

**PLAT OF
LOTS 1 THRU 6
HOPE PLAZA**
(BEING A REPLAT OF TRACT B-1-B, HOPE PLAZA)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
**PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

APRIL, 2014

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

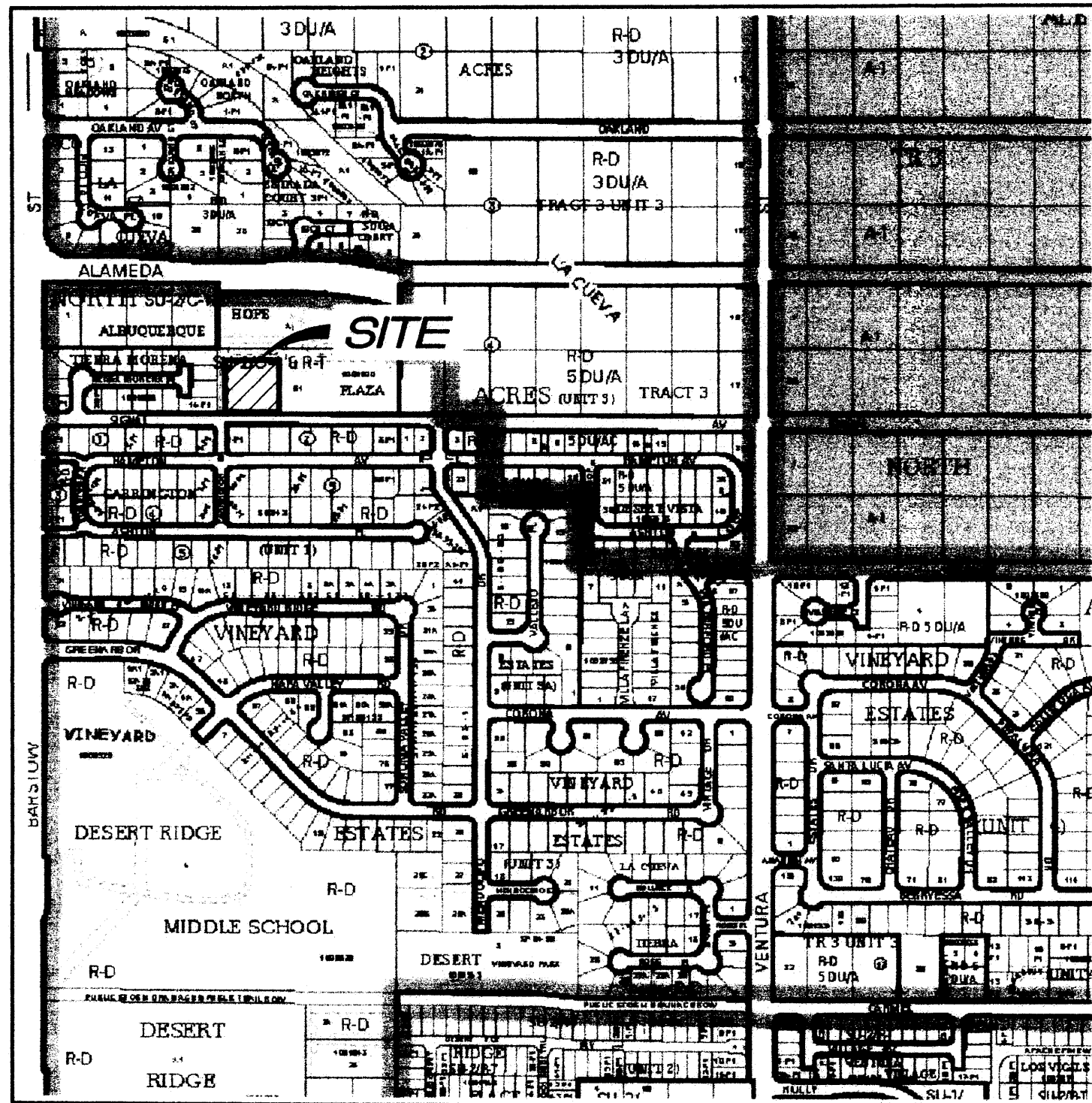
The purpose of this plat is to:

1. Divide existing Tract B-1-B into Six (6) Lots as shown hereon.
2. Dedicate the Public street right of way to the City of Albuquerque as shown hereon.
3. Grant the Public Easements as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
April 8, 2014



VICINITY MAP
Not To Scale

GENERAL NOTES

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
8. Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
9. City of Albuquerque Zone Atlas Page C-20.

SUBDIVISION DATA

1. Total number of existing Tracts: 1
2. Total number of Lots created: 6
3. Gross Subdivision acreage: 0.7799 acres
4. Public Street right of way dedicated: 0.0994 acres

PROJECT #: 1006520
 DATE: 4-23-14
 APP #: 14-70104 (SPV)
 14-70105 (PIF)

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico _____ Date _____

New Mexico Gas Company _____ Date _____

Qwest Corporation d/b/a CenturyLink QC. _____ Date _____

Comcast _____ Date _____

CITY APPROVALS:

Dail P. Sedfor 4/14/14
City Surveyor _____ Date _____
Department of Municipal Development

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

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BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2014

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in Projected Section 17, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Tract B-1-B, Hope Plaza as the same is shown and designated on the plat entitled "PLAT OF TRACTS B--A AND B-1-B1, HOPE PLAZA, (BEING A REPLAT OF TRACT B-1, HOPE PLAZA) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on March 20, 2014 in Plat Book 2014C, Page 20.

Said parcel contains 0.7799 acre, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOTS 1 THRU 6, HOPE PLAZA (BEING A REPLAT OF TRACT B-1-B, HOPE PLAZA) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the Public Street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants by this plat. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Hopeful Dirt, LLC

William Fanning
 By: *William Fanning*, Managing Member

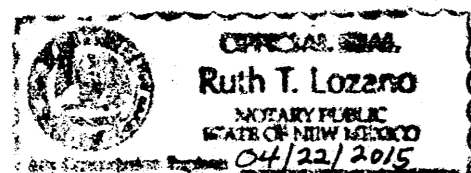
ACKNOWLEDGMENT

STATE OF NEW MEXICO

COUNTY OF Bernalillo SS

The foregoing instrument was acknowledged before me this 10th day of April, 2014, by William Fanning as Managing member of Hopeful Dirt, LLC

Ruth T. Lozano My commission expires 04/22/2015
 Notary Public



NOTES PERTAINING TO SUBJECT PROPERTY

Tracts B-1-A and B-1-B are subject to the existing conditions, covenants, conditions and easements as cited on prior plat of Hope Plaza filed April 17, 2012 as follows:

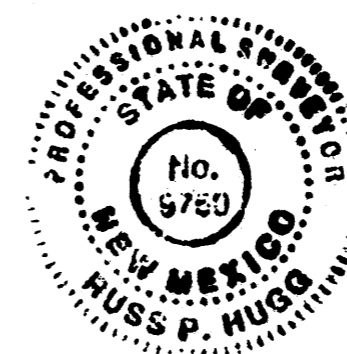
1. No direct vehicular access to former Tract C, Hope Plaza is permitted from Alameda Boulevard. An access easement to Alameda Boulevard was granted across Lot 9, Block 4, North Albuquerque Acres, Tract 3, Unit 3 by document filed 01-09-2008, as Doc. # 2008002906, records of Bernalillo County, New Mexico.
2. A portion of former Tract B, Hope Plaza is subject to a Declaration of Covenants, filed 01-09-2008 as Doc. # 2008002903, records of Bernalillo County, New Mexico.
3. A portion of former Tract B, Hope Plaza is subject to an Access, Drainage and Shared Parking Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. # 2008002904, modified by instrument filed 06-08-2009 as Doc. # 2009064058, and by instrument filed 06-08-2009 as Doc. # 2009064059, records of Bernalillo County, New Mexico.
4. A portion of former Tract B, Hope Plaza is subject to a Sign Easement Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. # 2008002905, records of Bernalillo County, New Mexico.
5. A portion of former Tract C, Hope Plaza is subject to a Preliminary Pre-Development Fee Agreement with Albuquerque Public Schools, filed 01-09-2008 as Doc. # 2008002907, records of Bernalillo County, New Mexico.
6. A portion of former Tract C, Hope Plaza is subject to a Patent, filed 10-27-1923 in Book 80, Page 353, records of Bernalillo County, New Mexico.
7. A portion of former Tract C, Hope Plaza may be subject to a Temporary Drainage Easement, filed 09-06-2007 as Doc. # 2007128672, records of Bernalillo County, New Mexico.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- a. Plat entitled "PLAT OF TRACT B-1, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 17, 2012 in Plat Book 2012C, Page 43.
- b. Plat entitled "PLAT OF TRACTS A, B, AND C, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2008 in Plat Book 2008C, Page 6.
- c. Plat of "NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121.
- d. Plat entitled "PLAT OF TIERRA MORENA SUBDIVISION SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 17, T. 11 N., R. 4 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 22, 2005 in Plat Book 2005C, Page 125.
- e. Plat entitled "CORRECTION PLAT, VACATION AND REPLAT OF LOTS 1 THRU 8 AND LOTS 23 THRU 32, BLOCK 5, TOGETHER WITH A PORTION OF SIGNAL AVENUE N.E., AND A PORTION OF WILSHIRE AVENUE N.E., NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 TO CARRINGTON SUBDIVISION, UNIT ONE, SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 17, T. 11 N., R. 4 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on August 6, 1993 in Plat Book 93C, Page 225.
- f. Plat entitled "PLAT OF TRACTS B--A AND B-1-B1, HOPE PLAZA, (BEING A REPLAT OF TRACT B-1, HOPE PLAZA) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on March 20, 2014 in Plat Book 2014C, Page 20.



SHEET 2 OF 3

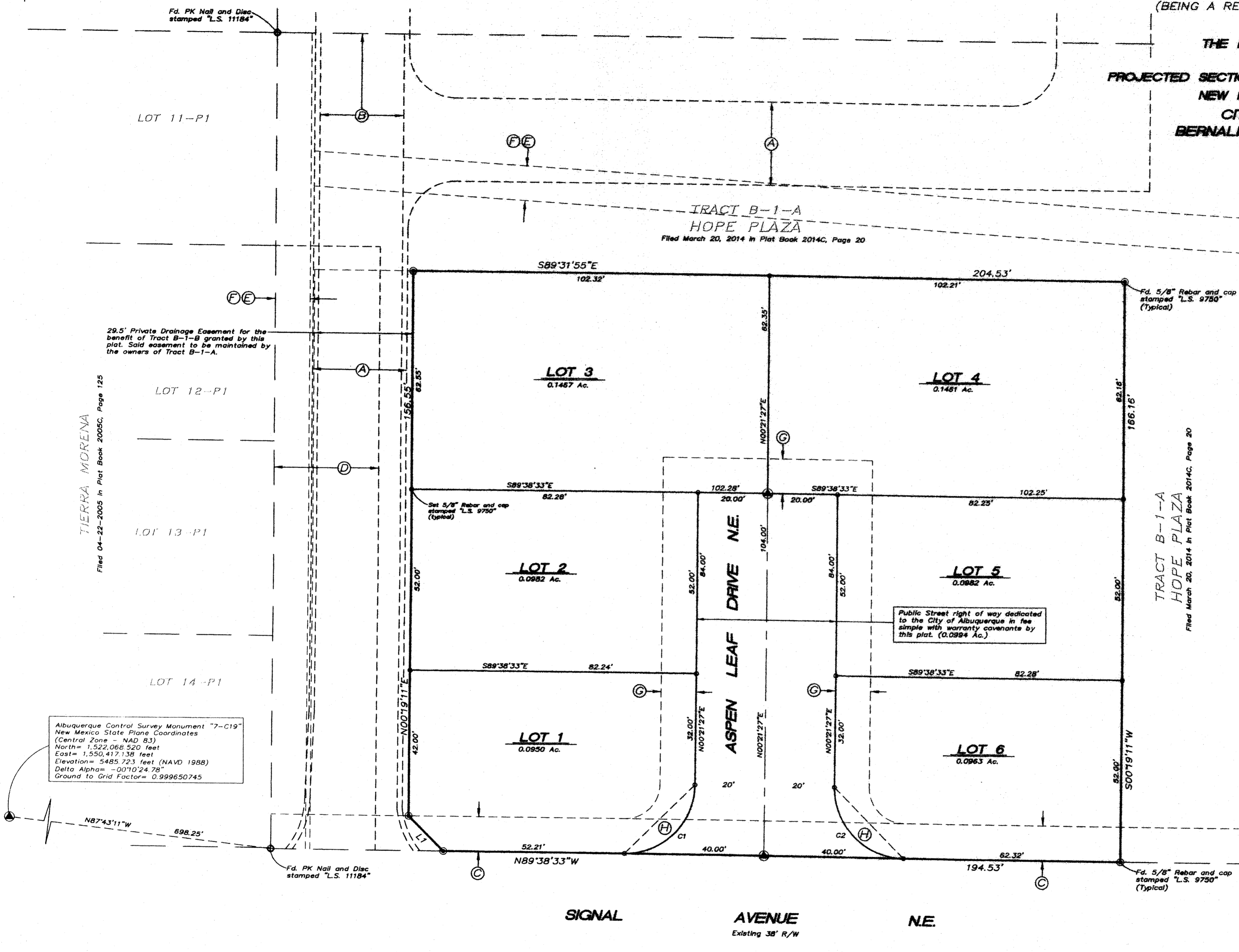
SURVOTEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	31.42'	20.00'	20.00'	28.28'	N45°21'27"E	89°59'58"
C2	31.42'	20.00'	20.00'	28.28'	S44°38'32"E	89°59'58"

LINE TABLE		
LINE	LENGTH	BEARING
L1	14.15	N44°39'41"W

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EASEMENT LEGEND

- (A) Existing Private Access Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve Tracts A and B. Maintenance and operation of this easement shall be in accordance with the Hope Plaza Owner's Agreement filed 01-09-2008, Document No. 2008002904.
- (B) Existing Private Drainage Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve Tract A. Maintenance and operation of this easement shall be in accordance with the Hope Plaza Owner's Agreement filed 01-09-2008, Document No. 2008002904.
- (C) Existing Public Utility Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6.
- (D) Approximate location of Existing Private Drainage Easement granted by Document filed 06-09-2004 in Book A79, Page 278 as Document No. 2004080490.
- (E) Existing 10' PNM Joint Electric and Gas Easement granted by Document filed 09-30-2008 as Document No. 2008107716.
- (F) Existing 10' Qwest Corporation d/b/a Centurylink QC and Comcast Cable Easement granted by plat filed 04-17-2012 in Plat Book 2612C, page 43.
- (G) New 10' Public Utility Easement granted by this plat.
- (H) Private Landscape Easement granted by this plat for the benefit of the Hope Plaza Homeowners Association. Said easement to be maintained by the respective Lot owners in which the easement resides.

Albuquerque Control Survey Monument "7-C19"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North = 1,522,068.520 feet
 East = 1,550,417.138 feet
 Elevation = 5485.723 feet (NAVD 1988)
 Delta Alpha = -00°10'24.78"
 Ground to Grid Factor = 0.999650745

TRACT B-1-A
 HOPE PLAZA
 Filed March 20, 2014 in Plat Book 2014C, Page 20

TIERRA MORENA
 Filed 04-22-2005 in Plat Book 2005C, Page 125

CARRINGTON SUBDIVISION UNIT ONE
 Filed 08-06-1993 in Volume 93C, Folio 225

SURVOTEK, INC.
 Consulting Surveyors
 8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

PROJECT #: 1006520
 DATE: 4-23-14
 APP#: H-1006520 (SD)
 14-10105 (P/P)

INDEX OF DRAWINGS:

SHEET-1	SITE PLAN
SHEET-2	GRADING & DRAINAGE PLAN
SHEET-3	SITE UTILITY PLAN
SHEET-4	LANDSCAPE PLAN
SHEET-5	BUILDING ELEVATIONS
SHEET-6	BUILDING ELEVATIONS

DESIGN DATA:

LEGAL DESCRIPTIONS:	LOTS 4 & 6 LOTS 25-28, BLOCK 4, TRACT 3, UNIT 3 NORTH ALBUQUERQUE ACRES, 6.1928 ACRES
ZONE MAP:	C-20-Z (ZONE ATLAS JUNE 1998)
C.O.A. ZONE CODE:	SU-2 FOR O-1 & R-T USES (ALBUQ. ZONE CODE 1991)

PROJECT BREAKDOWN

AREAS (GROSS SQUARE FEET):

PHASE 1	CHURCH & RELATED SPACES (MAIN SANCTUARY CAPACITY - 300 FIXED SEATS)	14,000 GSF
OFFICE BUILDINGS	21-2 STORY OFFICE BUILDINGS @ 22,000 GSF EA.	44,000 GSF
FUTURE PHASES	HEATING CENTER (16 HOBBIE UNITS)	19,000 GSF
	CHURCH ADMINISTRATION (OFFICES AND PARISH HALL)	5,700 GSF

PARKING REQUIREMENTS:

PARKING REQUIRED:	OFFICES @ 43,676 GSF	109.19
	GROUND: 21,838 GSF/200	72.79
	SECOND: 21,838 GSF/300	72.79
	CHURCH: 280 SEATS @ 4	7.00
	SHARED PARKING REDUCTION @ 20% (+50.40)	(-50.40)
	BUS REDUCTION @ 5% (+12.8)	(-12.8)
	NET REQUIRED	189 SPACES

PARKING PROVIDED:

SHARED PARKING	159
OFFICES-VISITOR PARKING	20
CHURCH AT CIRCLE	10
TOTAL	189 SPACES

PARKING REQUIREMENTS: RESIDENCES

PARKING REQUIRED:	6 UNITS @ 3 BATHS EA.	18
PARKING PROVIDED:	6 UNITS W/ 2 CAR GARAGE	12
	6 UNITS W/ 2 CAR DRIVEWAY	12
TOTAL		24 SPACES

ACCESSIBLE PARKING SPACES:

TOTAL ACCESSIBLE SPACES REQUIRED:	100-300 SPACES REQUIRES 8
(PER ALBUQUERQUE ZONE CODE 14-16-3-1-A-3)	
TOTAL HANDICAP PARKING SPACES PROVIDED:	8
TOTAL "VAN" ACCESSIBLE SPACES REQUIRED:	1 FOR EVERY 8 HANDICAP SPACES.
(PER NMBC SECTION 3113: ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES)	
TOTAL "VAN" HANDICAP PARKING SPACES PROVIDED:	1

BICYCLE SPACE REQUIREMENTS:

SPACES REQUIRED:	10
SPACES PROVIDED:	10

MOTORCYCLE SPACE REQUIREMENTS:

SPACES REQUIRED:	5
SPACES PROVIDED:	5

Sustainable Building Applications:

- Building orientation:** Office buildings are configured with the long axis oriented east/west and large windows located on north and south sides to maximize day-lighting.
- Windows:** To control of solar heat gain, west-facing glazing will be limited and protected with overhangs. Glazing shall be low-e, insulated, on east, south, and west elevations, and clear, insulated on north elevations. South windows shall be protected with eavebreakers or overhangs.
- Building footprints and insulation:** Building footprints have been designed to minimize exterior walls to the extent possible. The church shall include a basement to contain classrooms. Wall and roof insulation shall be maximized.
- Air quality:** Adhesives, sealants, carpeting, and paint with low to no emissions of volatile organics (VOC's) shall be specified.
- Roofs:** Cool roofing, using a highly reflective finish, (energy star-compliant) shall be employed.
- Locally-sourced and recycled building materials:** To the extent possible, building materials manufactured in our region (500 mile radius) shall be specified to reduce costs of transportation. Recycled building materials shall be incorporated where possible.
- Mechanical systems:** Mechanical equipment that operates with low energy usage shall be selected. Energy management systems shall be used to monitor and minimize energy usage.
- Electrical systems:** The most energy-efficient lighting shall be used along with either timers or motion sensor controls.
- Water harvesting:** Site runoff shall be controlled wherever possible to irrigate planting areas and reduce or eliminate off-site discharge.

