



**CLAUDIO VIGIL ARCHITECTS**

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**CONSULTANTS**  
APPROVED BY DRB ON

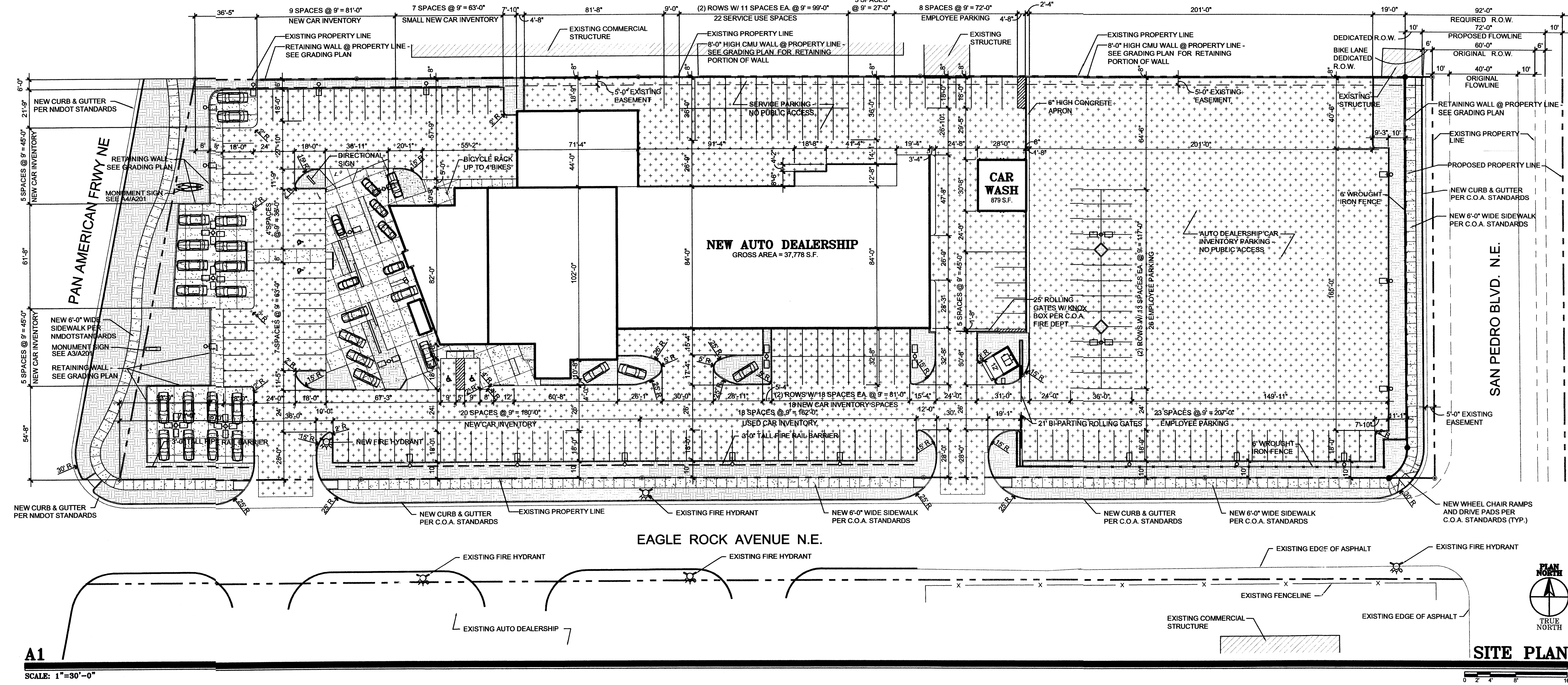
**PROFESSIONAL SEAL**  
DRB SUBMITTAL NOT FOR CONSTRUCTION

**CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP**  
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
-	-	-
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PROJECT NUMBER: 06115  
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DATE: MAY 29, 2006

SHEET TITLE  
**NEW DEALERSHIP SITE PLAN**  
SHEET NUMBER  
**C-101**



A1

**PROJECT INFORMATION**

**PROJECT:** CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP  
**LOCATION:** PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO  
**OWNER:** JR. & SR. LLC 7400 MERIDIAN PLACE N.W., SUITE 10 ALBUQUERQUE, NEW MEXICO 87121  
**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W., ALBUQUERQUE, NEW MEXICO 87104  
**LEGAL DESCRIPTION:** LOTS 17-21, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
**ZONING ATLAS MAP:** C18  
**ZONING CLASSIFICATION:** SU2 FOR 1P USES  
**APPLICABLE BUILDING CODE:** 2003 INTERNATIONAL BUILDING CODE  
**BUILDING FUNCTION:** NEW AUTOMOBILE DEALERSHIP FOR NEW AND USED CAR SALES, AUTOMOBILE REPAIR, & PARTS SALES  
**CONSTRUCTION TYPE:** TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM  
**OCCUPANCY TYPE:** B (OFFICE/SHOWROOM), S-1 (SERVICE), S-2 (PARTS)  
**NUMBER OF FLOORS:** OFFICE, SHOWROOM, TWO SERVICE, ONE CAR WASH, ONE  
**BUILDING HEIGHT:** 55'-0" A.F.F.  
**GROSS SQUARE FOOTAGE:** OFFICE, SHOWROOM, AND SERVICE = 37,778 SF CARWASH = 879 SF  
**NET USEABLE SQUARE FOOTAGE:** OFFICE, SHOWROOM, CAFE = 10,651 S.F. PARTS = 3,265 S.F. SERVICE = 19,166 S.F. CAR WASH = 780 S.F.  
**OCCUPANCY LOAD:** OFFICE = 3,875 S.F. / 100 = 39 OCCUPANTS SHOWROOM = 5,940 S.F. / 100 = 59 OCCUPANTS CAFE KITCHEN = 189 S.F. / 200 = 1 OCCUPANT CAFE SEATING = 656 S.F. / 15 = 44 OCCUPANTS PARTS = 3,265 S.F. / 600 = 7 OCCUPANTS SERVICE BAYS = 23 BAYS = 23 OCCUPANTS TOTAL OCCUPANT LOAD = 173 OCCUPANTS  
**EXIT WIDTH REQUIRED:** OFFICE, SHOWROOM, CAFE = 22 INCHES PARTS = 1 INCHES SERVICE BAYS = 4 INCHES  
**EXIT WIDTH PROVIDED:** OFFICE, SHOWROOM, CAFE = 384 INCHES PARTS = 36 INCHES SERVICE BAYS = 144 INCHES

**NUMBER OF EXITS PROVIDED:** OFFICE, SHOWROOM, CAFE = SIX PARTS = ONE SERVICE BAYS = FOUR  
**ALLOWABLE AREA:** ALLOWABLE AREA (PER UBC TABLE 503) INCLUDES AREA INCREASES FOR AUTOMATIC SPRINKLER SYSTEMS  
ALLOWABLE AREA PER FLOOR:  $A_a = A_t + \left[ \frac{A_1 - A_s}{100} \right] \cdot \frac{1}{2}$  = 200 FOR 2-STORY, 300 FOR SINGLE STORY PER SEC. 506.3  
OFFICES & SHOWROOM = TYPE II-B CONSTRUCTION & B OCCUPANCY:  
 $A_a = A_t + \left[ \frac{A_1 - A_s}{100} \right] \cdot \frac{1}{2}$  = 23,000 +  $\left[ \frac{23,000 \times 200}{100} \right] = 69,000$  S.F.  
 $A_a = 46,000 \times 2$  (SEC 506.4 FOR 2-STORY BLDGS) = 138,000 S.F. > 14,628 S.F. PROVIDED  
SERVICE AREA = TYPE II-B CONSTRUCTION & S-1 OCCUPANCY:  
 $A_a = A_t + \left[ \frac{A_1 - A_s}{100} \right] \cdot \frac{1}{2}$  = 17,500 +  $\left[ \frac{17,500 \times 300}{100} \right] = 52,500$  S.F. > 19,569 S.F. PROVIDED  
PARTS = TYPE II-B CONSTRUCTION & S-2 OCCUPANCY:  
 $A_a = A_t + \left[ \frac{A_1 - A_s}{100} \right] \cdot \frac{1}{2}$  = 26,000 +  $\left[ \frac{26,000 \times 200}{100} \right] = 78,000$  S.F. > 3,581 S.F. PROVIDED  
 $A_a = 78,000 \times 2$  (SEC 506.4 FOR 2-STORY BLDGS) = 156,000 S.F. > 3,581 S.F. PROVIDED  
TOTAL ALLOWABLE AREA: 346,500 S.F.  
TOTAL BUILDING AREA: 37,778 S.F.  
CARWASH = TYPE II-B CONSTRUCTION & B OCCUPANCY:  
 $A_a = 23,000$  S.F. > 879 S.F. PROVIDED

**PLUMBING FIXTURE REQUIREMENTS:** REQUIRED PER TABLE 2902.1  
B OCCUPANCY = 143 OCCUPANTS 50/25 + 93/50 = 4 TOTAL REQUIRED TOILETS 50/40 + 93/80 = 2 REQUIRED LAVS 2 WATER CLOSETS (MALE) REQUIRED 2 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORIES EACH GENDER REQUIRED  
S-1 OCCUPANCY = 23 OCCUPANTS 23/100 = 1 TOTAL REQUIRED TOILET 23/100 = 1 TOTAL REQUIRED LAVS 1 WATER CLOSETS (MALE) REQUIRED 1 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORY EACH GENDER REQUIRED  
S-2 OCCUPANCY = 7 OCCUPANTS 7/100 = 1 TOTAL REQUIRED TOILET 7/100 = 1 TOTAL REQUIRED LAVS 1 WATER CLOSETS (MALE) REQUIRED 1 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORY EACH GENDER REQUIRED

**PLUMBING FIXTURE REQ. (CONT.):** TOTAL FIXTURES REQUIRED 4 WATER CLOSETS (MALE) REQUIRED 4 WATER CLOSETS (FEMALE) REQUIRED 4 LAVATORIES EACH GENDER REQUIRED  
TOTAL FIXTURES REQUIRED 4 WATER CLOSETS (MALE) PROVIDED 5 WATER CLOSETS (FEMALE) PROVIDED 5 URINALS (MALE) PROVIDED 6 LAVATORIES (MALE) PROVIDED 5 LAVATORIES (FEMALE) PROVIDED  
**PARKING ANALYSIS:** OFFICE, SHOWROOM, CAFE = 10,651/200 = 53 SPACES PARTS = 3,265/2000 = 1 SPACE SERVICE = 23 BAYS = 23 SPACES  
TOTAL PARKING SPACES REQUIRED = 77 PARKING SPACES  
TOTAL PARKING SPACES PROVIDED = 225 PARKING SPACES  
REGULAR PARKING SPACES = 73  
HANDICAP PARKING SPACES = 4  
REG. NEW CAR INVENTORY SPACES = 79  
SM. NEW CAR INVENTORY SPACES = 25  
REG. USED CAR INVENTORY SPACES = 18  
SERVICE USE SPACES = 26  
**BICYCLE SPACES:** REQUIRED PARKING - 77/20 = 4 BICYCLES (4 SPACES) TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES  
**TOTAL LOT AREA:** 169,934 S.F., 3.90 ACRES  
**NET LOT AREA:** 169,934 - 32,094 = 137,840  
**TOTAL PARKING/PAVED AREA:** 103,555 S.F.  
**TOTAL LANDSCAPE AREA REQUIRED:** 20,676 S.F.  
**TOTAL LANDSCAPE AREA PROVIDED:** 28,819 S.F.

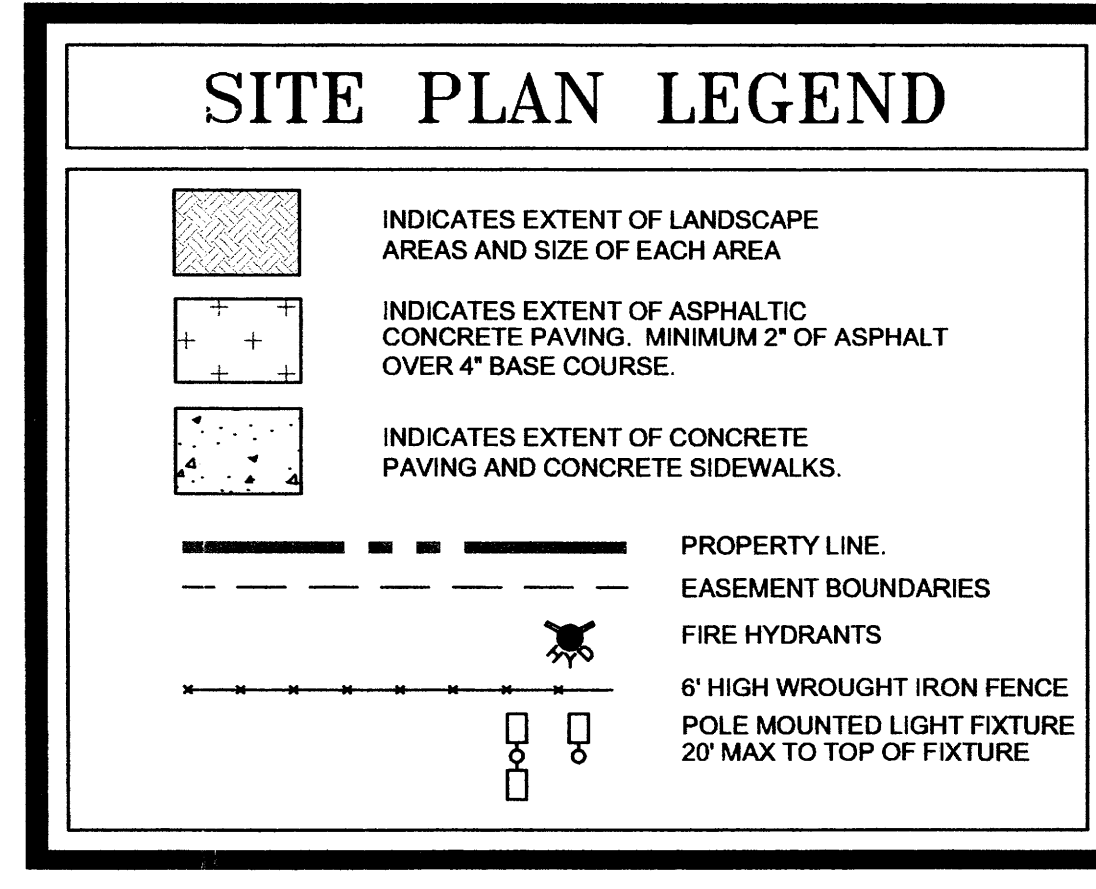
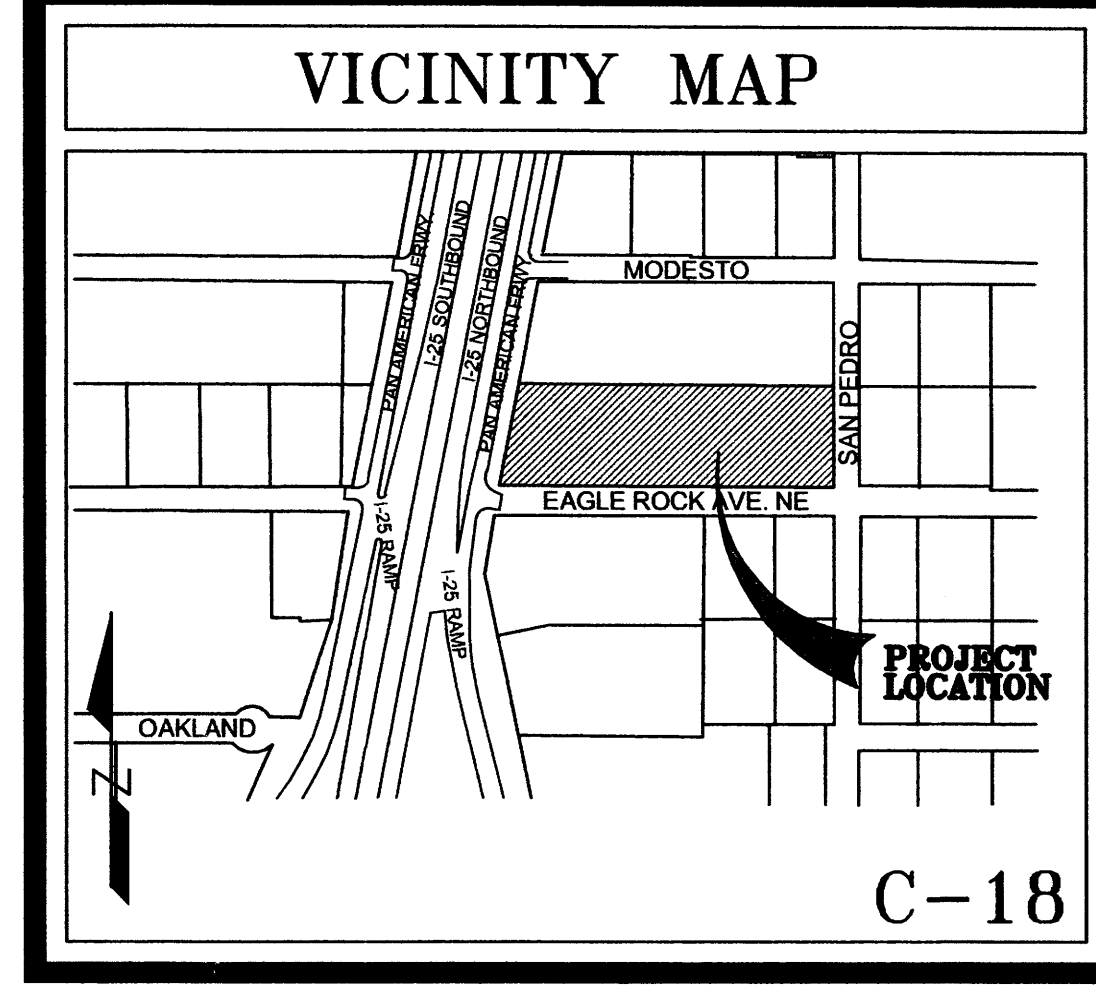
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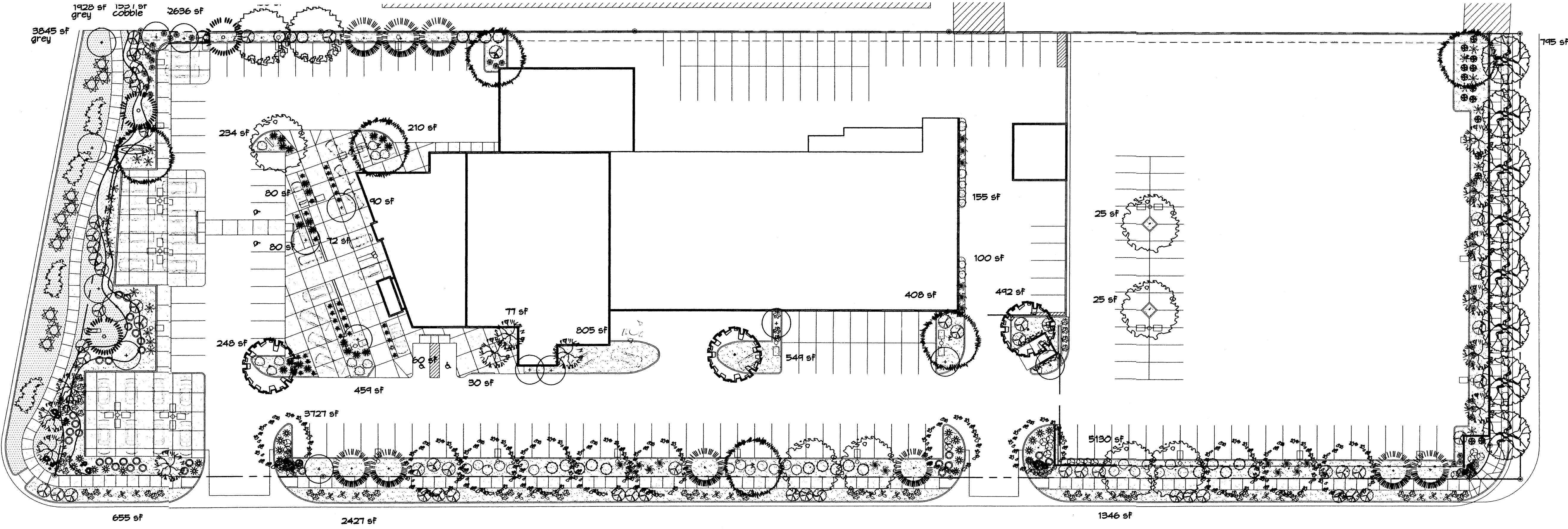
PROJECT NUMBER:  
APPLICATION CASE NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



