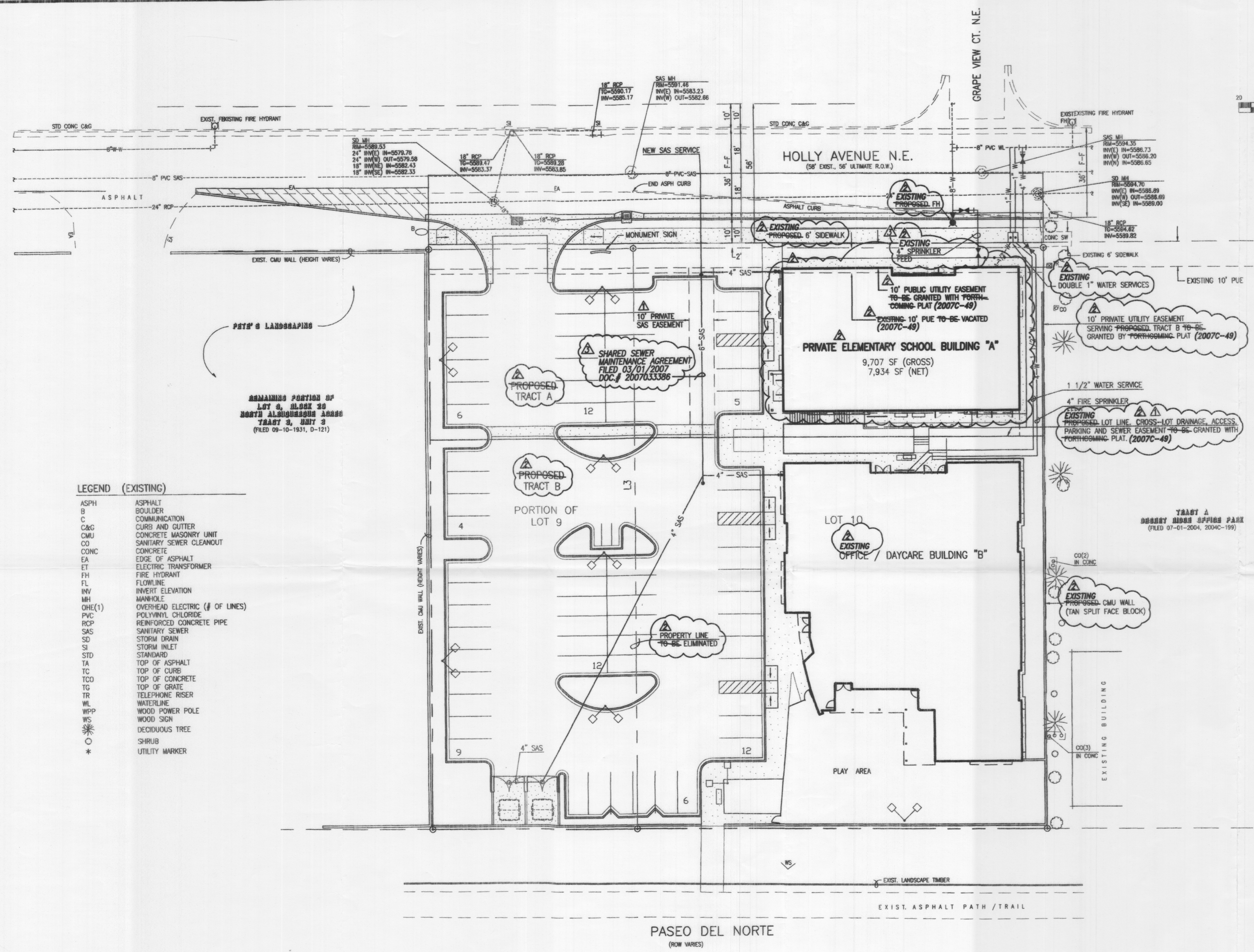
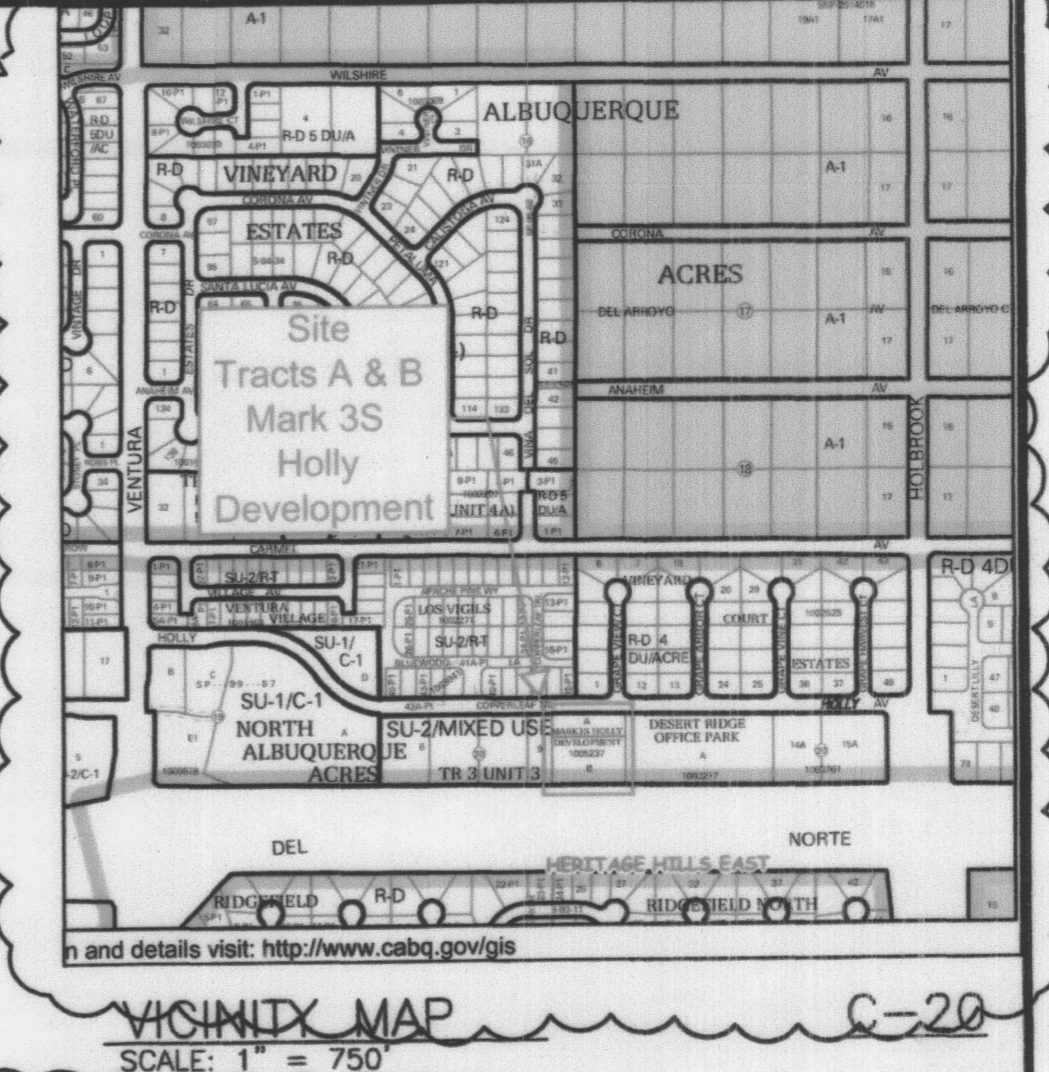
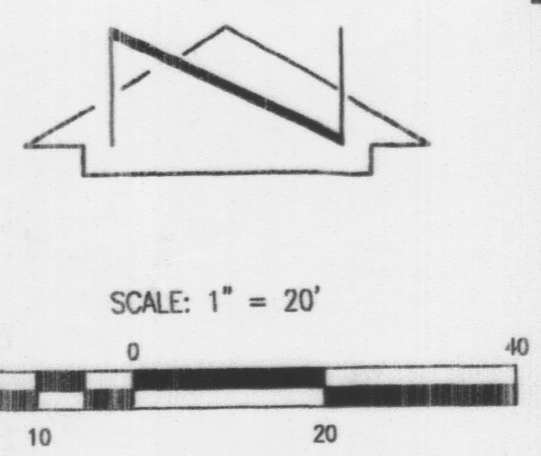


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 File Name: 150121UPRT.DWG Plot Time: 10:48 am



LEGEND (EXISTING)

ASPH	ASPHALT
B	BOULDER
C	COMMUNICATION
C&G	CURB AND GUTTER
CMU	CONCRETE MASONRY UNIT
CO	SANITARY SEWER CLEANOUT
CONC	CONCRETE
EA	EDGE OF ASPHALT
ET	ELECTRIC TRANSFORMER
FH	FIRE HYDRANT
FL	FLOWLINE
INV	INVERT ELEVATION
MH	MANHOLE
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
STD	STANDARD
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TR	TOP OF GRATE
TR	TELEPHONE RISER
WL	WATERLINE
WPP	WOOD POWER POLE
WS	WOOD SIGN
*	DECIDUOUS TREE
*	SHRUB
*	UTILITY MARKER

LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.
 TRACTS "A" AND "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)

PROJECT: 1006337
 DATE: June 3, 2015
 APP: 15-70207 (SFP)
 15-70208 (SPS)