RESIDENTIAL DESIGN STANDARDS:

THE SIX HOUSES IN THIS SUBDIVISION SHALL BE DETACHED, SINGLE FAMILY, RESIDENCES. HOUSES ON LOTS 1, 2, 5, AND 6 SHALL BE "LOT LINE". ALL HOUSES SHALL BE A COMBINATION OF ONE AND TWO STORY, FLAT ROOF STRUCTURES. THEY SHALL BE DESIGNED IN A CONTEMPORARY PUEBLO STYLE COMPATIBLE WITH AND SIMILAR TO THE TWO OFFICE BUILDINGS AND THE CHURCH IN HOPE PLAZA.

THE SIX LOTS ARE APPROXIMATELY 5,000 SF EACH. MINIMUM LOT SIZE FOR A DETACHED HOUSE IN AN R-T ZONE IS 3,600 SF. "O" LOT LINE CONFIGURATION WILL RESULT IN MINIMUM "O"

WIDE SIDE YARDS ALONG WITH 15' REAR YARDS PROVIDING READILY USABLE AREAS FOR PATIOS AND LANDSCAPING. EACH HOUSE WILL HAVE A FULL TWO-CAR GARAGE AND DOUBLE WIDTH DRIVEWAY FOR A TOTAL OF 4 PARKING SPACES PER LOT.

HOUSE CONSTRUCTION SHALL BE AS FOLLOWS:

FOUNDATIONS: REINFORCED CONCRETE SPREAD FOOTINGS.

GROUND FLOORS: 4" CONCRETE SLABS ON COMPACTED EARTH FILL.

2ND FLOORS: PRE-ENGINEERED WOOD FLOOR JOISTS AND PLYWOOD DECK.

ROOF FRAMING: PRE-ENGINEERED WOOD TRUSS CONSTRUCTION WITH SLOPED TOP CHORDS FOR POSITIVE ROOF DRAINAGE. TRUSSES MINIMUM OF 12 DEEP.

ROOF: ADHERED SINGLE MEMBRANE ROOF SYSTEM WITH MINIMUM OF 1/4" PER FOOT SLOPES.

EXTERIOR WALLS: 6" WOOD STUDS AT 16" OC, EXCEPT FOR "O" LOT LINE WALLS COMBINATION 8" CONCRETE MASONRY AND 4" WOOD FRAME WALL.

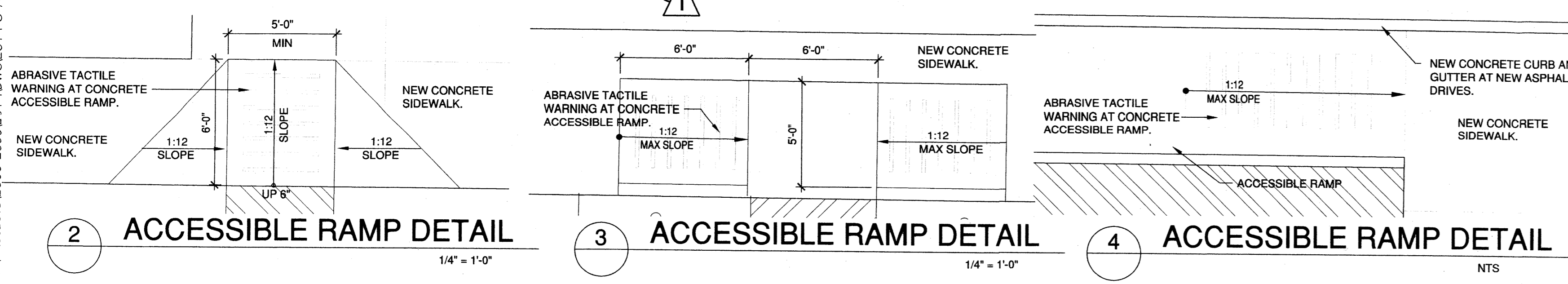
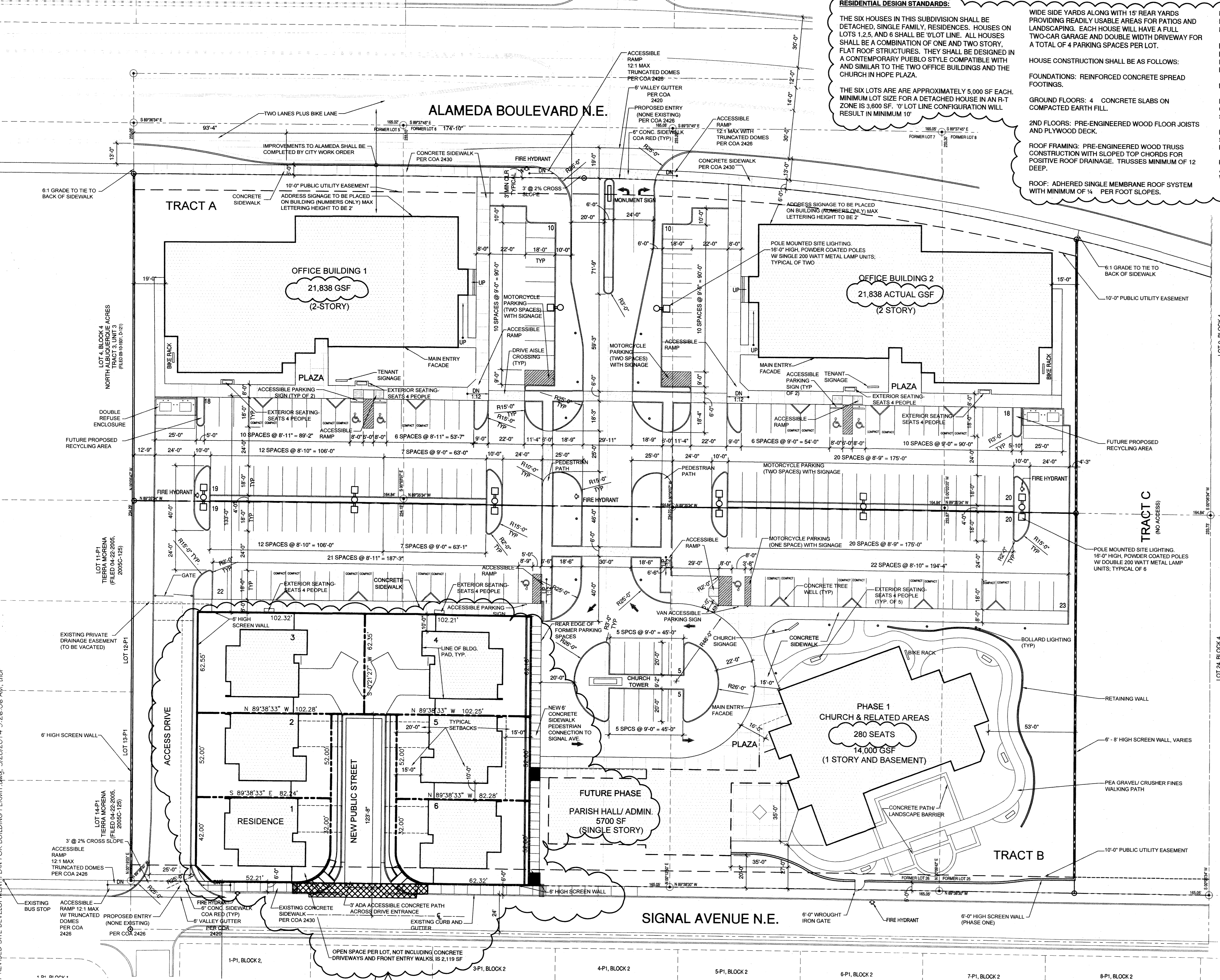
INSULATION WALLS: 6" EXTERIOR WALLS BATT 6" INSULATION OR EQUIVALENT. "O" LOT LINE WALLS: PERLITE FILL IN CONCRETE MASONRY AND 4" BATT INSULATION OR EQUIVALENT IN FRAME WALLS.

INSULATION, ROOF: 12" BATT OR EQUIVALENT R-VALUE

EXTERIOR WALL FINISHES: SYSTEM OF PORTLAND CEMENT STUCCO AND SYNTHETIC (100% ACRYLIC) STUCCO; CONCRETE MASONRY ACCENTS.

EXTERIOR COLOR PALETTE: NEUTRAL WARM TONES SIMILAR TO THE OFFICE BUILDINGS AND CHURCH IN HOPE PLAZA.

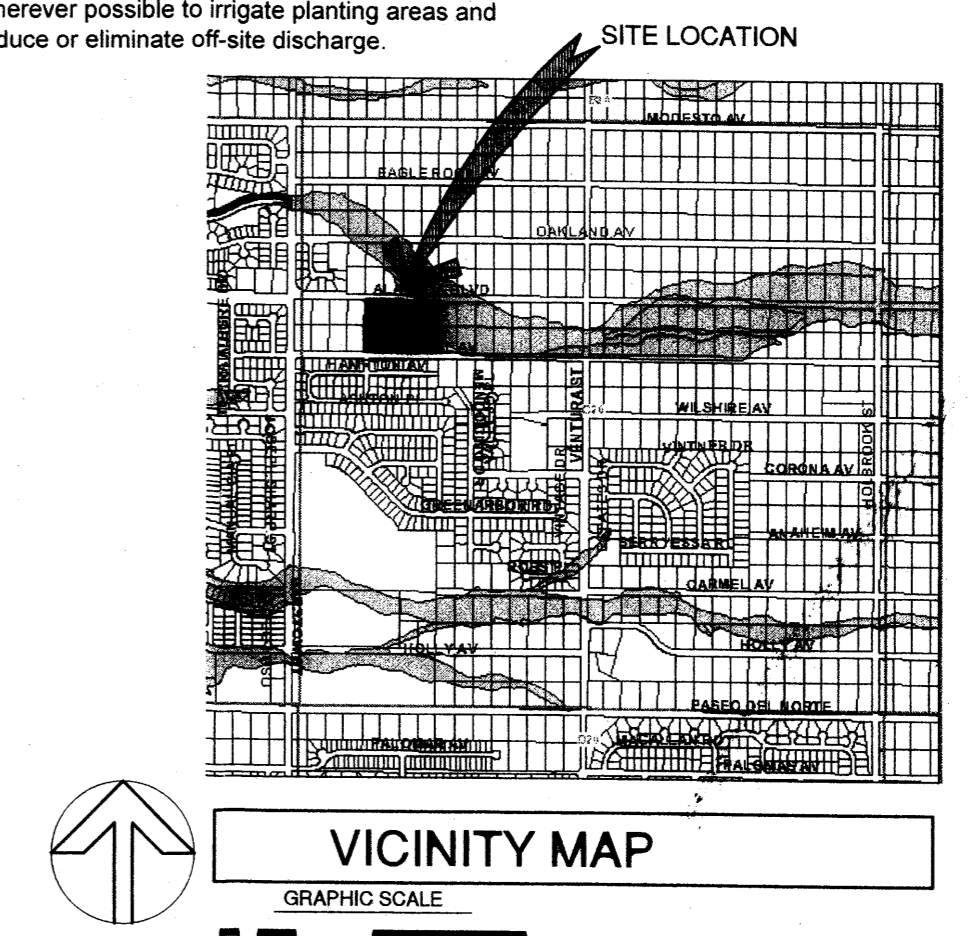
HEATING AND COOLING SYSTEM: GAS-FIRED FORCED AIR HEATING AND REFRIGERATED AIR CONDITIONING WITH UNDER-FLOOR AND OVERHEAD DUCTS.



SITE PLAN

SITE PLAN GENERAL NOTES:

- ALL DRIVE AISLE CROSSINGS SHALL BE COLOR INTEGRAL CONCRETE, TERRA COTTA COLOR
- ROOF TOP UNITS SHALL BE SCREENED BY LOW STUCCO WALLS. STUCCO COLOR TO MATCH BUILDING STUCCO COLORS
- ROOF TOP COLOR SHALL BE WHITE OR TAN
- LA CUEVA OPEN SPACE REQUIREMENTS HAVE BEEN MET
- FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB



fb ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6180 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone: 505/883.5200
 Facsimile: 505/884.5390
 Web: www.fbtarch.com

HOPE PLAZA

A CO-DEVELOPMENT OF
 HOPE EPISCOPAL CHURCH
 AND HOECH
 REAL ESTATE CORP.
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2007
 REVISED OCTOBER, 2007
 REVISED NOVEMBER, 2007
 REVISED NOVEMBER, 2013

SHEET TITLE

AMENDED SITE DEVELOPMENT
 PLAN FOR BUILDING PERMIT

1 OF 6

DRB SITE DEVELOPMENT PLAN APPROVAL:
 PROJECT NUMBER: 1006520 APPLICATION NUMBER: 13EPC-40157

SOLID WASTE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
ABCWUA	DATE
CITY ENGINEER, ENGINEERING DIV./AMAFCA	DATE

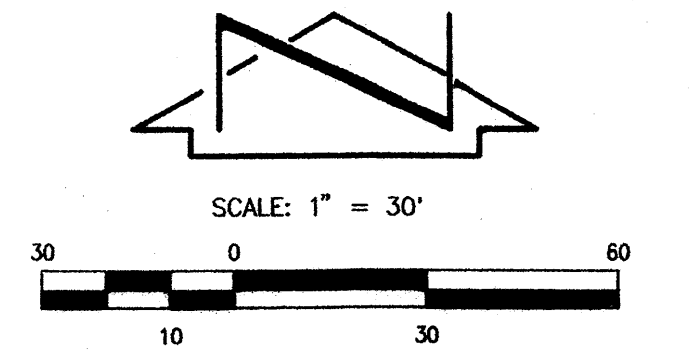
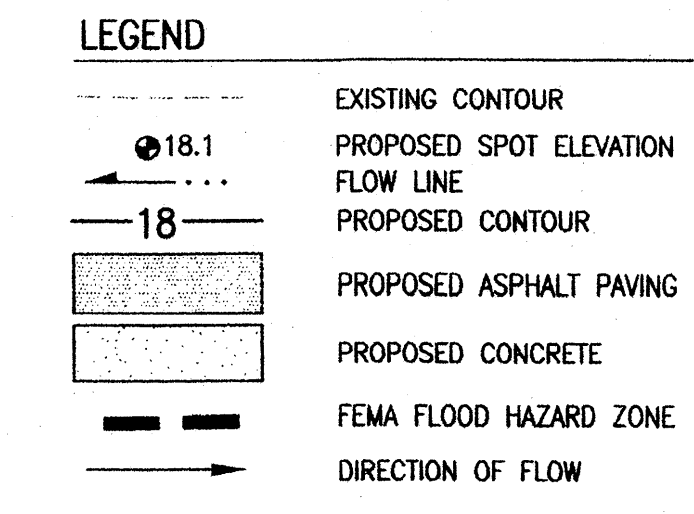
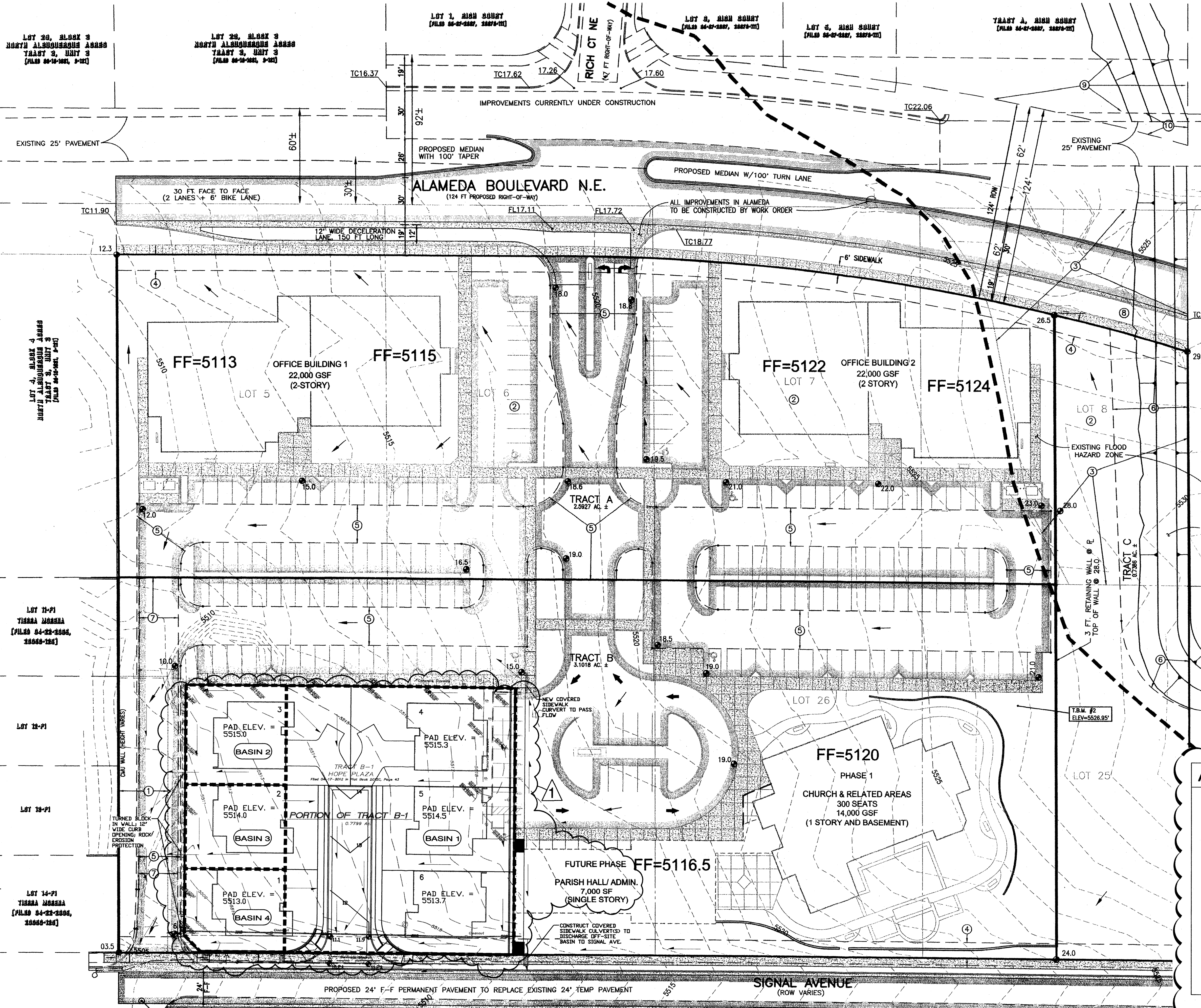
APPROVAL AND CONDITIONAL ACCEPTANCES: AS SPECIFIED BY DEVELOPMENT PROCESS MANUAL.