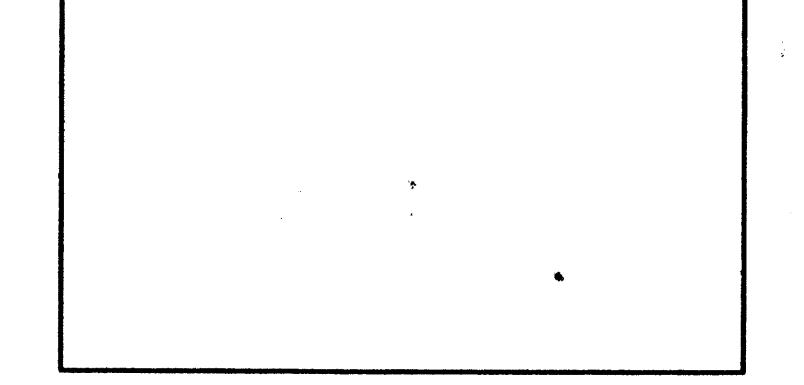


ARCHITECTS

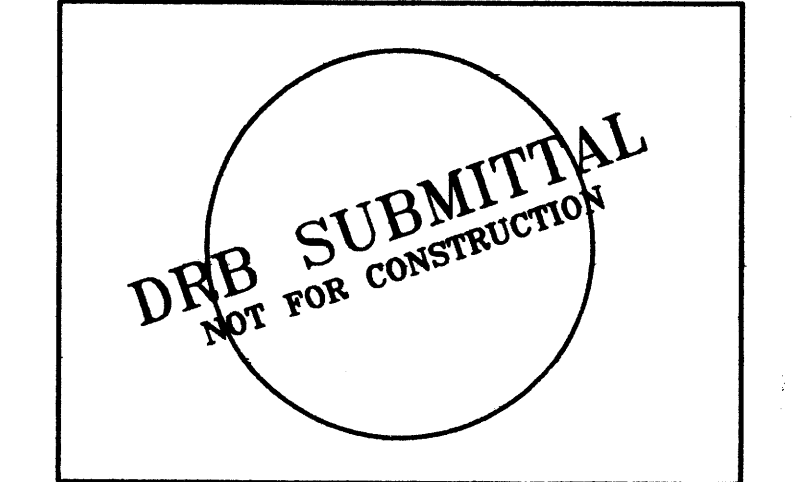
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CONSULTANTS



PROFESSIONAL SEAL



**CORLEY'S OF ALBUQUERQUE**  
PAN AMERICAN FREEWAY  
AND SAN PEDRO

DATE	DESCRIPTION
5-22-07	Comments mmm
5-21-07	Revised site plan mmm

PROJECT NUMBER:	
DRAWING FILE:	LMF-L100.dwg
DRAWN BY:	RMM 5-7-07
CHECK BY:	CJ
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SHEET TITLE  
**LANDSCAPING PLAN**

SHEET NUMBER  
**L-100**

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	169934	square Feet
TOTAL BUILDINGS AREA	31292	square Feet
NET LOT AREA	138042	square Feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	20706	square Feet
TOTAL BED PROVIDED	29161	square Feet
GROUNDCOVER REQ.	75%	square Feet
TOTAL GROUNDCOVER REQUIREMENT	21871	square Feet
TOTAL GROUNDCOVER PROVIDED	21904 (75%)	square Feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square Feet
TOTAL LANDSCAPE PROVIDED	29161 (21%)	square Feet

**PLANT LEGEND**

- CHINESE PISTACHE (M) 7  
*Pistacia chinensis*  
2" Cal.
- SHUMARD OAK (M) 6  
*Quercus shumardii*  
2" Cal.
- CHITALPA (M) 3  
*Chilopsis x Catalpa*  
2" Cal.
- COMMON HACKBERRY (M) 11  
*Celtis occidentalis*  
2" Cal.
- VITEX (M) 13  
*Vitex agnus-castus*  
15 Gal. 225sf
- DESERT ACCENTS
- OCOTILLO (L) 3  
*Fouquieria splendens*
- KENTUCKY COFFEE TREE (M) 2  
*Gymnocladus dioica*  
2" Cal.
- EASTERN REDBUD (M) 8  
*Cercis canadensis*  
2" Cal.
- AUSTRIAN PINE (M) 9  
*Pinus nigra*  
6'-8'
- BLUE SPRUCE (M+) 3  
*Picea pungens*  
6'-8'
- NEW MEXICO OLIVE (L) 16  
*Forestiera neomexicana*  
15 Gal. 225sf
- RED YUCCA (L) 21  
*Hesperaloe parviflora*  
5 Gal. 9sf
- PRICKLY PEAR (L) 24  
*Opuntia macrocentra*  
9 sf

**PLANT LEGEND (CONTINUED)**

- SHRUBS/ORNAMENTAL GRASSES**
- THREE-LEAF SUMAC (L) 22  
*Rhus trilobata*  
1 Gal. 36sf
  - APACHE PLUME (L) 21  
*Fallugia paradoxa*  
1 Gal. 25sf
  - POMIS CASTLE SAGE (L+) 19  
*Artemisia x Pomis Castle*  
1 Gal. 25sf
  - FERN BUSH (L+) 11  
*Chamaebatiaria millefolium*  
1 Gal. 25sf
  - MAIDEN GRASS (M) 18  
*Miscanthus sinensis*  
1 Gal. 16sf
  - TURPENTINE BUSH (L+) 33  
*Ericameria laricifolia*  
1 Gal. 16sf
  - DEER GRASS (M) 24  
*Muhlenbergia rigens*  
1 Gal. 16sf
  - HONEYSUCKLE (M) 60  
*Lonicera japonica 'Halliana'*  
1 Gal. 144sf  
Unstaked-Groundcover
  - WHIRLING BUTTERFLIES (M)  
*Gaura lindheimeri*  
1 Gal. 16sf
  - REGAL MIST (M) 14  
*Muhlenbergia capillaris*  
1 Gal. 4sf
  - BLUE MIST SPIREA (M) 34  
*Caryopteris clandonensis*  
1 Gal. 4sf
  - AUTUMN SAGE (M) 19  
*Salvia greggii*  
1 Gal. 4sf
  - WILDFLOWER 26  
1 Gal. 4sf
  - BLUE FESCUE (M) 31  
*Festuca ovina glauca*  
1 Gal. 4sf
  - THREADGRASS (M) 67  
*Stipa tenuissima*  
1 Gal. 4sf
  - TRUMPET VINE (M) 2  
*Campsis radicans*  
1 Gal.
  - LADY BANKS ROSE (M) 4  
*Rosa banksiae*  
5 Gal. 400sf  
Unstaked Groundcover

**HARDSCAPES**

- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- COBBLE WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- NATURAL EDGE
- OVERSIZED GRAVEL 4" Boulders

**STREET TREE REQUIREMENTS**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: San Pedro NE  
Required # 8 Provided # 8

**PARKING LOT TREE REQUIREMENTS**

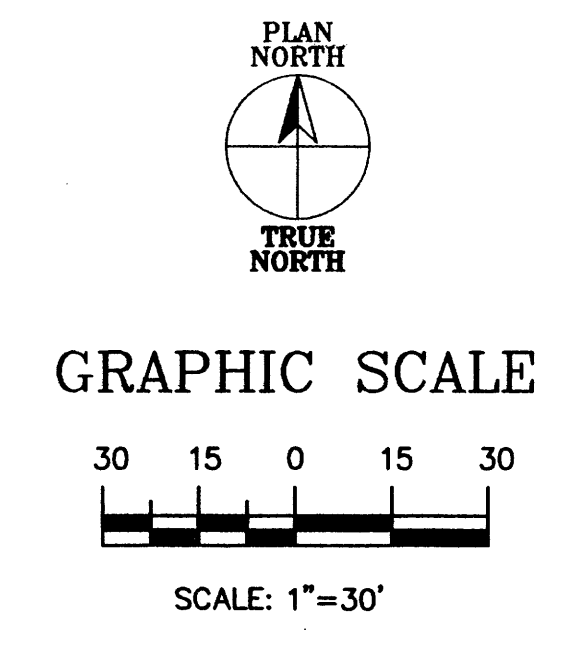
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 28 Provided # 24

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

SEE SHEET L-101 FOR DETAILS & NOTES

LANDSCAPE PLAN



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
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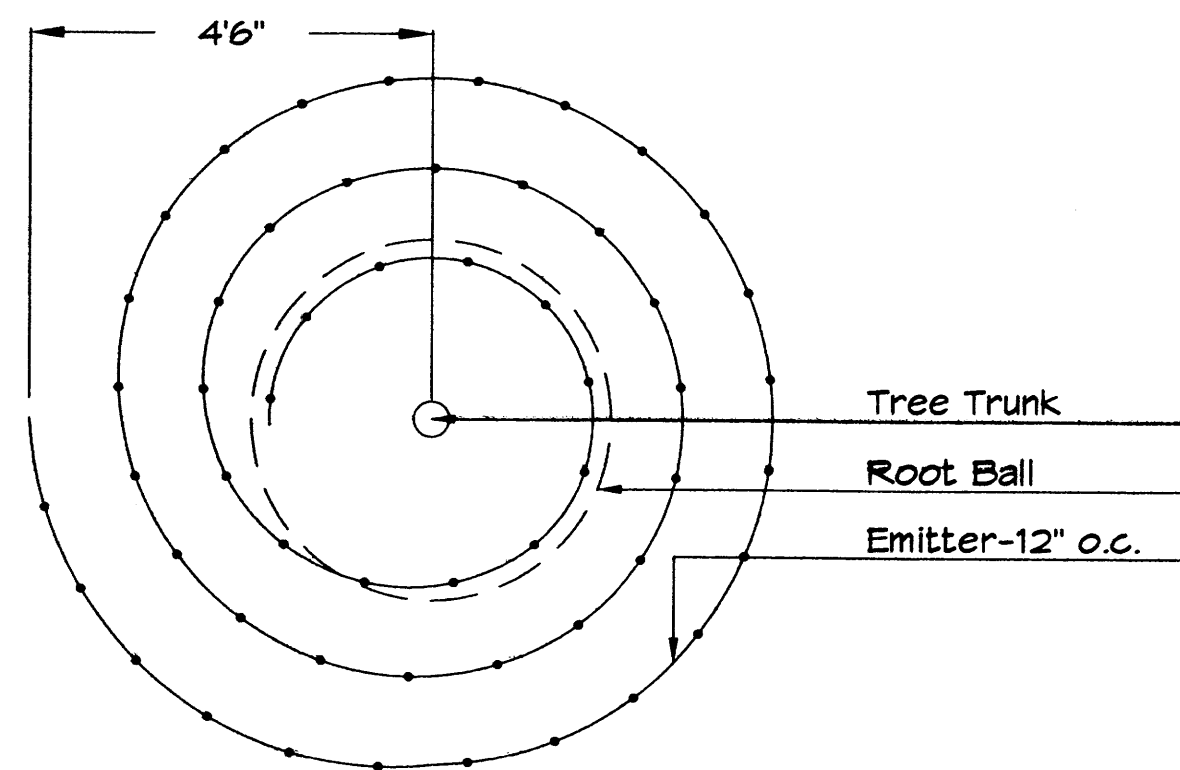
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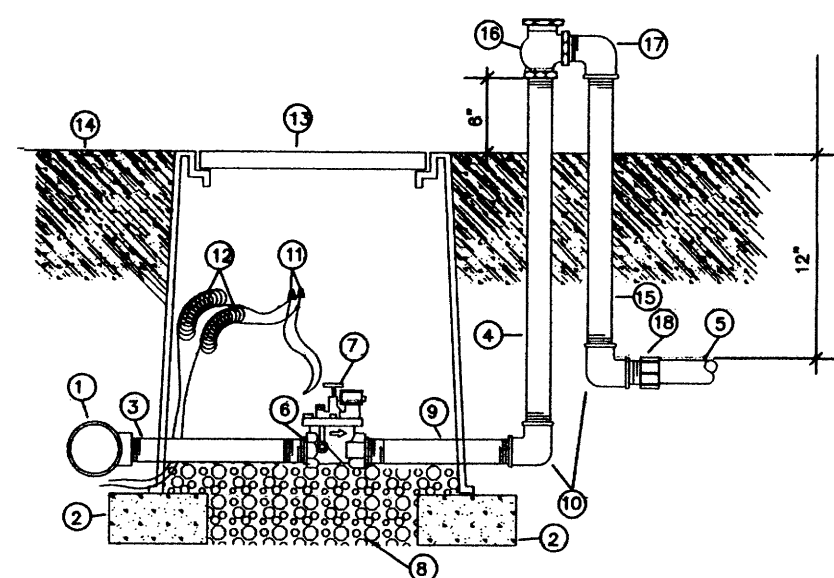
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SHEET TITLE  
**LANDSCAPING PLAN**