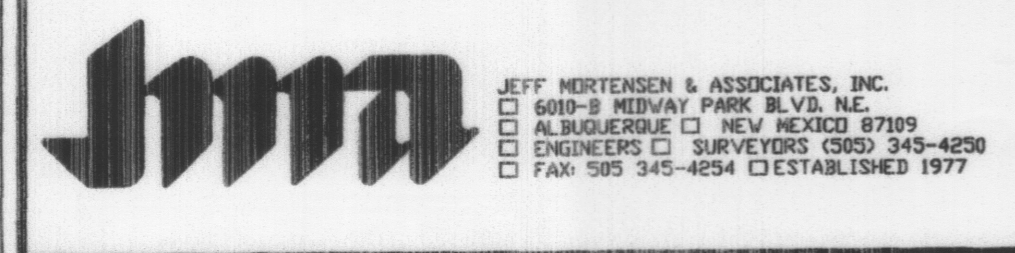
AFD PLANS CHECKING OFFICE
 924-3511
 APPROVED DISAPPROVED
 APPROVED 04-29-15

J. GRAEME MEANS
 NEW MEXICO
 13676
 PROFESSIONAL ENGINEER
 10/31/06
 02/05/2007
 03/31/2015
 09/30/2015
 2006.070.2

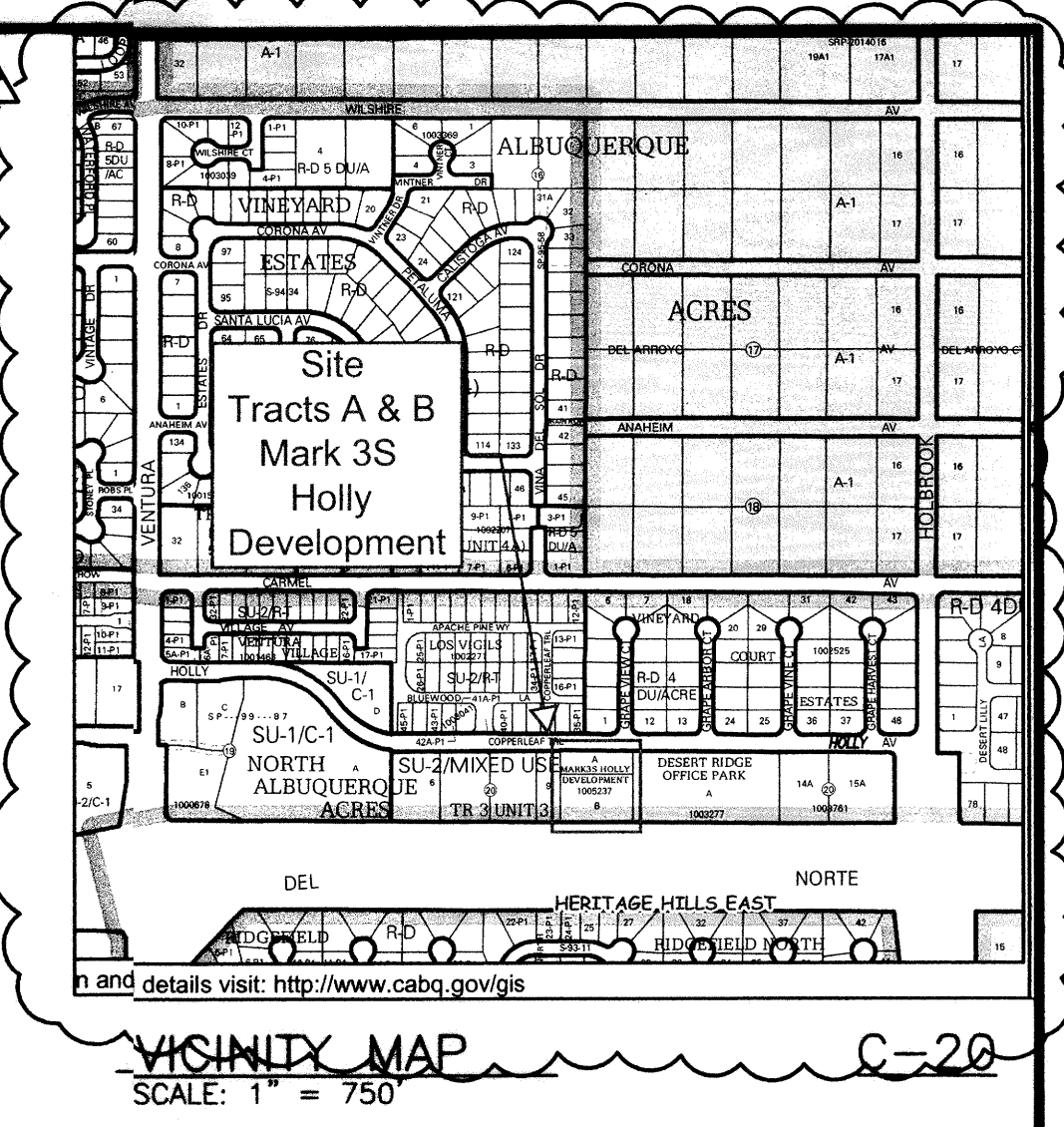
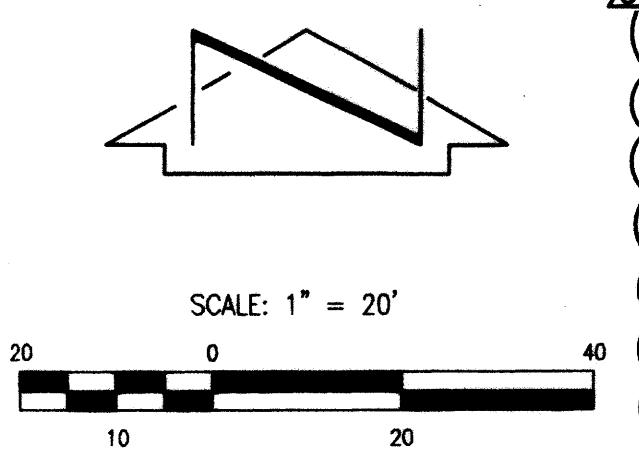
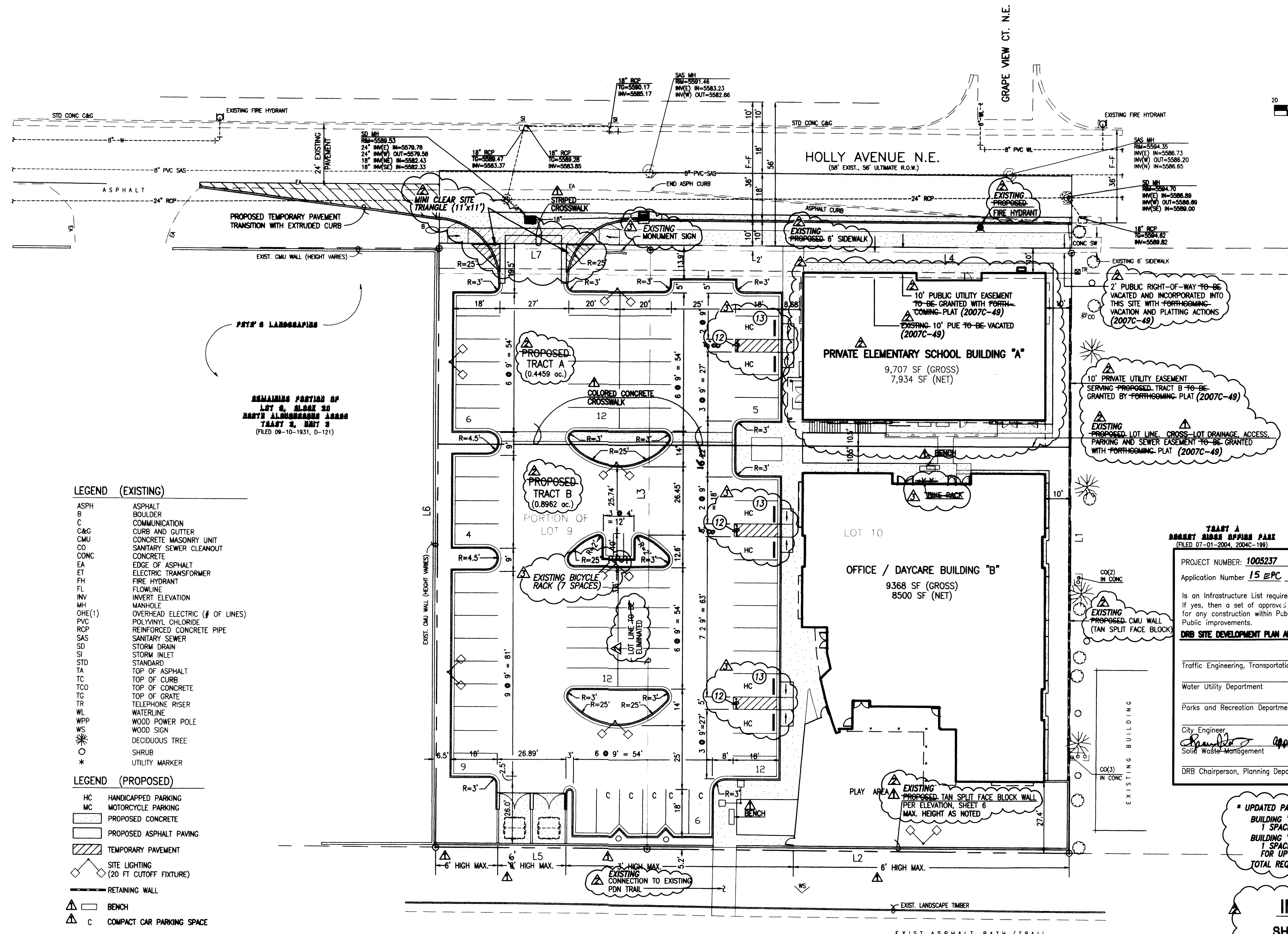
This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

**CONCEPTUAL UTILITY PLAN
 MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS	2006.070.2
RRW/JLP	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT	DATE 10-2006
G.M.	04/15	G.M.	ADDRESS PRELIMINARY REVIEW COMMENTS	SHEET 7A OF 7



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 File Path: E:\WORK\2015\150121SPR1.DWG Plot Date: 02-05-2007
 File Name: 60702SPR1.DWG Plot Time: 08:59 am



- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
 - C COMMUNICATION
 - C&G CURB AND GUTTER
 - CMU CONCRETE MASONRY UNIT
 - CO SANITARY SEWER CLEANOUT
 - CONC CONCRETE
 - EA EDGE OF ASPHALT
 - ET ELECTRIC TRANSFORMER
 - FL FLOWLINE
 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - DECIDUOUS TREE
 - SHRUB
 - UTILITY MARKER
- LEGEND (PROPOSED)**
- HC HANDICAPPED PARKING
 - MC MOTORCYCLE PARKING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVING
 - TEMPORARY PAVEMENT
 - SITE LIGHTING (20 FT CUTOFF FIXTURE)
 - RETAINING WALL
 - BENCH
 - COMPACT CAR PARKING SPACE

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

NOTE:
 ALL SITE PAVING IMPROVEMENTS AND PUBLIC STREET IMPROVEMENTS WERE CONSTRUCTED IN 2007 AND ARE NOW EXISTING, NO NEW PAVING IMPROVEMENTS ARE PROPOSED WITH THIS AMENDMENT.

- ADDITIONAL SITE PLAN NOTES**
- "NO PARKING" STENCILED PER 66-1-4.1.B, NMSA 1978.
 - EXISTING ACCESSIBLE PARKING SPACES WITH WHEELSTOPS AND SIGNAGE. SIGNS SHALL HAVE ADDED LANGUAGE THAT VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1A	SITE PLAN
2A	LANDSCAPING PLAN
3A	PRELIMINARY GRADING PLAN
4A	BUILDING EXTERIOR ELEVATIONS
5A	BUILDING EXTERIOR ELEVATIONS
6A	SITE DETAILS
7A	CONCEPTUAL UTILITY PLAN
1-7	ORIGINAL APPROVED SITE PLAN

LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Avenue, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.
TRACTS "A" AND "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)
ZONING:
 SU-2/MIXED USE

PROJECT NUMBER: 1005237
 Application Number **06 EPC - 01581**

Is an Infrastructure List required? () Yes () No
 If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	3/5/07
Parks and Recreation Department	2/21/07
City Engineer	4/11/07
Michael Holton	2/9/07
DRB Chairperson, Planning Department	2/21/07

PROJECT NUMBER: 1005237
 Application Number **15 EPC 40012**

Is an Infrastructure List required? () Yes (X) No
 If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Michael Holton	05-19-15
DRB Chairperson, Planning Department	Date

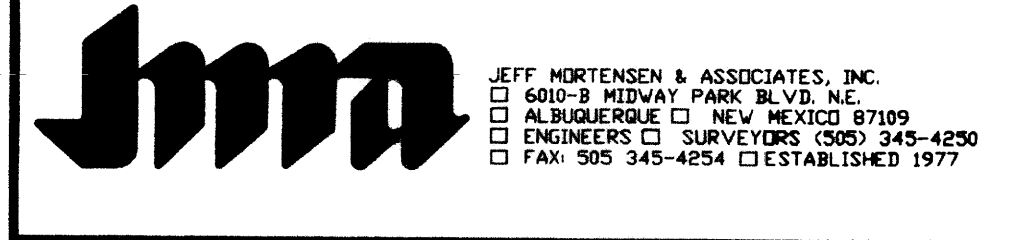
This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

- SITE PLAN NOTES**
- SETBACKS SHALL BE AS SHOWN HEREON.
 - TOTAL SQUARE FOOTAGE: 14,208 SF LEASABLE AREA - 64 SPACES
 - NET LEASABLE AREA = 12,800 SF LEASABLE AREA - 64 SPACES
 - REQUIRED PARKING = 4 SPACES/200 SF LEASABLE AREA = 43 SPACES
 - PARKING PROVIDED = 86 SPACES FOR CARS + 3 SPACES FOR MOTORCYCLES
 - ACCESSIBLE PARKING REQUIRED = 4 (6 PROVIDED)
 - BICYCLE SPACES REQUIRED = 1/20 VEHICLES SPACES = 4 (6 PROVIDED)
 - MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
 - ROOF EQUIPMENT SHALL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CLAVA SECTOR DEVELOPMENT PLAN DESIGN GUIDELINE 11R-3
 - ANY LIGHTING SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT
 - ANY LIGHTING WITHIN 100' OF A RESIDENTIALLY ZONED PROPERTY SHALL BE A MAXIMUM OF 16 FT IN HEIGHT PER ZONING CODE SECTION 14-16-3-9(F).

*** UPDATED PARKING REQUIREMENTS**
 BUILDING "B" OFFICE/DAYCARE (EXISTING) 1 SPACE/200 SF LEASABLE=43 SPACES
 BUILDING "A" PRIVATE ELEMENTARY SCHOOL 1 SPACE PER EMPLOYEE=10 SPACES FOR UP TO 10 EMPLOYEES
 TOTAL REQUIRED=53 SPACES

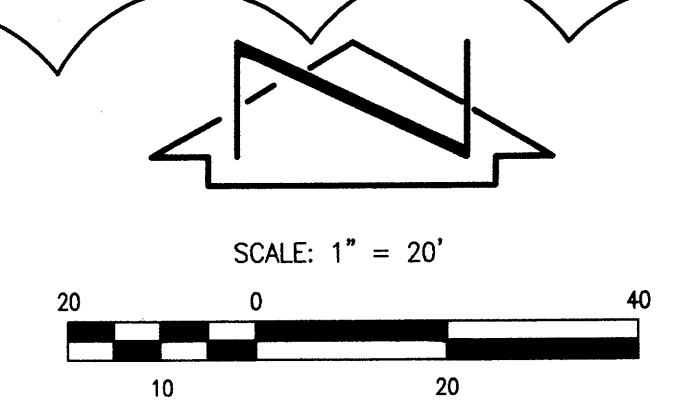


10/31/06
 02/05/07
 03/31/2015
 04/30/2015



**SITE PLAN FOR BUILDING PERMIT
 MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	DATE	BY	ADDRESS EPC COMMENTS	REV/STNS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS		2006-0702
RRW/JLP	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT		DATE 10-2006
G.M.	04/15	G.M.	ADDRESS PRELIMINARY REVIEW COMMENTS		SHEET 1A OF 7



LANDSCAPING NOTES

*** ALL LANDSCAPING COMPLETED UNDER THE OFFICE/ DAYCARE SITE DEVELOPMENT, AUGUST 2007

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS, MARK 3S.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNERS. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS AND PERENNIALS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEM TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS (MARK 3S).

