

**LOCATION MAP**  
 ZONE ATLAS INDEX MAP Nos. R-15, R-16, R-17, S-14, S-15, S-16, S-17, T-16, T-17  
 NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. R-15, R-16, R-17, S-14, S-15, S-16, S-17, T-16 and T-17.
3. Zoning: PC.
4. Gross Subdivision Acreage: 1898.5739 Acres.
5. Total number of lots/tracts Created: Six (6) tracts.
6. No full width public street right-of-way created.
7. Date of Survey: September, 2010.
8. Plat is located within Sections 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Tract A of the Bulk Land Plat For Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 13, 2007 in Book 2007C, page 259 as Document No. 2007131551 into six (6) tracts, and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structures shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**DESCRIPTION**

A certain tract of land being a portion of Sections 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract A of the Bulk Land Plat For Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 13, 2007 in Book 2007C, page 259 as Document No. 2007131551.

Tract contains 1898.5739 acres, more or less.

**LANDFILL DISCLOSURE STATEMENT**

The subject property is located near or is a former landfill site. Due to the subject property being on or near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

Doc# 2010123413

**NOTES**

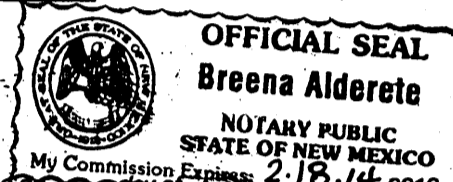
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983. Basis of Bearings is between City of Albuquerque Control Stations "1-R16 and "3-Q16". Bearing = N12°15'06"E.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Mesa Del Sol Innovation Park, Albuquerque, New Mexico, filed on September 13, 2007 in Book 2007C, Page 259 as Document No. 2007131551.
3. Distances are ground distances.
4. Record easements taken from search and report File No. FT000058876 dated Monday, September 27, 2010 from Fidelity National Title.
5. The location of pipeline, powerline, and communication line easements and/or right-of-ways shown hereon were plotted from the granting documents in conjunction with field ties of existing infrastructure.
6. Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this Plat."
7. All corners created with this plat will be monumented with a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469" or nail and washer stamped "Gromatzky PS 16469".
8. Tracts A-1 thru A-6 are subject to an Easement Agreement filed June 21, 2006 in Book A-119, page 1052 as Document No. 2006-091310, records of Bernalillo County, New Mexico.
9. Tract A-5 is subject to a blanket Public Storm Drain Easement granted with the filing of this Plat. This easement to be confined and further defined by future platting action.

**FREE CONSENT AND DEDICATION**

The foregoing plat of that certain tract of land situate within Sections 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract A of the Bulk Land Plat for Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 13, 2007 in Book 2007C, page 259 as Document No. 2007131551, now comprising Tracts A-1 thru A-6 Mesa Del Sol Innovation Park is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City, if the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) affirm that the property described does lie within the platting jurisdiction of City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

MESA DEL SOL, LLC, a New Mexico Limited Liability Company  
 By: FC Covington Manager, LLC, a New Mexico Limited Liability Company, Member  
 By: FC Mesa, Inc., a New Mexico Corporation, Member

BY: Michael D. Daly  
 Chief Operating Officer  
 State of New Mexico )  
 ) SS  
 County of Bernalillo )



This instrument was acknowledged before me on this day of September, 2010, by Michael D. Daly, Chief Operating Officer of FC Mesa, Inc., a New Mexico Corporation, as Member of FC Covington Manager, LLC, a New Mexico Limited Liability Company, as Member of Mesa Del Sol, LLC, a New Mexico Limited Liability Company.

My Commission Expires: 2-18-14 Breena Alderete

**BULK LAND PLAT OF TRACTS A-1 THRU A-6 MESA DEL SOL INNOVATION PARK (A REPLAT OF TRACT A MESA DEL SOL INNOVATION PARK) ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO OCTOBER, 2010**

PROJECT NUMBER 1006516

APPLICATION NUMBER

**PLAT APPROVAL**

UTILITY APPROVALS:	DATE
QWEST TELECOMMUNICATIONS	11-04-10
COMCAST CABLE	11-15-10
PNM ELECTRIC SERVICES	11-4-10
NEW MEXICO GAS COMPANY	11-4-2010

**CITY APPROVALS:**

for R. Phil Walker	DATE	Oct 7, 2010
CITY SURVEYOR	DATE	11-09-10
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE	10/27/10
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE	10/27/10
PARKS & RECREATION DEPARTMENT	DATE	11/9/10
AMAFCA	DATE	10-27-10
CITY ENGINEER	DATE	12-3-10
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE	
N/A	DATE	
REAL PROPERTY DIVISION	DATE	
N/A	DATE	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE	

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

101605024828020101

PROPERTY OWNER OF RECORD Mesa del sol LLC.

B. J. O. 12-06-10  
 BERNALILLO COUNTY TREASURERS OFFICE DATE

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky  
 Robert Gromatzky  
 New Mexico Professional Surveyor, 16469

Date: October 7, 2010



DOCH 2010123421

12/06/2010 04:48 PM Page: 1 of 3  
 PLAT R: \$17.00 B: 2010C P: 0131 M: Toulous Olivero, Bernalillo Cou

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	15° 07' 15"	320.29'	636.86'	2413.20'	635.02'	S67° 23' 06" E
C2	04° 17' 24"	95.28'	190.48'	2544.00'	190.43'	N11° 55' 11" W
C3	20° 54' 50"	339.89'	672.22'	1841.64'	668.50'	S59° 06' 38" E
C4	25° 00' 00"	100.65'	198.09'	454.00'	196.53'	S31° 27' 36" E
C5	153° 50' 56"	409.03'	255.09'	95.00'	185.07'	N34° 12' 52" E
C6	37° 23' 20"	90.35'	174.23'	287.00'	171.16'	S01° 01' 00" E
C7	71° 17' 38"	50.20'	87.10'	70.00'	81.59'	S43° 54' 13" W
C8	67° 40' 37"	16.76'	29.53'	25.00'	27.84'	S42° 05' 49" W
C9	32° 43' 42"	7.34'	14.28'	25.00'	14.09'	S87° 42' 02" E
C10	61° 39' 57"	41.78'	75.34'	70.00'	71.76'	N77° 49' 51" E
C11	38° 17' 46"	8.68'	16.71'	25.00'	16.40'	N66° 08' 45" E
C12	22° 23' 02"	52.83'	104.31'	287.00'	103.65'	S83° 30' 51" E
C13	31° 44' 33"	249.34'	485.87'	877.00'	479.68'	S01° 48' 23" W
C14	29° 53' 43"	244.28'	477.42'	915.00'	472.03'	N60° 59' 15" E

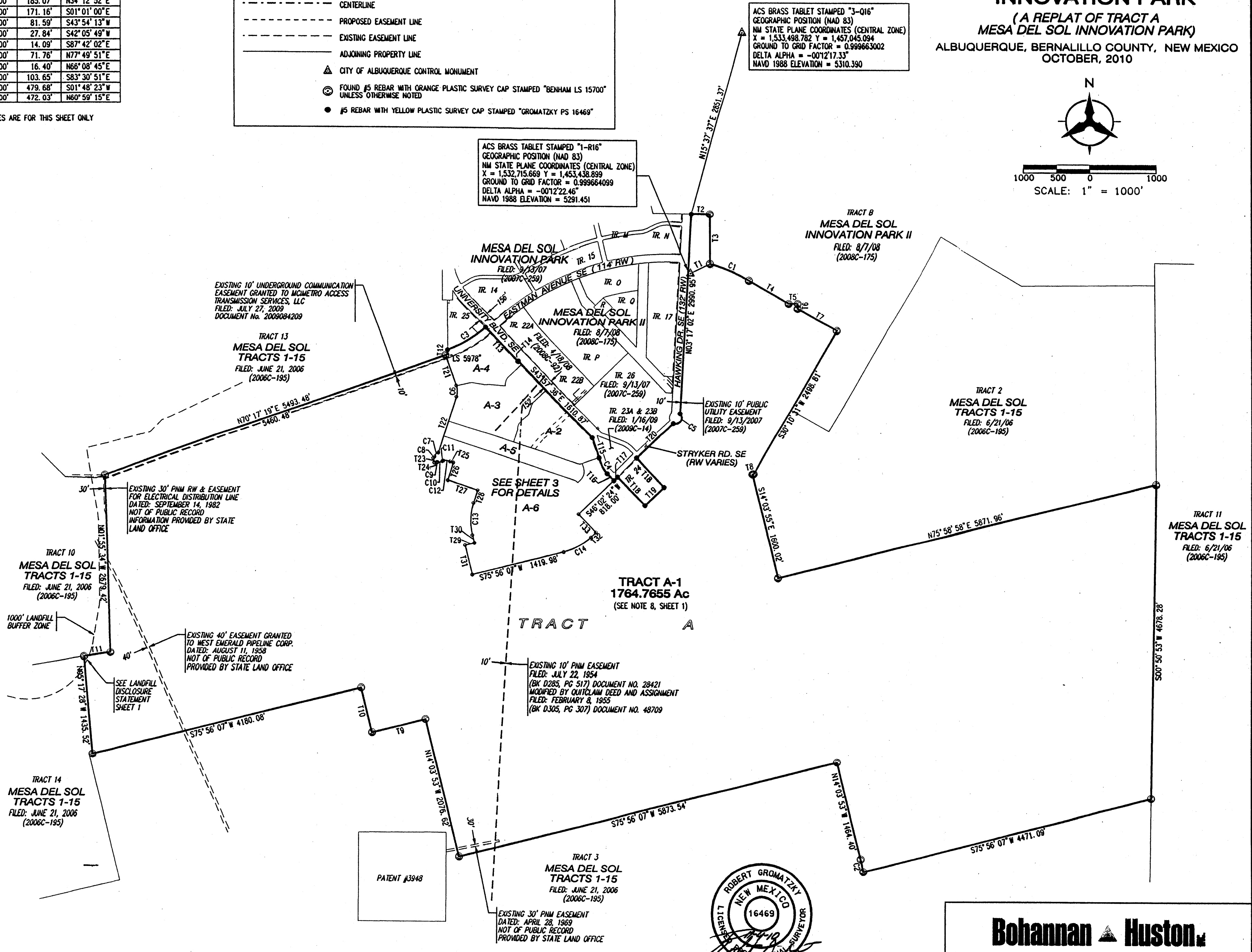
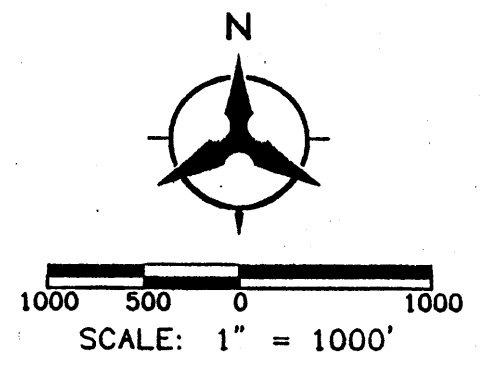
ID	BEARING	DISTANCE
T1	S64° 05' 21" W	328.32'
T2	S89° 38' 06" E	279.61'
T3	S00° 02' 06" E	716.21'
T4	S59° 49' 29" E	694.35'
T5	S89° 47' 27" E	135.42'
T6	S00° 00' 22" E	78.25'
T7	S59° 49' 29" E	680.37'
T8	S75° 56' 04" W	17.45'
T9	S75° 56' 07" W	830.46'
T10	N14° 03' 53" W	683.98'
T11	N80° 27' 33" E	401.10'
T12	N00° 07' 15" W	69.15'
T13	S43° 57' 36" E	705.24'
T14	N46° 02' 24" E	10.00'
T15	S18° 57' 36" E	382.06'
T16	S43° 57' 36" E	140.00'
T17	N46° 02' 24" E	78.00'
T18	S43° 57' 36" E	593.00'
T19	N46° 02' 24" E	400.00'
T20	N46° 02' 24" E	764.83'
T21	N19° 42' 41" W	480.27'
T22	S17° 40' 40" W	903.57'
T23	N14° 03' 53" W	66.00'
T24	S75° 56' 07" W	36.52'
T25	N72° 19' 20" W	50.89'
T26	S17° 40' 40" W	272.00'
T27	N72° 19' 20" W	471.38'
T28	S17° 40' 40" W	206.20'
T29	N14° 03' 53" W	127.23'
T30	S75° 56' 07" W	144.00'
T31	N14° 03' 53" W	448.00'
T32	S46° 02' 24" W	103.38'
T33	N43° 57' 36" W	375.00'

NOTE: TABLES ARE FOR THIS SHEET ONLY

**LEGEND**

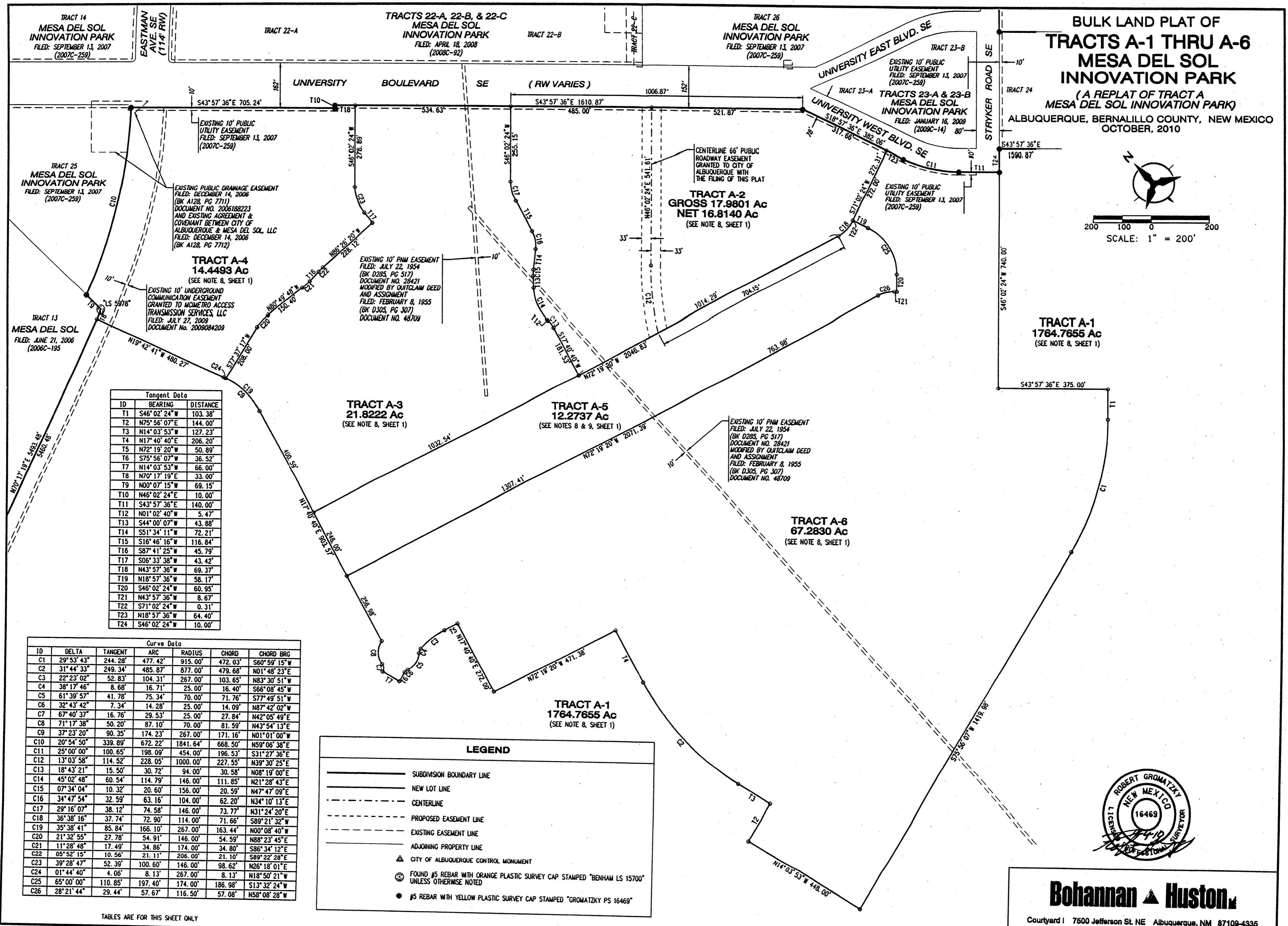
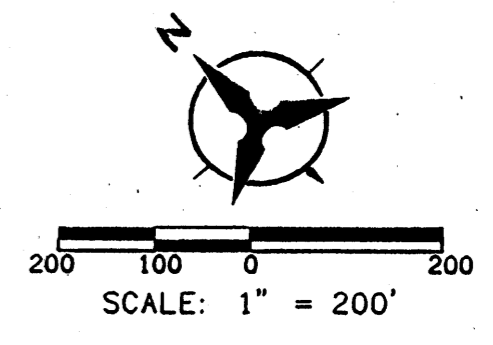
- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #5 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700" UNLESS OTHERWISE NOTED
- #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

**BULK LAND PLAT OF TRACTS A-1 THRU A-6 MESA DEL SOL INNOVATION PARK**  
 (A REPLAT OF TRACT A MESA DEL SOL INNOVATION PARK)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2010



**Bohannon & Huston**  
 Courtyard | 7600 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2010



**Tangent Data**

ID	BEARING	DISTANCE
T1	S46°02'24"W	103.38'
T2	N75°56'07"E	144.00'
T3	N14°03'53"W	127.23'
T4	N17°40'40"E	206.20'
T5	N72°19'20"W	50.89'
T6	S75°56'07"W	36.52'
T7	N14°03'53"W	66.00'
T8	N70°17'19"E	33.00'
T9	N00°07'15"W	69.15'
T10	N46°02'24"E	10.00'
T11	S43°57'36"E	140.00'
T12	N01°02'40"W	5.47'
T13	S44°00'07"W	43.88'
T14	S51°34'11"W	72.21'
T15	S16°46'16"W	116.84'
T16	S87°41'25"W	45.79'
T17	S06°33'38"W	43.42'
T18	N43°57'36"W	69.37'
T19	N18°57'36"W	58.17'
T20	S46°02'24"W	60.95'
T21	N43°57'36"W	8.67'
T22	S71°02'24"W	0.31'
T23	N18°57'36"W	64.40'
T24	S46°02'24"W	10.00'

**Curve Data**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	29°53'43"	244.28'	477.42'	915.00'	472.03'	S60°59'15"W
C2	31°44'33"	249.34'	485.87'	877.00'	479.68'	N01°48'23"E
C3	22°23'02"	52.83'	104.31'	267.00'	103.65'	N83°30'51"W
C4	38°17'46"	8.68'	16.71'	25.00'	16.40'	S66°08'45"W
C5	61°39'57"	41.78'	75.34'	70.00'	71.76'	S77°49'51"W
C6	32°43'42"	7.34'	14.28'	25.00'	14.09'	N87°42'02"W
C7	67°40'37"	16.76'	29.53'	25.00'	27.84'	N42°05'49"E
C8	71°17'38"	50.20'	87.10'	70.00'	81.59'	N43°54'13"E
C9	37°23'20"	90.35'	174.23'	267.00'	171.16'	N01°01'00"W
C10	20°54'50"	339.89'	672.22'	1841.64'	668.50'	N59°06'38"E
C11	25°00'00"	100.65'	198.09'	454.00'	196.53'	S31°27'36"E
C12	13°03'58"	114.52'	228.05'	1000.00'	227.55'	N39°30'25"E
C13	18°43'21"	15.50'	30.72'	94.00'	30.58'	N08°19'00"E
C14	45°02'48"	60.54'	114.79'	146.00'	111.85'	N21°28'43"E
C15	07°34'04"	10.32'	20.60'	156.00'	20.59'	N47°47'09"E
C16	34°47'54"	32.59'	63.16'	104.00'	62.20'	N34°10'13"E
C17	29°16'07"	38.12'	74.58'	146.00'	73.77'	N31°24'20"E
C18	36°38'16"	37.74'	72.90'	114.00'	71.66'	S89°21'32"W
C19	35°38'41"	85.84'	166.10'	267.00'	163.44'	N00°08'40"W
C20	21°32'55"	27.78'	54.91'	146.00'	54.59'	N88°23'45"E
C21	11°28'48"	17.49'	34.86'	174.00'	34.80'	S86°34'12"E
C22	05°52'15"	10.56'	21.11'	206.00'	21.10'	S89°22'28"E
C23	39°28'47"	52.39'	100.60'	146.00'	98.62'	N26°18'01"E
C24	01°44'40"	4.06'	8.13'	267.00'	8.13'	N18°50'21"W
C25	65°00'00"	110.85'	197.40'	174.00'	186.98'	S13°32'24"W
C26	28°21'44"	29.44'	57.67'	116.50'	57.08'	N58°08'28"W

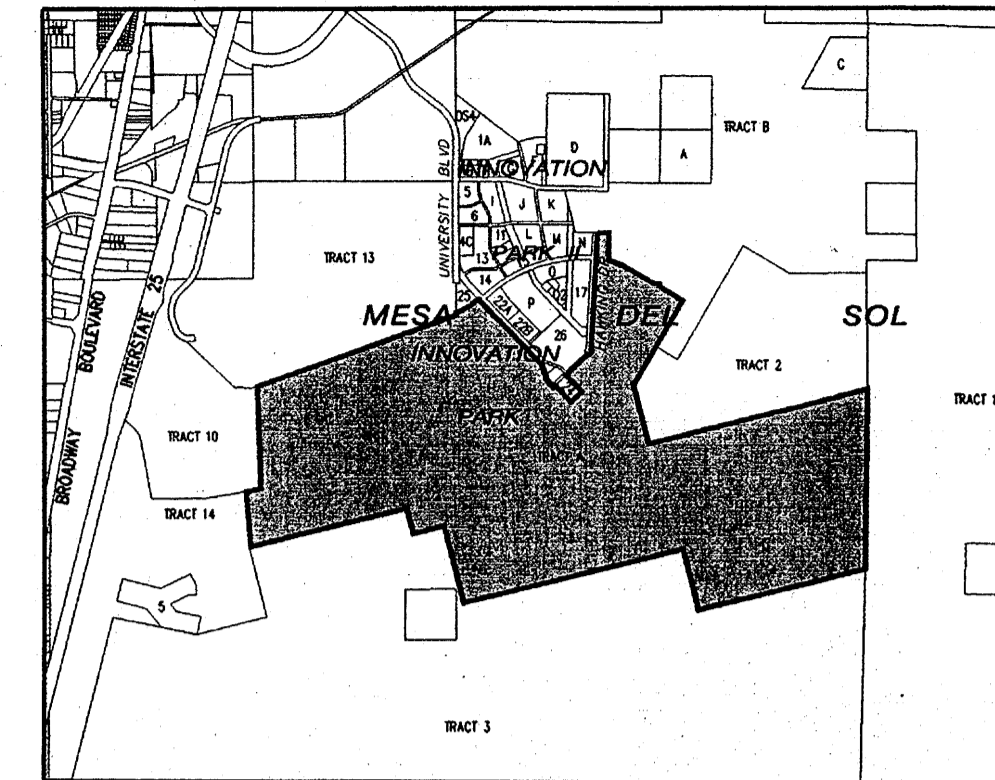
**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
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 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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**DESCRIPTION**

A certain tract of land being a portion of Sections 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract A of the Bulk Land Plat For Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 13, 2007 in Book 2007C, page 259 as Document No. 2007131551.

Tract contains 1898.5739 acres, more or less.

**LANDFILL DISCLOSURE STATEMENT**

The subject property is located near or is a former landfill site. Due to the subject property being on or near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

**NOTES**

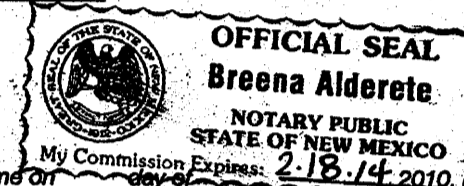
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983. Basis of Bearings is between City of Albuquerque Control Stations "1-R16 and "3-Q16". Bearing = N12°15'06"E.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Mesa Del Sol Innovation Park, Albuquerque, New Mexico, filed on September 13, 2007 in Book 2007C, Page 259 as Document No. 2007131551.
3. Distances are ground distances.
4. Record easements taken from search and report File No. FT000058876 dated Monday, September 27, 2010 from Fidelity National Title.
5. The location of pipeline, powerline, and communication line easements and/or right-of-ways shown hereon were plotted from the granting documents in conjunction with field ties of existing infrastructure.
6. Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat."
7. All corners created with this plat will be monumented with a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469" or nail and washer stamped "Gromatzky PS 16469".
8. Tracts A-1 thru A-6 are subject to an Easement Agreement filed June 21, 2006 in Book A-119, page 1052 as Document No. 2006-091310, records of Bernalillo County, New Mexico.
9. Tract A-5 is subject to a blanket Public Storm Drain Easement granted with the filing of this Plat. This easement to be confined and further defined by future platting action.

