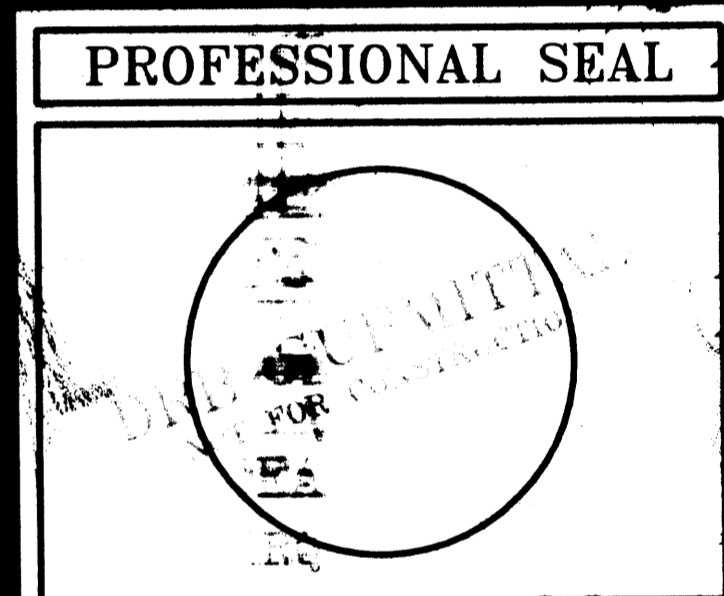


CLAUDIO VIGIL ARCHITECTS
 1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

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CONSULTANTS



A1

SCALE: 1"=30'-0"

PROJECT INFORMATION

PROJECT: CORLEYS ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP
LOCATION: PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO
OWNER: JR. & SR. LLC 7400 MERIDIAN PLACE N.W., SUITE D ALBUQUERQUE, NEW MEXICO 87121
ARCHITECT: CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W., ALBUQUERQUE, NEW MEXICO 87104
LEGAL DESCRIPTION: LOTS 17-21, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ZONING ATLAS MAP: C18
ZONING CLASSIFICATION: S12 FOR IP USES
APPLICABLE BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE
BUILDING FUNCTION: NEW AUTOMOBILE DEALERSHIP FOR NEW AND USED CAR SALES, AUTOMOBILE REPAIR, & PARTS SALES
CONSTRUCTION TYPE: TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM
OCCUPANCY TYPE: B (OFFICE/SHOWROOM), S-1 (SERVICE), S-2 (PARTS)
NUMBER OF FLOORS: OFFICE, SHOWROOM, TWO SERVICE, ONE CAR WASH, ONE
BUILDING HEIGHT: 55'-0" A.F.F.
GROSS SQUARE FOOTAGE: OFFICE, SHOWROOM, AND SERVICE = 37,778 SF CARWASH = 879 SF
NET USEABLE SQUARE FOOTAGE: OFFICE, SHOWROOM, CARWASH = 10,651 S.F. PARTS = 3,265 S.F. SERVICE = 19,166 S.F. CAR WASH = 780 S.F.
OCCUPANCY LOAD: OFFICE = 3,875 S.F. / 100 = 39 OCCUPANTS SHOWROOM = 5,940 S.F. / 100 = 59 OCCUPANTS CAFE KITCHEN = 180 S.F. / 200 = 1 OCCUPANT CAFE SEATING = 856 S.F. / 15 = 44 OCCUPANTS PARTS = 3,265 S.F. / 500 = 7 OCCUPANTS SERVICE BAYS = 23 BAYS = 23 OCCUPANTS
TOTAL OCCUPANT LOAD = 173 OCCUPANTS
EXIT WIDTH REQUIRED: OFFICE, SHOWROOM, CAFE = 22 INCHES PARTS = 1 INCHES SERVICE BAYS = 4 INCHES
EXIT WIDTH PROVIDED: OFFICE, SHOWROOM, CAFE = 384 INCHES PARTS = 36 INCHES SERVICE BAYS = 144 INCHES

NUMBER OF EXITS PROVIDED: OFFICE, SHOWROOM, CAFE = SIX PARTS = ONE SERVICE BAYS = FOUR
ALLOWABLE AREA: ALLOWABLE AREA: (PER UBC TABLE 503) INCLUDES AREA INCREASES FOR AUTOMATIC SPRINKLER SYSTEMS
ALLOWABLE AREA PER FLOOR: $A_2 = A_1 \times \left[\frac{A_1}{100} \right]^{1/2}$; $A_2 = 200$ FOR 2-STORY, 300 FOR SINGLE STORY PER SEC. 506.3
OFFICES & SHOWROOM = TYPE II-B CONSTRUCTION & B OCCUPANCY:
 $A_2 = A_1 \times \left[\frac{A_1}{100} \right]^{1/2} = 23,000 + \left[\frac{23,000 \times 200}{100} \right] = 69,000$ S.F.
 $A_2 = 48,000 \times 2$ (SEC 506.4 FOR 2-STORY BLDGS) = 138,000 S.F. > 14,828 S.F. PROVIDED
SERVICE AREA = TYPE II-B CONSTRUCTION & S-1 OCCUPANCY:
 $A_2 = A_1 \times \left[\frac{A_1}{100} \right]^{1/2} = 17,500 + \left[\frac{17,500 \times 300}{100} \right] = 52,500$ S.F. > 19,569 S.F. PROVIDED
PARTS = TYPE II-B CONSTRUCTION & S-2 OCCUPANCY:
 $A_2 = A_1 \times \left[\frac{A_1}{100} \right]^{1/2} = 26,000 + \left[\frac{26,000 \times 200}{100} \right] = 78,000$ S.F. > 3,581 S.F. PROVIDED
 $A_2 = 78,000 \times 2$ (SEC 506.4 FOR 2-STORY BLDGS) = 156,000 S.F. > 3,581 S.F. PROVIDED
TOTAL ALLOWABLE AREA: 346,500 S.F.
TOTAL BUILDING AREA: 37,778 S.F.
CARWASH = TYPE II-B CONSTRUCTION & B OCCUPANCY:
 $A_2 = 23,000$ S.F. > 879 S.F. PROVIDED

PLUMBING FIXTURE REQUIREMENTS: REQUIRED PER TABLE 2902.1
B OCCUPANCY = 143 OCCUPANTS 50/25 + 93/50 = 4 TOTAL REQUIRED TOILETS 50/40 + 93/80 = 2 REQUIRED LAVS
 2 WATER CLOSETS (MALE) REQUIRED 2 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORIES EACH GENDER REQUIRED
S-1 OCCUPANCY = 23 OCCUPANTS 23/100 = 1 TOTAL REQUIRED TOILET 23/100 = 1 TOTAL REQUIRED LAVS
 1 WATER CLOSETS (MALE) REQUIRED 1 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORY EACH GENDER REQUIRED
S-2 OCCUPANCY = 7 OCCUPANTS 7/100 = 1 TOTAL REQUIRED TOILET 7/100 = 1 TOTAL REQUIRED LAVS
 1 WATER CLOSETS (MALE) REQUIRED 1 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORY EACH GENDER REQUIRED

PLUMBING FIXTURE REQ. (CONT.): TOTAL FIXTURES REQUIRED
 4 WATER CLOSETS (MALE) REQUIRED
 4 WATER CLOSETS (FEMALE) REQUIRED
 4 LAVATORIES EACH GENDER REQUIRED
TOTAL FIXTURES REQUIRED
 4 WATER CLOSETS (MALE) PROVIDED
 5 WATER CLOSETS (FEMALE) PROVIDED
 5 URINALS (MALE) PROVIDED
 6 LAVATORIES (MALE) PROVIDED
 5 LAVATORIES (FEMALE) PROVIDED
PARKING ANALYSIS: OFFICE, SHOWROOM, CAFE = 10,651/200 = 53 SPACES PARTS = 3,265/2000 = 1 SPACE SERVICE = 23 BAYS = 23 SPACES TOTAL PARKING SPACES REQUIRED = 77 PARKING SPACES (INCLUDES 3 MOTORCYCLE SPACES)
 TOTAL PARKING SPACES PROVIDED = 226 PARKING SPACES
 REGULAR PARKING SPACES = 73
 HANDICAP PARKING SPACES = 4
 REG. NEW CAR INVENTORY SPACES = 79
 SM. NEW CAR INVENTORY SPACES = 24
 REG. USED CAR INVENTORY SPACES = 18
 SERVICE USE SPACES = 26
BICYCLE SPACES: REQUIRED PARKING - 77/20 = 4 BICYCLES (4 SPACES) TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES
TOTAL LOT AREA: 169,934 S.F., 3.90 ACRES
NET LOT AREA: 169,934 - 32,094 = 137,840
TOTAL PARKING/PAVED AREA: 103,555 S.F.
TOTAL LANDSCAPE AREA REQUIRED: 20,676 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 28,819 S.F.

