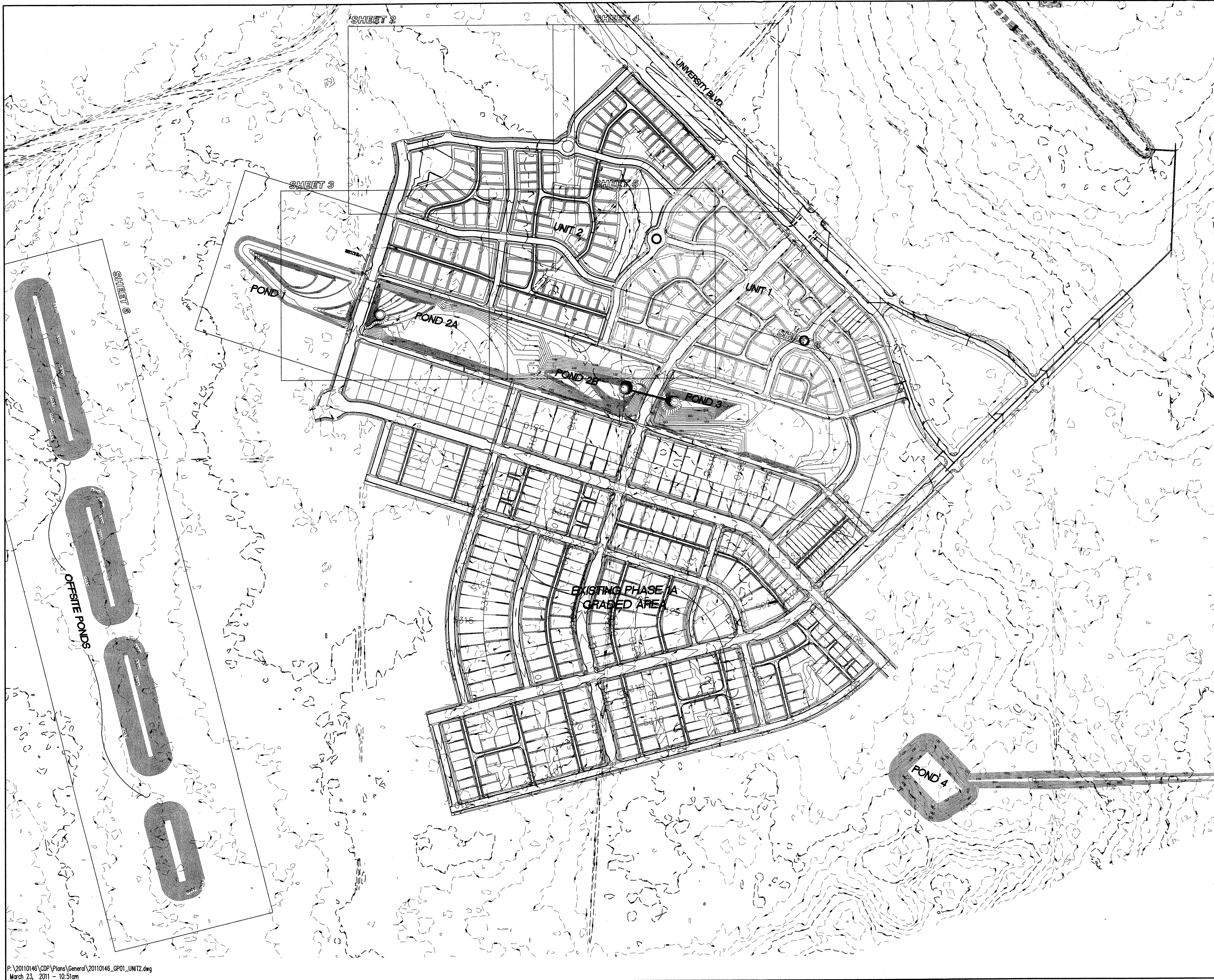
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- CENTERLINE MONUMENT
- BLOCK DESIGNATION

**BUILDING SETBACK SUMMARY**

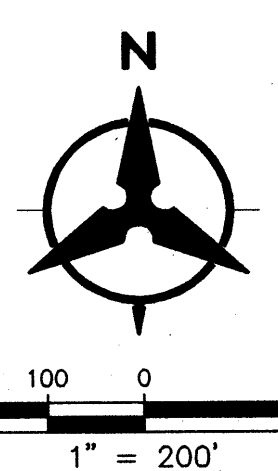
LOT TYPE	BLOCK	LOTS	BUILDING SETBACKS			
			FRONT	SIDE	SIDE # STREET	REAR
C	8	1-7	10'	5'		5'
	9	1-16			10'	5'
D1	7	1-9	10'	5'	10'	4'
	8	8-10				
	10	1-15				
D2	6	1-6	10'	5'	10'	4'
	7	26-33				
	8	11-20				
E1	6	7-18	10'	5'	10'	4'
	7	10-25				
SP	6	19-32	10'	0' (ONE SIDE)	10'	4' (OPPOSITE SIDE)

SINGLE FAMILY DETACHED STREET FACING TYPE C, D1, D2  
SINGLE FAMILY DETACHED COURTY TYPE E1  
SINGLE FAMILY ATTACHED DUPLEX TYPE SP

