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Complete Ag
6/22/07

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70019 (SPB)
Project Name: JOURNAL CENTER, UNIT 2
Agent: Chesh Ent Inc.

Project # 1006503
Phone No.: 991-3213

Project Number 1006503

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/20/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: X- 3 COPIES 15 DAY APPEAL PERIOD
- X- CITY STANDARD DRAW A2'S
- X - PARKING COUNTS
- X - SMALL CAR SPACE PRINTING
- X - ADA RAMP ?

- UTILITIES: Remove encroachments (Light Pole) (Dumpster) from 20' waterline Easement.
- D.K. - MJB

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

15



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

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DRB Application No.: 07DRB-70019 (SPB)
Project Name: JOURNAL CENTER, UNIT 2
Agent: Chesh Ent Inc.

Project # 1006503
Phone No.: 991-3213

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: X- 3 COPIES 15 DAY APPEAL PERIOD
- X- CITY STANDARD DRAW #25
- X- PARKING COUNTS
- X - SMALL CAR SPACE PRINTING
- X - ADA RAMP ?

- UTILITIES: Remove encroachments (Light Pole) (Dumpster) from 20' waterline Easement.
-
-

- CITY ENGINEER / AMAFCA: _____
-
-

- PARKS / CIP: _____
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- PLANNING (Last to sign): _____
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- Copy of recorded plat for Planning.**

Project Number 1006503



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 20, 2007

5. Project# 1006503
07DRB-70019 MAJOR - SDP FOR BUILDING PERMIT


CHESH ENT INC request(s) the above action(s) for all or a portion of Lot(s) 6, **JOURNAL CENTER, UNIT 2**, zoned IP, located on MASTHEAD NE BETWEEN WASHINGTON NE AND JEFFERSON NE containing approximately .53 acre(s). (D-17)

At the June 20, 2007, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Utilities Development for removal of the encroachments in the 20-foot waterline easement and to Transportation Development for ADA ramp, small car space painting, parking counts, City Standard drawing notes, 15-day appeal period and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by July 5, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: Chesh Ent., Inc., 2811 Indian School Rd NE, 87106
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 20, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Kristal Metro, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:10 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1004178**
07DRB-70020 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)

GARCIA/KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or a portion of Block(s) 27, Tract(s) G-1 & G-2, **MESA VILLAGE** zoned O-1, located on EUBANK BLVD NE BETWEEN LOMAS BLVD NE AND WALKER NE containing approximately 2.2 acre(s). (J-20) **THE TWO-YEAR SIA WAS APPROVED.**

2. **Project# 1003857**
07DRB-70017 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70018 MINOR - TEMP DEFR
SWDK CONST

BRASHER AND LORENZ INC agent(s) for MIKE GONZALES request(s) the above action(s) for all or a portion of Lot(s) A, **BARELAS TOWN HOMES** zoned SU-2 FOR RT, located on SIMPIER LN SW BETWEEN FOURTH ST SW AND EIGHTH ST SW containing approximately 1.0618 acre(s). [REF: 06DRB-01300] (L-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 05/11/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: A SIDEWALK WAIVER REQUEST AND SUBDIVISION DESIGN VARIANCE ARE REQUIRED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project# 1005343**
07DRB-70016 VACATION OF PUBLIC
RIGHT-OF-WAY

SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for all or a portion of Lot(s) 3-A, **MANKIN INC** zoned C-2, located on SKYLINE RD NE BETWEEN I-40 AND CENTRAL AVE NE. [REF: 07DRB00066, 07DRB00067] (L-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project# 1006502**
07DRB-70015 VACATION OF PUBLIC
EASEMENT

A & J HOMES INC agent(s) for BEATRICE ALCON request(s) the above action(s) for all or a portion of Lot(s) FF, Block(s) 4, **THE PALISADES REPLAT** zoned R-1, located on LA BAJADA CT NW BETWEEN PALISADES NW AND LA RAJADA DR NW containing approximately .2475 acre(s). (J-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project# 1006503**
07DRB-70019 MAJOR - SDP FOR
BUILDING PERMIT

CESH ENT INC request(s) the above action(s) for all or a portion of Lot(s) 6, **JOURNAL CENTER, UNIT 2**, zoned IP, located on MASTHEAD NE BETWEEN WASHINGTON NE AND JEFFERSON NE containing approximately .53 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REMOVAL OF THE ENCROACHMENTS IN THE 20-FOOT WATERLINE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR ADA RAMP, SMALL CAR SPACE PAINTING, PARKING COUNTS, CITY STANDARD DRAWING NOTES, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

6. **Project # 1002962**
07DRB-00613 Major-SiteDev Plan Subd
07DRB-00615 Major-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] [Deferred from 06/06/07 & 06/20/07] (C-9) **DEFERRED AT AGENT'S REQUEST TO 06/27/07.**

7. **Project # 1005031**
06DRB-01077 Major-Vacation of Public
Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

- 06DRB-01017 Major-Preliminary Plat
Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06, 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

- 06DRB-01282 Minor-Subd Design (DPM)
Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

8. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat
Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

9. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Minor-Vacation of Private
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06,12/13/06, 1/3/07,1/17/07, 2/7/07, 2/28/07, 3/21/07,04/11/07, 05/02/07 & 5/30/07 & 6/20/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/11/07.**

10. **Project # 1005564**
07DRB-00619 Major-Preliminary Plat
Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or any portion of Tract(s) 212-BIA & 210-BIA, **RIO PERLES ADDITION**, zoned R-2, located on AMADO NW between RICE RD NW and SERNA RD NW containing approximately 1 acre(s). [Deferred from 06/06/07 & 6/20/07] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 7/25/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

11. **Project# 1000762**
07DRB-70053 EPC APPROVED SDP
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for all or a portion of Tract(s) 2B, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on PASEO DEL NORTE NW BETWEEN PARADISE BLVD NW AND EAGLE RANCH RD NW containing approximately 21 acre(s). [Carmen Marrone for Stephanie Shumsky, EPC Case Planner] (C-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SEVERAL COMMENTS AND TO PLANNING FOR 3 COPIES.**

12. **Project# 1005482**
07DRB-70059 EPC APPROVED SDP
FOR BUILD PERMIT

DESIGN PLUS LLC agent(s) for STONEBRIDGE INVESTMENT GROUP request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **MIRA MESA ESTATES**, zoned C-2 SC, located on HANOVER RD NW BETWEEN 64th ST NW AND 68th ST NW containing approximately 5 acre(s). [Anna Di Mambro, EPC Case Planner] [Deferred from 6/20/07] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/27/07.**

13. **Project# 1006505**
07DRB-70021 MINOR - SDP FOR
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for EDDIE CORLEY JR & SR LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & a portion 21, Tract(s) A, Block(s) 9, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **CORLEY'S ALBUQUERQUE**) zoned SU-2 FOR IP USES, located on EAGLE ROCK ROAD NE BETWEEN EAST FRONTAGE ROAD NE AND SAN PEDRO NE containing approximately 3.9 acre(s). *[Deferred from 06/06/07 & 6/13/07]* (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

07DRB-70055 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for EDDIE CORLEY request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & portion of 21, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, Unit(s) B**, zoned SU-2 IP, located on EAGLE ROCK AVE NE BETWEEN PAN AMERICAN FREEWAY NE AND SAN PEDRO DR NE containing approximately 4.7346 acre(s). (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/21/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

14. **Project# 1004878**
07DRB-70050 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for GEORGE METZGAR request(s) the above action(s) for all or a portion of Lot(s) 9-A, 9-B, 9-C & 9-D, Block(s) A, **SOUTH BROADWAY ACRES, Unit(s) 1**, zoned SU-2 MR, located on BETHEL DR SE AND TOPEKA ST SE containing approximately 1.2413 acre(s). (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project# 1005240**
07DRB-70056 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for ROBIN HENDREXSON request(s) the above action(s) for all or a portion of Tract(s) H-1 & K-1, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 FOR PLANNED IND DEVELOP, located on BROADWAY BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately 4.3249 acre(s). (H-14/15) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project# 1004161**
07DRB-70040 MAJOR - FINAL PLAT
APPROVAL

HIGH MESA CONSULTING GROUP agent(s) for WILLIAM AND BENITA BRENNAN request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RIVERSIDE PLAZA**, zoned SU-1 FOR PRD/8DU/ACRE REQ. LANDSCAPE, located on WINTER HAVEN RD NW BETWEEN LA ORILLA RD NW AND MONTANO PLAZA DRIVE NW containing approximately 3.1719 acre(s). (E-12) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 2 SEWER ACCOUNTS FOR THE EXISTING HOMES AND TO PLANNING FOR HOMEOWNERS ASSOCIATION COMMENTS AND RESTRICTIONS, PARK NOTE AND OPEN SPACE REQUIREMENT.**

17. **Project# 1000072**
07DRB-70041 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DR HORTON request(s) the above action(s) for all or a portion of Tract(s) AA & BB, Block(s) 1, **CARMEL SUBDIVISION**, zoned R-D, located on CARMELITO LOOP NE BETWEEN HOLLY AVE NE AND CARMEL AVE NE containing approximately .1491 acre(s). [Indef Def from 6/20/07](C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

18. **Project #1003828**
07DRB-00717 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12TH ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). [Defer from 06/20/07] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/11/07.**

19. **Project# 1003445**
07DRB-70054 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 39.9074 acre(s). [REF: 07DRB00261] (C-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/04/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: VACATE THE 10-FOOT PUBLIC UTILITY EASEMENT, MAINTENANCE AND BENEFICIARIES OF 24-FOOT EASEMENT AND NOTE 5, A ROUNDABOUT DESIGN AND ENSURE 1-FOOT PUBLIC RIGHT-OF-WAY EASEMENT IS EXCLUSIVE OF 10-FOOT PUBLIC UTILITY EASEMENT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

20. **Project# 1003364**
07DRB-70003 EPC APPROVED SDP
FOR BUILD PERMIT

TAFAZZUL HUSSAIN agent(s) for PHILLIP LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE containing approximately 1 acre(s). [Anna DiMambro, EPC Case Planner] [Indef deferred from 5/30/07] [Defer from 06/20/07] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/27/07.**

21. **Project# 1003692**
07DRB-70035 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) [Deferred from 6/13/07 & Indef Deferred on 06/20/07] **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

22. **Project# 1006543**
07DRB-70058 SKETCH PLAT REVIEW
AND COMMENT

SURVEYS SOUTHWEST LTD agent(s) for ALBERTSON'S INC request(s) the above action(s) for all or a portion of Tract(s) 61 A-1, **TOWN OF ATRISCO GRANT, UNIT 6**, zoned C-2, located on CENTRAL AVE SW BETWEEN COORS BLVD SW AND AMANDA ST SW containing approximately 6.195 acre(s). (K 10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project# 1006541**
07DRB-70057 SKETCH PLAT REVIEW
AND COMMENT

HOWARD KARNES & BARBARA REDISH agent(s) request(s) the above action(s) for all or a portion of Lot(s) 11 & 10, Block(s) D, **CHIMNEY RIDGE TOWNHOUSES, A BURNSIDE ENTERPRISE UNIT 6**, zoned SU-1 PUD, located on DEL CAMPO PL NE BETWEEN SAN PEDRO NE AND OSUNA NE. (F-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. Approval of the Development Review Board Minutes for June 13, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JUNE 13, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:10 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1006503

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

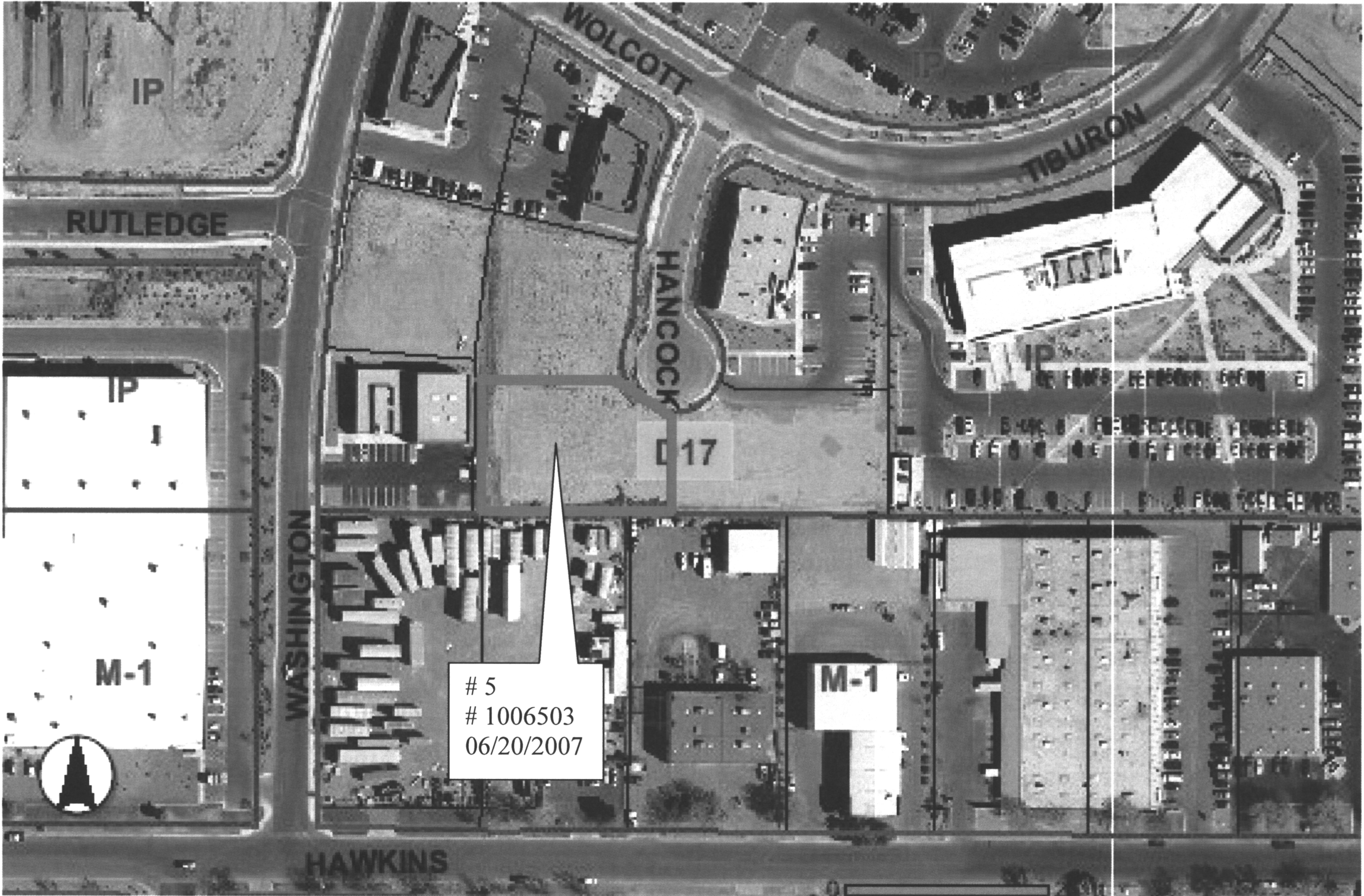
SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee
(D-17/D003AA5)

DATE: JUNE 20, 2007

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1006503 AGENDA# 5 DATE: 6/20/07

1. Name: Michael Ryan Address: Environmental Dynamics Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



5
1006503
06/20/2007





CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 20, 2007

Project# 1006503
07DRB-70019 MAJOR - SDP FOR BUILDING PERMIT

CHESH ENT INC request(s) the above action(s) for all or a portion of Lot(s) 6,
JOURNAL CENTER, UNIT 2, zoned IP, located on MASTHEAD NE BETWEEN
WASHINGTON NE AND JEFFERSON NE containing approximately .53 acre(s). (D-17)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No comments received.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter(s) sent to Alameda North Valley Assoc. (R).

APS The proposed office building located at, Lot 6, Journal Center Unit 2,
Masthead St NE, and between Washington St NE and Jefferson St NE,
will have no adverse impacts on the APS district.

Police Department

A review of the following DRB case(s) indicates the following problems or crime may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Lighting issues - should adequately illuminate walk ways, parking areas, building entrances, and common areas.

- Maintenance of landscaping - should not be in conflict with proposed lighting, be low level variety when mature and not obstruct visibility of walkways, building entrances, and parking lots.

Other - Building entrances and outer facing windows should not obstruct visibility of walkways and parking areas.

- Each possible tenant should have the ability to see and be seen by each other.

Fire Department

No comments received.

PNM Electric & Gas

This request is NOT APPROVED-Easements for Electric & Gas Utilities not available.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No adverse comments.

Open Space Division

No adverse comments.

City Engineer

No adverse comments.

Transportation Development

Work within public right-of-way requires either a work order or the City Standard Drawing Numbers need to be referenced. Where is the curb cut for the lot to the north? (will the proposed curb cut interfere with ADA compliance?) The parking counts are two short. (Motorcycle parking is in addition to the required counts?) Small car spaces need to be painted on the pavement. How will the 6' pedestrian path work with ADA compliance at the curb cut?

Parks & Recreation

No objection.

Utilities Development

Comments will be provided at the hearing.

Planning Department

Planning has no objection to the approval of this site plan. The Journal Center approval letter is in the file. We will take delegation for 3 copies of the site plan.