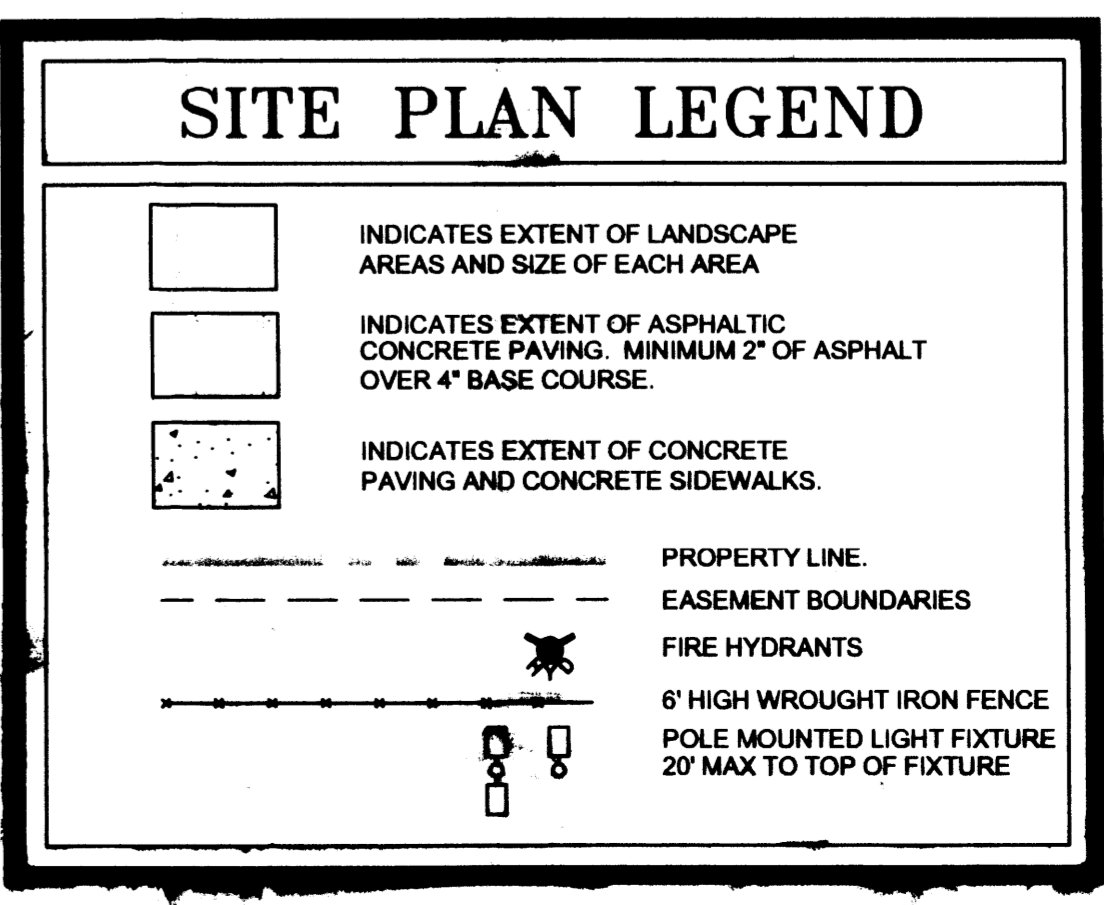
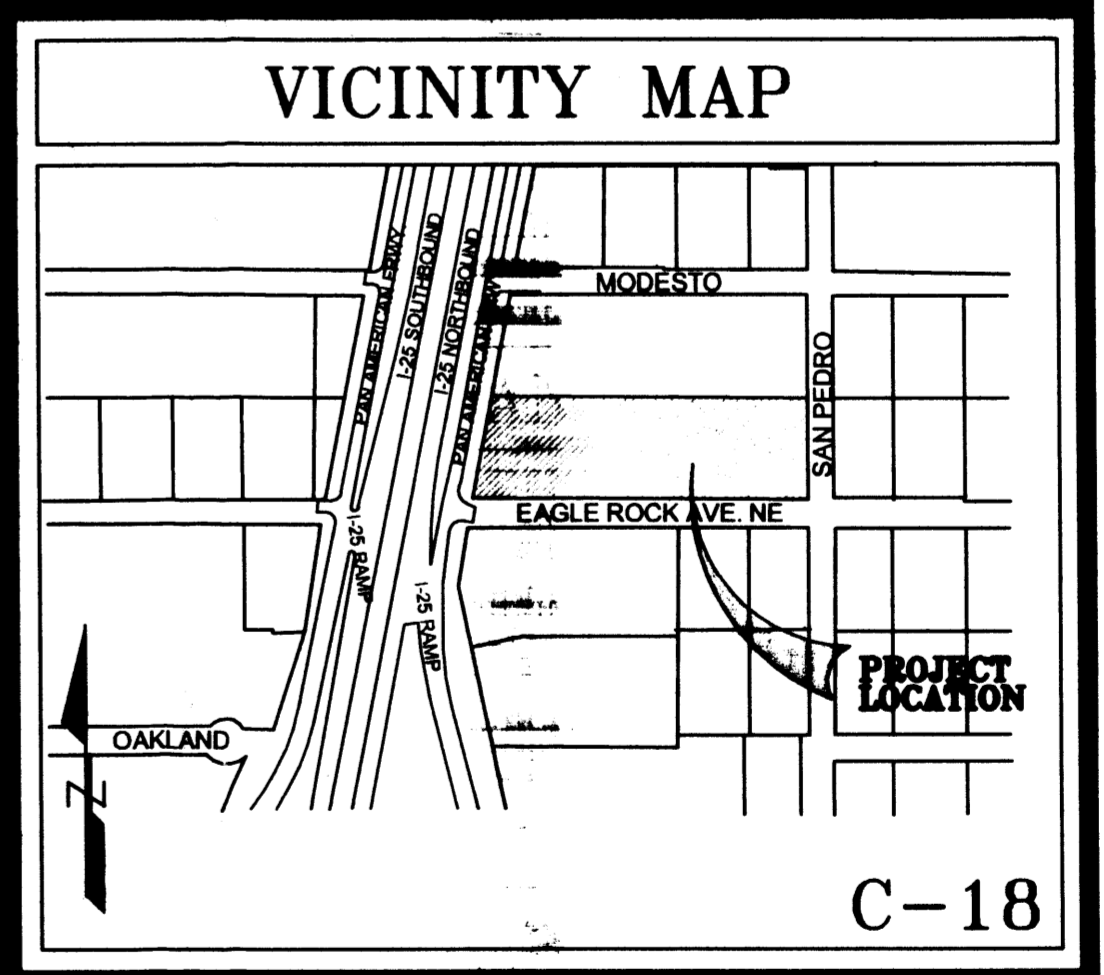
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PROJECT NUMBER: 1006505
 APPLICATION CASE NUMBER: 01DR8-7002

IS AN INFRASTRUCTURE LIST REQUIRED? (YES) (X) NO. IF YES, THEN A SET OF APPROVED DBC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DBR SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

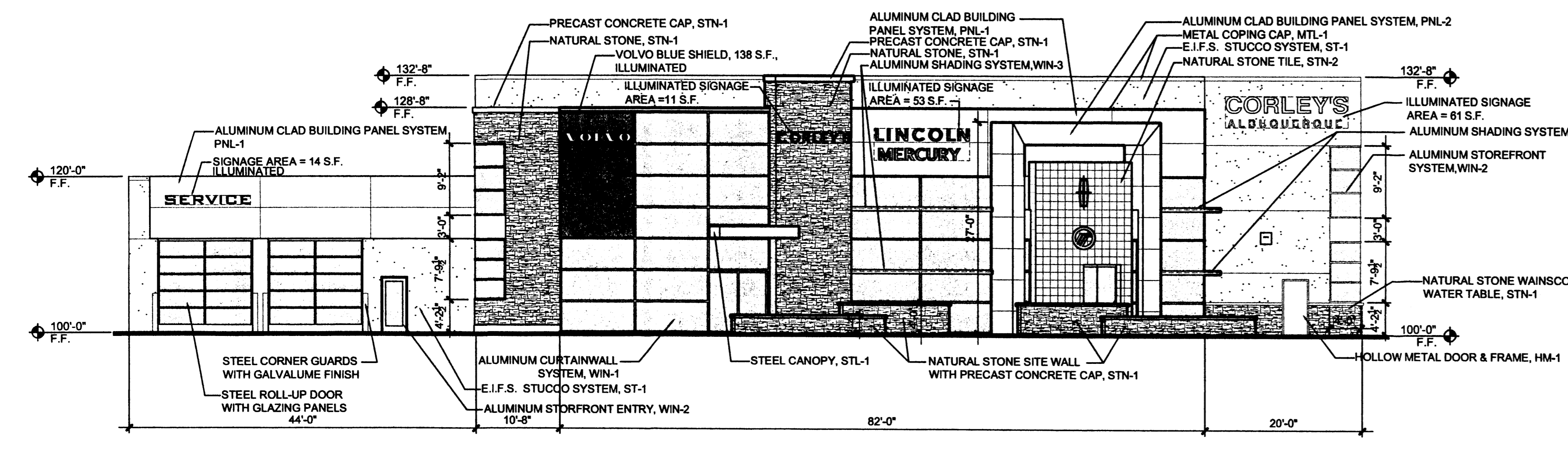
6-20-07 DATE
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 6/20/07 DATE
 6-20-07 DATE
 5/25/07 DATE
 7/6/07 DATE