DRB CHAIRPERSON
 PLANNING DEPARTMENT

DATE

FEBRUARY 21, 2014

M:\PROJECTS\2000-2002\2014 C-701 REVISED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.dwg, 3/28/2014 9:26:06 AM, fbr



LEGAL DESCRIPTION
 LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

PROJECT BENCHMARK
 ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E.
 ELEVATION = 5480.974 FEET (NGVD 1929)

T.B.M. #1
 ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE.
 ELEVATION = 5503.27 FEET (NGVD 1929)

T.B.M. #2
 FLAGGED NAIL 116"± WEST OF EAST SIDE FENCE AND 160"± NORTH OF SOUTH SIDE FENCE.
 ELEVATION = 5526.95 FEET (NGVD 1929)

ZONING
 SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)
 LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN

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- ⑨ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

DRAINAGE NARRATIVE

THE SITE IS CURRENTLY UNDEVELOPED. A PORTION OF THE SITE LIES WITHIN A MAPPED FLOODPLAIN, HOWEVER, A RECENTLY COMPLETED AMAFCA PROJECT CONSTRUCTED A DIVERSION BERM AND CONCRETE CHANNEL ON THE LA CUEVA ARROYO AND ELIMINATED THE OFFSITE FLOWS. A LOWR FROM FEMA WILL OFFICIALLY ELIMINATE THE FLOODPLAIN.

THE SITE GENERALLY SLOPES FROM EAST TO WEST. THE PROPOSED SITE WILL FOLLOW THE EXISTING TRENDS AND SLOPE FROM EAST TO WEST. THE SITE FOLLOW THE MAJ MASTER DRAINAGE PLAN WHEREBY MOST OF THE NORTHERN TRACT WILL MOSTLY DRAIN TO ALAMEDA, AND THE REMAINING SITE WILL DRAIN TO SIGNAL. SIGNAL IS IMPROVED AND CAN CONVEY THE FLOWS. ALAMEDA WEST OF THE SITE LACKS CURB AND GUTTER, AND INTERIM DITCH IMPROVEMENTS ARE ANTICIPATED ON THE SOUTH SIDE OF ALAMEDA TO CARRY THE FLOWS TO BARSTOW.

A SMALL (APPROX. 3 FT TALL) RETAINING WALL WILL BE CONSTRUCTED ALONG THE WEST EDGE OF TRACT C WHICH WILL BE PART OF A FUTURE RESIDENTIAL DEVELOPMENT PLANNED TO THE EAST. THERE ARE NO PERIMETER RETAINING WALLS PLANNED WITH THIS DEVELOPMENT. THERE WILL BE INTERNAL WALLS AND BUILDING STEPS TO ACHIEVE GRADE CHANGES.

AMENDED DRAINAGE CONCEPT

THE PROPOSED RESIDENTIAL SITE DRAINAGE WILL DISCHARGE FROM THE PROPOSED DEVELOPMENT TO SIGNAL AVENUE VIA THE PROPOSED SITE ACCESS ENTRANCE (BASIN 1) AND THE EXISTING CHURCH ACCESS ROAD (BASINS 2, 3 AND 4). BASED ON THE 100-YEAR 6-HOUR CALCULATIONS, THE DEVELOPED SITE WILL GENERATE 3.5 CFS:

BASIN 1: APPROXIMATELY 2.5 CFS WILL FREE DISCHARGE TO SIGNAL AVENUE VIA THE PROPOSED SITE ACCESS ENTRANCE.

BASIN 2: APPROXIMATELY 0.4 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

BASIN 3: APPROXIMATELY 0.3 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

BASIN 4: APPROXIMATELY 0.3 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

TOTAL DISCHARGE TO EXISTING CHURCH ACCESS ROAD = B2+B3+B4 = 1.0 CFS.

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 2014 CG-101 CONCEPTUAL FOR BUILDING PERMIT.dwg Mar 27, 2014

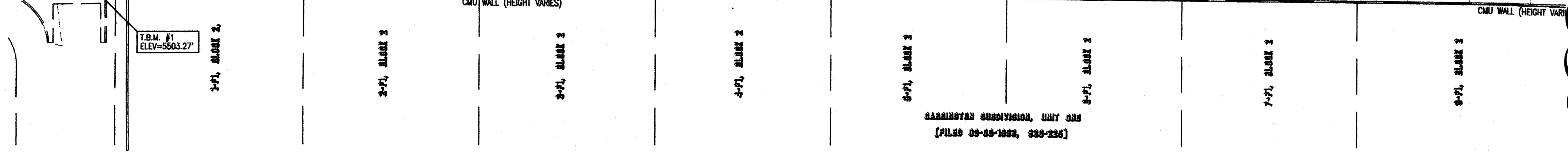
HIGH MESA Consulting Group
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HOPE PLAZA
 A CO-DEVELOPMENT OF
 HOPE EPISCOPAL CHURCH
 AND HOECH
 REAL ESTATE CORP.
 ALBUQUERQUE, NEW MEXICO
 JUNE 2007

SHEET TITLE **AMENDED**
 PRELIMINARY GRADING
 PLAN

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 File Name: 60473GP.DWG
 Plot Date: 11-29-2007
 Plot Time: 09:49 am



REGISTERED SURVEYOR, UNIT 028
 [FILED 09-09-2008, 530-238]

LOT 29, BLOCK 3
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 04-18-2007, 8-10)

LOT 28, BLOCK 3
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 04-18-2007, 8-10)

LOT 1, HIGH COURT
(FILED 04-07-2007, 2007-10)

LOT 2, HIGH COURT
(FILED 04-07-2007, 2007-10)

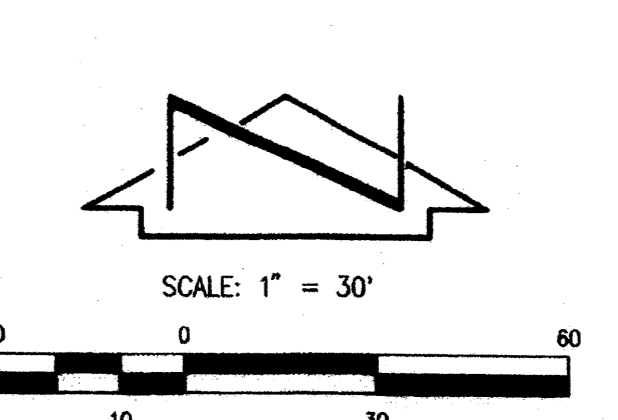
LOT 3, HIGH COURT
(FILED 04-07-2007, 2007-10)

TRACT A, HIGH COURT
(FILED 04-07-2007, 2007-10)

LOT 24, BLOCK 3
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 04-18-2007, 8-10)

LEGEND

LEGAL DESCRIPTION
 LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3
PROJECT BENCHMARK
 ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E. ELEVATION = 5480.974 FEET (NGVD 1929)
T.B.M. #1
 ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE. ELEVATION = 5503.27 FEET (NGVD 1929)
T.B.M. #2
 FLAGGED NAIL 116"± WEST OF EAST SIDE FENCE AND 160"± NORTH OF SOUTH SIDE FENCE. ELEVATION = 5526.95 FEET (NGVD 1929)
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LOT 8, BLOCK 4
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 04-18-2007, 8-10)

LOT 24, BLOCK 4
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 04-18-2007, 8-10)

PROPOSED IMPROVEMENTS

1. 4" WATERLINE
2. SINGLE METER SERVICE
3. DOUBLE METER SERVICE
4. 8"X4" TEE
5. 4" GATE VALVE
6. 8" SANITARY SEWER LINE
7. 4" DIA. MANHOLE
8. 4" SEWER SERVICE

LEGEND

- WL— EXISTING WATERLINE
- SAS— EXISTING SEWER LINE
- WB— WATER METER & BOX
- FH— FIRE HYDRANT
- GV— GATE VALVE W/ BOX
- MH— MANHOLE
- SS— SEWER SERVICE

MARCH 26, 2014

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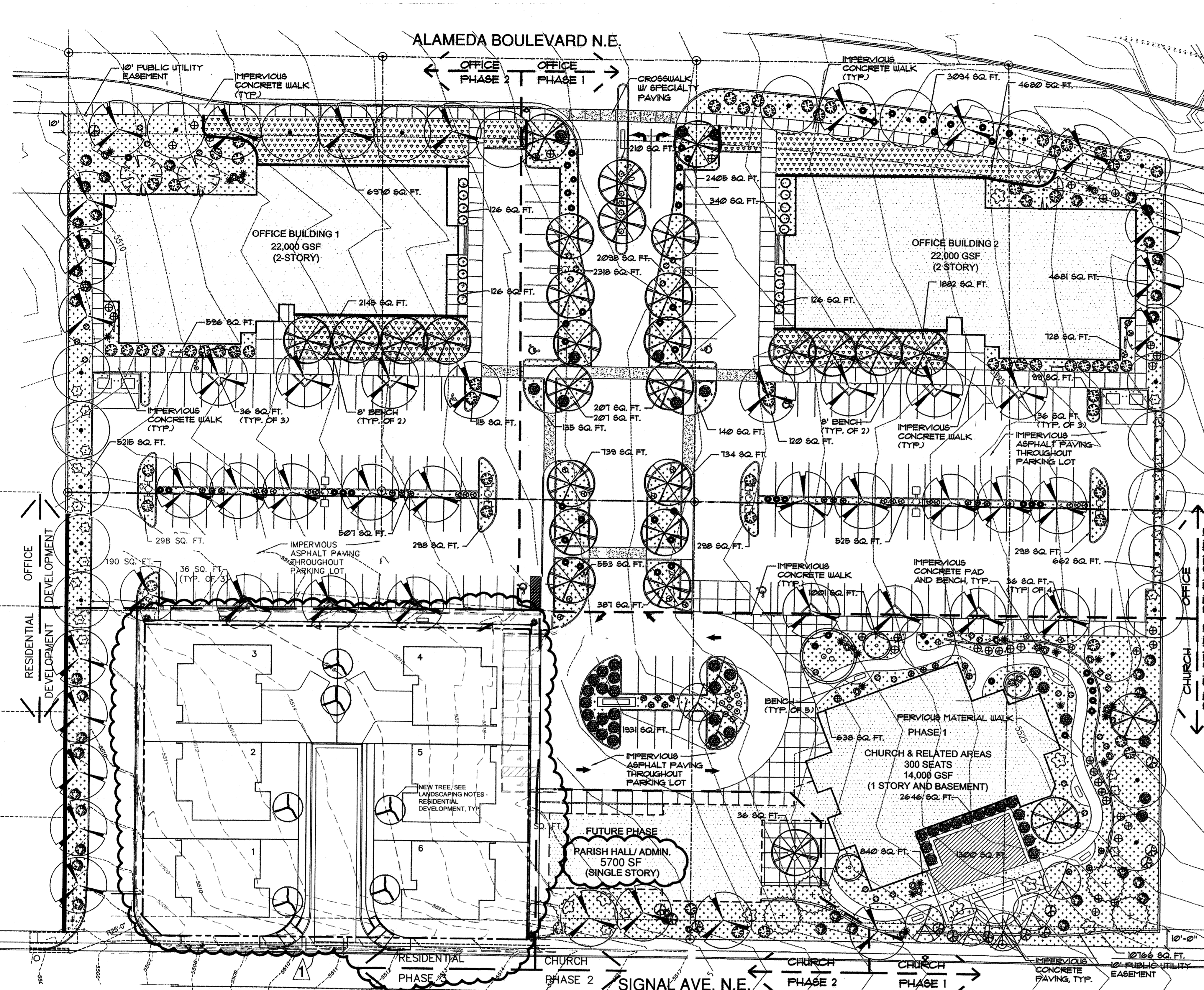
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 JUNE 2007

SHEET TITLE **AMENDED**
 CONCEPTUAL UTILITY
 PLAN

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 Plot Date: 11-29-2007
 Plot Time: 09:41 am

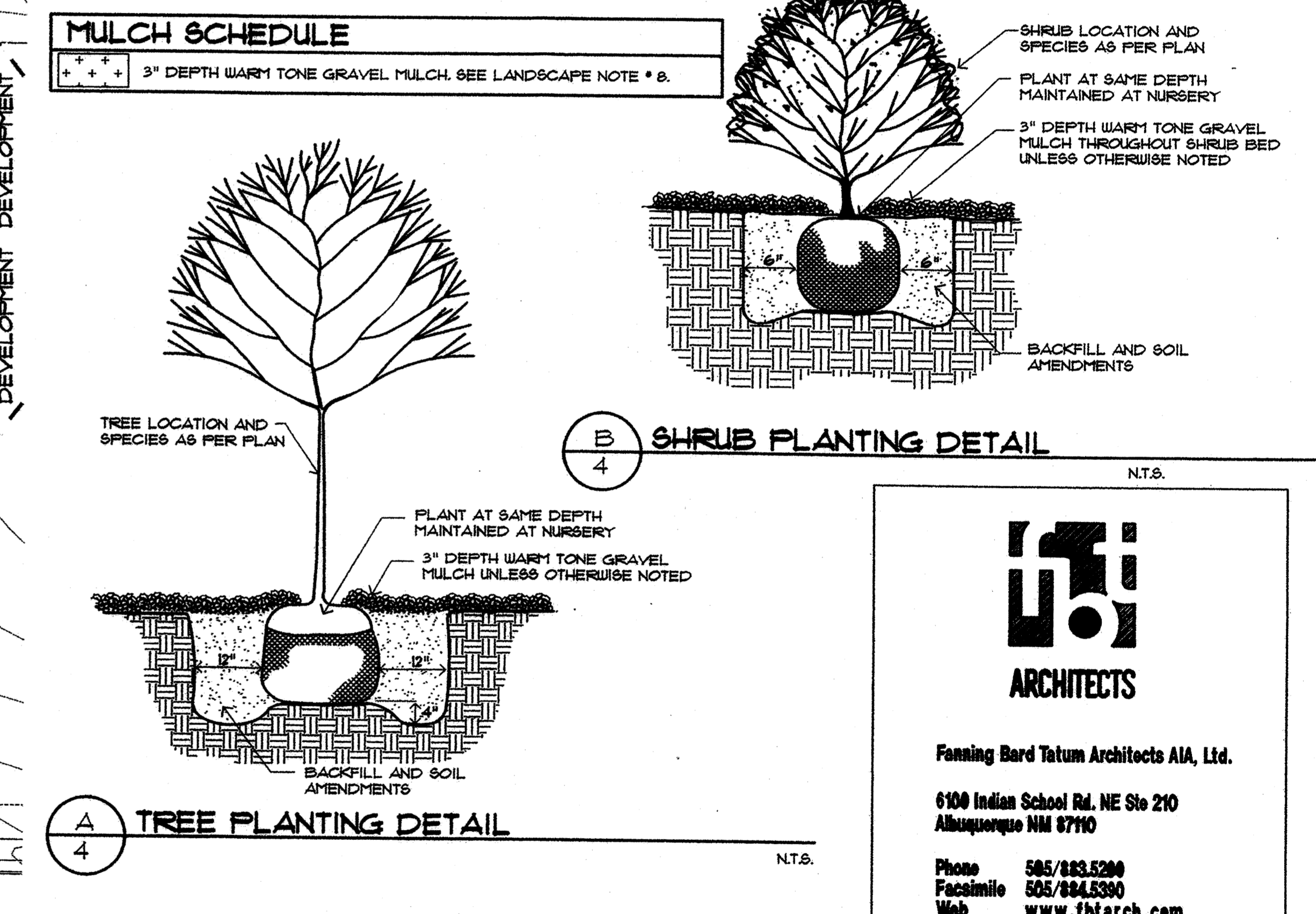
SARRINGTON SUBDIVISION, UNIT 824
 (FILED 04-08-1993, 934-234)

LOT 1, LOT 3, 2006.047.3 TRACT 3



PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		REMARKS	WATER USE
				INSTALLED	MATURE		
TREES							
(Symbol)	Austrian Pine	Pinus nigra	10	5' - 7' ht.	30' ht, 20' spd.	30" Box	M
(Symbol)	Aristocrat Pear	Pyrus calleryana 'Aristocrat'	8	2" cal, 10' - 12' ht.	20' ht, 4' spd.	30" Box	M
(Symbol)	Chinese Pistache	Pistacia chinensis	30	2" cal, 12' - 14' ht.	40' ht, 25' spd.	30" Box	M
(Symbol)	Desert Willow	Chilopsis linearis	1	2" cal, 12' - 14' ht.	25' ht, 20' spd.	30" Box	M
(Symbol)	Honey Locust	Gleditsia triacanthos nemris 'True shade'	32	2" cal, 12' - 14' ht.	50' ht, 25' spd.	30" Box	M
(Symbol)	Shumard Oak	Quercus shumardii	34	2" cal, 12' - 14' ht.	30' ht, 25' spd.	30" Box	L
(Symbol)	Washington Hawthorn	Crataegus phaenopyrum	3	2" cal, 10' - 12' ht.	30' ht, 20' spd.	30" Box	M
SHRUBS							
(Symbol)	Apache Plume	Fallugia paradoxa	27	Min. 18" ht.	5' ht, 6' spd.	5-Gal.	L
(Symbol)	Blue Mist Spirea	Caryopteris x clandonensis	34	Min. 18" ht.	4' ht, 4' spd.	5-Gal.	L
(Symbol)	Butterfly Bush	Buddleia davidii	10	Min. 18" ht.	6' ht, 4' spd.	5-Gal.	M
(Symbol)	Cherry Sage	Salvia greggii	32	Min. 12" ht.	3' ht, and spd.	5-Gal.	M
(Symbol)	Dammeri Cotoneaster	Cotoneaster dammeri	59	Min. 12" spd.	6" ht, 6' spd.	5-Gal.	L
(Symbol)	Karl Foerster	Molina caerulea arundinacea 'Karl Foerster'	25	Min. 8" ht.	2' ht, 4' spd.	5-Gal.	M
(Symbol)	Lavender	Lavandula angustifolia	51	Min. 6" ht.	4' ht, 4' spd.	2-Gal.	L
(Symbol)	Maiden Grass	Miscanthus sinensis 'Gracillimus'	21	Min. 12" ht.	6' ht, 3' spd.	5-Gal.	M
(Symbol)	Nandina	Nandina domestica 'Compacta'	31	Min. 6" ht.	3' ht, 4' spd.	5 Gal.	L
(Symbol)	New Mexico Olive	Forestiera neomexicana	5	5' - 7' ht.	15' ht, 10' spd.	15-Gal.	M
(Symbol)	Pouls castle	Artemesia ludoviciana 'Pouls Castle'	47	Min. 8" ht.	2' ht, 3' spd.	5-Gal.	L
(Symbol)	Regal Mist	Muhlenbergia capillaris	51	Min. 10" spd.	3' ht, 4' spd.	5-Gal.	M
(Symbol)	Tree Leaf Sumac	Rhus trilobata	42	Min. 10" ht.	5' ht, 6' spd.	5-Gal.	M
(Symbol)	Yucca	Yucca recurvifolia	22	Min. 10" ht.	4' ht, 4' spd.	5-Gal.	M
(Symbol)	Grow Low Sumac	Rhus aromatica 'grow low'	72	Min. 10" ht.	2' ht, 6' spd.	5-Gal.	M
(Symbol)	PARK BLEND	Poa pratensis, Festuca elatior, Lolium perenne	2,990 sq. ft.	--	--	Sod	H
(Symbol)	BUFFALO GRASS	Buchloe dactyloides	9,950 sq. ft.	--	6" ht.	Seed	L