SHEET NUMBER  
**L-101**

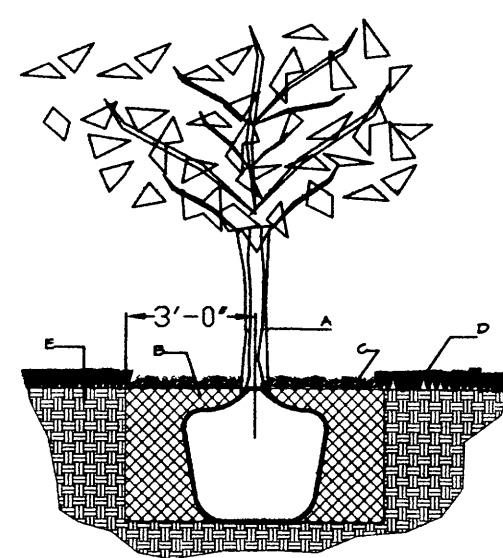


Netafim Spiral Detail



- 1 MAINLINE FITTING
- 2 CWI BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



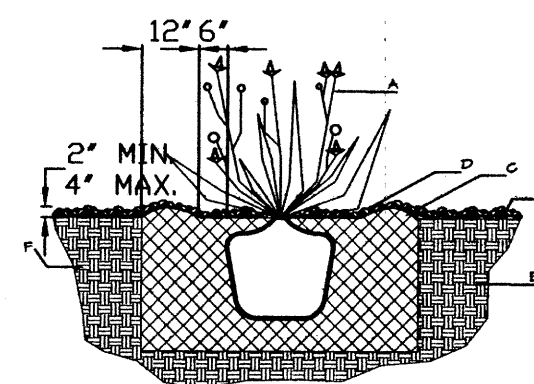
**GENERAL NOTES:**

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

**TREE PLANTING DETAIL NTS**



**GENERAL NOTES:**

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**SHRUB PLANTING DETAIL NTS**

**CONSTRUCTION NOTES:**

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

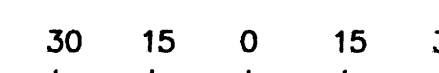
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE



SCALE: 1"=30'

LANDSCAPE PLAN

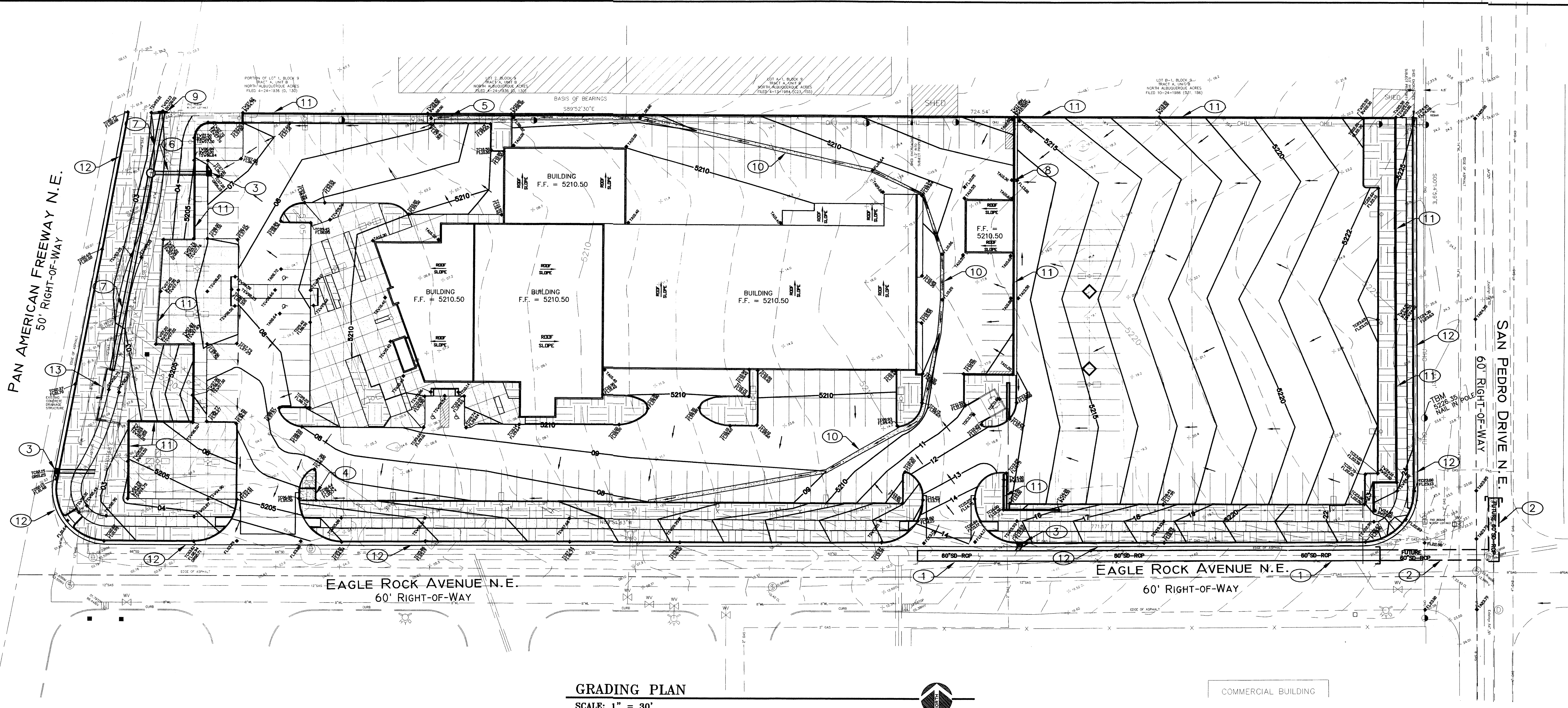


**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

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cmj@hilltoplandscaping.com

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**GRADING PLAN**

SCALE: 1" = 30'

**CONSTRUCTION NOTES:**

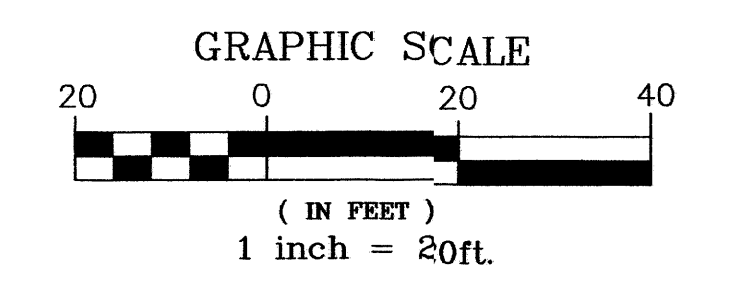
- ① INSTALL APPROXIMATELY 270LF OF 60"RCP WITH THIS PROJECT.
- ② FINANCIALLY GUARANTY WITH CITY APPROXIMATELY 100LF OF 60" RCP WITH THIS PROJECT.
- ③ INSTALL STORM INLETS TYPE "A" PER CITY STANDARD DRAWING 2201.
- ④ INSTALL 6.5' WIDE BY 6' DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑤ INSTALL 2.5' WIDE BY 12" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑥ INSTALL 30LF OF 18"RCP
- ⑦ INSTALL 154LF OF 30"RCP
- ⑧ INSTALL 1.67' WIDE BY 8" DEEP OPENING IN RETAINING WALL.
- ⑨ INSTALL HEADWALL PER NMSHTD STANDARD DRAWING --
- ⑩ INSTALL 2' WIDE ALLEY GUTTER PER CITY STANDARD DRAWING 2415A.
- ⑪ INSTALL RETAINING WALL, HEIGHT VARIES, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ⑫ INSTALL CITY STANDARD CURB AND GUTTER.
- ⑬ INSTALL COVER ON EXISTING DRAINAGE STRUCTURE, SEE STRUCTURAL DRAWINGS FOR DETAILS.

LEGEND			
— 5360 —	NEW CENTER GRADE	~~~~~	NEW GRADE BREAK
- - - 5362 - - -	EXISTING CENTER GRADE	x	EXISTING GRADE ELEVATION
→	DRAINAGE FLOW DIRECTION	◆ GR56.0	NEW GRADE ELEVATION
◆ TC62.50	NEW TOP OF CURB ELEVATION	◆ FL55.3	FLOWLINE GRADE ELEVATION
◆ FL62.00	NEW FLOWLINE OF CURB ELEVATION	◆ TW95.1	NEW TOP OF WALL ELEVATION
◆ TA60.11	NEW TOP OF ASPHALT ELEVATION	◆ BWS3.1	NEW BOTTOM OF WALL ELEVATION
◆ TSW61.87	NEW TOP OF SIDEWALK ELEVATION	◆ TC93.1	NEW TOP OF CONCRETE ELEVATION
—▲—▲—▲—	DRAINAGE SWALE		

**UTILITY PRECAUTIONS**  
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

**APPROVED FOR ROUGH GRADING:**

NAME _____	DATE _____
------------	------------



**APPLIED ENGINEERING AND SURVEYING, INC. ENGINEERS AND PLANNERS**  
 1200 Main Street N.E. Albuquerque, New Mexico 87102  
 Office (505) 237-1466 Fax (505) 237-1420

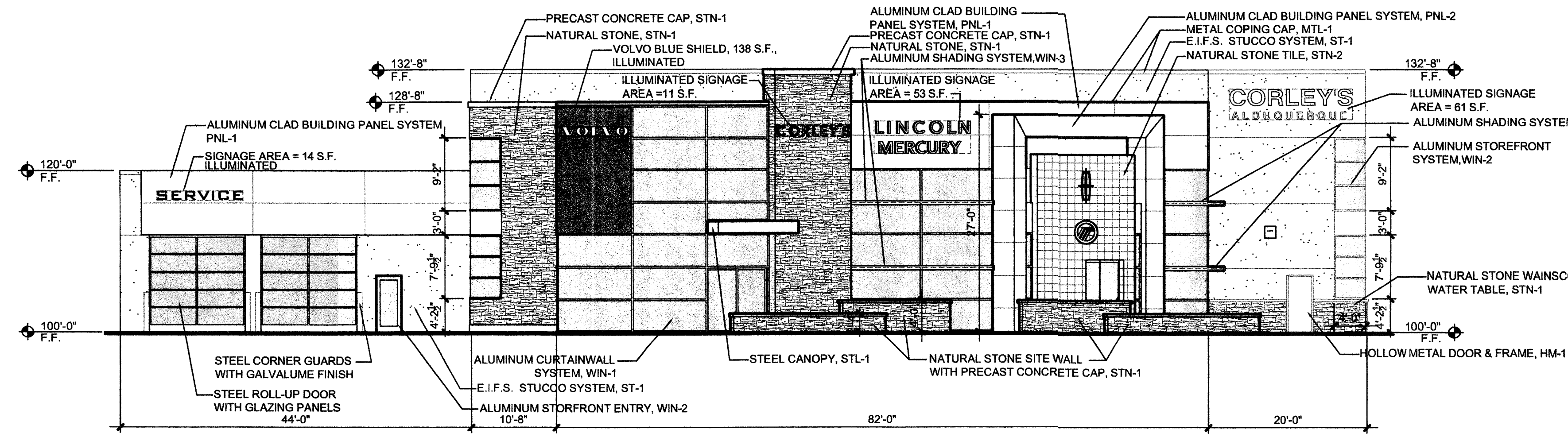
CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

TITLE: **GRADING PLAN CORLEY'S ALBUQUERQUE**

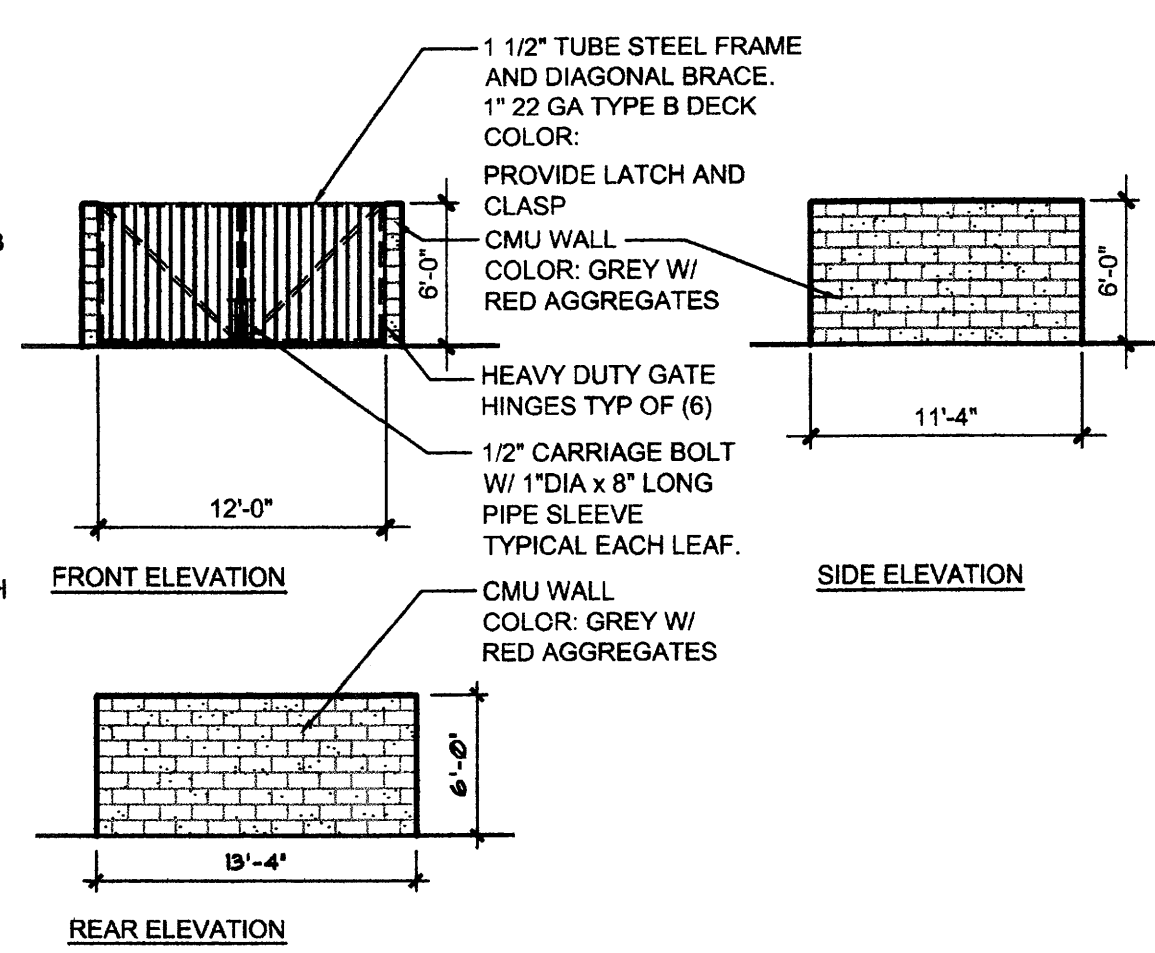
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. <b>TBD</b>	Zone Map No. <b>C-18</b>	Sheet <b>2</b> of <b>2</b>	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	NO.	DATE	CONTRACTOR	DATE	NO.	DATE