CORLEYS ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

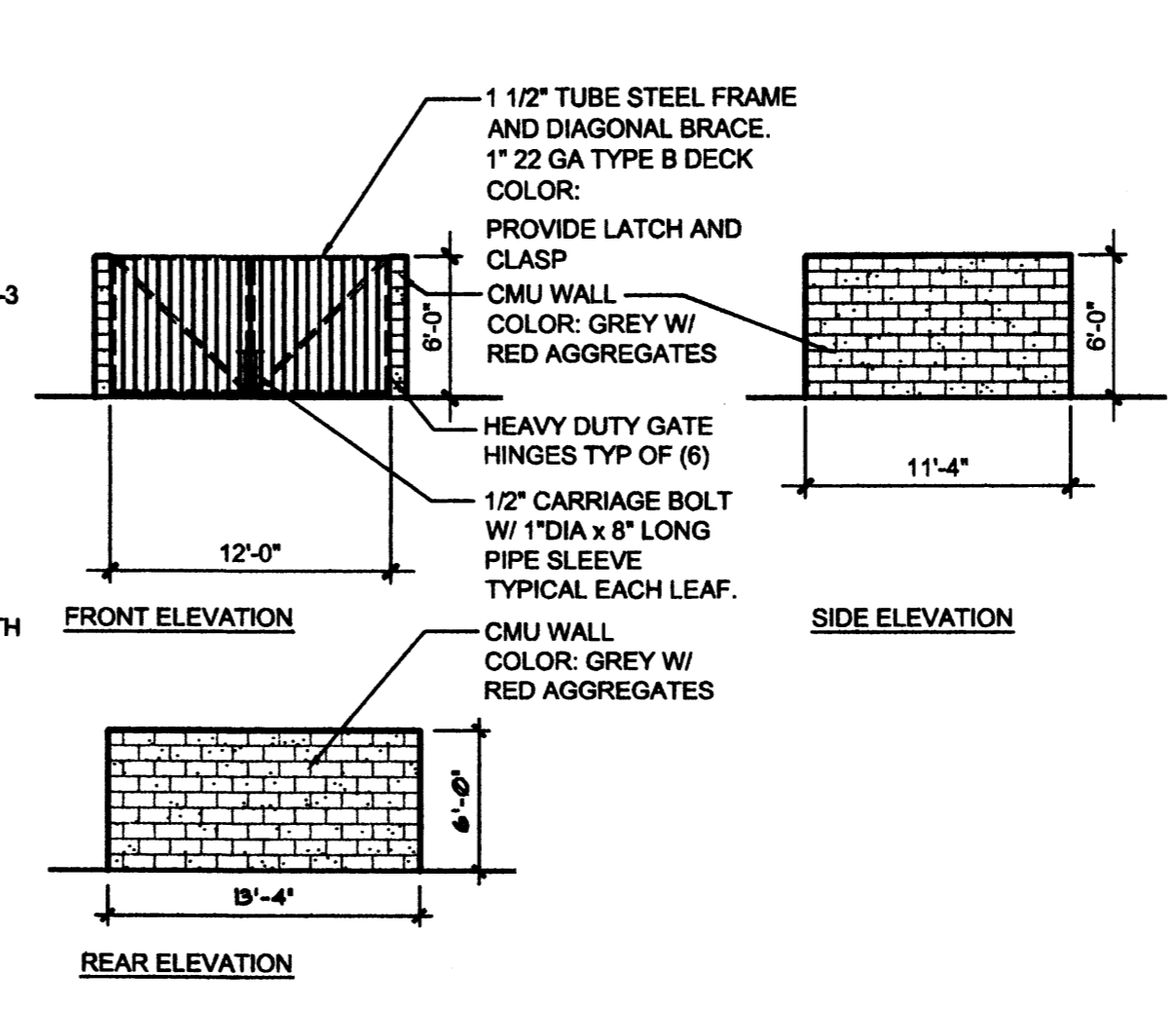
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 DATE: MAY 29, 2006
SHEET TITLE
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SHEET NUMBER
 C-101



WEST ELEVATION

D1

SCALE: 3/32" = 1'-0"

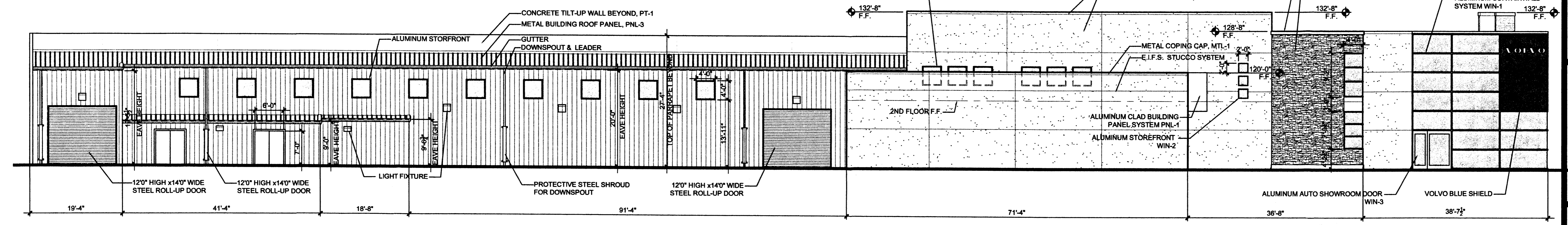


D2 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

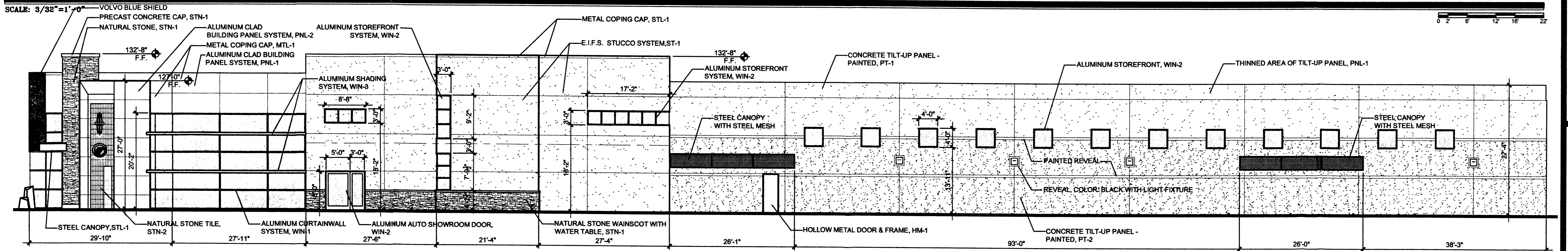
- ST-1: 1" PORTLAND STUCCO WITH ELASTOMERIC COLOR COAT COLOR: LIGHT TAN
- CONC-1: SITE CAST REINFORCED CONCRETE BUILDING BASE COLOR: GREY
- PNL-1: ALUMINUM CLAD BUILDING PANEL SYSTEM COLOR: WHITE
- PNL-2: ALUMINUM CLAD BUILDING PANEL SYSTEM COLOR: MEDIUM TAN
- PNL-3: METAL BUILDING PANEL COLOR: LIGHT TAN
- PT-1: PAINT COLOR: LIGHT TAN
- PT-2: PAINT COLOR: MEDIUM TAN
- HM-1: HOLLOW METAL FRAMES COLOR: MEDIUM TAN
- WIN-1: ALUMINUM CURTAIN WALL SYSTEM COLOR: CLEAR ANODIZED ALUMINUM
- WIN-2: ALUMINUM STOREFRONT COLOR: CLEAR ANODIZED ALUMINUM
- WIN-3: ALUMINUM SHADING DEVICE COLOR: CLEAR ANODIZED ALUMINUM
- STL-1: STEEL AWNING COLOR: WHITE
- BLK-1: SPLIT FACED CONCRETE MASONRY UNITS COLOR: GREY W/ EXPOSED RED AGGREGATES
- MTL-1: METAL COPING CAP COLOR: CLEAR ANODIZED ALUMINUM
- STN-1: NATURAL STONE VENEER COLOR: MIX OF COLORS PRIMARILY, MED TAN