**FREE CONSENT AND DEDICATION**

The foregoing plat of that certain tract of land situate within Sections 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract A of the Bulk Land Plat for Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 13, 2007 in Book 2007C, page 259 as Document No. 2007131551, now comprising Tracts A-1 thru A-6 Mesa Del Sol Innovation Park is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City, if the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner warrants that he holds complete and inalienable title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) affirm that the property described does lie within the platting jurisdiction of City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

MESA DEL SOL, LLC, a New Mexico Limited Liability Company  
 By: FC Covington Manager, LLC, a New Mexico Limited Liability Company, Member  
 By: FC Mesa, Inc., a New Mexico Corporation, Member

BY:  
 Michael D. Daly  
 Chief Operating Officer  
 State of New Mexico )  
 ) SS  
 County of Bernalillo )



This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_, 2010, by Michael D. Daly, Chief Operating Officer of FC Mesa, Inc., a New Mexico Corporation, as Member of FC Covington Manager, LLC, a New Mexico Limited Liability Company, as Member of Mesa Del Sol, LLC, a New Mexico Limited Liability Company.

My Commission Expires: 2-18-14 *Breena Alderete*

**BULK LAND PLAT OF  
 TRACTS A-1 THRU A-6  
 MESA DEL SOL  
 INNOVATION PARK  
 (A REPLAT OF TRACT A  
 MESA DEL SOL INNOVATION PARK)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2010**

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

for *R. G. Wilkrie* \_\_\_\_\_ DATE *Oct 7, 2010*  
 CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

REAL PROPERTY DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

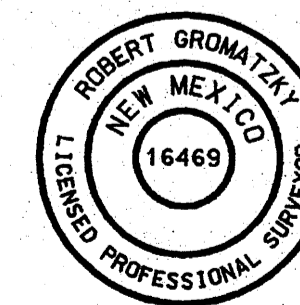
BERNALILLO COUNTY TREASURERS OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
 Robert Gromatzky  
 New Mexico Professional Surveyor 16469

Date: October 7, 2010



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**BULK LAND PLAT OF  
TRACTS A-1 THRU A-6  
MESA DEL SOL  
INNOVATION PARK**  
(A REPLAT OF TRACT A  
MESA DEL SOL INNOVATION PARK)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2010



1000 500 0 500 1000  
SCALE: 1" = 1000'

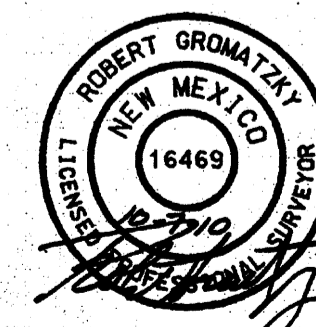
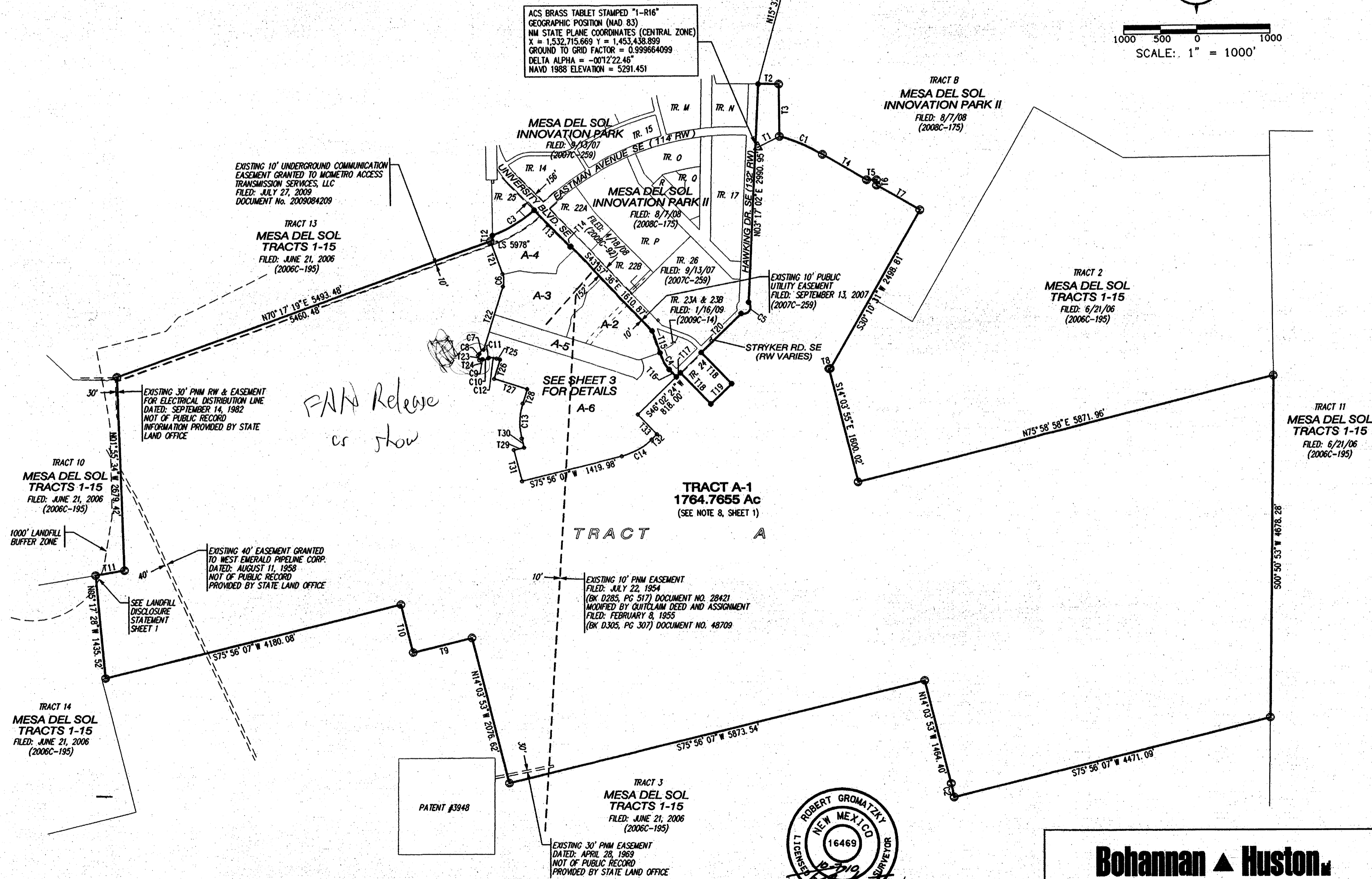
Curve Data					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD BRG
C1	15° 07' 15"	320.29'	636.86'	2413.20'	S67° 23' 06" E
C2	04° 17' 24"	95.28'	190.48'	2544.00'	N11° 55' 11" W
C3	20° 54' 50"	339.89'	672.22'	1841.64'	N59° 06' 38" E
C4	25° 00' 00"	100.65'	198.09'	454.00'	S31° 27' 36" E
C5	153° 50' 56"	409.03'	255.09'	95.00'	N34° 12' 52" E
C6	37° 23' 20"	90.35'	174.23'	267.00'	S01° 01' 00" E
C7	71° 17' 38"	50.20'	87.10'	70.00'	S43° 54' 13" W
C8	67° 40' 37"	16.76'	29.53'	25.00'	S42° 05' 49" W
C9	32° 43' 42"	7.34'	14.28'	25.00'	S87° 42' 02" E
C10	61° 39' 57"	41.78'	75.34'	70.00'	N77° 49' 51" E
C11	38° 17' 46"	8.68'	16.71'	25.00'	N66° 08' 45" E
C12	22° 23' 02"	52.83'	104.31'	267.00'	S83° 30' 51" E
C13	31° 44' 33"	249.34'	485.87'	877.00'	S01° 48' 23" W
C14	29° 53' 43"	244.28'	477.42'	915.00'	N60° 59' 15" E

Tangent Data		
ID	BEARING	DISTANCE
T1	S64° 05' 21" W	328.32'
T2	S89° 38' 06" E	279.61'
T3	S00° 02' 06" E	716.21'
T4	S59° 49' 29" E	694.35'
T5	S89° 47' 27" E	135.42'
T6	S00° 00' 22" E	78.25'
T7	S59° 49' 29" E	680.37'
T8	S75° 56' 04" W	17.45'
T9	S75° 56' 07" W	830.46'
T10	N14° 03' 53" W	683.98'
T11	N80° 27' 33" E	401.10'
T12	N00° 07' 15" W	69.15'
T13	S43° 57' 36" E	705.24'
T14	N46° 02' 24" E	10.00'
T15	S18° 57' 36" E	382.06'
T16	S43° 57' 36" E	140.00'
T17	N46° 02' 24" E	78.00'
T18	S43° 57' 36" E	593.90'
T19	N46° 02' 24" E	400.00'
T20	N46° 02' 24" E	764.83'
T21	N19° 42' 41" W	480.27'
T22	S17° 40' 40" W	903.57'
T23	N14° 03' 53" W	66.00'
T24	S75° 56' 07" W	36.52'
T25	N72° 19' 20" W	50.89'
T26	S17° 40' 40" W	272.00'
T27	N72° 19' 20" W	471.38'
T28	S17° 40' 40" W	206.20'
T29	N14° 03' 53" W	127.23'
T30	S75° 56' 07" W	144.00'
T31	N14° 03' 53" W	448.00'
T32	S46° 02' 24" W	103.38'
T33	N43° 57' 36" W	375.00'

NOTE: TABLES ARE FOR THIS SHEET ONLY

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND #5 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700" UNLESS OTHERWISE NOTED
- #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

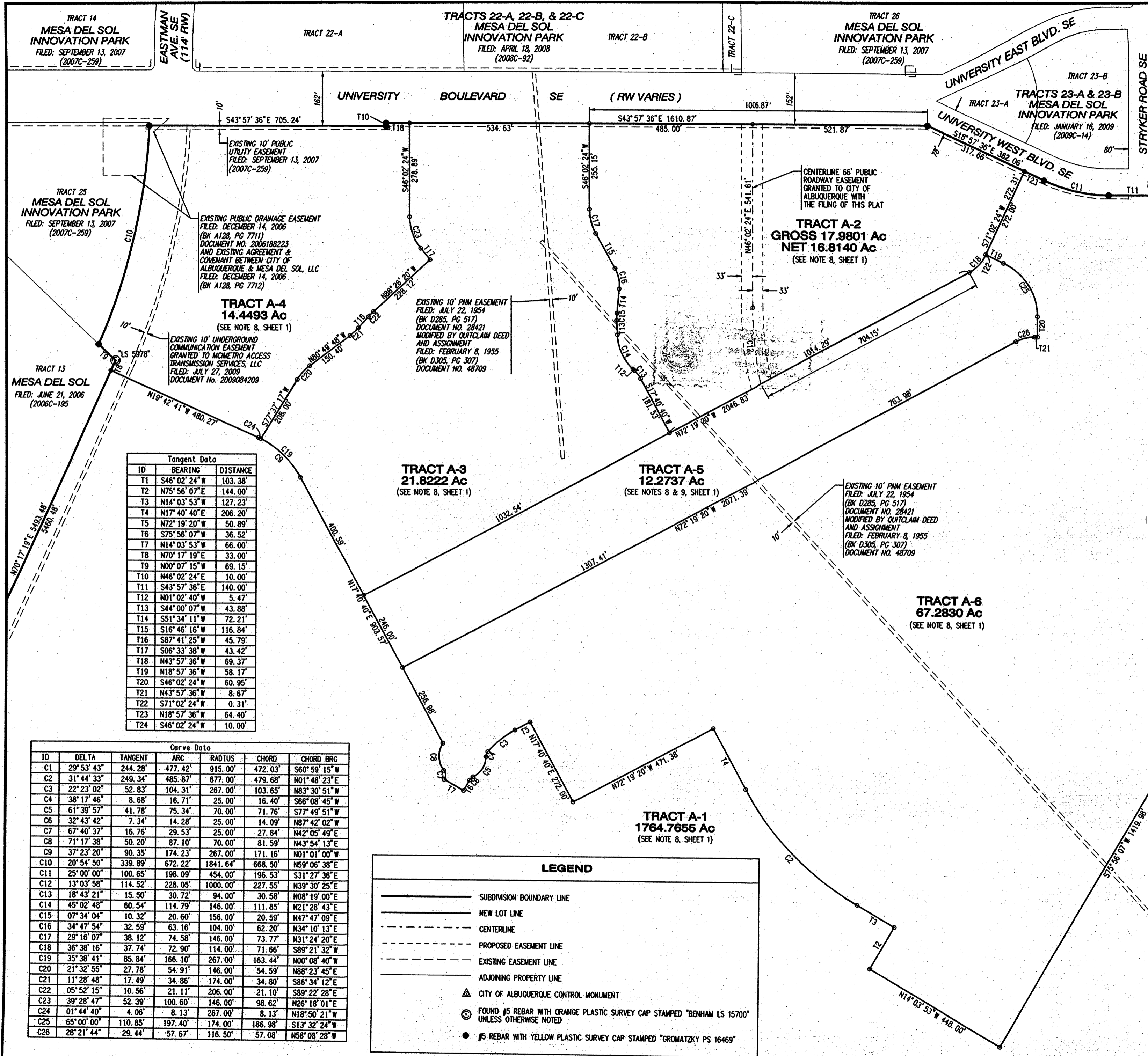
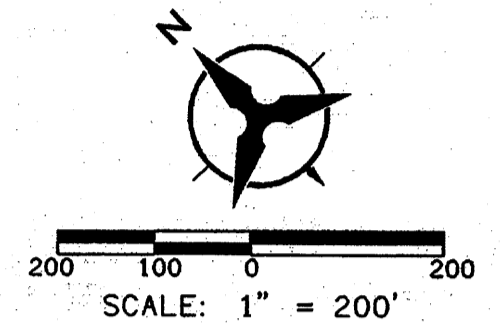


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 2 OF 3

# BULK LAND PLAT OF TRACTS A-1 THRU A-6 MESA DEL SOL INNOVATION PARK

(A REPLAT OF TRACT A MESA DEL SOL INNOVATION PARK)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2010



**TRACT A-4**  
14.4493 Ac  
(SEE NOTE 8, SHEET 1)

**TRACT A-2**  
GROSS 17.9801 Ac  
NET 16.8140 Ac  
(SEE NOTE 8, SHEET 1)

**TRACT A-3**  
21.8222 Ac  
(SEE NOTE 8, SHEET 1)

**TRACT A-5**  
12.2737 Ac  
(SEE NOTES 8 & 9, SHEET 1)

**TRACT A-6**  
67.2830 Ac  
(SEE NOTE 8, SHEET 1)

**TRACT A-1**  
1764.7655 Ac  
(SEE NOTE 8, SHEET 1)

Tangent Data

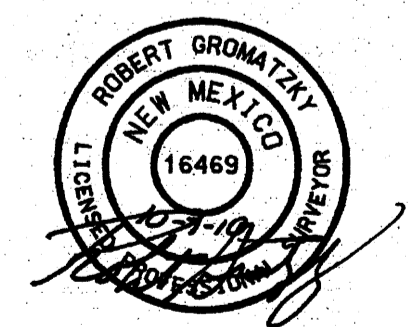
ID	BEARING	DISTANCE
T1	S46° 02' 24" W	103.38'
T2	N75° 56' 07" E	144.00'
T3	N14° 03' 53" W	127.23'
T4	N17° 40' 40" E	206.20'
T5	N72° 19' 20" W	50.89'
T6	S75° 56' 07" W	36.52'
T7	N14° 03' 53" W	66.00'
T8	N70° 17' 19" E	33.00'
T9	N00° 07' 15" W	69.15'
T10	N46° 02' 24" E	10.00'
T11	S43° 57' 36" E	140.00'
T12	N01° 02' 40" W	5.47'
T13	S44° 00' 07" W	43.88'
T14	S51° 34' 11" W	72.21'
T15	S16° 46' 16" W	116.84'
T16	S87° 41' 25" W	45.79'
T17	S06° 33' 38" W	43.42'
T18	N43° 57' 36" W	69.37'
T19	N18° 57' 36" W	58.17'
T20	S46° 02' 24" W	60.95'
T21	N43° 57' 36" W	8.67'
T22	S71° 02' 24" W	0.31'
T23	N18° 57' 36" W	64.40'
T24	S46° 02' 24" W	10.00'

Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	29° 53' 43"	244.28'	477.42'	915.00'	472.03'	S60° 59' 15" W
C2	31° 44' 33"	249.34'	485.87'	877.00'	479.68'	N01° 48' 23" E
C3	22° 23' 02"	52.83'	104.31'	267.00'	103.65'	N83° 30' 51" W
C4	38° 17' 46"	8.68'	16.71'	25.00'	16.40'	S66° 08' 45" W
C5	61° 39' 57"	41.78'	75.34'	70.00'	71.76'	S77° 49' 51" W
C6	32° 43' 42"	7.34'	14.28'	25.00'	14.09'	N87° 42' 02" W
C7	67° 40' 37"	16.76'	29.53'	25.00'	27.84'	N42° 05' 49" E
C8	71° 17' 38"	50.20'	87.10'	70.00'	81.59'	N43° 54' 13" E
C9	37° 23' 20"	90.35'	174.23'	267.00'	171.16'	N01° 01' 00" W
C10	20° 54' 50"	339.89'	672.22'	1841.64'	668.50'	N59° 06' 38" E
C11	25° 00' 00"	100.65'	198.09'	454.00'	196.53'	S31° 27' 36" E
C12	13° 03' 58"	114.52'	228.05'	1000.00'	227.55'	N39° 30' 25" E
C13	18° 43' 21"	15.50'	30.72'	94.00'	30.58'	N08° 19' 00" E
C14	45° 02' 48"	60.54'	114.79'	146.00'	111.85'	N21° 28' 43" E
C15	07° 34' 04"	10.32'	20.60'	156.00'	20.59'	N47° 47' 09" E
C16	34° 47' 54"	32.59'	63.16'	104.00'	62.20'	N34° 10' 13" E
C17	29° 16' 07"	38.12'	74.58'	146.00'	73.77'	N31° 24' 20" E
C18	36° 38' 16"	37.74'	72.90'	114.00'	71.66'	S89° 21' 32" W
C19	35° 38' 41"	85.84'	166.10'	267.00'	163.44'	N00° 08' 40" W
C20	21° 32' 55"	27.78'	54.91'	146.00'	54.59'	N88° 23' 45" E
C21	11° 28' 48"	17.49'	34.86'	174.00'	34.80'	S86° 34' 12" E
C22	05° 52' 15"	10.56'	21.11'	206.00'	21.10'	S89° 22' 28" E
C23	39° 28' 47"	52.39'	100.60'	146.00'	98.62'	N26° 18' 01" E
C24	01° 44' 40"	4.06'	8.13'	267.00'	8.13'	N18° 50' 21" W
C25	65° 00' 00"	110.85'	197.40'	174.00'	186.98'	S13° 32' 24" W
C26	28° 21' 44"	29.44'	57.67'	116.50'	57.08'	N58° 08' 28" W

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND #5 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700" UNLESS OTHERWISE NOTED
- #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"



**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

SHEET 3 OF 3

TABLES ARE FOR THIS SHEET ONLY

LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
PRELIMINARY PLAT FOR  
**MESA DEL SOL**  
PHASE 1B-1  
RESIDENTIAL PLAT NO. 1

A REPLAT OF TRACT A BULK LAND PLAT  
FOR MESA DEL SOL INNOVATION PARK  
BEING A PORTION OF SECTIONS 15, 21, 22,  
23, 26, 27, 28, 29, 34, AND 35  
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE, BERNALILLO  
COUNTY, NEW MEXICO DECEMBER, 2008

**LEGAL DESCRIPTION**

TRACT 'A' OF BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK  
BOOK 2007C, PAGE 259, DATE September 13, 2007.

**BULK LAND VARIANCE FOR TRACT A-1**

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION  
ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS  
BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD  
CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN  
APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF  
RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY  
THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS  
IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICES IN EFFECT  
AT THE TIME FOR ANY SPECIFIC PROPOSAL.

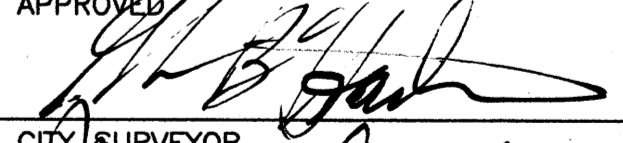

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT  
EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE  
DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR  
WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL  
REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS  
CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY  
ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS  
FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

APPROVED:  12-24-08  
CITY SURVEYOR  
 12-22-08  
MICHAEL S. CASTILLO  
MESA DEL SOL, LLC  
DATE

**Bohannon & Huston**  
Courtney I 7800 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**LEGEND**

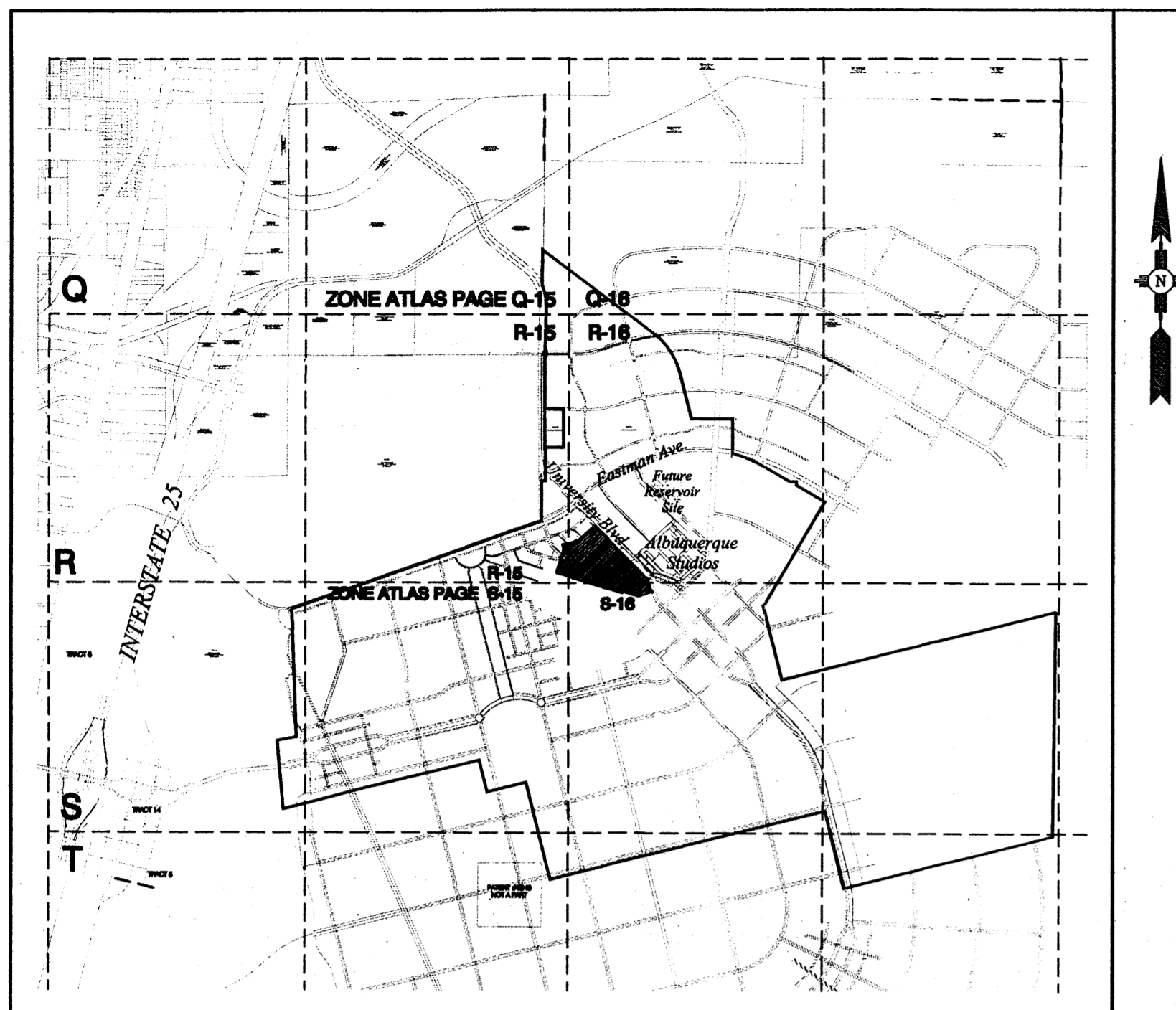
- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #5 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED "BERNHAM LS 1570D" UNLESS OTHERWISE NOTED
- FOUND #4 REBAR NEXT TO FALLEN STONE
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