Impact Fee Administrator

Construction of a new office building within the proposed subdivision will require payment of Impact Fees. Based on the proposed site development plan showing 5,532 square feet of office space, and an estimated impervious acreage of 0.39 acres, it is estimated that impact fees will be the following: Drainage Fees will be approximately \$3,981; Public Safety Fees will be approximately \$553; and Roadways Fees will be approximately \$24,407. The total for Impact Fees will be approximately \$28,941.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Chesh Ent., Inc., 2811 Indian School Rd NE, 87106

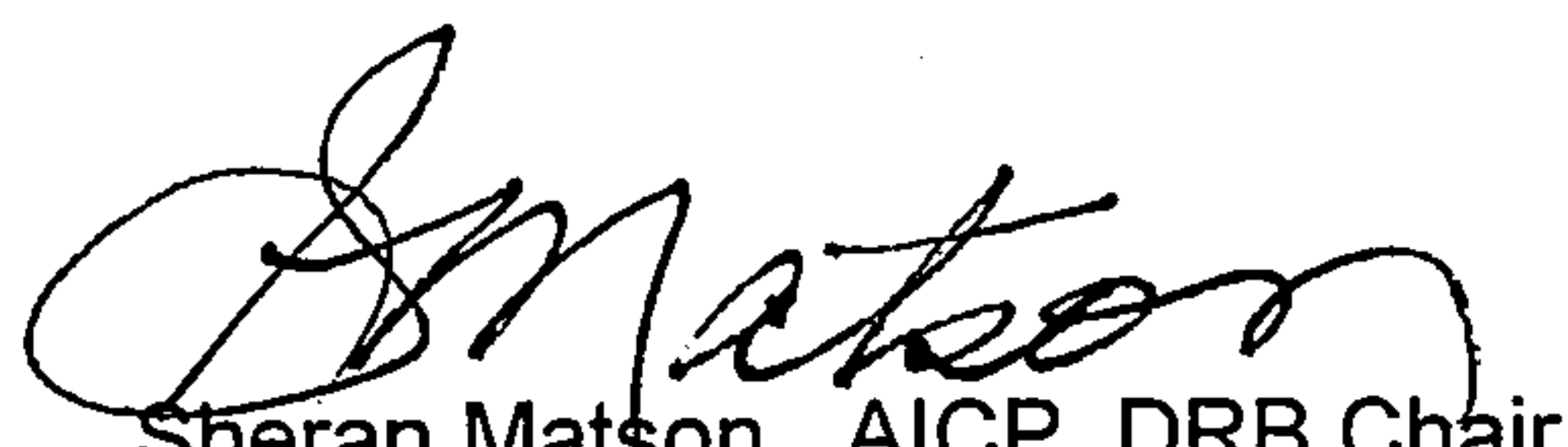


**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 20, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

- Project# 1004178**
07DRB-70020 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)
- GARCIA/KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or a portion of Block(s) 27, Tract(s) G-1 & G-2, **MESA VILLAGE** zoned O-1, located on EUBANK BLVD NE BETWEEN LOMAS BLVD NE AND WALKER NE containing approximately 2.2 acre(s). (J-20)
- Project# 1003857**
07DRB-70017 MAJOR - PRELIMINARY PLAT
APPROVAL
07DRB-70018 MINOR - TEMP DEFR SWDK
CONST
- BRASHER AND LORENZ INC agent(s) for MIKE GONZALES request(s) the above action(s) for all or a portion of Lot(s) A, **BARELAS TOWN HOMES** zoned SU-2 FOR RT, located on SIMPIER LN SW BETWEEN FOURTH ST SW AND EIGHTH ST SW containing approximately 1.0618 acre(s). [REF: 06DRB-01300] (L-14)
- Project# 1005343**
07DRB-70016 VACATION OF PUBLIC
RIGHT-OF-WAY
- SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for all or a portion of Lot(s) 3-A, **MANKIN INC** zoned C-2, located on SKYLINE RD NE BETWEEN I-40 AND CENTRAL AVE NE. [REF: 07DRB00066, 07DRB00067] (L-22)
- Project# 1006502**
07DRB-70015 VACATION OF PUBLIC
EASEMENT
- A & J HOMES INC agent(s) for BEATRICE ALCON request(s) the above action(s) for all or a portion of Lot(s) FF, Block(s) 4, **THE PALISADES REPLAT** zoned R-1, located on LA BAJADA CT NW BETWEEN PALISADES NW AND LA RAJADA DR NW containing approximately .2475 acre(s). (J-11)
- Project# 1006503**
07DRB-70019 MAJOR - SDP FOR BUILDING
PERMIT
- CESH ENT INC request(s) the above action(s) for all or a portion of Lot(s) 6, **JOURNAL CENTER, UNIT 2**, zoned IP, located on MASTHEAD NE BETWEEN WASHINGTON NE AND JEFFERSON NE containing approximately .53 acre(s). (D-17)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361-- TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 4, 2007.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: June 20, 2007
Z one Atlas Page: D-17
Notification Radius: 100 Ft.

Project# 1006503
App#07DRB-70019

Cross Reference and Location: MASTHEAD AND HAWKINS NE BETWEEN
WASHINGTON AND JEFFERSON NE

Applicant: CHESH ENT, INC.
2811 INDIAN SCHOOL RD NE
ALBUQUERQUE, NM 87106

Agent:

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JUNE 1, 2007
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): Chesh Ent, Inc. PHONE: 991-3213
 ADDRESS: 2811 Indian School Rd NE FAX: 792-5758
 CITY: Alb, STATE NM ZIP 87106 E-MAIL: luchesh@msn.com

APPLICANT: Same as above PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Bldg Permit for shell-office Bldg.
Lot 6, Journal Ctr 2

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 6 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Journal Center 2
 Existing Zoning: IP Proposed zoning: _____
 Zone Atlas page(s): D-17-2 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .53
 LOCATION OF PROPERTY BY STREETS: On or Near: Masthead & Hawkins (N/S) NE
 Between: Washington and Jefferson NE (W/E)
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Vonda Cheshire, Pres, Chesh Ent, Inc. DATE 5/25/2007
 (Print) Vonda Cheshire Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB-70019</u>	<u>SBP</u>	<u>P2</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	<u>ADD</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> E.H.D.P. fee rebate	Hearing date <u>6/20/07</u>	_____	_____	<u>\$ 480.00</u>

cash allow 5/25/07 Project # 1006503

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
- Solid Waste Management Department signature on Site Plan *across hall/call*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp *8th Floor*
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN

FOR SUBDIVISION or BUILDING PERMIT (DRB10)

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Vonda C. Cheshire, Pres, Chesh Ent, Inc.
 Applicant name (print)
Vonda C. Cheshire, Pres, Chesh Ent, Inc.
 Applicant signature / date



Form revised APRIL 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 07DRB - 70019

John Weber 5/25/07
 Planner signature / date
 Project # 1006503

R e c	UPC CODE	OWNER	OWNER ADDRES S	OWN ER CITY	OWN ER ST ATE	OWN ER ZIP CODE	PR OP ER TY CL AS S	TA X DI ST RI CT	LEGAL
1	101706 323415 130602	NEW MEXICO CREDIT UNI ON LEAGUE SERVICES CO RP	4201 W OLCOTT AVE NE	ALBU QUER QUE	N M	87 10 9	C	A1 A	LT 7-A PLAT FOR LOTS 7-A & 8- A JOURNAL CENTER PHASE 2 UNIT 1 BEIN G A REPLAT OF LOTS 7 & 8 JOURNAL CEN TER PHASE 2 UNIT 1 CONT .5777 AC
2	101706 323516 630601	NEW MEXICO CREDIT UNI ON LEAGUE SERVICES CO RP	4201 W OLCOTT AVE NE	ALBU QUER QUE	N M	87 10 9	C	A1 A	LT 8-A PLAT FOR LOTS 7-A & 8- A JOURNAL CENTER PHASE 2 UNIT 1 BEIN G A REPLAT OF LOTS 7 & 8 JOURNAL CEN TER PHASE 2 UNIT 1 CONT .8091 AC
3	101706 320612 530610	SCOTSMAN GROUP INC C/ O WILLIAMS SCOTSMAN IN C	PO BOX 986	BALTI MOR E	M D	21 20 3	C	A1 A	LOT 7 INTERSTATE INDUSTRIAL TRACT UN IT #4 CONT 1.0216 AC
4	101706 322112 530611	SIRKEL WILLIAM D & CARO LYN A CO TRUSTEES SIRK EL FAMILY REV TRUST	16140 E SAGUA RO	FOUN TAIN HILLS	AZ	85 26 8	C	A1 A	LOT 6 INTERSTATE INDUSTRIAL TRACT UN IT #4 CONT 1.0217 AC
5	101706 323712 530612	BAILEY JOHN G	4211 H AWKINS NE	ALBU QUER QUE	N M	87 10 9	C	A1 A	LOT 5 INTERSTATE INDUSTRIAL TRACT UN IT #4 CONT 1.0218 AC
6	101706 320516 330603	PEARSON JOHN DAVID	11612 P ENDIELD LN NE	ALBU QUER QUE	N M	87 11 1	V	A1 A	LOT 6 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5362 AC
7	101706 320317 230604	PADILLA MATTHEW M & SH IRLEY J	8301 FL ORENCE AVE NE	ALBU QUER QUE	N M	87 12 2	V	A1 A	LOT 5 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5016 AC
8	101706 319217 530607	THREE AM LLC	49 SAN TA MARI ARD	COR RALE S	N M	87 04 8	V	A1 A	LOT 2 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5168 AC
9	101706 319212 530609	SCOTSMAN GROUP INC C/ O WILLIAMS SCOTSMAN IN C	PO BOX 986	BALTI MOR E	M D	21 20 3	C	A1 A	LOT 8 INTERSTATE INDUSTRIAL TRACT U NIT #4 CONT 1.0215 AC
1 0	101706 319016 530608	BLUE HOLE LTD CO	PO BOX 94084	ALBU QUER QUE	N M	87 19 9	V	A1 A	LOT 1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5211 AC

Or Current Resident
BAILEY JOHN G
4211 HAWKINS NE
ALBUQUERQUE, NM 87109

Or Current Resident
PADILLA MATTHEW M & SHIRLEY J
8301 FLORENCE AVE NE
ALBUQUERQUE, NM 87122

Or Current Resident
SIRKEL WILLIAM D & CAROLYN A
CO TRUSTEES SIRKEL FAMILY REV
TRUST
16140 E SAGUARO
FOUNTAIN HILLS, AZ 85268

Project# 1006503
STEVE WENTWORTH
Alameda North Valley Ass.
8919 BOE LN NE
ALBUQUERQUE, NM 87113

Or Current Resident
BLUE HOLE LTD CO
PO BOX 94084
ALBUQUERQUE, NM 87199

Or Current Resident
PEARSON JOHN DAVID
11612 PENDIELD LN NE
ALBUQUERQUE, NM 87111


Or Current Resident
THREE AM LLC
49 SANTA MARIA RD
CORRALES, NM 87048

Project# 1006503
LEROY GURULE
Alameda North Valley Ass.
713 ALAMEDA BLVD NW
ALBUQUERQUE, NM 87114

Or Current Resident
NEW MEXICO CREDIT UNION
LEAGUE SERVICES CORP
4201 WOLCOTT AVE NE
ALBUQUERQUE, NM 87109

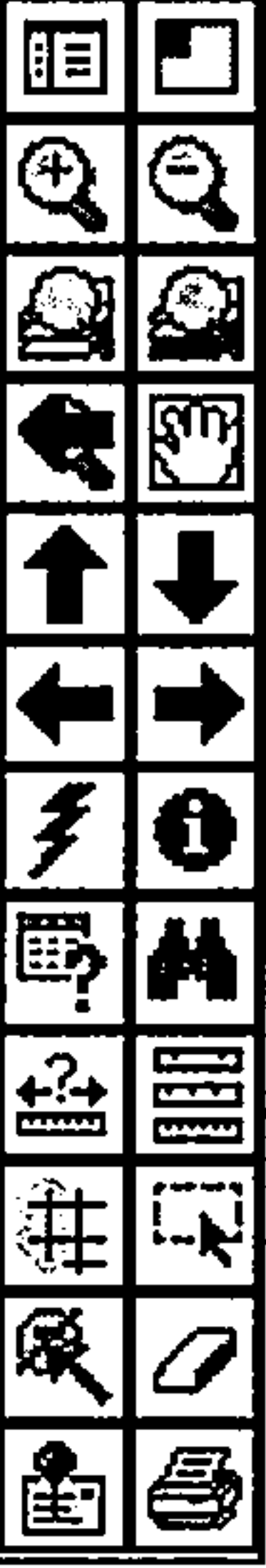
Or Current Resident
SCOTSMAN GROUP INC C/O
WILLIAMS SCOTSMAN INC
PO BOX 986
BALTIMORE, MD 21203

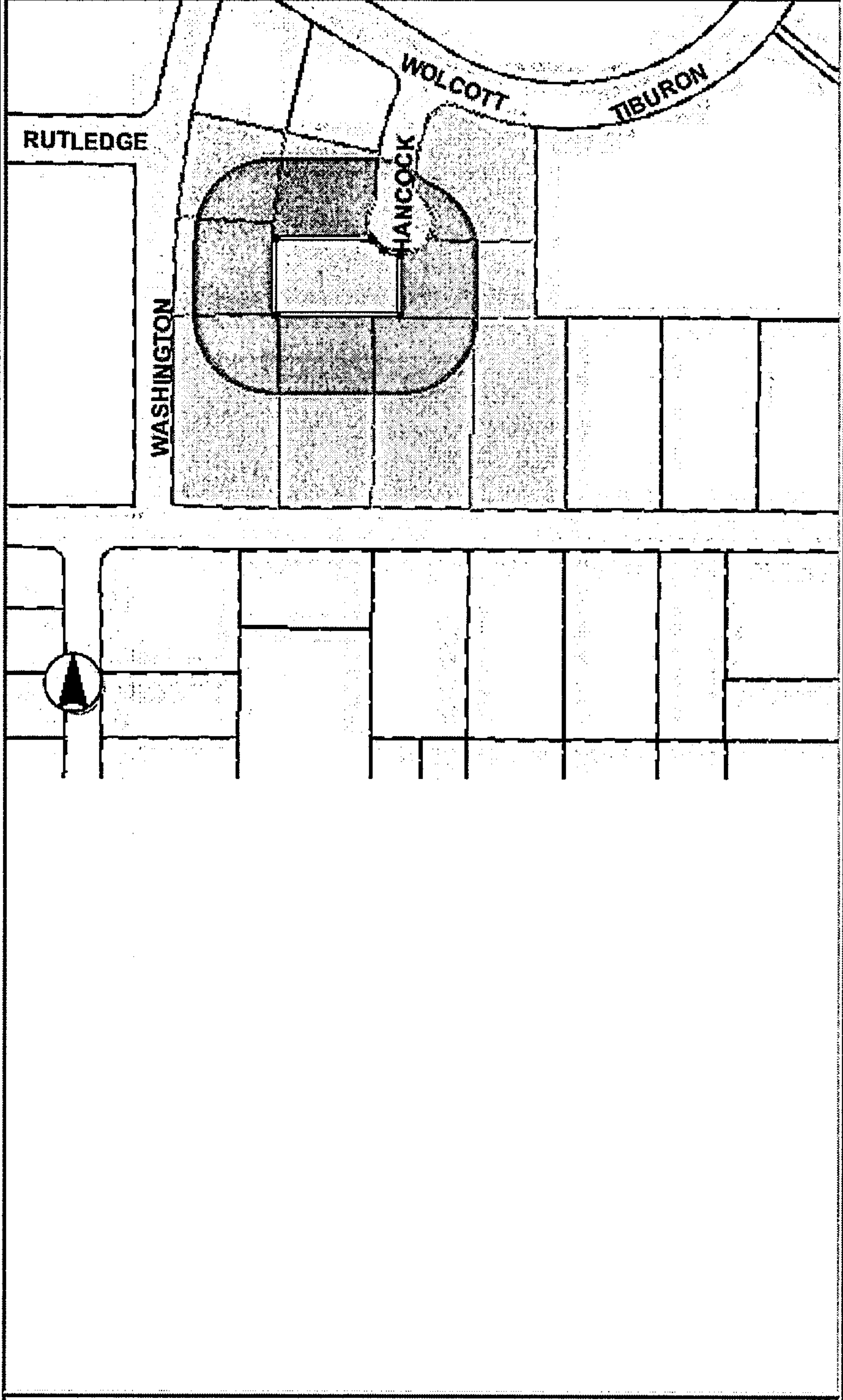
Project# 1006503
VONDA CHESHIRE
CHESH ENT, INC.
2811 INDIAN SCHOOL RD NE
ALBUQUERQUE, NM 87106



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
 - MUNICIPAL LIMITS
 - ZONE GRID
 - NEIGHBORHOODS
 - METRO DEV AREA
 - DASZ
 - DESIGN OVERLAY
 - POLICE BEATS
 - COUNCIL
 - PARKS
 - PETROGLYPH MNT
 - BOSQUE SECTORS
 - OPENSOURCE
 - COMP PLAN
 - AREA PLANS
 - SECTOR PLANS
 - SENATE DISTRICT
 - REP. DISTRICTS
 - PLANNING AREAS
 - HISTORIC ZONES
 - CORRIDORS
 - ZIPCODES
 - POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2006 AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