NORTH ELEVATION

C1

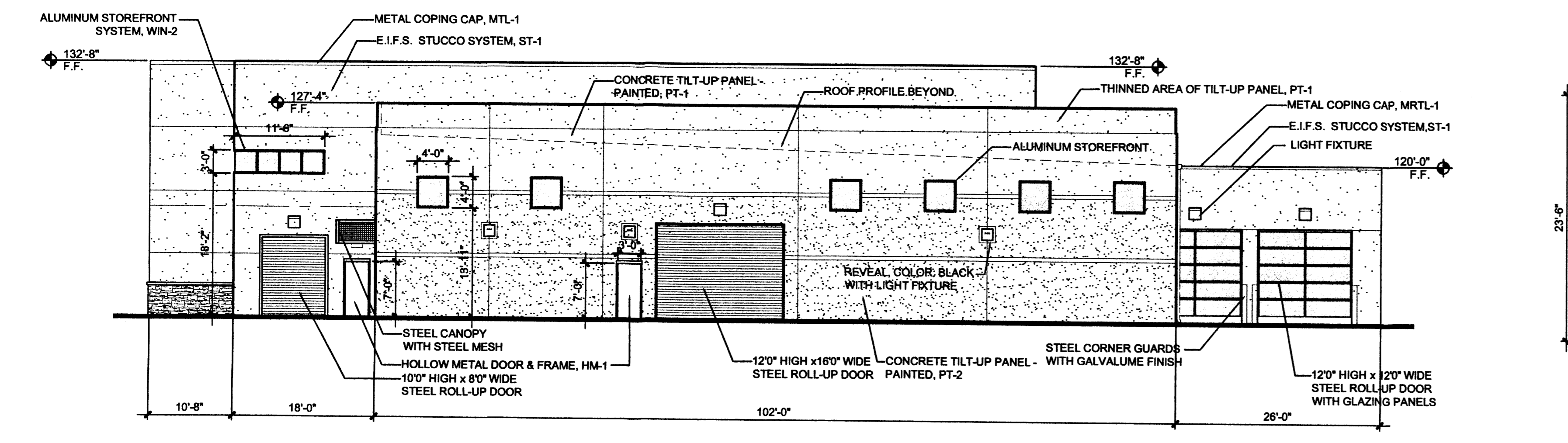
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

B1

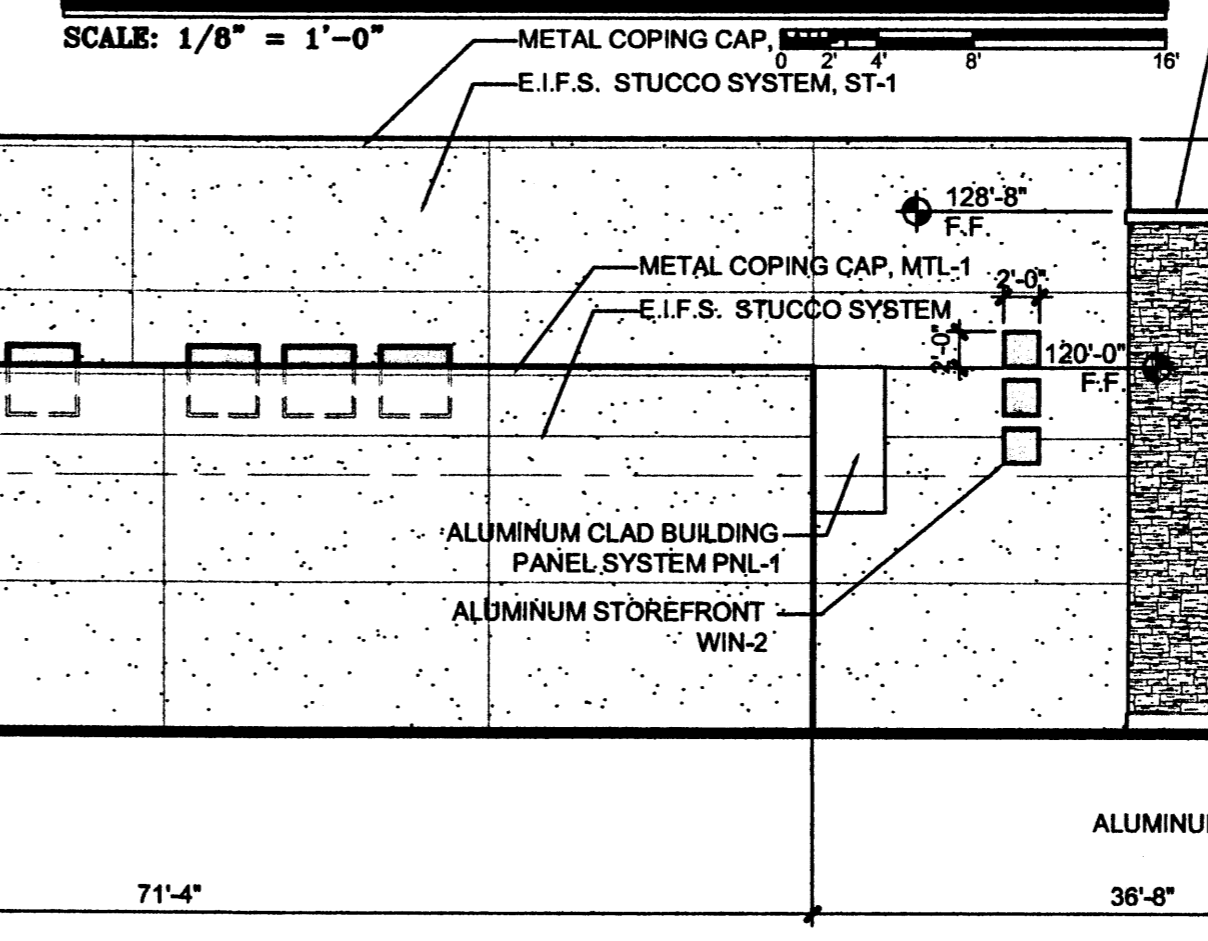
SCALE: 3/32" = 1'-0"



EAST ELEVATION

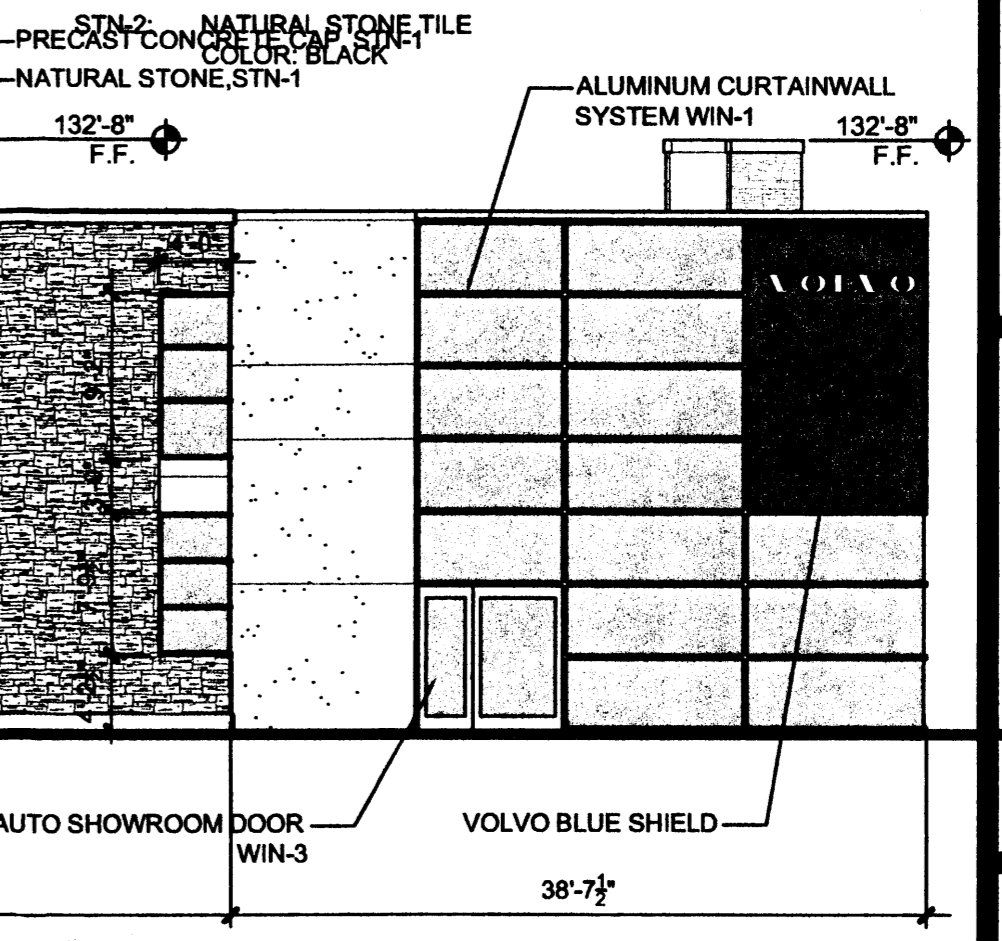
A1

SCALE: 3/32" = 1'-0"