**WEST ELEVATION**



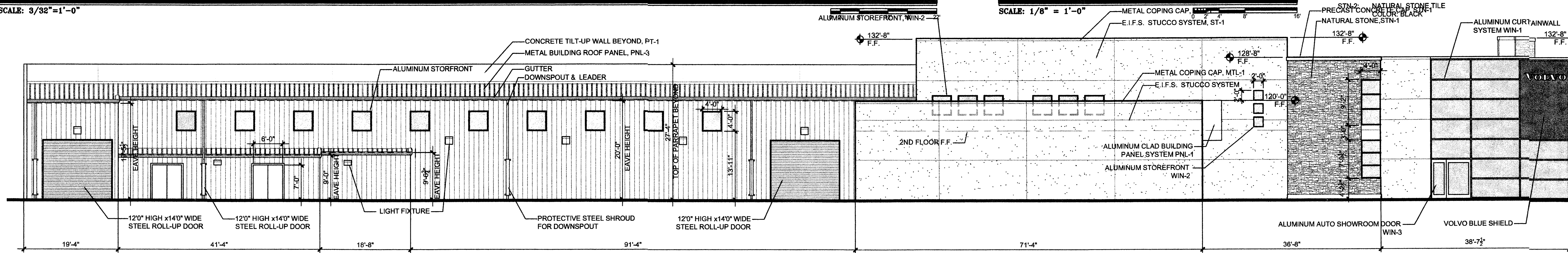
**D2 TRASH ENCLOSURE ELEVATIONS**

**EXTERIOR FINISH LEGEND**

- ST-1: 1" PORTLAND STUCCO WITH ELASTOMERIC COLOR COAT  
COLOR: LIGHT TAN
- CONC-1: SITE CAST REINFORCED CONCRETE BUILDING BASE -  
COLOR: GREY
- PNL-1: ALUMINUM CLAD BUILDING PANEL SYSTEM  
COLOR: WHITE
- PNL-2: ALUMINUM CLAD BUILDING PANEL SYSTEM  
COLOR: MEDIUM TAN
- PNL-3: METAL BUILDING PANEL  
COLOR: LIGHT TAN
- PT-1: PAINT  
COLOR: LIGHT TAN
- PT-2: PAINT  
COLOR: MEDIUM TAN
- HM-1: HOLLOW METAL FRAMES  
COLOR: MEDIUM TAN
- WIN-1: ALUMINUM CURTAIN WALL SYSTEM  
COLOR: CLEAR ANODIZED ALUMINUM
- WIN-2: ALUMINUM STOREFRONT  
COLOR: CLEAR ANODIZED ALUMINUM
- WIN-3: ALUMINUM SHADING DEVICE  
COLOR: CLEAR ANODIZED ALUMINUM
- STL-1: STEEL AWNING  
COLOR: WHITE
- BLK-1: SPLIT FACED CONCRETE MASONRY UNITS  
COLOR: GREY W/ EXPOSED RED AGGREGATES
- MTL-1: METAL COPING CAP  
COLOR: CLEAR ANODIZED ALUMINUM
- STN-1: NATURAL STONE VENEER  
COLOR: MIX OF COLORS PRIMARILY, MED TAN

**D1**

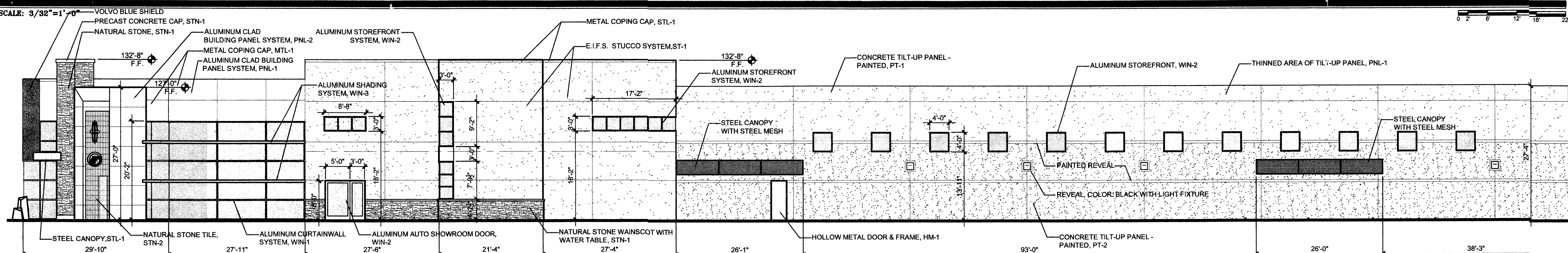
SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**

**C1**

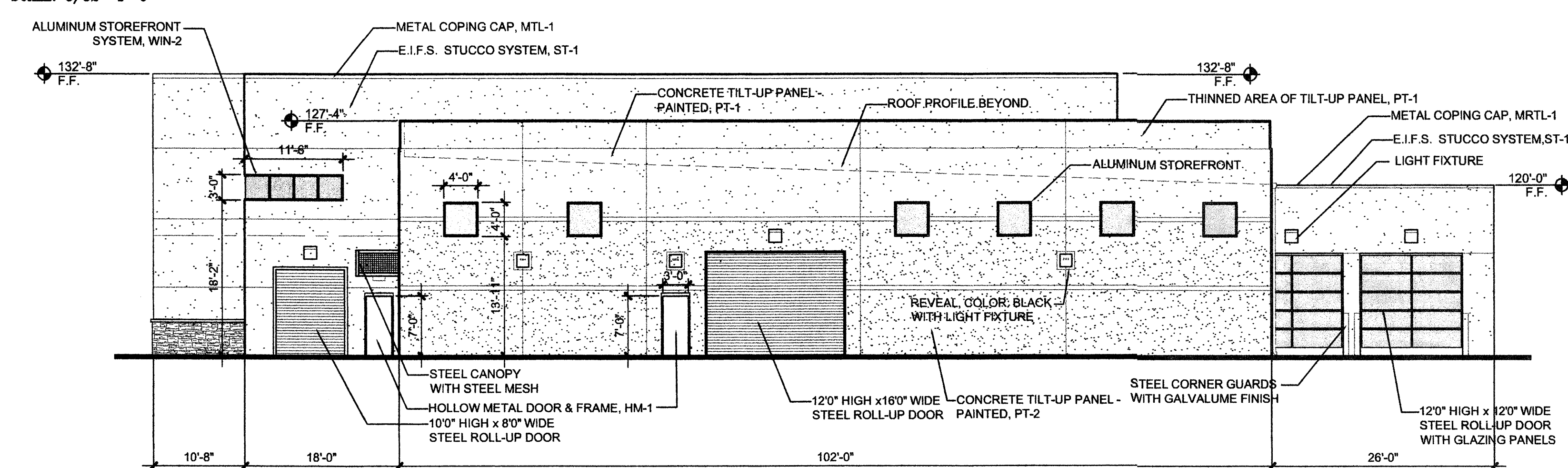
SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION**

**B1**

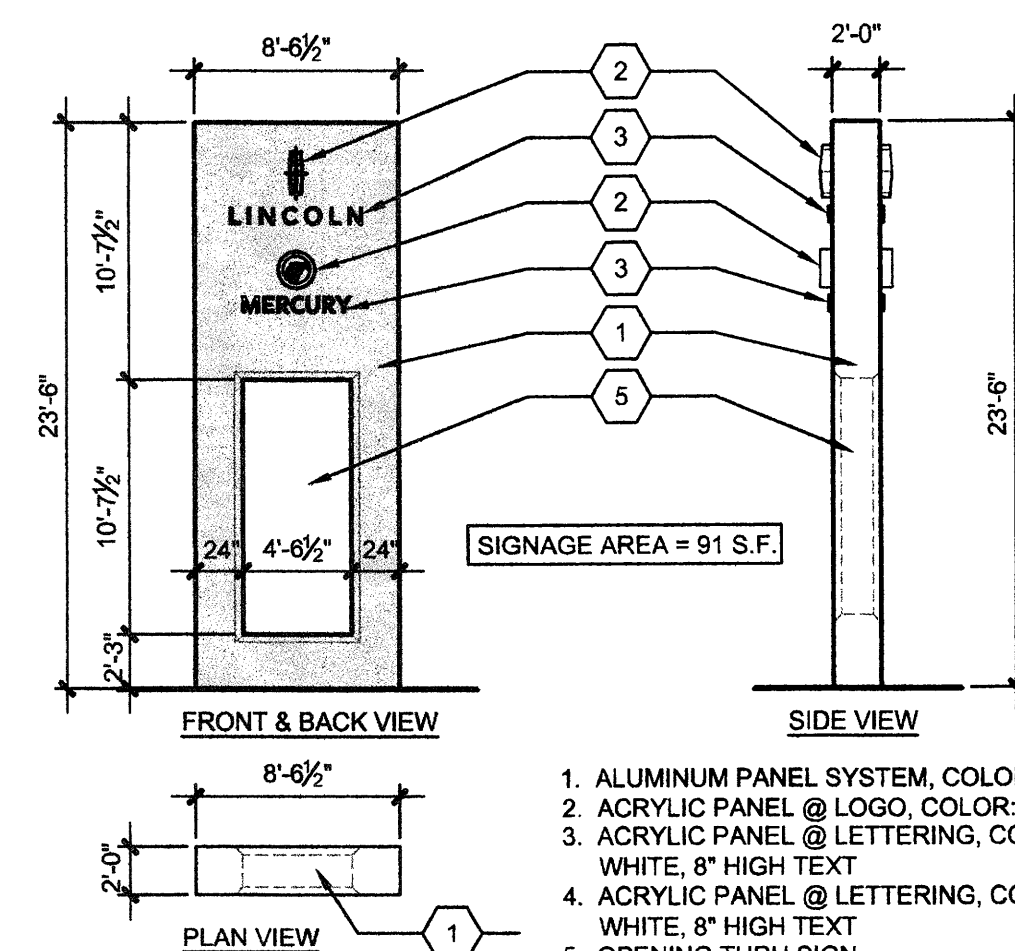
SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

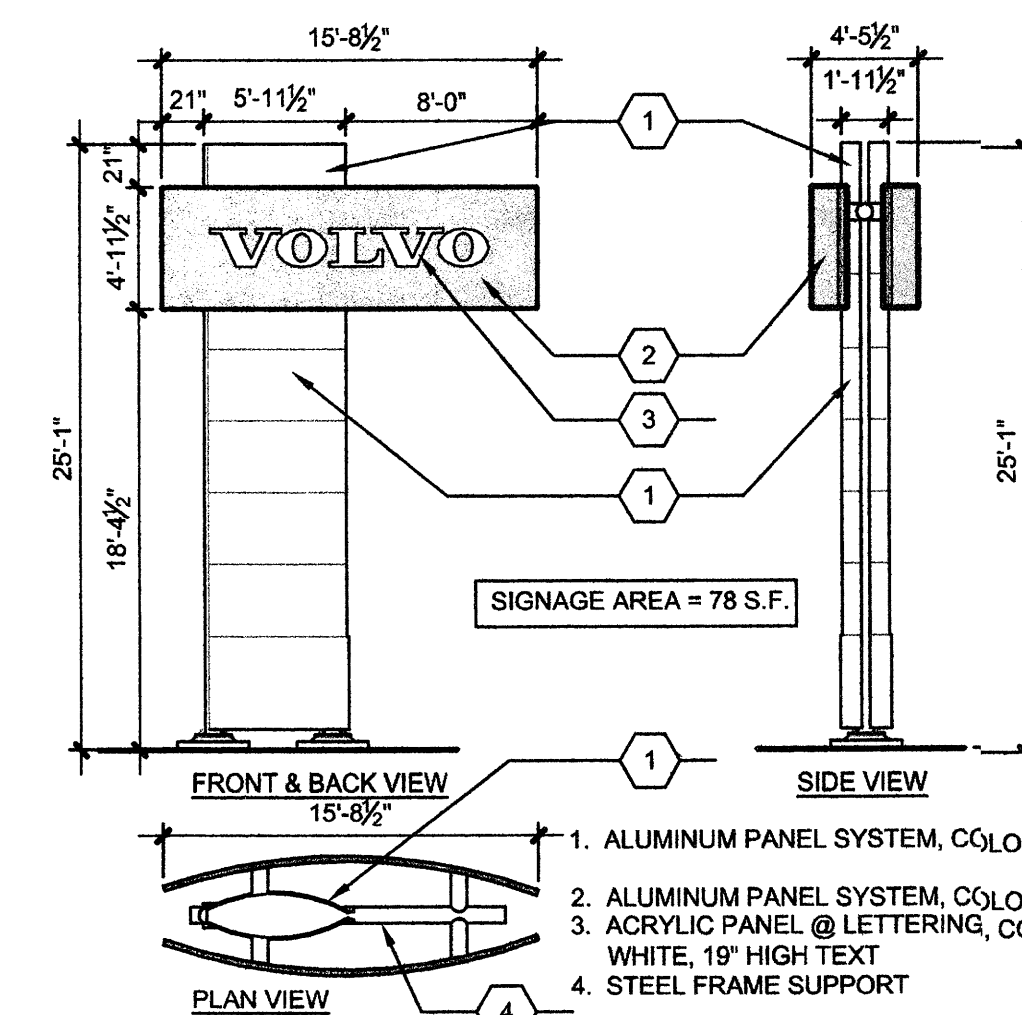
**A1**

SCALE: 3/32" = 1'-0"



**A3 LINCOLN MONUMENT SIGN**

SCALE: 1/8" = 1'-0"



**A4 VOLVO MONUMENT SIGN**

SCALE: 1/8" = 1'-0"

**CLAUDIO VIGIL ARCHITECTS**

1801 Rio Grande Boulevard, N.W.  
Albuquerque, New Mexico  
Phone: (505) 842-1113  
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE  
All design concepts, details, specifications,  
plans, computer files, field data, notes  
and other documents and instruments  
prepared by Ambysis P.C., D.B.A. Claudio  
Vigil Architects, as instruments of  
service shall remain the property of  
Ambysis P.C., Claudio Vigil Architects, P.C.  
Architect shall retain all common law,  
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including the copyright thereto.

**CONSULTANTS**

Blank area for listing consultants.

**PROFESSIONAL SEAL**

DB SUBMITTAL  
NOT FOR CONSTRUCTION

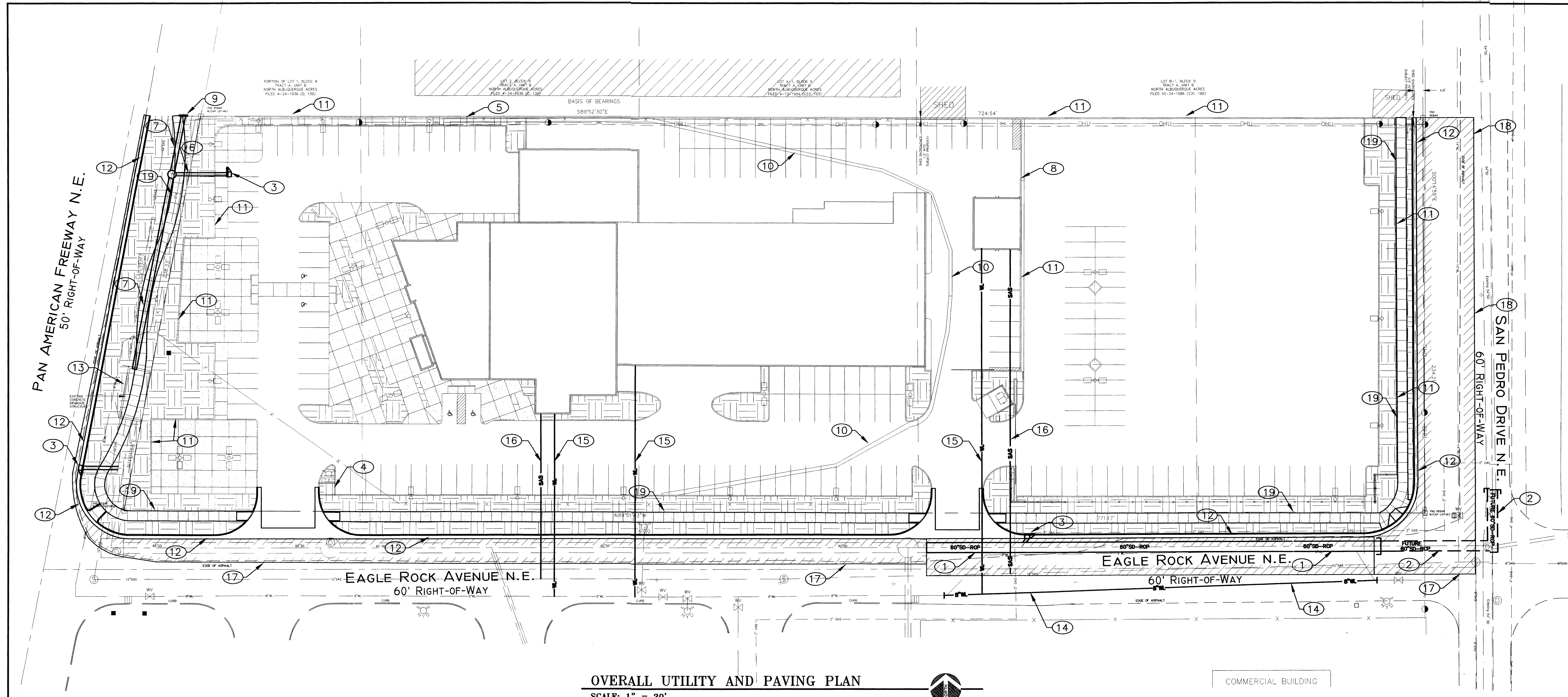
**CORLEY'S ALBUQUERQUE  
NEW  
LINCOLN MERCURY  
VOLVO  
DEALERSHIP  
ALBUQUERQUE, NEW MEXICO**