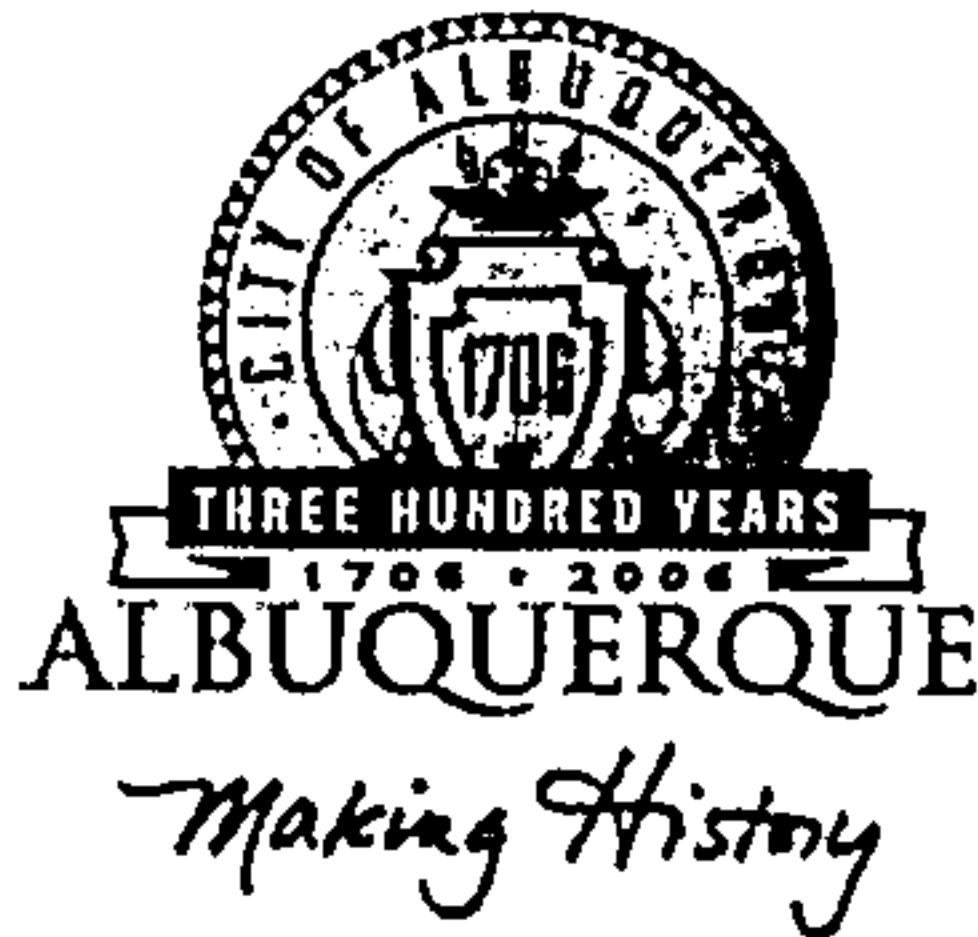
OWNERSHIP

Rec	UPC CODE	OWNER
1	101706323415130602	NEW MEXICO CREDIT UNION LEAGUE SERVICES CORP
2	101706323516630601	NEW MEXICO CREDIT UNION LEAGUE SERVICES CORP

Refresh Map

Auto Refresh

Pan
[SEARCH CONTACT](#)
[REFRESH](#)
[HELP](#)
[INDEX PAGE](#)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 5/24/07

TO CONTACT NAME: Vonda Cheshire
COMPANY/AGENCY: Chesh Ent, Inc.
ADDRESS/ZIP: 2811 Indian School Rd. NE, 87106
PHONE/FAX #: 991-3213, 792-5758 (F)

Thank you for your inquiry of 5/24/07 (date) requesting the names of **Recognized Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Lot 6, Journal Center 2 located on 7401 Hancock Ct. NE.

zone map page(s) D-17

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Alameda North Valley Assn. (R)
Neighborhood Association
Contacts: Steve Westworth
8919 Bore Ln. NE, 87113
897-3052 (h)
Leroy Gurule
713 Alameda Blvd. NW, 87114
890-1845 (h)

Neighborhood Association
Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina G. Carmena
OFFICE OF NEIGHBORHOOD COORDINATION

.....
• Attention: Both contacts per
• neighborhood association
• need to be notified.
.....

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

The street address of the subject property.

The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.

A physical description of the location, referenced to streets and existing land uses.

A complete description of the actions requested of the EPC:

- a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [] The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

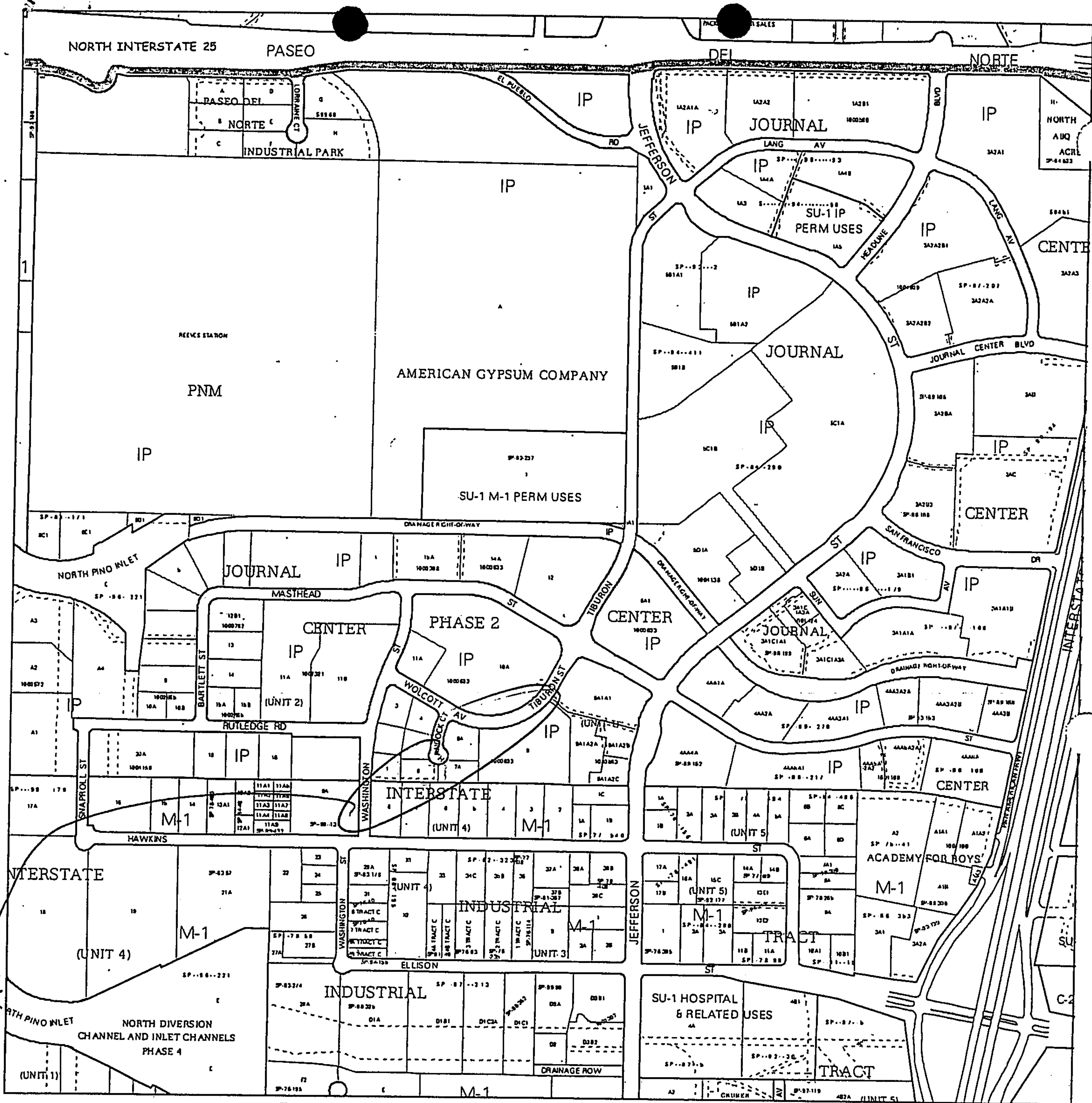
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

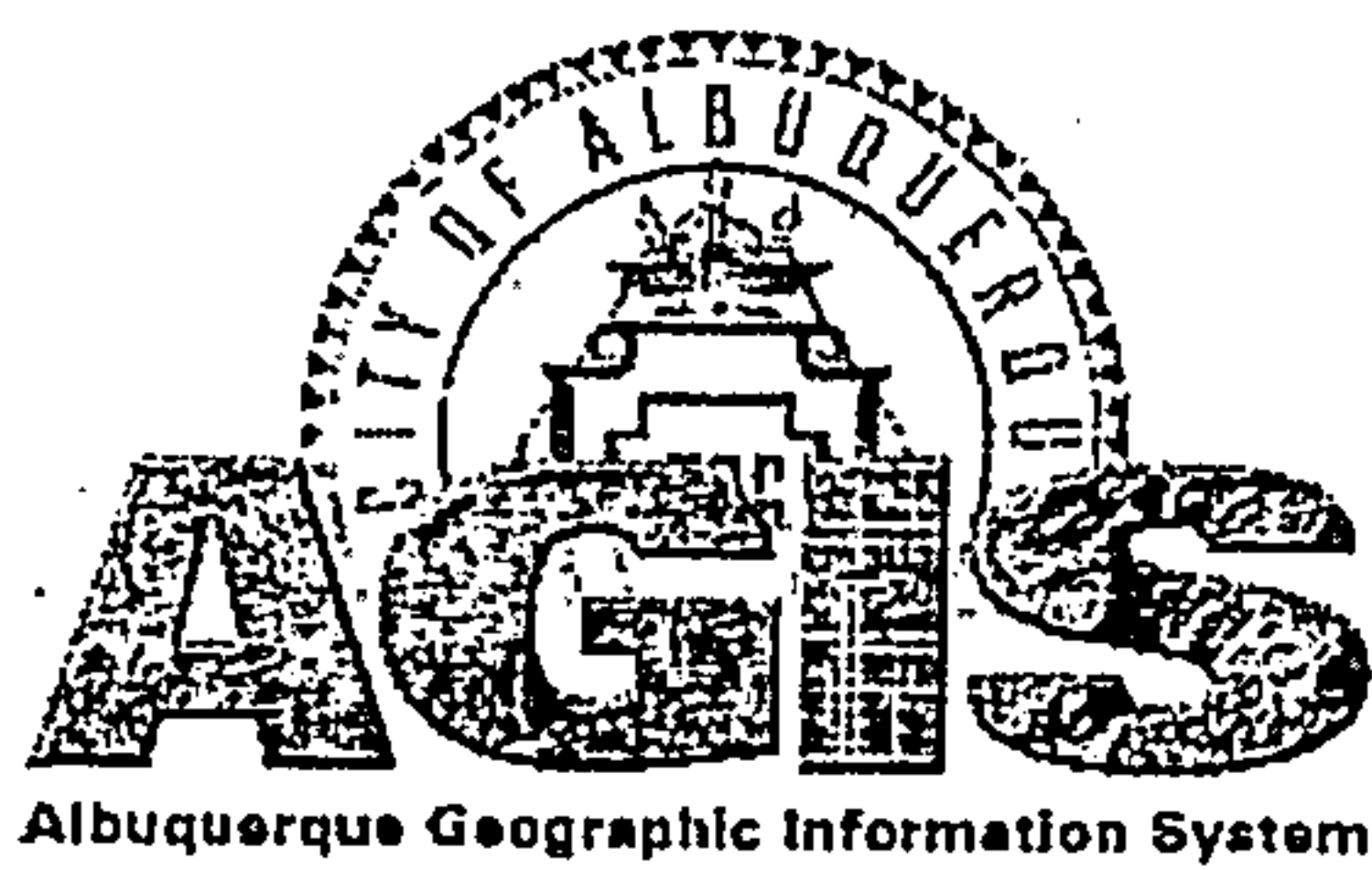
Thank you for your cooperation on this matter.

(below this line for ONC use only)

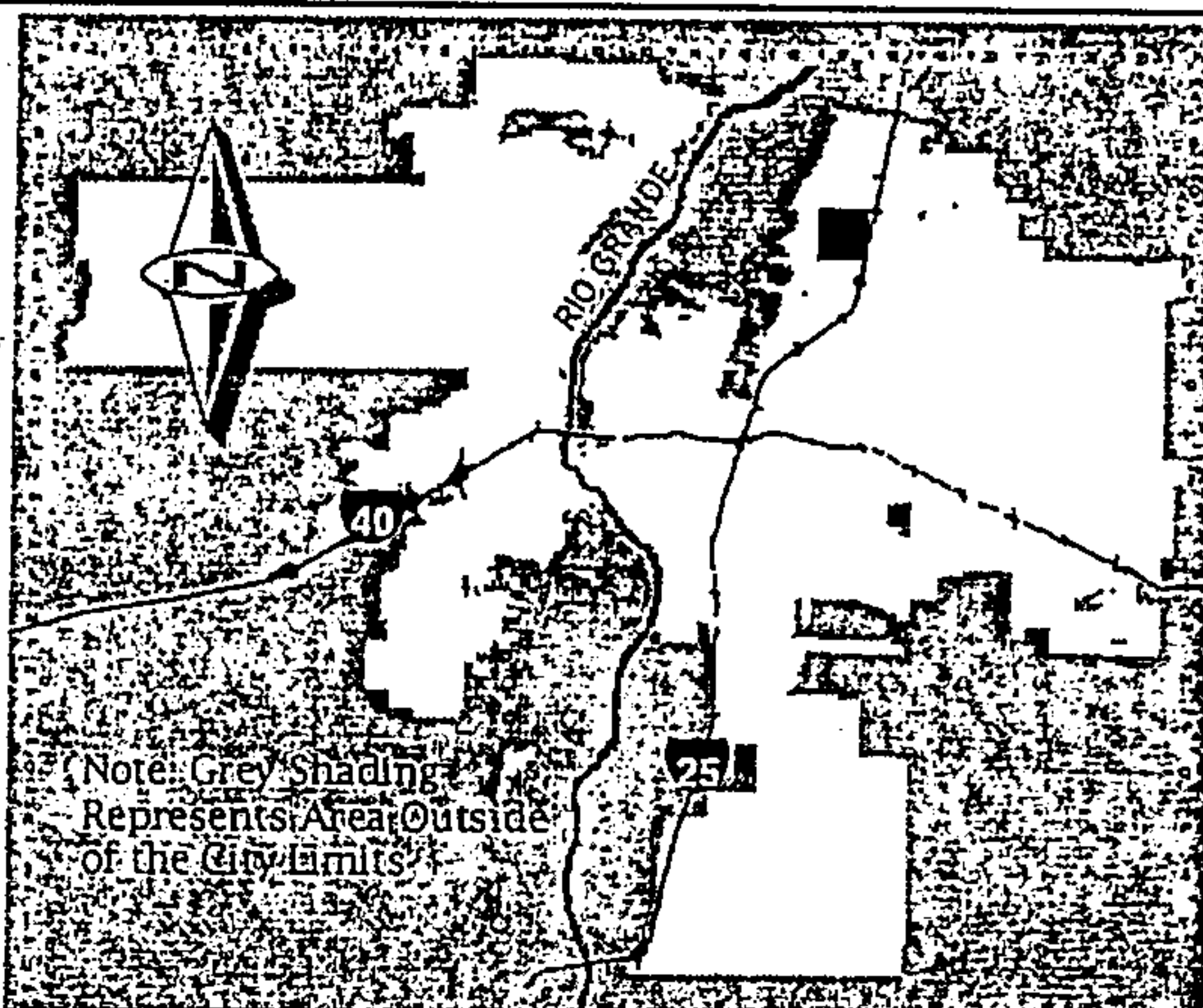
Date of Inquiry: 5/24/07 Time Entered: 1430 ONC Rep. Initials: QC



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/18/2007

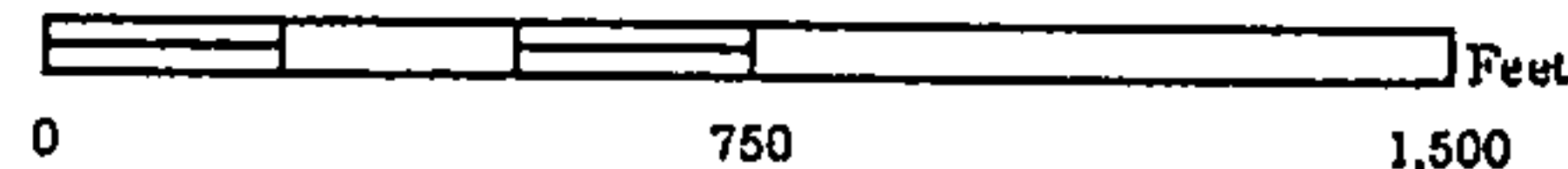


Zone Atlas Page:

D-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





environmental dynamics, inc.