**Bohannon & Huston**  
Court yard | 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES



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  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATTLE GUARD INLET
  - WALL DRAIN
  - - - - GRADING PHASE BOUNDARY

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**OVERALL GRADING AND EROSION CONTROL PLAN**

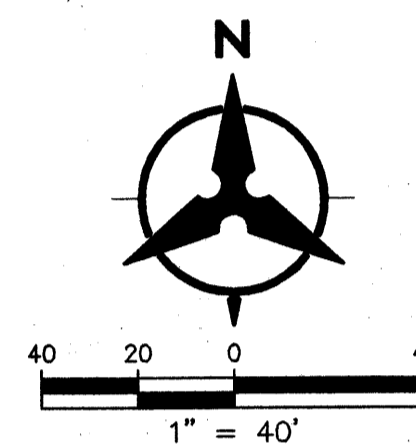
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	R-15,16 S-15,16	1	7

SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	NO.	DATE	CONTRACTOR	DATE	CONTRACTOR	DATE
				ACS BRASS TABLET STAMPED "T-R16, 1984"			
				GEOGRAPHIC POSITION (NAD 83)			
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				X = 1,552,715.669 Y = 1,453,438.899			
				GROUND-TO-GRID FACTOR = 0.9999664099			
				Δa = -00'12.22,46"			
				NAVD 1988 ELEVATION = 5291.451			
ENGINEER'S SEAL		REVISIONS		MICROFILM INFORMATION			
		No.	DATE	RECORDED BY	DATE	NO.	DATE
		1	12-9-10				
		2	12-15-11				

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 March 23, 2011 - 10:51am



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DRAWN BY	DATE
INSPECTOR'S REVIEW BY	DATE
FIELD VERIFICATION BY	DATE
CONDUCTED BY	DATE
<b>MICROFILM INFORMATION</b>	
RECORDED BY	DATE
NO.	NO.

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$\Delta a = -007222.46'$	
NAVD 1988 ELEVATION = 5291.451	

ENGINEER'S SEAL

CHRISTIAN J. SHOULTS  
 NEW MEXICO  
 PROFESSIONAL ENGINEER  
 16244

3-23-11

SURVEY INFORMATION	
NO.	BY
DATE	DATE

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

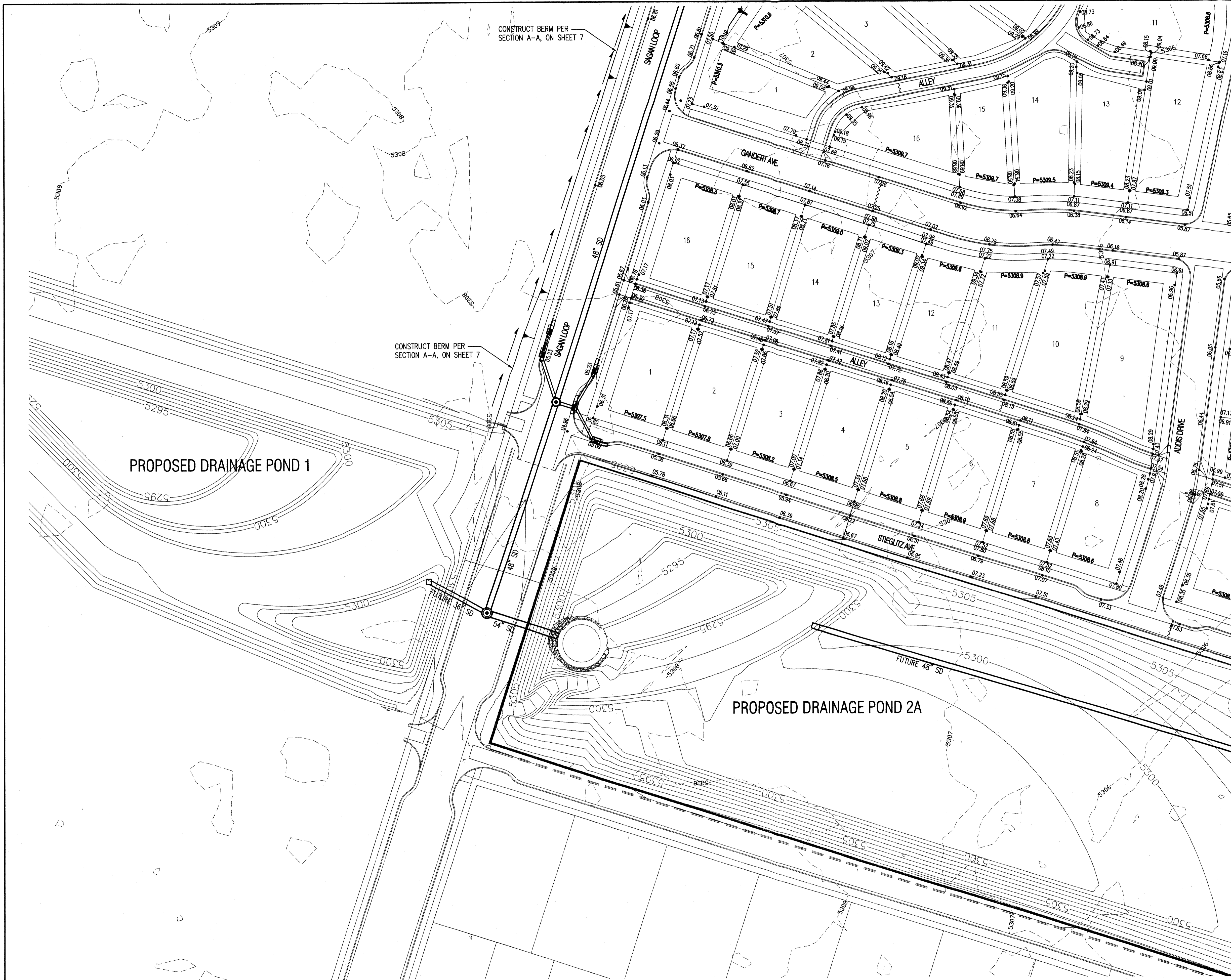
**GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.