**Curve Data**

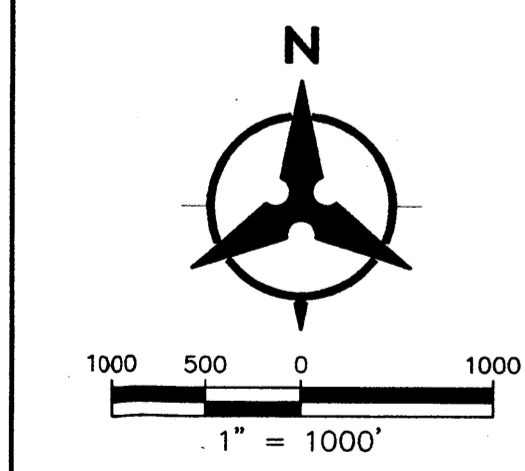
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	38° 50' 02"	535.78	1030.23	1520.00	1010.62	S33° 28' 54" E
C2	15° 07' 15"	320.29	636.86	2413.20	635.02	S87° 23' 06" E
C3	04° 17' 24"	95.28	190.48	2544.00	190.43	N11° 55' 11" W
C4	07° 37' 01"	42.87	85.61	644.00	85.55	S86° 18' 45" E
C5	07° 37' 01"	47.66	95.19	716.00	95.12	S86° 18' 45" E
C6	19° 02' 15"	374.93	742.94	2236.00	739.53	N80° 21' 38" E
C7	05° 30' 55"	240.80	481.23	4999.32	481.04	N73° 35' 58" E
C8	07° 01' 56"	363.65	726.38	5918.32	725.93	S72° 46' 37" W
C9	12° 53' 21"	244.44	488.81	2164.00	485.78	S83° 26' 05" W
C10	23° 45' 17"	226.73	449.94	1078.00	443.74	N10° 53' 13" W
C11	20° 54' 50"	339.89	672.22	1841.64	668.50	N59° 06' 38" E
C12	25° 00' 00"	100.65	198.09	454.00	196.53	S31° 27' 36" E
C13	90° 00' 00"	14.00	21.99	14.00	19.80	S01° 02' 24" W
C14	90° 00' 00"	14.00	21.99	14.00	19.80	S88° 17' 36" E
C15	60° 18' 11"	8.13	14.73	14.00	14.06	N76° 11' 29" E
C16	145° 50' 28"	309.20	241.81	95.00	181.62	N33° 25' 21" E
C17	42° 46' 55"	5.48	10.45	14.00	10.21	N18° 08' 28" W

**Tangent Data**

ID	BEARING	DISTANCE
T1	S64° 05' 21" W	328.32
T2	S14° 03' 53" E	882.93
T3	S89° 38' 06" E	854.93
T4	S00° 02' 06" E	716.21
T5	S59° 49' 29" E	694.35
T6	S89° 47' 27" E	135.42
T7	S00° 00' 22" E	78.25
T8	S59° 49' 29" E	680.37
T9	S75° 56' 07" W	17.45
T10	S75° 56' 07" W	830.46
T11	N14° 03' 53" W	683.98
T12	N80° 27' 33" E	401.10
T13	N00° 07' 15" W	831.77
T14	S89° 47' 27" E	78.00
T15	N00° 07' 15" W	701.63
T16	N89° 52' 45" E	382.00
T17	N00° 07' 15" W	274.01
T18	N89° 52' 45" E	86.76
T19	N89° 52' 45" E	225.12
T20	N14° 03' 20" W	919.02
T21	S20° 44' 21" E	50.00
T22	S14° 03' 20" E	785.43
T23	S89° 52' 45" W	92.14
T24	S00° 07' 12" E	10.00
T25	S89° 52' 45" W	782.00
T26	N00° 07' 15" W	1115.70
T27	S89° 28' 45" E	19.75
T28	N00° 59' 25" E	86.76
T29	N89° 00' 35" W	20.00
T30	N00° 59' 25" E	946.23
T31	N00° 27' 38" E	732.42
T32	N89° 38' 06" W	279.61
T33	N00° 07' 15" W	69.15
T34	N43° 57' 36" W	705.24
T35	S46° 02' 24" W	10.00
T36	N18° 57' 36" W	382.06
T37	N43° 57' 36" W	46.00
T38	N43° 57' 36" W	80.00
T39	S46° 02' 24" W	78.00
T40	N43° 57' 36" W	565.00
T41	S46° 02' 24" W	372.00
T42	S46° 02' 24" W	770.32



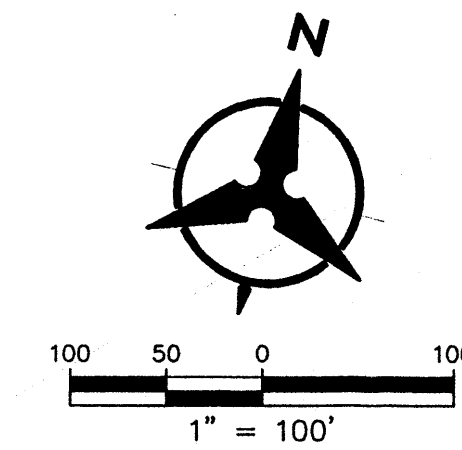
N.T.S. VICINITY MAP ZONE ATLAS R-15-Z & R-16-Z ZONE ATLAS S-15-Z & S-16-Z



LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
PRELIMINARY PLAT FOR  
**MESA DEL SOL**  
PHASE 1B-1  
RESIDENTIAL PLAT NO. 1

A REPLAT OF TRACT A BULK LAND PLAT  
FOR MESA DEL SOL INNOVATION PARK  
BEING A PORTION OF SECTIONS 15, 21, 22,  
23, 26, 27, 28, 29, 34, AND 35  
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
DECEMBER, 2008

ACS BRASS TABLET STAMPED "3\_Q16, 1984"  
Geographic Position (NAD 83)  
N.M. State Plane Coordinates (Central Zone)  
X= 1,533,498.782 Y= 1,457,045.094  
Ground-to-Grid Factor = 0.999663002  
 $\Delta\alpha = -00^{\circ}12'17.33"$   
NAVD 1988 ELEVATION = 5310.390



**LEGEND**

- PHASE BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- - - - - EXISTING FENCE LINE

- GENERAL NOTES**
- EXISTING ZONING: PC  
PROPOSED DEVELOPMENT: RESIDENTIAL
  - TOTAL PROPOSED ACREAGE: 35.5969 AC  
NUMBER OF LOTS: 198 D.U.  
PROPOSED DENSITY: 5.56 DU/AC  
NUMBER OF TRACTS: 10 (7,2075 AC)
  - MIN. LOT DIMENSIONS:  
MINIMUM LOT AREA: 40' X 40'  
1,600 SQ. FT.
  - ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS IN PUBLIC ROW TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
  - ALLEYS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION.
  - LOT SETBACKS SHALL CONFORM TO LEVEL A AND LEVEL B MASTER PLANS.

**SITE DATA**

ZONE ATLAS NO.	R-15-Z & R-16-Z S-15-Z & S-16-Z
ZONING	PC
MILES OF FULL WIDTH STREETS CREATED	1.63 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	198
DENSITY	5.56 DU/AC

- SURVEY NOTES**
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
  - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 1998".
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

- ADDITIONAL NOTES**
- PRIVATE PARKS - TRACTS T & V. (TO BE OWNED AND MAINTAINED BY H.O.A.)
  - TRACTS W, X, Y, & CG-1 THRU CG-4 ARE PRIVATE TRACTS TO BE OWNED AND MAINTAINED BY H.O.A.
  - TRACTS W, X, Y, & CG-1 THRU CG-4, ARE ENCUMBERED BY A BLANKET PRIVATE PEDESTRIAN ACCESS EASEMENT AND PRIVATE WATER AND SANITARY SEWER EASEMENT. WATER AND SANITARY SEWER TO BE OWNED AND MAINTAINED BY H.O.A.
  - ALLEYS WILL HAVE A BLANKET PUE, PRIVATE ACCESS, AND PRIVATE DRAINAGE EASEMENTS.

- PORTION OF EXISTING 60' RIGHT-OF-WAY PERMIT GRANTED TO CIVIL AERONAUTICS AUTHORITY DATED: JULY 22, 1938 TO BE VACATED BY THIS PLAT.
- ▨ PORTION OF EXISTING 10' PNM EASEMENT FILED: JULY 22, 1954 (BK. D285, PG. 517) MODIFIED BY QUITCLAIM DEED AND ASSIGNMENT FILED: FEBRUARY 8, 1955 (BK. D325, PG. 307) TO BE VACATED BY THIS PLAT.

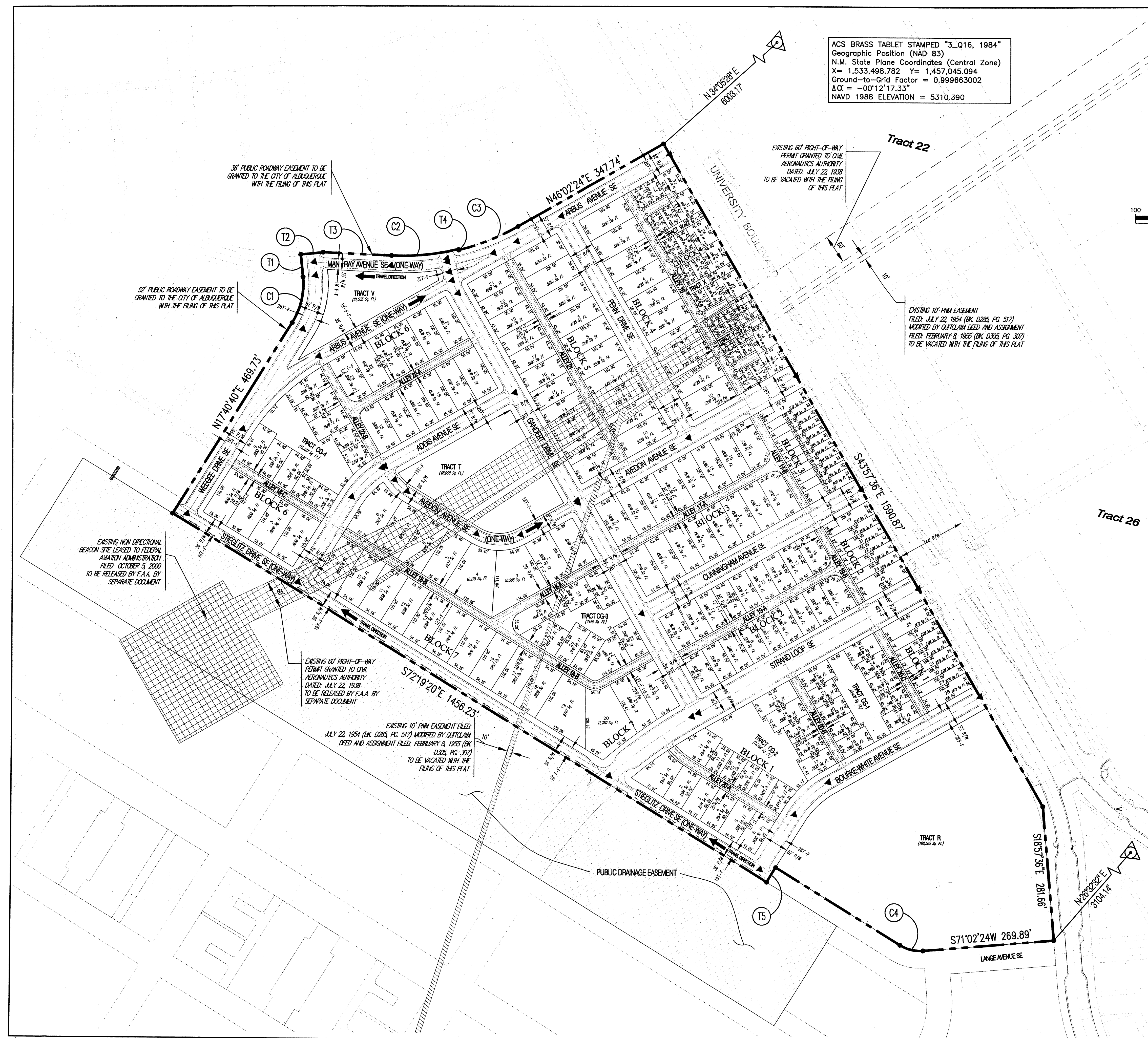
**Boundary Tangent Table**

ID	BEARING	LENGTH
T1	N19°42'41"W	47.40'
T2	N70°17'19"E	46.71'
T3	N78°34'12"E	143.05'
T4	S19°42'41"E	2.02'
T5	S17°40'40"E	36.01'

**Boundary Curve Table**

ID	ARC	RADIUS	DELTA	TANGENT
C1	100.49'	154.00'	37°23'21"	52.11'
C2	140.23'	481.00'	16°42'13"	70.62'
C3	133.71'	483.00'	15°51'41"	67.29'
C4	49.88'	77.88'	36°41'42"	25.83'

ACS BRASS TABLET STAMPED "1\_R16, 1984"  
Geographic Position (NAD 83)  
N.M. State Plane Coordinates (Central Zone)  
X= 1,532,715.669 Y= 1,453,438.899  
Ground-to-Grid Factor = 0.999664099  
 $\Delta\alpha = -00^{\circ}12'22.46"$   
NAVD 1988 ELEVATION = 5291.451



**Bohannon & Huston**  
 7800 Jefferson St. NE Albuquerque, NM 87109-4336  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
PRELIMINARY PLAT FOR  
**MESA DEL SOL**  
PHASE 1B-1  
**RESIDENTIAL PLAT NO. 1**

A REPLAT OF TRACT A BULK LAND PLAT  
FOR MESA DEL SOL INNOVATION PARK  
BEING A PORTION OF SECTIONS 15, 21, 22,  
23, 26, 27, 28, 29, 34, AND 35  
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE, BERNALILLO  
COUNTY, NEW MEXICO DECEMBER, 2008

**LEGAL DESCRIPTION**

TRACT 'A' OF BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK  
BOOK 2007C, PAGE 259, DATE September 13, 2007.

**BULK LAND VARIANCE FOR TRACT A-1**

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION  
ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS  
BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD  
CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN  
APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF  
RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY  
THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS  
IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICES IN EFFECT  
AT THE TIME FOR ANY SPECIFIC PROPOSAL.

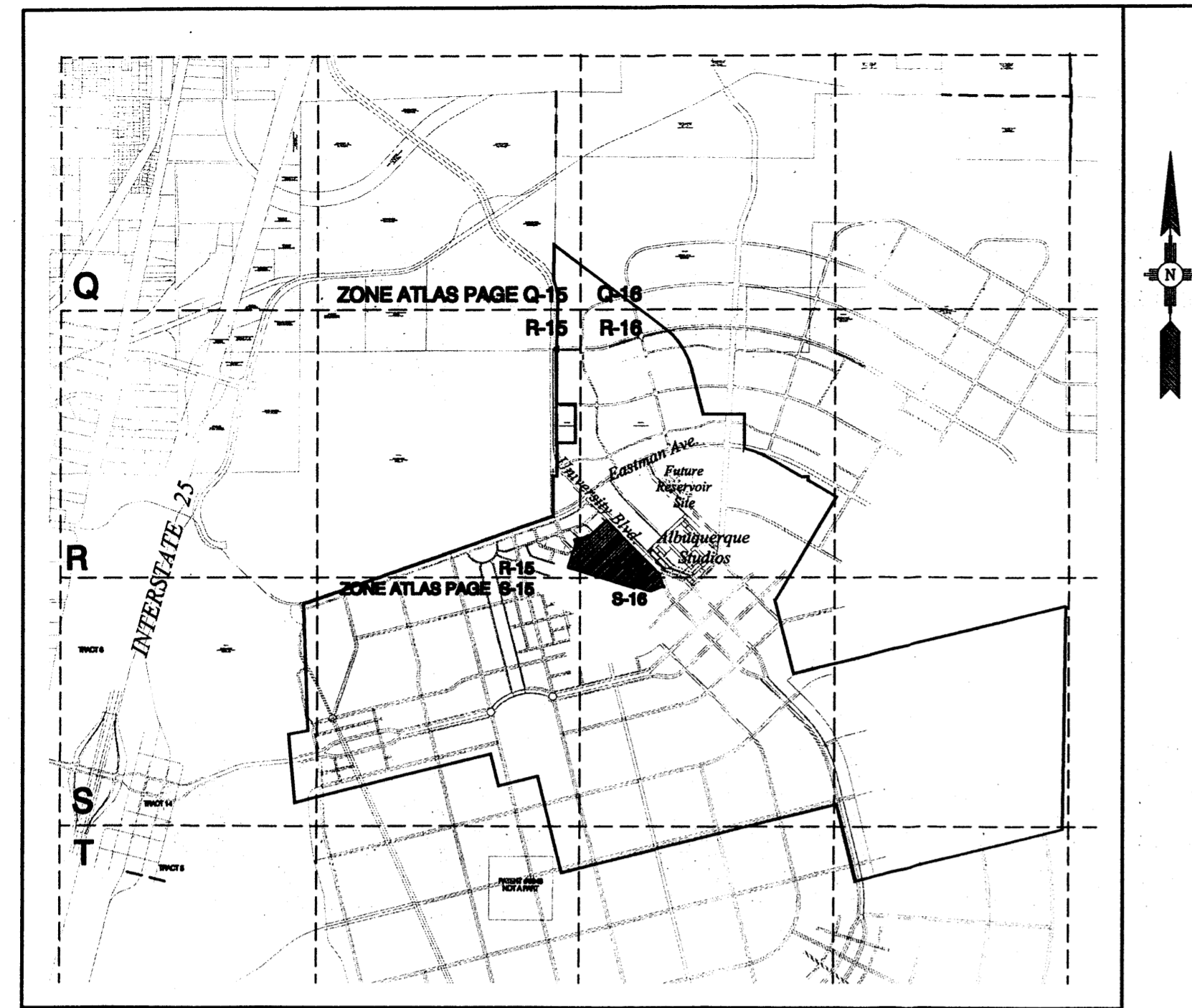
THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT  
EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE  
DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR  
WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL  
REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS  
CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

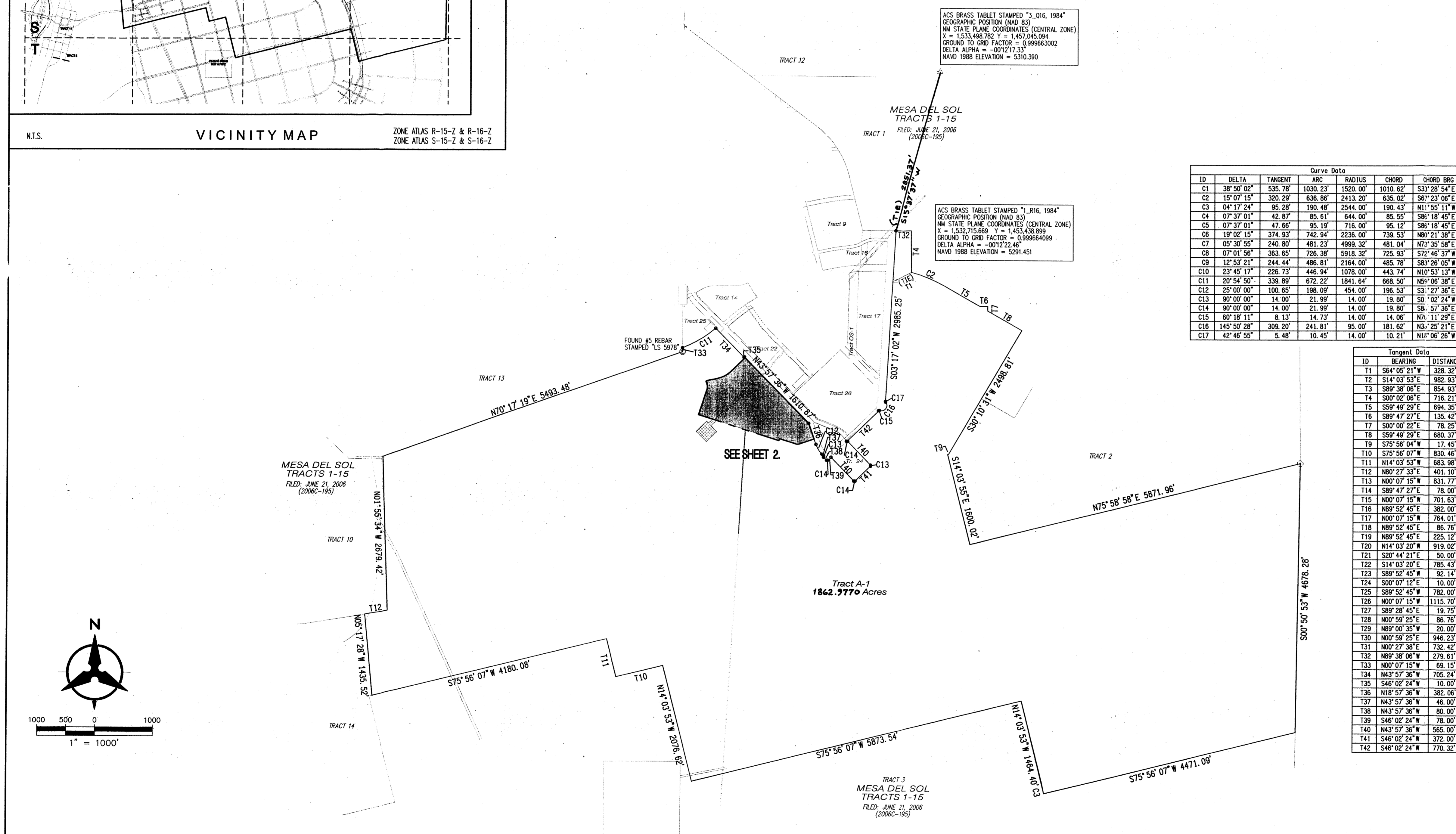
AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY  
ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS  
FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.