May 18, 2007

Sharon Matson
DRB Chair
City of Albuquerque

Re: Lot 6 Journal Center Phase 2 (7401 Hancock, NE)

Ms Matson,

The proposed project for your consideration is a 5,530 square foot office building to be located off Hancock Court in Northeast Albuquerque. The building's design was influenced by the modern commercial architecture in the immediate surroundings as well as by the greater context of Albuquerque and it's Spanish pueblo roots; resulting in a modern interpretation of the traditional pueblo forms.

kent beierle

The building is to have 3 distinct entries to allow for the possibility of separate tenants. The central and primary entrance is elevated about 4'-0" above the adjacent parapet lines and clad in exposed steel, aluminum storefront glazing system and translucent panels. The roof of the primary entrance is also clad in translucent panels along a curved steel formwork. The remaining materials proposed for the project are stucco and metal panels, which are consistent with materials found throughout the Jefferson Street commercial corridor.

kris callori

j. stace mcgee

michael ryan

Miscellaneous items of interest:

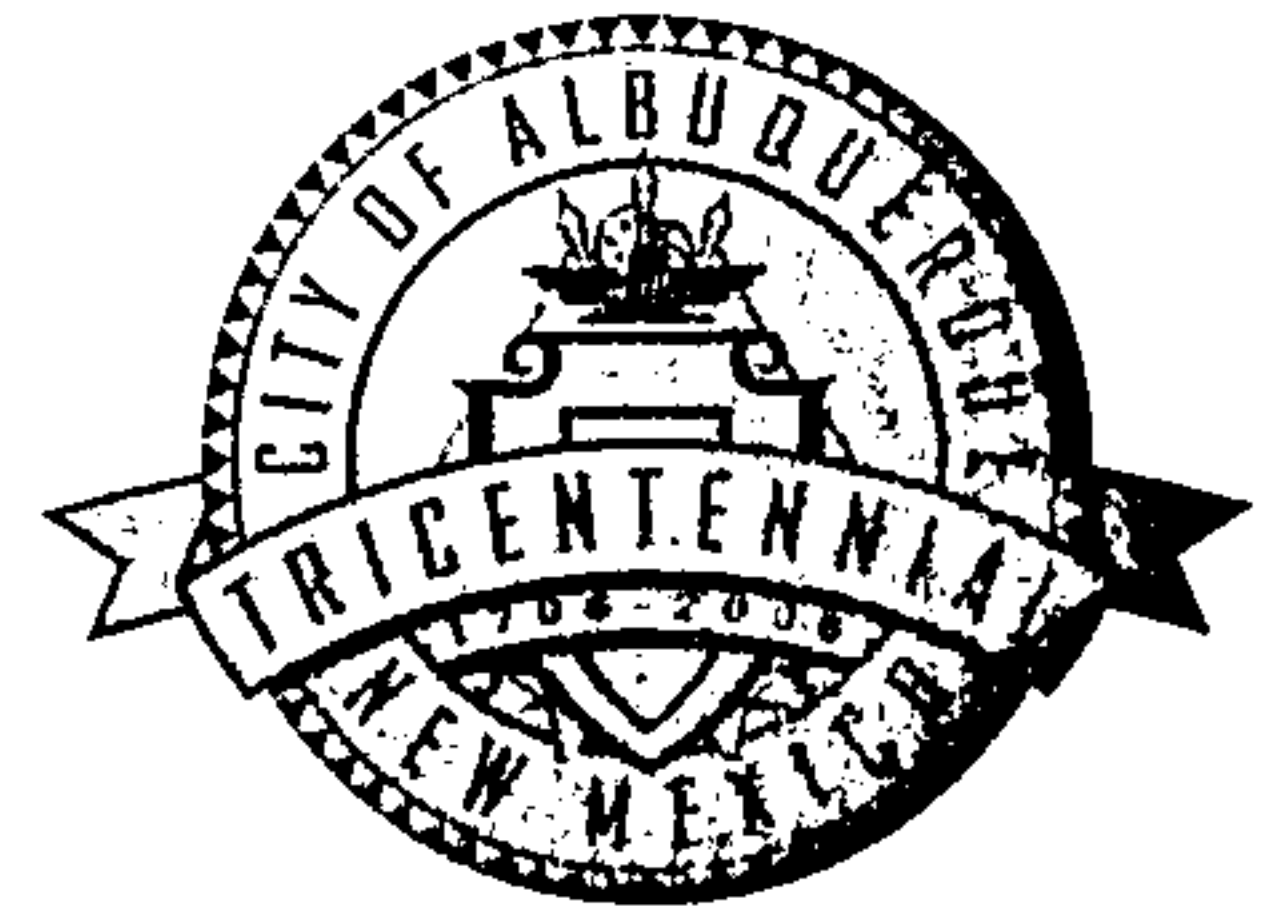
1. The average height of the building is 17'-0" above the finished floor.
2. The corners at the stucco are square, not rounded
3. Control joints provide protection against cracking and give architectural scale
4. All rooftop mechanical equipment is screened by parapets

If you have any questions, please do not hesitate to call me.

Respectfully,

Michael Ryan
Principal

ph: 505.242.2851
fx: 505.242.2852



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

June 7, 2007

TO: Steve Wentworth and Leroy Gurule, Alameda North Valley Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: *Approximately point five three (.53) acre(s) for a Major Site Development Plan for Building Permit for a proposed 5,530 square foot office building.*

Proposed by: Chesh Ent. Inc. at 505-991-3213

Agent for: Chesh Ent. Inc.

For property located: On or near Masthead Street NE between Washington Street NE and Jefferson Street NE.

P.O. Box 1293

The case number(s) assigned is: 07DRB-70019, Project #1006503.

Albuquerque

City Planning accepted application for this request on May 25, 2007.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, June 20, 2007 in the **Planning Hearing Room, Room 160, Plaza Del Sol Building, 600 Second St. NW.**

www.cabq.gov

You should contact **Claire Senova** at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



April 23, 2007

VIA EMAIL – lvchesh@msn.com & fax 242-2852

Michael Ryan, Architect
142 Truman NE, Suite A1
Albuquerque, NM 87108

Re: Lot 6, Unit 1 Journal Center 2 – Plans dated February 28, 2007 Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Mr. Ryan:

We reviewed the new submittal for the above referenced project and approve plans, colors, materials and specifications, with the following conditions:

1. All roof mounted mechanical equipment must be screened from view.
2. A note should be changed on the Landscape Plan: "At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the Journal Center Corporation"
3. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cqp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee

TIBURON INVESTMENT, LLC

3791 Southern Blvd SE Suite 202

Rio Rancho, NM 87124

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

President, Chapel Hill, Inc
Linda C. Christie 05/25/2007
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements) ✓
2. Landscaping Plan ✓
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.) ✓
4. Building and Structure Elevations ✓
5. Conceptual Utility Plan ✓
6. Previously approved Development Plan (if applicable) *See Journal Center Master Plan*

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- ✓ A. 8-1/2" x 11" reduction for each plan sheet.
- ✓ B. Written project summary. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

HEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Scaled vicinity map
- ✓ 6. Property lines (clearly identify)
- ✓ 7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping *(Permit for shell only at this time)*

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- ~~N/A~~ G. Loading facilities *Office Bldg only*
- H. Site lighting (indicate height & fixture type) *- See 8 1/2" x 11" detail*
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: _____ provided: _____
 - Handicapped spaces required: _____ provided: _____
 - Motorcycle spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____ provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation *See Journal Center Master Plan*

- ~~N/A~~ A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- ~~N/A~~ B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- ~~N/A~~ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system - Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations

E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff. *Office Bldg.*

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting (*in ground*)
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): Chesh Ent, Inc. PHONE: 991-3213
 ADDRESS: 2811 Indian School Rd NE FAX: 792-5758
 CITY: Alb, STATE NM ZIP 87106 E-MAIL: lvchesh@msn.com

APPLICANT: Same as above PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Bldg. Permit for shell-office bldg.
Lot 6, Journal Ctr 2

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 6 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Journal Center 2
 Existing Zoning: IP Proposed zoning: _____
 Zone Atlas page(s): D-17-2 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .53
 LOCATION OF PROPERTY BY STREETS: On or Near: Masthead & Hawkins (N/S) NE
 Between: Washington and Jefferson NE (W/E)
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Vonda Cheshire, Pres, Chesh Ent, Inc. DATE 5/25/2007
 (Print) Vonda Cheshire Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 70019</u>	<u>SBP</u>	<u>P2</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	<u>ADD</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> E.H.D.P. fee rebate	Hearing date <u>6/20/07</u>	_____	_____	\$ <u>480.00</u>

Goshulver 5/29/07
 Director signature / date

Project # 1006503

Andrew Garcia

984-3858

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15) Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
- Solid Waste Management Department signature on Site Plan *across hall/call*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp *8th Floor*
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10) Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Vonda C. Cheshire, Pres., Chesh Ent, Inc.
Applicant name (print)

Vonda C. Cheshire, Pres., Chesh Ent, Inc.
Applicant signature / date



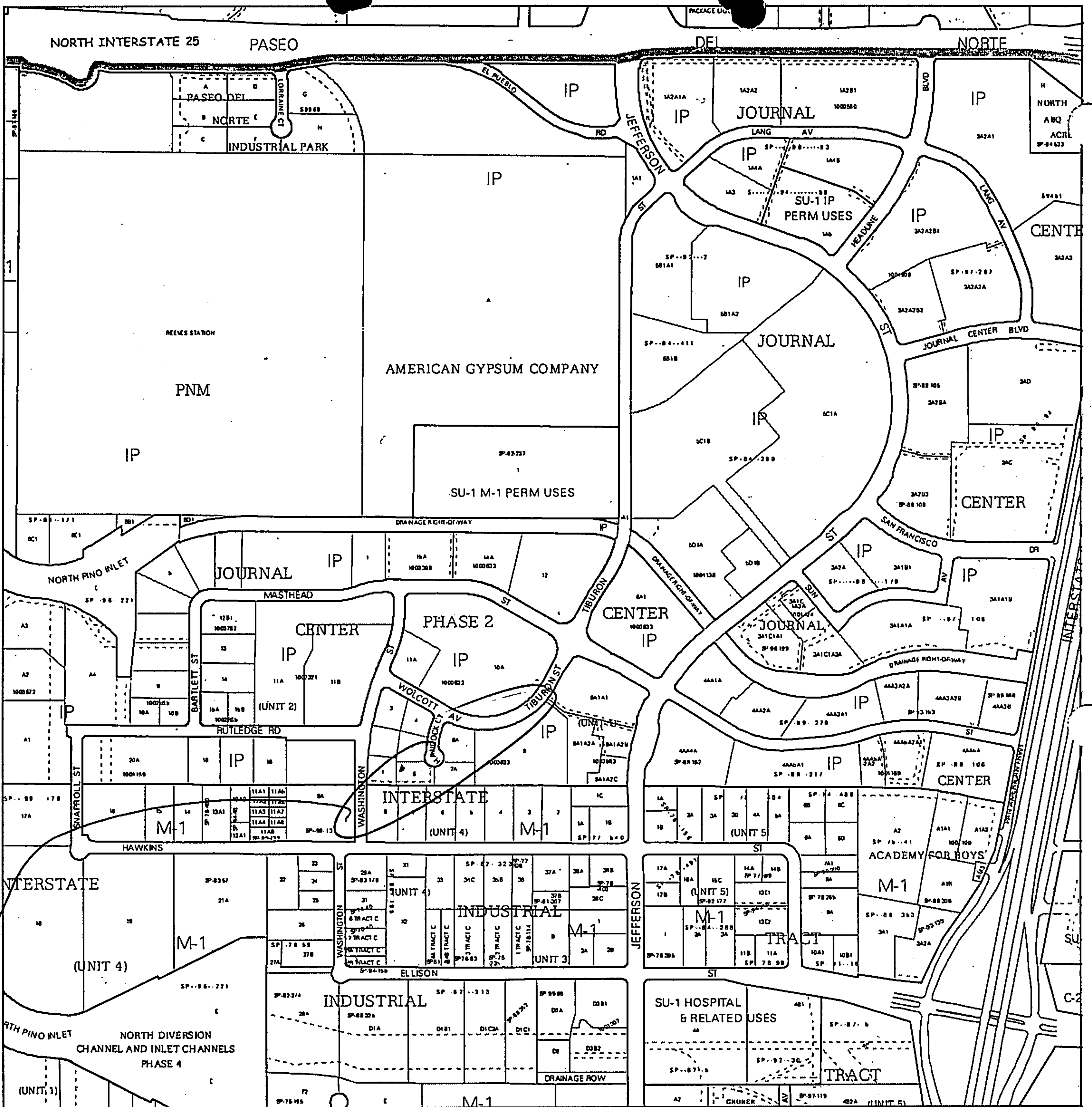
Form revised APRIL 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
<i>07DRB</i>	<i>- 70019</i>
_____	_____
_____	_____

John Weber 5/25/07
Planner signature / date

Project # 1006503



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 2/18/2007



environmental dynamics, inc.

May 18, 2007

Sharon Matson
DRB Chair
City of Albuquerque

Re: Lot 6 Journal Center Phase 2 (7401 Hancock, NE)

Ms Matson,

The proposed project for your consideration is a 5,530 square foot office building to be located off Hancock Court in Northeast Albuquerque. The building's design was influenced by the modern commercial architecture in the immediate surroundings as well as by the greater context of Albuquerque and it's Spanish pueblo roots; resulting in a modern interpretation of the traditional pueblo forms.

kent beierle

The building is to have 3 distinct entries to allow for the possibility of separate tenants. The central and primary entrance is elevated about 4'-0" above the adjacent parapet lines and clad in exposed steel, aluminum storefront glazing system and translucent panels. The roof of the primary entrance is also clad in translucent panels along a curved steel formwork. The remaining materials proposed for the project are stucco and metal panels, which are consistent with materials found throughout the Jefferson Street commercial corridor.

kris callori

j. stace mcgee

michael ryan

Miscellaneous items of interest:

1. The average height of the building is 17'-0" above the finished floor.
2. The corners at the stucco are square, not rounded
3. Control joints provide protection against cracking and give architectural scale
4. All rooftop mechanical equipment is screened by parapets

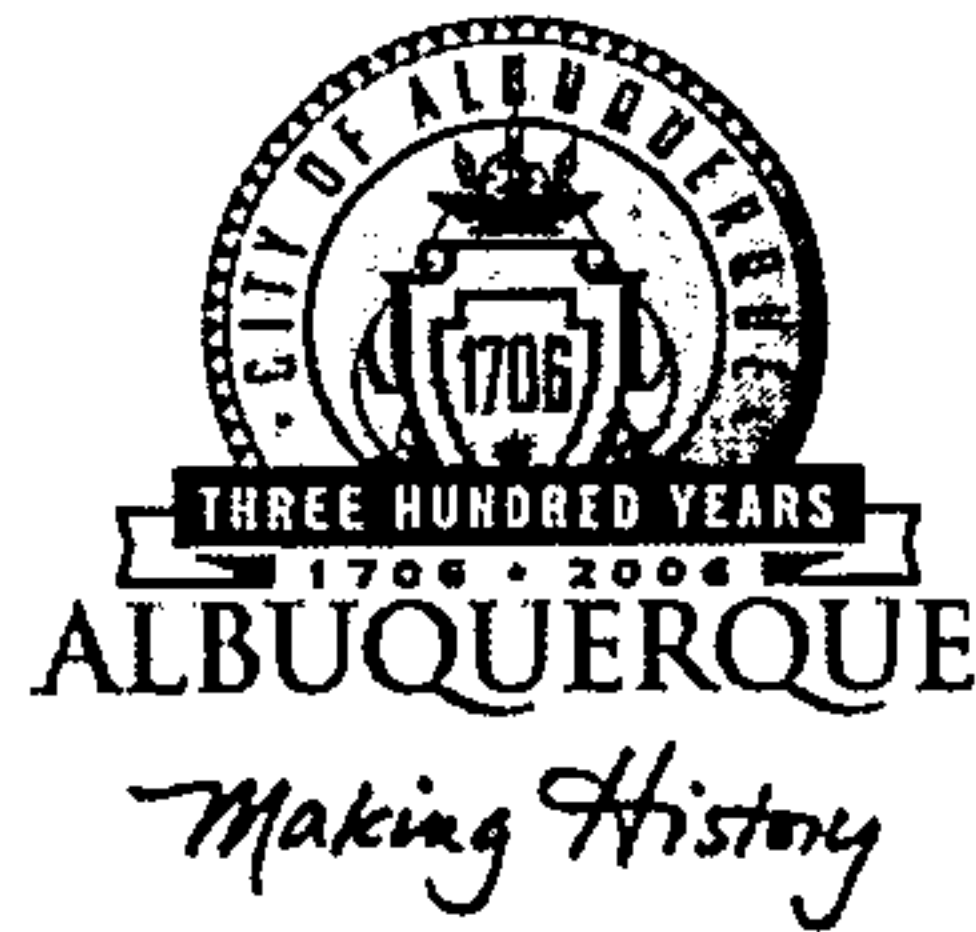
If you have any questions, please do not hesitate to call me.

Respectfully,

Michael Ryan
Principal

ph: 505.242.2851

fx: 505.242.2852



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 5/24/07

TO CONTACT NAME: Vonda Cheshire
COMPANY/AGENCY: Chesh Ent, Inc.
ADDRESS/ZIP: 2811 Indian School Rd NE, 87106
PHONE/FAX #: 991-3213, 792-5758 (F)

Thank you for your inquiry of 5/24/07 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Lot 6, Journal Center 2 located on 7401 Hancock Ct. NE

zone map page(s) D-17

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Alameda North Valley Assn. (R)
Neighborhood Association
Contacts: Steve Wentworth
8919 Boe Ln. NE / 87113
897-3052 (h)
Leroy Gurule
713 Alameda Blvd. NW / 87114
890-1845 (h)

Neighborhood Association
Contacts:

See reverse side for additional Neighborhood Association Information: YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,
Dalaina O Carmena
OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

Additional Neighborhood Association Information

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92,
you are most welcomed to notify the following "*Unrecognized*"
neighborhood associations of this project.

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EDRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

The street address of the subject property.

The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.

A physical description of the location, referenced to streets and existing land uses.

A complete description of the actions requested of the EPC:

- a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [] The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 5/24/07 Time Entered: 1430 ONC Rep. Initials: OC

CHESH Enterprises, Inc.

2811 Indian School Rd., NE, Alb, NM 87106

(505) 991-3213 / Fax (505) 792-5758

e-mail: lvchesh@msn.com

Steve Wentworth, President
Alameda North Valley Assn
8919 Boe Lane, NE
Alb., NM 87113

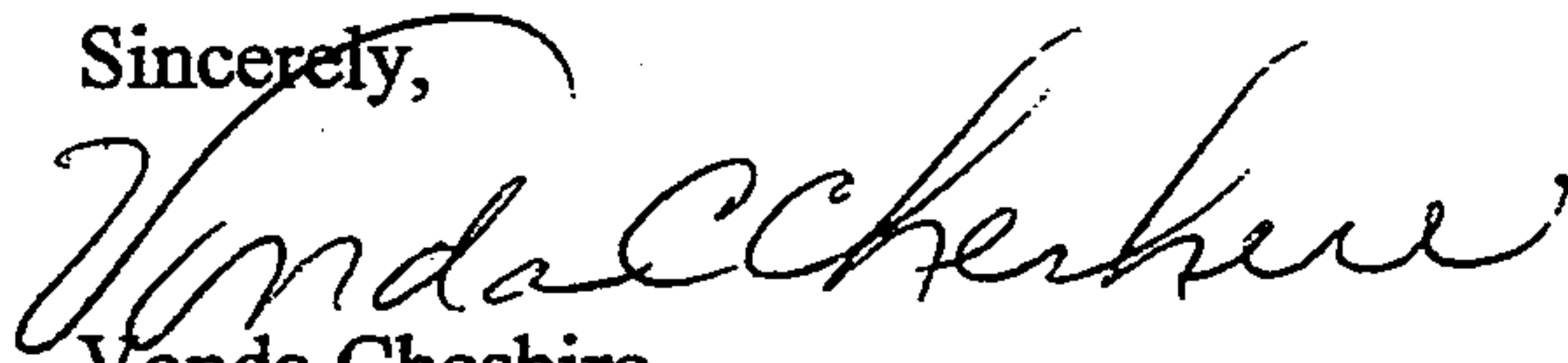
**RE: Notice of new construction of a 5532 SF office building at 7401 Hancock Ct,
NE, Lot 6, Journal Center 2**

Dear Mr. Wentworth:

In accordance with DRB requirements, the enclosed information is being provided as Notice to the Alameda North Valley Assn. regarding the construction of a 5532 SF office building at 7401 Hancock Ct, NE, Alb, NM; Lot 6, Journal Center 2. Enclosed find a colored architectural rendering of the office building and a Zone Atlas page (D-17-Z) showing the location.