A3 LM MONUMENT SIGN

SCALE: 1/8" = 1'-0"



A4 VOLVO MONUMENT SIGN

SCALE: 1/8" = 1'-0"

1. ALUMINUM PANEL SYSTEM, COLOR: BLACK
2. ACRYLIC PANEL @ LOGO, COLOR: WHITE
3. ACRYLIC PANEL @ LETTERING, COLOR: WHITE, 8" HIGH TEXT
4. ACRYLIC PANEL @ LETTERING, COLOR: WHITE, 19" HIGH TEXT
5. OPENING THRU SIGN

1. ALUMINUM PANEL SYSTEM, COLOR: WHITE
2. ALUMINUM PANEL SYSTEM, COLOR: BLUE
3. ACRYLIC PANEL @ LETTERING, COLOR: WHITE, 19" HIGH TEXT
4. STEEL FRAME SUPPORT

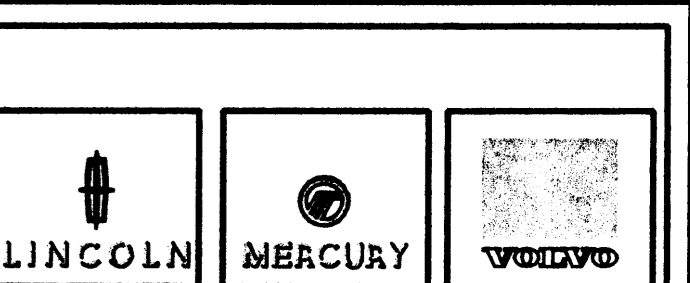
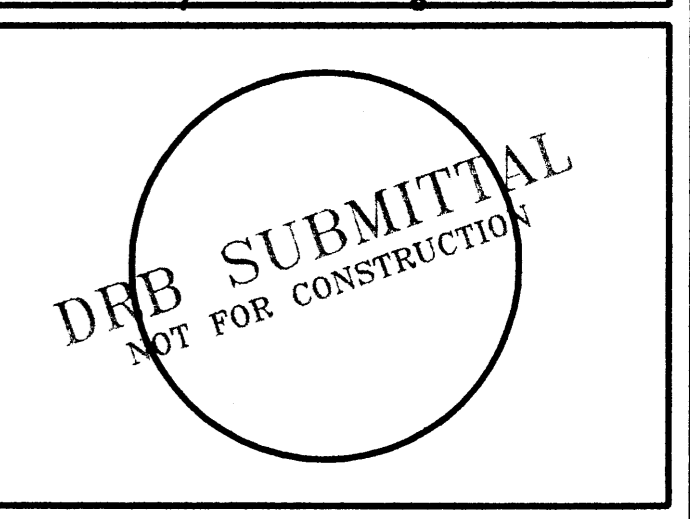
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Albuquerque, New Mexico
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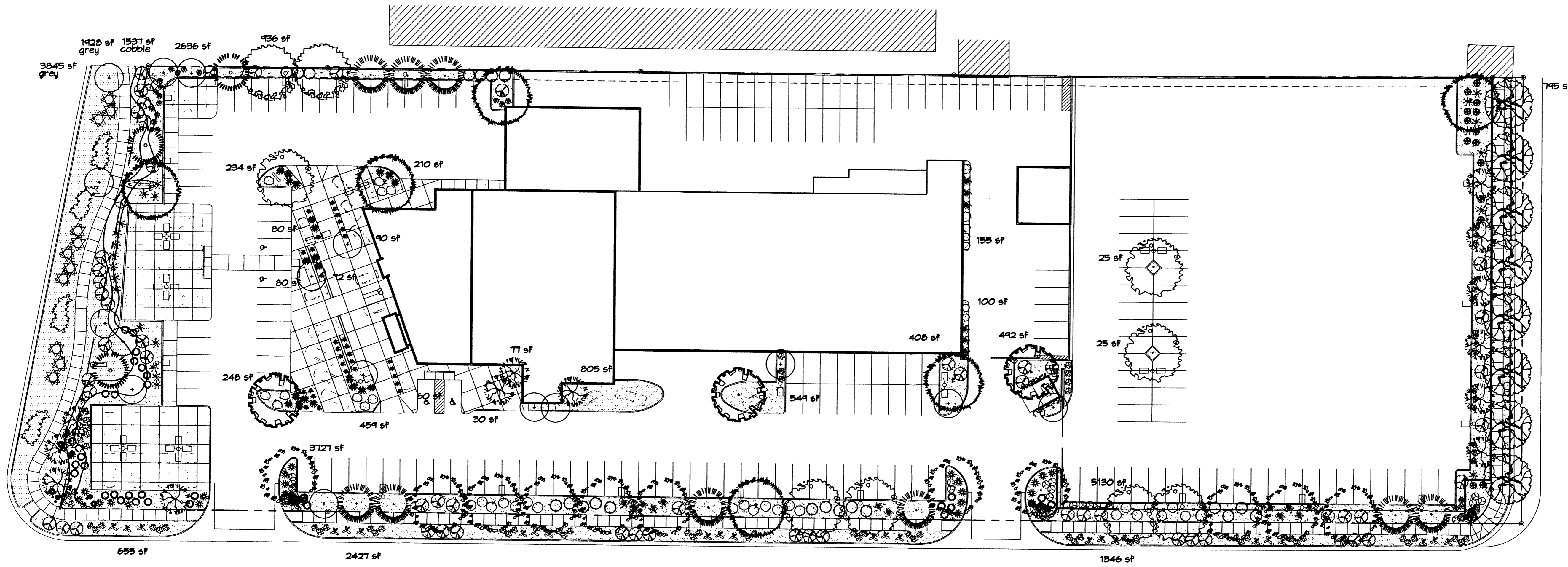
CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

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SHEET TITLE
DEALERSHIP EXTERIOR ELEVATIONS

SHEET NUMBER
A-201



PLANT LEGEND

- CHINESE PISTACHE (M) 1
Pistacia chinensis
2" Cal.
- SHUMARD OAK (M) 6
Quercus shumardii
2" Cal.
- CHITALPA (M) 3
Chilopsis x Chitalpa
2" Cal.
- COMMON HACKBERRY (M) 11
Celtis occidentalis
2" Cal.
- VITEX (M) 13
Vitex agnus-castus
15 Gal. 225 sf
- DESERT ACCENTS**
- COCOTILLO (L) 3
Fouquieria splendens
- KENTUCKY COFFEE TREE (M) 2
Gymnocladus dioica
2" Cal.
- EASTERN REDBUD (M) 8
Cercis canadensis
2" Cal.
- AUSTRIAN PINE (M) 9
Pinus nigra
6"-8"
- BLUE SPRUCE (M+) 3
Picea pungens
6"-8"
- NEW MEXICO OLIVE (L) 16
Forestiera neomexicana
15 Gal. 225sf
- RED YUCCA (L) 21
Hesperaloe parviflora
5 Gal. 4sf
- PRICKLY PEAR (L) 24
Opuntia macrocentra
4 sf

PLANT LEGEND (CONTINUED)

- SHRUBS/ORNAMENTAL GRASSES**
- THREE-LEAF SUMAC (L) 22
Rhus trilobata
1 Gal. 36sf
- APACHE PLUME (L) 21
Fallugia paradoxa
1 Gal. 25sf
- POMMES CASTLE SAGE (L+) 14
Artemisia X Poulis Castle
1 Gal. 25sf
- FERN BUSH (L+) 11
Chamaebotria millefolium
1 Gal. 25sf
- MAIDEN GRASS (M) 18
Miscanthus sinensis
1 Gal. 16sf
- TURPENTINE BUSH (L+) 33
Ericameria laricifolia
1 Gal. 16sf
- DEER GRASS (M) 24
Muhlenbergia rigens
1 Gal. 16sf
- HONEYSUCKLE (M) 60
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- WHIRLING BUTTERFLIES (M)
Gaura lindheimeri
1 Gal. 16sf
- REGAL MIST (M) 14
Muhlenbergia capillaris
1 Gal. 4sf
- BLUE MIST SPIREA (M) 34
Caryopteris clandonensis
1 Gal. 4sf
- AUTUMN SAGE (M) 19
Salvia greggii
1 Gal. 4sf
- WILDFLOWER 26
1 Gal. 4sf
- BLUE FESCUE (M) 31
Festuca ovina glauca
1 Gal. 4sf
- THREADGRASS (M) 67
Stipa tenuissima
1 Gal. 4sf
- TRUMPET VINE (M) 2
Campsis radicans
1 Gal.
- LADY BANKS ROSE (M) 4
Rosa banksiae
5 Gal. 400sf
Unstaked Groundcover