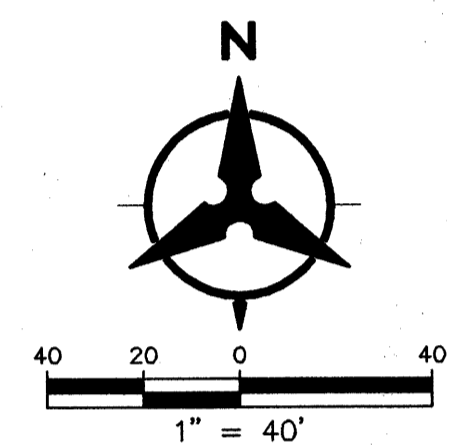
Last Design Update

City Project No. R-15,16 S-15,16 Zone Map No. Sheet **2** Of **7**

Drawn By: ARR DATE: 12/20/10  
 Checked By: CJS DATE: 12/20/10



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ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

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 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. Sheet 3 Of 7  
 R-15,16 S-15,16

AS-BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
RECORDED BY	DATE
MICROFILM INFORMATION	
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SURVEY INFORMATION	
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ENGINEER'S SEAL	
NO.	DATE

REVISIONS	
No.	Date

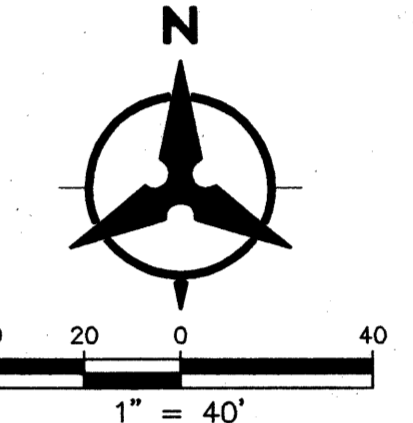
  

DESIGNED BY: CJS	DATE: 12/2010
DRAWN BY: ARR	DATE: 12/2010
CHECKED BY: CJS	DATE: 12/2010



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WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
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NO.	DATE
BY	

FIELD NOTES	
NO.	DATE
BY	

ENGINEER'S SEAL	
NAME	DATE
PROJECT	DATE
REVISIONS	DATE
DESIGN	DATE

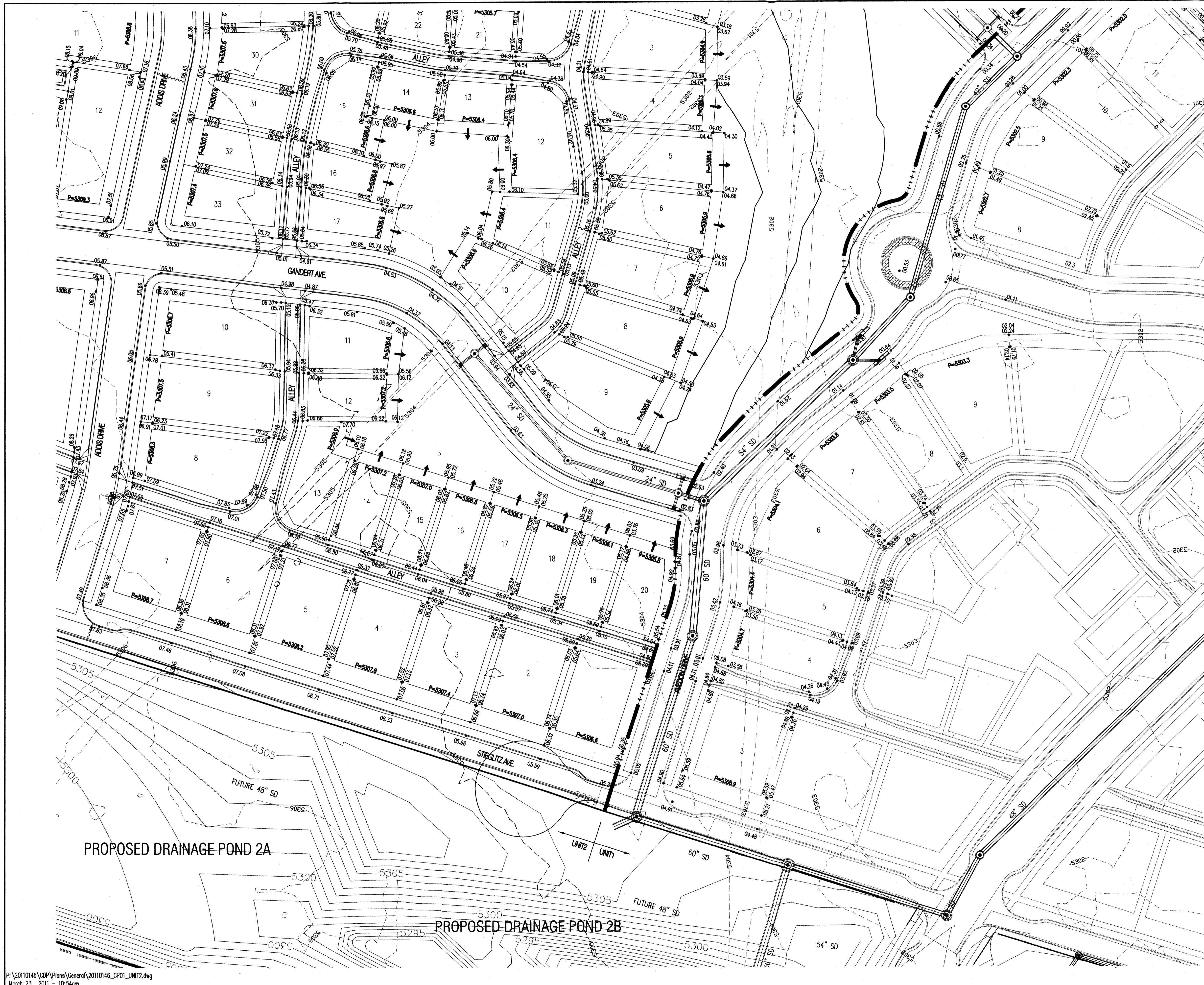
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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**  
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Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			