The construction has been approved by the Architectural Review Committee for the Journal Center and will be submitted to the DRB on or about 05/25/2007. Please contact me (991-3213) or Ray Cheshire (975-1249) if you have questions or would like additional information regarding the proposed construction.

Sincerely,



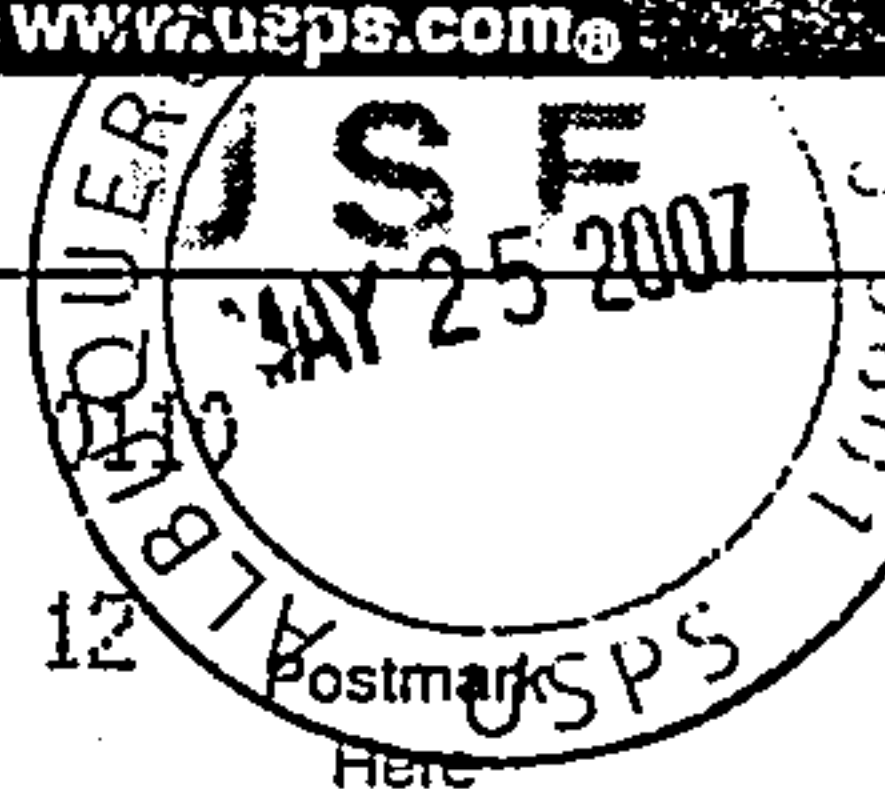
Vonda Cheshire
Officer, Chesh Ent., Inc.



Ray Cheshire
Officer, Chesh Ent., Inc.

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
(Domestic Mail Only; No Insurance Coverage Provided)	
For delivery information visit our website at www.usps.com	
ALBUQUERQUE, NM 87113	
Postage	\$ 0.41
Certified Fee	\$2.65
Return Receipt Fee (Endorsement Required)	\$2.15
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.21
05/25/2007	
Sent To: Steve Wentworth	
Street, Apt. No., or PO Box No. 8919 Boe Lane NE	
City, State, ZIP+4 Alb, NM 87113	
PS Form 3800, August 2006	
See Reverse for Instructions	

7006 2760 0002 6183 4217



CHESH Enterprises, Inc.

2811 Indian School Rd., NE, Alb, NM 87106

(505) 991-3213 / Fax (505) 792-5758

e-mail: lvchesh@msn.com

Leroy Gurule
Alameda North Valley Assn
713 Alameda Blvd, NW
Alb., NM 87114

**RE: Notice of new construction of a 5532 SF office building at 7401 Hancock Ct,
NE, Lot 6, Journal Center 2**

Dear Mr. Gurule:

In accordance with DRB requirements, the enclosed information is being provided as Notice to the Alameda North Valley Assn. regarding the construction of a 5532 SF office building at 7401 Hancock Ct, NE, Alb, NM; Lot 6, Journal Center 2. Enclosed find a colored architectural rendering of the office building and a Zone Atlas page (D-17-Z) showing the location.

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Sincerely,



Vonda Cheshire
Officer, Chesh Ent., Inc.



Ray Cheshire
Officer, Chesh Ent., Inc.

4224 4224
6183 6183
0002 0002
0900 0900
2760 2760
7006 7006

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
(Domestic Mail Only; No Insurance Coverage Provided)	
For delivery information visit our website at www.usps.com	
ALBUQUERQUE, NM 87114	
Postage	\$ 0.58
Certified Fee	\$2.65
Return Receipt Fee (Endorsement Required)	\$2.15
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.38

ALBUQUERQUE, NM 87114
Postmark Here
MAY 25 2007
USPS 1083-0180
05/25/2007

Sent To Leroy Gurule
Street, Apt. No.,
or PO Box No. 713 Alameda Blvd NW
City, State, ZIP+4 Alb New Mex 87114

PS Form 3800, August 2006 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Chesh Ent, Inc. DATE OF REQUEST: 5/24/2007 ZONE ATLAS PAGE(S): D-17

CURRENT:

ZONING _____

PARCEL SIZE (AC/SQ. FT.) .53 acre

LEGAL DESCRIPTION:

LOT OR TRACT # 6 BLOCK # _____

SUBDIVISION NAME Journal Center 2

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|-------------------------|---|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
- NEW CONSTRUCTION
- EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: _____
BUILDING SIZE: 5532 (sq. ft.) OFFICE BLDG.

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Tonda Cheshire, Chesh Ent, Inc DATE 05/24/2007
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Tony Lopez 5-24-07
TRAFFIC ENGINEER DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

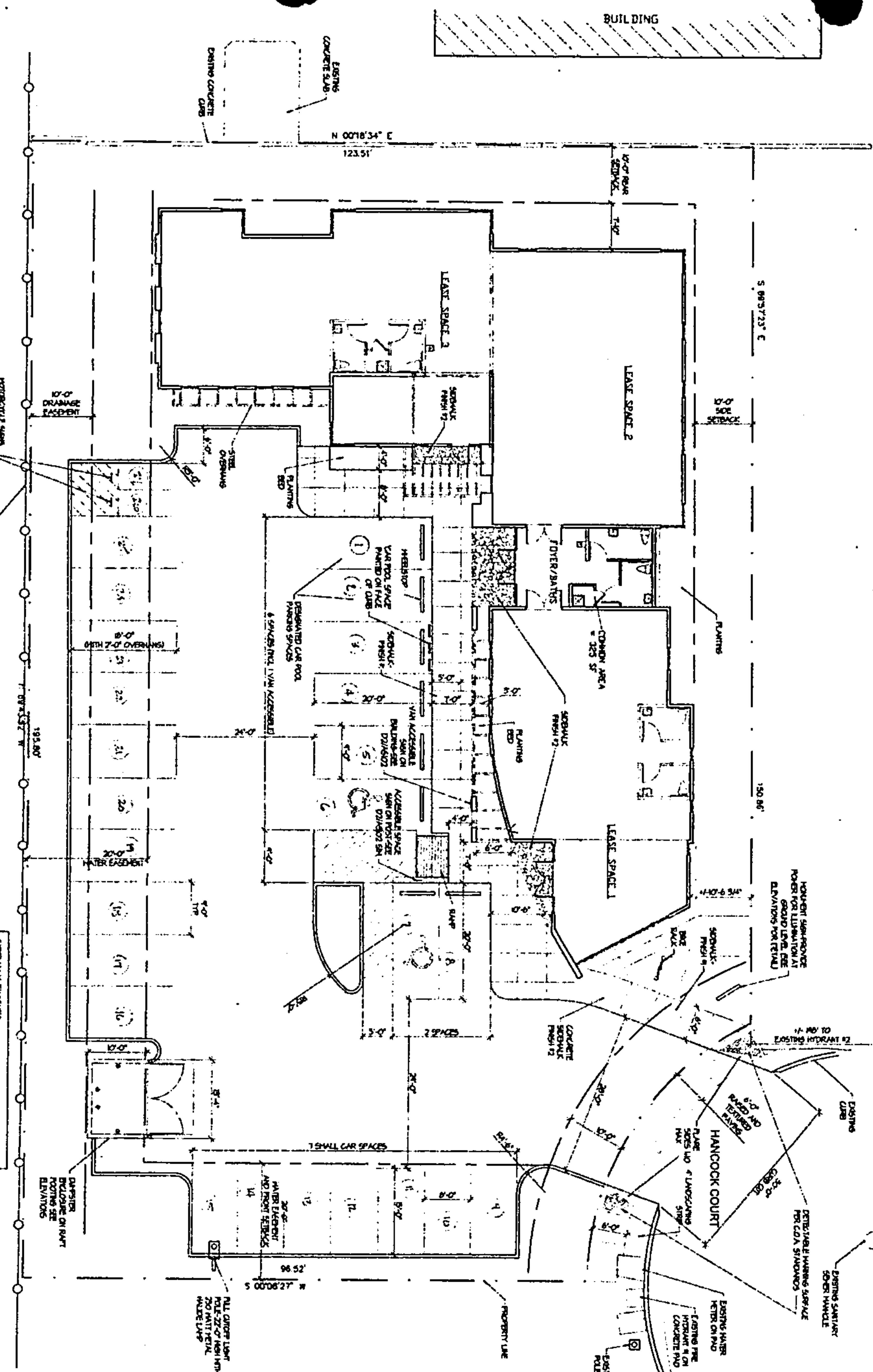
Tonda Cheshire 05/24/2007
APPLICANT DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

SITE INFORMATION

LOT 6, JOURNAL CENTER 2
 ZONE - IP (INDUSTRIAL PARK)
 SITE AREA = .53 ACRE (23,352 SQ FT)
 GROSS LEASABLE AREA = 332 SF (2nd floor only)
 COMMON AREA = 333 SF
 NET LEASABLE AREA = 3197 SF
 (does not include area taken from centerline of encompassing walls)
 1 SPACE/200 SF=26 SPACES REQUIRED
 27 SPACES PROVIDED (PROVIDED = 2)
 HC SPACE REQUIRED/PROVIDED = 2
 MOTORCYCLE SPACES REQUIRED/PROVIDED = 2
 BIKE RACKS REQUIRED/PROVIDED = 1



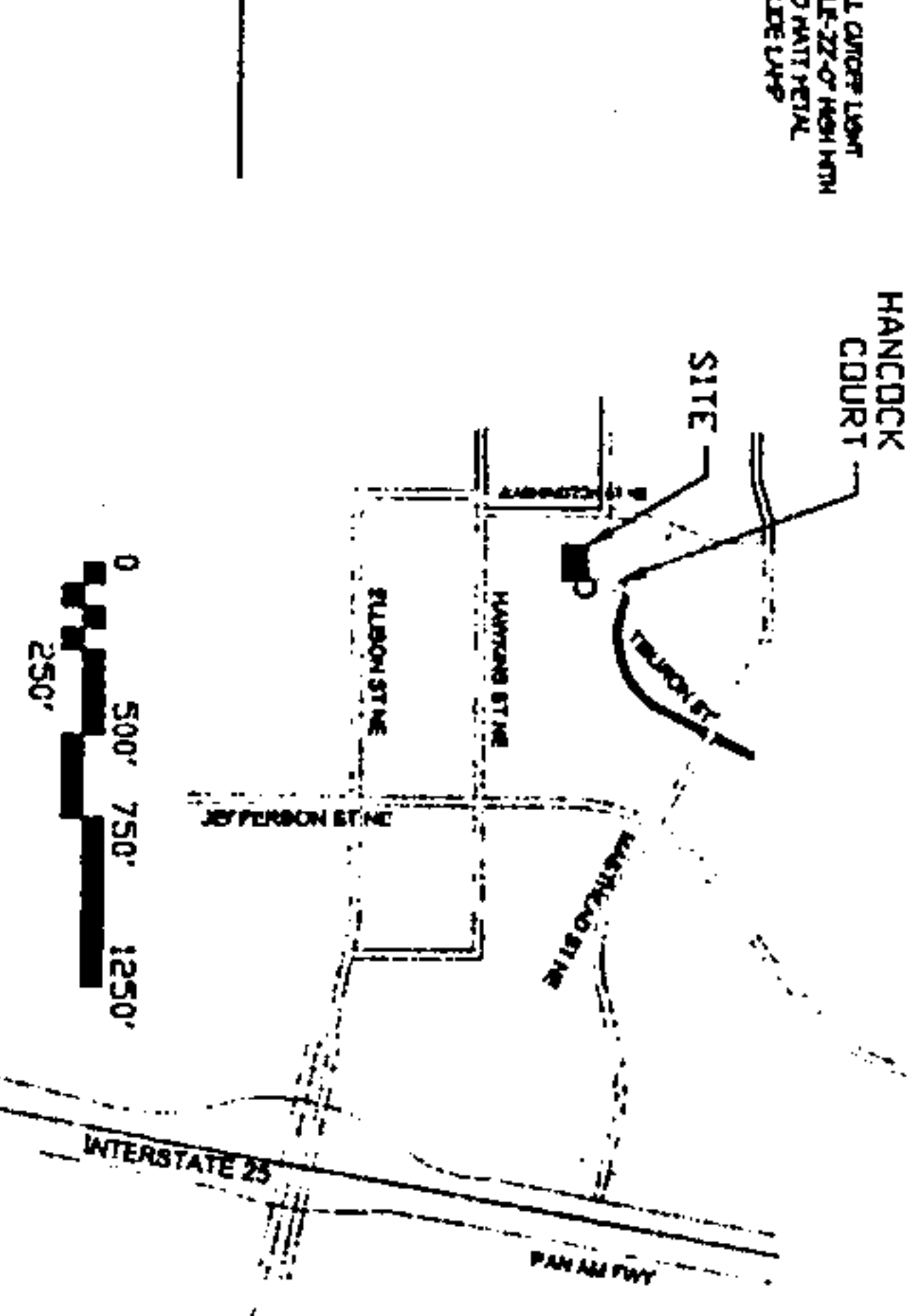
A1 SITE PLAN FOR BUILDING PERMIT

SPECIAL FINISHES
 FINISH 1 - LIGHT PAULT FINISH - HERRING BONE STAIN
 FINISH 2 - EXPOSED REBAR

PROJECT NUMBER: _____
Application Number: _____
 Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
<i>Maic McEwen</i> Solid Waste Management	5/24/07 Date
DRB Chairperson, Planning Department	Date

- DRAWING INDEX**
- AS101 SITE PLAN FOR BUILDING PERMIT
 - L1 LANDSCAPE PLAN
 - C-101 GRADING AND DRAINAGE PLAN
 - A-201 BUILDING AND STRUCTURE ELEVATIONS
 - C-102 SITE UTILITY PLAN



D1 VICINITY MAP

ZONE ATTOR PAGE D11
 1"=600'-0"

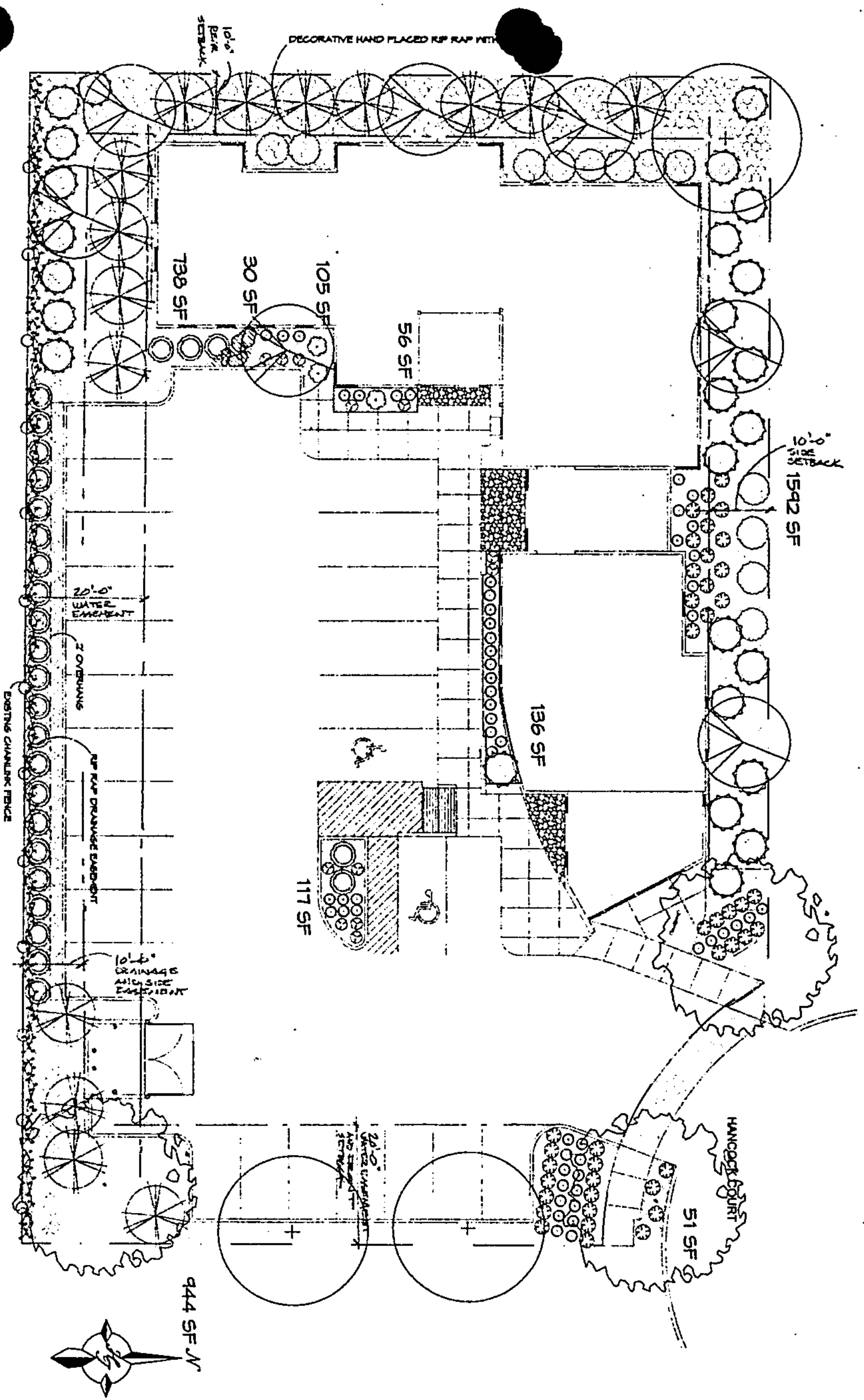
Hancock Office Building
 7401 Hancock, NE
 Albuquerque, NM 87109