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06115  
DRAWING FILE: LMF-a201-elev.dwg  
DRAWN BY: es  
CHECK BY: xxx  
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005  
DATE: MAY 29, 2006

**DEALERSHIP  
EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A-201**



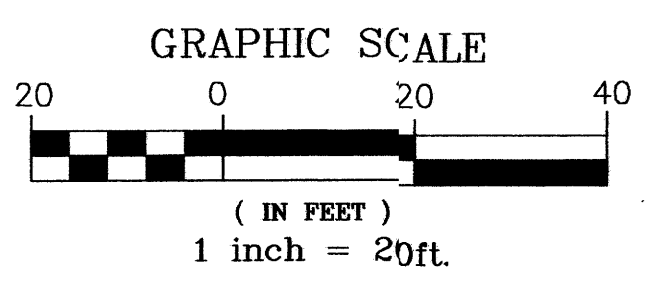
**OVERALL UTILITY AND PAVING PLAN**

SCALE: 1" = 30'

**CONSTRUCTION NOTES:**

- ① INSTALL APPROXIMATELY 270LF OF 60"RCP WITH THIS PROJECT.
- ② FINANCIALLY GUARANTY WITH CITY APPROXIMATELY 100LF OF 60" RCP WITH THIS PROJECT.
- ③ INSTALL STORM INLETS TYPE "A" PER CITY STANDARD DRAWING 2201.
- ④ INSTALL 6.5' WIDE BY 6" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑤ INSTALL 2.5' WIDE BY 12" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑥ INSTALL 30LF OF 18"RCP
- ⑦ INSTALL 154LF OF 30"RCP
- ⑧ INSTALL 1.67' WIDE BY 8" DEEP OPENING IN RETAINING WALL.
- ⑨ INSTALL HEADWALL PER NMSHTD STANDARD DRAWING --
- ⑩ INSTALL 2' WIDE ALLEY GUTTER PER CITY STANDARD DRAWING 2415A.
- ⑪ INSTALL RETAINING WALL, HEIGHT VARIES, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ⑫ INSTALL CITY STANDARD CURB AND GUTTER.
- ⑬ INSTALL COVER ON EXISTING DRAINAGE STRUCTURE, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ⑭ RELOCATE 8" WATERLINE DUE TO CONFLICT WITH NEW STORM DRAIN LINE.
- ⑮ INSTALL WATERLINE (PRIVATE)
- ⑯ INSTALL SEWERLINE (PRIVATE)
- ⑰ INSTALL 1/2 STREET SECTION OF EAGLE ROCK AVENUE PER CITY STANDARDS.
- ⑱ INSTALL 1/2 STREET SECTION OF SAN PEDRO BOULEVARD PER CITY STANDARDS.
- ⑲ INSTALL 6' WIDE CONCRETE SIDEWALK PER CITY STANDARDS.

**UTILITY PRECAUTIONS**  
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



**APPLIED ENGINEERING AND SURVEYING, INC.**  
**ENGINEERS AND PLANNERS**  
 1800 Blvd. Santa Fe, Albuquerque, New Mexico 87112  
 Office: (505) 231-1400 Fax: (505) 231-1400

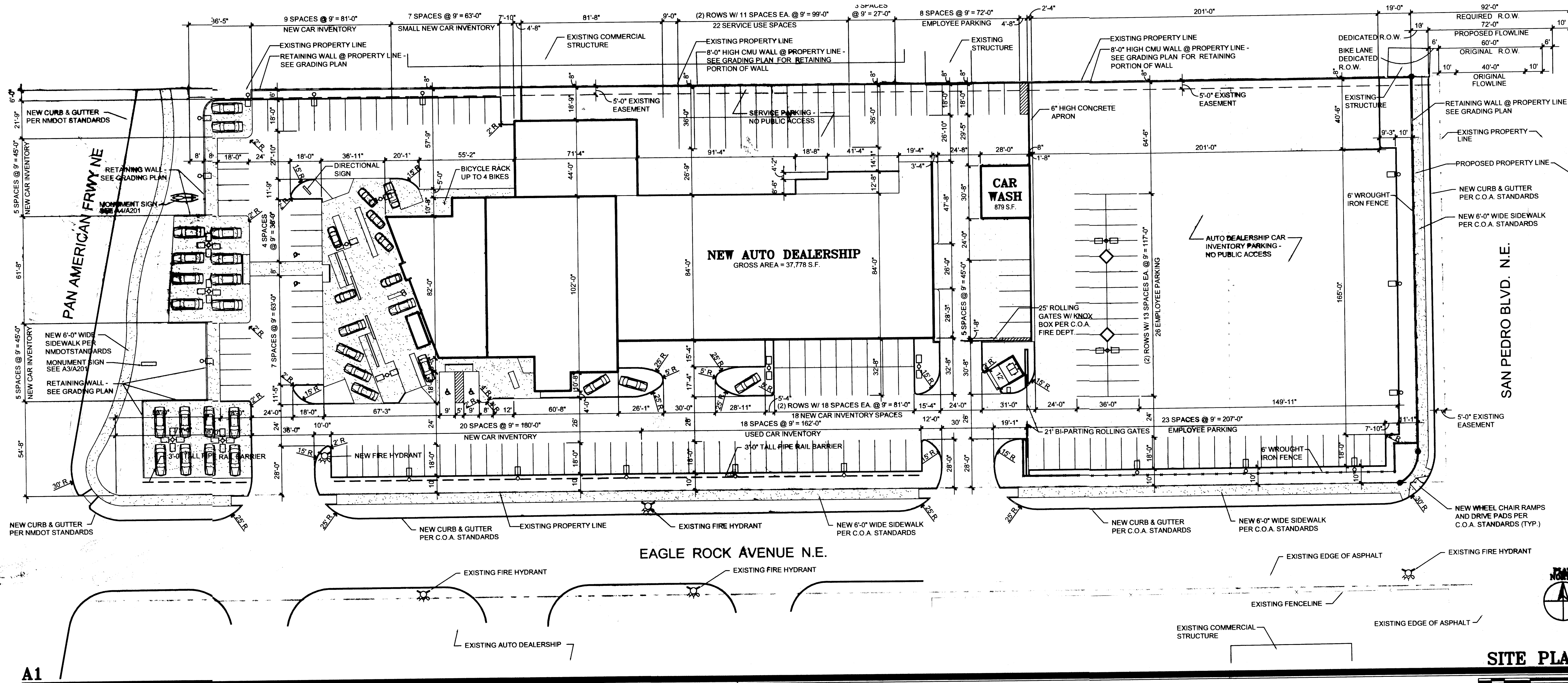
CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

**TITLE: OVERALL UTILITY AND PAVING PLAN  
 CORLEY'S ALBUQUERQUE**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **TBD** Zone Map No. **C-18** Sheet  Of

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
	NO.	NO.	NO.	CONTRACTOR	DATE	CONTRACTOR	DATE
	BY	BY	BY	STARTED BY	DATE	STARTED BY	DATE
REVISIONS	REVISIONS	REVISIONS	REVISIONS	ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE
DESIGN	DESIGN	DESIGN	DESIGN	FIELD DRAWINGS	DATE	FIELD DRAWINGS	DATE
				CHECKED BY	DATE	CHECKED BY	DATE
				MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
				RECORDED BY	NO.	RECORDED BY	NO.



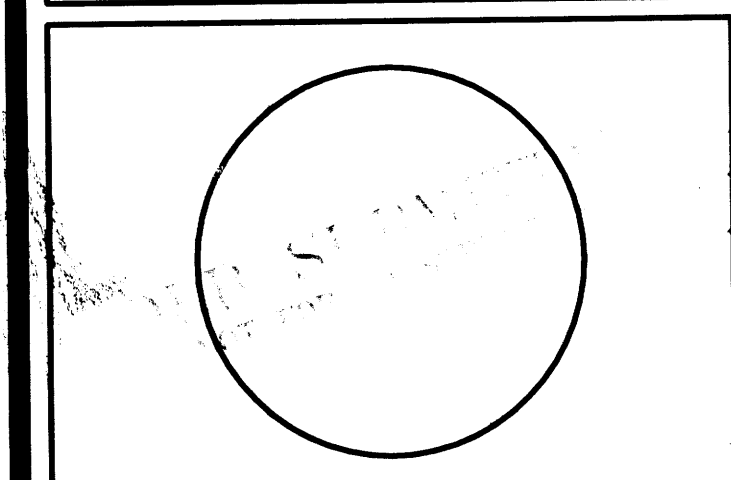
**CLAUDIO VIGIL ARCHITECTS**  
 1801 Rio Grande Boulevard, N.W.  
 Albuquerque, New Mexico  
 Phone: (505) 842-1113  
 Fax: (505) 842-1330

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**CONSULTANTS**

Blank area for listing consultants.

**PROFESSIONAL SEAL**



**SITE PLAN**

A1

SCALE: 1"=30'-0"

**PROJECT INFORMATION**

**PROJECT:** CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP  
**LOCATION:** PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO  
**OWNER:** JR. & SR. LLC 7400 MERIDIAN PLACE N.W., SUITE D ALBUQUERQUE, NEW MEXICO 87121  
**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W., ALBUQUERQUE, NEW MEXICO 87104  
**LEGAL DESCRIPTION:** LOTS 17-21, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
**ZONING ATLAS MAP:** C18  
**ZONING CLASSIFICATION:** SU2 FOR IP USES  
**APPLICABLE BUILDING CODE:** 2003 INTERNATIONAL BUILDING CODE  
**BUILDING FUNCTION:** NEW AUTOMOBILE DEALERSHIP FOR NEW AND USED CAR SALES, AUTOMOBILE REPAIR, & PARTS SALES  
**CONSTRUCTION TYPE:** TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM  
**OCCUPANCY TYPE:** B (OFFICE/SHOWROOM), S-1 (SERVICE), S-2 (PARTS)  
**NUMBER OF FLOORS:** OFFICE, SHOWROOM, TWO SERVICE, ONE CAR WASH, ONE  
**BUILDING HEIGHT:** 55'-0" A.F.F.  
**GROSS SQUARE FOOTAGE:** OFFICE, SHOWROOM, AND SERVICE = 37,778 SF CAR WASH = 879 SF  
**NET USEABLE SQUARE FOOTAGE:** OFFICE, SHOWROOM, CAFE = 10,651 S.F. PARTS = 3,265 S.F. SERVICE = 19,166 S.F. CAR WASH = 780 S.F.  
**OCCUPANCY LOAD:** OFFICE = 3,875 S.F. / 100 = 39 OCCUPANTS SHOWROOM = 5,940 S.F. / 100 = 59 OCCUPANTS CAFE KITCHEN = 180 S.F. / 200 = 1 OCCUPANT CAFE SEATING = 866 S.F. / 15 = 44 OCCUPANTS PARTS = 3,265 S.F. / 500 = 7 OCCUPANTS SERVICE BAYS = 23 BAYS = 23 OCCUPANTS  
 TOTAL OCCUPANT LOAD = 173 OCCUPANTS  
**EXIT WIDTH REQUIRED:** OFFICE, SHOWROOM, CAFE = 22 INCHES PARTS = 1 INCHES SERVICE BAYS = 4 INCHES  
**EXIT WIDTH PROVIDED:** OFFICE, SHOWROOM, CAFE = 384 INCHES PARTS = 36 INCHES SERVICE BAYS = 144 INCHES

**NUMBER OF EXITS PROVIDED:** OFFICE, SHOWROOM, CAFE = SIX PARTS = ONE SERVICE BAYS = FOUR  
**ALLOWABLE AREA:** ALLOWABLE AREA (PER USC TABLE 503) INCLUDES AREA INCREASES FOR AUTOMATIC SPRINKLER SYSTEMS  
 ALLOWABLE AREA PER FLOOR:  $A_a = A_t \left[ \frac{A_1 s}{100} \right] ; s = 200$  FOR 2-STORY, 300 FOR SINGLE STORY PER SEC. 506.3  
**OFFICES & SHOWROOM = TYPE II-B CONSTRUCTION & B OCCUPANCY:**  
 $A_a = A_t \left[ \frac{A_1 s}{100} \right] = 23,000 + \left[ \frac{23,000 \times 200}{100} \right] = 69,000$  S.F.  
 $A_a = 46,000 \times 2(\text{SEC } 506.4 \text{ FOR 2-STORY BLDGS}) = 138,000$  S.F. > 114,628 S.F. PROVIDED  
**SERVICE AREA = TYPE II-B CONSTRUCTION & S-1 OCCUPANCY:**  
 $A_a = A_t \left[ \frac{A_1 s}{100} \right] = 17,500 + \left[ \frac{17,500 \times 300}{100} \right] = 52,500$  S.F. > 19,569 S.F. PROVIDED  
**PARTS = TYPE II-B CONSTRUCTION & S-2 OCCUPANCY:**  
 $A_a = A_t \left[ \frac{A_1 s}{100} \right] = 28,000 + \left[ \frac{28,000 \times 200}{100} \right] = 78,000$  S.F. > 3,581 S.F. PROVIDED  
 $A_a = 78,000 \times 2(\text{SEC } 506.4 \text{ FOR 2-STORY BLDGS}) = 156,000$  S.F. > 3,581 S.F. PROVIDED  
 TOTAL ALLOWABLE AREA: 346,500 S.F.  
 TOTAL BUILDING AREA: 37,778 S.F.  
 CARWASH = TYPE II-B CONSTRUCTION & B OCCUPANCY:  
 $A_a = 23,000$  S.F. > 879 S.F. PROVIDED

**PLUMBING FIXTURE REQUIREMENTS:** REQUIRED PER TABLE 2902.1  
 B OCCUPANCY = 143 OCCUPANTS 50/25 + 93/50 = 4 TOTAL REQUIRED TOILETS 50/40 + 93/80 = 2 REQUIRED LAVS  
 2 WATER CLOSETS (MALE) REQUIRED  
 2 WATER CLOSETS (FEMALE) REQUIRED  
 1 LAVATORIES EACH GENDER REQUIRED  
 S-1 OCCUPANCY = 23 OCCUPANTS 23/100 = 1 TOTAL REQUIRED TOILET 23/100 = 1 TOTAL REQUIRED LAVS  
 1 WATER CLOSETS (MALE) REQUIRED  
 1 WATER CLOSETS (FEMALE) REQUIRED  
 1 LAVATORY EACH GENDER REQUIRED  
 S-2 OCCUPANCY = 7 OCCUPANTS 7/100 = 1 TOTAL REQUIRED TOILET 7/100 = 1 TOTAL REQUIRED LAVS  
 1 WATER CLOSETS (MALE) REQUIRED  
 1 WATER CLOSETS (FEMALE) REQUIRED  
 1 LAVATORY EACH GENDER REQUIRED