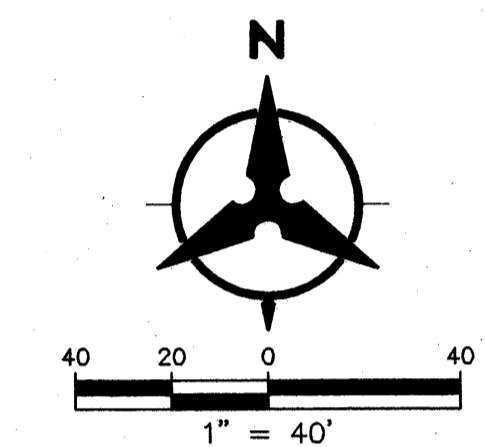
City Project No. \_\_\_\_\_ Zone Map No. R-15,16 S-15,16 Sheet 4 Of 7

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 March 23, 2011 - 10:53am



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GRADING AND EROSION CONTROL PLAN		Mo./Day/Yr.	Mo./Day/Yr.
Design Review Committee	City Engineer Approval		
Last Design Update			
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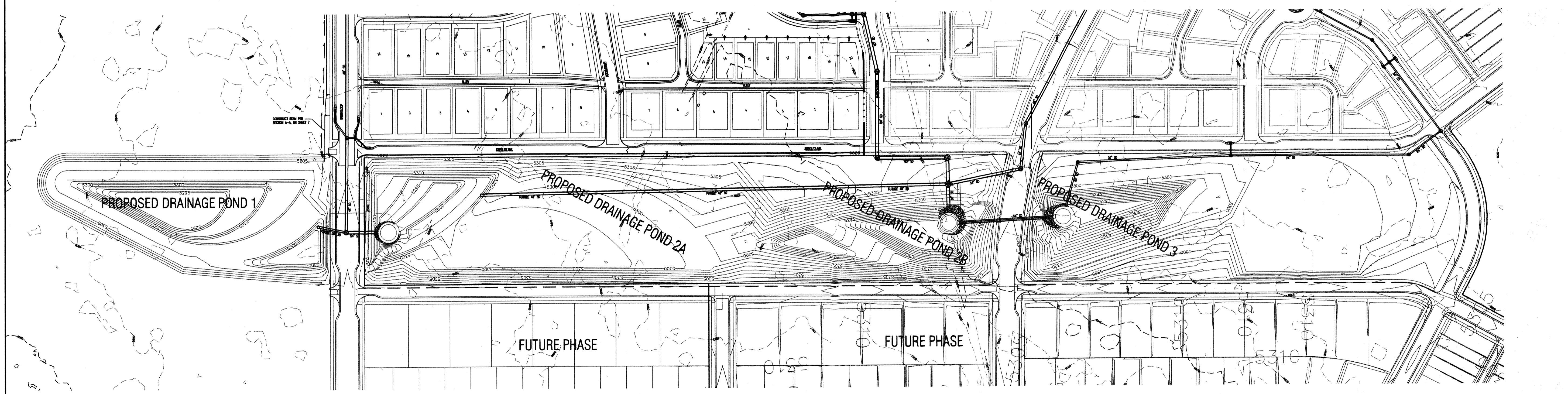
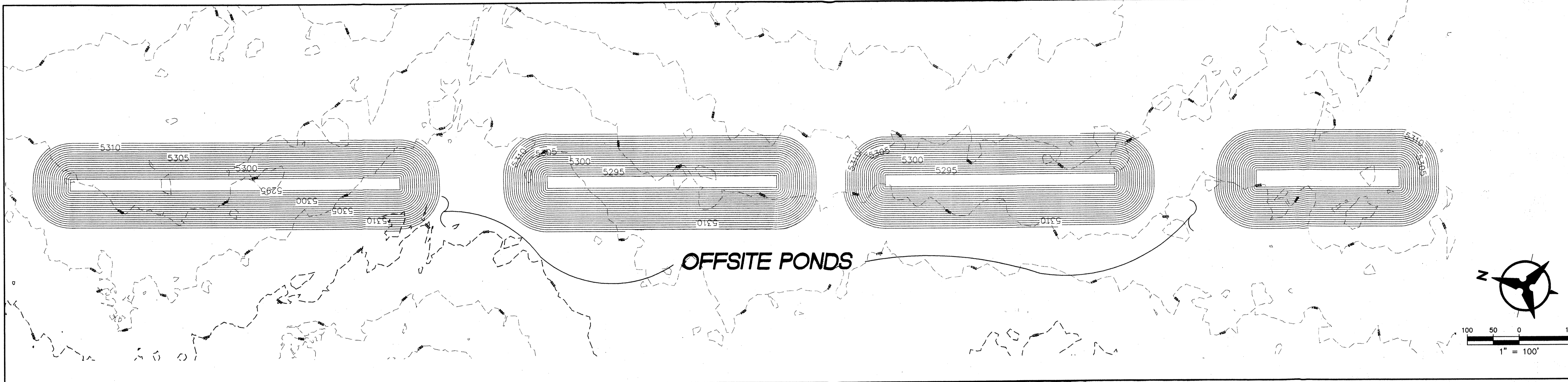
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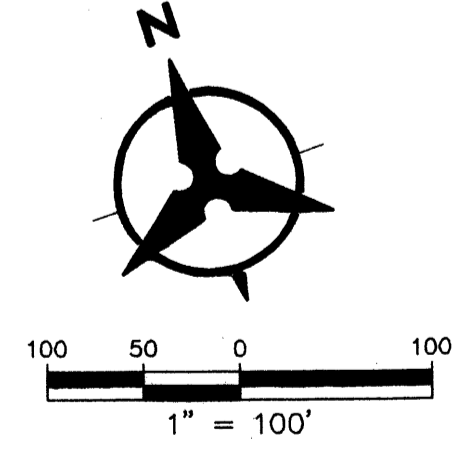
ENGINEER'S SEAL	
REVISIONS	By
DESIGN	
No.	Date
DATE: 12/20/10	DATE: 12/20/10
Drawn By: ARR	Checked By: CJS