HARDSCAPES

- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- COBBLE WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- NATURAL EDGE
- OVERSIZED GRAVEL 4 TO 18 BOULDERS

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: San Pedro NE
Required # 8 Provided # 8

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 28 Provided # 29

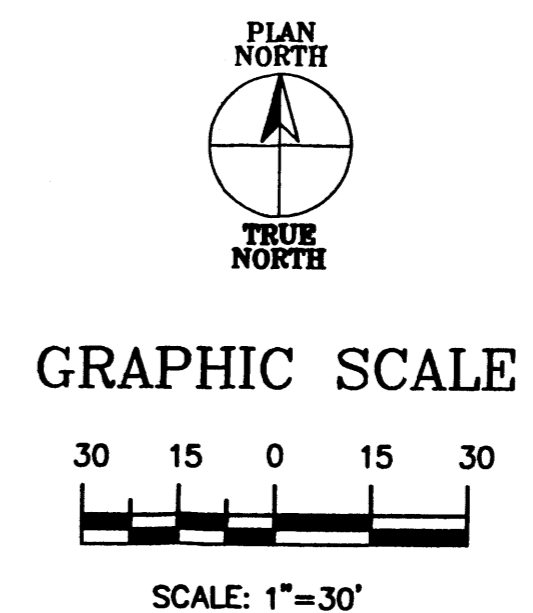
NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

SEE SHEET L-101 FOR DETAILS & NOTES

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	169934	square feet
TOTAL BUILDINGS AREA	31892	square feet
NET LOT AREA	138042	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	20706	square feet
TOTAL BED PROVIDED	29161	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21871	square feet
TOTAL GROUNDCOVER PROVIDED	21904 (75%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	29161 (21%)	square feet



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
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ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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CORLEY'S OF ALBUQUERQUE
PAN AMERICAN FREEWAY AND SAN PEDRO

5-22-07	Comments mmm
5-21-07	Revised site plan mmm
DATE	DESCRIPTION

PROJECT NUMBER:
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DRAWN BY: RMM 5-7-07
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SHEET TITLE
LANDSCAPING PLAN

SHEET NUMBER
L-100

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Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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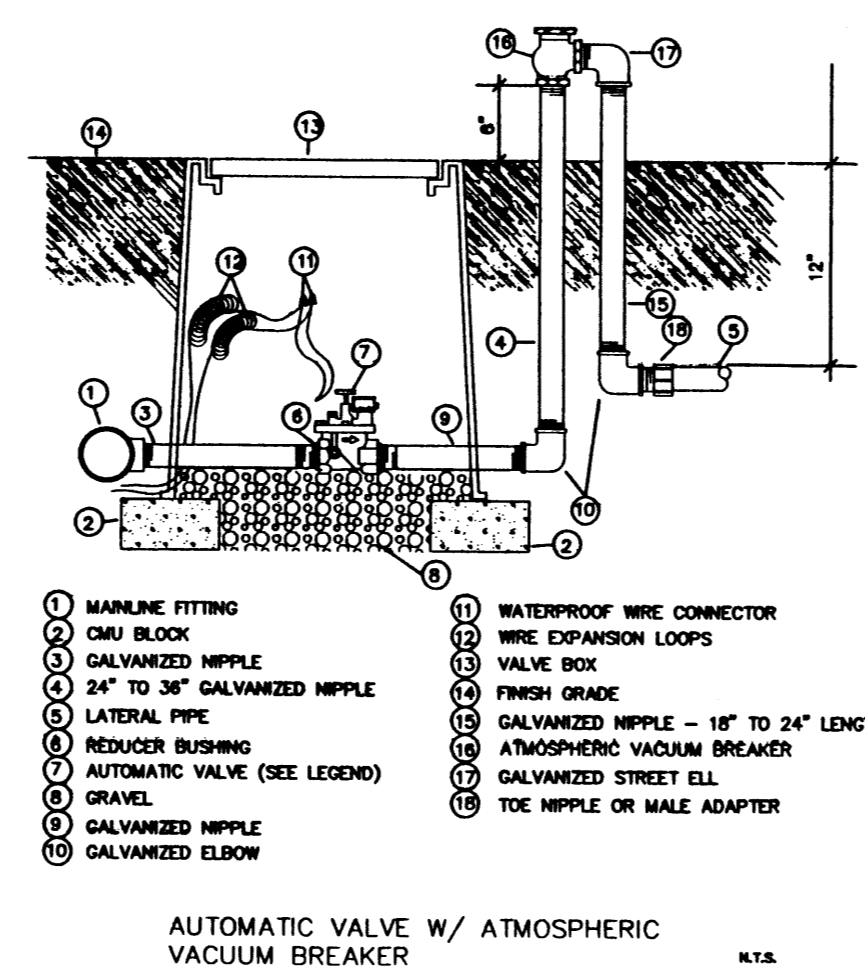
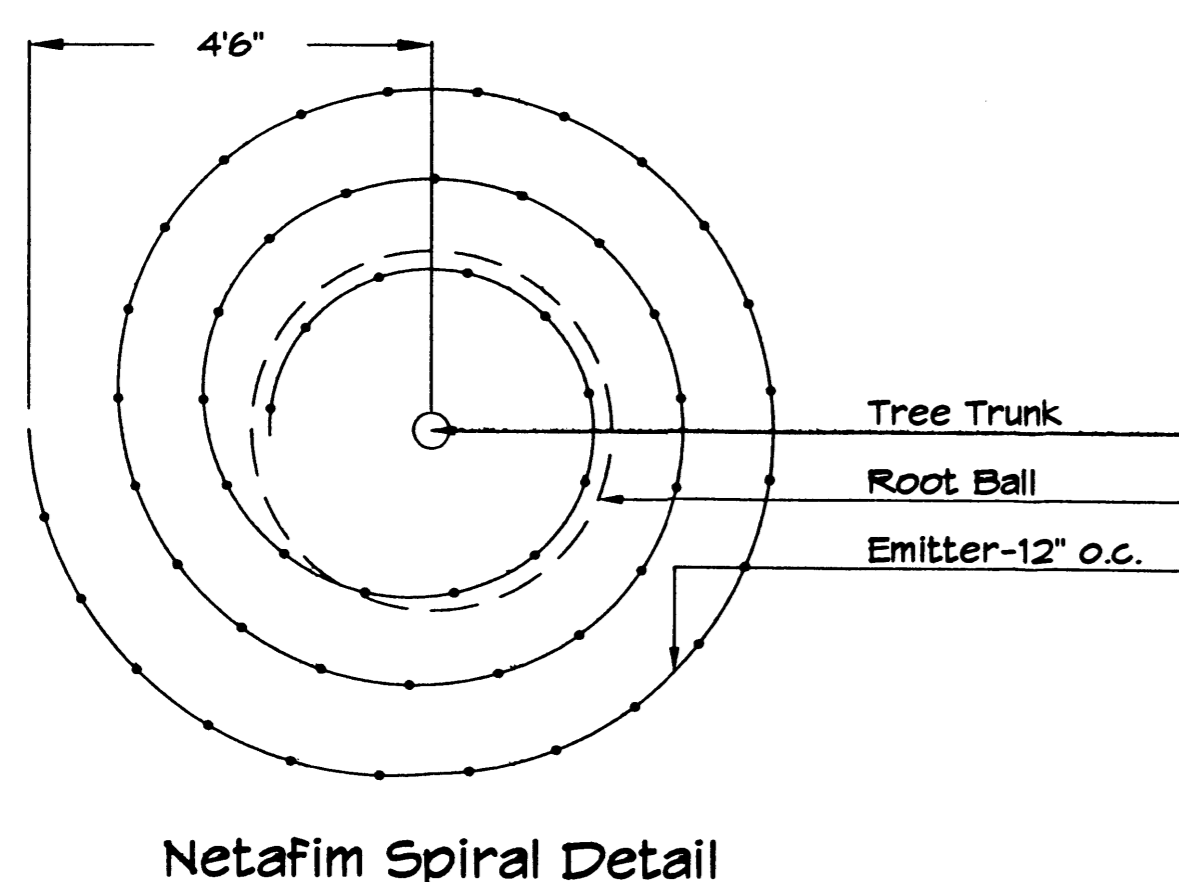
CORLEY'S OF ALBUQUERQUE
PAN AMERICAN FREEWAY AND SAN PEDRO