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

LANDSCAPING AREA CALCULATION

TOTAL SITE AREA	=	58,477 sf. (1.33 ACRES)
BUILDING AREA	=	14,298 sf.
NET SITE AREA	=	44,179 sf.
15% LANDSCAPE AREA REQUIRED	=	6,627 sf.
75% LIVING GROUND COVER REQUIRED	=	6,569 sf.
20% LANDSCAPE AREA PROVIDED	=	8,758 sf.
75%+ LIVING GROUND COVER PROVIDED	=	6,672 sf.

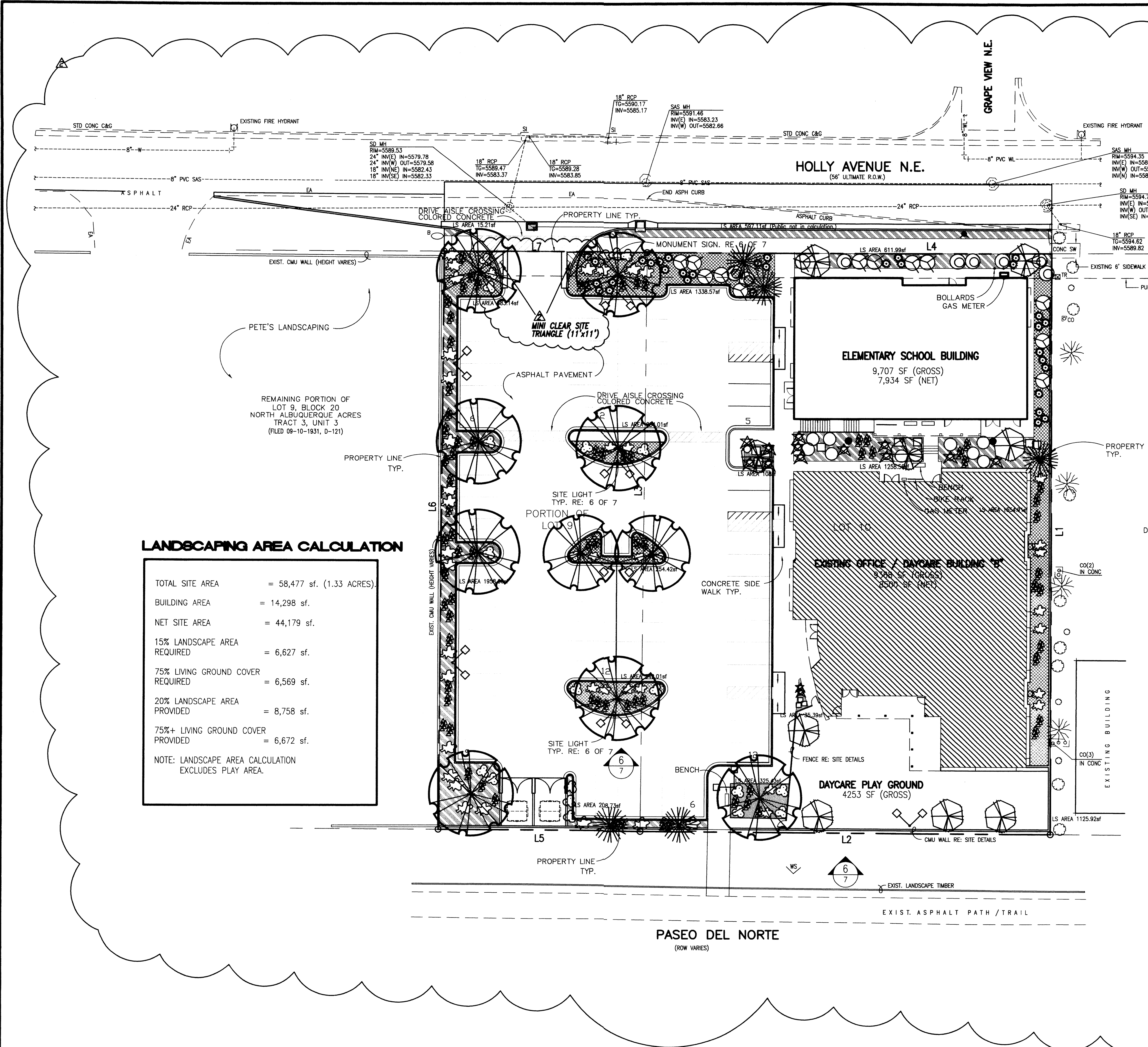
NOTE: LANDSCAPE AREA CALCULATION EXCLUDES PLAY AREA.

PLANT LEGEND

	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	H	W	WATER REQUIREMENTS	INSTALLED SIZE
TREES		10	QUERCUS TEXANA	RED TEXAS OAK	35'	30'	MEDIUM WATER USE	24" BOX MULTI TRUNK
		5	PINUS EDULIS	PINON	25'	20'	MEDIUM WATER USE	8' - 9' B+B
		7	VITEX AGUS-CASTUS	CHASTE TREE	20'	15'	LOW WATER USE	24" BOX MULTI TRUNK
SHRUBS		77	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY	3'	4'	LOW WATER USE	1 GALLON OR 5 GALLON
		28	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' OR 'PROSTRATA'	ROSEMARY	1'	3'	LOW WATER USE	1GALLON
		24	ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	2'	2'	LOW WATER USE	1GALLON
		8	ARTEMISIA CANA	SILVER SAGE	6'	4'	LOW WATER USE	1GALLON
		17	CHRYSOETHAMNUS NAUSEOSUS	DWARF CHAMISA	2'	3'	LOW WATER USE	1GALLON
ORNAMENTAL GRASS		41	MISCANTHUS SINENSIS 'PURPURASCENS'	AUTUMN MAIDEN GRASS	5'	4'	MEDIUM WATER USE	5 GALLON
		11	MUHLENBERGIA RIGENS	DEER GRASS	3'	3'	LOW WATER USE	1 GALLON
PERENNIALS		11	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1.5'	1.5'	LOW WATER USE	1GALLON
		34	SANTOLINA VIRENS	GREEN SANTOLINA	2'	3'	LOW WATER USE	1GALLON
MULCH				3/4" GRAVEL GROUND COVER				
				CRUSHER FINES GROUND COVER				
		4038 SF		SANTA FE NATIVE GRASS SEED MIX.				

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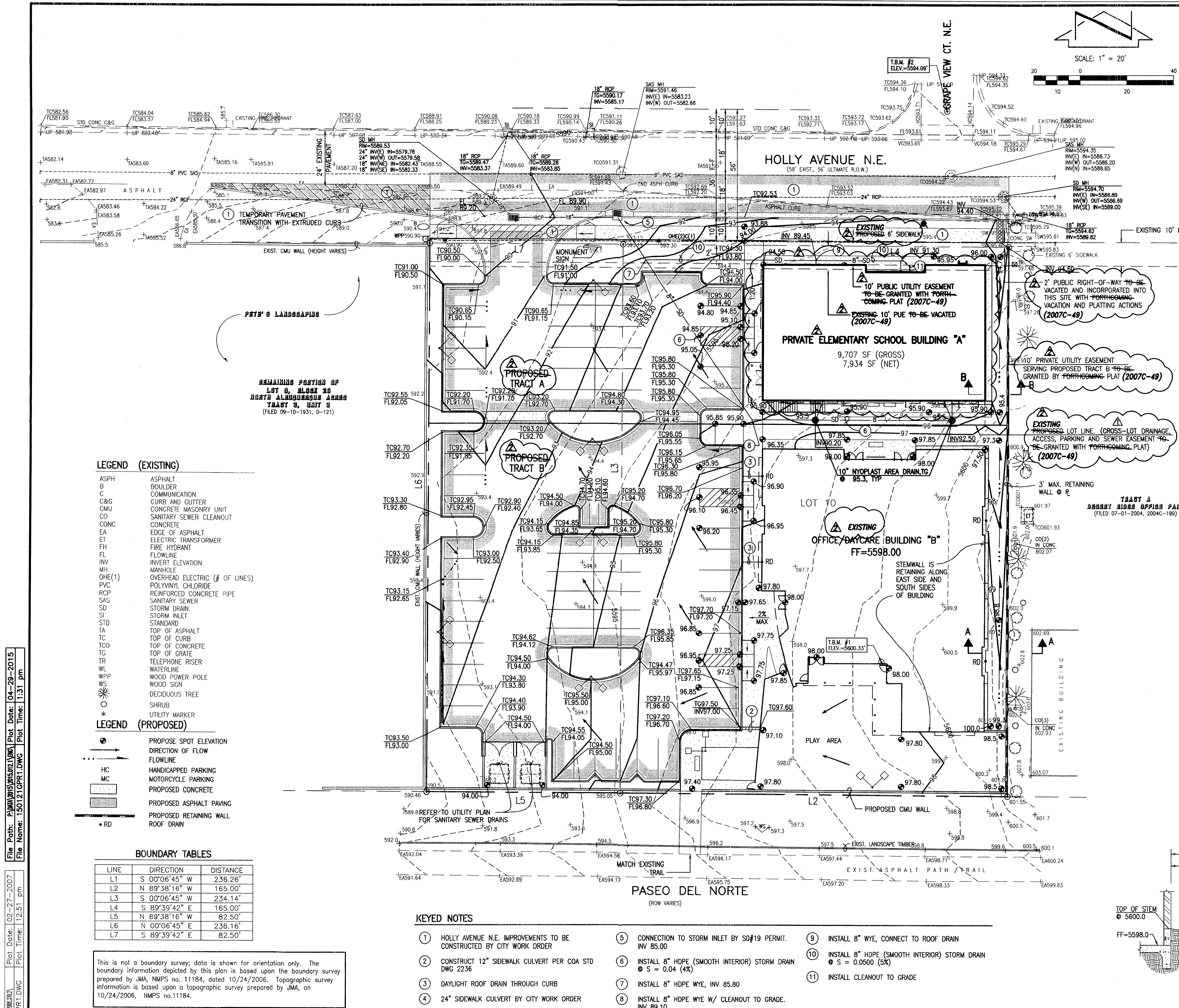
JEFF MORTENSEN & ASSOCIATES, INC.
 6400-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, N.M. 87109
 ENGINEERS & SURVEYORS (505) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

BENJAMIN GARDNER
 14300 4th Albuquerque
 New Mexico 87116
 (505) 771-0000

LANDSCAPE PLAN
MARK 3S HOLLY DEVELOPMENT

DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS
DRAWN BY	RRV / B.G.	1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.
APPROVED BY	G.M.		02/15	BG	ELEMENTARY SCHOOL AMENDMENT

JOB NO.	2015.012.1
DATE	09-2006
SHEET	2A OF 7



LEGAL DESCRIPTION:
LOT 10 AND THE EAST HALF OF LOT 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, BOOK D, PAGE 121.