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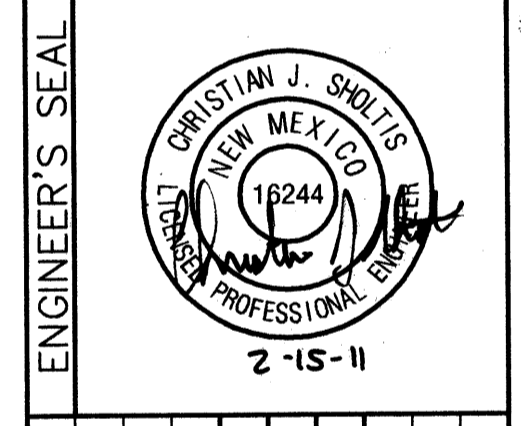
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7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



ROUGH GRADING  
APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK BY	DATE
SUPPLIER'S ACCEPTANCE BY	DATE
INSPECTION BY	DATE
REVISION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
DATE	ACS BRASS TABLE STAMPED "1-R16, 1984"
BY	GEOGRAPHIC POSITION (NAD 83)
NO.	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
	X = 1,532,715.869 Y = 1,453,438.899
	GROUND-TO-GRID FACTOR = 0.999664099
	Δα = -00°12'22.46"
	NAVD 1988 ELEVATION = 5291.451



REVISIONS	By	Date
DESIGN		
DESIGNED BY: CJS		DATE: 12/20/10
DRAWN BY: ARR		DATE: 12/20/10
CHECKED BY: CJS		DATE: 12/20/10