LANDSCAPE NOTES

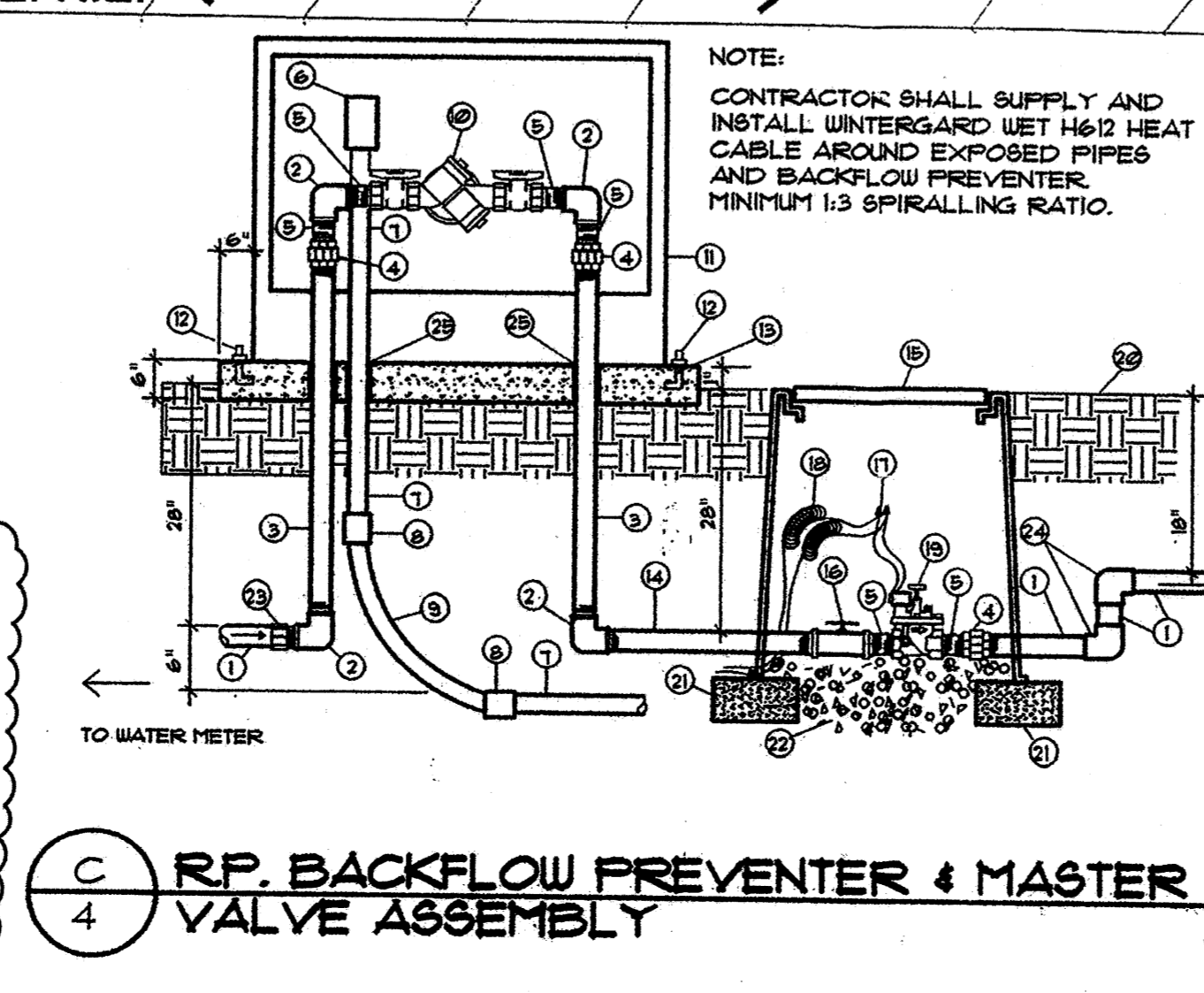
- LANDSCAPE REQUIREMENTS:
 TOTAL SITE AREA: 269,158 SF
 BUILDING AREA: 53,000 SF
 NET SITE AREA: 216,158 SF (TOTAL - BUILDING = NET)
 TOTAL LANDSCAPE AREA REQUIRED (15% OF NET): 32,424 SF
 TOTAL LANDSCAPE AREA PROVIDED: 80,056 SF (31% OF NET)
- VEGETATIVE COVERAGE REQUIREMENT:
 COVERAGE REQUIRED (15% OF TOTAL LANDSCAPE): 60,042 SF
 COVERAGE PROVIDED: 25,500 SF (33% OF TOTAL LANDSCAPE AREA)
 (18% OF REQUIRED LANDSCAPE AREA)
- HIGH WATER USE TURF:
 MAX HIGH WATER USE TURF AREA ALLOWED (20% OF TOTAL LANDSCAPE AREA PROVIDED): 15,954 SF
 TOTAL HIGH WATER USE TURF AREA PROVIDED: 2,990 SF (4.0% OF TOTAL LANDSCAPE AREA)
- LANDSCAPE IRRIGATION:
 - AUTOMATIC CONTROLLER WITH RAIN SENSOR CAPABILITY AND MULTIPLE PROGRAMMING CAPABILITY.
 - REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER PER DETAIL C/4 THIS SHEET.
 - PLANTS SHALL BE IRRIGATED AS FOLLOWS:
 - TREES: 3 - 0.5 GPM BUBBLERS, EVENLY SPACED AROUND TREE, 1' FROM EDGE OF ROOT BALL.
 - SHRUBS: 1 - 0.5 GPM BUBBLER PER SHRUB.
 - TURF: POP-UP SPRAY HEADS.
- PROPERTY OWNER(S) WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.

- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. ENACTMENT NO. 18-1955.
- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.
- A 3" DEPTH OF WARM-TONE CRUSHED GRAVEL MULCH WITH WEED BARRIER UNDER SHALL BE INSTALLED THROUGHOUT PLANTING BEDS.
- TREES SHALL BE INSTALLED PER DETAIL A/4. SHRUBS SHALL BE INSTALLED PER DETAIL B/4.
- LANDSCAPE AREAS SHALL BE DEPRESSED WITH A SHALLOW SWALE TO CAPTURE STORM WATER RUN-OFF.
- AREAS IN FUTURE PHASES THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REVEGETATED WITH NATIVE GRASS SEED MIX.

LANDSCAPING NOTES - RESIDENTIAL DEVELOPMENT

THE FRONT YARD OF EACH LOT (TOTAL OF 6) SHALL BE LANDSCAPED BY THE DEVELOPER. LANDSCAPING SHALL BE DESIGNED TO LOW WATER/LOW MAINTENANCE STANDARDS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE. PLANT SPECIES FOR TREES AND SHRUBS SHALL BE SELECTED FROM THE PLANT SCHEDULE ON THIS PLAN. LANDSCAPING OF EACH FRONT YARD SHALL INCLUDE ONE TREE (EITHER SHUMARD OAK OR WASHINGTON HAWTHORN) AND VARIOUS SHRUBS. NO TURF LAWN WILL BE INSTALLED IN FRONT YARDS. MANUALLY OPERATED IRRIGATION SHALL BE INSTALLED AT EACH LOT. HOMEOWNER MAY CHOOSE TO AUTOMATE THIS SYSTEM AT HIS OPTION.

SIDE AND REAR YARDS WILL NOT BE LANDSCAPED BY THE DEVELOPER. THESE YARDS WILL BE THE RESPONSIBILITY OF EACH HOMEOWNER. YARDS WILL BE FINE-GRADED PER THE PRELIMINARY GRADING PLAN BY THE DEVELOPER READY FOR LANDSCAPE INSTALLATION BY THE HOMEOWNER.



- PVC MAINLINE (SEE LEGEND)
 - GALVANIZED ELBOW
 - GALVANIZED NIPPLE - 42" LENGTH
 - GALVANIZED UNION
 - GALVANIZED NIPPLE - 3" LENGTH
 - ANCHOR BOLTS
 - WATER TIGHT CONNECTOR
 - WATER TIGHT SWEPT ELL
 - REDUCED PRESSURE BACKFLOW PREVENTER OR APPROVED EQUAL
 - INSULATED ENCLOSURE (SEE LEGEND)
 - ANCHOR BOLTS
 - 3000 PSI CONCRETE PAD WITH TOOLED EDGES
 - GALVANIZED NIPPLE - 36" LENGTH
 - BROOKS 1120 PB-18" VALVE BOX W/ 8" EXTENSIONS AS REQUIRED
 - SPEARS TRUE UNION SCH. 80
 - PVC BALL VALVE
 - WATERPROOF WIRE SPLICE
 - 36" WIRE LOOPS
 - AUTOMATIC VALVE (SEE LEGEND)
 - FINISH GRADE
 - CHU BLOCK
 - SEA GRAVEL - 3 CUBIC FEET
 - SCH 40 PVC MALE ADAPTER
 - MAIN LINE ELL, 90 DEGREE
 - PVC SLEEVE
- SCALE: 1" = 30"
- FEBRUARY 21, 2014

ARCHITECTS

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HOPE PLAZA

A CO-DEVELOPMENT OF
 HOPE EPISCOPAL CHURCH
 AND LLAVE DEVELOPMENT

ALBUQUERQUE, NEW MEXICO
 JUNE, 2007
 REVISED OCTOBER, 2007
 REVISED NOVEMBER, 2007
 REVISED NOVEMBER 2013

SHEET TITLE

AMENDED
 LANDSCAPE PLAN

4 OF 6

PROJECT#: 1006520
 DATE: 3-12-14
 APP#: 14-10062 (SBS)
 14-10063 (SBS)

INDEX OF DRAWINGS:

- SHEET-1 SITE PLAN
- SHEET-2 GRADING & DRAINAGE PLAN
- SHEET-3 SITE UTILITY PLAN
- SHEET-4 LANDSCAPE PLAN
- SHEET-5 BUILDING ELEVATIONS
- SHEET-6 BUILDING ELEVATIONS

DESIGN DATA:

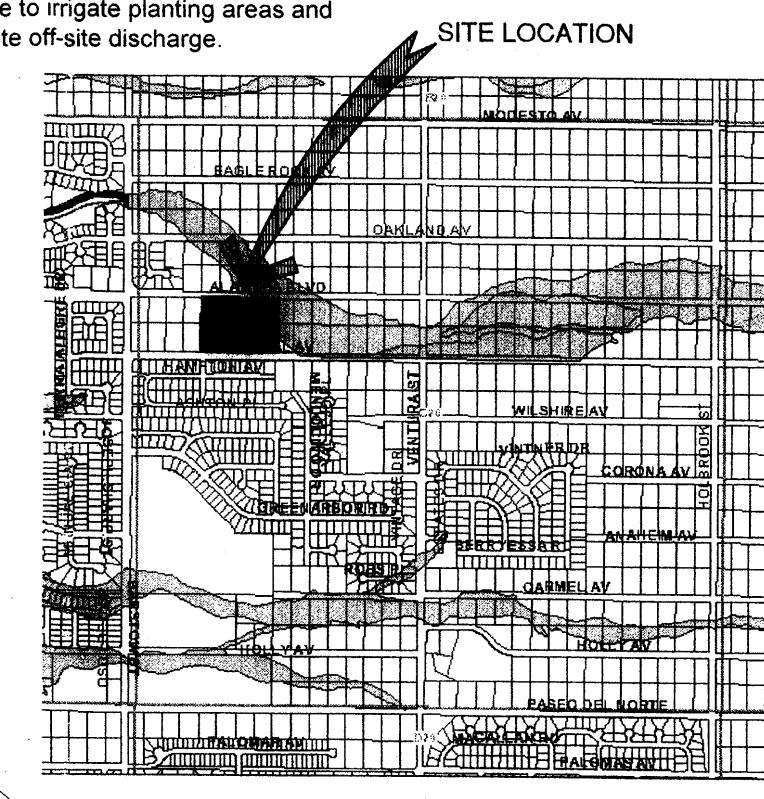
LEGAL DESCRIPTIONS: LOTS 5-8 LOTS 25-28, BLOCK 4, TRACT 3, UNIT 3 NORTH ALBUQUERQUE ACRES, 6.1928 ACRES
 ZONE MAP: C-20-2 (ZONE ATLAS JUNE 1998)
 C.O.A. ZONE CODE: SU-2 FOR O-1 & R-T USES (ALBUQ. ZONE CODE 1991)

PROJECT BREAKDOWN

AREAS (GROSS SQUARE FEET):	
PHASE 1	
CHURCH & RELATED SPACES (MAIN SANCTUARY CAPACITY - 300 FIXED SEATS)	= 14,000 GSF
OFFICE BUILDINGS (2) 2-STORY OFFICE BUILDINGS @ 22,000 GSF EA.	= 44,000 GSF
FUTURE PHASES HEALTH-CENTER (160,000 GSF UNIT)	= 160,000 GSF
CHURCH ADMINISTRATION (OFFICES AND PARISH HALL)	= 6,700 GSF
PARKING REQUIREMENTS:	
PARKING PROVIDED:	
OFFICES @ 43.076 GSF	109.19
GROUND: 21,838 GSF / 200	72.79
SECOND: 21,838 GSF / 300	72.79
CHURCH: 280 SEATS / 4	70
CHURCH: 280 SEATS / 4	70
SHARED PARKING REDUCTION @ 20% (+ (-50.40))	-50.40
BUS REDUCTION @ 5% (+ (-12.6))	-12.60
NET REQUIRED	= 189 SPACES
PARKING PROVIDED:	
SHARED PARKING	= 158
OFFICES-VISITOR PARKING	= 10
CHURCH AT CIRCLE	= 10
TOTAL	= 188 SPACES
PARKING REQUIREMENTS: RESIDENCES	
PARKING PROVIDED:	
6 UNITS @ 3 BATHS EA.	= 18
6 UNITS @ 2 CAR GARAGE	= 12
6 UNITS @ 2 CAR DRIVEWAY	= 12
TOTAL	= 24 SPACES
ACCESSIBLE PARKING SPACES:	
TOTAL ACCESSIBLE SPACES REQUIRED: 100-300 SPACES REQUIRES 8	(PER ALBUQUERQUE ZONE CODE 14-16-1-A-3)
TOTAL HANDICAP PARKING SPACES PROVIDED: 8	
TOTAL VAN ACCESSIBLE SPACES REQUIRED: 1 FOR EVERY 8 HANDICAP SPACES.	(PER NMMS SECTION 1115, ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES)
(PER ALBUQUERQUE ZONE CODE 14-16-3-1-E-5-4)	
TOTAL VAN HANDICAP PARKING SPACES PROVIDED: 1	
BICYCLE SPACE REQUIREMENTS:	
SPACES REQUIRED: 10	
SPACES PROVIDED: 10	
MOTORCYCLE SPACE REQUIREMENTS:	
SPACES REQUIRED: 5	
SPACES PROVIDED: 5	

Sustainable Building Applications:

- Building orientation: Office buildings are configured with the long axis oriented east-west and large windows located on north and south sides to maximize day-lighting.
- Windows: To control of solar heat gain, west-facing glazing will be limited and protected with overhangs. Glazing shall be low-e, insulated, on east, south, and west elevations, and clear, insulated on north elevations. South windows shall be protected with eavebreakers or overhangs.
- Building footprints and insulation: Building footprints have been designed to minimize exterior walls to the extent possible. The church shall include a basement to contain classrooms. Wall and roof insulation shall be maximized.
- Air quality: Adhesives, sealants, carpeting, and paint with low to no emissions of volatile organics (VOC's) shall be specified.
- Roofs: Cool roofing, using a highly reflective finish, (energy star-compliant) shall be employed.
- Locally-sourced and recycled building materials: To the extent possible, building materials manufactured in our region (500 mile radius) shall be specified to reduce costs of transportation. Recycled building materials shall be incorporated where possible.
- Mechanical systems: Mechanical equipment that operates with low energy usage shall be selected. Energy management systems shall be used to monitor and minimize energy usage.
- Electrical systems: The most energy-efficient lighting shall be used along with either timers or motion sensor controls.
- Water harvesting: Site runoff shall be controlled wherever possible to irrigate planting areas and reduce or eliminate off-site discharge.



VICINITY MAP
 GRAPHIC SCALE
 0 600 1200 2400

RESIDENTIAL DESIGN STANDARDS:

THE SIX HOUSES IN THIS SUBDIVISION SHALL BE DETACHED, SINGLE FAMILY, RESIDENCES. HOUSES ON LOTS 1, 2, 5, AND 6 SHALL BE "LOT LINE. ALL HOUSES SHALL BE A COMBINATION OF ONE AND TWO STORY, FLAT ROOF STRUCTURES. THEY SHALL BE DESIGNED IN A CONTEMPORARY PUEBLO STYLE COMPATIBLE WITH AND SIMILAR TO THE TWO OFFICE BUILDINGS AND THE CHURCH IN HOPE PLAZA.

THE SIX LOTS ARE APPROXIMATELY 5,000 SF EACH. MINIMUM LOT SIZE FOR A DETACHED HOUSE IN AN R-T ZONE IS 3,800 SF. "LOT LINE CONFIGURATION WILL RESULT IN MINIMUM 10'

WIDE SIDE YARDS ALONG WITH 15' REAR YARDS PROVIDING READILY USABLE AREAS FOR PATIOS AND LANDSCAPING. EACH HOUSE WILL HAVE A FULL TWO-CAR GARAGE AND DOUBLE WIDTH DRIVEWAY FOR A TOTAL OF 4 PARKING SPACES PER LOT.

HOUSE CONSTRUCTION SHALL BE AS FOLLOWS:
 FOUNDATIONS: REINFORCED CONCRETE SPREAD FOOTINGS.

GROUND FLOORS: 4 CONCRETE SLABS ON COMPACTED EARTH FILL.
 2ND FLOORS: PRE-ENGINEERED WOOD FLOOR JOISTS AND PLYWOOD DECK.