PROJECT BENCHMARK:
STANDARD ACS BRASS TABLET STAMPED, "1-B20", SET IN TOP OF A CONCRETE POST, AT THE NORTHEAST INTERSECTION OF BARSTOW STREET AND MODESTO AVENUE. ELEVATION = 5474.51 FEET (NGVD 1929)

T.B.M. #1:
REBAR #5 WITH CAP STAMPED, "JMA CONTROL NMPS 11184", AS SHOWN ON THIS SHEET. ELEVATION = 5600.33 FEET (NGVD 1929)

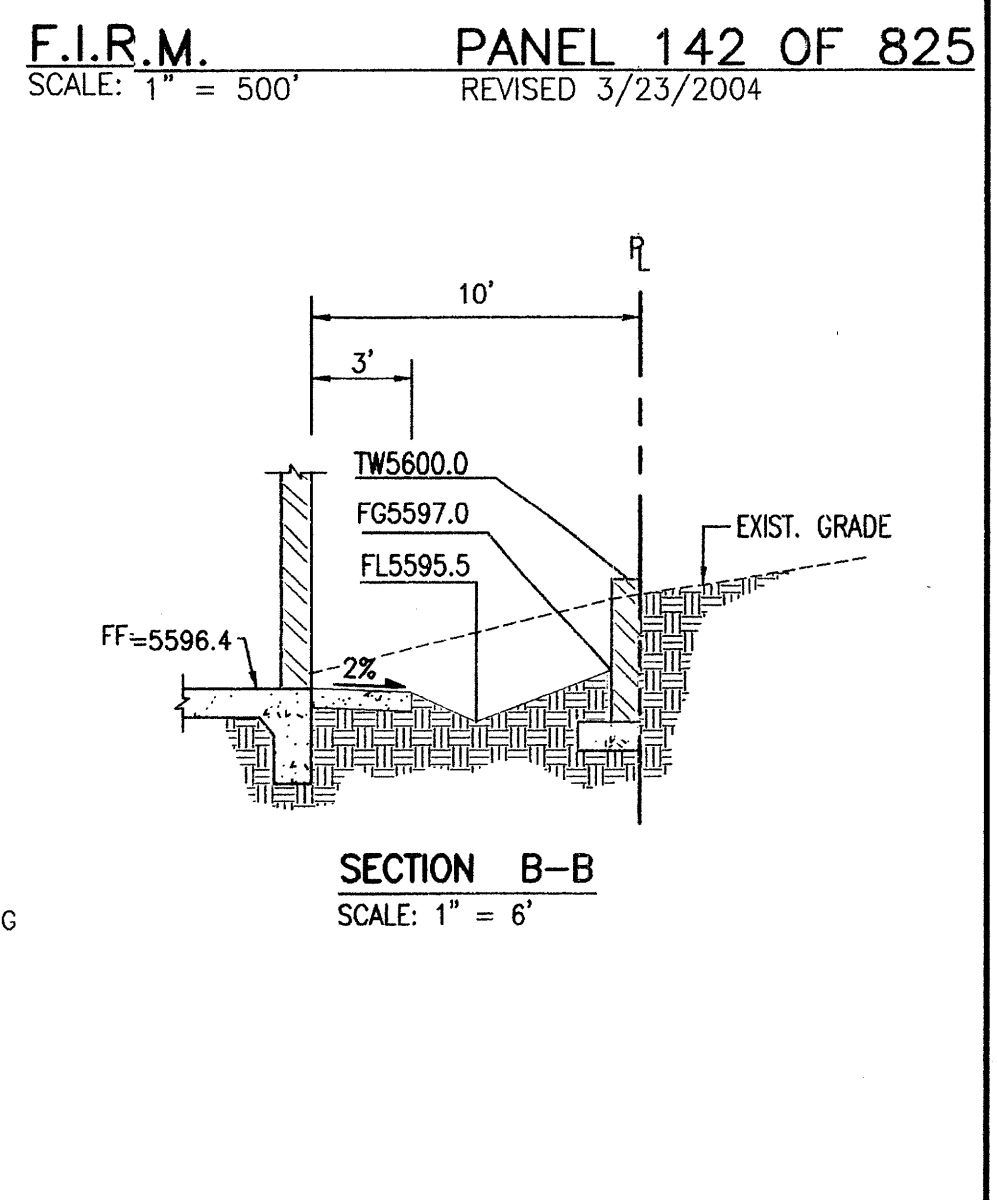
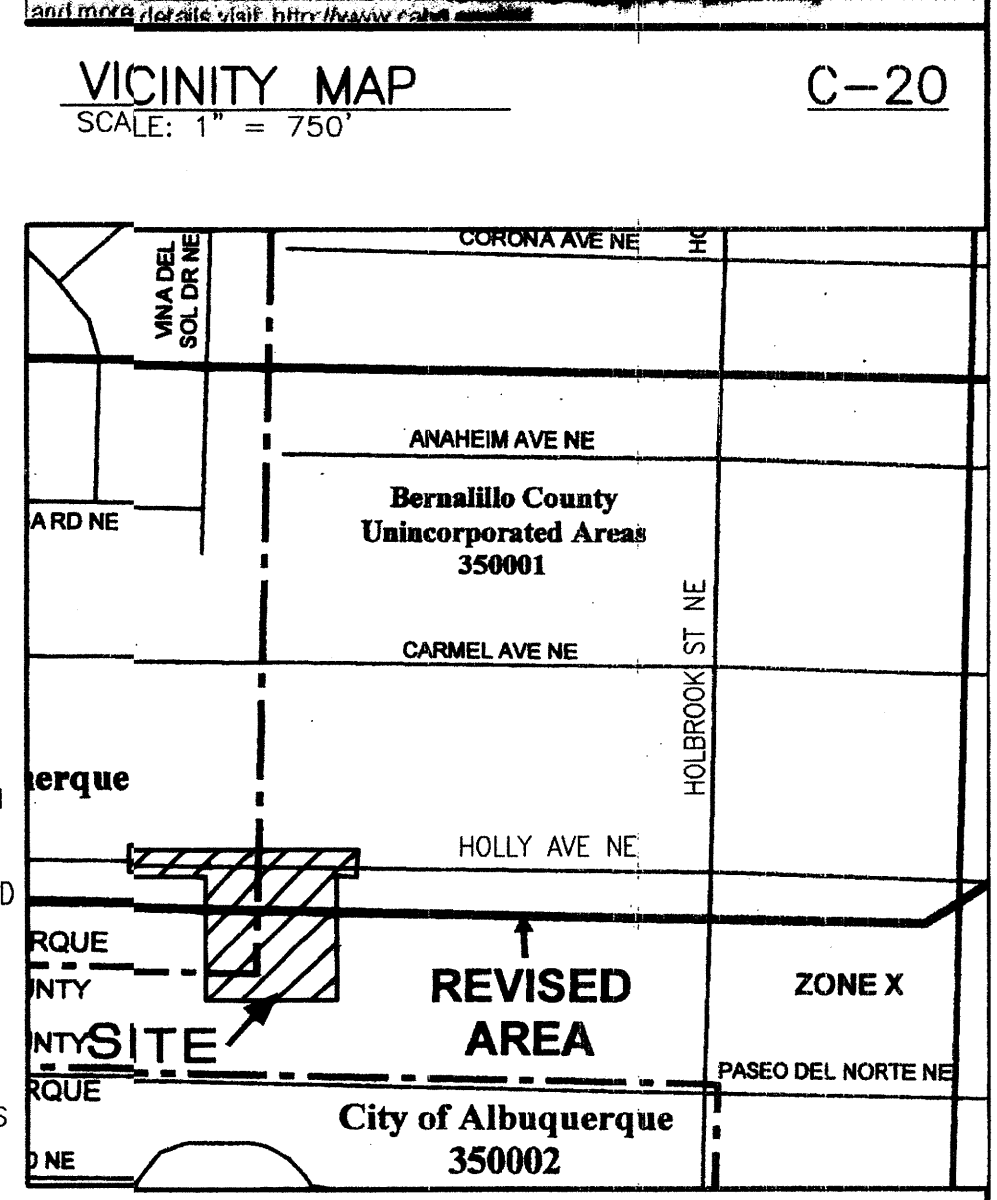
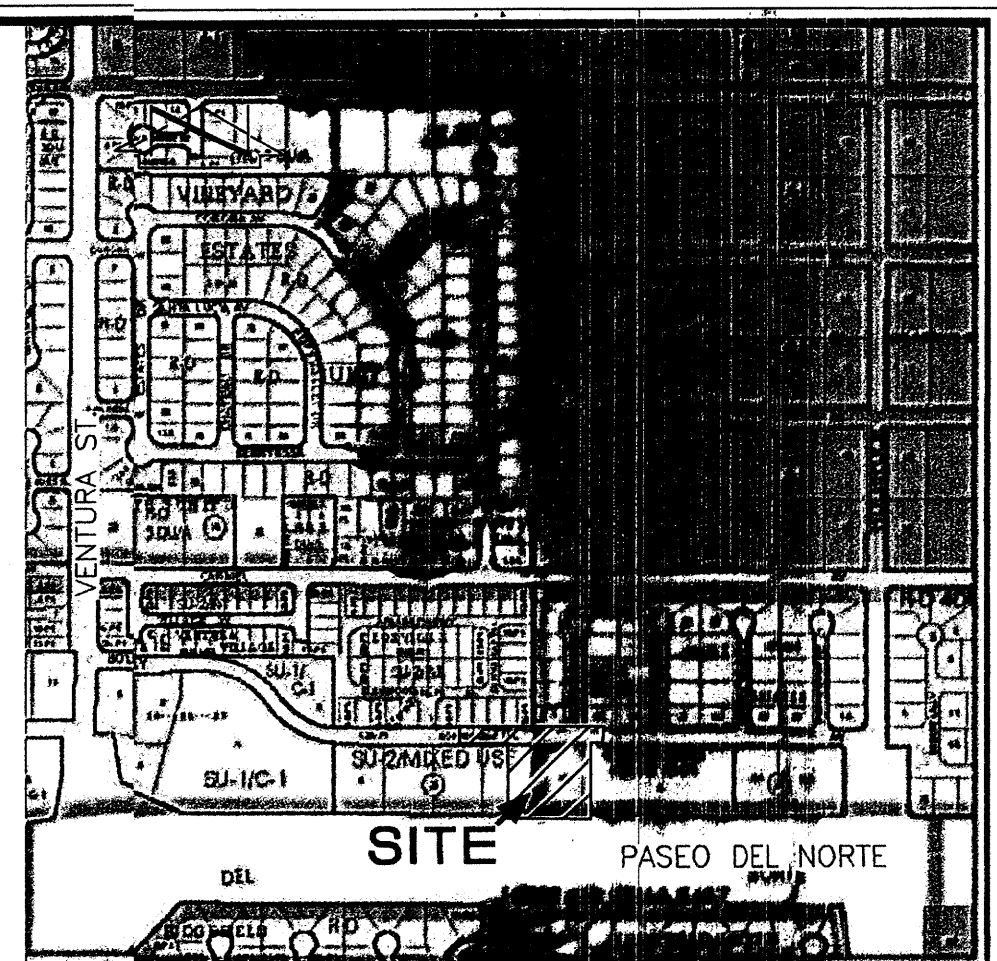
T.B.M. #2:
ALUMINUM CAP STAMPED, "PLS #11184", AS SHOWN ON THIS SHEET. ELEVATION = 5594.09 FEET (NGVD 1929)

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES PIPELINES, AND UNDERGROUND UTILITY LINES.
- IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



F.I.R.M. PANEL 142 OF 825
SCALE: 1" = 500'
REVISED 3/23/2004

SECTION B-B
SCALE: 1" = 6'

SECTION A-A
SCALE: 1" = 6'

JMA JEFF HORTENSEN & ASSOCIATES, INC.
600-B HENRI PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS 1009 345-4230
FAX: 505 345-4254 © ESTABLISHED 1977

Plot Date: 02-27-2007 Plot Time: 12:51 pm
File Name: 6070202PR1.DWG

GRADING PLAN
MARK 3S HOLLY DEVELOPMENT

DESIGNED BY: G.M.
DRAWN BY: RRW/JLP
APPROVED BY: G.M.

NO. DATE BY REVISIONS
1 01/07 G.M. ADDRESS EPC COMMENTS, ADDED DETAIL FOR CONSTRUCTION
2 03/15 G.M. ELEMENTARY SCHOOL AMENDMENT

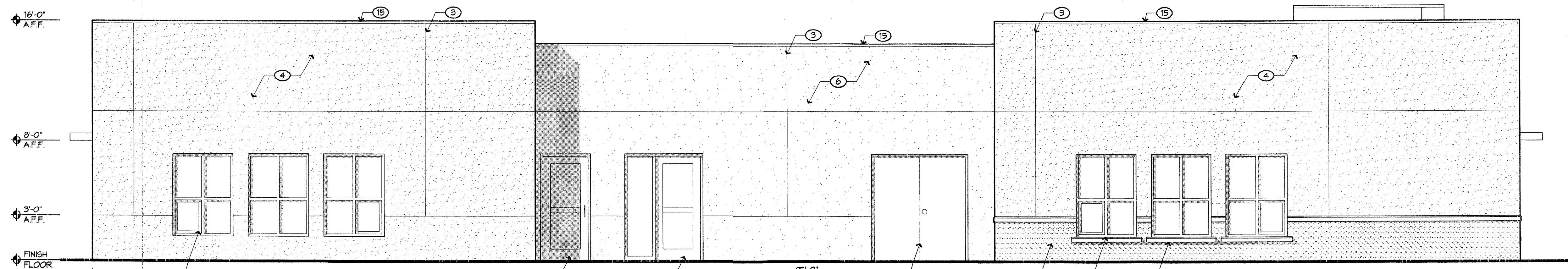
JOB NO. 2006.070.2/6
DATE 10-2006
SHEET 3A OF 7