N.T.S. VICINITY MAP ZONE ATLAS R-15-Z & R-16-Z  
ZONE ATLAS S-15-Z & S-16-Z

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- △ CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #6 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700" UNLESS OTHERWISE NOTED
- ⊙ FOUND #4 REBAR NEXT TO FALLEN STONE
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

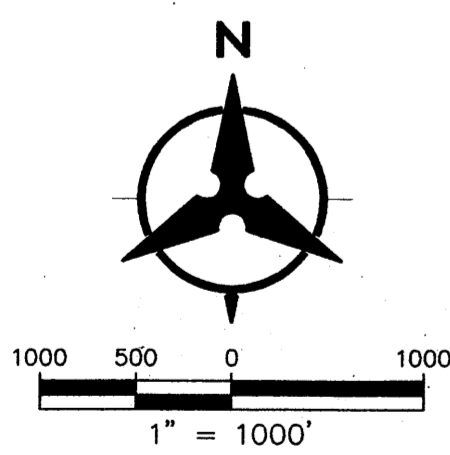


**Curve Data**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	38°50'02"	535.78'	1030.23'	1520.00'	1010.62'	S31°28'54"E
C2	15°07'15"	320.29'	636.86'	2413.20'	635.02'	S67°23'06"E
C3	04°17'24"	95.28'	190.48'	2544.00'	190.43'	N11°55'11"W
C4	07°37'01"	42.87'	85.61'	644.00'	85.55'	S86°18'45"E
C5	07°37'01"	47.66'	95.19'	716.00'	95.12'	S86°18'45"E
C6	18°02'13"	374.93'	742.94'	2236.00'	739.53'	N80°21'38"E
C7	05°30'55"	240.80'	481.23'	4989.32'	481.04'	N73°35'58"E
C8	07°01'56"	363.65'	726.38'	5918.32'	725.93'	S73°46'37"W
C9	12°53'21"	244.44'	486.81'	2144.00'	485.78'	S83°26'05"W
C10	23°45'17"	226.73'	446.94'	1078.00'	443.74'	N10°53'13"W
C11	20°54'50"	339.89'	672.22'	1841.64'	668.50'	N50°06'38"E
C12	25°00'00"	100.65'	198.09'	454.00'	196.53'	S3°27'36"E
C13	90°00'00"	14.00'	21.99'	14.00'	18.80'	S0°02'24"W
C14	90°00'00"	14.00'	21.99'	14.00'	19.80'	S8°57'36"E
C15	60°18'11"	8.13'	14.73'	14.00'	14.06'	N74°11'29"E
C16	145°50'28"	309.20'	241.81'	95.00'	181.62'	N3°25'21"E
C17	42°46'55"	5.48'	10.45'	10.21'	10.21'	N11°06'26"W

**Tangent Data**

ID	BEARING	DISTANCE
T1	S64°05'21"W	328.32'
T2	S14°03'53"E	982.93'
T3	S89°38'06"E	854.93'
T4	S00°02'06"E	716.21'
T5	S59°49'29"E	694.35'
T6	S89°47'27"E	135.42'
T7	S00°00'22"E	78.25'
T8	S59°49'29"E	680.37'
T9	S75°56'04"W	17.45'
T10	S75°56'07"W	830.46'
T11	N14°03'53"W	883.98'
T12	N89°27'33"E	401.10'
T13	N00°07'15"W	831.77'
T14	S89°47'27"E	78.00'
T15	N00°07'15"W	701.63'
T16	N89°52'45"E	382.00'
T17	N00°07'15"W	764.01'
T18	N89°52'45"E	86.75'
T19	N89°52'45"E	225.12'
T20	N14°03'20"W	919.02'
T21	S20°44'21"E	50.00'
T22	S14°03'20"E	785.43'
T23	S89°52'45"W	92.14'
T24	S00°07'12"E	10.00'
T25	S89°52'45"W	782.00'
T26	N00°07'15"W	1115.70'
T27	S89°28'45"E	19.75'
T28	N00°59'25"E	86.76'
T29	N89°00'35"W	20.00'
T30	N00°59'25"E	946.23'
T31	N00°27'38"E	732.42'
T32	N89°38'06"W	279.61'
T33	N00°07'15"W	69.15'
T34	N43°57'36"W	705.24'
T35	S46°02'24"W	10.00'
T36	N18°57'36"W	382.06'
T37	N43°57'36"W	46.00'
T38	N43°57'36"W	80.00'
T39	S46°02'24"W	78.00'
T40	N43°57'36"W	565.00'
T41	S46°02'24"W	372.00'
T42	S46°02'24"W	770.32'



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December 22, 2008 - 8:39am

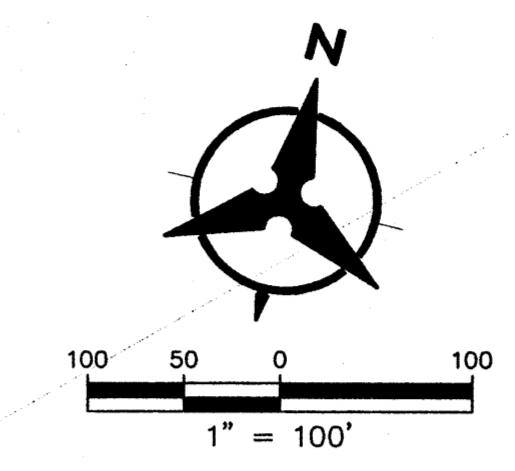
APPROVED: *[Signature]* 12-24-08  
CITY SURVEYOR  
*[Signature]* 12-22-08  
MICHAEL S. CASTILLO DATE  
MESA DEL SOL LLC

**Bohannon & Huston**  
 7000 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
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A REPLAT OF TRACT A BULK LAND PLAT  
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TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2009

ACS BRASS TABLET STAMPED "3\_Q16, 1984"  
Geographic Position (NAD 83)  
N.M. State Plane Coordinates (Central Zone)  
X = 1,533,498.782 Y = 1,457,045.094  
Ground-to-Grid Factor = 0.999663002  
 $\Delta\alpha = -00^{\circ}12'17.33"$   
NAVD 1988 ELEVATION = 5310.390



**GENERAL NOTES**

- EXISTING ZONING: PC  
PROPOSED DEVELOPMENT: RESIDENTIAL
- TOTAL PROPOSED ACREAGE: 35.5969 AC  
NUMBER OF LOTS: 198 D.U.  
NET DENSITY: 6.33 DU/AC  
NUMBER OF TRACTS: 10 (7,2075 AC)
- PHASE 1B-1A PROPOSED ACREAGE: 18.2515 AC  
NUMBER OF LOTS: 109 D.U.  
PHASE 1B-1B PROPOSED ACREAGE: 13.5551 AC  
NUMBER OF LOTS: 71 D.U.  
PHASE 1B-1C PROPOSED ACREAGE: 3.7903 AC  
NUMBER OF LOTS: 18 D.U.
- MIN. LOT DIMENSIONS:  
MINIMUM LOT AREA: 40' X 40'  
1,600 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS IN PUBLIC ROW TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- ALLEYS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION.
- LOT SETBACKS SHALL CONFORM TO LEVEL A AND LEVEL B MASTER PLANS.

**LEGEND**

- PHASE BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- - - EXISTING FENCE LINE

PORTION OF EXISTING 60' RIGHT-OF-WAY PERMIT GRANTED TO CIVIL AERONAUTICS AUTHORITY DATED: JULY 22, 1938 TO BE VACATED BY THIS PLAT.

PORTION OF EXISTING 10' PNM EASEMENT FILED: JULY 22, 1954 (BK. 0285, PG. 517) MODIFIED BY QUILTAM DEED AND ASSIGNMENT FILED: FEBRUARY 8, 1955 (BK. 0305, PG. 307) TO BE VACATED BY THIS PLAT.

Boundary Tangent Table

ID	BEARING	LENGTH
T1	N19°42'41"W	47.40'
T2	N70°17'19"E	46.71'
T3	N78°34'12"E	143.05'
T4	S19°42'41"E	2.02'
T5	S17°40'40"E	36.01'

Boundary Curve Table

ID	ARC	RADIUS	DELTA	TANGENT
C1	100.49'	154.00'	37°23'21"	52.11'
C2	140.23'	481.00'	16°42'13"	70.62'
C3	133.71'	483.00'	15°51'41"	67.29'
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ACS BRASS TABLET STAMPED "1\_R16, 1984"  
Geographic Position (NAD 83)  
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Ground-to-Grid Factor = 0.999664099  
 $\Delta\alpha = -00^{\circ}12'22.46"$   
NAVD 1988 ELEVATION = 5291.451

**SITE DATA**

ZONE ATLAS NO.	R-15-Z & R-16-Z S-15-Z & S-16-Z
ZONING	PC
MILES OF FULL WIDTH STREETS CREATED	1.63 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	198
NET DENSITY	6.33 DU/AC

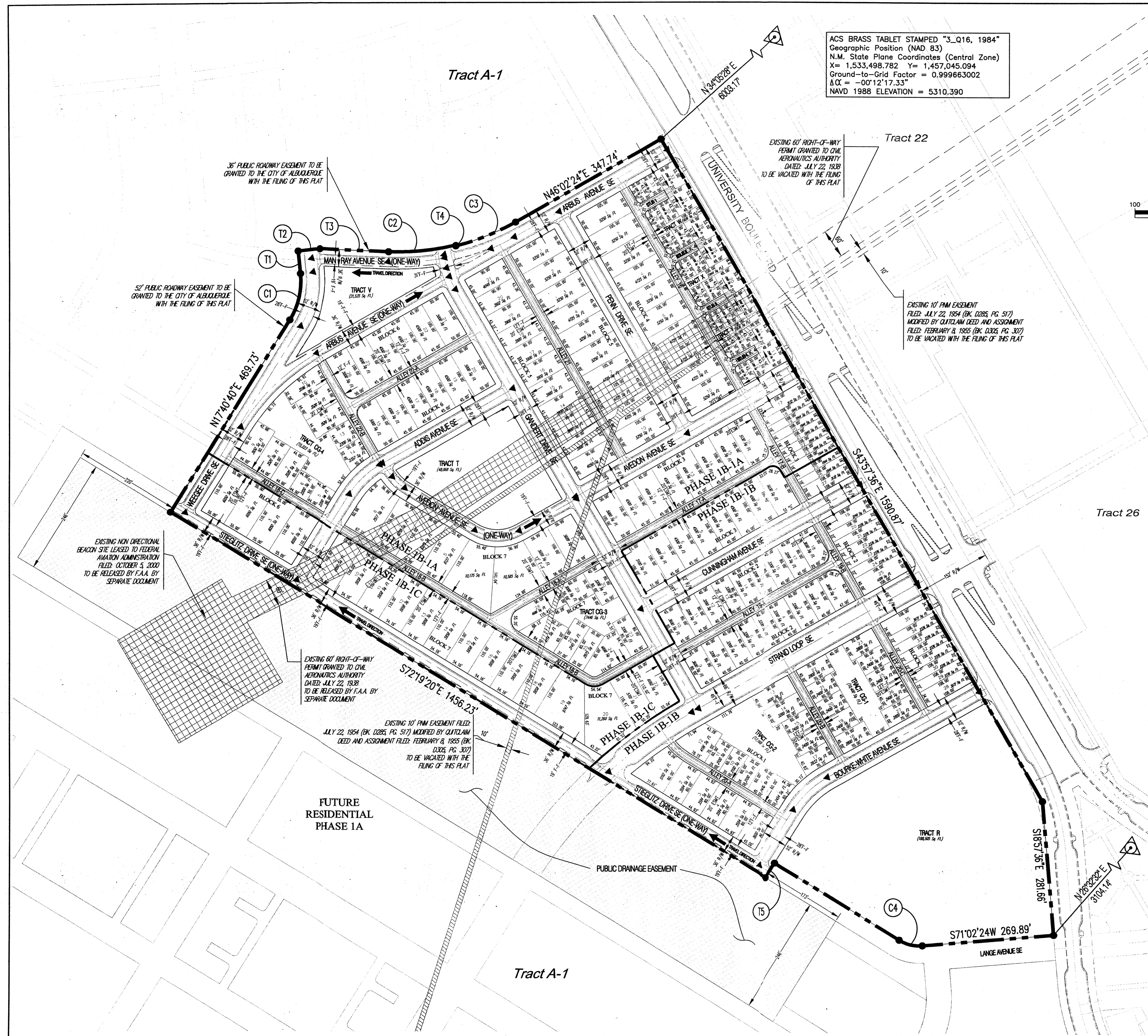
**SURVEY NOTES**

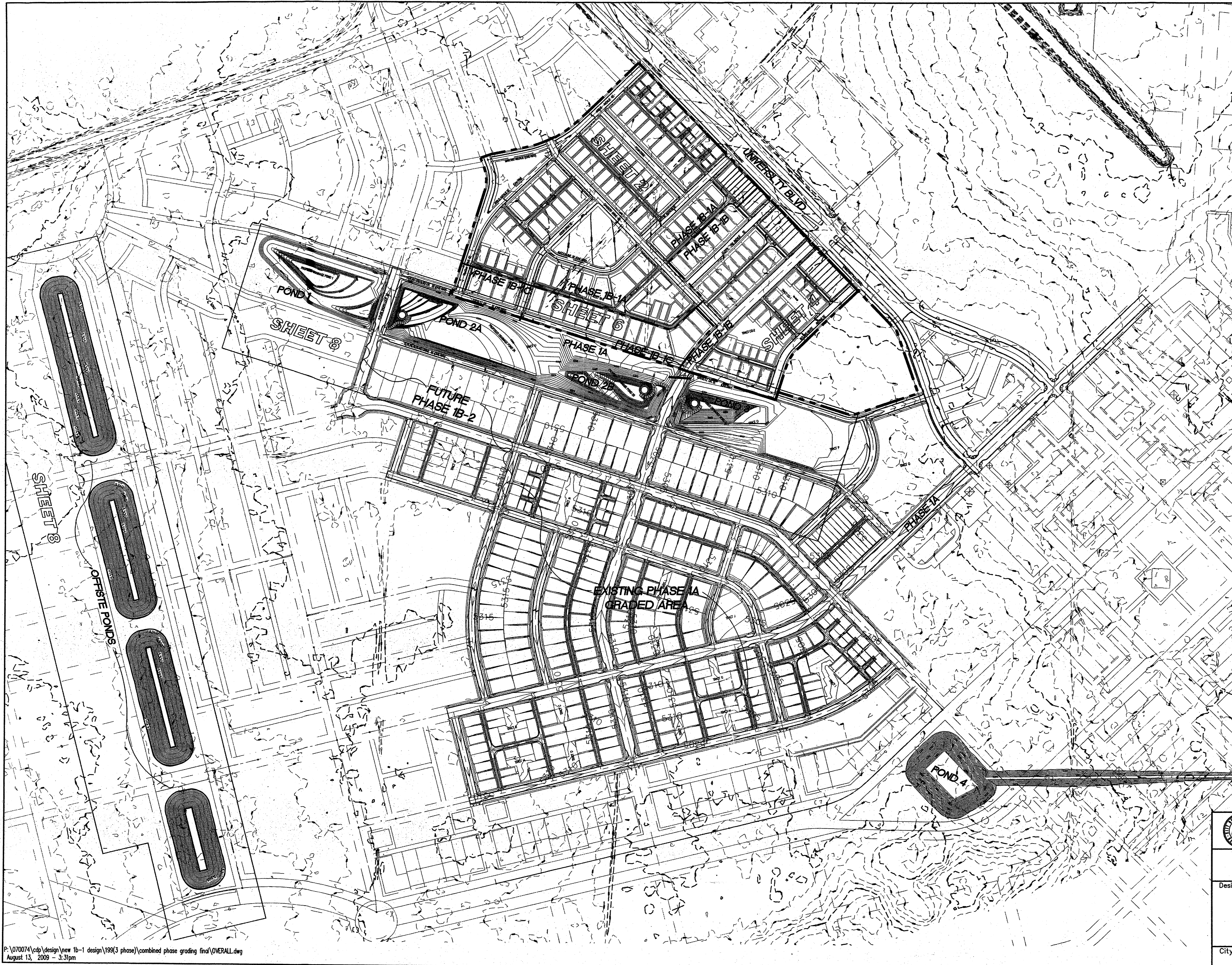
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.TS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11993".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**ADDITIONAL NOTES**

- TRACT T IS A PRIVATE PARK TO BE OWNED AND MAINTAINED BY H.O.A.
- TRACTS W, X, Y, & CG-1 THRU CG-4 ARE ENCUMBERED BY A BLANKET PRIVATE PEDESTRIAN ACCESS EASEMENT AND PRIVATE WATER AND SANITARY SEWER EASEMENT. WATER AND SANITARY SEWER TO BE OWNED AND MAINTAINED BY H.O.A.
- ALL ALLEYS ARE PRIVATE AND WILL HAVE A BLANKET PUE, PRIVATE ACCESS, AND PRIVATE DRAINAGE EASEMENTS.
- TRACT V IS AN OPEN SPACE TRACT, TO BE OWNED AND MAINTAINED BY H.O.A.
- TRACT R IS INTENDED FOR FUTURE DEVELOPMENT, AND IS OWNED BY MESA DEL SOL.

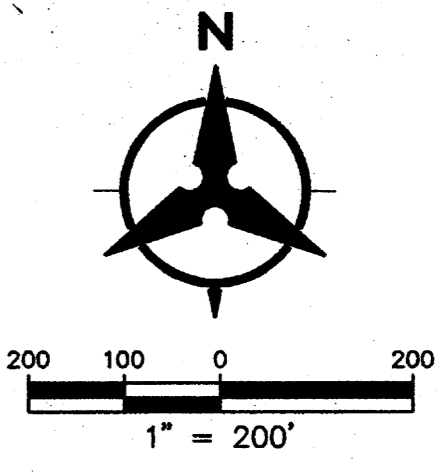
**Bohannon & Huston**  
 7800 Jefferson St. NE Albuquerque, NM 87109-4396  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES





- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 38, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

- KEY NOTES**
1. 30' SWALE - SEE DETAIL, SHEET 9
  2. RIP RAP SWALE - SEE DETAIL, SHEET 9
  3. BERM - SEE DETAIL, SHEET 9



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRIND & TC)
  - EXISTING CURB & GUTTER
  - ==== PROPOSED MOUNTABLE CURB & GUTTER
  - ==== PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
  - 5470 PROPOSED CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

File copy

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	DATE	NO.	DATE	NO.	DATE
CONTRACTOR	DATE	ACS BRASS TABLET STAMPED "L 116, 1984"	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	X = 1,532,715.669 Y = 1,453,438.899	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	GROUND-TO-GRID FACTOR = 0.999664099	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	Δa = -00'12.22.46"	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	NAVD 1988 ELEVATION = 5291.451	DATE	NO.	DATE	NO.	DATE	NO.	DATE



No.	Date	By	REVISIONS
			DESIGN

Designed By: B.J.L. DATE: 05/18/09  
 Drawn By: L.M. DATE: 05/18/09  
 Checked By: C.S. DATE: 05/18/09

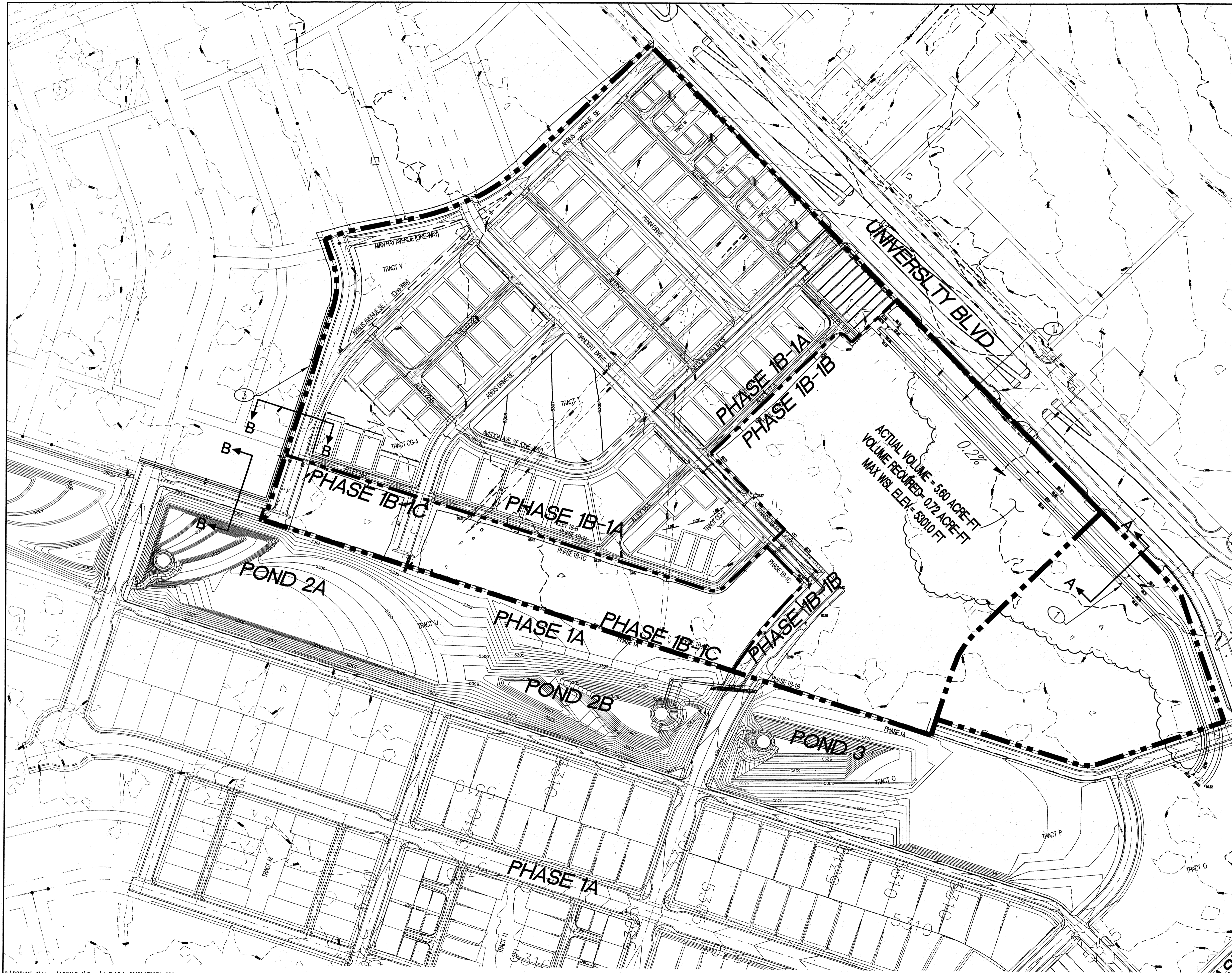
**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL RESIDENTIAL PLAT NO. 1**  
**PHASE 1A AND PHASE 1B-1**  
**OVERALL GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

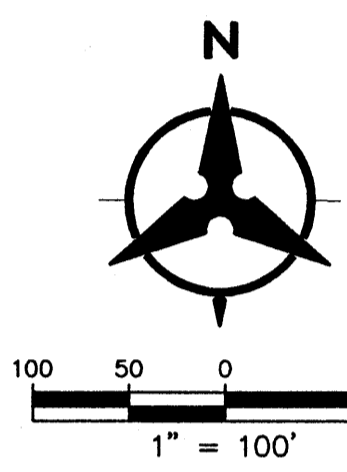
City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet **1** Of **9**  
 R-15,16 S-15,16

P:\070074\cdp\design\new 1b-1 design\199\3 phase\combined phase grading final\OVERALL.dwg  
 August 13, 2009 - 3:31pm



- GENERAL NOTES**
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- KEY NOTES**
1. 30' SWALE - SEE DETAIL, SHEET 9
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  3. BERM - SEE DETAIL, SHEET 9



- LEGEND**
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  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
  - EXISTING CURB & GUTTER
  - PROPOSED MOUNTABLE CURB & GUTTER
  - PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
  - 5470 PROPOSED CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN

ROUGH GRADING (±0.5):

APPROVED FOR ROUGH GRADING \_\_\_\_\_ DATE \_\_\_\_\_

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STAMPED BY	DATE	NO.	BY	NO.	DATE
ACS BRASS TABLE STAMPED "1", RT16, 1984"							
GEOGRAPHIC POSITION (NAD 83)		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		REMARKS		By	
X = 1,532,715.668 Y = 1,453,438.899		GROUND-TO-GRID FACTOR = 0.999664099		REVISIONS		DATE: 05/18/09	
MICROFILM INFORMATION		RECORDED BY		DESIGN		DATE: 05/18/09	
NO.		NO.		Checked By: LJM		DATE: 05/18/09	
		NO.		Checked By: CJS			



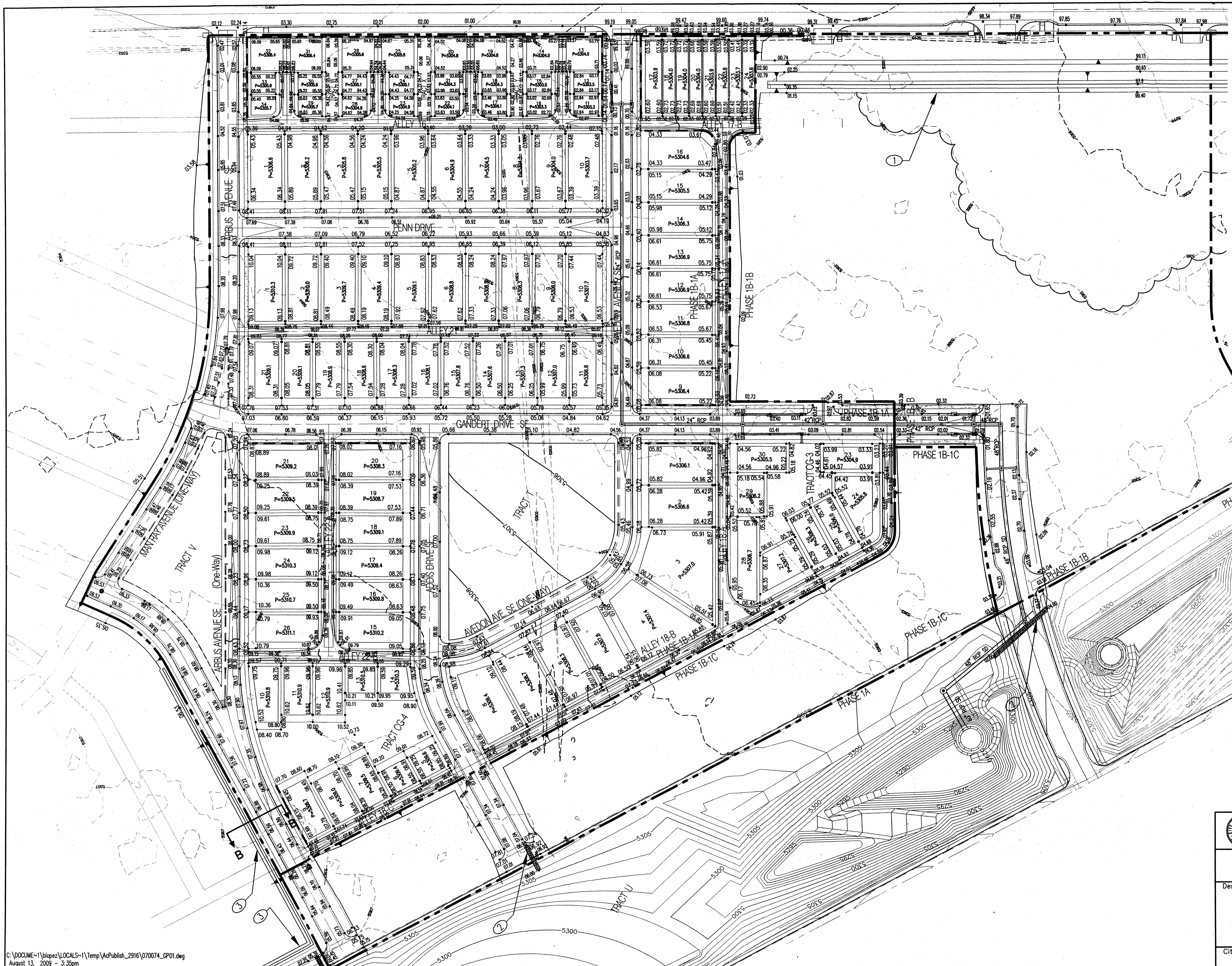
**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

**MESA DEL SOL RESIDENTIAL PLAT NO. 1**  
PHASE 1B-1A  
OVERALL GRADING AND EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

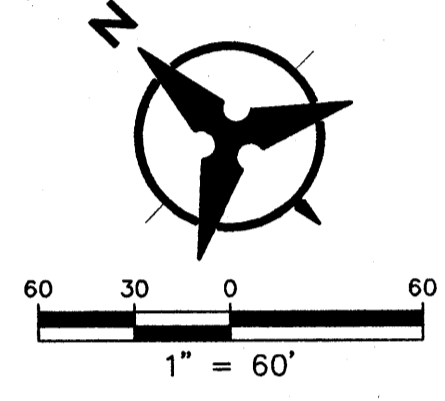
City Project No. \_\_\_\_\_ Zone Map No. **R-15,16 S-15,16** Sheet **2** Of **9**

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August 13, 2009 - 3:34pm



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- KEY NOTES**
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  - RIP RAP SWALE - SEE DETAIL, SHEET 9
  - BERM - SEE DETAIL, SHEET 9



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  - 91.62 PROPOSED SPOT ELEVATION
  - x 92.46 EXISTING SPOT ELEVATION (GRID & TC)
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  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
- ROUGH GRADING (+0.5')
- APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
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Δx = -00'12.2246"							
NAVD 1988 ELEVATION = 5291.451							
RECORDED BY							
NO.							