ROOF FRAMING: PRE-ENGINEERED WOOD TRUSS CONSTRUCTION WITH SLOPED TOP CHORDS FOR POSITIVE ROOF DRAINAGE. TRUSSES MINIMUM OF 12 DEEP.

ROOF: ADHERED SINGLE MEMBRANE ROOF SYSTEM WITH MINIMUM OF 1/4" PER FOOT SLOPES.

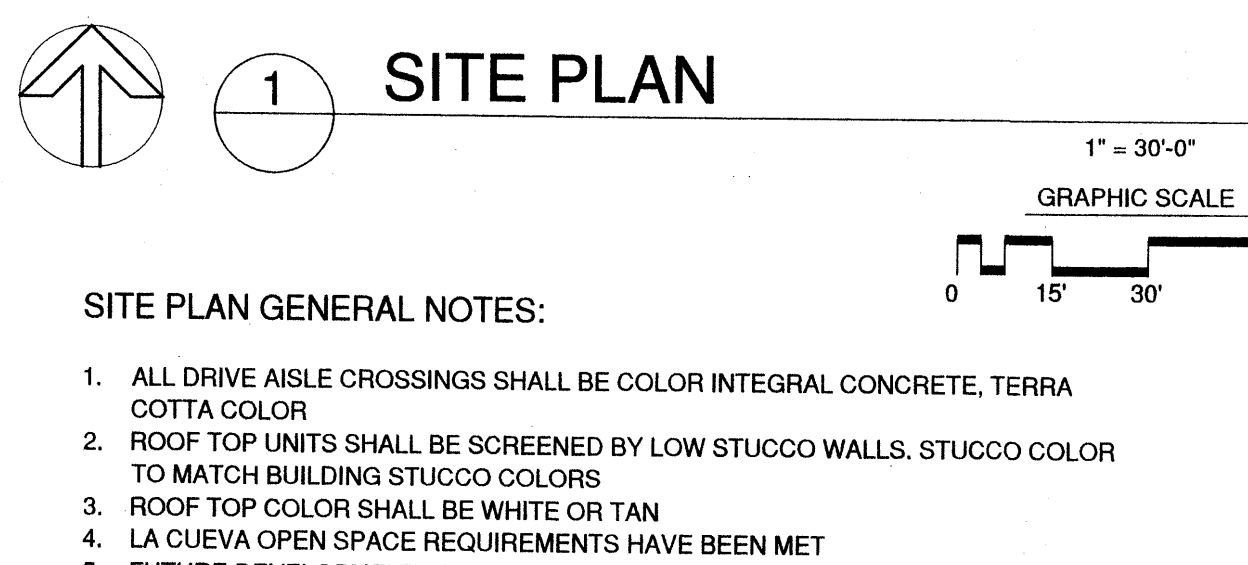
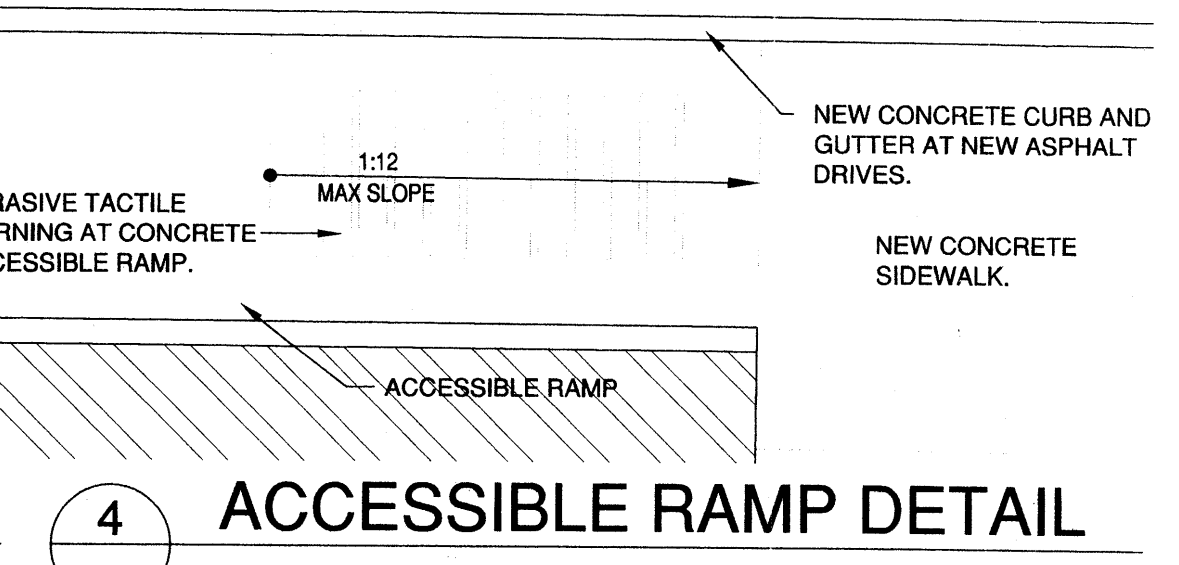
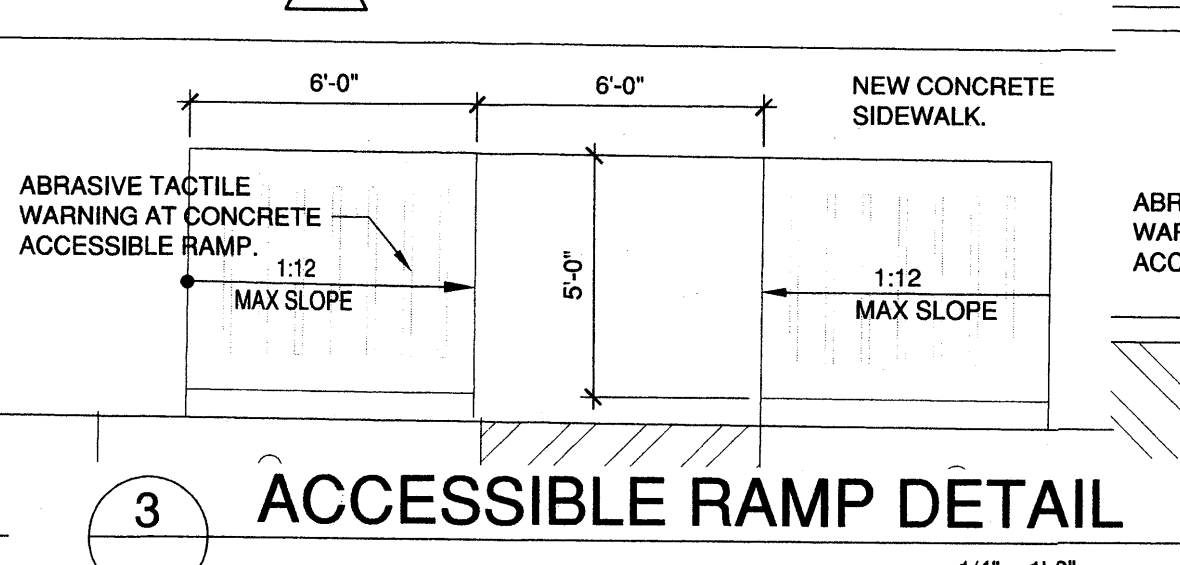
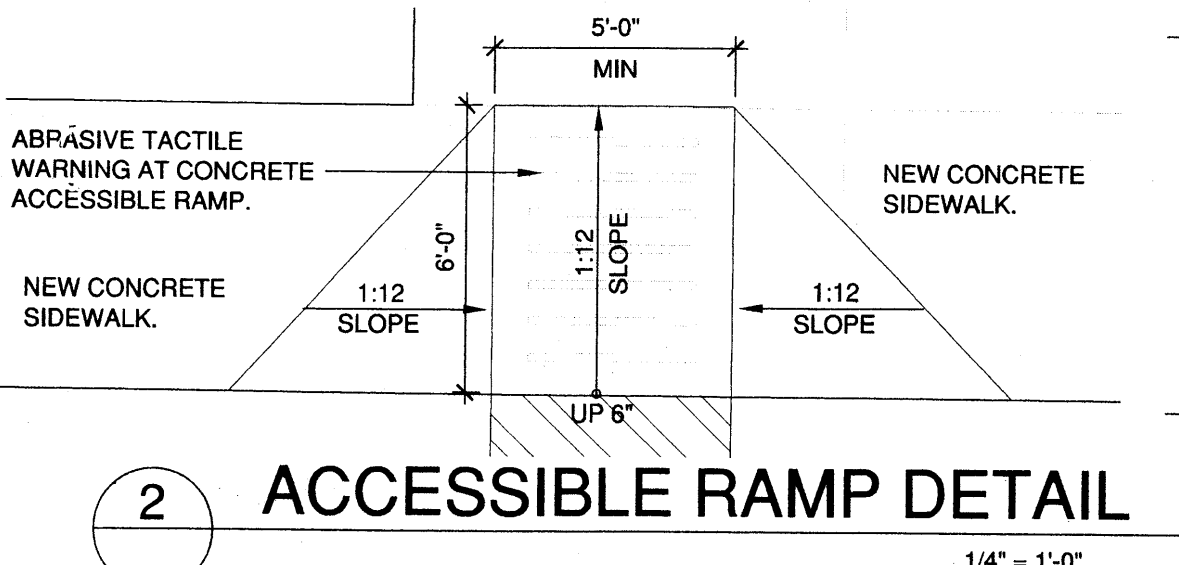
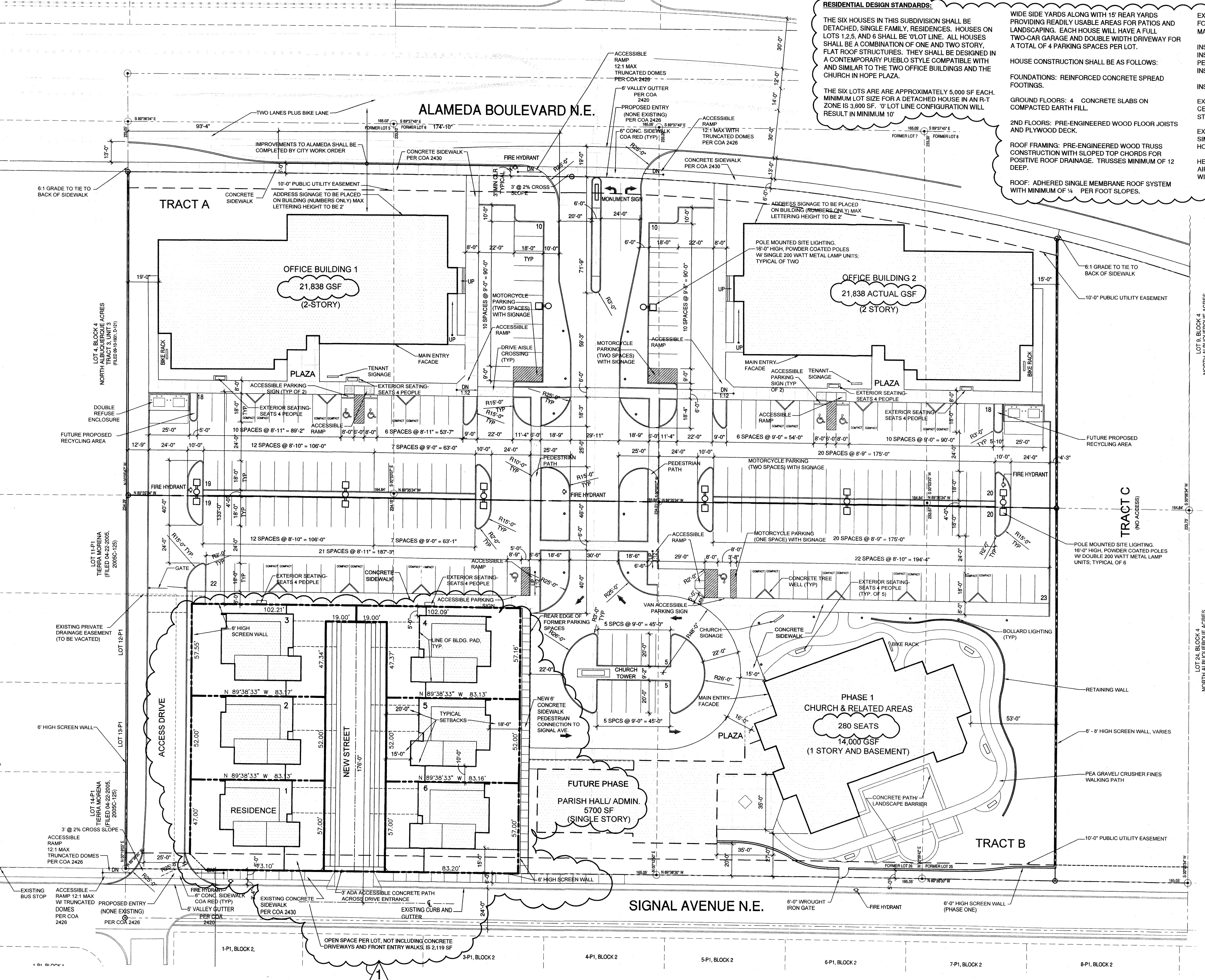
EXTERIOR WALLS: 6 WOOD STUDS AT 16" OC, EXCEPT FOR "LOT LINE WALLS COMBINATION 8 CONCRETE MASONRY AND A 4 WOOD FRAME WALL.

INSULATION WALLS: 6 EXTERIOR WALLS BATT 6 INSULATION OR EQUIVALENT, 0 LOT LINE WALLS: PERLITE FILL IN CONCRETE MASONRY AND 4 BATT INSULATION OR EQUIVALENT IN FRAME WALLS.

INSULATION, ROOF: 12 BATT OR EQUIVALENT R-VALUE EXTERIOR WALL FINISHES: SYSTEM OF PORTLAND CEMENT STUCCO AND SYNTHETIC (100% ACRYLIC) STUCCO; CONCRETE MASONRY ACCENTS.

EXTERIOR COLOR PALETTE: NEUTRAL WARM TONES SIMILAR TO THE OFFICE BUILDINGS AND CHURCH IN HOPE PLAZA.

HEATING AND COOLING SYSTEM: GAS-FIRED FORCED AIR HEATING AND REFRIGERATED AIR CONDITIONING WITH UNDER-FLOOR AND OVERHEAD DUCTS.



DRB SITE DEVELOPMENT PLAN APPROVAL:

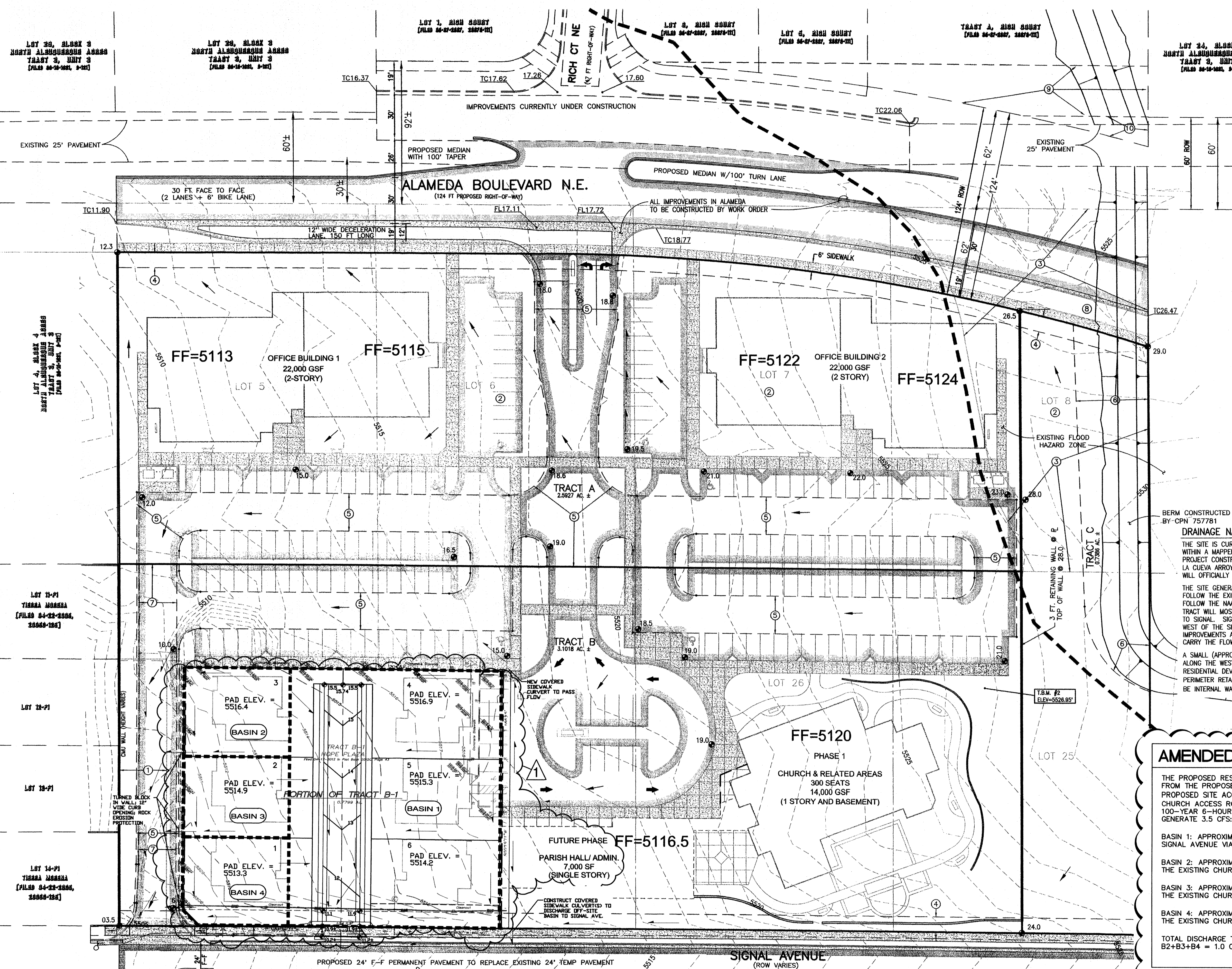
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<i>Roy Morgan</i> SOLID WASTE DEPARTMENT	3/4 2014 DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
ABCWUA	DATE
CITY ENGINEER, ENGINEERING DIV./AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCES: AS SPECIFIED BY DEVELOPMENT PROCESS MANUAL.	
DRB CHAIRPERSON PLANNING DEPARTMENT	DATE

fb ARCHITECTS
 Fanning Bard Tatum Architects AIA, Ltd.
 6100 Indian School Rd. NE Ste 210
 Albuquerque NM 87110
 Phone 505/863.5200
 Facsimile 505/884.5300
 Web www.fbarch.com

HOPE PLAZA
 A CO-DEVELOPMENT OF
 HOPE EPISCOPAL CHURCH
 AND HOECH
 REAL ESTATE CORP.
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2007
 REVISED OCTOBER, 2007
 REVISED NOVEMBER, 2007
 REVISED NOVEMBER, 2013

SHEET TITLE
**AMENDED SITE DEVELOPMENT
 PLAN FOR BUILDING PERMIT**

1 OF 6



LEGEND

- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED CONTOUR
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE
- FEMA FLOOD HAZARD ZONE
- DIRECTION OF FLOW

SCALE: 1" = 30'

LEGAL DESCRIPTION
 LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3
PROJECT BENCHMARK
 ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM 11-19", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E. ELEVATION = 5480.974 FEET (NGVD 1929)
T.B.M. #1
 ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE. ELEVATION = 5503.27 FEET (NGVD 1929)
T.B.M. #2
 FLAGGED NAIL 116"± WEST OF EAST SIDE FENCE AND 160"± NORTH OF SOUTH SIDE FENCE. ELEVATION = 5526.95 FEET (NGVD 1929)
ZONING
 SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)
 LA CEJUNA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN

SURVEY INFORMATION
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- APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004.
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 - 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
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 - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
 - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

DRAINAGE NARRATIVE
 THE SITE IS CURRENTLY UNDEVELOPED. A PORTION OF THE SITE LIES WITHIN A MAPPED FLOODPLAIN, HOWEVER, A RECENTLY COMPLETED AMAFCA PROJECT CONSTRUCTED A DIVERSION BERM AND CONCRETE CHANNEL ON THE LA CUEVA ARROYO AND ELIMINATED THE OFFSITE FLOWS. A LOWR FROM FEMA WILL OFFICIALLY ELIMINATE THE FLOODPLAIN.
 THE SITE GENERALLY SLOPES FROM EAST TO WEST. THE PROPOSED SITE WILL FOLLOW THE EXISTING TRENDS AND SLOPE FROM EAST TO WEST. THE SITE WILL FOLLOW THE NMA MASTER DRAINAGE PLAN WHEREBY MOST OF THE NORTHERN TRACT WILL MOSTLY DRAIN TO ALAMEDA, AND THE REMAINING SITE WILL DRAIN TO SIGNAL. SIGNAL IS IMPROVED AND CAN CONVEY THE FLOWS. ALAMEDA WEST OF THE SITE LACKS CURB AND GUTTER, AND INTERIM DITCH IMPROVEMENTS ARE ANTICIPATED ON THE SOUTH SIDE OF ALAMEDA TO CARRY THE FLOWS TO BARSTOW.
 A SMALL (APPROX. 3 FT TALL) RETAINING WALL WILL BE CONSTRUCTED ALONG THE WEST EDGE OF TRACT C WHICH WILL BE PART OF A FUTURE RESIDENTIAL DEVELOPMENT PLANNED TO THE EAST. THERE ARE NO PERIMETER RETAINING WALLS PLANNED WITH THIS DEVELOPMENT. THERE WILL BE INTERNAL WALLS AND BUILDING STEPS TO ACHIEVE GRADE CHANGES.