ENVIRONMENTAL SERVICES
 142 TRUMAN NE, SUITE A1
 ALBUQUERQUE, NM 87108
 TEL. 505.242.2851 FAX 505.242.2652

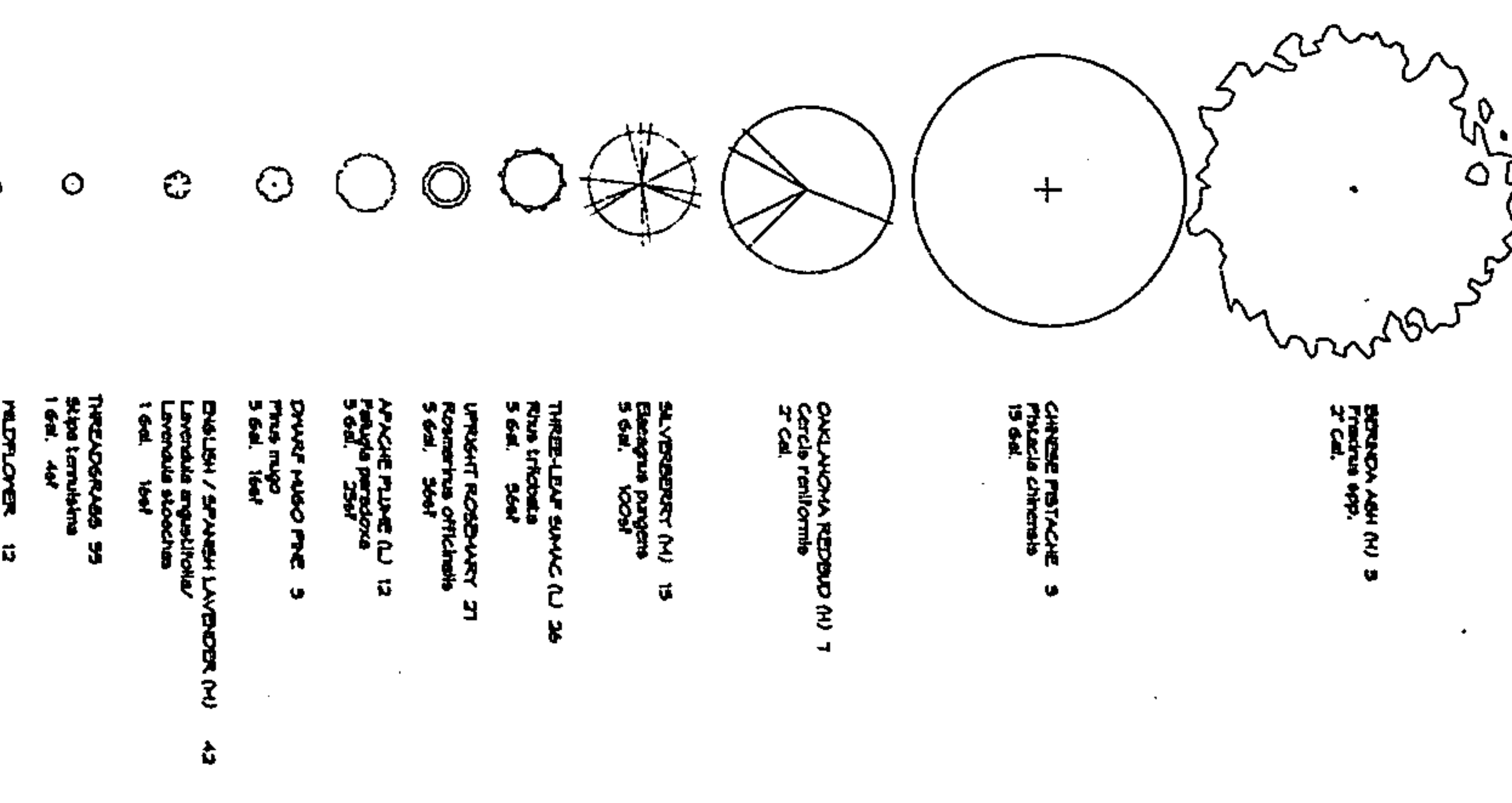


ISSUE:	DATE:
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
DATE:	DATE:

0708
AS101
 SITE PLAN FOR BUILDING PERMIT



PLANT LEGEND

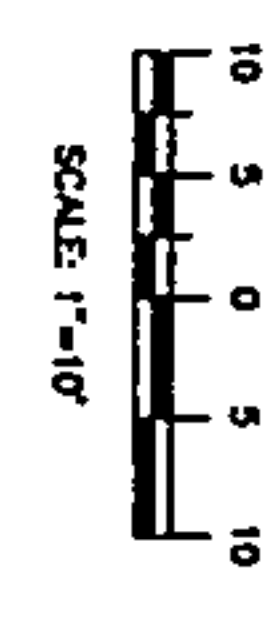


LANDSCAPE CALCULATIONS

TOTAL LOT AREA	23936	square feet
TOTAL BUILDINGS AREA	5592	square feet
OFFSITE AREA	51	square feet
NET LOT AREA	17895	square feet
LANDSCAPE REQUIREMENT	1896	square feet
TOTAL BED PROVIDED	6281	square feet
GROUNDCOVER REQA	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4129	square feet
TOTAL GROUNDCOVER PROVIDED	4169	square feet
TOTAL LANDSCAPE PROVIDED	6281	square feet

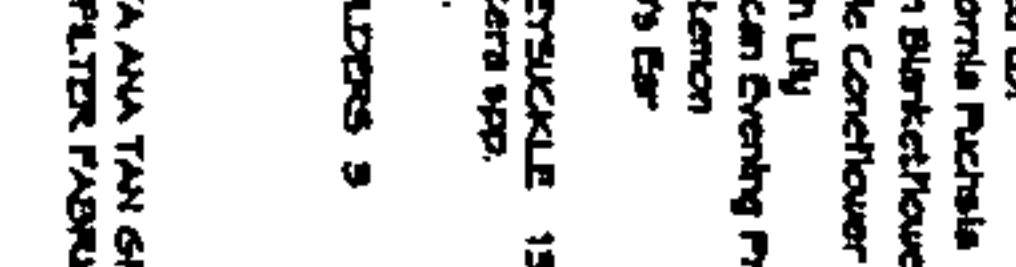
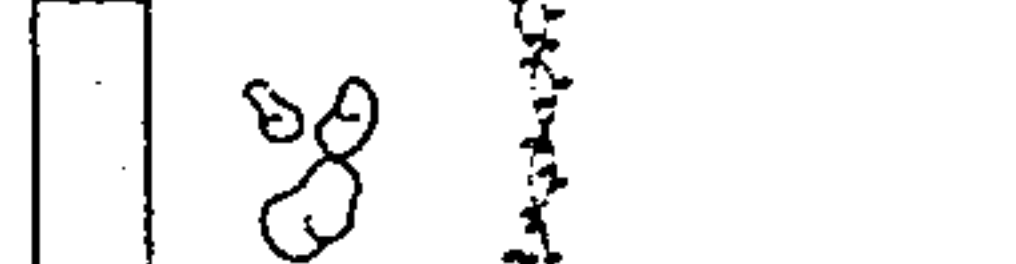
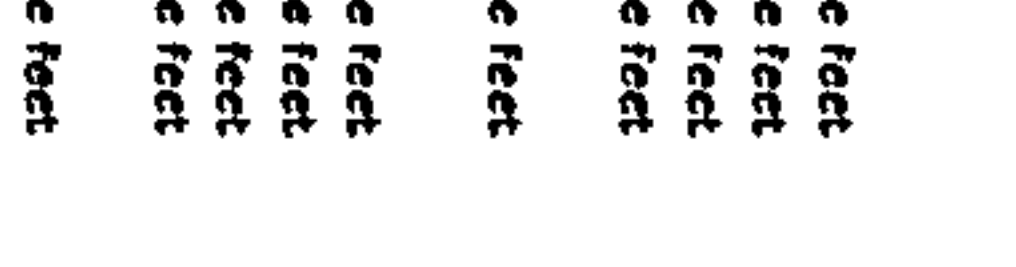
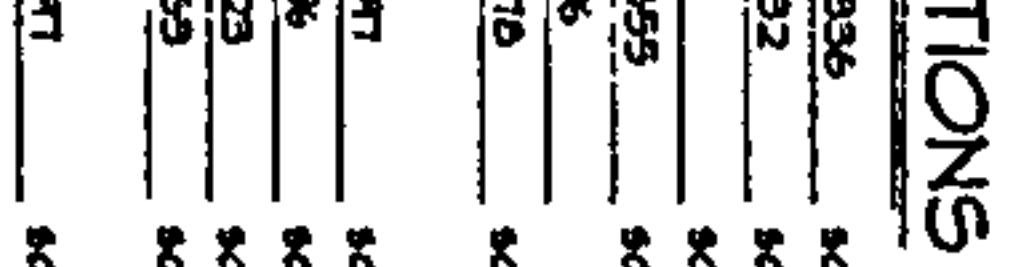
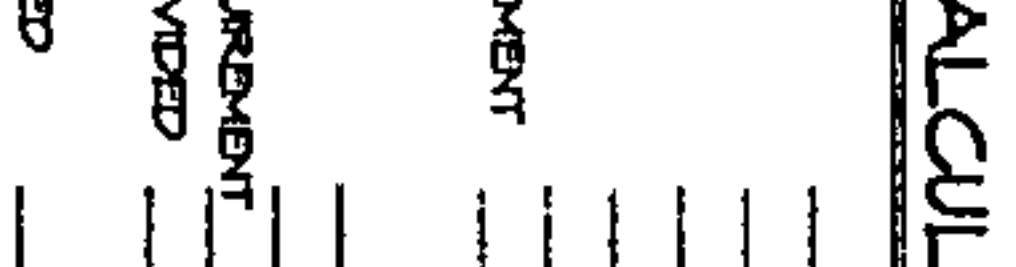
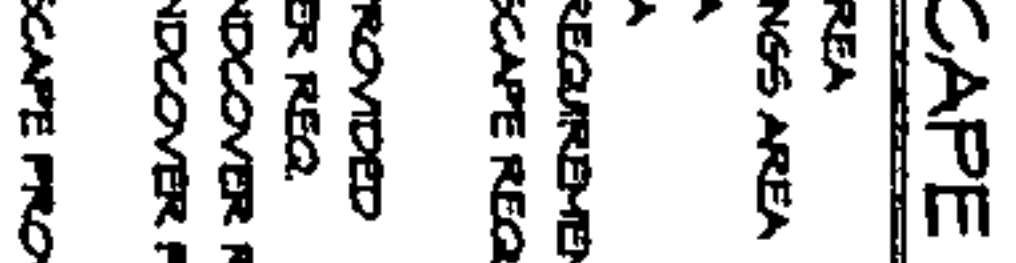
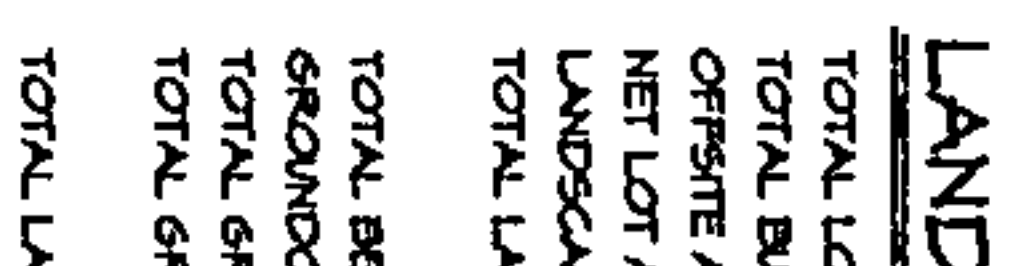
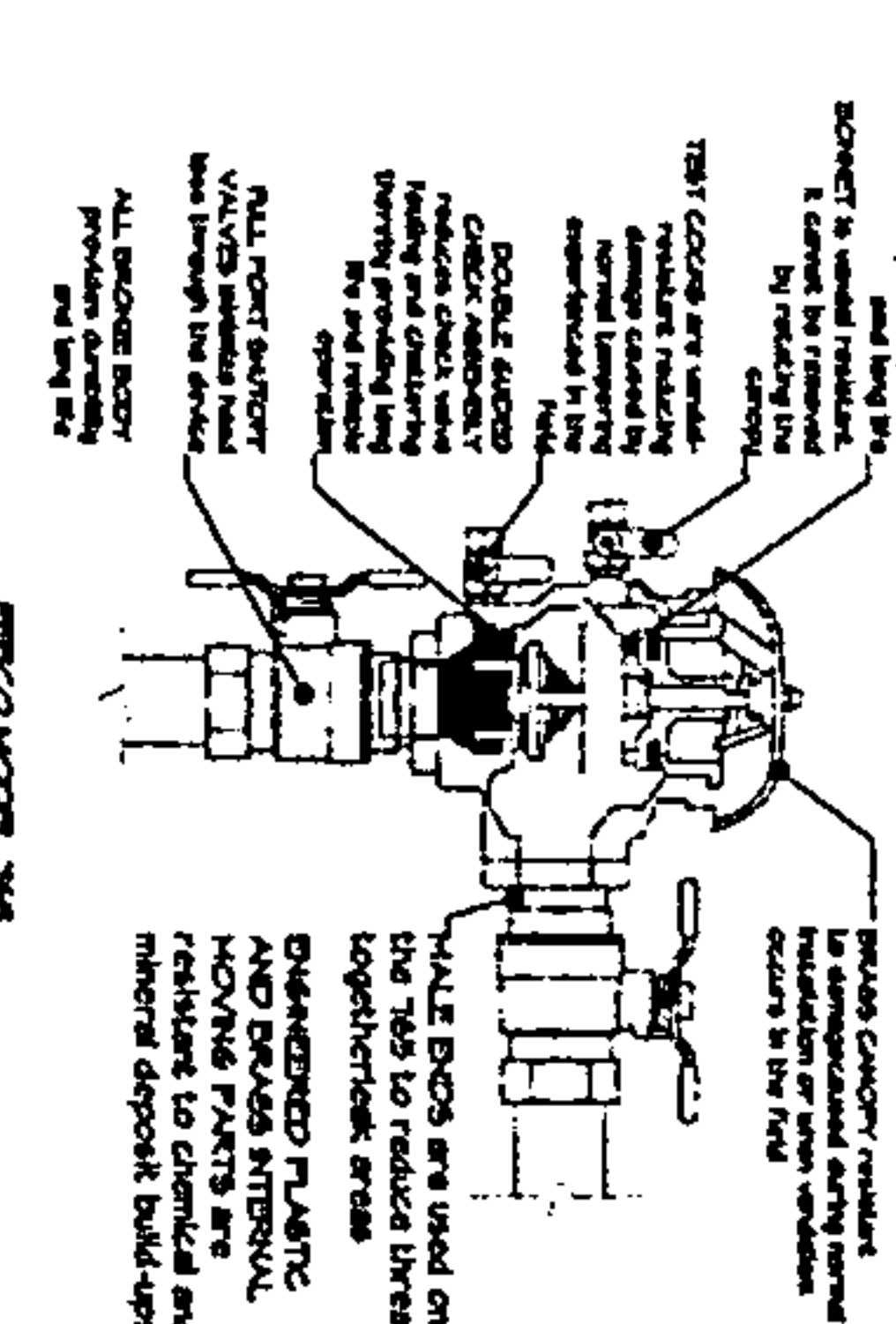
NOTE:
 1. TREES & SHRUBS UNDER C.I.A. STREET
 2. TREES & SHRUBS UNDER C.I.A. STREET
 3. TREES & SHRUBS UNDER C.I.A. STREET