DATE	DESCRIPTION
5-22-07	Comments rmm
5-21-07	Revised site plan rmm

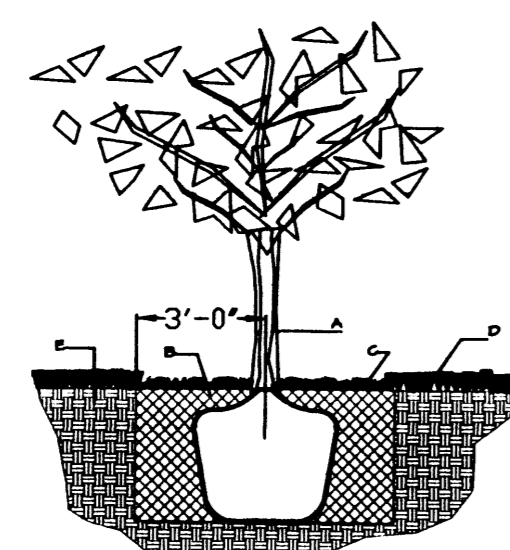
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SHEET TITLE
LANDSCAPING PLAN

SHEET NUMBER
L-101



AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



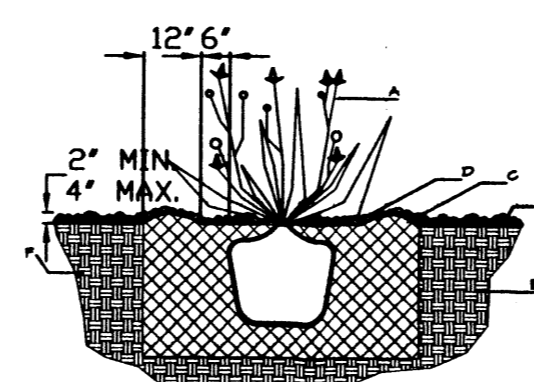
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS



GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACK-FILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

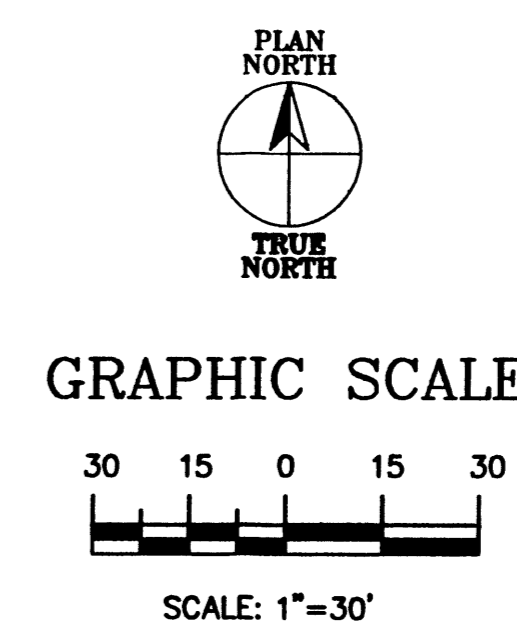
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



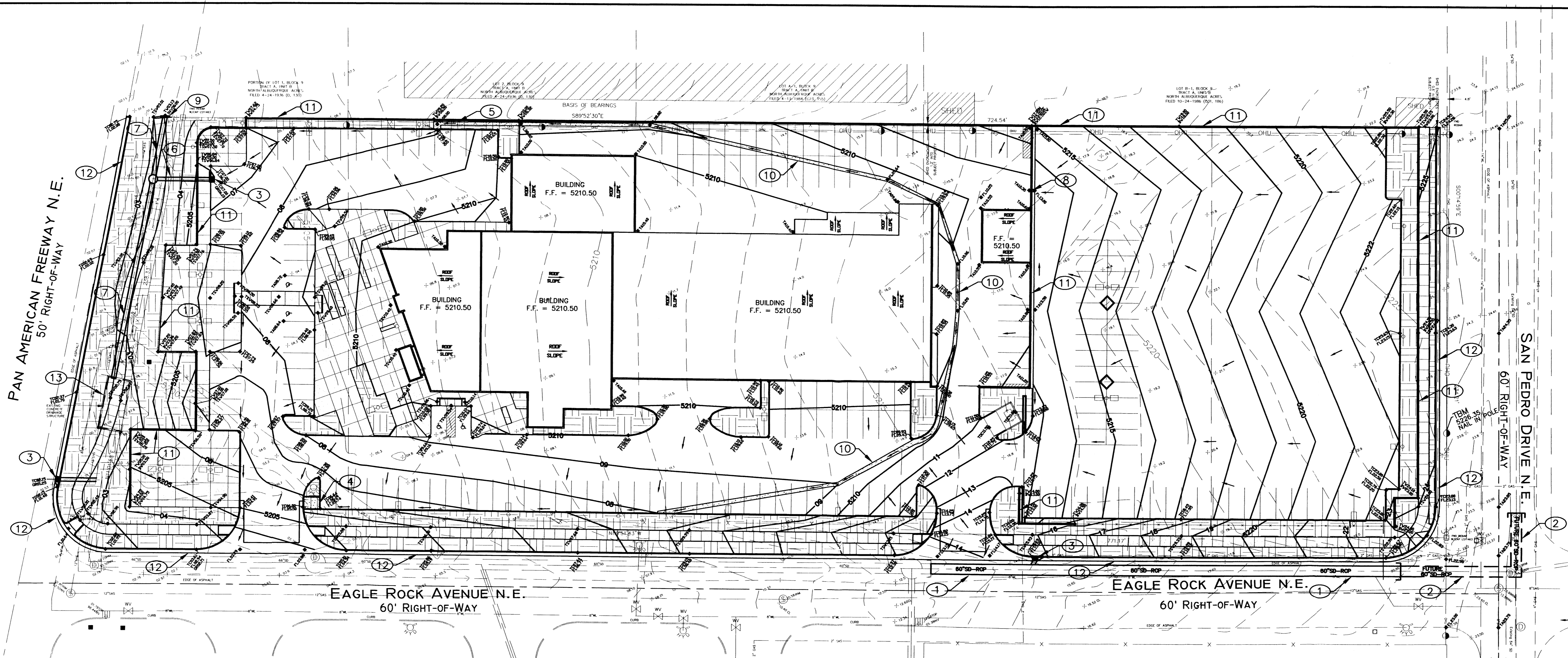
LANDSCAPE PLAN



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

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GRADING PLAN
SCALE: 1" = 30'

CONSTRUCTION NOTES:

- ① INSTALL APPROXIMATELY 270LF OF 60" RCP WITH THIS PROJECT.
- ② FINANCIALLY GUARANTY WITH CITY APPROXIMATELY 100LF OF 60" RCP WITH THIS PROJECT.
- ③ INSTALL STORM INLETS TYPE "A" PER CITY STANDARD DRAWING 2201.
- ④ INSTALL 6.5' WIDE BY 6" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑤ INSTALL 2.5' WIDE BY 12" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑥ INSTALL 30LF OF 18" RCP
- ⑦ INSTALL 154LF OF 30" RCP
- ⑧ INSTALL 1.67' WIDE BY 8" DEEP OPENING IN RETAINING WALL.

- ⑨ INSTALL HEADWALL PER NMSHTD STANDARD DRAWING ...
- ⑩ INSTALL 2' WIDE ALLEY GUTTER PER CITY STANDARD DRAWING 2415A.
- ⑪ INSTALL RETAINING WALL, HEIGHT VARIES, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ⑫ INSTALL CITY STANDARD CURB AND GUTTER.
- ⑬ INSTALL COVER ON EXISTING DRAINAGE STRUCTURE, SEE STRUCTURAL DRAWINGS FOR DETAILS.

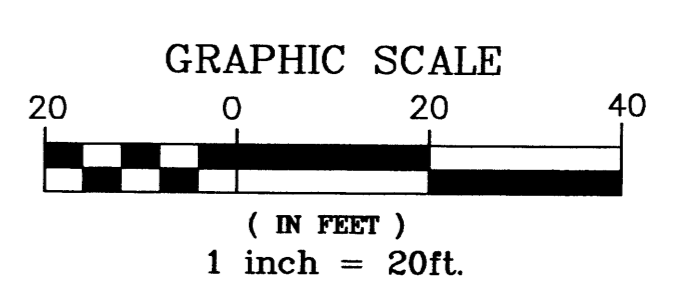
LEGEND			
5360	NEW CONTOUR GRADE		NEW GRADE BREAK
5362	EXISTING CONTOUR GRADE	X	EXISTING GRADE ELEVATION
	DRAINAGE FLOW DIRECTION	GR56.0	NEW GRADE ELEVATION
TC62.50	NEW TOP OF CURB ELEVATION	FL55.3	FLOWLINE GRADE ELEVATION
FL62.00	NEW FLOWLINE OF CURB ELEVATION	TW95.1	NEW TOP OF WALL ELEVATION
TAG0.11	NEW TOP OF ASPHALT ELEVATION	BW93.1	NEW BOTTOM OF WALL ELEVATION
TSW61.87	NEW TOP OF SIDEWALK ELEVATION	TOC93.1	NEW TOP OF CONCRETE ELEVATION
	DRAINAGE SWALE		