AMENDED DRAINAGE CONCEPT

THE PROPOSED RESIDENTIAL SITE DRAINAGE WILL DISCHARGE FROM THE PROPOSED DEVELOPMENT TO SIGNAL AVENUE VIA THE PROPOSED SITE ACCESS ENTRANCE (BASIN 1) AND THE EXISTING CHURCH ACCESS ROAD (BASINS 2, 3 AND 4). BASED ON THE 100-YEAR 6-HOUR CALCULATIONS, THE DEVELOPED SITE WILL GENERATE 3.5 CFS:

- BASIN 1: APPROXIMATELY 2.5 CFS WILL FREE DISCHARGE TO SIGNAL AVENUE VIA THE PROPOSED SITE ACCESS ENTRANCE.
- BASIN 2: APPROXIMATELY 0.4 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.
- BASIN 3: APPROXIMATELY 0.3 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.
- BASIN 4: APPROXIMATELY 0.3 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

TOTAL DISCHARGE TO EXISTING CHURCH ACCESS ROAD = B2+B3+B4 = 1.0 CFS.

HIGH MESA Consulting Group
 FORMERLY JEFF MORITSEN AND ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.345.4250 FAX: 505.345.4254
 www.highmesacg.com

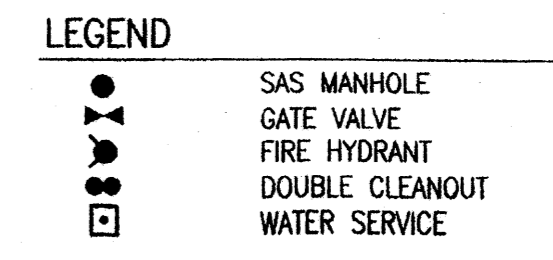
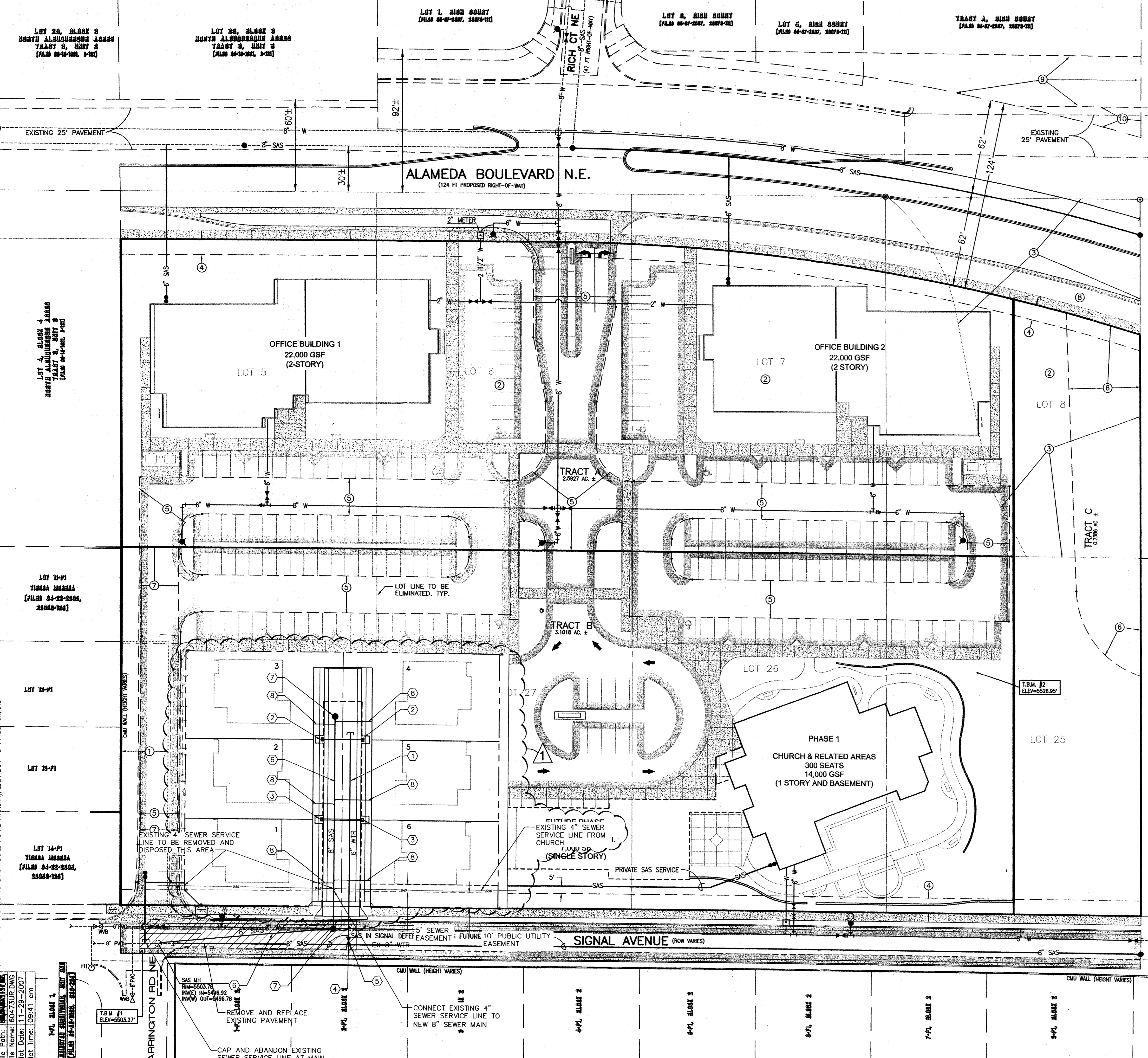
FTB ARCHITECTS
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 JUNE 2007

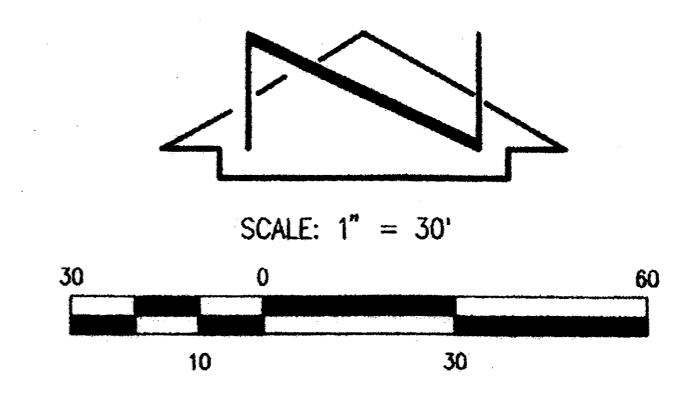
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iacivil.com
 2014 CG-101 CONCEPTUAL FOR BUILDING PERMIT.dwg Feb 20, 2014

SHEET TITLE **AMENDED**
 PRELIMINARY GRADING PLAN
 2 OF 6

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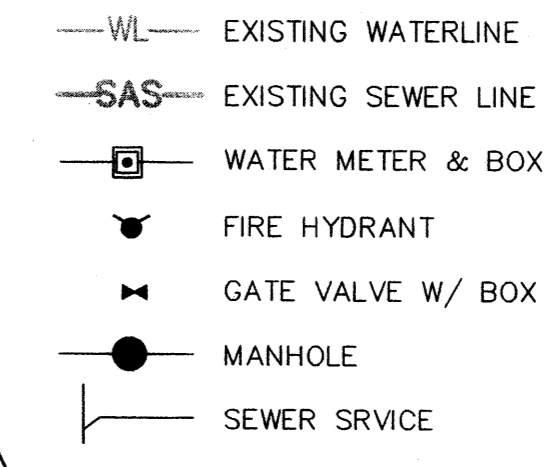
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 TRACT 3, UNIT 3
 [FILED 08-10-2005, 20050-125]

LOT 24, BLOCK 3
 NORTH ALBUQUERQUE ACRES
 TRACT 3, UNIT 3
 [FILED 08-10-2005, 20050-125]

PROPOSED IMPROVEMENTS

- 6" WATERLINE
- SINGLE METER SERVICE
- DOUBLE METER SERVICE
- 8"x6" TEE
- 6" GATE VALVE
- 8" SANITARY SEWER LINE
- 4" DIA. MANHOLE
- 4" SEWER SERVICE

LEGEND



FEBRUARY 21, 2014

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iacivil.com
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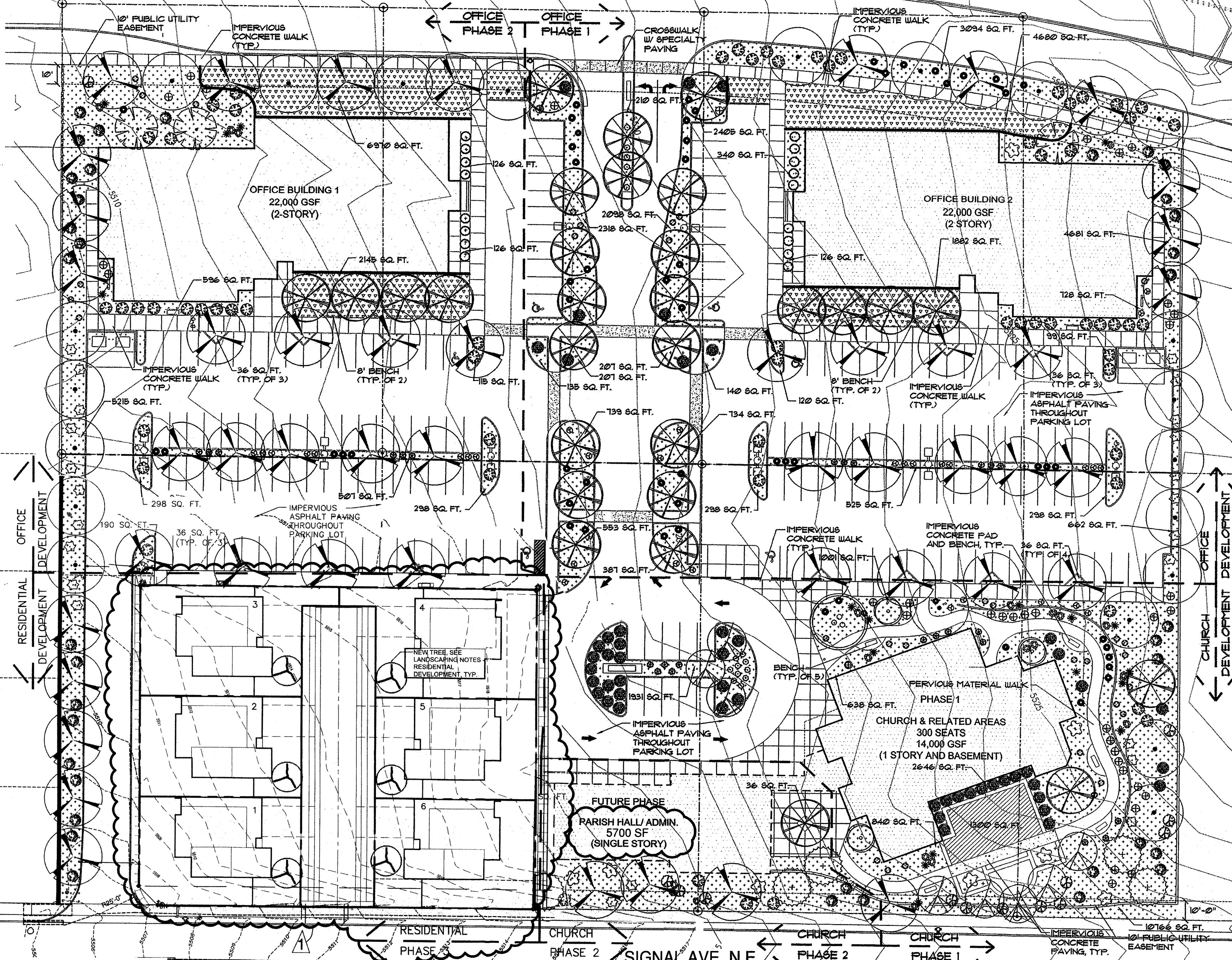
SHEET TITLE **AMENDED**
 CONCEPTUAL UTILITY
 PLAN

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CARRINGTON SUBDIVISION, UNIT ONE
 [FILED 08-08-2003, 830-125]

LOT 1, LOT 2, 2006.047.3, TRACT 3

ALAMEDA BOULEVARD N.E.