ENGINEER'S SEAL	REVISIONS	REMARKS
	No.	Date
	By	
	By	

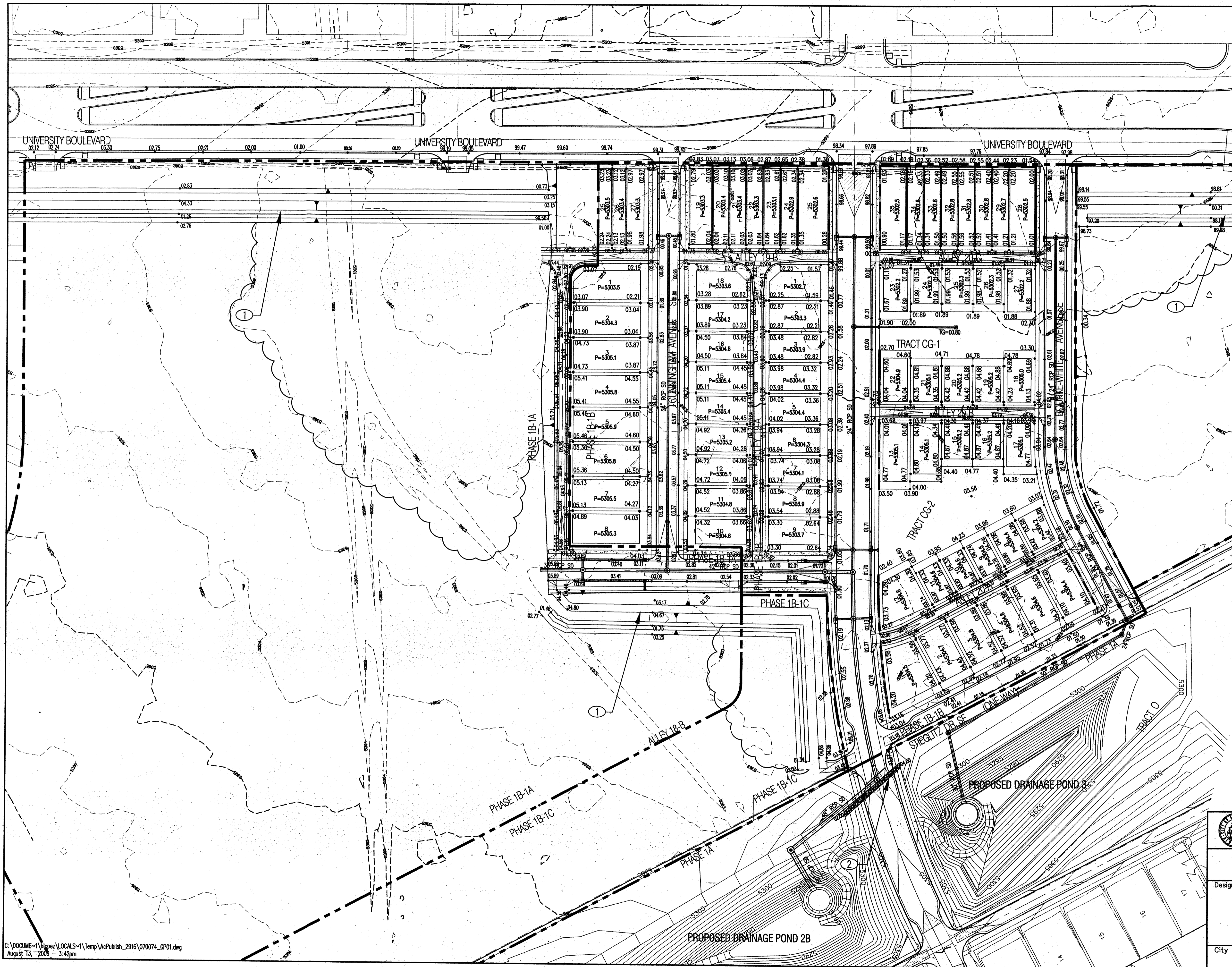
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Drawn By: LSH	DATE: 05/18/09
Checked By: CJS	DATE: 05/18/09

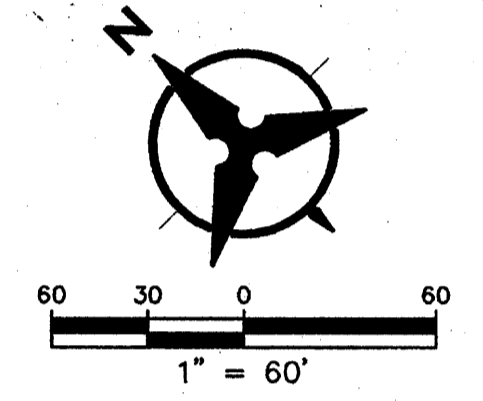
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT		MESA DEL SOL RESIDENTIAL PLAT NO. 1	
		PHASE 1B-1A	
		GRADING AND EROSION CONTROL PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	R-15,16 S-15,16	3	9

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August 13, 2009 - 3:35pm





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  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
- ROUGH GRADING (±0.5):**
- APPROVED FOR ROUGH GRADING DATE
- KEY NOTES**
1. 30' SWALE - SEE DETAIL, SHEET 9
  2. RIP RAP SWALE - SEE DETAIL, SHEET 9

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
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Y = 1,453,438.899							
GROUND-TO-GRID FACTOR = 0.999664099							
Δλ = -00°12'22.46"							
NAVD 1988 ELEVATION = 5291.451							
MICROFILM INFORMATION		REVISIONS		DESIGN		REMARKS	
RECORDED BY	NO.	No.	Date	By	By	No. Date	
						DESIGNED BY: LJM	
						DATE: 06/18/09	
						DRAWN BY: LJM	
						DATE: 06/18/09	
						CHECKED BY: GJS	
						DATE: 06/18/09	



**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT**

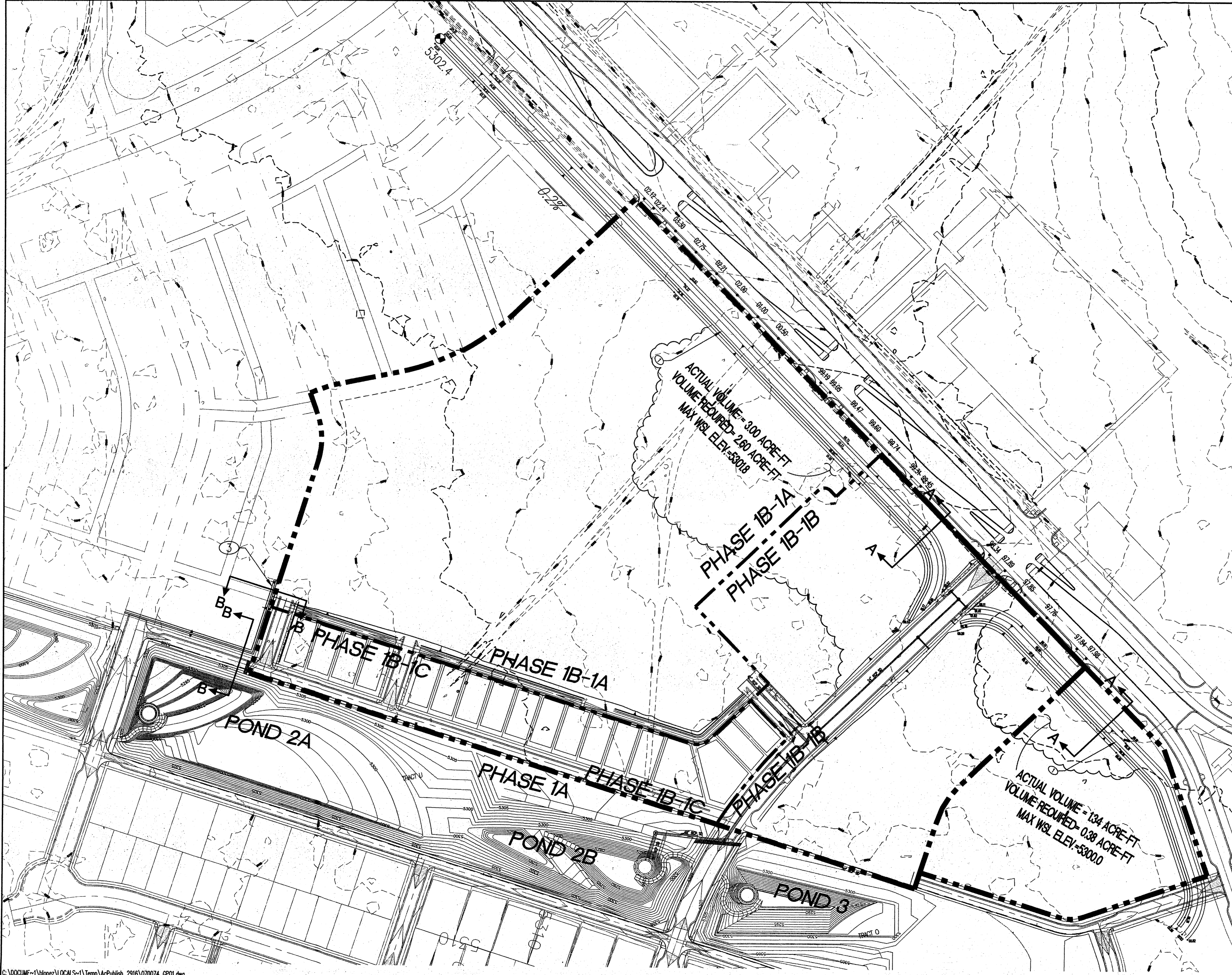
**MESA DEL SOL RESIDENTIAL PLAT NO. 1**

**PHASE 1B-1B**

**GRADING AND EROSION CONTROL PLAN**

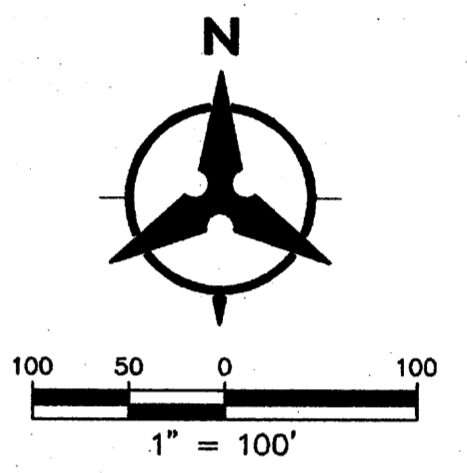
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	R-15,16 S-15,16	5	9

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August 13, 2009 - 3:42pm



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  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. Boulders greater than 3 feet in diameter excavated during grading activities shall be stockpiled and disposed of at the discretion of the owner.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

- KEY NOTES**
1. 30' SWALE - SEE DETAIL, SHEET 9
  2. RIP RAP SWALE - SEE DETAIL, SHEET 9
  3. BERM - SEE DETAIL, SHEET 9



- LEGEND**
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  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	DATE
CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	DATE
MARKED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
FIELD ASSESSMENT BY	DATE	NO.	BY	NO.	BY	NO.	DATE
DESIGNED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
CHECKED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
RECORDED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
NO.	DATE	NO.	BY	NO.	BY	NO.	DATE



**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

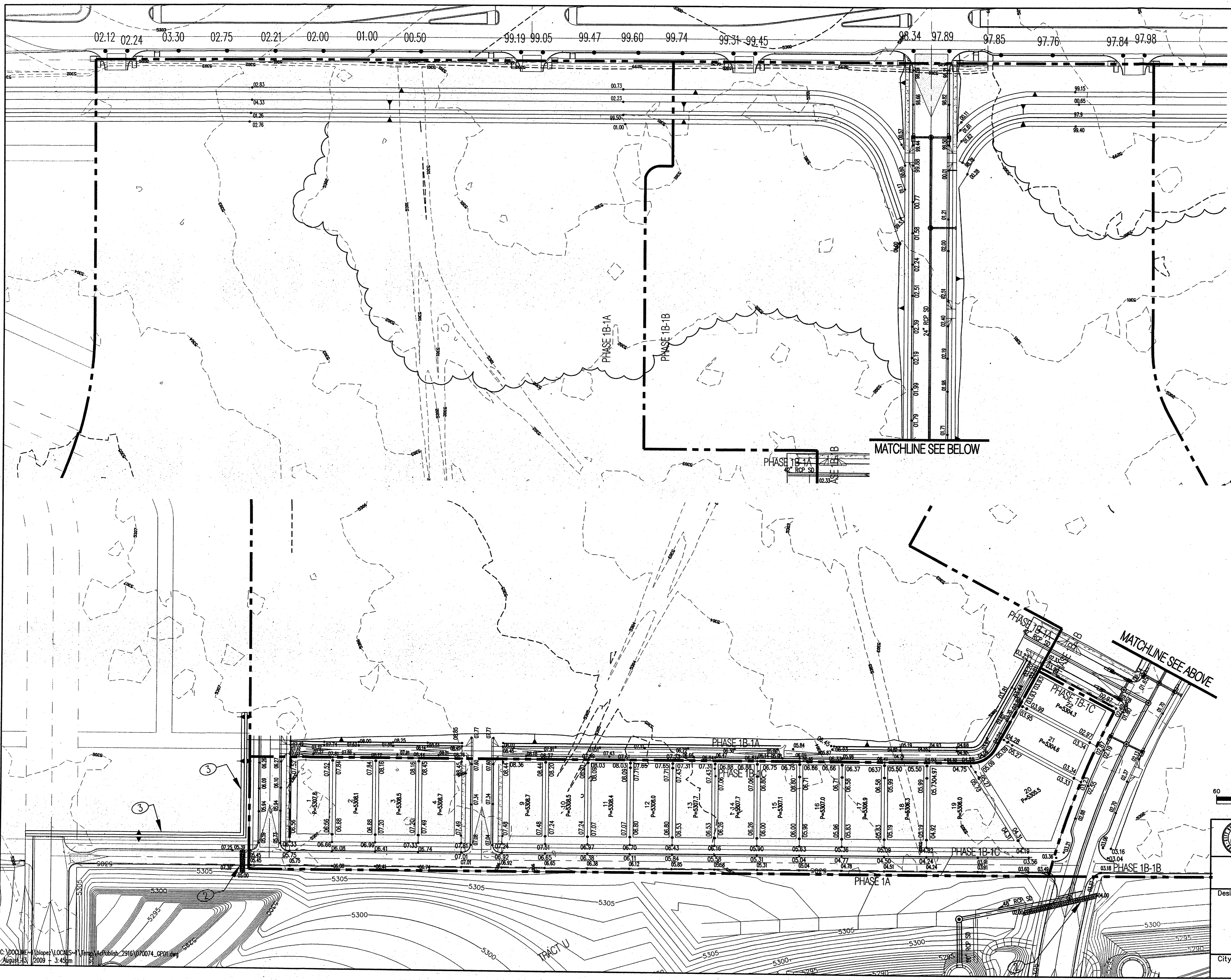
**MESA DEL SOL RESIDENTIAL PLAT NO. 1**  
**PHASE 1B-1C**  
**OVERALL GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **R-15,16 S-15,16** Zone Map No. **6** Sheet **6** Of **9**

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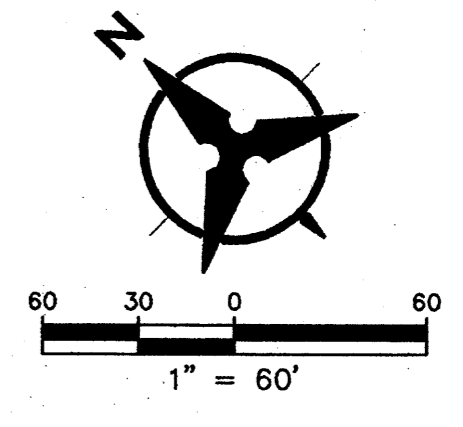




- ### GENERAL NOTES
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2. RIP RAP SWALE - SEE DETAIL, SHEET 9
3. BERM - SEE DETAIL, SHEET 9



- ### LEGEND
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  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRIND & TC)
  - ===== EXISTING CURB & GUTTER
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  - ===== PROPOSED SLOPE
  - ===== PROPOSED STORM DRAIN

ROUGH GRADING (±0.5):  
 APPROVED FOR ROUGH GRADING DATE

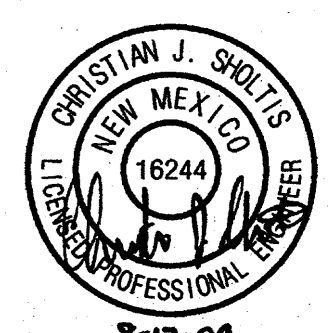
## CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

### MESA DEL SOL RESIDENTIAL PLAT NO. 1 PHASE 1B-1C GRADING AND EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			

City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet **7** Of **9**  
 R-15,16 S-15,16

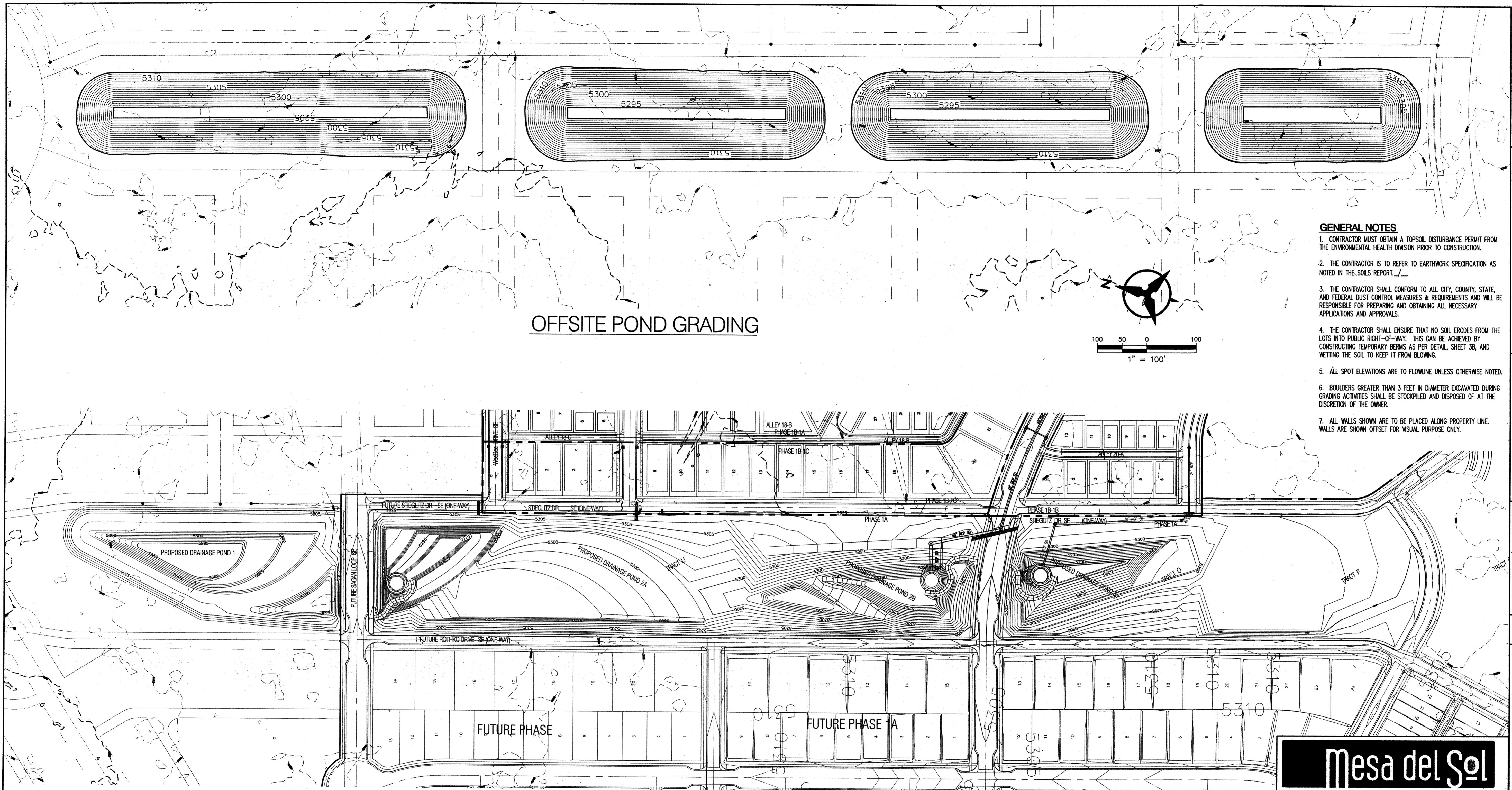
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ACS BRASS TABLET STAMPED "1-R16, 1984"							
GEOGRAPHIC POSITION (NAD 83)							
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)							
X = 1,532,715.869							
Y = 1,453,438.899							
GROUND-TO-GRID FACTOR = 0.999664099							
Δα = -00°12'22.46"							
RECORDED BY	DATE						
MWD 1988	ELEVATION = 5291.451						



No.	Date	By	REMARKS
			DESIGN
			REVISIONS

Designed By: B.L.  
 Drawn By: L.S.H.  
 Checked By: C.S.  
 DATE: 05/18/09  
 DATE: 05/18/09  
 DATE: 05/18/09

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**OFFSITE POND GRADING**

**PROPOSED DRAINAGE POND GRADING**

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1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL SHEET 36, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
RECORDED BY	DATE

BENCH MARKS	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
RECORDED BY	DATE

SURVEY INFORMATION	
NO.	DATE
BY	

ENGINEER'S SEAL

REVISIONS	
No.	Date
By	

**Mesa del Sol**

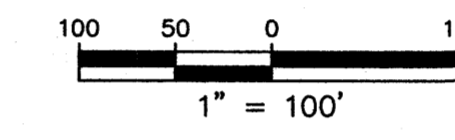
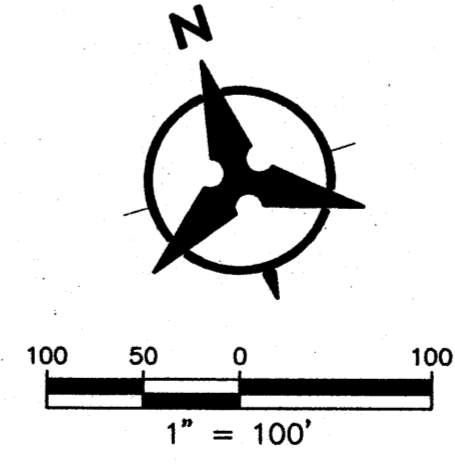
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL RESIDENTIAL PLAT NO. 1 PHASE 1B-1**  
**ONSITE/OFFSITE POND**  
**GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **R-15,16 S-15,16** Sheet **8** Of **9**



ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

P:\070074\cdp\design\new 1b-1 design\199(3 phase)\combined phase grading final\POND GRADING.dwg  
 August 13, 2009 - 3:38pm



LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
PRELIMINARY PLAT FOR  
**MESA DEL SOL**  
**RESIDENTIAL PLAT NO. 1**  
A REPLAT OF TRACT A BULK LAND PLAT  
FOR MESA DEL SOL INNOVATION PARK  
BEING A PORTION OF SECTIONS 15, 21,  
22, 23, 26, 27, 28, 29, 34 AND 35  
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2007

**LEGAL DESCRIPTION**

TRACT 'A' OF BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK  
BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, DATE \_\_\_\_\_

**GENERAL NOTES**

- EXISTING ZONING: S12-PC  
PROPOSED DEVELOPMENT: RESIDENTIAL
- TOTAL PROPOSED ACREAGE: 114.8691 AC  
NUMBER OF LOTS: 233 DU/AC  
PROPOSED DENSITY: 4.61 DU/AC  
NUMBER OF TRACTS: 25 (14.01 AC)  
PHASE 1A PROPOSED ACREAGE: 65.3006 AC  
NUMBER OF LOTS: 297 D.U.  
PROPOSED DENSITY: 4.65 DU/AC  
NUMBER OF TRACTS: 25 (14.01 AC)  
PHASE 1B PROPOSED ACREAGE: 50.9685 AC  
NUMBER OF LOTS: 233 D.U.  
PROPOSED DENSITY: 4.57 DU/AC  
NUMBER OF TRACTS: 12 (14.79 AC)
- MIN. LOT DIMENSIONS: 40' X 40'  
MINIMUM LOT AREA: 1,600 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS IN PUBLIC ROW TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- ALLEY TRACTS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION.
- LOT SETBACKS SHALL CONFORM TO LEVEL A AND LEVEL B MASTER PLANS.