2015.012.1
02/05/07

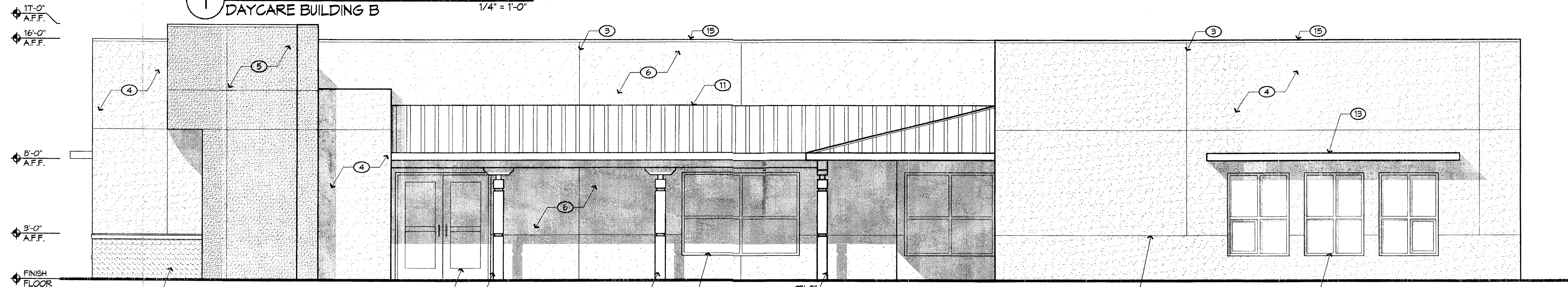
SECTION B-B
SCALE: 1" = 6'

SECTION A-A
SCALE: 1" = 6'

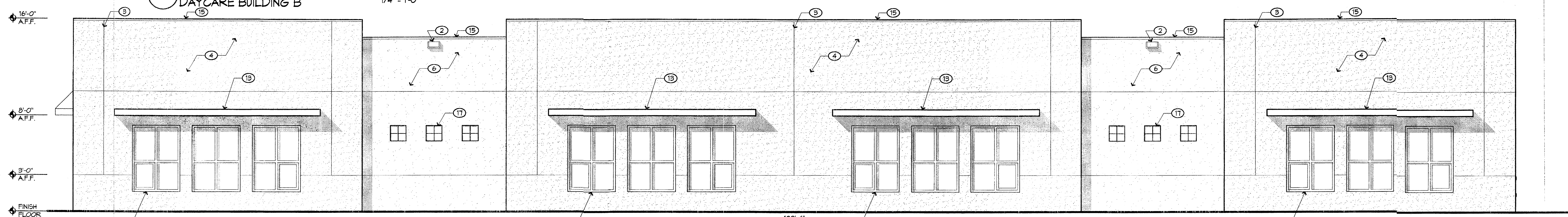
J. GRAEME MEANS
NEW MEXICO
13676
REGISTERED PROFESSIONAL ENGINEER
10/31/06
02/05/07



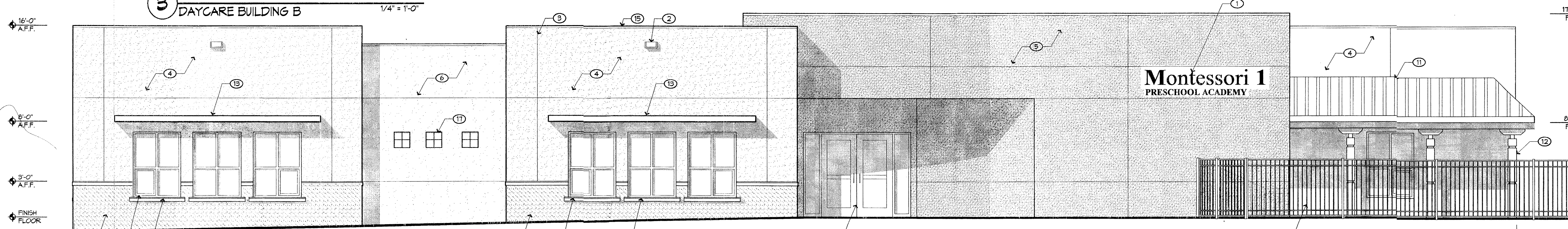
1 NORTH ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



2 SOUTH ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"

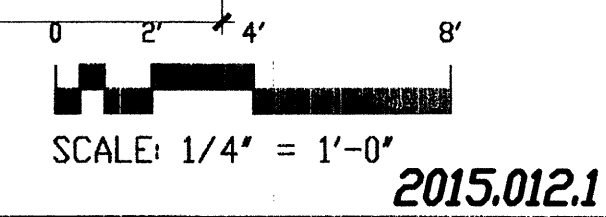


3 EAST ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



4 WEST ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"

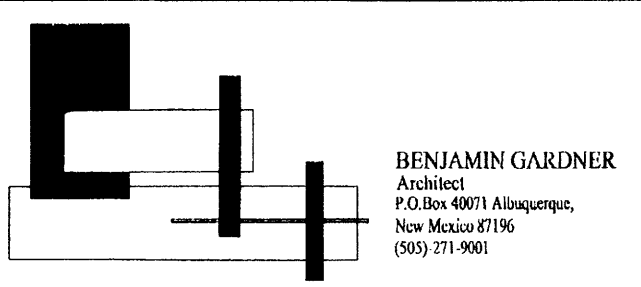
- GENERAL NOTES:**
- A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3
- KEYED NOTES:**
- PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. PRIMARY TITLE 16" TALL, SECONDARY TITLE 6" TALL. MEDIUM BRONZE COLOR.
 - OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
 - STUCCO CONTROL JOINT TYPICAL.
 - STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2847 (ROYAL FINISH)
 - STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR #2006-10 (COURSE FINISH)
 - STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
 - STACKED CULTURED STONE VENEER.
 - PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
 - ANODIZED ALUMINUM WINDOWS, MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
 - ANODIZED ALUMINUM STOREFRONT, MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
 - FACTORY FINISHED METAL ROOFING PANELS, MEDIUM BRONZE COLOR.
 - DECORATIVE STEEL COLUMNS AND STEEL CORBELS. PAINT FINISH, OFF WHITE COLOR (ICI OLD NAVAJO COLOR).
 - STEEL SUNSHADE, OFF WHITE COLOR (ICI OLD NAVAJO COLOR).
 - NOT USED
 - PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
 - PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
 - CLEAR GLASS BLOCK.
 - PAINTED METAL 5' TALL PLAY AREA FENCE. COLOR MEDIUM BRONZE.



File Path: P:\WORK\2015\012\1\DWG Plot Date: 04-29-2015
File Name: 150121_4-09-7.DWG Plot Time: 1:12 pm



JEFF MORTENSEN & ASSOCIATES, INC.
 6007-B HENWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (0003) 346-4250
 FAX: 505 345-4254 | ESTABLISHED 1977



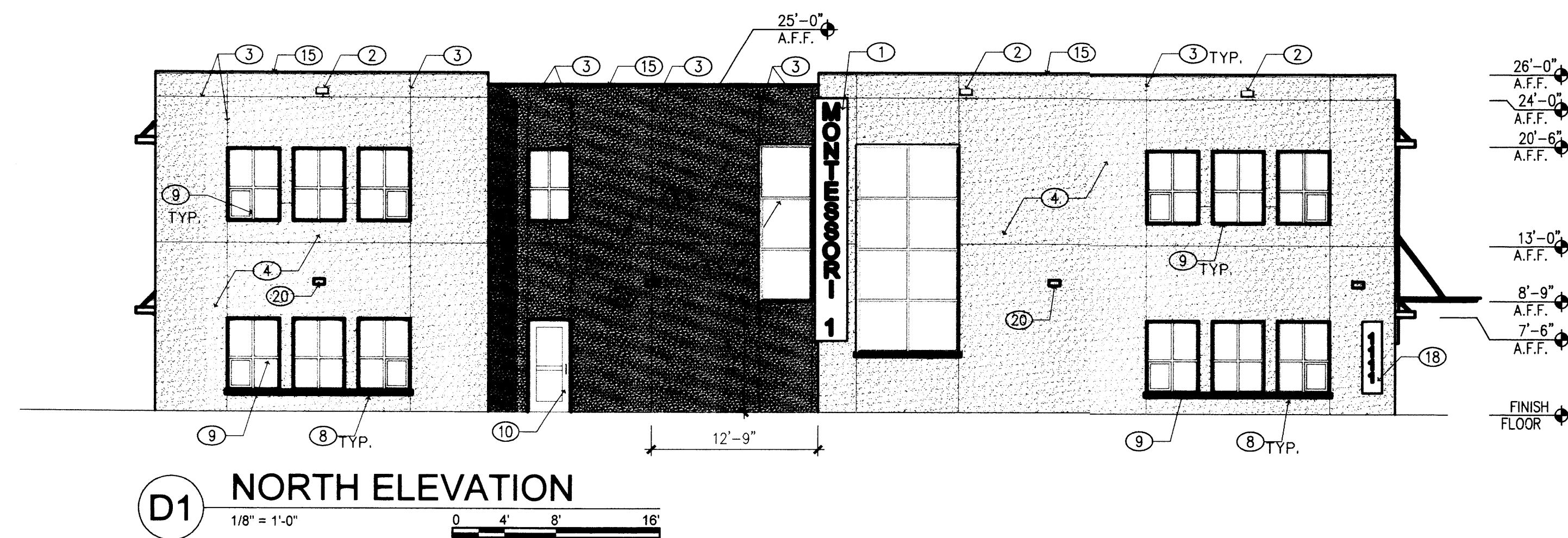
BENJAMIN GARDNER
 ARCHITECT
 P.O. BOX 4071 ALBUQUERQUE,
 NEW MEXICO 87116
 (505) 751-9001

ELEVATIONS BUILDING B
 MARK 3S HOLLY DEVELOPMENT

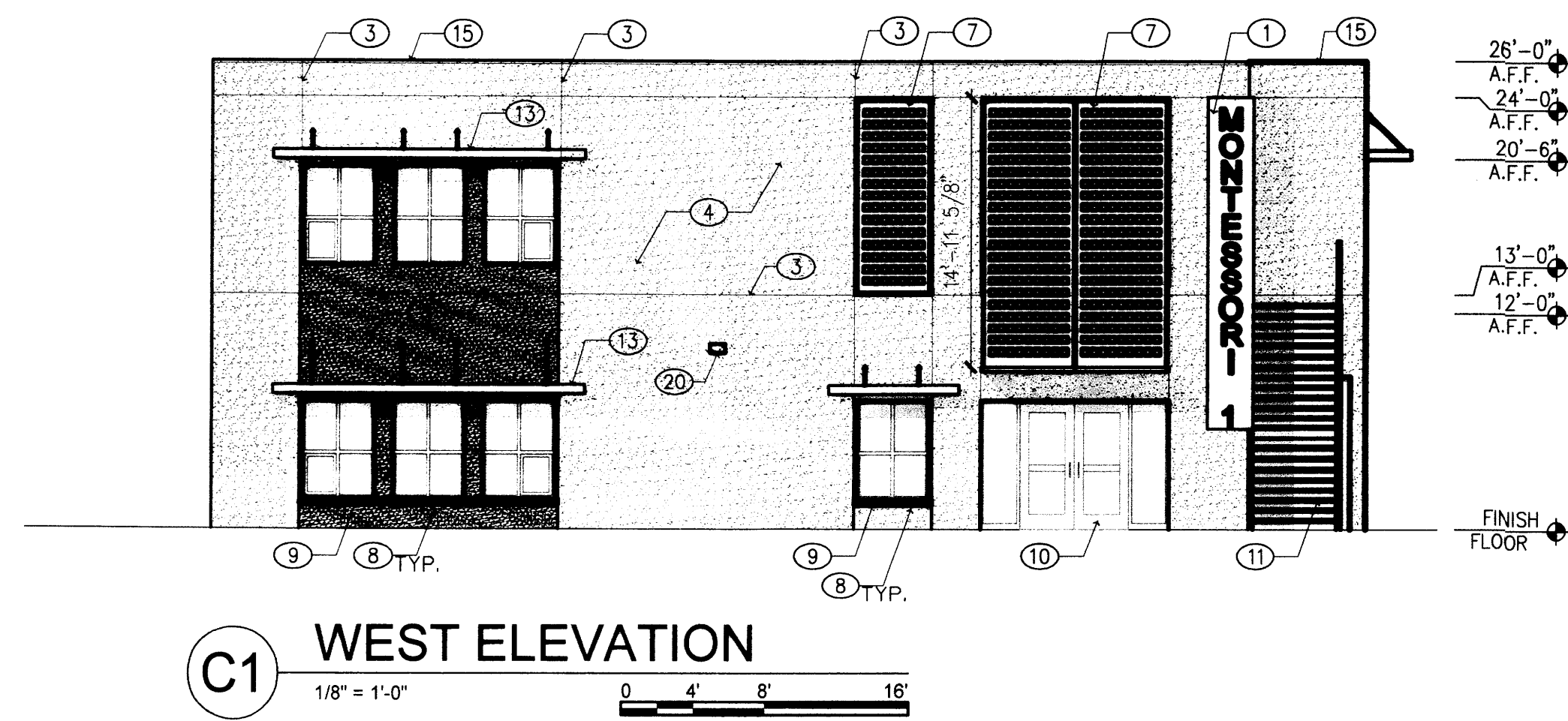
DESIGNED BY: B.G.
 DRAWN BY: T.N.
 APPROVED BY:

NO.	DATE	BY	REVISIONS
1	1/25/07	B.G.	REVISIONS PER EPC APPROVAL CONDITIONS.
	03/15	G.M.	NO CHANGE (EXISTING)

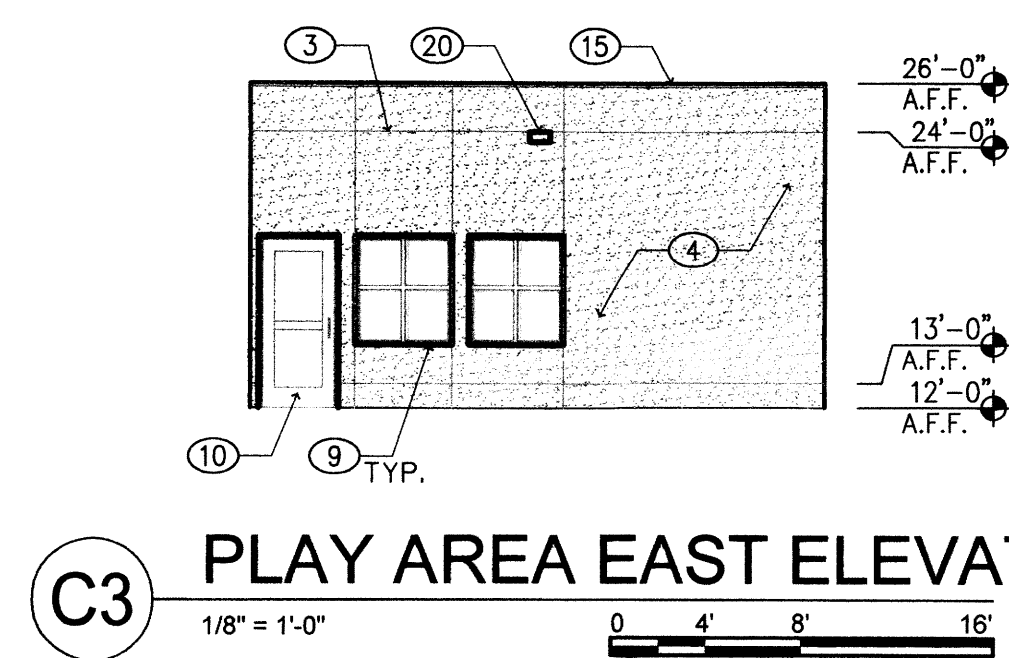
JOB NO. 2006.070.2
 DATE 10-2006
 SHEET 4A OF 7



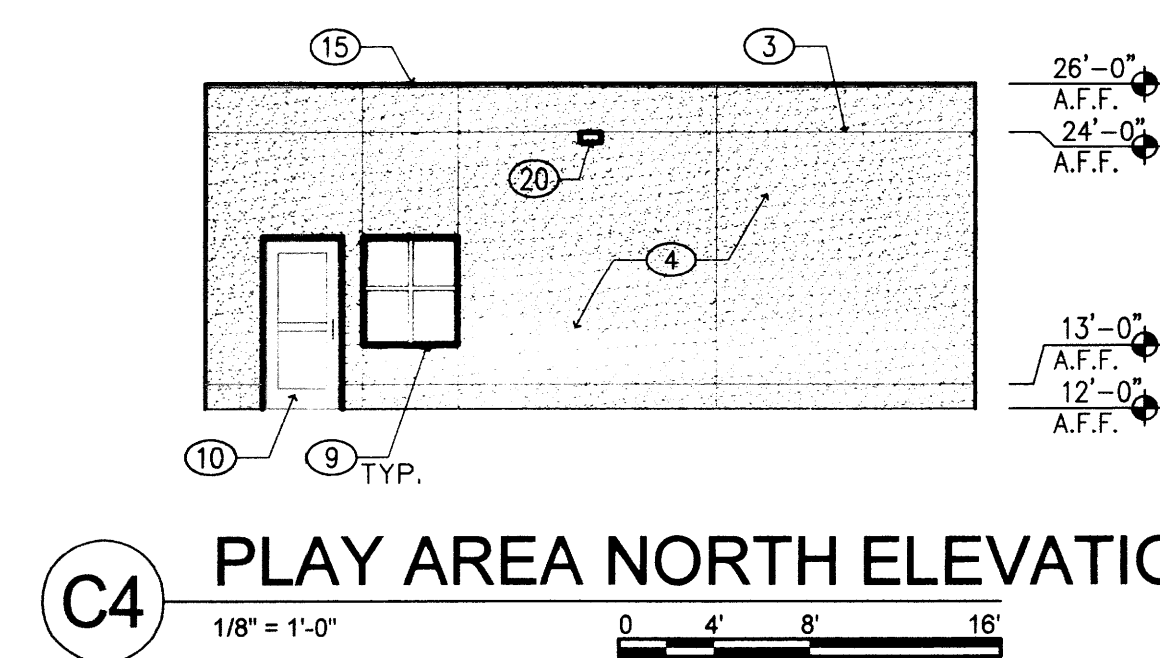
D1 NORTH ELEVATION
1/8" = 1'-0"



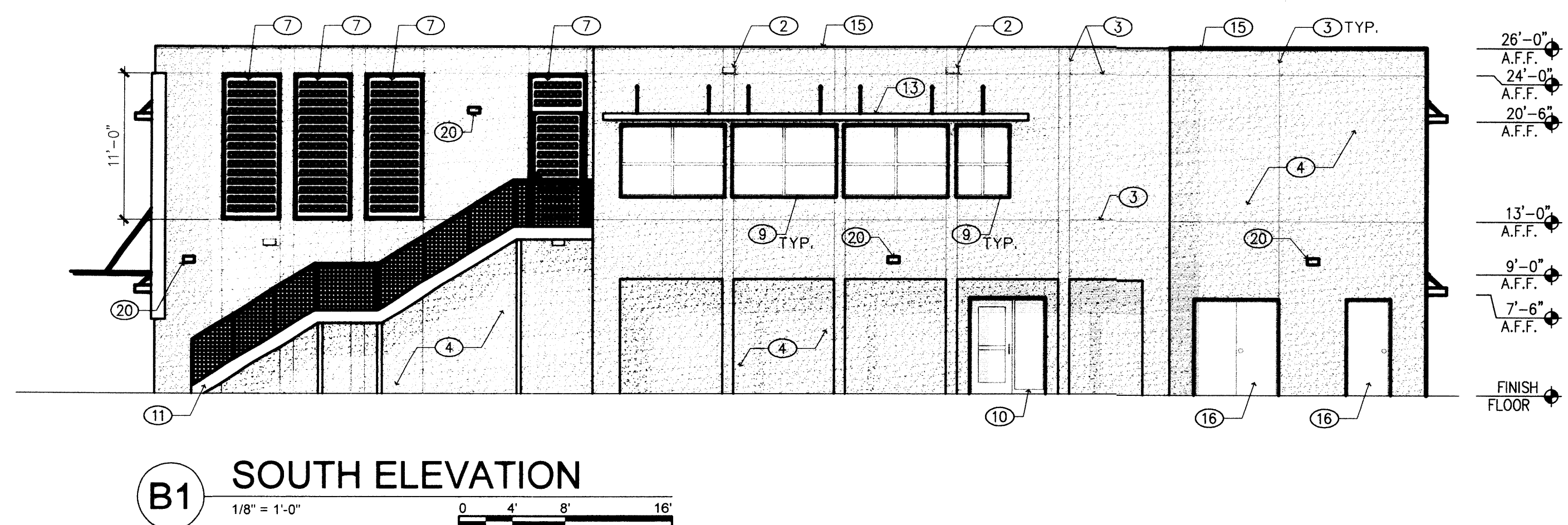
C1 WEST ELEVATION
1/8" = 1'-0"



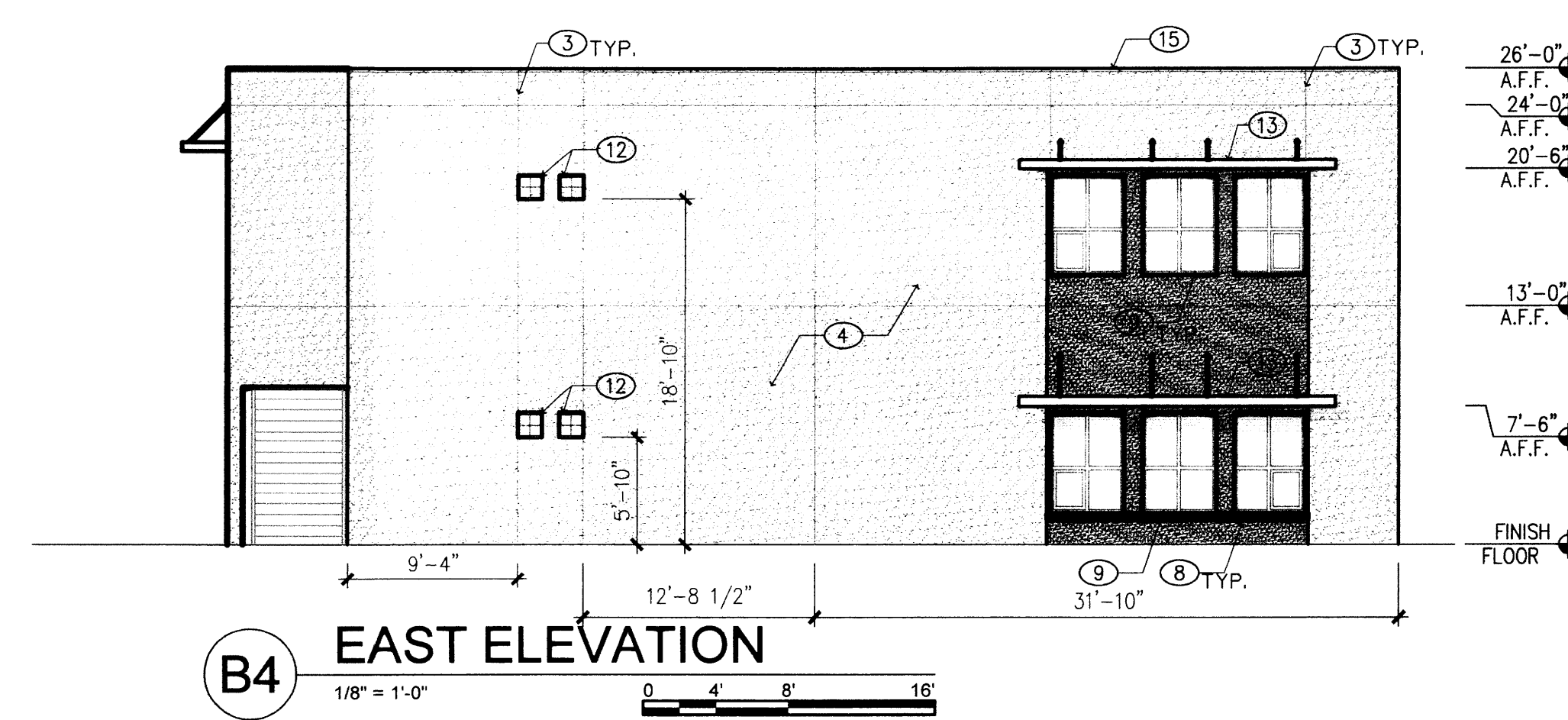
C3 PLAY AREA EAST ELEVATION
1/8" = 1'-0"



C4 PLAY AREA NORTH ELEVATION
1/8" = 1'-0"



B1 SOUTH ELEVATION
1/8" = 1'-0"



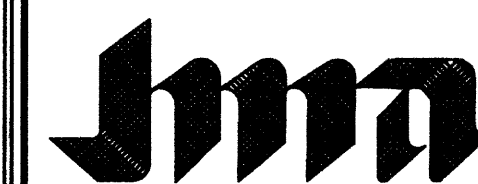
B4 EAST ELEVATION
1/8" = 1'-0"