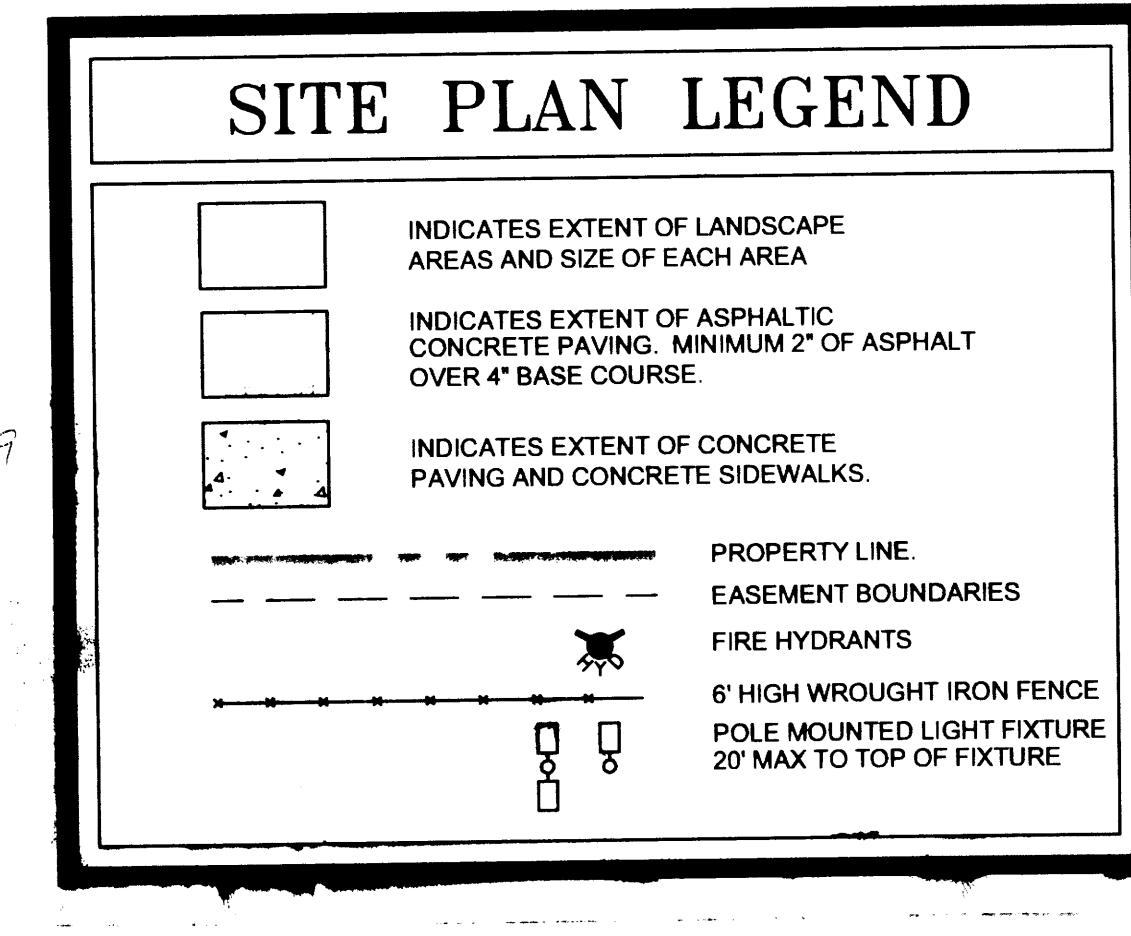
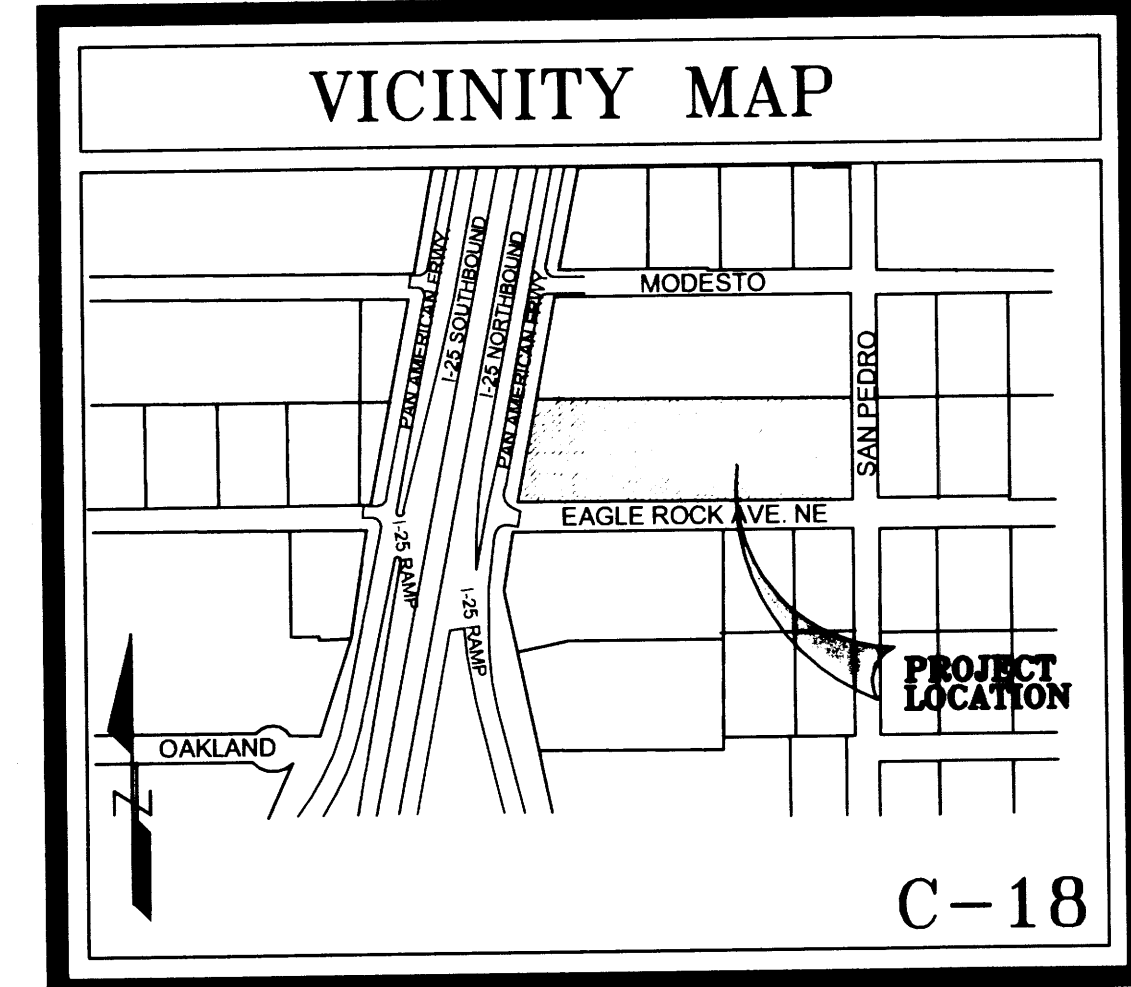
**PLUMBING FIXTURE REQ. (CONT.):** TOTAL FIXTURES REQUIRED  
 4 WATER CLOSETS (MALE) REQUIRED  
 4 WATER CLOSETS (FEMALE) REQUIRED  
 4 LAVATORIES EACH GENDER REQUIRED  
 TOTAL FIXTURES REQUIRED  
 4 WATER CLOSETS (MALE) PROVIDED  
 5 WATER CLOSETS (FEMALE) PROVIDED  
 5 URINALS (MALE) PROVIDED  
 6 LAVATORIES (MALE) PROVIDED  
 6 LAVATORIES (FEMALE) PROVIDED  
**PARKING ANALYSIS:** OFFICE, SHOWROOM, CAFE = 10,651/200 = 53 SPACES PARTS = 3,265/2000 = 1 SPACE SERVICE = 23 BAYS = 23 SPACES  
 TOTAL PARKING SPACES REQUIRED = 77 PARKING SPACES  
 TOTAL PARKING SPACES PROVIDED = 225 PARKING SPACES  
 REGULAR PARKING SPACES = 73  
 HANDICAP PARKING SPACES = 4  
 REG. NEW CAR INVENTORY SPACES = 79  
 SM. NEW CAR INVENTORY SPACES = 25  
 REG. USED CAR INVENTORY SPACES = 18  
 SERVICE USE SPACES = 26  
**BICYCLE SPACES:** REQUIRED PARKING - 77/20 = 4 BICYCLES (4 SPACES) TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES

**TOTAL LOT AREA:** 169,934 S.F., 3.90 ACRES  
**NET LOT AREA:** 169,934 - 32,094 = 137,840  
**TOTAL PARKING/PAVED AREA:** 103,555 S.F.  
**TOTAL LANDSCAPE AREA REQUIRED:** 20,676 S.F.  
**TOTAL LANDSCAPE AREA PROVIDED:** 28,819 S.F.

**SIGNATURE BLOCK**

PROJECT NUMBER:  
 APPLICATION CASE NUMBER:  
 IS AN INFRASTRUCTURE LIST REQUIRED? ( YES ( ) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS  
**DRR SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
Michael Holten	5/25/07
SOLID WASTE MANAGEMENT	DATE
DRR CHAIRPERSON, PLANNING DEPARTMENT	DATE



**CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP**  
 ALBUQUERQUE, NEW MEXICO

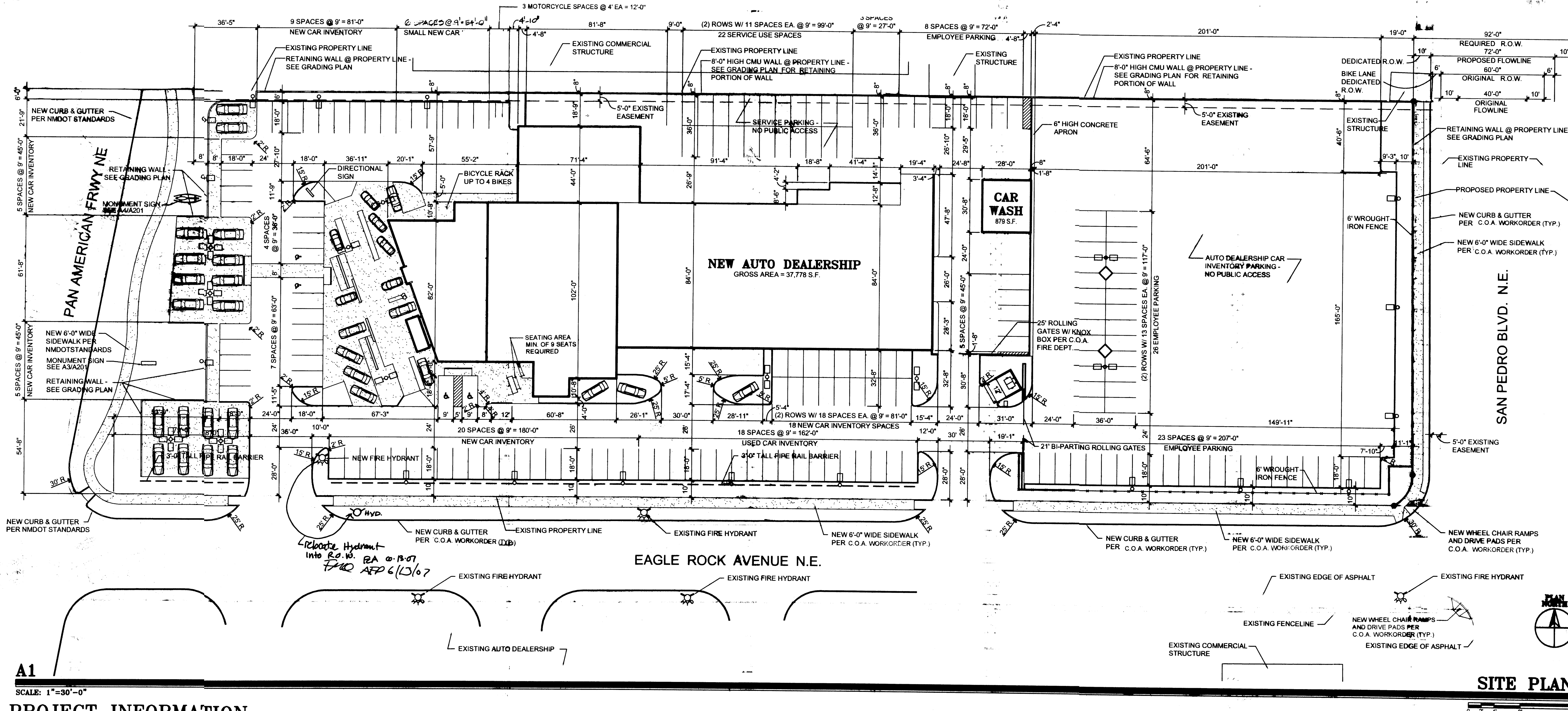
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06115  
 DRAWING FILE: colg-c102-g.dwg  
 DRAWN BY: ea  
 CHECK BY: XXX  
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS - 3006  
 DATE: MAY 29, 2006

**SHEET TITLE**  
**NEW DEALERSHIP SITE PLAN**

**SHEET NUMBER**  
**C-101**





A1

SCALE: 1"=30'-0"

SITE PLAN

**PROJECT INFORMATION**

**PROJECT:** CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP

**LOCATION:** PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO

**OWNER:** JR. & SR. LLC 7400 MERIDIAN PLACE N.W., SUITE D ALBUQUERQUE, NEW MEXICO 87121

**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W., ALBUQUERQUE, NEW MEXICO 87114

**LEGAL DESCRIPTION:** LOTS 17-21, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

**ZONING ATLAS MAP:** C18

**ZONING CLASSIFICATION:** SU2 FOR IP USES

**APPLICABLE BUILDING CODE:** 2003 INTERNATIONAL BUILDING CODE

**BUILDING FUNCTION:** NEW AUTOMOBILE DEALERSHIP FOR NEW AND USED CAR SALES, AUTOMOBILE REPAIR, & PARTS SALES

**CONSTRUCTION TYPE:** TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM

**OCCUPANCY TYPE:** B (OFFICE/SHOWROOM), S-1 (SERVICE), S-2 (PARTS)

**NUMBER OF FLOORS:** OFFICE, SHOWROOM, TWO SERVICE, ONE CAR WASH, ONE

**BUILDING HEIGHT:** 55'-0" A.F.F.

**GROSS SQUARE FOOTAGE:** OFFICE, SHOWROOM, AND SERVICE = 37,778 SF CARWASH = 879 SF

**NET USEABLE SQUARE FOOTAGE:** OFFICE, SHOWROOM, AND SERVICE = 10,651 S.F. PARTS = 3,265 S.F. SERVICE = 19,166 S.F. CAR WASH = 780 S.F.

**OCCUPANCY LOAD:** OFFICE = 3,875 S.F. / 100 = 39 OCCUPANTS SHOWROOM = 5,940 S.F. / 200 = 29 OCCUPANTS CAFE KITCHEN = 180 S.F. / 200 = 1 OCCUPANT CAFE SEATING = 656 S.F. / 15 = 44 OCCUPANTS PARTS = 3,265 S.F. / 300 = 11 OCCUPANTS SERVICE BAYS = 23 BAYS = 23 OCCUPANTS TOTAL OCCUPANT LOAD = 173 OCCUPANTS

**EXIT WIDTH REQUIRED:** OFFICE, SHOWROOM, CAFE = 22 INCHES PARTS = 1 INCHES SERVICE BAYS = 4 INCHES

**EXIT WIDTH PROVIDED:** OFFICE, SHOWROOM, CAFE = 384 INCHES PARTS = 36 INCHES SERVICE BAYS = 144 INCHES

**NUMBER OF EXITS PROVIDED:** OFFICE, SHOWROOM, CAFE = SIX PARTS = ONE SERVICE BAYS = FOUR

**ALLOWABLE AREA:** ALLOWABLE AREA: (PER UBC TABLE 503) INCLUDES AREA INCREASES FOR AUTOMATIC SPRINKLER SYSTEMS

ALLOWABLE AREA PER FLOOR:  $A_a = A_1 + \left[ \frac{A_1 - A_2}{100} \right] \cdot I_s = 200$  FOR 2-STORY, 300 FOR SINGLE STORY PER SEC. 506.3

**OFFICES & SHOWROOM = TYPE II-B CONSTRUCTION & B OCCUPANCY:**  
 $A_a = A_1 + \left[ \frac{A_1 - A_2}{100} \right] \cdot I_s = 23,000 + \left[ \frac{23,000 - 200}{100} \right] \cdot 2 = 69,000$  S.F.