GRAPHIC SCALE



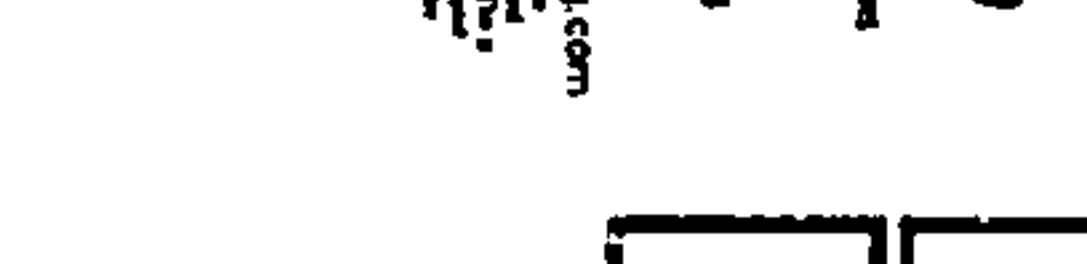
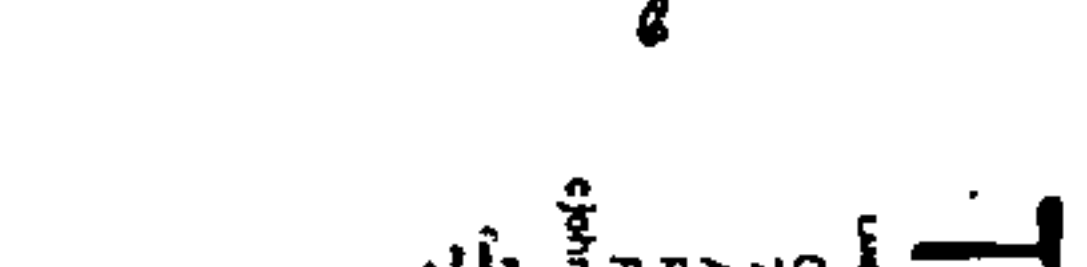
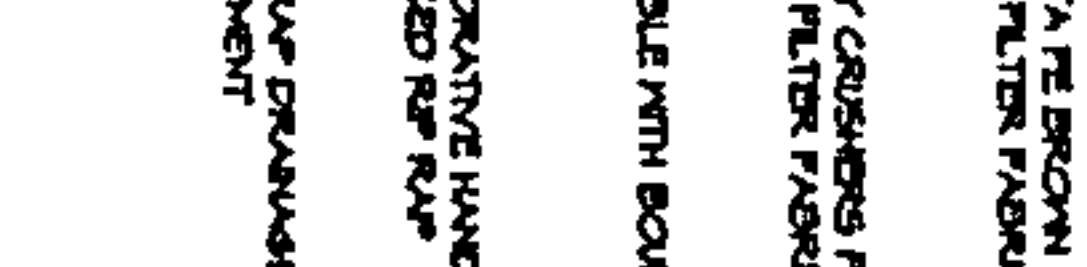
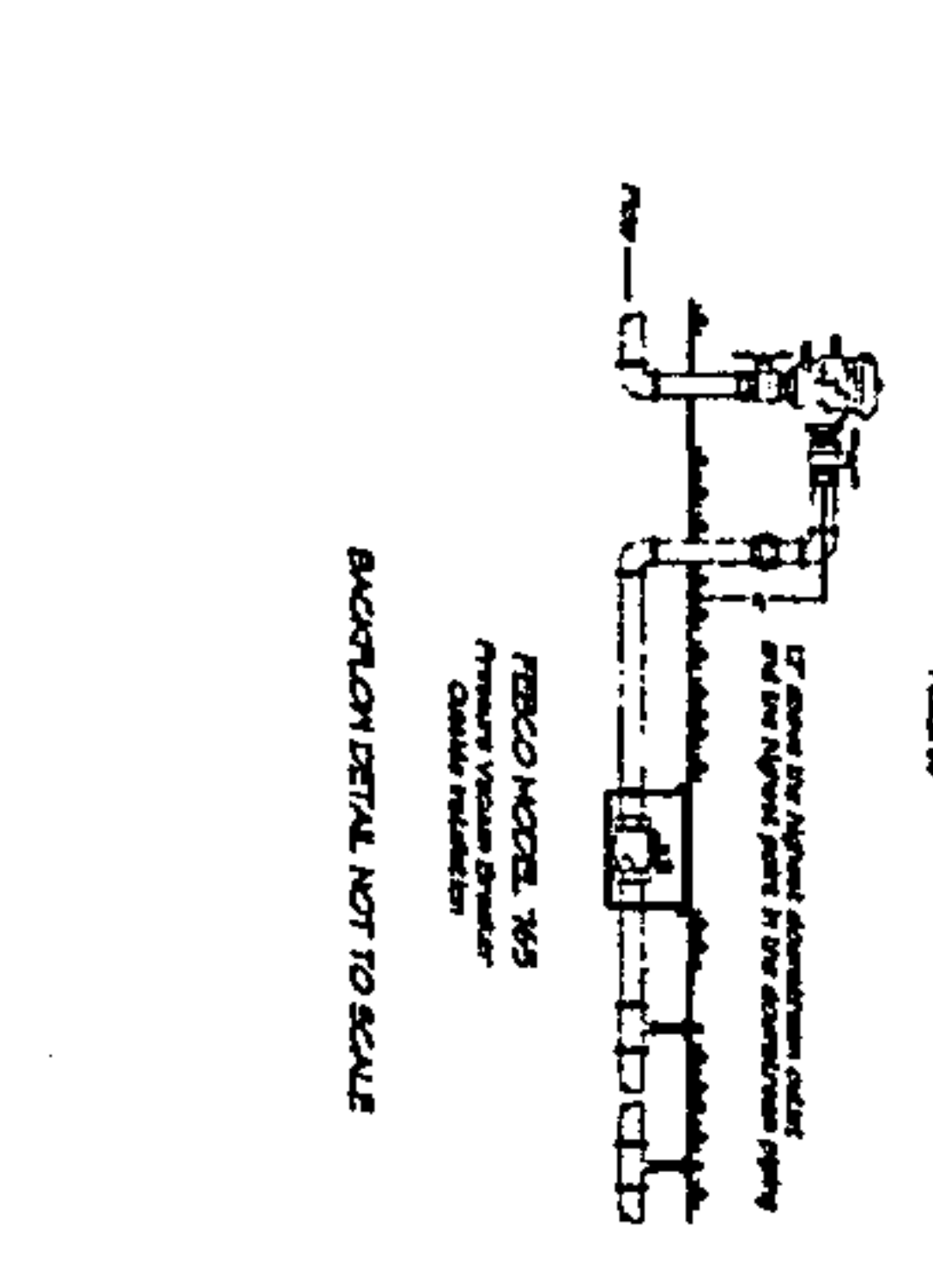
LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Ordinance and Water Conservation Ordinance. Approval of this plan does not constitute or imply exemption from water conservation provisions of the Water Conservation Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Police Ordinance, and Water Conservation Ordinance.
 Plant beds shall achieve 75% the ground cover at maturity.
 Santa Fe Brown Cracker Flies or Santa Fe Tan Gravel over Filter Fabric, shall be placed in all landscape areas which are not designated to receive native seed.

REGULATION NOTES:
 Irrigation shall be a complete underground system with trees to receive (3) 1/2 GPH Drip Emitters and Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be established in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.



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HANCOCK OFFICE BUILDING
 Lot 6, Journal Center Phase 2
 Albuquerque, NM 87109

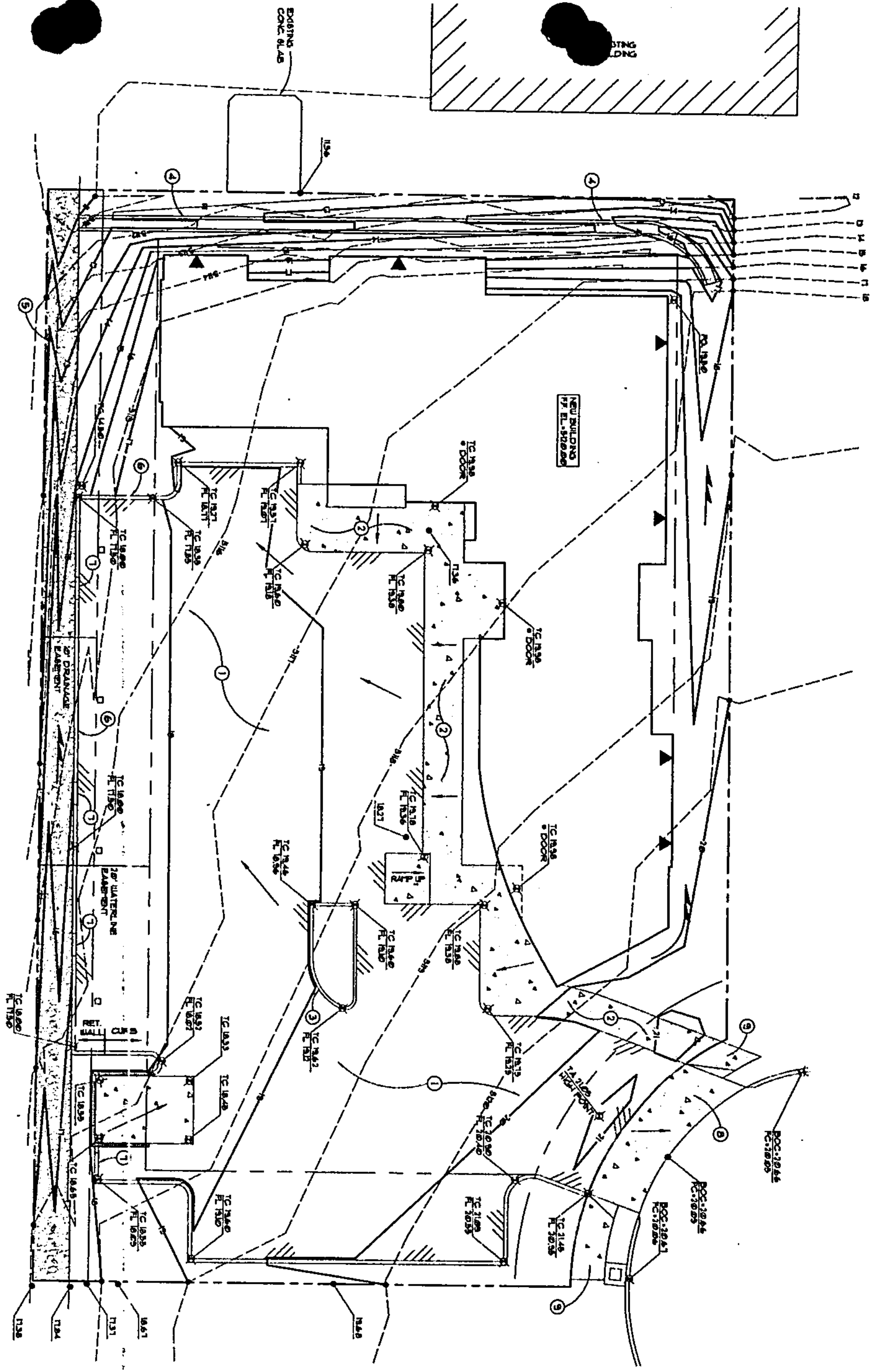
EDIN VANC IANCS ENTAL
 320 CENTRAL AVE SW
 ALBUQUERQUE, NM 87102
 TEL: 505.242.2811 FAX: 505.242.2852

The Hilltop
 LANDSCAPE ARCHITECTS & DESIGNERS
 7809 EDITH N.E.
 ALBUQUERQUE, NM 87119
 PH: (505) 888-9800
 FAX: (505) 888-7737
 www.hilltoplandscape.com

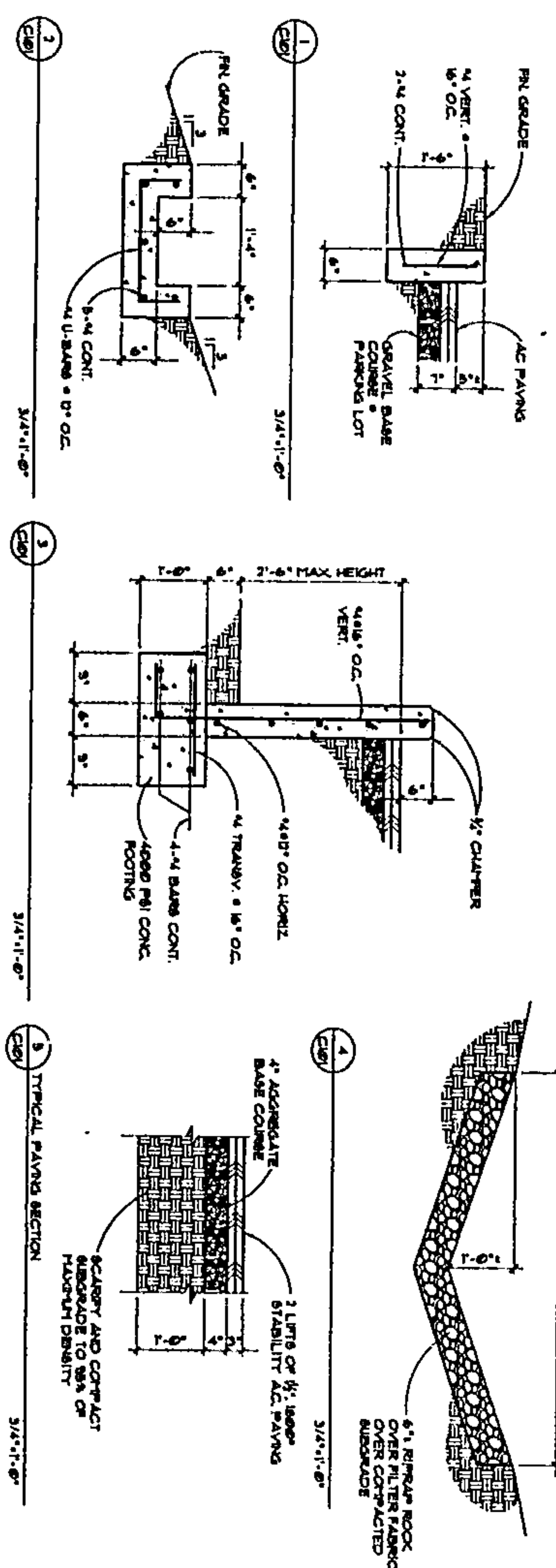
ISSUE
 108 REVISED
 SHEET NO. 11-08
 CHECKED: CJ
 DATE: 06/18/10

REVISIONS
 1. RAIL & ISD
 2. RAIL & ISD

0601
 L-1



GRADING AND DRAINAGE PLAN
1"=10'



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 1		DESIGN STORM (30)		DESIGN FLOW (CFS)		DESIGN VELOCITY (FPS)		DESIGN CHANNEL VELOCITY (FPS)	
AREA (ACRES)	PERCENT IMPERVIOUS	AREA (ACRES)	PERCENT IMPERVIOUS	AREA (ACRES)	PERCENT IMPERVIOUS	AREA (ACRES)	PERCENT IMPERVIOUS	AREA (ACRES)	PERCENT IMPERVIOUS
EXISTING	75%	EXISTING	75%	EXISTING	75%	EXISTING	75%	EXISTING	75%
NEW	75%	NEW	75%	NEW	75%	NEW	75%	NEW	75%
TOTALS	8336	TOTALS	8336	TOTALS	8336	TOTALS	8336	TOTALS	8336

KEYED NOTES

- 3" AC PAVING OVER 4" AGGREGATE BASE COURSE PER DETAIL 3-C-101
- 4" 4000 PSI AIR-ENTRAINED CONCRETE SIDEWALK
- 4000 PSI CONCRETE CURB PER DETAIL 3-C-101
- CONCRETE DRAINAGE GULLE PER DETAIL 3-C-101
- 4" V-DRAIN LINED GULLE - SEE DETAILS 4-C-101
- RETAINING WALL - SEE DETAILS 4-C-101
- 4" 4" UDC CURB/WALL BREAK FOR SLOPE RELEASE
- CONCRETE DRIVE PAD PER COA STANDARD DRAWING DETAIL 3-C-101
- CONCRETE SIDEWALK PER COA STANDARD DRAWING DETAIL 3-C-101

DESIGN NARRATIVE

The existing site is graded to direct runoff to the southeast corner of the property through a drainage easement, west through the easement, north through the drainage easement, and east through the easement. The existing site has been recently subdivided with a gravel lined storm drain along the south property edge to handle onsite developed flow and off-site flow from the site and the site owner's properties as well as the appropriate runoff from the site. The proposed drainage flow through the easement west to the drainage easement.