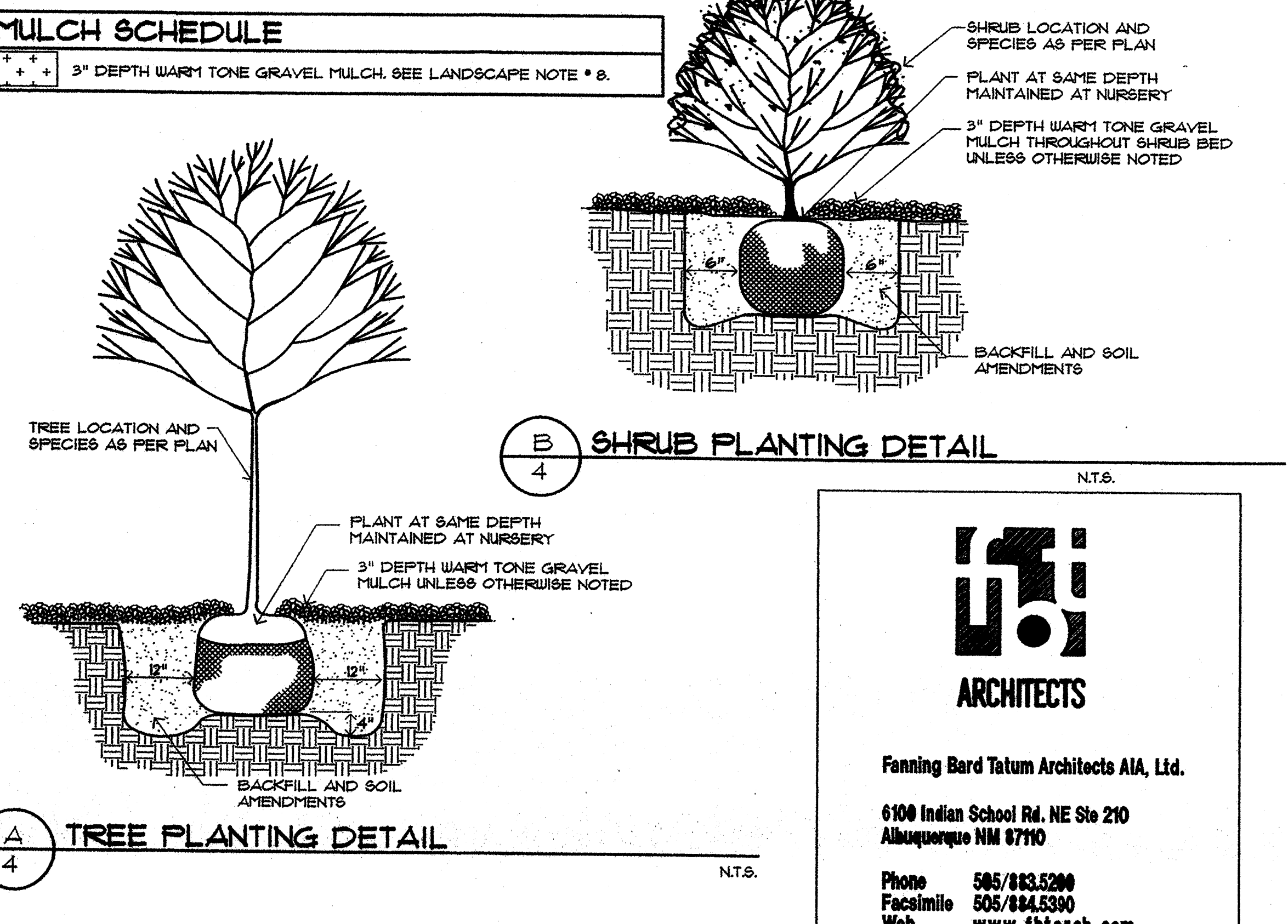


PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		REMARKS	WATER USE
				INSTALLED	MATURE		
(Tree symbol)	Austrian Pine	Pinus nigra	10	5' - 7' ht.	30' ht., 20' epd.	30" Box	M
(Tree symbol)	Aristocrat Pear	Pyrus calleryana 'Aristocrat'	8	2" cal, 10' - 12' ht.	20' ht., 4' epd.	30" Box	M
(Tree symbol)	Chinese Pistache	Pistacia chinensis	30	2" cal, 12' - 14' ht.	40' ht., 25' epd.	30" Box	M
(Tree symbol)	Desert Willow	Chilopsis linearis	1	2" cal, 12' - 14' ht.	25' ht., 20' epd.	30" Box, multi-trunk	M
(Tree symbol)	Honey Locust	Gleditsia triacanthos inermis 'True shade'	32	2" cal, 12' - 14' ht.	50' ht., 25' epd.	30" Box	M
(Tree symbol)	Shumard Oak	Quercus shumardii	34	2" cal, 12' - 14' ht.	30' ht., 25' epd.	30" Box	L
(Tree symbol)	Washington Hawthorn	Crataegus phenopyrum	3	2" cal, 10' - 12' ht.	30' ht., 20' epd.	30" Box	M
(Shrub symbol)	Apache Plume	Fallugia paradoxa	27	Min. 18" ht.	5' ht., 6' epd.	5-Gal.	L
(Shrub symbol)	Blue Mist Spirea	Caryopteris x clandonensis	34	Min. 18" ht.	4' ht., 4' epd.	5-Gal.	L
(Shrub symbol)	Butterfly Bush	Buddleia davidii	10	Min. 18" ht.	6' ht., 4' epd.	5-Gal.	M
(Shrub symbol)	Cherry Sage	Salvia greggii	32	Min. 12" ht.	3' ht., and epd.	5-Gal.	M
(Shrub symbol)	Dammeri Coneaster	Coneaster dammeri	59	Min. 12" epd.	6" ht., 6" epd.	5-Gal.	L
(Shrub symbol)	Karl Foerster	Molina caerulea arundinacea 'Karl Foerster'	25	Min. 8" ht.	2' ht., 4' epd.	5-Gal.	M
(Shrub symbol)	Lavender	Lavandula angustifolia	51	Min. 6" ht.	4' ht., 4' epd.	2-Gal.	L
(Shrub symbol)	Maiden Grass	Miscanthus sinensis 'Gracillimus'	21	Min. 12" ht.	6' ht., 3' epd.	5-Gal.	M
(Shrub symbol)	Nandina	Nandina domestica 'Compacta'	31	Min. 6" ht.	3' ht., 4' epd.	5 Gal.	L
(Shrub symbol)	New Mexico Olive	Forestiera neomexicana	5	5' - 7' ht.	15' ht., 10' epd.	15-Gal.	M
(Shrub symbol)	Powls castle	Artemisia ludoviciana 'Powls Castle'	47	Min. 8" ht.	2' ht., 3' epd.	5-Gal.	L
(Shrub symbol)	Regal Mist	Muhlenbergia capillaris	51	Min. 10" epd.	3' ht., 4' epd.	5-Gal.	M
(Shrub symbol)	Three Leaf Sumac	Rhus trilobata	42	Min. 18" ht.	5' ht., 6' epd.	5-Gal.	M
(Shrub symbol)	Yucca	Yucca recurvifolia	22	Min. 10" ht.	4' ht., 4' epd.	5-Gal.	M
(Shrub symbol)	Grow Low Sumac	Rhus aromatica 'grow low'	72	Min. 10" ht.	2' ht., 6' epd.	5-Gal.	M
(Turf symbol)	PARK BLEND	Poa pratensis, Festuca elatior, Lolium perenne	2,920 sq. ft.	--	--	Sod	H
(Grass symbol)	BUFFALO GRASS	Buchloe dactyloides	9,950 sq. ft.	--	6" ht.	Seed	L

MULCH SCHEDULE

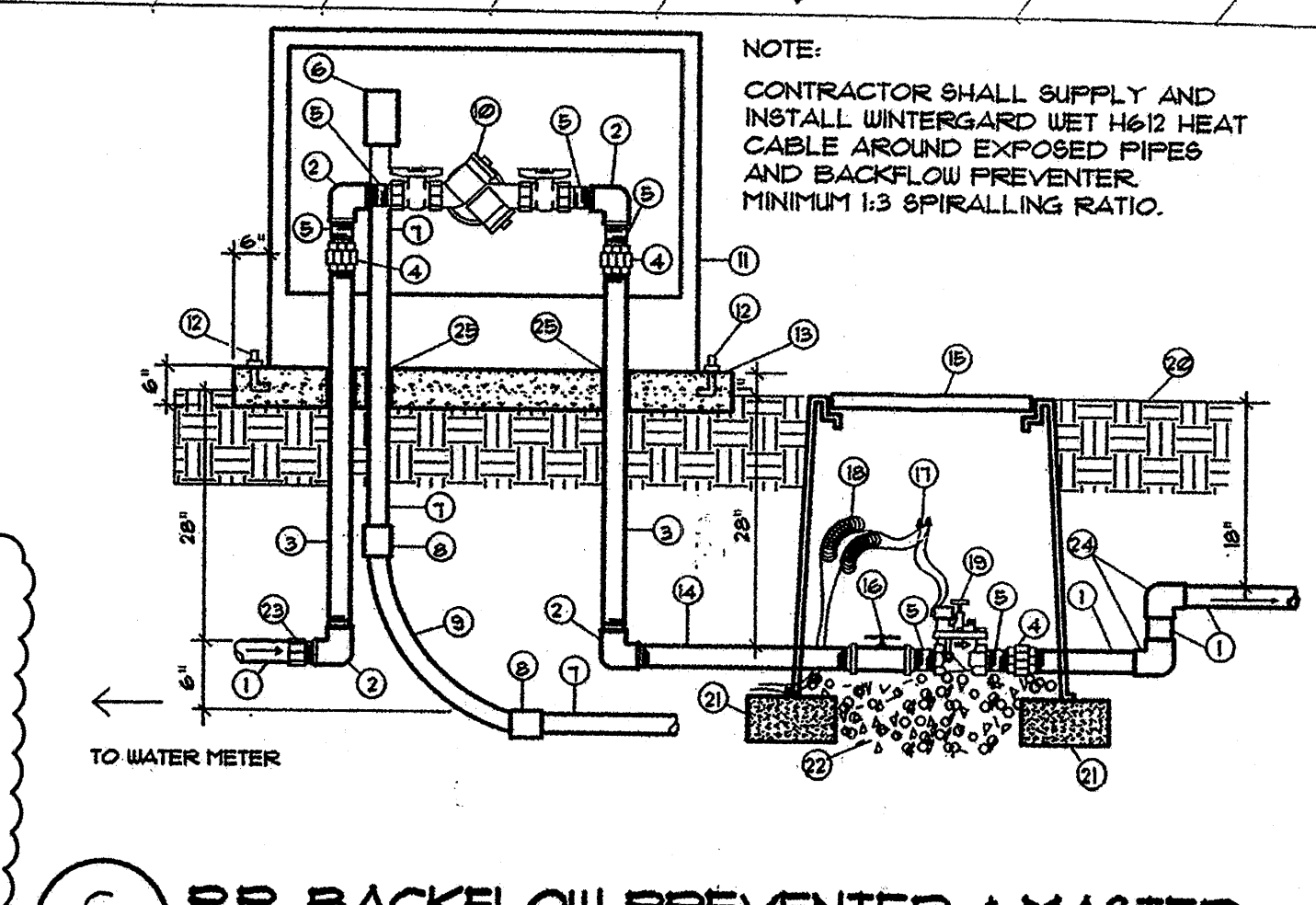
(Symbol)	3" DEPTH WARM TONE GRAVEL MULCH. SEE LANDSCAPE NOTE # 8.
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LANDSCAPE NOTES

- LANDSCAPE REQUIREMENTS:
TOTAL SITE AREA: 269,158 SF
BUILDING AREA: 53,000 SF
NET SITE AREA: 216,158 SF (TOTAL - BUILDING = NET)
TOTAL LANDSCAPE AREA REQUIRED (15% OF NET): 32,514 SF
TOTAL LANDSCAPE AREA PROVIDED: 80,056 SF (31% OF NET)
- VEGETATIVE COVERAGE REQUIREMENT:
COVERAGE REQUIRED (75% OF TOTAL LANDSCAPE): 60,043 SF
COVERAGE PROVIDED: 25,500 SF (33% OF TOTAL LANDSCAPE AREA) (18% OF REQUIRED LANDSCAPE AREA)
- HIGH WATER USE TURF:
MAX HIGH WATER USE TURF AREA ALLOWED (20% OF TOTAL LANDSCAPE AREA PROVIDED): 15,954 SF
TOTAL HIGH WATER USE TURF AREA PROVIDED: 2,920 SF (4.0% OF TOTAL LANDSCAPE AREA)
- LANDSCAPE IRRIGATION:
- AUTOMATIC CONTROLLER WITH RAIN SENSOR CAPABILITY AND MULTIPLE PROGRAMMING CAPABILITY.
- REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER PER DETAIL C/4 THIS SHEET.
- PLANTS SHALL BE IRRIGATED AS FOLLOWS:
• TREES: 3 - 0.5 GPM BUBBLERS, EVENLY SPACED AROUND TREE, 1' FROM EDGE OF ROOT BALL.
• SHRUBS: 1 - 0.5 GPM BUBBLER PER SHRUB.
• TURF: POP-UP SPRAY HEADS.
- PROPERTY OWNER(S) WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.

- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. ENACTMENT NO. 18-1955.
 - THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.
 - A 3" DEPTH OF WARM-TONE CRUSHED GRAVEL MULCH WITH WEED BARRIER UNDER SHALL BE INSTALLED THROUGHOUT PLANTING BEDS.
 - TREES SHALL BE INSTALLED PER DETAIL A/4. SHRUBS SHALL BE INSTALLED PER DETAIL B/4.
 - LANDSCAPE AREAS SHALL BE DEPRESSED WITH A SHALLOW SWALE TO CAPTURE STORM WATER RUN-OFF.
 - AREAS IN FUTURE PHASES THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REVEGETATED WITH NATIVE GRASS SEED MIX.
- LANDSCAPING NOTES - RESIDENTIAL DEVELOPMENT
- THE FRONT YARD OF EACH LOT (TOTAL OF 6) SHALL BE LANDSCAPED BY THE DEVELOPER. LANDSCAPING SHALL BE DESIGNED TO LOW WATER/LOW MAINTENANCE STANDARDS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE. PLANT SPECIES FOR TREES AND SHRUBS SHALL BE SELECTED FROM THE PLANT SCHEDULE ON THIS PLAN. LANDSCAPING OF EACH FRONT YARD SHALL INCLUDE ONE TREE (EITHER SHUMARD OAK OR WASHINGTON HAWTHORN) AND VARIOUS SHRUBS. NO TURF LAWN WILL BE INSTALLED IN FRONT YARDS. MANUALLY-OPERATED IRRIGATION SHALL BE INSTALLED AT EACH LOT. HOMEOWNER MAY CHOOSE TO AUTOMATE THIS SYSTEM AT HIS OPTION.
- SIDE AND REAR YARDS WILL NOT BE LANDSCAPED BY THE DEVELOPER. THESE YARDS WILL BE THE RESPONSIBILITY OF EACH HOMEOWNER. YARDS WILL BE FINE-GRADED PER THE PRELIMINARY GRADING PLAN BY THE DEVELOPER READY FOR LANDSCAPE INSTALLATION BY THE HOMEOWNER.



RP. BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY

- NOTE: CONTRACTOR SHALL SUPPLY AND INSTALL WINTERGARD UET H612 HEAT CABLE AROUND EXPOSED PIPES AND BACKFLOW PREVENTER. MINIMUM 1:3 SPIRALLING RATIO.
- PVC MAINLINE (SEE LEGEND)
 - GALVANIZED ELBOW
 - GALVANIZED NIPPLE - 42" LENGTH
 - GALVANIZED UNION
 - GALVANIZED NIPPLE - 3" LENGTH
 - JUNCTION BOX FOR HEAT TAPE
 - RIGID STEEL CONDUIT
 - WATERTIGHT CONNECTOR
 - RIGID STEEL SWEEP ELL
 - REDUCED PRESSURE BACKFLOW PREVENTER OR APPROVED EQUAL
 - INSULATED ENCLOSURE (SEE LEGEND)
 - ANCHOR BOLTS
 - 3000 PSI CONCRETE PAD WITH TOOLED EDGES
 - GALVANIZED NIPPLE - 36" LENGTH
 - BROOKS 1130 PB-10" VALVE BOX W/ 8" EXTENSIONS AS REQUIRED
 - 8PEARS TRUE UNION SCH. 80
 - PVC BALL VALVE
 - WATERPROOF WIRE SPLICE
 - 36" WIRE LOOPS
 - AUTOMATIC VALVE (SEE LEGEND)
 - FINISH GRADE
 - CMU BLOCK
 - PEA GRAVEL - 3 CUBIC FEET
 - SCH. 40 PVC MALE ADAPTER
 - MAIN LINE ELL, 90 DEGREE
 - PVC SLEEVE

FEBRUARY 21, 2014

STATE OF NEW MEXICO
ELIZABETH C. REARDON
REGISTERED LANDSCAPE ARCHITECT

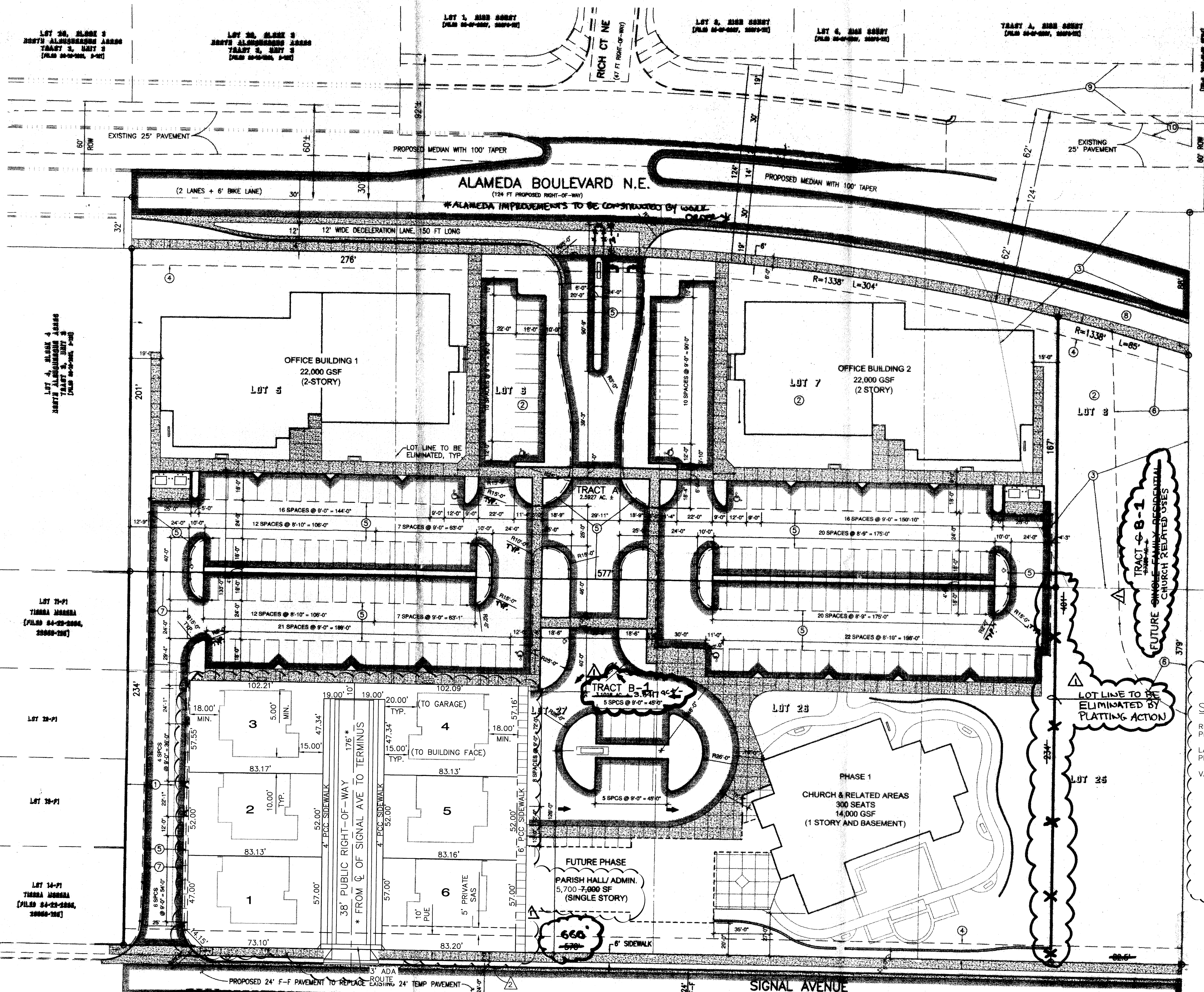
MORROW REARDON WILKINSON MILLER, LTD.
LANDSCAPE ARCHITECTS

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505.268.5200 FAX 505.268.5687
mrf@mrmwm.com

HOPE PLAZA
A CO-DEVELOPMENT OF
HOPE EPISCOPAL CHURCH
AND LLAVE DEVELOPMENT
ALBUQUERQUE, NEW MEXICO
JUNE, 2007
REVISED OCTOBER, 2007
REVISED NOVEMBER, 2007
REVISED NOVEMBER 2013

SHEET TITLE
AMENDED
LANDSCAPE PLAN

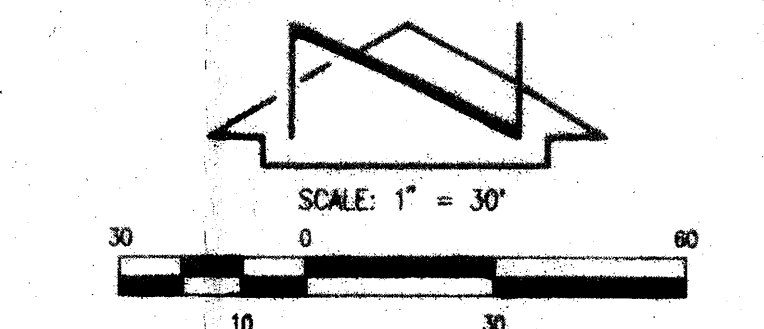
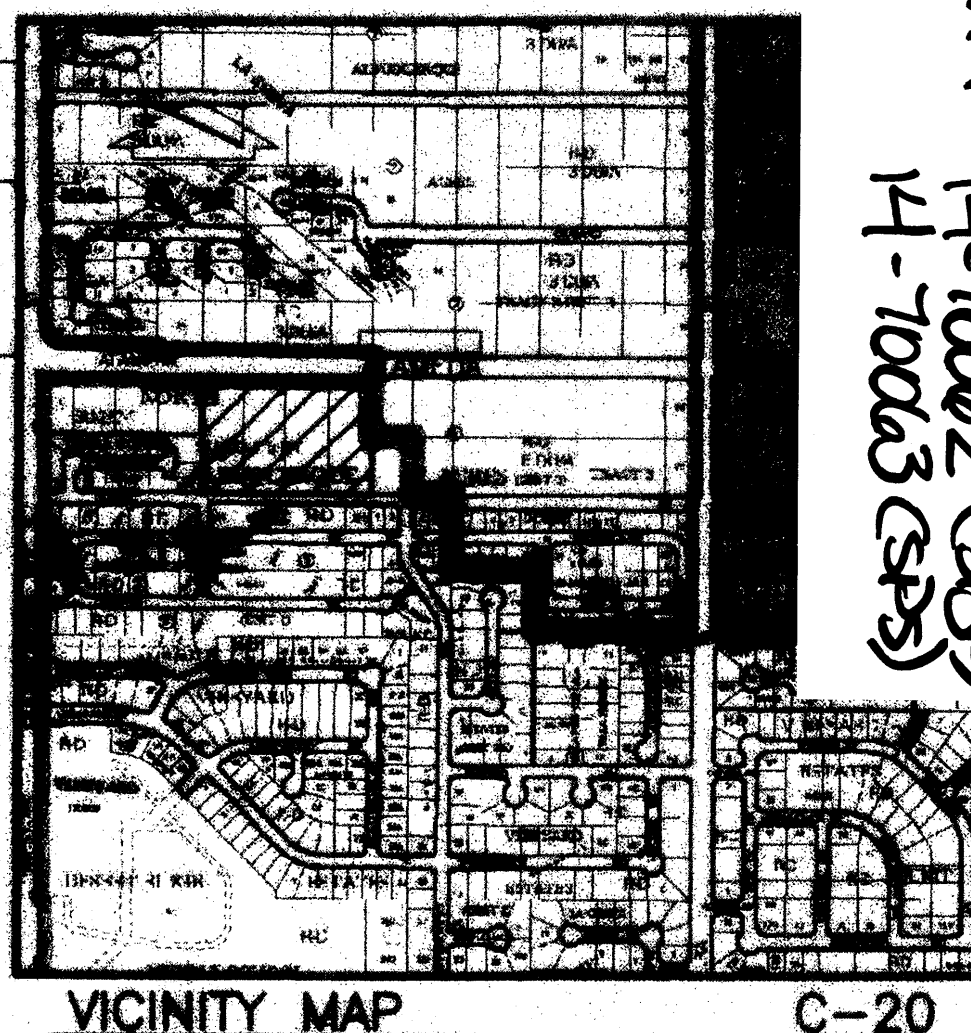
4 OF 6



LEGAL DESCRIPTION
 LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

ZONING
 SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)
 LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN

SURVEY INFORMATION
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), NHPIS 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BEAM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.