GENERAL NOTES:
A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3

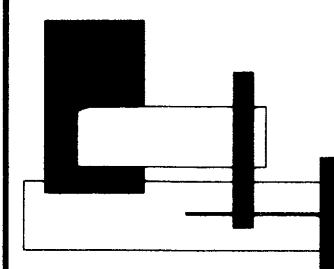
- KEYED NOTES:**
- PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. 14" TALL. MEDIUM BRONZE COLOR.
 - OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
 - STUCCO CONTROL JOINT TYPICAL.
 - STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2647 (ROYAL FINISH)
 - STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR # 2006-10 (COURSE FINISH)
 - STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
 - PERFORATED METAL PANEL
 - PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
 - ANODIZED ALUMINUM WINDOWS. MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
 - ANODIZED ALUMINUM STOREFRONT. MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
 - METAL STAIR
 - GLASS BLOCK WINDOWS
 - STEEL SUNSHADE RE: A291 FOR DETAILS. PAINT OFF WHITE COLOR (CI. OLD NAVAJO COLOR).
 - NOT USED
 - PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
 - PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
 - CLEAR GLASS BLOCK.
 - PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. 14" TALL. MEDIUM BRONZE COLOR. CONFIRM ADDRESS WITH OWNER
 - PAINT EXPOSED CONCRETE STEM TO MATCH ADJACENT STUCCO COLOR.
 - EXTERIOR BUILDING LIGHT. RE: ELECTRICAL

THIS SHEET REPLACES THE PREVIOUS SHEET

2015.012.1



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NM 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977



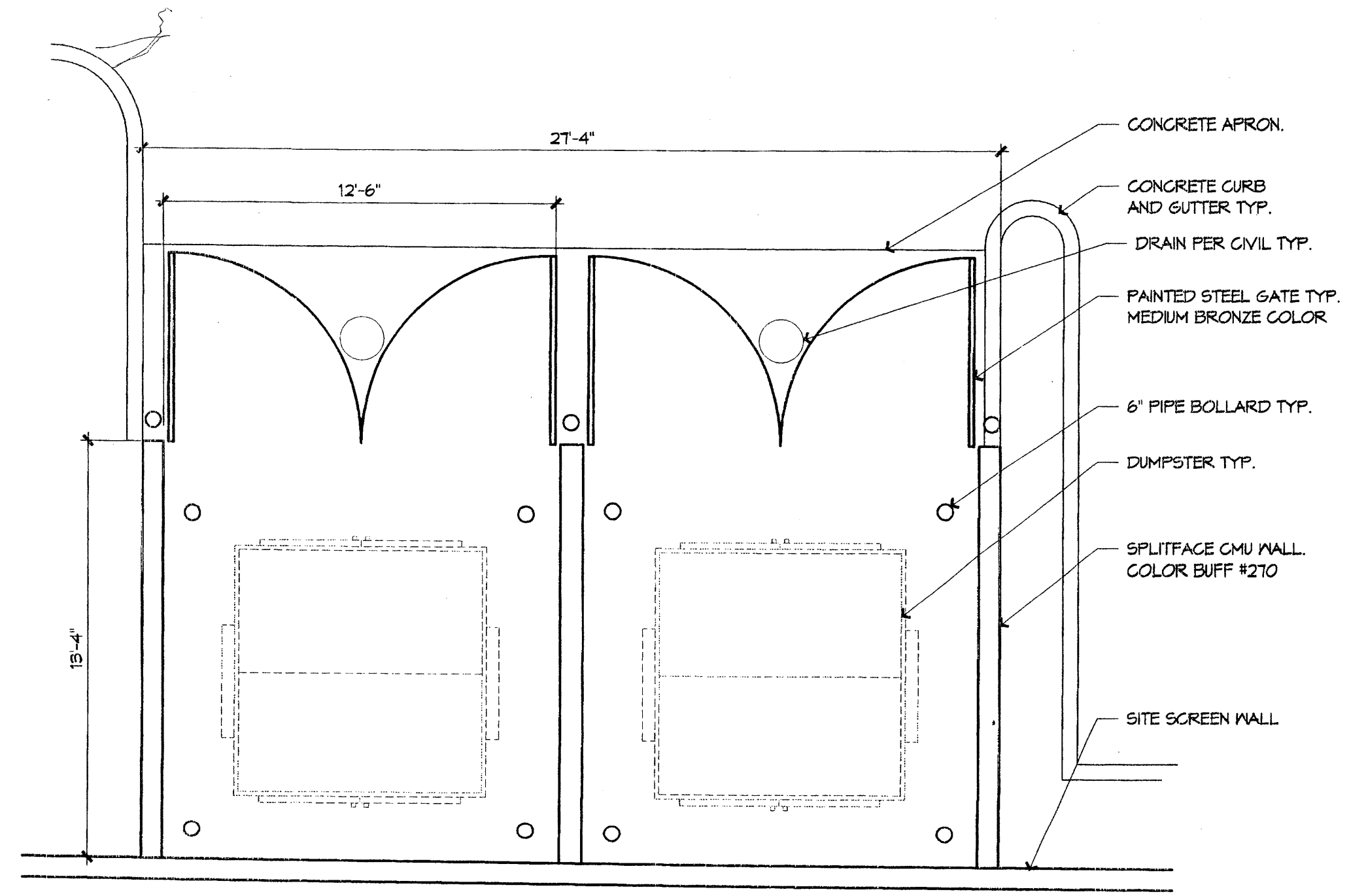
BENJAMIN GARDNER
Architect
P.O. Box 4077 Albuquerque,
New Mexico 87106
(505) 771-9001

**ELEVATIONS BUILDING A
MARK 3S HOLLY DEVELOPMENT**

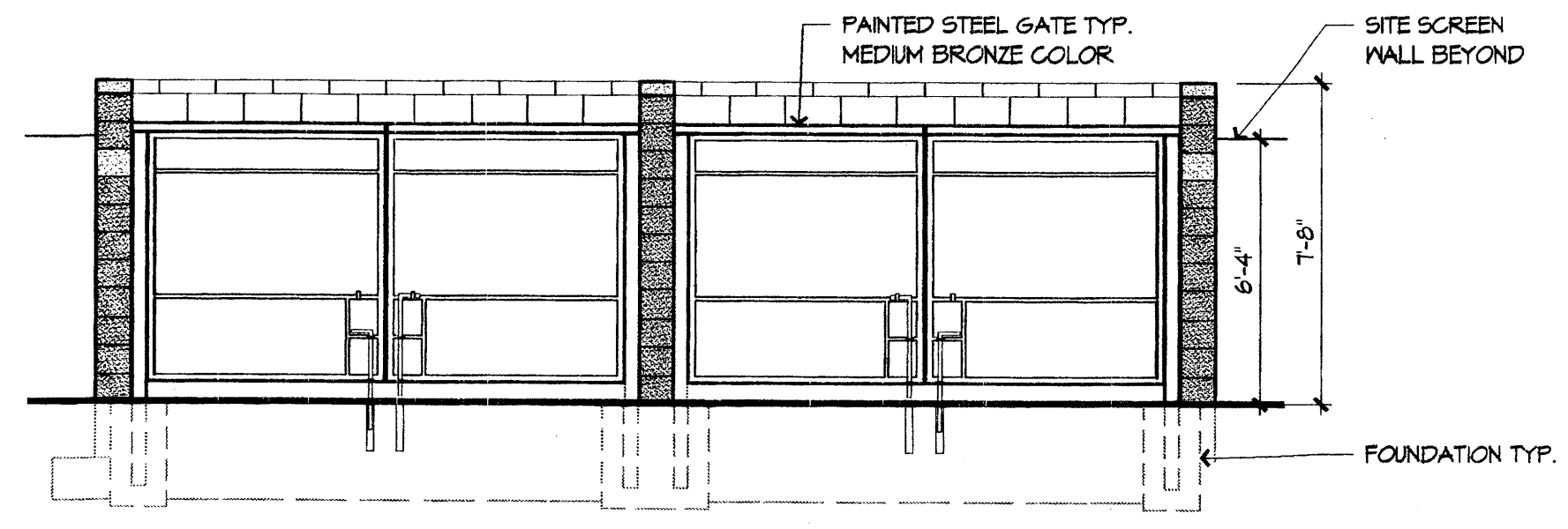
DESIGNED BY: B.G.
DRAWN BY: T.N.
APPROVED BY:

NO.	DATE	BY	REVISIONS
1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.
2	3/15	GM	ELEMENTARY SCHOOL AMENDMENT

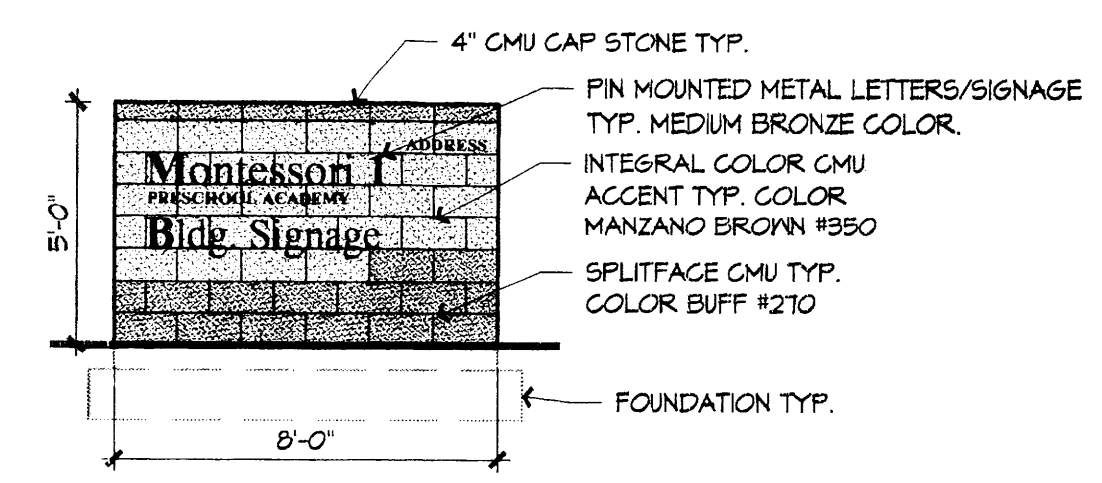
JOB NO.	2006-0702
DATE	10-2006
SHEET	5A OF 7



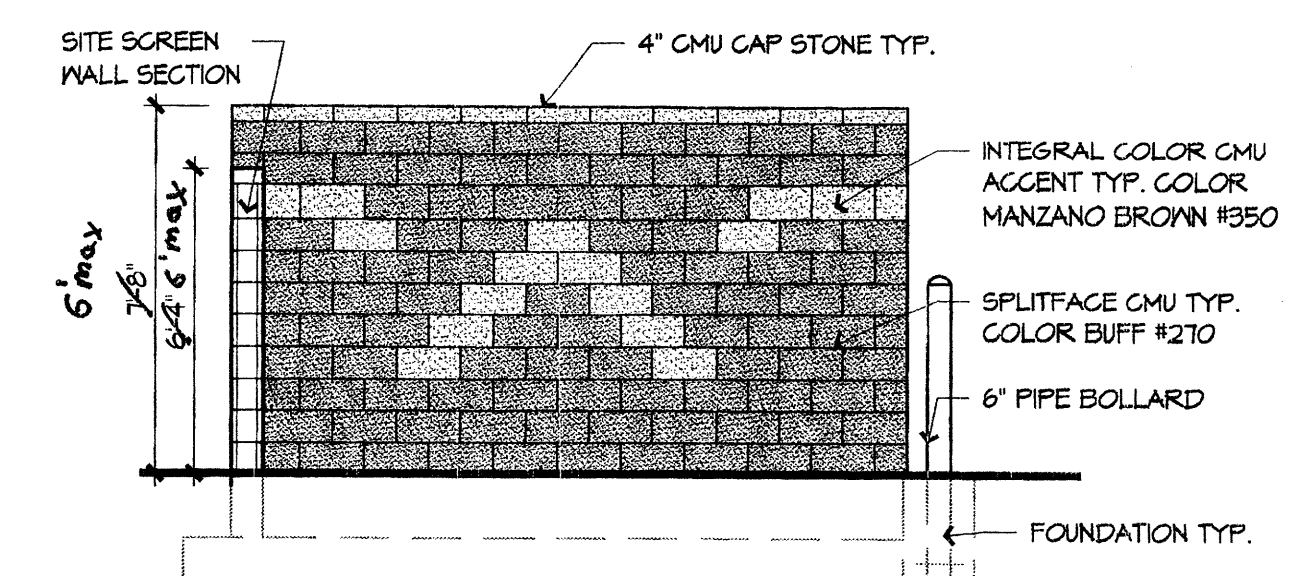
1 REFUSE ENCLOSURE
PLAN
1/4" = 1'-0"