**SITE DATA**

ZONE ATLAS NO.	R-15-Z & R-16-Z S-15-Z & S-16-Z
ZONING	S12-PC
MILES OF FULL WIDTH STREETS CREATED	4.95 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	530
DENSITY	4.61 DU/AC

**SURVEY NOTES**

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/ CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (\*) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11983".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED  
*[Signature]* 6/13/07 DATE  
CITY SURVEYOR  
*[Signature]* 6-12-07 DATE  
MICHAEL S. CASTILLO  
MESA DEL SOL LLC

**Bohannon & Huston**  
Courtney | 7800 Jefferson St. NE Albuquerque, NM 87109-4336  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NOTICE OF SUBDIVISION PLAT CONDITIONS  
PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENTLY RESOLUTIONS, ORDINANCES AND POLICES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY.
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
- PARK AND OPEN SPACE REQUIREMENTS.
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
- EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #6 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 16700" UNLESS OTHERWISE NOTED
- FOUND #4 REBAR NEXT TO FALLEN STONE
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

ACS BRASS TABLET STAMPED "3-016, 1984"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 193,252.92 Y = 1,456,982.37  
GROUND TO GRID FACTOR = 0.99996592  
DELTA ALPHA = -0012'21"  
SLD 1929 ELEVATION = 5307.73

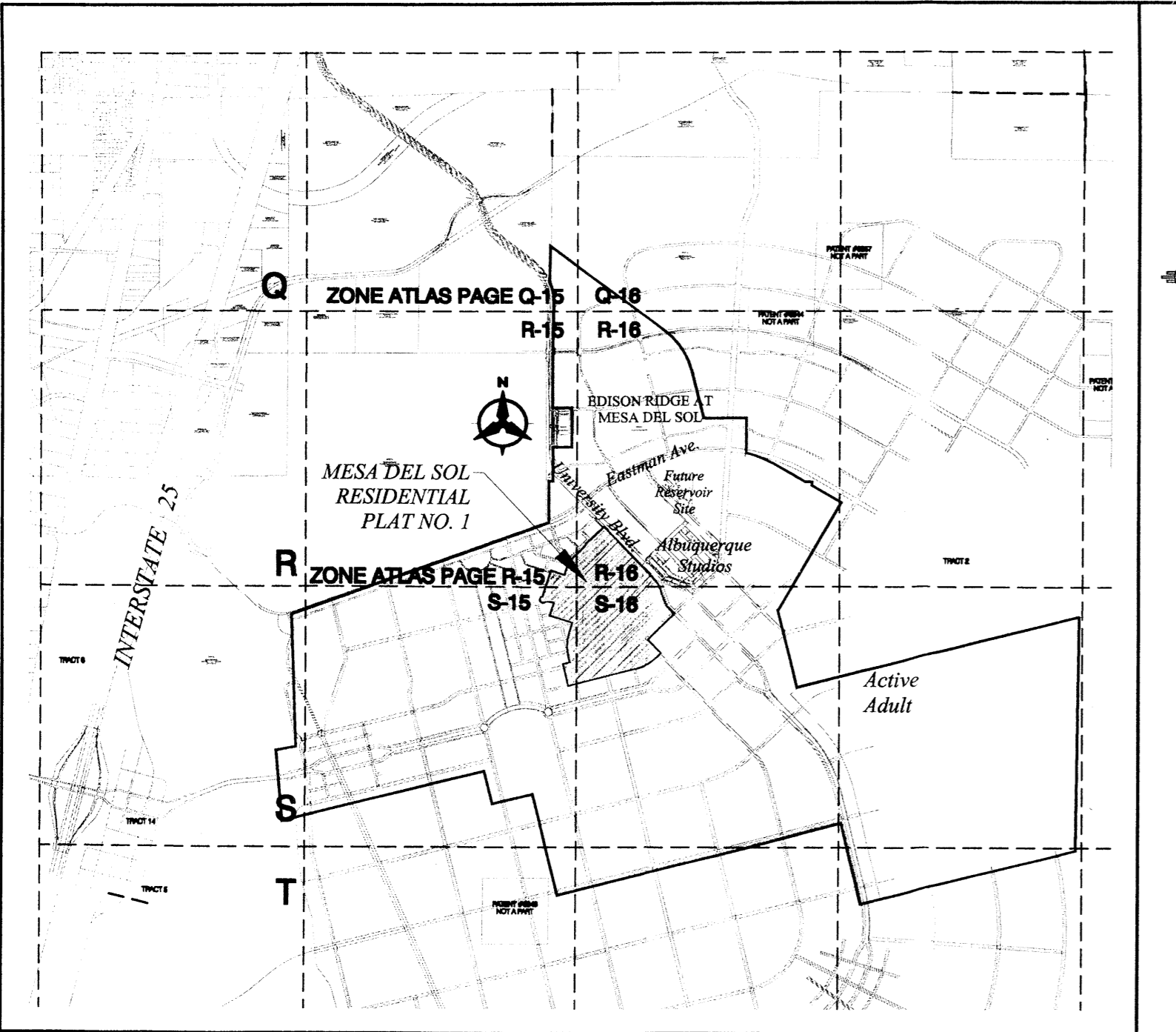
ACS BRASS TABLET STAMPED "1-116, 1984"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 392,469.84 Y = 1,453,376.16  
GROUND TO GRID FACTOR = 0.9999603  
DELTA ALPHA = -0012'21"  
SLD 1929 ELEVATION = 5288.80

Curve Data

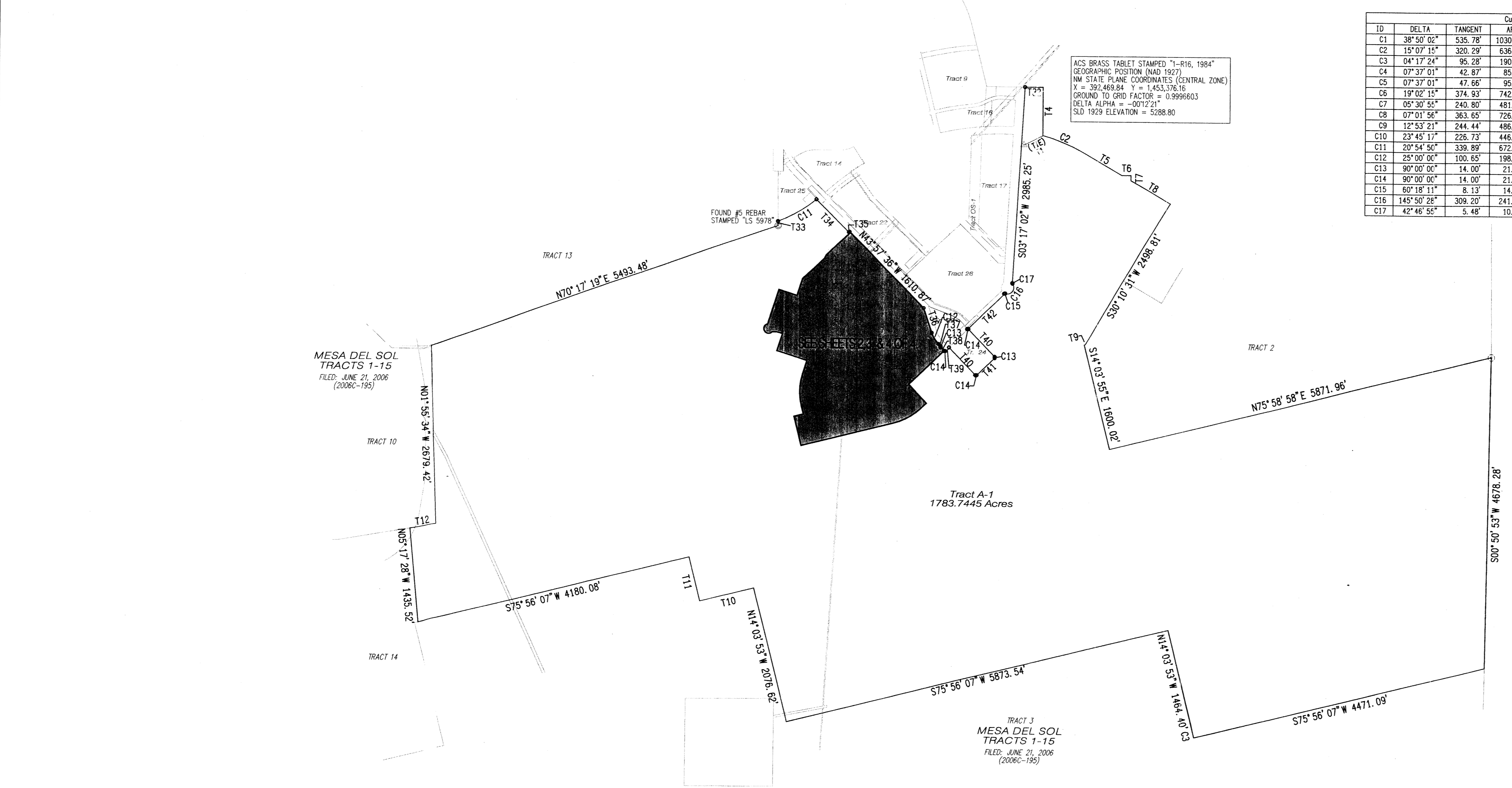
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	38°50'06"	535.78	1030.23	1520.00	1010.62	S33°28'54"E
C2	15°07'15"	320.29	636.86	2413.20	635.02	S67°23'06"E
C3	04°17'24"	95.28	190.48	2544.00	190.43	N11°55'11"W
C4	07°37'01"	42.87	85.67	644.00	85.55	S86°18'45"E
C5	07°37'01"	47.66	95.19	716.00	95.12	S86°18'45"E
C6	19°02'15"	374.93	742.94	2236.00	739.53	N80°21'38"E
C7	05°30'55"	240.80	481.23	4999.32	481.04	N73°35'58"E
C8	07°01'56"	363.65	726.38	5918.32	725.93	S72°46'37"W
C9	12°53'21"	244.44	488.81	2164.00	485.78	S83°26'05"W
C10	23°45'17"	226.73	449.44	1078.00	443.74	N10°53'13"W
C11	20°54'56"	339.89	672.22	1841.84	668.50	N59°08'38"E
C12	25°00'00"	100.65	198.09	454.00	198.53	S31°27'36"E
C13	90°00'00"	14.00	21.99	14.00	19.80	S01°52'21"W
C14	90°00'00"	14.00	21.99	14.00	19.80	S88°57'36"E
C15	60°18'11"	8.13	14.73	14.00	14.06	N76°11'25"E
C16	145°50'28"	309.20	241.81	95.00	181.62	N33°29'21"E
C17	42°46'55"	5.48	10.45	14.00	10.21	N18°12'36"W

Tangent Data

ID	BEARING	DISTANCE
T1	S64°05'21"W	328.32
T2	S14°03'53"E	882.93
T3	S89°39'09"E	854.93
T4	S00°02'06"E	716.21
T5	S59°49'29"E	694.35
T6	S89°47'27"E	135.42
T7	S00°00'22"E	78.25
T8	S59°49'29"E	680.37
T9	S75°58'04"W	17.45
T10	S75°58'07"W	830.46
T11	N14°03'53"E	683.98
T12	N80°27'33"E	401.10
T13	N00°07'15"W	831.77
T14	S89°47'27"E	78.00
T15	N00°07'15"W	701.63
T16	N89°52'45"E	862.00
T17	N00°07'15"W	764.01
T18	N89°52'45"E	86.76
T19	N89°52'45"E	225.12
T20	N14°03'20"W	919.02
T21	S20°44'21"E	50.00
T22	S14°03'20"E	785.43
T23	S89°52'45"W	92.14
T24	S00°07'12"E	10.00
T25	S89°52'45"W	782.00
T26	N00°07'15"W	1115.70
T27	S89°28'45"E	19.75
T28	N00°59'25"E	86.76
T29	N89°00'35"W	20.00
T30	N00°59'25"E	946.23
T31	N00°27'38"E	732.42
T32	N89°38'06"W	279.61
T33	N00°07'15"W	69.15
T34	N43°57'36"W	705.24
T35	S46°02'24"W	10.00
T36	N18°57'36"W	382.06
T37	N43°57'36"W	46.00
T38	N43°57'36"W	80.00
T39	S46°02'24"W	78.00
T40	N43°57'36"W	965.00
T41	S46°02'24"W	372.00
T42	S46°02'24"W	776.32



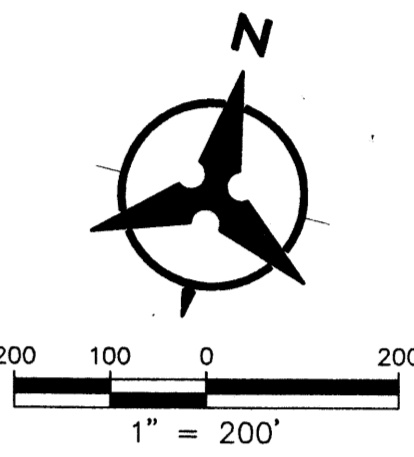
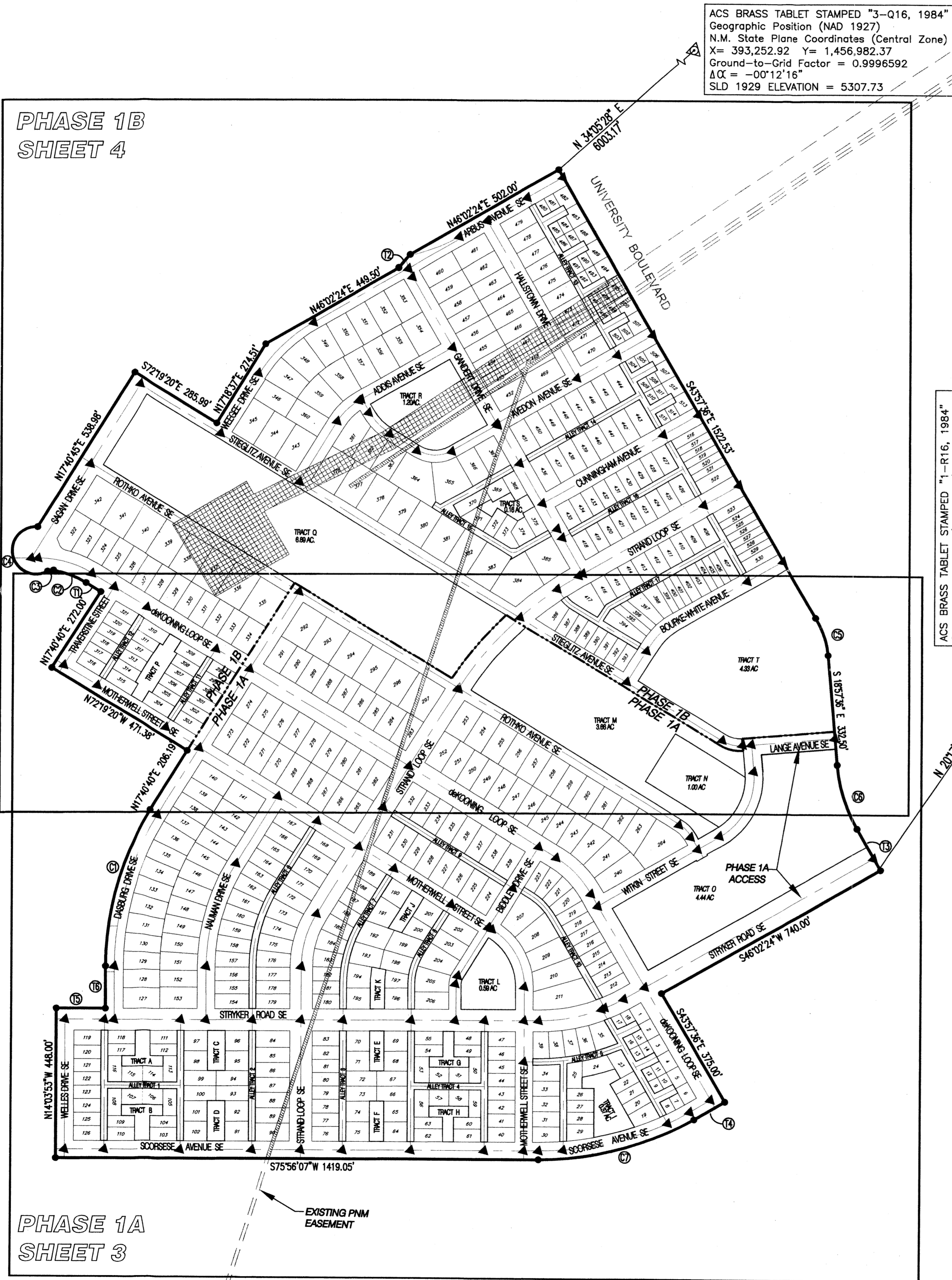
N.T.S. VICINITY MAP  
ZONE ATLAS R-15-Z & R-16-Z  
ZONE ATLAS S-15-Z & S-16-Z



LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
PRELIMINARY PLAT FOR  
**MESA DEL SOL**

**RESIDENTIAL PLAT NO. 1**

A REPLAT OF TRACT A BULK LAND PLAT  
FOR MESA DEL SOL INNOVATION PARK  
BEING A PORTION OF SECTIONS 15, 21,  
22, 23, 26, 27, 28, 29, 34 AND 35  
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2007



**LEGEND**

- SUBDIVISION BOUNDARY LINE
- - - PHASE BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- EXISTING FENCE LINE

PORTION OF EXISTING 60' RIGHT-OF-WAY PERMIT GRANTED TO CIVIL AERONAUTICS AUTHORITY DATED: JULY 22, 1938 TO BE VACATED BY THIS PLAT.

PORTION OF EXISTING 10' PNM EASEMENT FILED: JULY 22, 1954 (BK. 285, PG. 517) MODIFIED BY QUITCLAIM DEED AND ASSIGNMENT FILED: FEBRUARY 8, 1955 (BK. 0305, PG. 307) TO BE VACATED BY THIS PLAT.