UTILITY PRECAUTIONS

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

APPROVED FOR ROUGH GRADING:

NAME _____ DATE _____



APPLIED ENGINEERING AND SURVEYING, INC. ENGINEERS AND PLANNERS
1400 Blue Oaks Dr. Albuquerque, NM 87121
Office: (505) 237-1400 Fax: (505) 237-1421

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

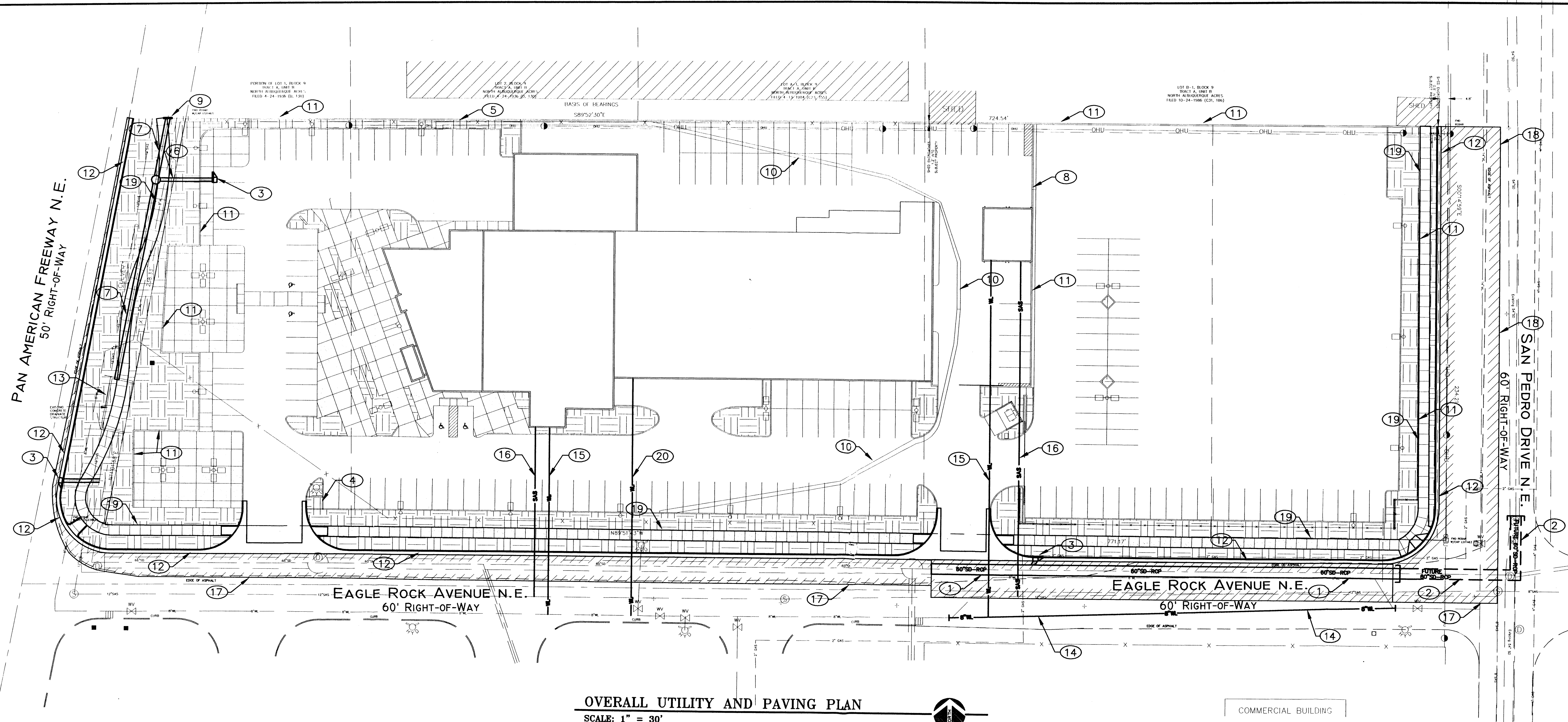
TITLE: GRADING PLAN
CORLEY'S ALBUQUERQUE

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **TBD** Zone Map No. **C-18** Sheet **2** Of **2**

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
	NO.	FIELD NOTES	DATE	CONTRACTOR	DATE	WORK	DATE
	BY					INSPECTOR'S	DATE
	REVISIONS					FIELD	DATE
	DESIGN					VERIFICATION BY	DATE
	DATE					CORRECTED BY	DATE
	DATE					MICRO-FILM INFORMATION	DATE
	DATE					RECORDED BY	DATE
	DATE					NO.	DATE

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 10-C18, THE PUBLISHED ELEVATION OF WHICH IS 5222.09'. BENCHMARK IS LOCATED ON THE EAST RIGHT-OF-WAY OF SAN PEDRO BLVD. NE 48' SOUTH OF THE CENTERLINE OF MOHESHO AVENUE NE AT ITS INTERSECTION WITH SAN PEDRO BLVD.

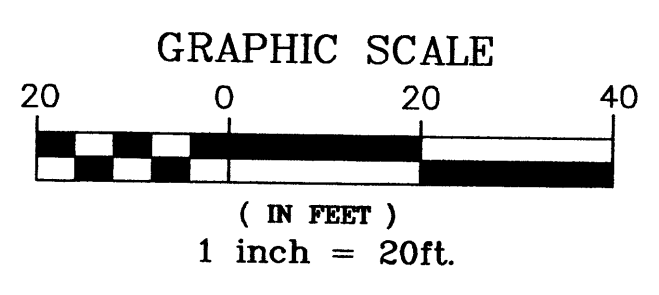


OVERALL UTILITY AND PAVING PLAN
SCALE: 1" = 30'

CONSTRUCTION NOTES:

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- ② FINANCIALLY GUARANTY WITH CITY APPROXIMATELY 100LF OF 60" RCP WITH THIS PROJECT.
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- ⑪ INSTALL RETAINING WALL, HEIGHT VARIES, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ⑫ INSTALL CITY STANDARD CURB AND GUTTER.
- ⑬ INSTALL COVER ON EXISTING DRAINAGE STRUCTURE, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ⑭ RELOCATE 8" WATERLINE DUE TO CONFLICT WITH NEW STORM DRAIN LINE.
- ⑮ INSTALL 1-1/2" WATERLINE (PRIVATE)
- ⑯ INSTALL 4" SEWERLINE (PRIVATE)
- ⑰ INSTALL 1/2 STREET SECTION OF EAGLE ROCK AVENUE PER CITY STANDARDS.
- ⑱ INSTALL 1/2 STREET SECTION OF SAN PEDRO BOULEVARD PER CITY STANDARDS.
- ⑲ INSTALL 6' WIDE CONCRETE SIDEWALK PER CITY STANDARDS.
- ⑳ INSTALL 6" FIRELINE WATERLINE (PRIVATE).

UTILITY PRECAUTIONS
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APPLIED ENGINEERING AND SURVEYING, INC.
ENGINEERS AND PLANNERS
1900 West 24th St. Albuquerque, NM 87112
Office: (505) 227-1106 Fax: (505) 227-1682

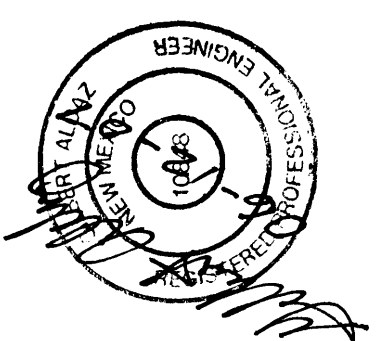
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**TITLE: OVERALL UTILITY AND PAVING PLAN
CORLEY'S ALBUQUERQUE**

Design Review Committee	City Engineer Approval	No./Day/Yr.	No./Day/Yr.

City Project No. **TBD** Zone Map No. **C-18** Sheet **C-18** Of **18**

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	DATE	FIELD NOTES	THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 10-C18, THE PUBLISHED ELEVATION OF WHICH IS 3222.09'. BENCHMARK IS LOCATED ON THE EAST RIGHT-OF-WAY OF SAN PEDRO BLVD. NE. 487' SOUTH OF THE CENTERLINE OF MADRESTA AVENUE NE AT ITS INTERSECTION WITH SAN PEDRO BLVD.	CONTRACTOR	WORK	DATE
					STAMPED BY	DATE	
					ACCESSED BY	DATE	
					FIELD	DATE	
					VERIFICATION BY	DATE	
					CHECKED BY	DATE	
					MICRO-FILM INFORMATION	DATE	
					RECORDED BY	DATE	
					NO.	DATE	



NO.	REVISIONS	BY	DATE
	DESIGN		