$A_a = 46,000 \times 2$  (SEC 506.4 FOR 2-STORY BLDGS) = 138,000 S.F. > 14,628 S.F. PROVIDED

**SERVICE AREA = TYPE II-B CONSTRUCTION & S-1 OCCUPANCY:**  
 $A_a = A_1 + \left[ \frac{A_1 - A_2}{100} \right] \cdot I_s = 17,500 + \left[ \frac{17,500 - 300}{100} \right] \cdot 2 = 52,500$  S.F. > 19,569 S.F. PROVIDED

**PARTS = TYPE II-B CONSTRUCTION & S-2 OCCUPANCY:**  
 $A_a = A_1 + \left[ \frac{A_1 - A_2}{100} \right] \cdot I_s = 26,000 + \left[ \frac{26,000 - 200}{100} \right] \cdot 2 = 78,000$  S.F. > 3,581 S.F. PROVIDED

$A_a = 78,000 \times 2$  (SEC 506.4 FOR 2-STORY BLDGS) = 156,000 S.F. > 3,581 S.F. PROVIDED

TOTAL ALLOWABLE AREA: 346,500 S.F.  
 TOTAL BUILDING AREA: 37,778 S.F.  
 CARWASH = TYPE II-B CONSTRUCTION & B OCCUPANCY:  $A_a = 23,000$  S.F. > 879 S.F. PROVIDED

**PLUMBING FIXTURE REQUIREMENTS:** REQUIRED PER TABLE 2902.1

**B OCCUPANCY =** 143 OCCUPANTS  
 50/25 + 93/50 = 4 TOTAL REQUIRED TOILETS  
 50/40 + 93/80 = 2 REQUIRED LAVS

**S-1 OCCUPANCY =** 23 OCCUPANTS  
 23/100 = 1 TOTAL REQUIRED TOILET  
 23/100 = 1 TOTAL REQUIRED LAVS

1 WATER CLOSETS (MALE) REQUIRED  
 1 WATER CLOSETS (FEMALE) REQUIRED  
 1 LAVATORY EACH GENDER REQUIRED

**S-2 OCCUPANCY =** 7 OCCUPANTS  
 7/100 = 1 TOTAL REQUIRED TOILET  
 7/100 = 1 TOTAL REQUIRED LAVS

1 WATER CLOSETS (MALE) REQUIRED  
 1 WATER CLOSETS (FEMALE) REQUIRED  
 1 LAVATORY EACH GENDER REQUIRED

**PLUMBING FIXTURE REQ. (CONT.):**

TOTAL FIXTURES REQUIRED  
 4 WATER CLOSETS (MALE) REQUIRED  
 4 WATER CLOSETS (FEMALE) REQUIRED  
 4 LAVATORIES EACH GENDER REQUIRED

TOTAL FIXTURES REQUIRED  
 4 WATER CLOSETS (MALE) PROVIDED  
 5 WATER CLOSETS (FEMALE) PROVIDED  
 5 URINALS (MALE) PROVIDED  
 6 LAVATORIES (MALE) PROVIDED  
 5 LAVATORIES (FEMALE) PROVIDED

**PARKING ANALYSIS:**  
 OFFICE, SHOWROOM, CAFE = 10,651/200 = 53 SPACES  
 PARTS = 3,265/200 = 16 SPACES  
 SERVICE = 23 BAYS = 23 SPACES  
 TOTAL PARKING SPACES REQUIRED = 77 PARKING SPACES (INCLUDES MOTORCYCLE SPACES)

TOTAL PARKING SPACES PROVIDED = 73  
 REGULAR PARKING SPACES = 73  
 HANDICAP PARKING SPACES = 4  
 REG. NEW CAR INVENTORY SPACES = 79  
 SM. NEW CAR INVENTORY SPACES = 18  
 SERVICE USE SPACES = 26  
 MOTORCYCLE = 3

**BICYCLE SPACES:**  
 REQUIRED PARKING - 77/20 = 4 BICYCLES (4 SPACES)  
 TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES

**TOTAL LOT AREA:** 169,934 S.F., 3.90 ACRES  
**NET LOT AREA:** 169,934 - 32,094 = 137,840  
**TOTAL PARKING/PAVED AREA:** 103,555 S.F.  
**TOTAL LANDSCAPE AREA REQUIRED:** 20,676 S.F.  
**TOTAL LANDSCAPE AREA PROVIDED:** 28,819 S.F.

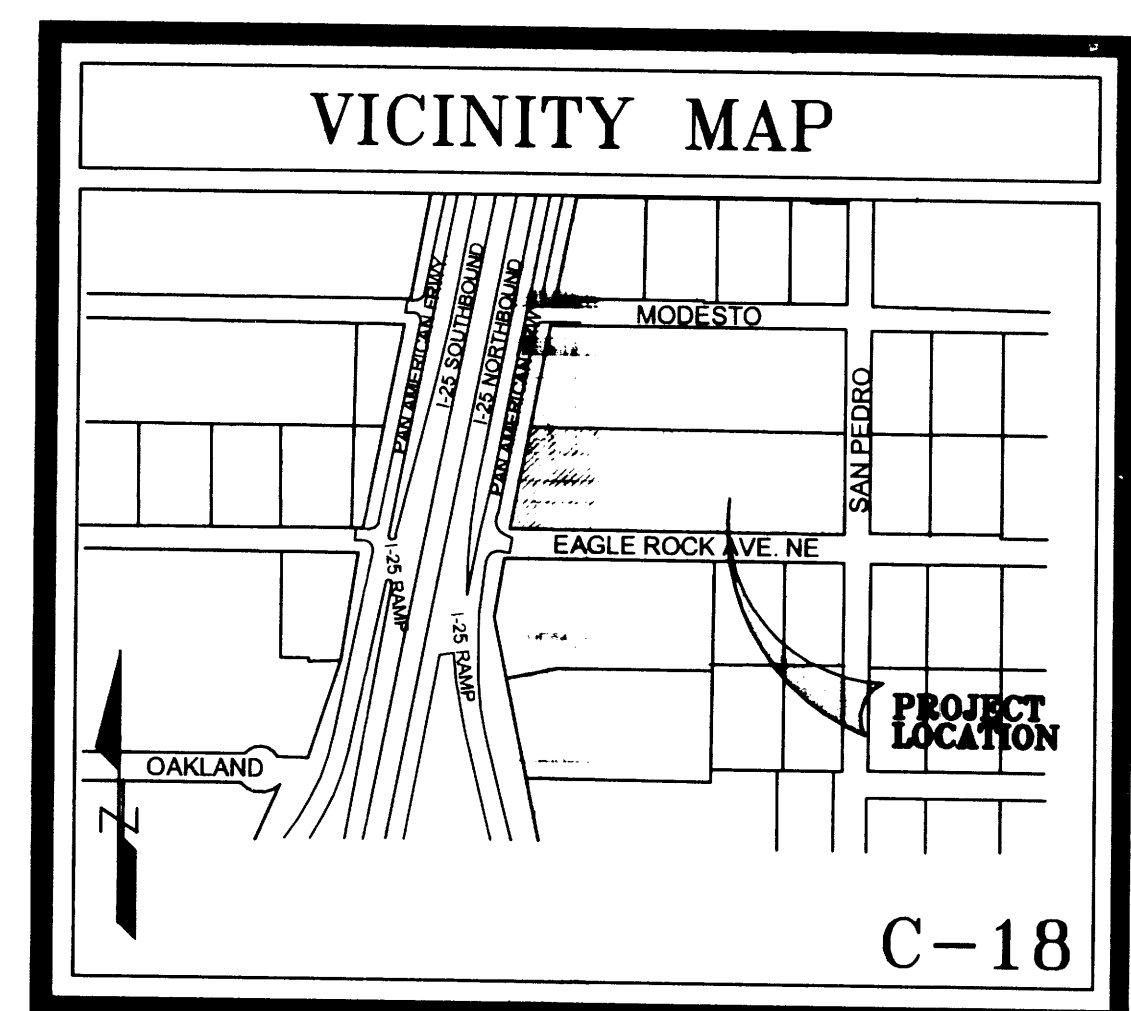
**SIGNATURE BLOCK**

**PROJECT NUMBER:**  
**APPLICATION CASE NUMBER:**

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>Michael Holten</i> SOLID WASTE MANAGEMENT	5/25/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**SITE PLAN LEGEND**

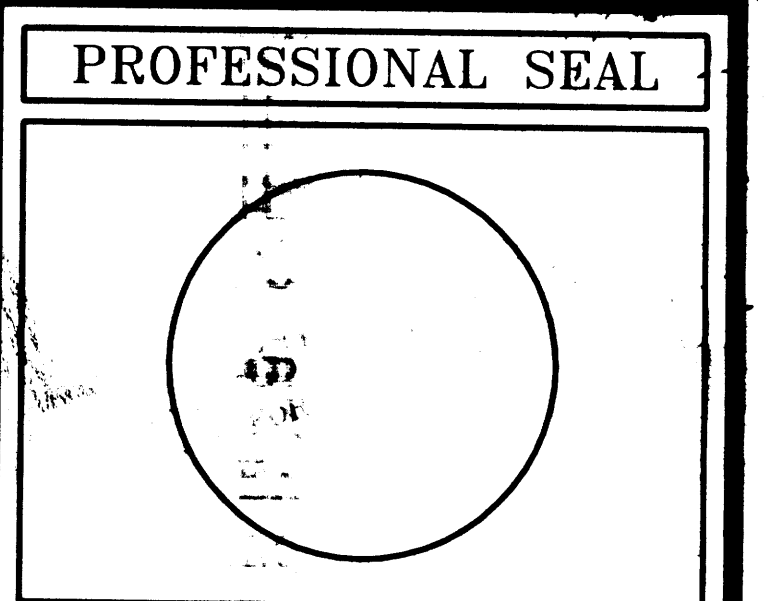
- INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA
- INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING. MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.
- INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS
- PROPERTY LINE
- EASEMENT BOUNDARIES
- FIRE HYDRANTS
- 6" HIGH WROUGHT IRON FENCE
- POLE MOUNTED LIGHT FIXTURE 20" MAX TO TOP OF FIXTURE



1801 Rio Grande Boulevard, N.W.  
 Albuquerque, New Mexico  
 Phone: (505) 842-1113  
 Fax: (505) 842-1330

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
 All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

**CONSULTANTS**



**CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP**  
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

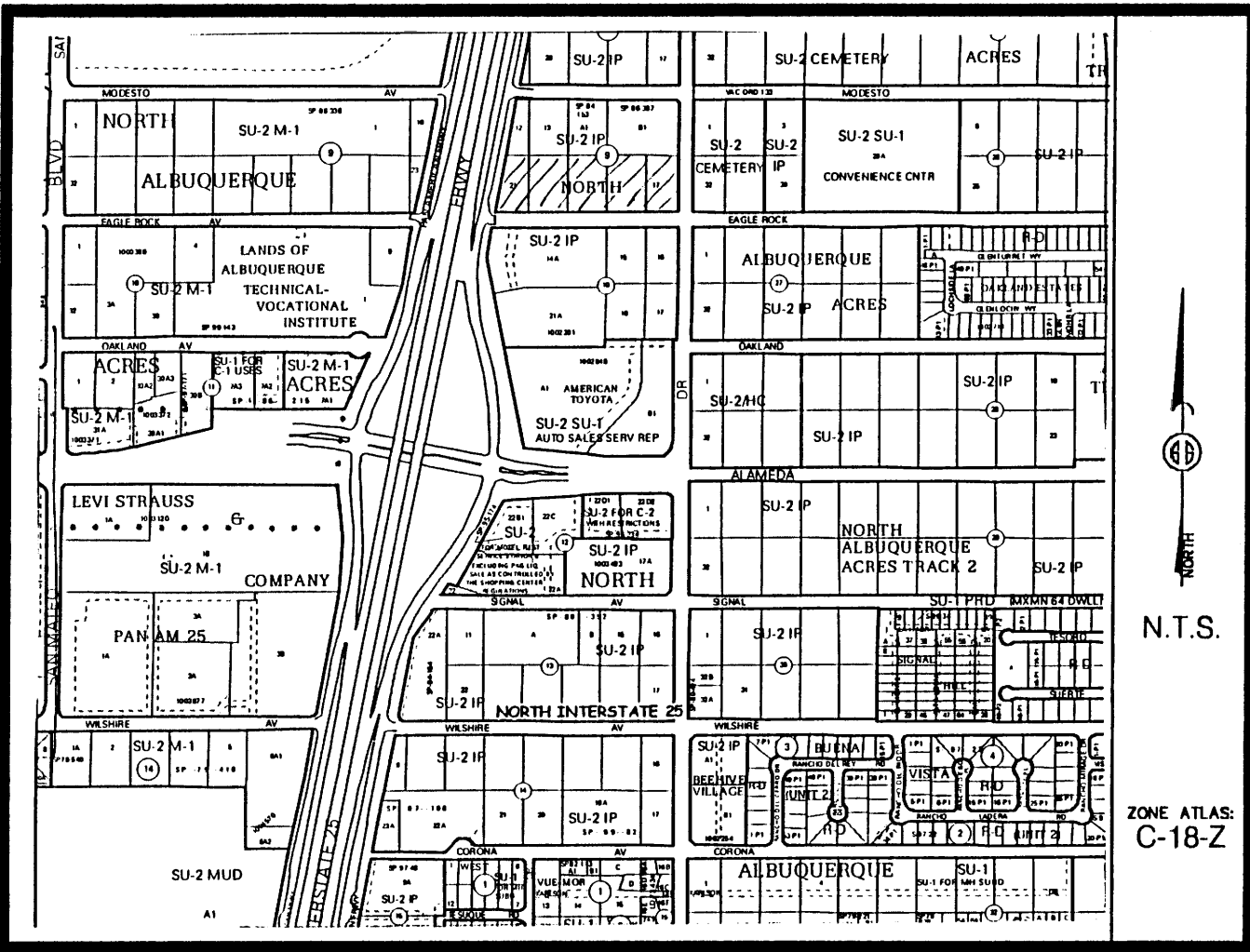
**PROJECT NUMBER:** 06115  
**DRAWING FILE:** colg-c102-g.dwg  
**DRAWN BY:** ea  
**CHECK BY:** XXX  
**COPYRIGHT:** CLAUDIO VIGIL ARCHITECTS - 3006  
**DATE:** MAY 29, 2006

**SHEET TITLE**  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

**SHEET NUMBER**  
 C-101



**PLAT OF  
LOT 17-A, BLOCK 9  
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
PROJECTED SECTION 13, T. 11 N., R. 3 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2007  
SHEET 1 OF 2**



**Vicinity Map**

**SUBDIVISION DATA / NOTES**

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-C18 AND 10-C18, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.7346 ACRES
6. NUMBER OF EXISTING LOTS: 4 AND A PORTION OF 1
7. NUMBER OF LOTS CREATED: 1
8. PROPERTY IS ZONED: SU-2 / IP

**LEGAL DESCRIPTION**

A certain tract of land being and comprising of Lots numbered Seventeen (17), Eighteen (18), Nineteen (19), Twenty (20) and portion of Twenty-one (21) in Block numbered Nine (9) of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on said plat, thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130 and being more particularly described as follows:  
 BEGINNING at Albuquerque City Control Station 10-C18 having New Mexico State Plane Central Zone NAD 1927 coordinates of X= 402,319.45, Y= 1,524.06 .42, a Ground to Grid factor of 0.9996613, a Delta Alpha of -00° 11' 18"; Thence S 19° 45' 05" E., a distance of 216.51 feet to the POINT OF BEGINNING on the northerly property line of said tract; Thence S 89° 44' 56" E., a distance of 46.00 feet to the northeast corner of said tract; Thence S 00° 07' 25" E., a distance of 264.21 feet to the southeast corner of said tract; Thence N 89° 44' 08" W., a distance of 807.15 feet to the southwest corner of said tract; Thence N 11° 09' 32" E., a distance of 268.88 feet to the northwest corner of said tract; Thence S 89° 44' 56" E., a distance of 708.54 feet to the POINT OF BEGINNING and containing 4.7346 more or less.

**DISCLOSURE STATEMENT**

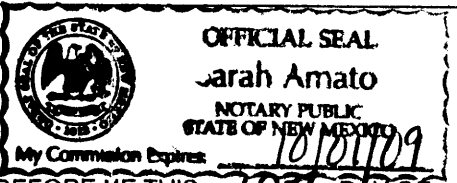
THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE FIVE (5) EXISTING LOTS INTO ONE (1) NEW LOT AND TO DEDICATE ADDITIONAL STREET RIGHT-OF-WAY.