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

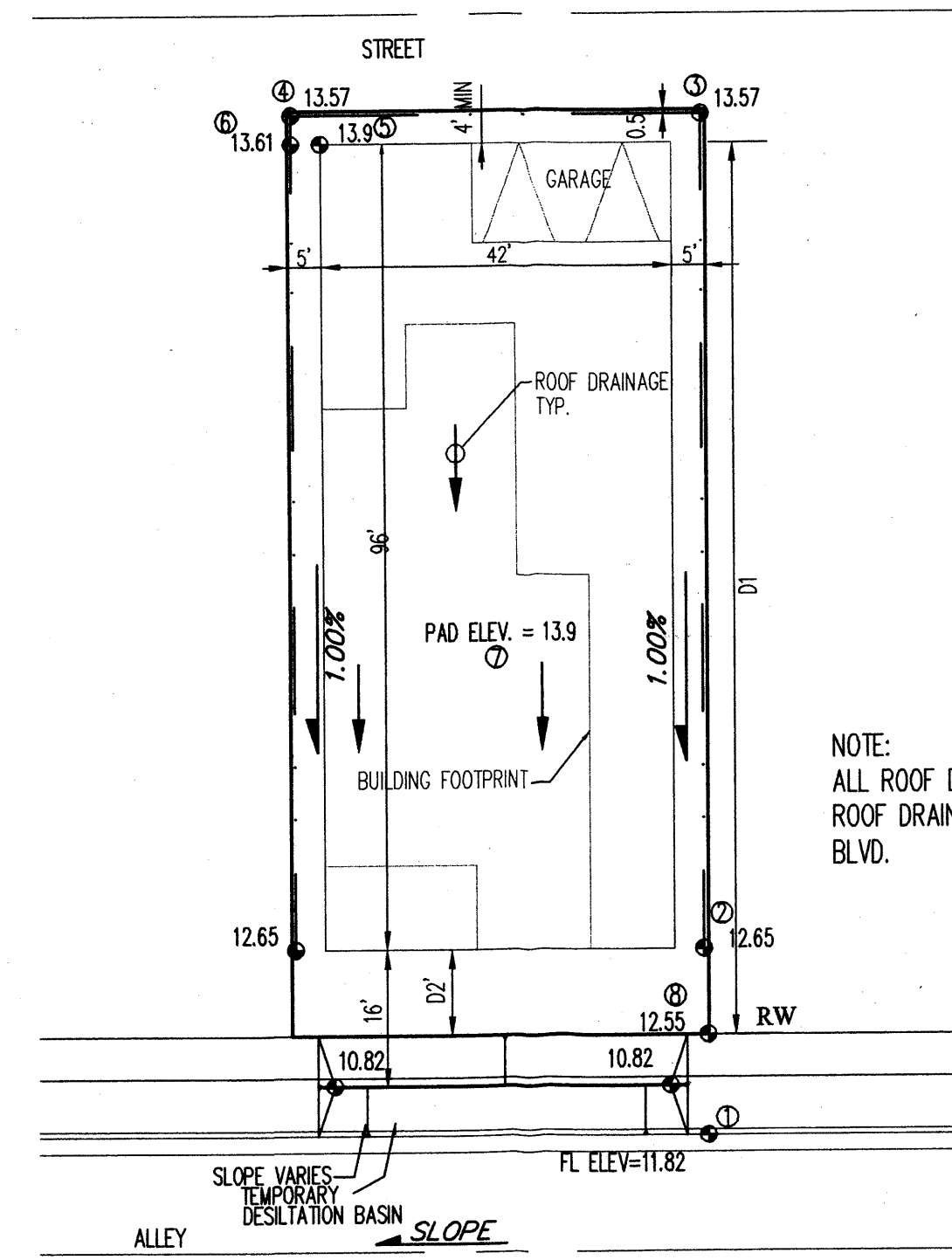
**MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2**