Boundary Tangent Table

ID	BEARING	LENGTH
T1	N72°19'20"W	50.89'
T2	N27°30'57"E	50.36'
T3	S43°57'36"E	139.54'
T4	S46°02'24"W	104.18'
T5	N75°56'07"E	144.00'
T6	N14°03'53"W	127.23'

Boundary Curve Table

ID	ARC	RADIUS	DELTA	TANGENT
C1	485.87'	877.00'	31°44'33"	249.34'
C2	104.31'	267.00'	22°23'02"	52.83'
C3	16.71'	25.00'	38°17'46"	8.68'
C4	259.68'	70.00'	212°32'53"	-1.00'
C5	119.06'	256.28'	26°37'03"	60.62'
C6	198.09'	454.00'	25°00'00"	100.65'
C7	477.42'	915.00'	29°53'43"	244.28'

**Bohannon & Huston**  
 Courtyard | 7800 Jefferson St. NE | Albuquerque, NM 87109-4336  
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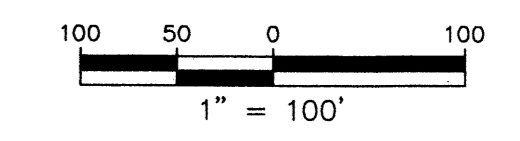
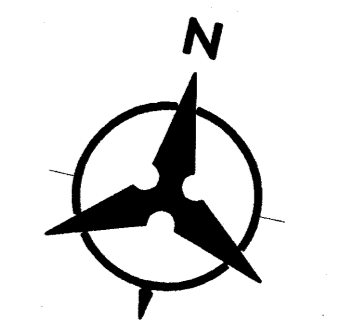
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CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2007

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- - - PHASE BOUNDARY LINE
- NEW LOT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- - - EXISTING FENCE LINE



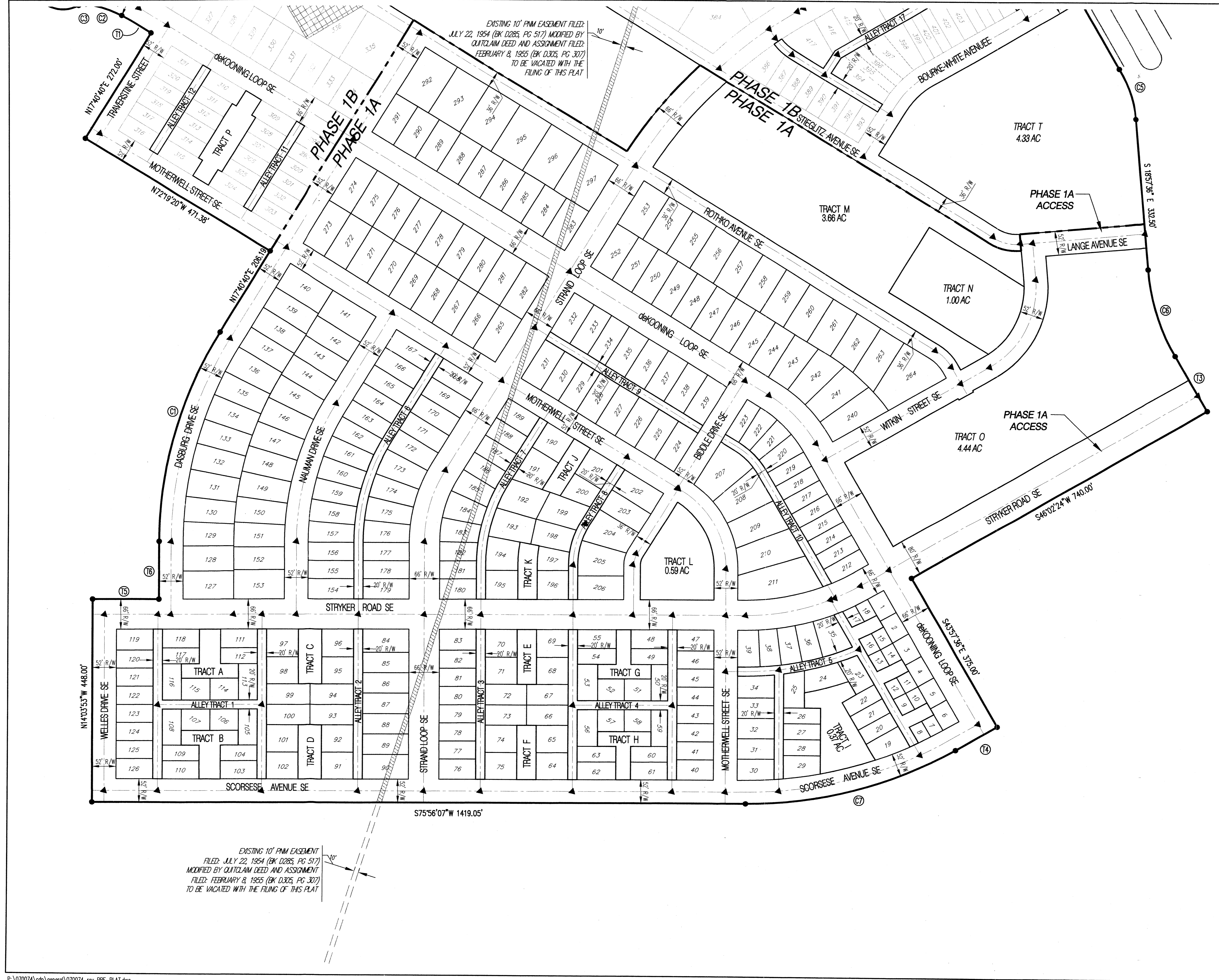
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Boundary Curve Table				Boundary Tangent Table			
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C5	119.06'	256.28'	26°37'03"	60.62'	T5	N75°56'07"E	144.00'
C6	198.09'	454.00'	25°00'00"	100.65'	T6	N14°03'53"W	127.23'
C7	477.42'	915.00'	29°53'43"	244.28'			

PHASE 1A

**Bohannon & Huston**  
 Engineering & Spatial Data & Advanced Technologies  
 Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4396



EXISTING 10' PNM EASEMENT  
FILED: JULY 22, 1954 (BK. D285, PG. 517)  
MODIFIED BY QUITCLAIM DEED AND ASSIGNMENT  
FILED: FEBRUARY 8, 1955 (BK. D305, PG. 307)  
TO BE VACATED WITH THE FILING OF THIS PLAT

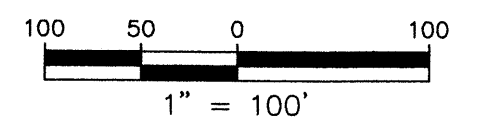
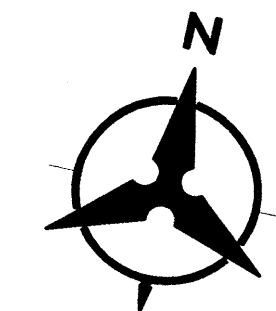
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LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
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CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2007

LEGEND	
	SUBDIVISION BOUNDARY LINE
	PHASE BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	EXISTING FENCE LINE



PORTION OF EXISTING 60' RIGHT-OF-WAY PERMIT GRANTED TO CIVIL AERONAUTICS AUTHORITY DATED: JULY 22, 1938 TO BE VACATED BY THIS PLAT.

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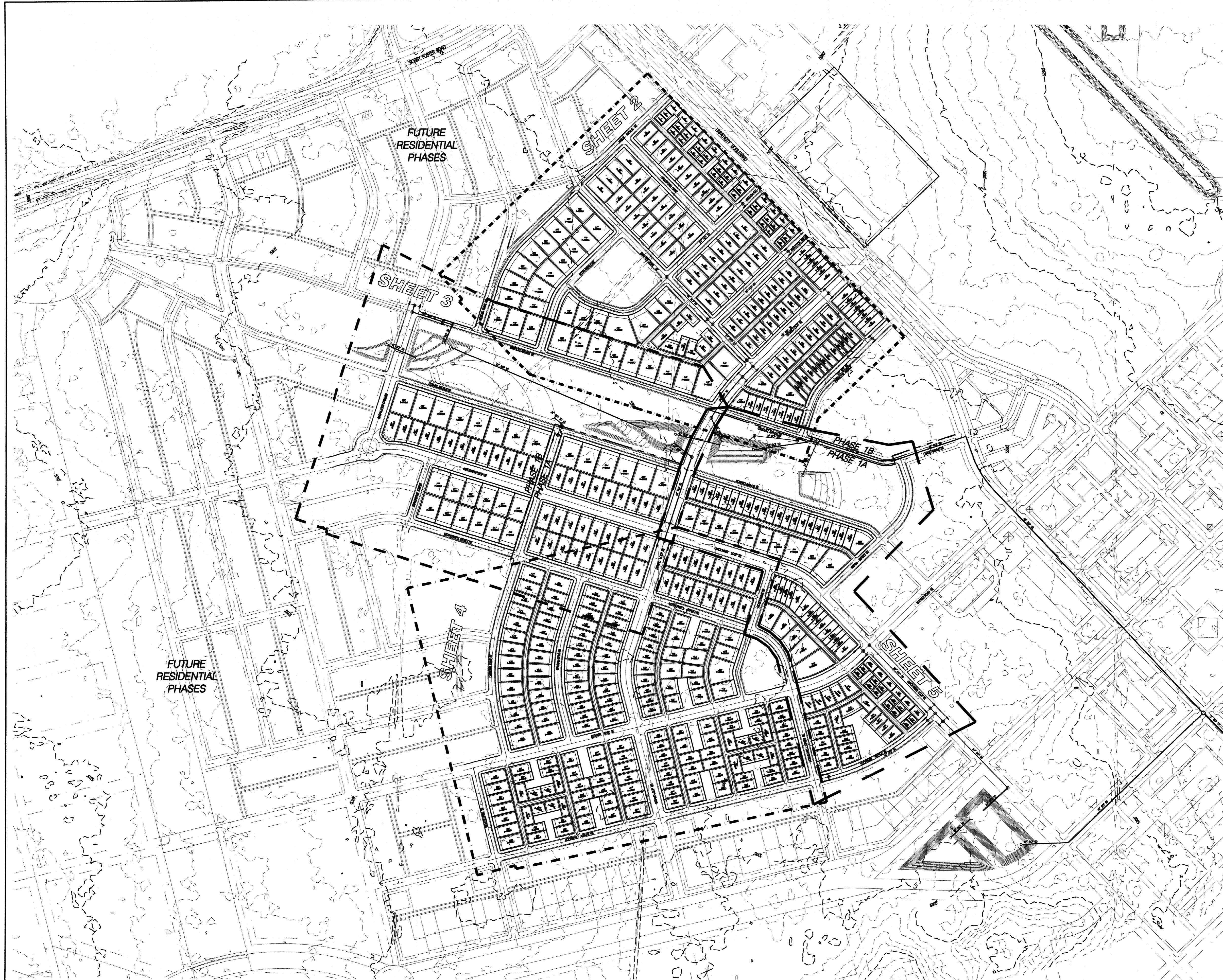
Boundary Curve Table					Boundary Tangent Table		
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**PHASE 1B**

**Bohannon & Huston**  
 Courtyard | 7800 Jefferson St. NE | Albuquerque, NM 87109-4336  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

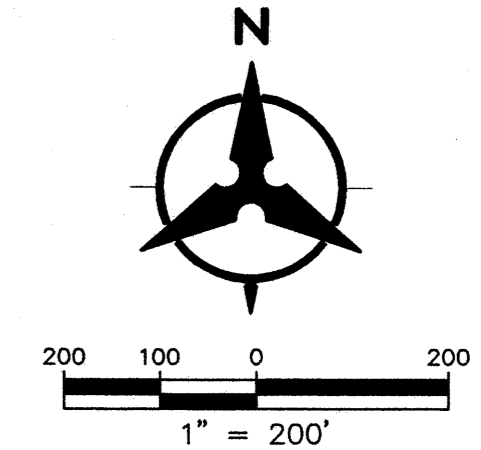


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June 11, 2007 - 4:54pm



**GENERAL NOTES**

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. /
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
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7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



**LEGEND**

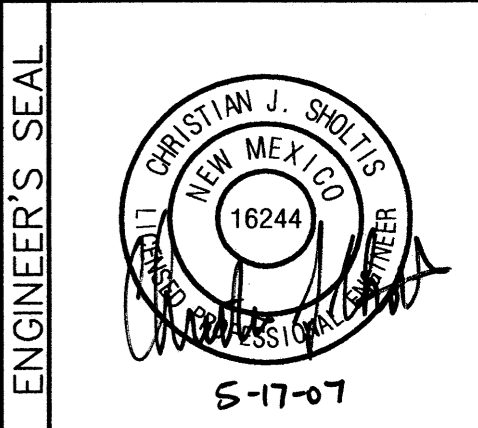
- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- == PROPOSED MOUNTABLE CURB & GUTTER
- == PROPOSED STANDARD CURB & GUTTER
- S470 PROPOSED EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED CATTLE GUARD INLET
- ↑ WALL DRAIN

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
STRIPPED BY	DATE
INSPECTED BY	DATE
FIELD NOTES BY	DATE
REVISIONS BY	DATE
CONDUCTED BY	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
ACS BRASS TABLET STAMPED "1-R16, 1984"	DATE
GEOGRAPHIC POSITION (NAD 1927)	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE
X = 392,469.84 Y = 1,453,376.16	DATE
GROUND-TO-GRID FACTOR = 0.99996603	DATE
Δα = -00°12'21"	DATE
SID 1929 ELEVATION = 5288.80	DATE

SURVEY INFORMATION	
NO.	DATE
BY	DATE



NO.	DATE	REMARKS	BY
		DESIGN	

Designed By: B.J.L. DATE: 05/17/07  
 Drawn By: L.S.M. DATE: 05/17/07  
 Checked By: C.J.S. DATE: 05/17/07

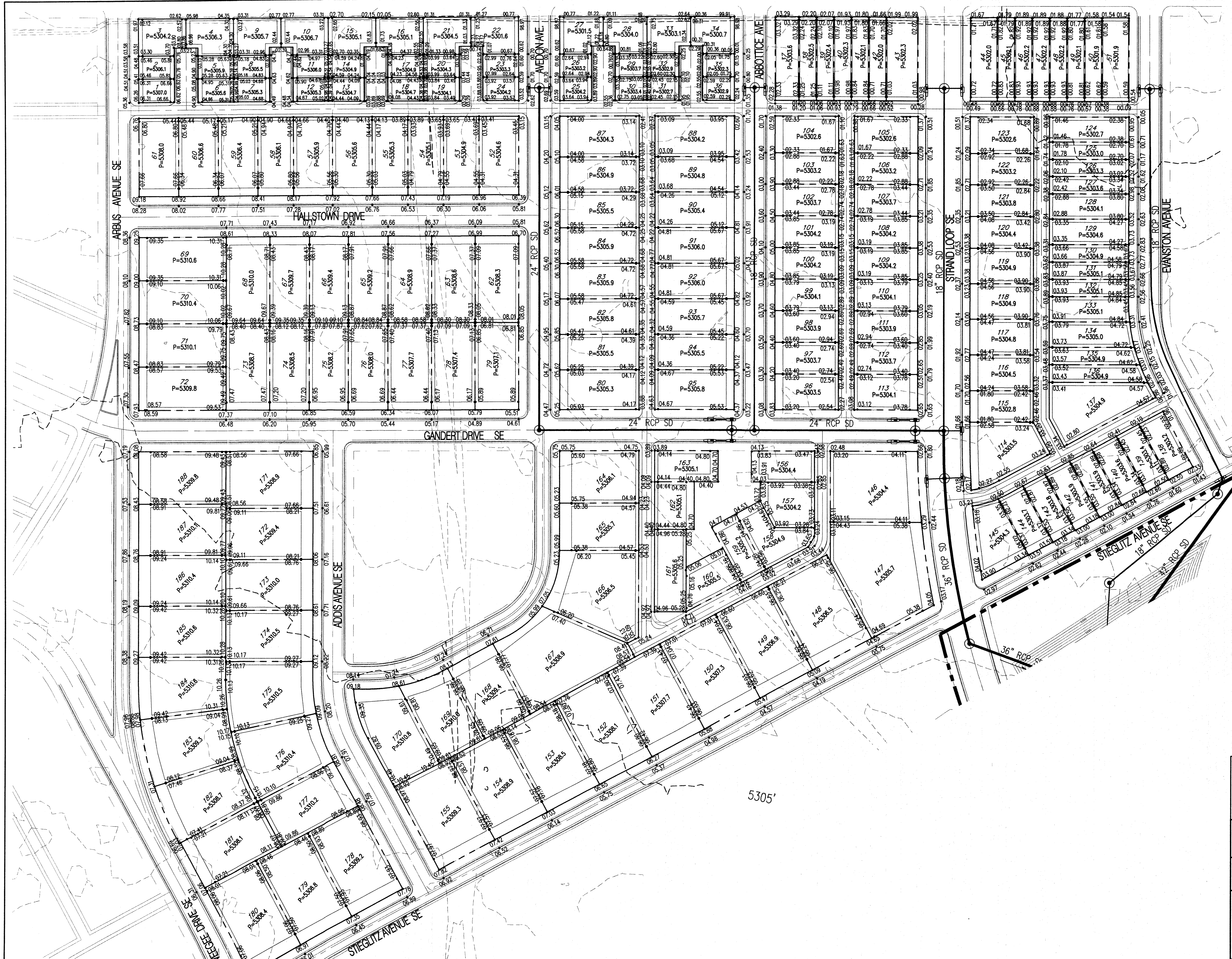
**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

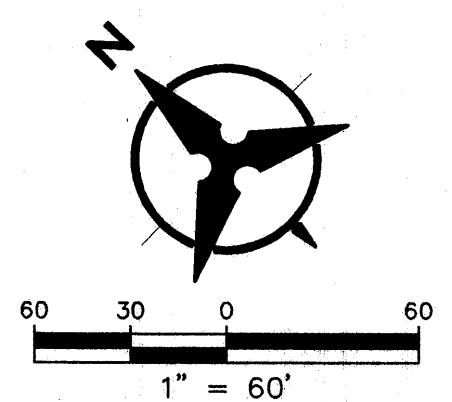
**MESA DEL SOL**  
**RESIDENTIAL PLAT NO. 1**  
**OVERALL GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
		1	5





- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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  - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
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  - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



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  - 91.62 PROPOSED SPOT ELEVATION
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  - PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
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ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
STAMPED BY	DATE
INSPECTOR'S POSITION	DATE
FIELD NOTES BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
AC'S BRASS TABLET STAMPED "1-R16, 1984"	DATE
GEOGRAPHIC POSITION (NAD 1927)	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE
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Δδ = -001'12.21"	DATE
SLD 1929 ELEVATION = 5288.80	DATE

SURVEY INFORMATION	
NO.	DATE
BY	

ENGINEER'S SEAL	
S-17-01	

REVISIONS	
No.	Date
By	Remarks
	DESIGN

Designed By: B. J. L.	DATE: 05/17/07
Drawn By: LHM	DATE: 05/17/07
Checked By: G. J. S.	DATE: 05/17/07

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL**  
**RESIDENTIAL PLAT NO. 1**  
**GRADING AND DRAINAGE PLAN**

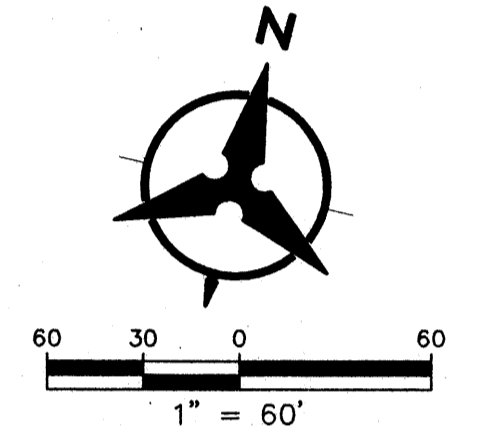
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
		2	5

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 May 17, 2007 - 10:30am





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  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - PROPOSED CATTLE GUARD INLET
  - WALL DRAIN
  - ROUGH GRADING (±0.5')
  - APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
SURVEYED BY	DATE
ACCEPTANCE BY	DATE
REVISIONS BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE
WORKED BY	DATE
SURVEYED BY	DATE
ACCEPTANCE BY	DATE
REVISIONS BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
DATE	
BY	
NO.	

**ENGINEER'S SEAL**

No.	Date	By	REVISIONS
			DESIGN

Designed By: B. J. L.  
 Drawn By: L. M.  
 Checked By: C. J. S.

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT

**MESA DEL SOL**  
 RESIDENTIAL PLAT NO. 1  
 GRADING AND DRAINAGE PLAN

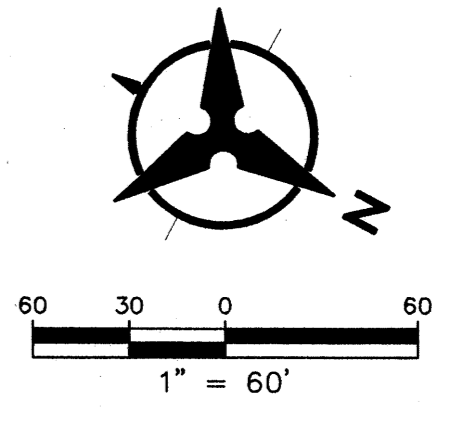
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet **4** Of **5**

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 May 17, 2007 - 10:23am



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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  - WALL DRAIN

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**MESA DEL SOL**  
**RESIDENTIAL PLAT NO. 1**  
**GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet **5** Of **5**

**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STARTED BY	DATE
WORK ACCEPTANCE BY	DATE
FIELD REVISION BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

**BENCH MARKS**

ACS BRASS TABLET STAMPED "1-R16, 1984"	
GEOGRAPHIC POSITION (NAD 1927)	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
X = 392,469.84 Y = 1,453,376.16	
GROUND-TO-GRID FACTOR = 0.9996603	
Δx = -00'12".21"	
SLD 1929 ELEVATION = 5288.80	

**SURVEY INFORMATION**

FIELD NOTES	DATE	BY

**ENGINEER'S SEAL**

CHRISTIAN J. SHULTZ  
 NEW MEXICO  
 16244  
 PROFESSIONAL ENGINEER  
 S-17-07

No.	Date	REVISIONS	By
		DESIGN	

Designed By: B. J. L. DATE: 05/17/07  
 Drawn By: L. S. M. DATE: 05/17/07  
 Checked By: C. J. S. DATE: 05/17/07

LEVEL "C" SUBMITTAL  
 BULK LAND PLAT AND  
 PRELIMINARY PLAT FOR  
**MESA DEL SOL**  
**RESIDENTIAL PLAT NO. 1**  
 A REPLAT OF TRACT A BULK LAND PLAT  
 FOR MESA DEL SOL INNOVATION PARK  
 BEING A PORTION OF SECTIONS 15, 21,  
 22, 23, 26, 27, 28, 29, 34 AND 35  
 TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2008

**LEGAL DESCRIPTION**  
 TRACT 'A' OF BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK  
 BOOK 2007C, PAGE 259, DATE September 13, 2007.

**BULK LAND VARIANCE FOR TRACT A-1**

NOTICE OF SUBDIVISION PLAT CONDITIONS  
 PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION  
 ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS  
 BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD  
 CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN  
 APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF  
 RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY  
 THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS  
 IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICES IN EFFECT  
 AT THE TIME FOR ANY SPECIFIC PROPOSAL.

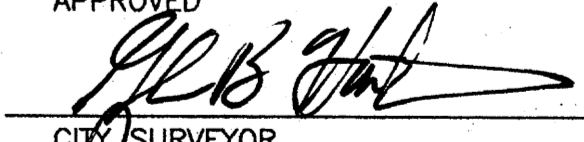

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT  
 EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE  
 DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR  
 WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL  
 REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS  
 CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY  
 ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS  
 FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

APPROVED  
  
 CITY SURVEYOR  
  
 MICHAEL S. CASTILLO  
 MESA DEL SOL LLC  
 DATE 5/27/08  
 DATE 5/27/08

**Bohannon & Huston**  
 Courtyard | 7800 Jefferson St. NE Albuquerque, NM 87109-4395  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #6 REBAR WITH ORANGE PLASTIC SURVEY CAP STAMPED 'BENHAM LS 16700' UNLESS OTHERWISE NOTED
- FOUND #4 REBAR NEXT TO FALLEN STONE
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

ACS BRASS TABLET STAMPED "16, 1984"  
 GEOGRAPHIC POSITION (NAD 83)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 1,533,488.782 Y = 1,457,045.094  
 GROUND TO GRID FACTOR = 0.999963002  
 DELTA ALPHA = -0012'17.33"  
 NAVD 1988 ELEVATION = 5310.390

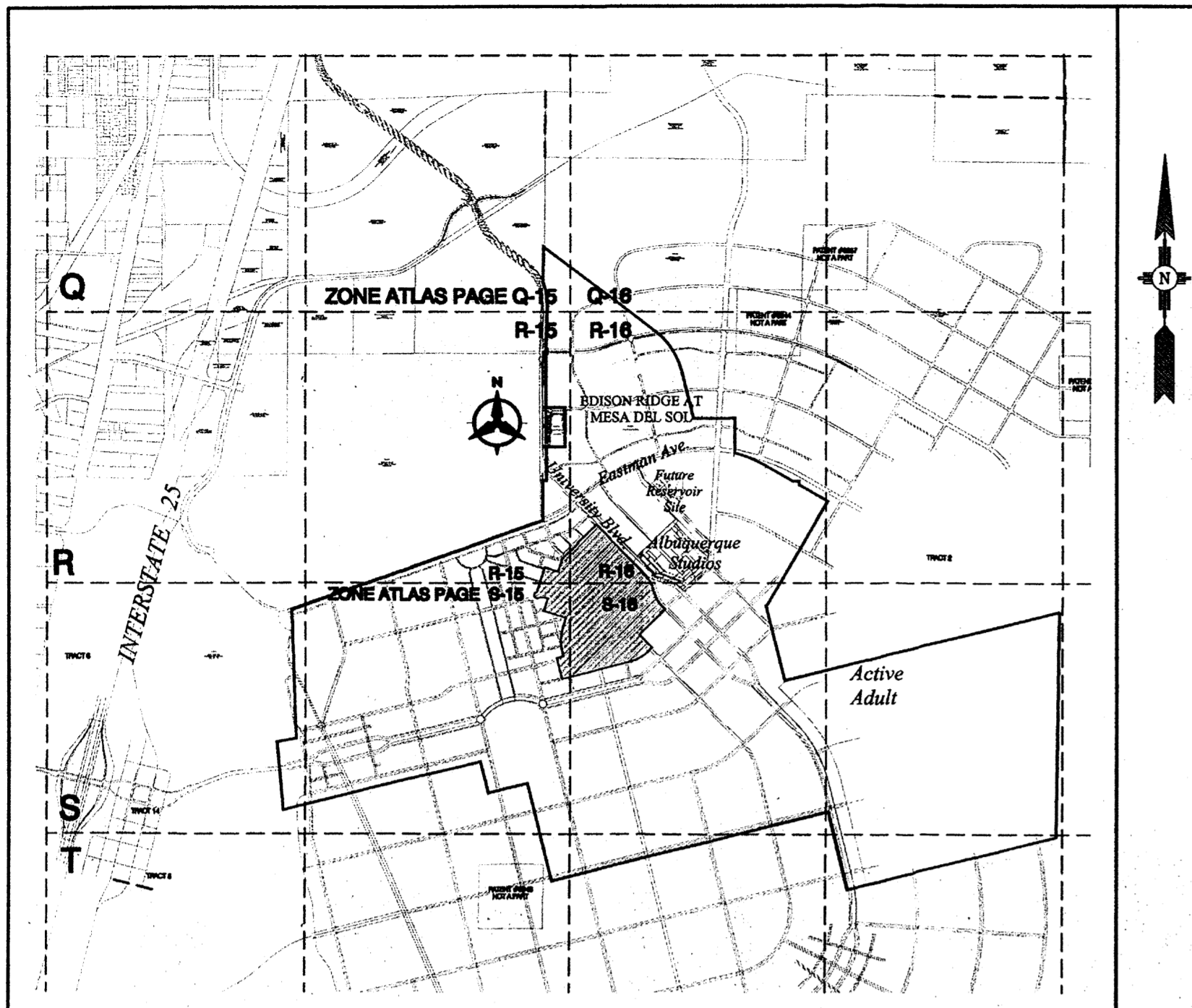
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 GROUND TO GRID FACTOR = 0.999964099  
 DELTA ALPHA = -0012'22.46"  
 NAVD 1988 ELEVATION = 5291.451