CITY APPROVALS:	PROJECT NO.:	APPLICATION NO.:
<i>[Signature]</i>		
CITY SURVEYOR		6-12-07 DATE
TRAFFIC ENGINEERING		DATE
PARKS & RECREATION DEPARTMENT		DATE
WATER UTILITIES DEPARTMENT		DATE
A.M.A.F.C.A.		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

OWNER(S) SIGNATURE: *[Signature]* DATE: 6/12/07  
 OWNER(S) PRINT NAME: OWNER - EDDIE B. CORLEY, JR.  
 ADDRESS: \_\_\_\_\_ TRACT: \_\_\_\_\_  
 ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 ) SS  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12<sup>TH</sup> DAY OF JUNE, 2007.  
 BY: EDDIE B. CORLEY, JR.  
 MY COMMISSION EXPIRES: 10/10/09  
*[Signature]*  
 NOTARY PUBLIC



**SURVEYOR'S CERTIFICATION**

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

*[Signature]* 06-12-07  
 Mitchell W. Reynolds Date  
 New Mexico Professional Surveyor, 11224



**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306  
 87102

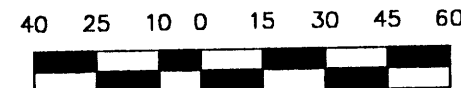
**T11N R3E SEC. 13**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

1" = 60'  
 PROJECT NO. 0706AT02  
 DRAWN BY: AT  
 ZONE ATLAS: C-18-Z  
 CORYTPO.CRS

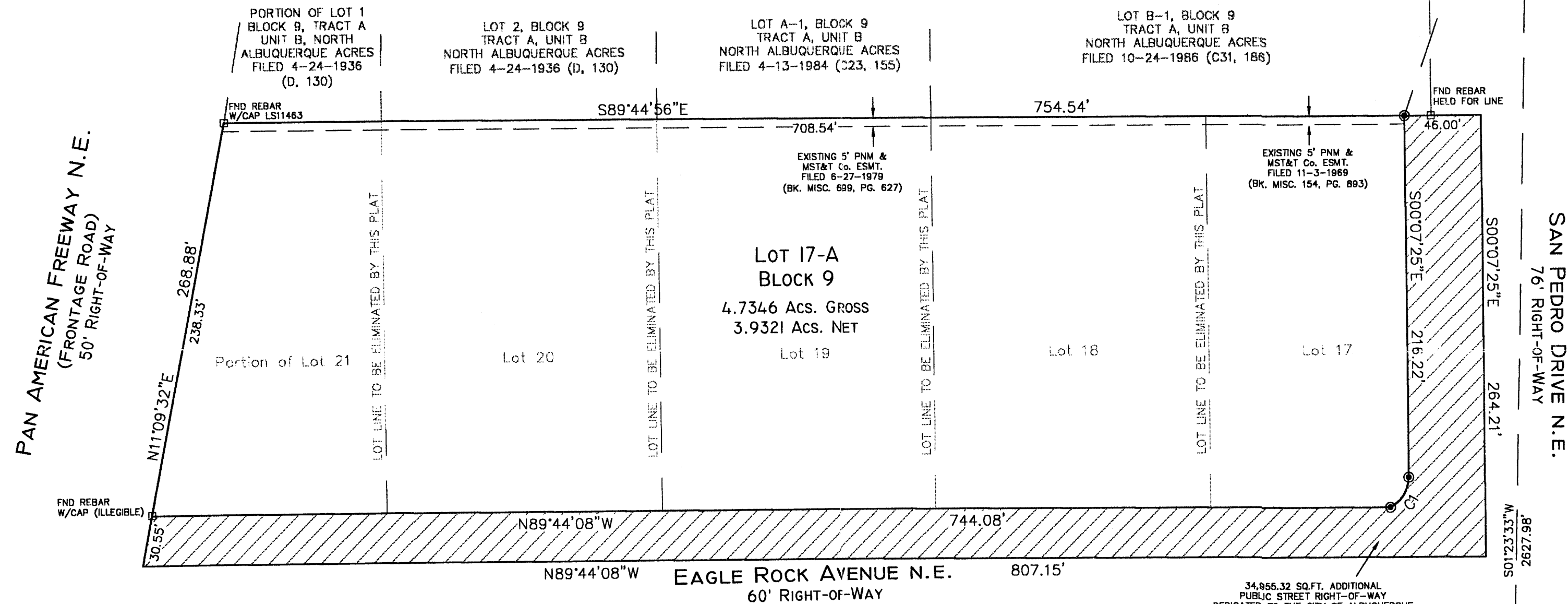
**PLAT OF  
LOT 17-A, BLOCK 9  
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
PROJECTED SECTION 13, T. 11 N., R. 3 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2007  
SHEET 2 OF 2**



SCALE: 1" = 60'  
PROJECT NO. 0706AT02  
DRAWN BY: AT  
ZONE ATLAS: C-18-Z  
CORYTPO.CR5



STATION: 10-C18  
X = 402,319.45  
Y = 1,524,061.42  
GROUND TO GRID = 0.9996613  
DELTA ALPHA = -0°11'18"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927



SAN PEDRO DRIVE N.E.  
76' RIGHT-OF-WAY

PAN AMERICAN FREEWAY N.E.  
(FRONTAGE ROAD)  
50' RIGHT-OF-WAY

EAGLE ROCK AVENUE N.E.  
60' RIGHT-OF-WAY

34,955.32 SQ.FT. ADDITIONAL  
PUBLIC STREET RIGHT-OF-WAY  
DEDICATED TO THE CITY OF ALBUQUERQUE  
WITH THE FILING OF THIS PLAT

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	22.18'	63°33'08"	S31°39'08"W	21.06'

STATION: 9-C18  
X = 402,255.61  
Y = 1,521,435.09  
GROUND TO GRID = 0.9996608  
DELTA ALPHA = -0°11'19"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927

**MONUMENT LEGEND**

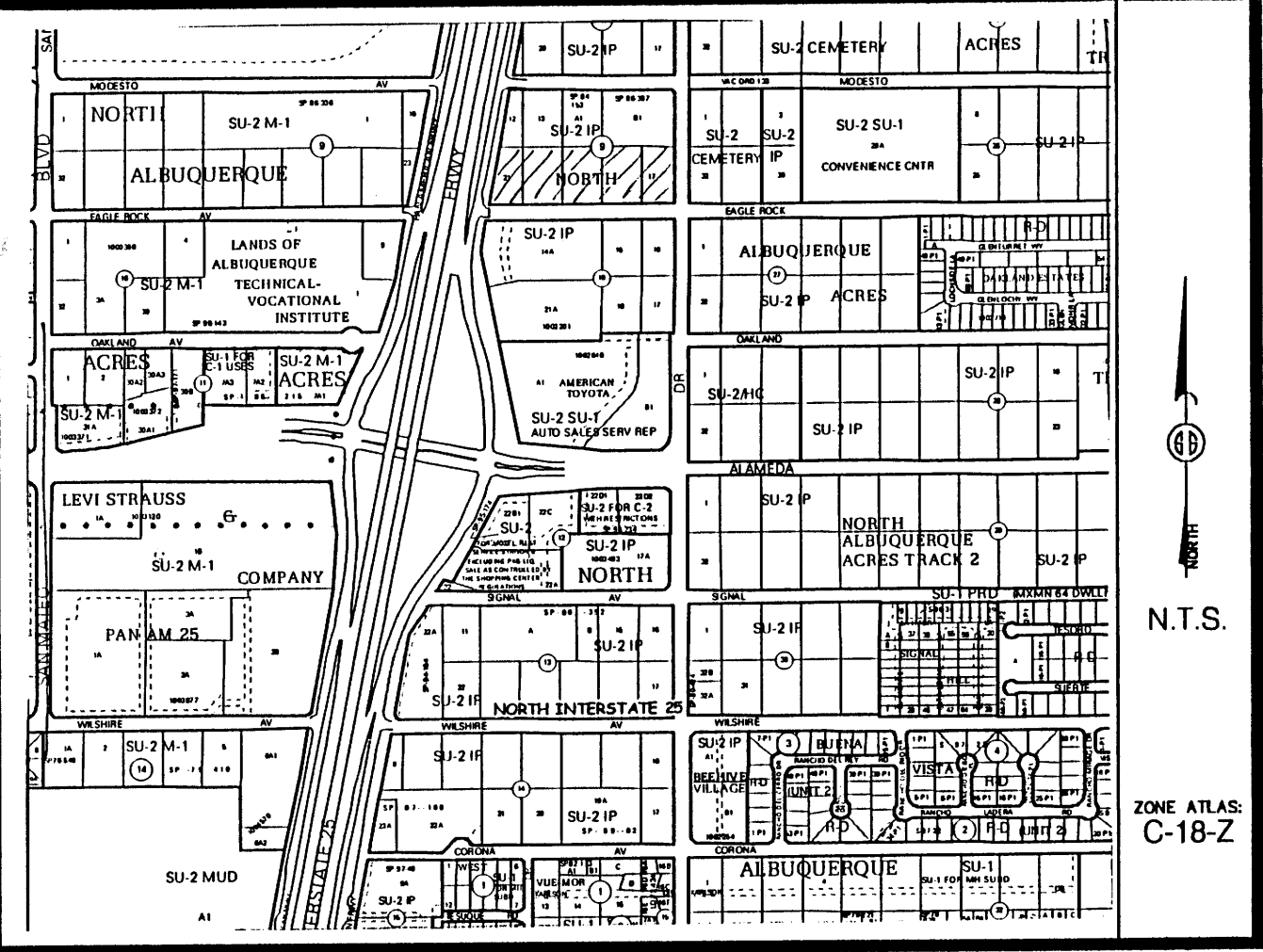
- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R3E SEC. 13**



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-C18 AND 10-C18, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.7346 ACRES
6. NUMBER OF EXISTING LOTS: 4 AND A PORTION OF 1
7. NUMBER OF LOTS CREATED: 1
8. PROPERTY IS ZONED: SU-2 / IP

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

PLAT OF  
 LOT 17-A, BLOCK 9  
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
 PROJECTED SECTION 13, T. 11 N., R. 3 E., N.M.P.M.  
 ELENA GALLEGOS GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE 2007  
 SHEET 1 OF 2

DOCH 2008001237  
 01/04/2008 10:48 AM Page: 1 of 2  
 PLAT R \$12.00 B: 20080 P: 0002 N Toulouse, Bernalillo County

DISCLOSURE STATEMENT  
 THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE FIVE (5) EXISTING LOTS INTO ONE (1) NEW LOT AND TO DEDICATE ADDITIONAL STREET RIGHT-OF-WAY.

CITY APPROVALS: PROJECT NO.: 1006505 APPLICATION NO. 07DAB-70055

	6-12-07
CITY SURVEYOR	DATE
	1-2-08
TRAFFIC ENGINEERING	DATE
	1/2/08
PARKS & RECREATION DEPARTMENT	DATE
	6-2-08
WATER UTILITIES DEPARTMENT ABCWA	DATE
	1/2/08
A.M.A.F.C.A.	DATE
	1/2/08
CITY ENGINEER	DATE
	1/2/08
PRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

LEGAL DESCRIPTION  
 A certain tract of land being and comprising of Lots numbered Seventeen (17), Eighteen (18), Nineteen (19), Twenty (20) and portion of Twenty-one (21) in Block numbered Nine (9) of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on said plat, thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130 and being more particularly described as follows:  
 BEGINNING at Albuquerque City Control Station 10-C18 having New Mexico State Plane Central Zone NAD 1927 coordinates of X= 402,319.45, Y= 1,524,061.42, a Ground to Grid factor of 0.9996613, a Delta Alpha of -00° 11' 18"; Thence S 19° 45' 05" E., a distance of 226.51 feet to the POINT OF BEGINNING on the northerly property line of said tract; Thence S 89° 44' 56" E., a distance of 46.00 feet to the northeast corner of said tract; Thence S 00° 07' 25" E., a distance of 264.21 feet to the southeast corner of said tract; Thence N 89° 44' 08" W., a distance of 807.15 feet to the southwest corner of said tract; Thence N 11° 09' 32" E., a distance of 268.88 feet to the northwest corner of said tract; Thence S 89° 44' 56" E., a distance of 708.54 feet to the POINT OF BEGINNING and containing 4.7346 more or less.

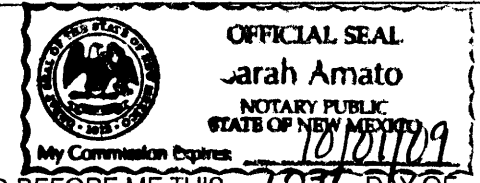
FREE CONSENT  
 THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

OWNER(S) SIGNATURE:

OWNER(S) PRINT NAME: OWNER EDDIE B. CORLEY, JR. DATE: 6/12/07

ADDRESS: \_\_\_\_\_ TRACT: \_\_\_\_\_

ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 )SS  
 COUNTY OF BERNALILLO )



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12<sup>TH</sup> DAY OF JUNE, 2007.  
 BY: EDDIE B. CORLEY, JR.  
 MY COMMISSION EXPIRES: 10/10/09  
Sarah Amato  
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION  
 I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds  
 New Mexico Professional Surveyor, 11224

06-12-07  
 Date



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 333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: (505) 998-0303  
 FAX: (505) 998-0306  
 T11N R3E SEC. 13

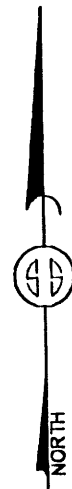
THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: 10180641549021000  
 PROPERTY OWNER OF RECORD:  
OR SR UC  
 BERNALILLO COUNTY TREASURERS OFFICE:  
1408

1" = 60'  
 PROJECT NO. 0706AT02  
 DRAWN BY: AT  
 ZONE ATLAS: C-18-Z  
 CORYIPO.CRS

40 25 10 0 15 30 45 60



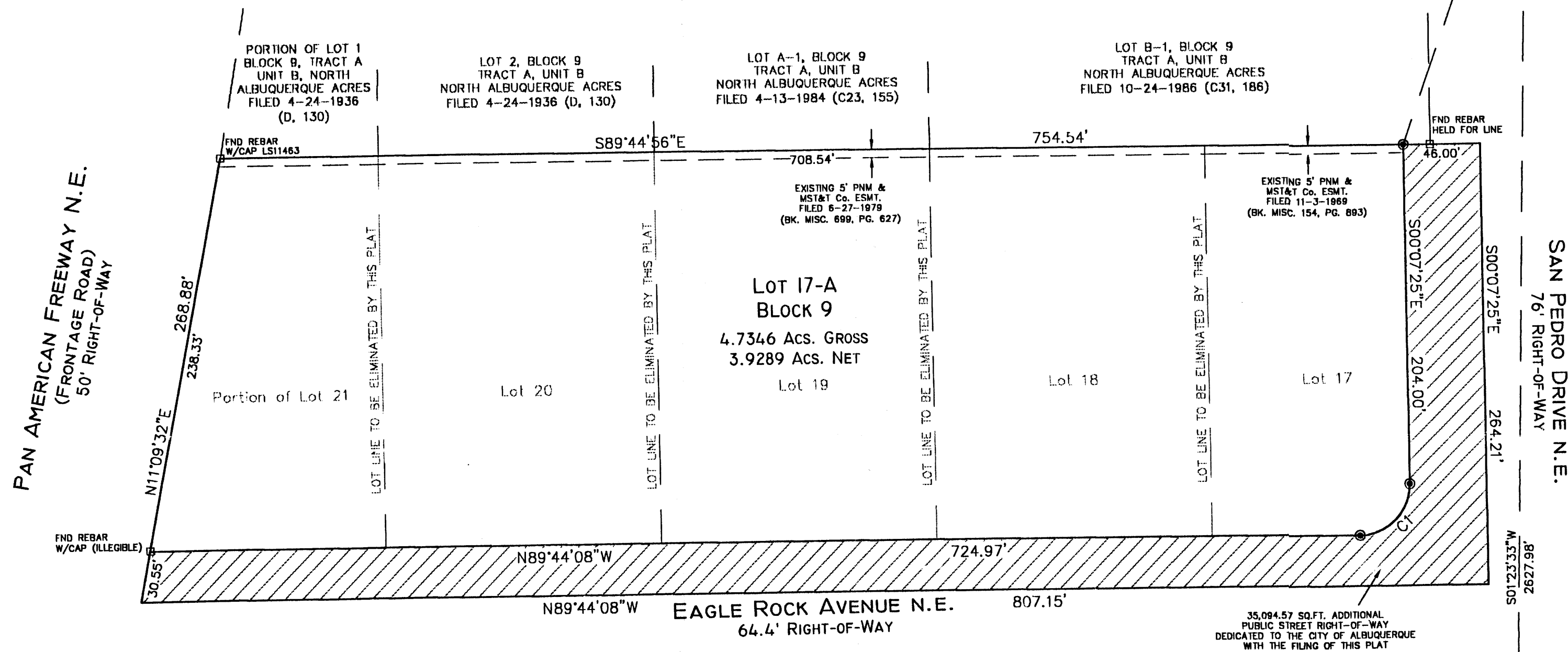
SCALE: 1" = 60'



**PLAT OF  
LOT 17-A, BLOCK 9  
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
PROJECTED SECTION 13, T. 11 N., R. 3 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2007  
SHEET 2 OF 2**

DOCH 2008001237  
01/04/2008 10:48 AM Page: 2 of 2  
PLAT R: \$12.00 B: 2008C P: 0002 M: Toulouse, Bernalillo County

STATION: 10-C18  
X = 402,319.45  
Y = 1,524,061.42  
GROUND TO GRID = 0.9996613  
DELTA ALPHA = -0°11'18"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	47.33'	90°23'17"	S45°04'13"W	42.57'

STATION: 9-C18  
X = 402,255.61  
Y = 1,521,435.09  
GROUND TO GRID = 0.9996608  
DELTA ALPHA = -0°11'19"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927

**MONUMENT LEGEND**

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

1" = 60'  
PROJECT NO. 0706AT02  
DRAWN BY: AT  
ZONE ATLAS: C-18-Z  
CORLYTPO.CRS

**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R3E SEC. 13**