**GRADING AND EROSION CONTROL PLAN**

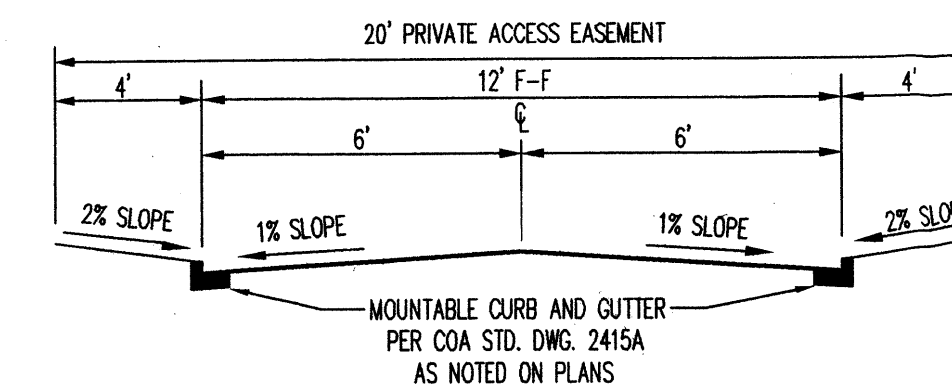
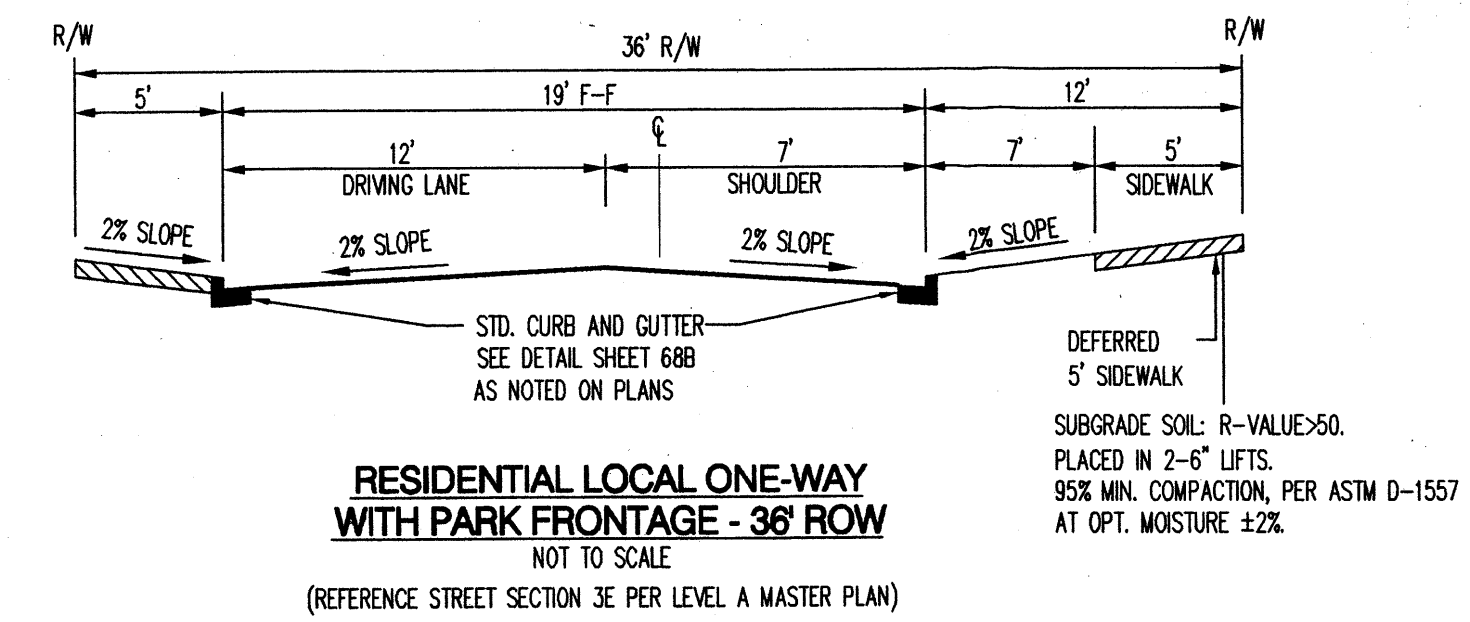
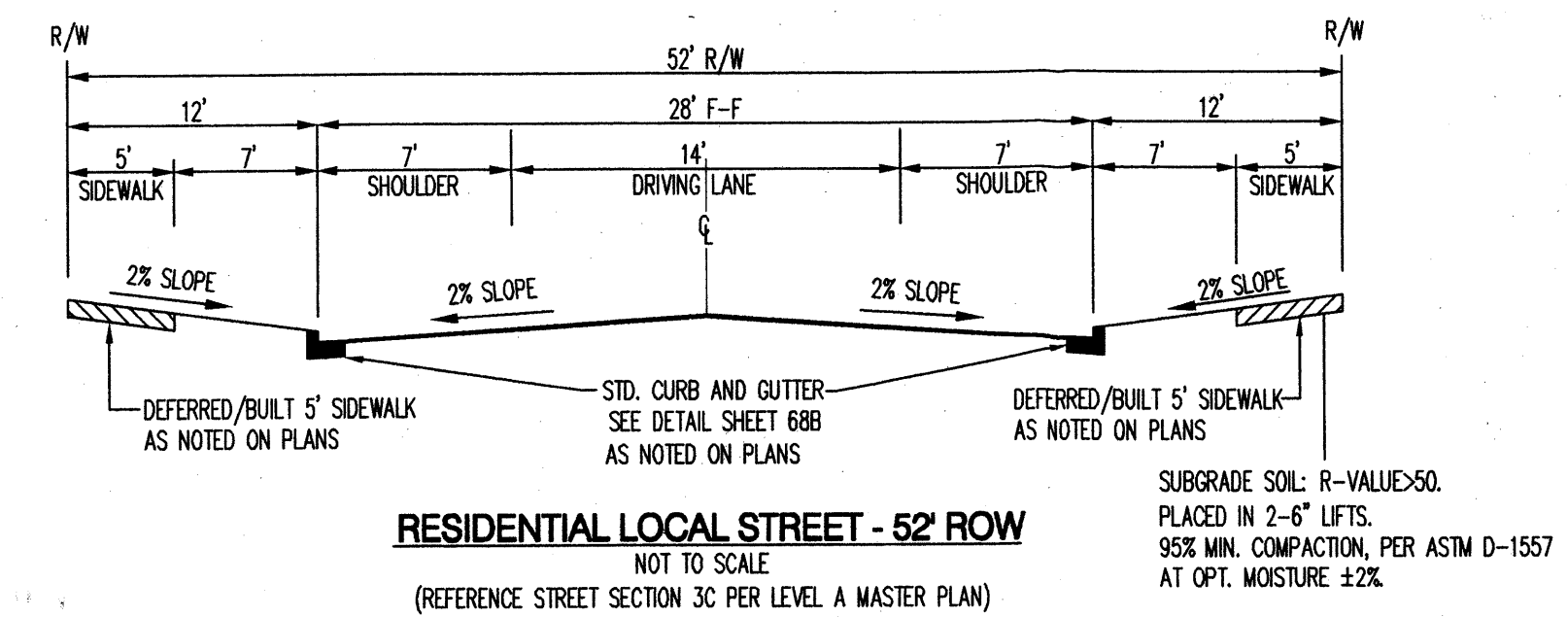
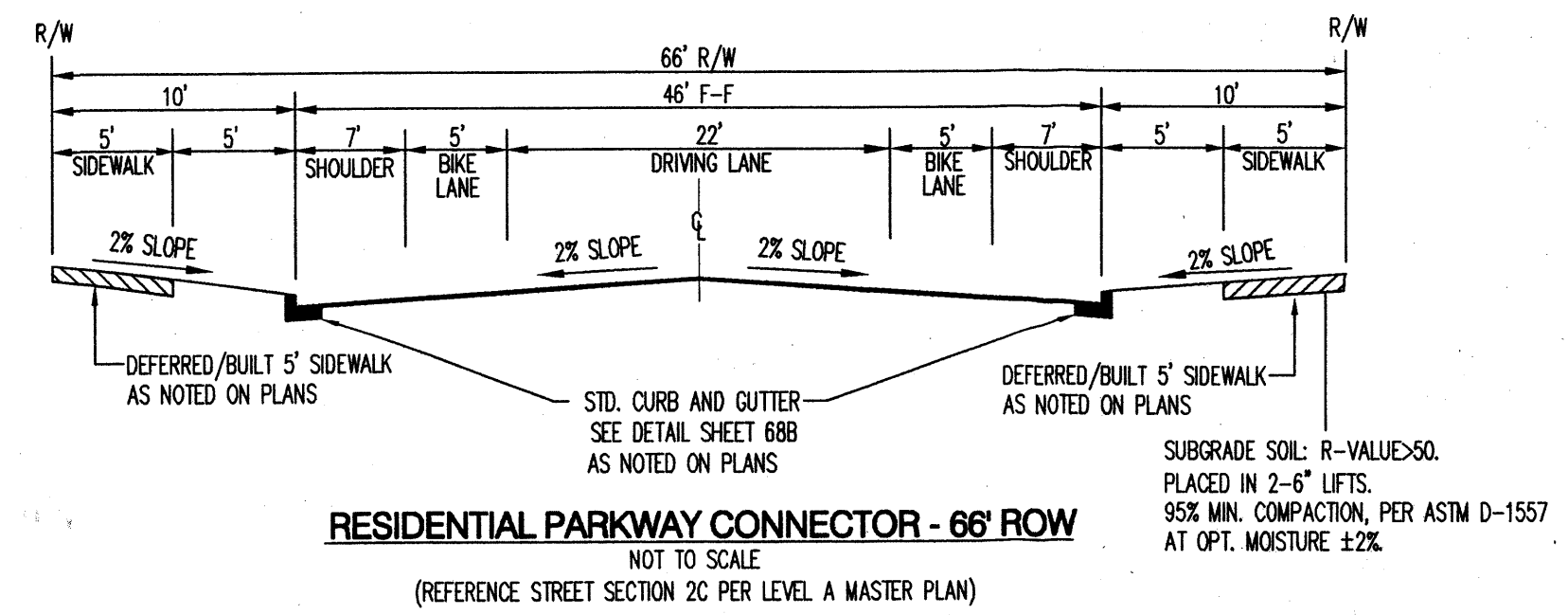
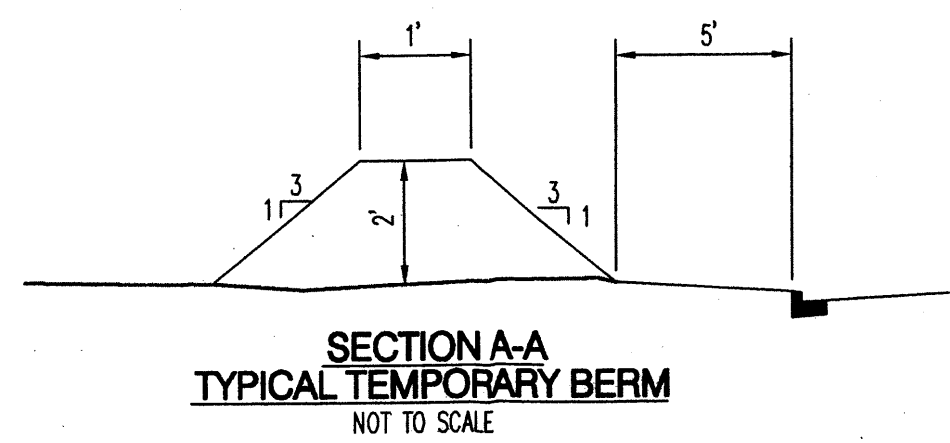
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **R-15,16 S-15,16** Sheet **6** Of **7**





ATTACHED UNITS  
BLOCK 1 LOTS 1-16, BLOCK 3 LOTS 28-33, BLOCK 5 LOTS 12-23  
SCALE: 1"=20'



**Bohannon & Huston**  
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 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT  
 MESA DEL SOL NEIGHBORHOOD MONTAGE UNIT 2

GRADING AND EROSION CONTROL PLAN DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
	R-15,16 S-15,16	7	7	

ENGINEER'S SEAL: CHRISTIAN J. SHELTON, NEW MEXICO PROFESSIONAL ENGINEER, 16244, 2-15-11

REVISIONS: DESIGN (DATE: 12/2010), ARR (DATE: 12/2010), CJS (DATE: 12/2010)

AS-BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
RECORDED BY	DATE
MICROFILM INFORMATION	
NO.	NO.

BENCH MARKS	
CONTRACTOR	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
RECORDED BY	DATE

SURVEY INFORMATION	
NO.	DATE
FIELD NOTES	