2 REFUSE ENCLOSURE
FRONT ELEVATION
1/4" = 1'-0"

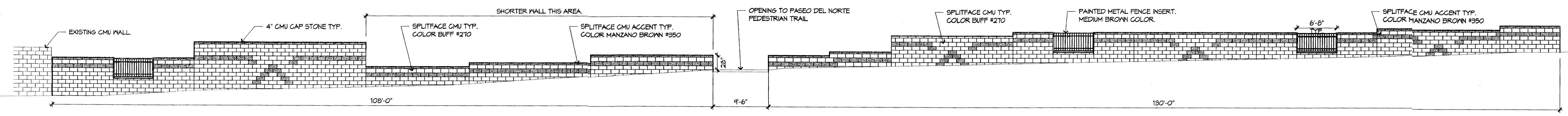
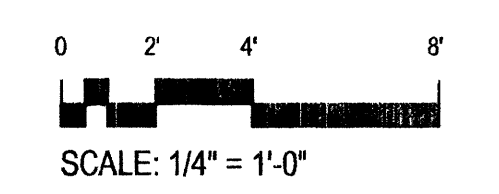


3 MONUMENT SIGN
ELEVATION
1/4" = 1'-0"



4 REFUSE ENCLOSURE
SIDE ELEVATIONS TYPICAL
1/4" = 1'-0"

5 SITE POLE LIGHTS
CUTSHEETS
NOTE: POLES = 20' TALL.
NTS

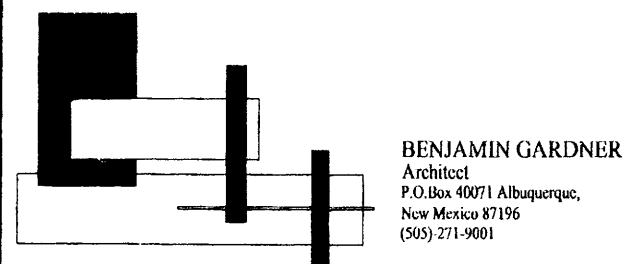


6 CMU SCREEN WALL
PASEO DEL NORTE ELEVATION.
1/8" = 1'-0"

File Path: R:\WORK\2015\01\10\1\DWG\10-10-15.dwg | Plot Date: 04-29-2015
 File Name: 10-10-15.dwg | Plot Time: 12:56 pm



JEFFERY M. ASSOCIATES, INC.
 4825-B HEDDEN PARK BLVD. #100
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS LICENSE 540-4820
 FAX 505 345-4254 | ESTABLISHED 1977



BENJAMIN GARDNER
 Architect
 P.O. Box 4021 Albuquerque,
 New Mexico 87106
 (505) 271-9801

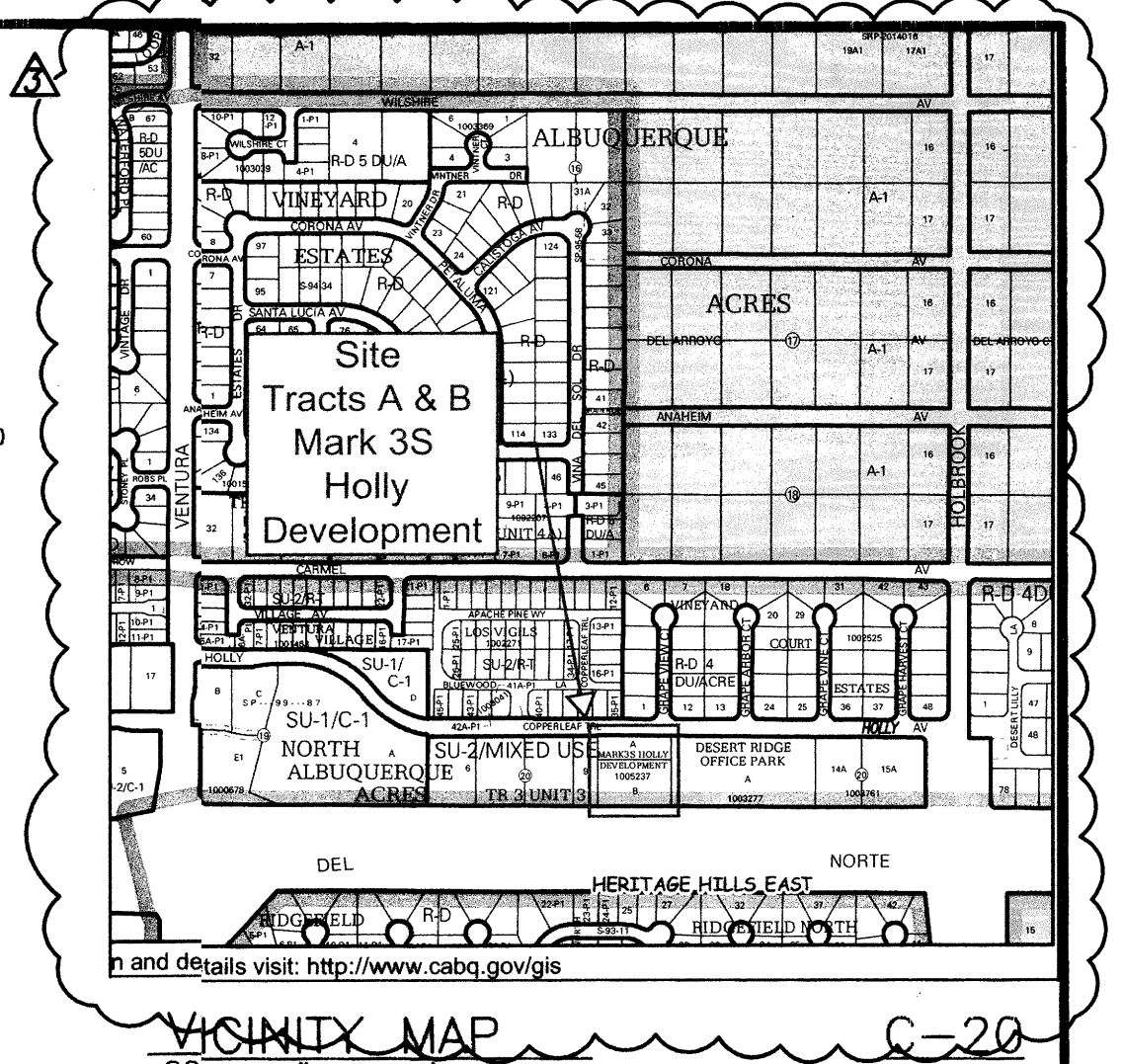
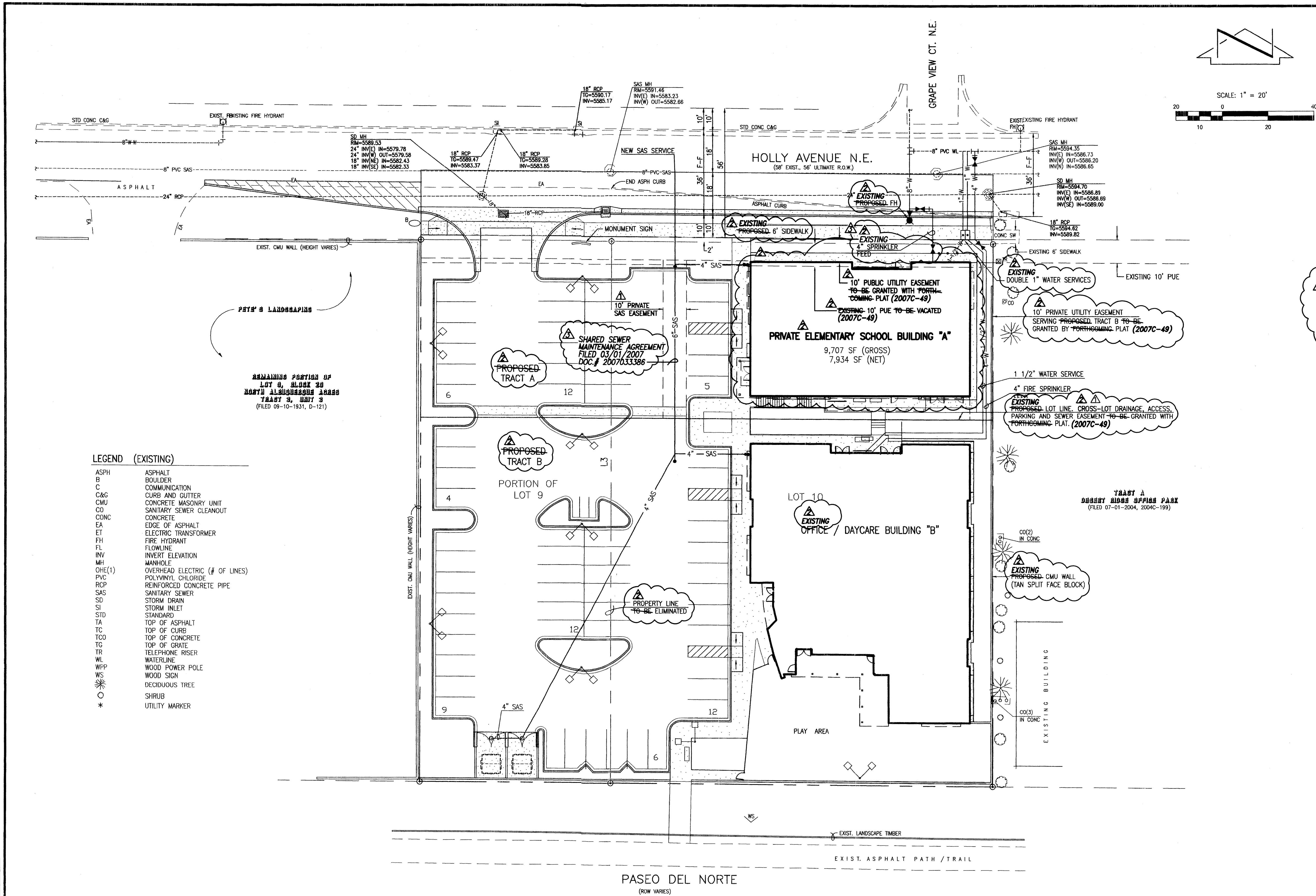
SITE DETAILS
MARK 3S HOLLY DEVELOPMENT

DESIGNED BY: B.G.
 DRAWN BY: T.N.
 APPROVED BY:

NO.	DATE	BY	REVISIONS	
			REVISIONS PER EPC APPROVAL CONDITIONS.	
1	1/25/07	BG		
2	03/15	G.M.	NO CHANGE (EXISTING)	

2015.012.1
 JOB NO. -2006.070.2
 DATE 10-2006
 SHEET 6A OF 7

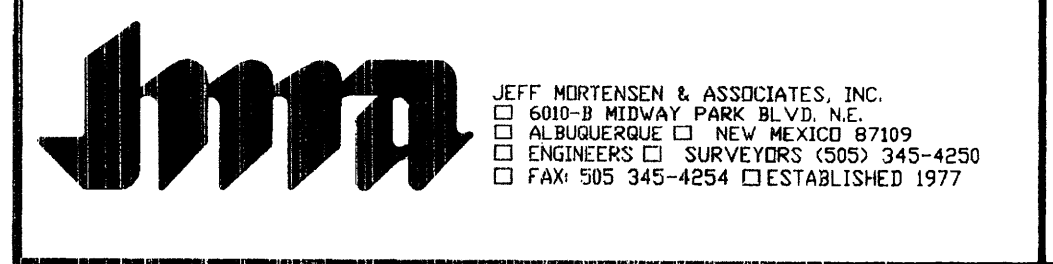
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 File Name: 60702UPR1.DWG Plot Time: 10:48 am



LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 29, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.
 TRACTS "A" AND "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)

LEGEND (EXISTING)

ASPH	ASPHALT
B	BOULDER
C	COMMUNICATION
C&G	CURB AND GUTTER
CMU	CONCRETE MASONRY UNIT
CO	SANITARY SEWER CLEANOUT
CONC	CONCRETE
EA	EDGE OF ASPHALT
ET	ELECTRIC TRANSFORMER
EH	FIRE HYDRANT
FL	FLOWLINE
INV	INVERT ELEVATION
MH	MANHOLE
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
STD	STANDARD
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TR	TELEPHONE RISER
WL	WATERLINE
WPP	WOOD POWER POLE
WS	WOOD SIGN
○	DECIDUOUS TREE
○	SHRUB
*	UTILITY MARKER



**CONCEPTUAL UTILITY PLAN
 MARK 3S HOLLY DEVELOPMENT**

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

J. GRAEME MEANS
 NEW MEXICO
 13676
 PROFESSIONAL ENGINEER
 10/31/06
 02/05/2007
 03/31/2015
 04/30/2015

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2006.070.2
DRAWN BY	RRW/JLP	1	01/07	G.M.	ADDRESS EPC COMMENTS	DATE	10-2006
APPROVED BY	G.M.	2	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT	SHEET	7A OF 7
		3	04/15	G.M.	ADDRESS PRELIMINARY REVIEW COMMENTS		