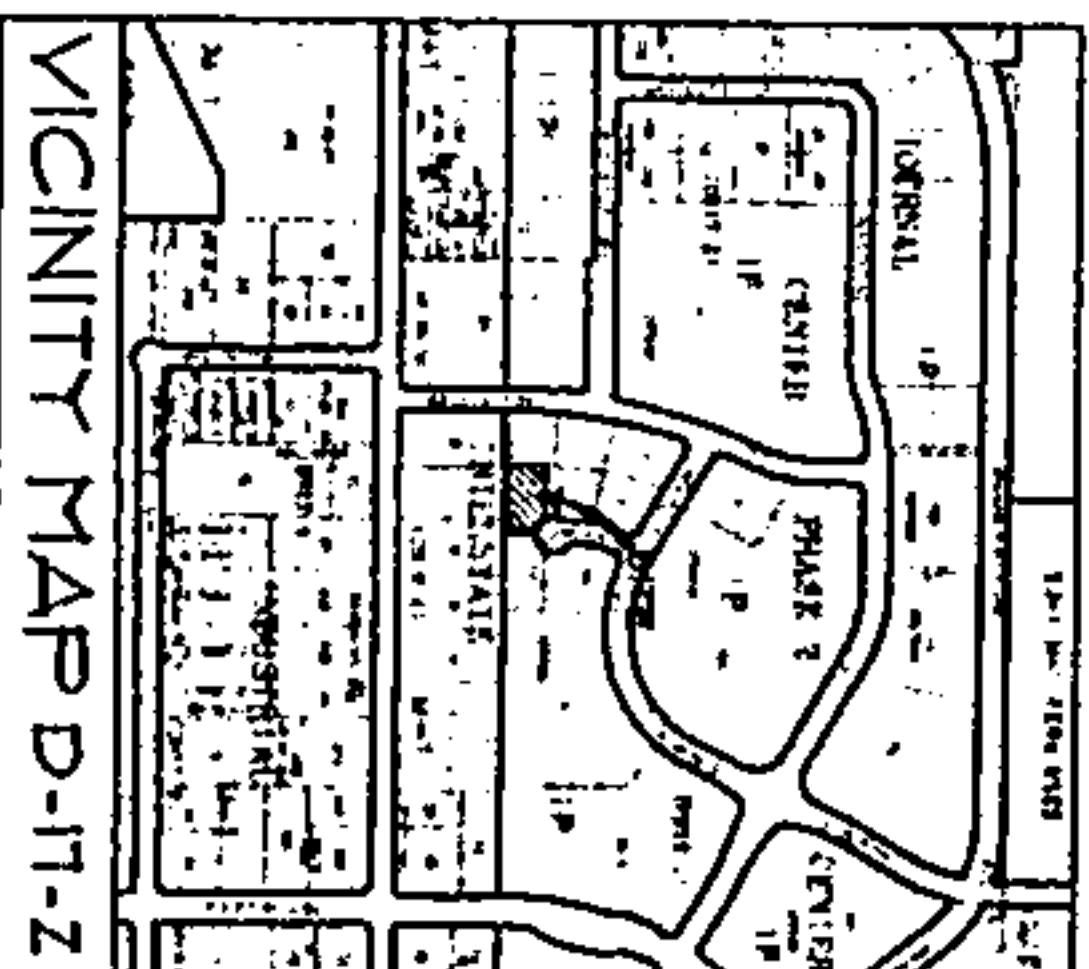
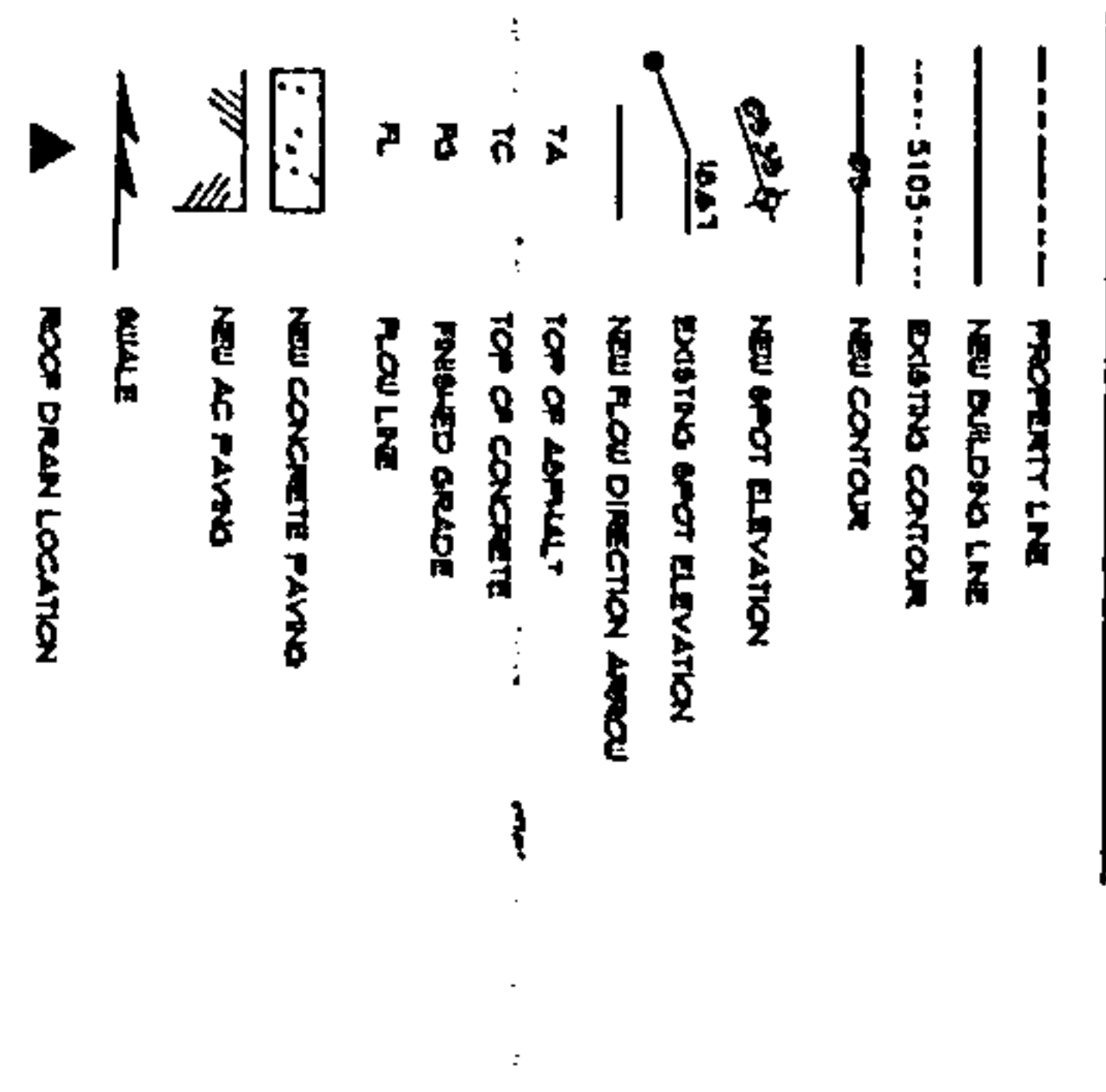
LEGAL DESCRIPTION

LOT 6 OF JOURNAL CENTER UNIT 1, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATION ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 1017, HAVING AN ELEVATION OF 5279.90.

LEGEND



ISSUE	DATE	BY	CHKD
DESIGN SET	01/18/20	WALLY	WALLY
REVISIONS			

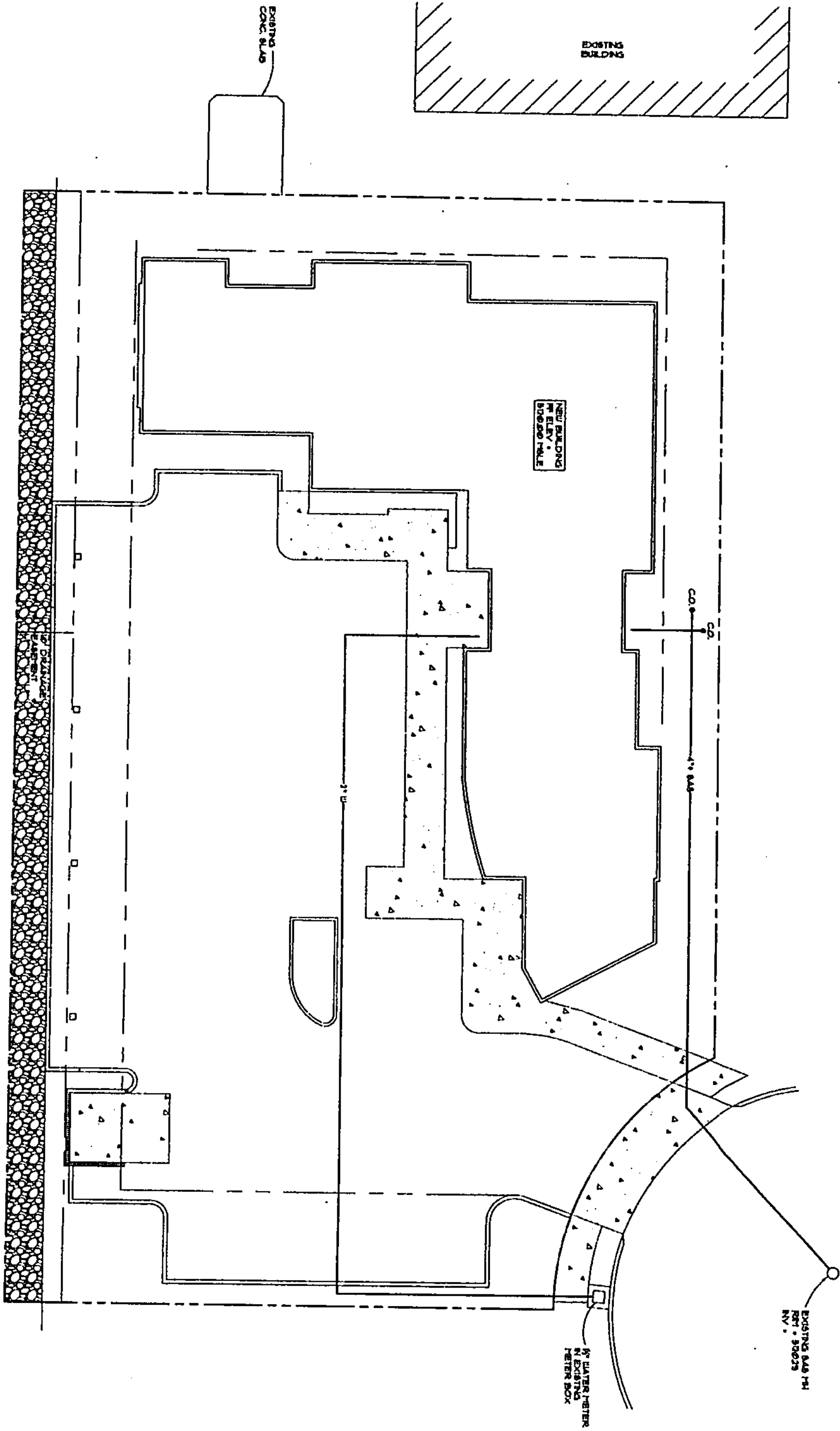
Hancock Office Building
7401 Hancock, NE
Albuquerque, NM 87109

EDWARDS & KELCEY
142 TRIAMAN NE, SUITE A1
ALBUQUERQUE, NM 87108
TEL 505.242.2851 FAX 505.242.2852



0708
C-101

GRADING AND DRAINAGE PLAN



SITE UTILITY PLAN
1"=10'

LEGAL DESCRIPTION
LOT 6 OF JOURNAL CENTER UNIT 1, BERNALILLO COUNTY, NEW MEXICO

LEGEND

W	WATER
S&S	SEWER
CO.	CLEAN OUT
UH	WATER HEATER
NV	INVERT
PF	PAVED FLOOR
ELEV	ELEVATION
TM	PEARL SEA LEVEL ELEVATION
HATCHOLE	HATCHOLE

ED I
N Y N C
V I A
R I M
S I R I C S
M E N T A L

142 TRUMAN NE, SUITE A1
ALBUQUERQUE, NM 87108
TEL 505.242.2851 FAX 505.242.2852

Hancock Office Building
7401 Hancock, NE
Albuquerque, NM 87109

ISSUE	DATE
ONE REVIEW SET	
DRAWN	DATE
BY	
CHECKED	DATE
BY	
DATE	
REVISIONS	

SITE UTILITY PLAN

0708

C-102

Wylla
Structural Engineering
142 Truman NE, Suite A1
Albuquerque, NM 87108
Tel: 505.242.2851 Fax: 505.242.2852



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from June 5, 2007 To June 20, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Jonda Chesher, Pres. 5/25/2007
(Applicant or Agent) Chesh Ent, Inc. (Date)

I issued 1 signs for this application, 5/25/07 Jed u...
(Date) (Staff Member)

DRB PROJECT NUMBER: 1006503

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

05/25/2007 Issued By: PLNSDH

Permit Number: 2007 070 019

Application Number: 07DRB-70019, Major - Sdp For Building Permit

Address: 7401 Hancock Ct Ne,

Location Description: MASTHEAD NE BETWEEN WASHINGTON NE AND JEFFERSON NE

Project Number: 1008503

Applicant
Chesh Ent Inc

2811 Indian School Rd Ne
Albuquerque, NM 87108

lvchesh@msn.com

Agent / Contact
Chesh Ent Inc

2811 Indian School Rd Ne
Albuquerque, NM 87108

lvchesh@msn.com

Application Fees

441018/4871000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$480.00

City of Albuquerque
 Treasury Division
 5/25/2007 12:42PM
 RECEIPT# 0007214 WSH 006 TRNSH 0025
 Account 441006 Fund 0110
 Activity 4983000
 Trans Amt \$480.00
 J24 Misc \$385.00
 VI \$480.00
 CHANGE \$0.00

Thank You

5/25/2007 12:42PM LOC: ANNX
 RECEIPT# 0007213 WSH 006 TRNSH 0025
 Account 441032 Fund 0110
 Activity 3424000
 Trans Amt \$480.00
 J24 Misc \$20.00
 TRSCCS

City Of Albuquerque
 Treasury Division

Thank You

City Of Albuquerque
Treasury Division

5/25/2007 12:41PM LOC: ANNX
 RECEIPT# 0007212 WSH 006 TRNSH 0025
 Account 441018 Fund 0110
 Activity 4971000
 Trans Amt \$480.00
 J24 Misc \$75.00
 TRSCCS

Thank You

7401 HANCOCK, NE-OFFICE

environmental dynamics, inc.
architecture + sustainability consulting



FULL CUTOFF "SHOE BOX"
TYPE LUMINAIRE AS SPECIFIED

SQUARE STRAIGHT
STEEL POLE

FLUSH HANDHOLE & COVER
ANCHOR BOLTS
GROUT AROUND BASE PLATE
CHAMFER

EXPOSED CONCRETE TO
HAVE RUBBED FINISH
PAINT PER ARCHITECT

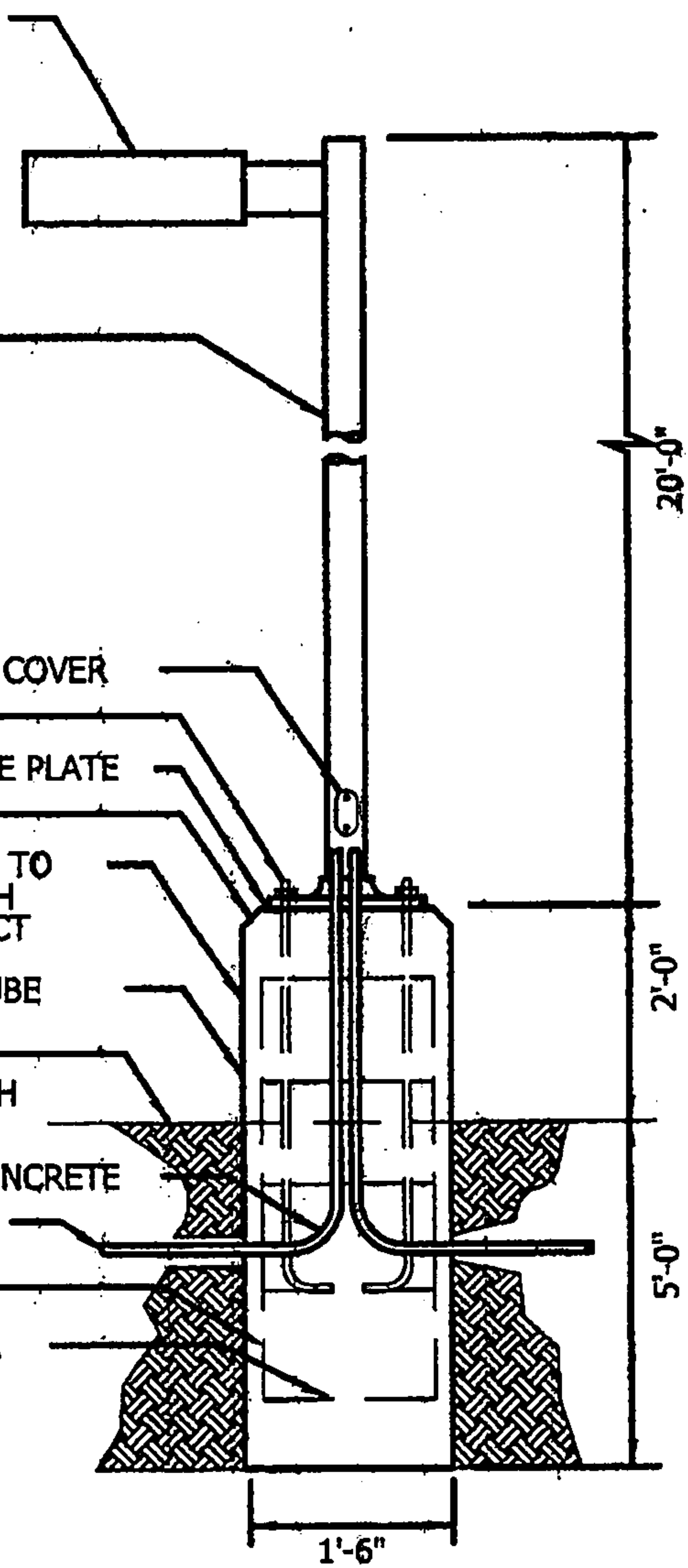
1'-6" X 2'-6" SONOTUBE

FINISHED GRADE
UNDISTURBED EARTH

3/4" CONDUIT IN CONCRETE
CONDUIT BURY 18"

4 # 5 REBAR

3 TIES AT 12" O.C.



20'-0"

2'-0"

5'-0"

1'-6"

LIGHT POLE BASE - 7401 HANCOCK OFFICE

DRB REVIEW SET • 5/18/07

NONE

CITY OF ALBUQUERQUE



May 14, 2007

Mike J. Walla, P.E.
Walla Engineering
6100 Indian School NE, Suite 210
Albuquerque, NM 87110

**Re: Hancock Office Building Grading and Drainage Plan
Engineer's Stamp dated 5-10-07 (D17/D03AA5)**

Dear Mr. Walla,

Based upon the information provided in your submittal dated 5-10-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Curtis A. Chernc, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

Albuquerque - Making History 1706-2006