Curve Data

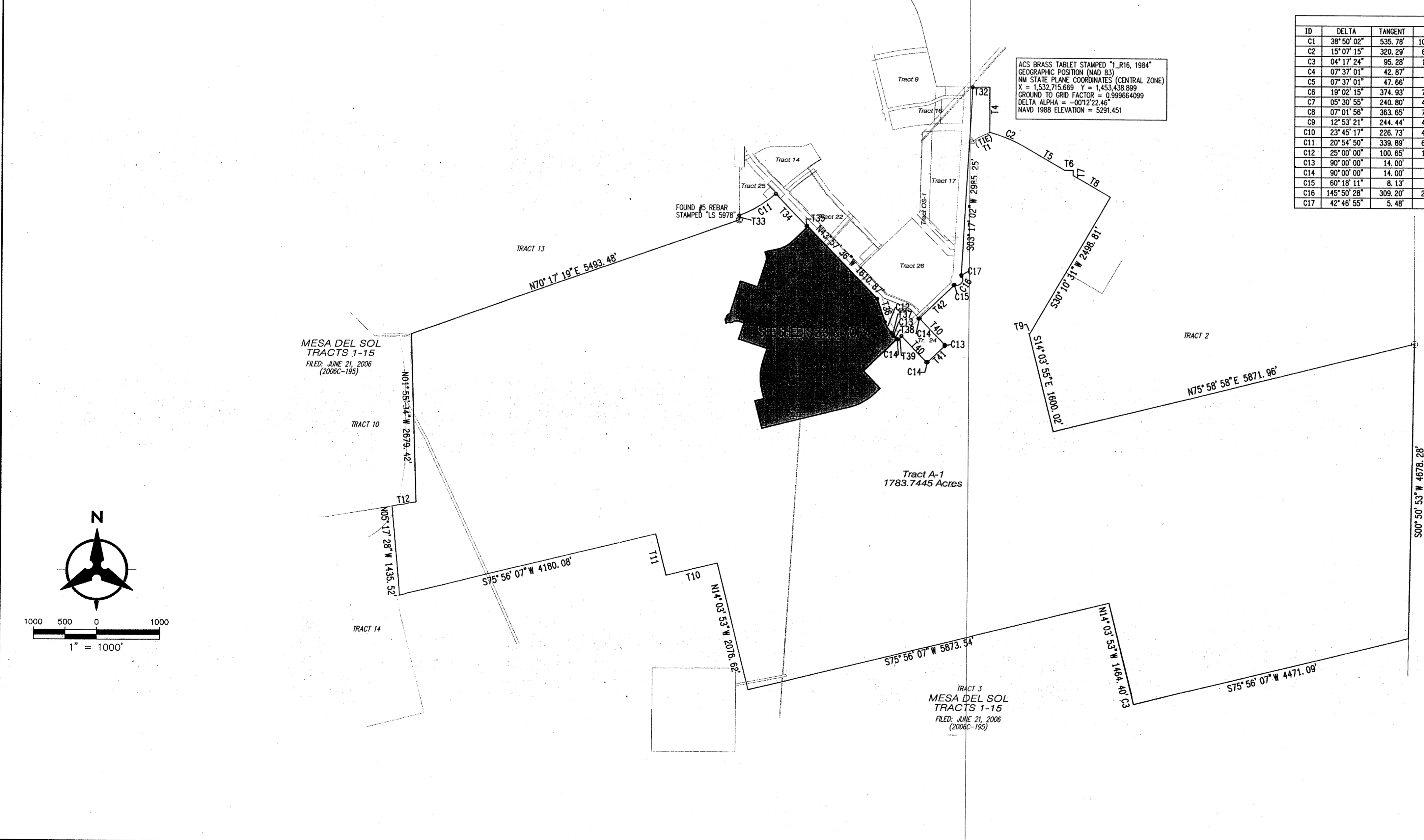
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	38°50'02"	535.78'	1030.23'	1520.00'	1010.62'	S33°28'54"E
C2	15°07'15"	320.29'	636.86'	2413.20'	635.02'	S67°23'06"E
C3	04°17'24"	95.28'	190.48'	2544.00'	190.43'	N11°55'11"W
C4	07°37'01"	42.87'	85.61'	644.00'	85.55'	S80°18'45"E
C5	07°37'01"	47.66'	95.19'	716.00'	95.12'	S80°18'45"E
C6	19°02'55"	374.93'	742.94'	2236.00'	739.53'	N60°21'38"E
C7	05°30'55"	240.80'	481.23'	4999.32'	481.04'	N73°35'58"E
C8	07°01'56"	383.65'	726.38'	5918.32'	725.93'	S72°46'37"W
C9	12°53'21"	244.44'	486.81'	2164.00'	485.78'	S63°26'05"W
C10	23°45'17"	226.73'	446.94'	1076.00'	443.74'	N10°53'13"W
C11	20°54'50"	339.89'	672.22'	1941.64'	668.50'	N37°08'30"E
C12	25°00'00"	100.65'	198.09'	454.00'	196.53'	S11°27'36"E
C13	90°00'00"	14.00'	21.99'	14.00'	19.80'	N1°02'24"W
C14	90°00'00"	14.00'	21.99'	14.00'	19.80'	S88°57'36"E
C15	60°18'11"	8.13'	14.73'	14.00'	14.06'	N16°11'29"E
C16	145°50'28"	309.20'	241.81'	95.00'	181.62'	A33°25'21"E
C17	42°46'55"	5.48'	10.45'	14.00'	10.21'	N18°08'28"W

Tangent Data

ID	BEARING	DISTANCE
T1	S64°05'21"W	328.32'
T2	S14°03'53"E	982.93'
T3	S89°38'06"E	854.93'
T4	S00°02'08"E	716.21'
T5	S59°49'29"E	694.35'
T6	S89°47'27"E	135.42'
T7	S00°00'22"E	78.25'
T8	S59°49'29"E	680.37'
T9	S75°56'04"W	17.45'
T10	S75°56'07"W	830.46'
T11	N14°03'53"W	683.98'
T12	N80°27'33"E	401.10'
T13	N00°07'15"W	831.77'
T14	S89°47'27"E	78.00'
T15	N00°07'15"W	701.63'
T16	N89°52'45"E	382.00'
T17	N00°07'15"W	784.01'
T18	N89°52'45"E	86.76'
T19	N89°52'45"E	225.12'
T20	N14°03'20"W	919.02'
T21	S20°44'21"E	50.00'
T22	S14°03'20"E	705.43'
T23	S89°52'45"E	92.14'
T24	S00°07'12"E	10.00'
T25	S89°52'45"E	782.00'
T26	N00°07'15"W	1115.70'
T27	S89°28'45"E	19.75'
T28	N00°59'25"E	86.76'
T29	N89°00'35"W	20.00'
T30	N00°59'25"E	946.23'
T31	N00°27'38"E	732.42'
T32	N89°38'06"W	279.61'
T33	N00°07'15"W	69.15'
T34	N43°57'36"W	705.24'
T35	S46°02'24"W	10.00'
T36	N18°57'36"W	382.06'
T37	N43°57'36"W	46.00'
T38	N43°57'36"W	80.00'
T39	S46°02'24"W	78.00'
T40	N43°57'36"W	565.00'
T41	S46°02'24"W	372.00'
T42	S46°02'24"W	770.32'



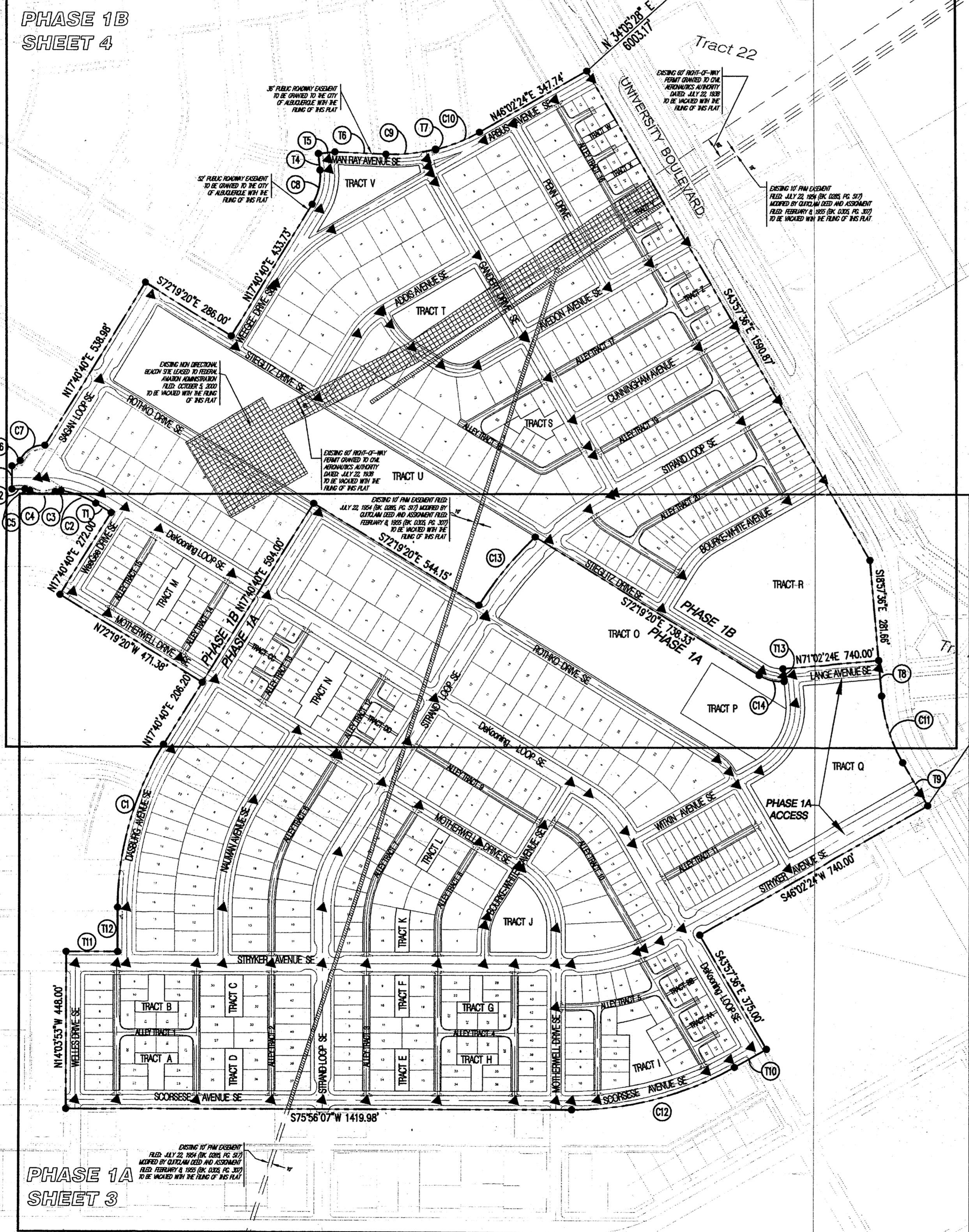
VICINITY MAP  
 ZONE ATLAS R-15-2 & R-16-2  
 ZONE ATLAS S-15-2 & S-16-2



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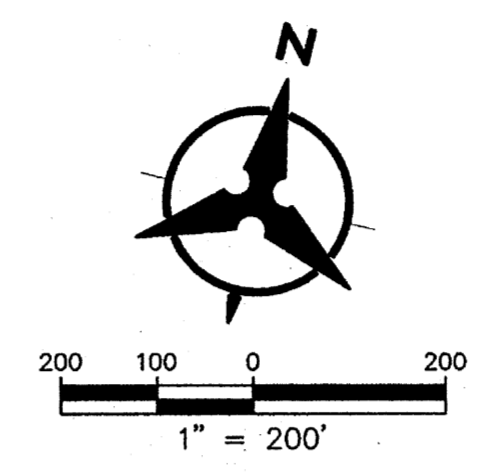
LEVEL "C" SUBMITTAL  
 BULK LAND PLAT AND  
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**MESA DEL SOL**  
**RESIDENTIAL PLAT NO. 1**  
 A REPLAT OF TRACT A BULK LAND PLAT  
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 TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2008

PHASE 1B  
 SHEET 4



ACS BRASS TABLE STAMPED "3\_Q16, 1984"  
 Geographic Position (NAD 83)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 1,533,439.782 Y= 1,457,045.094  
 Ground-to-Grid Factor = 0.999663002  
 ΔC = -00°12'17.33"  
 NAVD 1988 ELEVATION = 5310.390

ACS BRASS TABLE STAMPED "1\_L16, 1984"  
 Geographic Position (NAD 83)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 1,532,715.669 Y= 1,453,438.899  
 Ground-to-Grid Factor = 0.999664099  
 ΔC = -00°12'22.46"  
 NAVD 1988 ELEVATION = 5291.451



**LEGEND**

- PHASE BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- - - EXISTING FENCE LINE

PORTION OF EXISTING 60' RIGHT-OF-WAY PERMIT GRANTED TO CIVIL AERONAUTICS AUTHORITY DATED: JULY 22, 1938 TO BE VACATED BY THIS PLAT.

PORTION OF EXISTING 10' PNM EASEMENT FILED: JULY 22, 1954 (BK. 285, PG. 517) MODIFIED BY QUITCLAIM DEED AND ASSIGNMENT FILED: FEBRUARY 8, 1965 (BK. D305, PG. 307) TO BE VACATED BY THIS PLAT.

**Boundary Tangent Table**

ID	BEARING	LENGTH
T1	N72°19'20"W	50.89'
T2	S75°56'07"W	36.52'
T3	N14°03'53"W	66.00'
T4	N19°42'41"W	47.40'
T5	N70°17'19"E	46.71'
T6	N78°34'12"E	143.05'
T7	S19°42'41"E	2.02'
T8	S18°57'36"E	100.40'
T9	N43°57'36"W	140.00'
T10	S46°02'24"W	103.38'
T11	N75°56'07"E	144.00'
T12	N14°03'53"W	127.23'
T13	N18°57'36"W	36.00'

**Boundary Curve Table**

ID	ARC	RADIUS	DELTA	TANGENT
C1	485.87'	877.00'	31°44'33"	249.34'
C2	104.31'	267.00'	22°23'02"	52.83'
C3	16.71'	25.00'	38°17'46"	8.68'
C4	75.34'	70.00'	61°39'57"	41.78'
C5	14.28'	25.00'	32°43'42"	7.34'
C6	29.53'	25.00'	67°40'37"	16.76'
C7	87.10'	70.00'	71°17'38"	50.20'
C8	100.49'	154.00'	37°23'21"	52.11'
C9	140.23'	481.00'	16°42'13"	70.62'
C10	133.71'	483.00'	15°51'41"	67.29'
C11	198.09'	454.00'	25°00'00"	100.65'
C12	477.42'	915.00'	29°53'43"	244.28'
C13	248.95'	1033.00'	13°48'30"	125.08'
C14	72.90'	114.00'	36°38'16"	37.74'

**GENERAL NOTES**

- EXISTING ZONING: PC  
 PROPOSED DEVELOPMENT: RESIDENTIAL
- TOTAL PROPOSED ACREAGE: 115.9174 AC  
 NUMBER OF LOTS: 567 D.U.  
 PROPOSED DENSITY: 4.88 DU/AC  
 NUMBER OF TRACTS: 50 (27.83 AC)
- PHASE 1A PROPOSED ACREAGE: 63.9121 AC  
 NUMBER OF LOTS: 334 D.U.  
 PROPOSED DENSITY: 5.23 DU/AC  
 NUMBER OF TRACTS: 33 (13.16 AC)
- PHASE 1B PROPOSED ACREAGE: 52.0053 AC  
 NUMBER OF LOTS: 233 D.U.  
 PROPOSED DENSITY: 4.48 DU/AC  
 NUMBER OF TRACTS: 17 (14.67 AC)
- MIN. LOT DIMENSIONS:  
 MINIMUM LOT AREA: 40' X 40'  
 1,600 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS IN PUBLIC ROW TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- ALLEY TRACTS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION.
- LOT SETBACKS SHALL CONFORM TO LEVEL A AND LEVEL B MASTER PLANS.

**SITE DATA**

ZONE ATLAS NO.	R-15-Z & R-16-Z S-15-Z & S-16-Z
ZONING	PC
MILES OF FULL WIDTH STREETS CREATED	5.10 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	567
DENSITY	4.88 DU/AC

**SURVEY NOTES:**

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PCS, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11993".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BAIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**ADDITIONAL NOTES:**

- PUBLIC PARKS - TRACTS U & O.
- PRIVATE PARKS - TRACTS J, T & V. (TO BE OWNED AND MAINTAINED BY H.O.A.)
- TRACTS A-I, K-N, P-S, W-Z & AA-DD ARE PRIVATE TRACTS TO BE OWNED AND MAINTAINED BY H.O.A.
- TRACTS A-L, K-N, P-S, W-Z & AA-DD, ARE ENCUMBERED BY A BLANKET PRIVATE PEDESTRIAN ACCESS EASEMENT AND PRIVATE WATER AND SANITARY SEWER EASEMENT. WATER AND SANITARY SEWER TO BE OWNED AND MAINTAINED BY H.O.A.
- ALLEY TRACTS WILL HAVE A BLANKET PUE, PRIVATE ACCESS, AND PRIVATE DRAINAGE EASEMENTS.

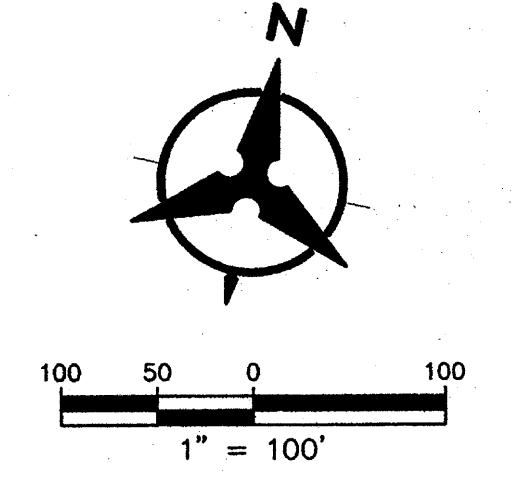
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LEVEL "C" SUBMITTAL  
BULK LAND PLAT AND  
PRELIMINARY PLAT FOR  
**MESA DEL SOL**  
RESIDENTIAL PLAT NO. 1

A REPLAT OF TRACT A BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK BEING A PORTION OF SECTIONS 15, 21, 22, 23, 26, 27, 28, 29, 34 AND 35 TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
MAY, 2008

**LEGEND**

- PHASE BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
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**PHASE 1A**

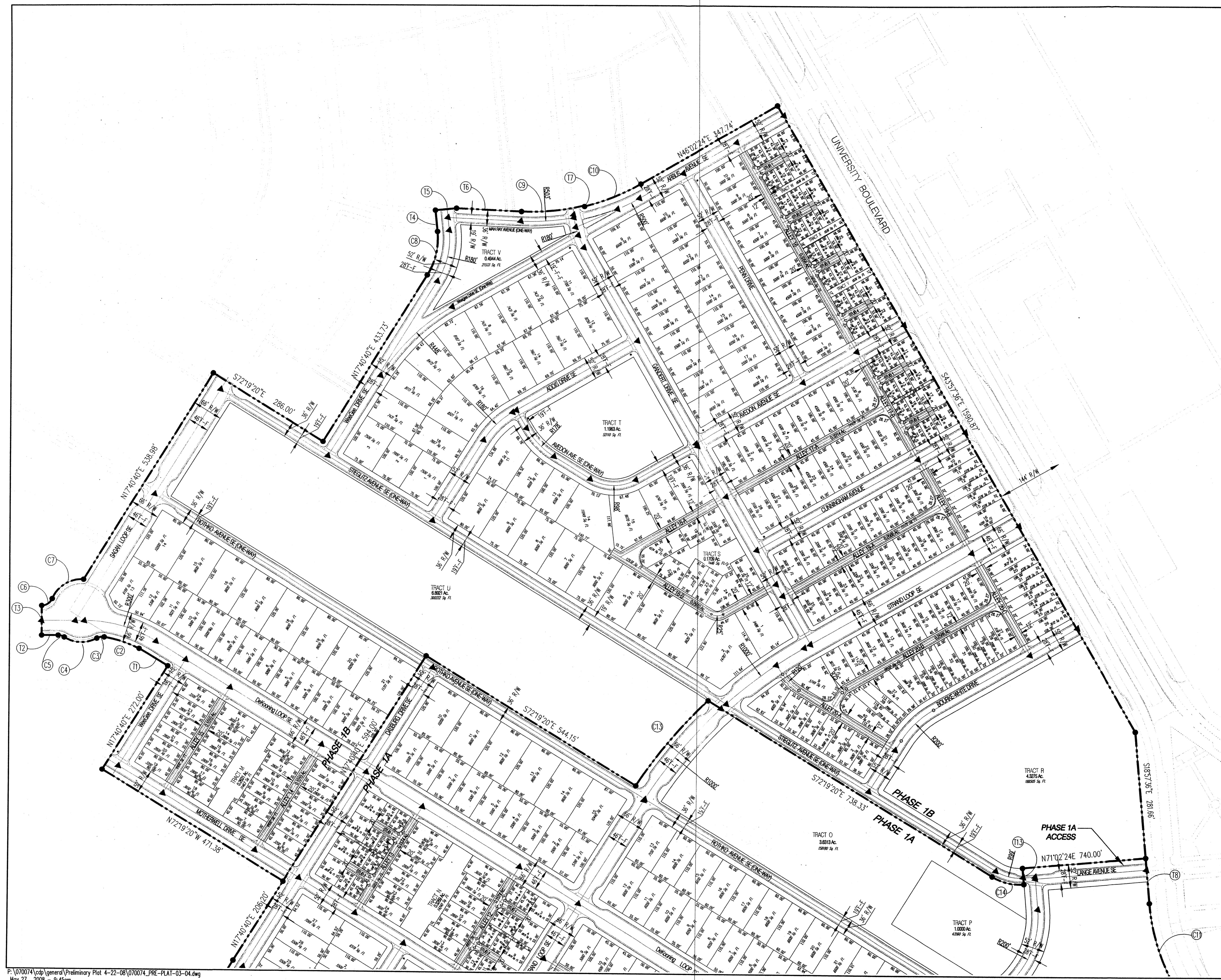
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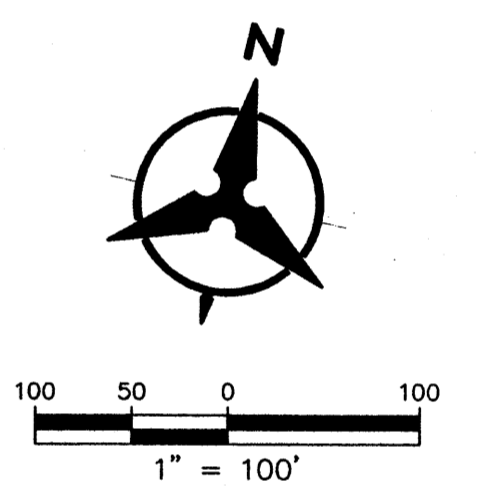
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CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
MAY, 2008



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**PHASE 1B**

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