- EASEMENTS AND RESTRICTIONS**
- APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004, TO BE VACATED BY FORTHCOMING ACTION.
 - NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWER), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
 - TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
 - 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
 - PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
 - PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
 - PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
 - DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM HOPE PLAZA AND HOPE PLAZA ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
 - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111.
 - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111.
 - MINIMUM BUILDING SETBACK IS 10 FT FOR TRACTS A AND B
 - BUILDING HEIGHT FOR TRACTS A AND B SHALL COMPLY WITH HEIGHT REGULATIONS FOR THE O-1 ZONE
 - MAXIMUM F.A.R. FOR COMMERCIAL DEVELOPMENT IS 0.4 FOR TRACTS A AND B
 - SETBACKS, DENSITY AND OTHER CRITERIA FOR TRACT C WILL BE ADDRESSED BY SEPARATE EPC SUBMITTAL
 - FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB
 - ALL FUTURE PHASES SHALL BE IN CONTEXT IN DESIGN, COLOR AND MATERIALS WITH THE PROPOSED MAIN FACILITY
 - LA CUEVA SECTOR DEVELOPMENT PLAN DESIGN REGULATIONS SHALL COMPLY TO ALL TRACTS

LOT 5, BLOCK 4 NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3
 (FILED 06-09-2004, 2004-104)

LOT 24, BLOCK 4 NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3
 (FILED 06-09-2004, 2004-104)

6 LOT RESIDENTIAL SUBDIVISION

SUBDIVISION DESIGN STANDARDS

RESIDENTIAL DESIGN STANDARDS FOR PROPOSED SUBDIVISION ARE PER THE ZONING CODE; 14-16-2-9 AND THE DPM.

LANDSCAPING DESIGN STANDARDS FOR PROPOSED SUBDIVISION ARE PER THE STREET TREE ORDINANCE; 6-6-2-1.

VARIANCES ARE AS FOLLOWS:

- LENGTH OF STUB-STREET (176' FROM CENTERLINE OF SIGNAL AVE.
- INCREASE OF THE NUMBER OF LOTS ON A STUB STREET FROM 4 TO 6 LOTS.

USE	AC.	% OF TOTAL
OFFICE	2.59	45%
CHURCH	2.32	41%
RESIDENTIAL	0.78	14%
TOTALS:	5.69 AC.	100%

HIGH MESA Consulting Group
 FORMERLY SITE WORKS AND ASSOCIATES, INC.
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 ALBUQUERQUE, NEW MEXICO 87107
 PHONE: 505.345.4250 FAX: 505.345.4254
 www.highmesacg.com

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 Albuquerque NM 87110

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 Fax: 505.882.8200
 Web: www.fbarch.com

HOPE PLAZA

A CO-DEVELOPMENT OF
 HOPE EPISCOPAL CHURCH
 AND HOECH
 REAL ESTATE CORP.

ALBUQUERQUE, NEW MEXICO

01-29-14 JUNE 2007

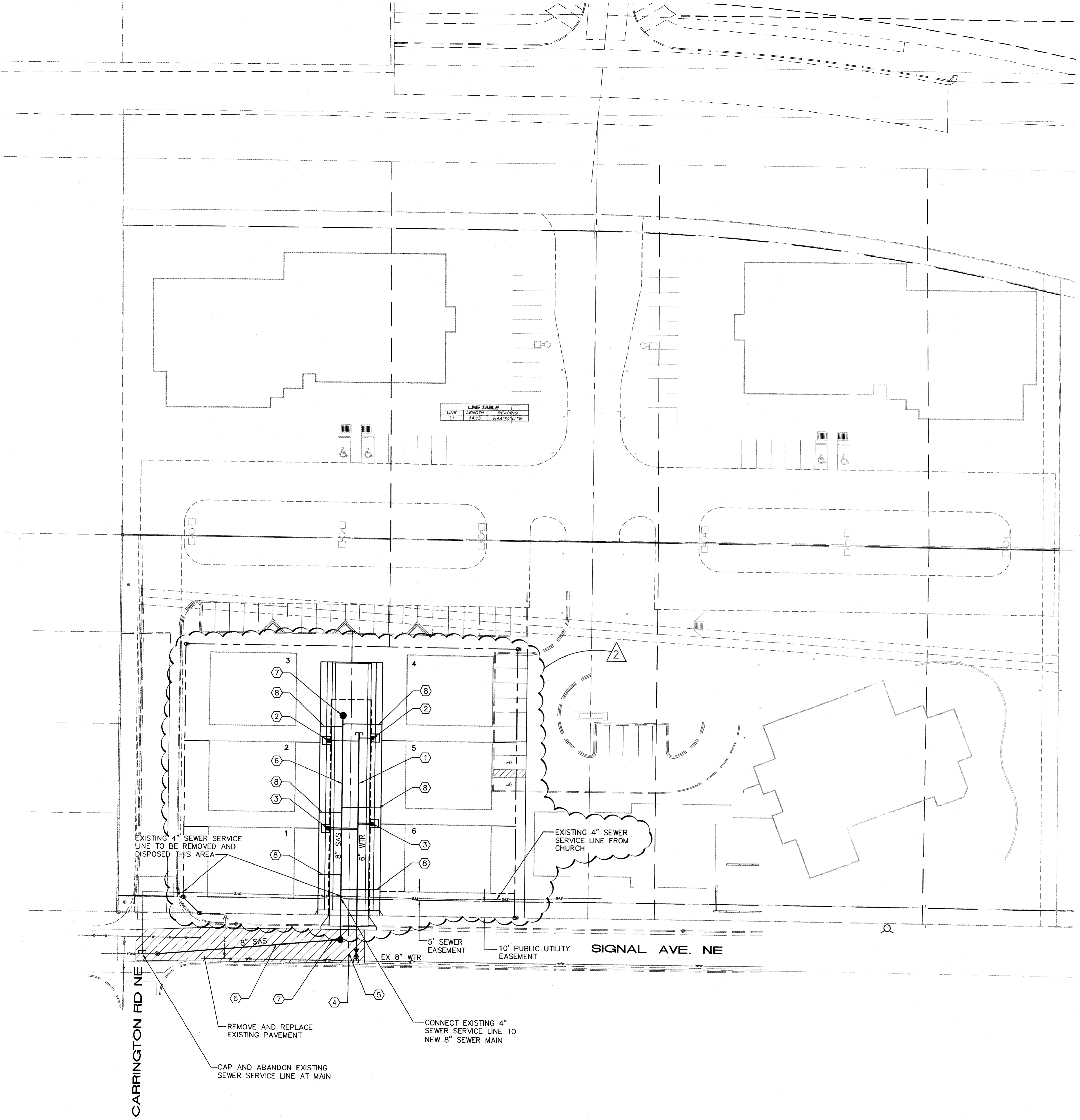
SHEET TITLE **AMENDED**

SITE PLAN FOR
 SUBDIVISION

1 OF 2

File Path: [unclear]
 File Name: 60473SPR.DWG
 Plot Date: 10-12-2007
 Plot Time: 12:16 pm
 3-P, BLOCK 1
 (FILED 06-09-2004, 2004-104)

2008.047.3
 11/27 8



LEGAL DESCRIPTION

LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

PROJECT BENCHMARK

ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-119", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E. ELEVATION = 5480.974 FEET (NGVD 1929)

T.B.M. #1

ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE. ELEVATION = 5503.27 FEET (NGVD 1929)

T.B.M. #2

FLAGGED NAIL 116" ±WEST OF EAST SIDE FENCE AND 160" ±NORTH OF SOUTH SIDE FENCE. ELEVATION = 5526.95 FEET (NGVD 1929)

ZONING

SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)
LA CEUVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN

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EASEMENTS AND RESTRICTIONS

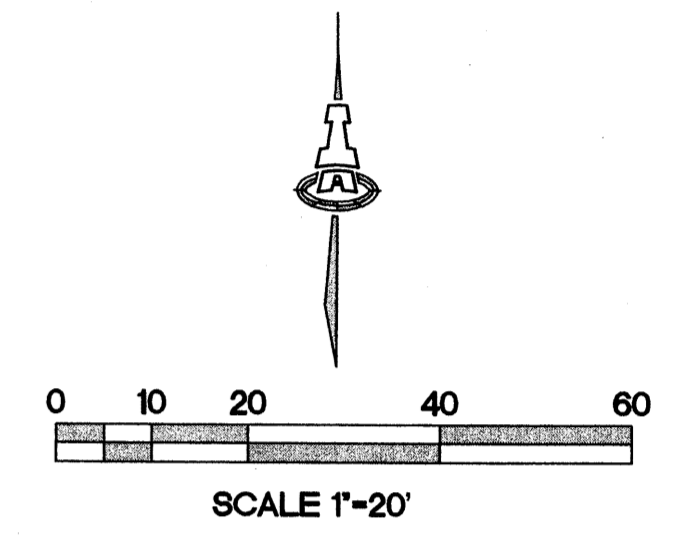
- ① PRIVATE DRAINAGE EASEMENT BY DOCUMENT FILED 06-09-2004.
- ② 10 FT PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ③ PRIVATE ACCESS, UTILITY AND DRAINAGE EASEMENTS BETWEEN TRACTS A AND B TO BE DEFINED AND GRANTED BY FORTHCOMING PLATTING ACTION
- ④ PUBLIC ROADWAY EASEMENT BY PLAT 2007C-111 (OFFSITE)
- ⑤ 10 FT PUBLIC UTILITY EASEMENT BY PLAT 2007C-111 (OFFSITE)
- ⑥ VEHICULAR ACCESS TO TRACT C IS NOT ALLOWED FROM ALAMEDA OR TRACTS A AND B
- ⑦ PUBLIC RIGHT-OF-WAY TO BE DEDICATED BY FORTHCOMING PLATTING ACTION

PROPOSED IMPROVEMENTS

1. 6" WATERLINE
2. SINGLE METER SERVICE
3. DOUBLE METER SERVICE
4. 8"x6" TEE
5. 6" GATE VALVE
6. 8" SANITARY SEWER LINE
7. 4' DIA. MANHOLE
8. 4" SEWER SERVICE

LEGEND

- WL— EXISTING WATERLINE
- SAS— EXISTING SEWER LINE
- ☐ WATER METER & BOX
- FIRE HYDRANT
- ⊕ GATE VALVE W/ BOX
- MANHOLE
- SEWER SERVICE



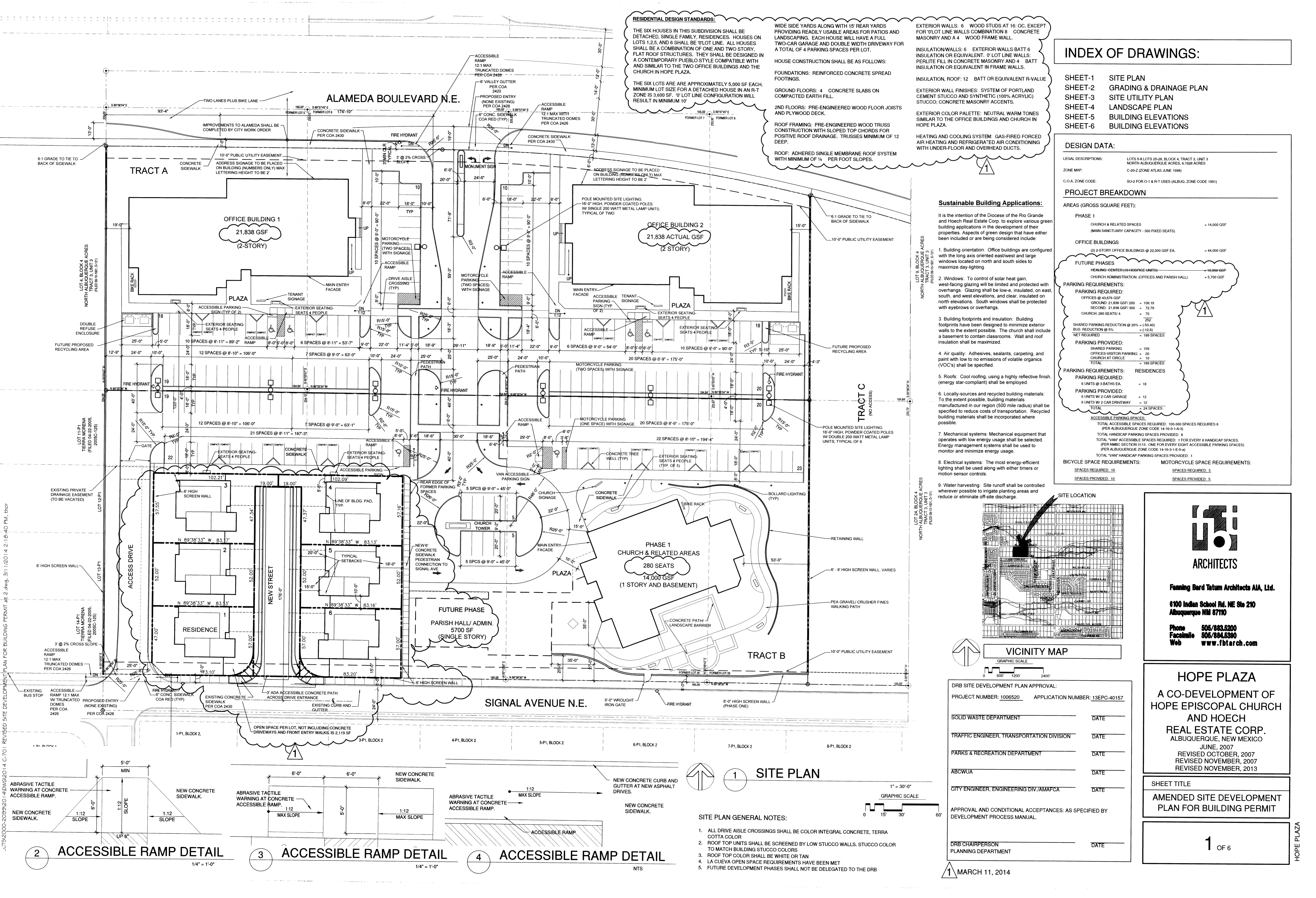
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
2014 CU-101 CONCEPTUAL.dwg Jan 21, 2014

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HOPE PLAZA
A CO-DEVELOPMENT OF
HOPE EPISCOPAL CHURCH
HOECH REAL ESTATE
CORPORATION
ALBUQUERQUE, NEW MEXICO
12-23-13 JUNE 2007

SHEET TITLE AMENDED
CONCEPTUAL
UTILITY PLAN

2 OF 2



RESIDENTIAL DESIGN STANDARDS:

THE SIX HOUSES IN THIS SUBDIVISION SHALL BE DETACHED, SINGLE FAMILY, RESIDENCES. HOUSES ON LOTS 1, 2, 5, AND 6 SHALL BE 'LOT LINE'. ALL HOUSES SHALL BE A COMBINATION OF ONE AND TWO STORY FLAT ROOF STRUCTURES. THEY SHALL BE DESIGNED IN A CONTEMPORARY PUEBLO STYLE COMPATIBLE WITH AND SIMILAR TO THE TWO OFFICE BUILDINGS AND THE CHURCH IN HOPE PLAZA.

THE SIX LOTS ARE APPROXIMATELY 5,000 SF EACH. MINIMUM LOT SIZE FOR A DETACHED HOUSE IN AN R-T ZONE IS 3,600 SF. 'LOT LINE' CONFIGURATION WILL RESULT IN MINIMUM 10'

WIDE SIDE YARDS ALONG WITH 15' REAR YARDS PROVIDING READILY USABLE AREAS FOR PATIOS AND LANDSCAPING. EACH HOUSE WILL HAVE A FULL TWO-CAR GARAGE AND DOUBLE WIDTH DRIVEWAY FOR A TOTAL OF 4 PARKING SPACES PER LOT.

HOUSE CONSTRUCTION SHALL BE AS FOLLOWS:

FOUNDATIONS: REINFORCED CONCRETE SPREAD FOOTINGS.

GROUND FLOORS: 4" CONCRETE SLABS ON COMPACTED EARTH FILL.

2ND FLOORS: PRE-ENGINEERED WOOD FLOOR JOISTS AND PLYWOOD DECK.

ROOF FRAMING: PRE-ENGINEERED WOOD TRUSS CONSTRUCTION WITH SLOPED TOP CHORDS FOR POSITIVE ROOF DRAINAGE. TRUSSES MINIMUM OF 12 DEEP.

ROOF: ADHERED SINGLE MEMBRANE ROOF SYSTEM WITH MINIMUM OF 1/4" PER FOOT SLOPES.

EXTERIOR WALLS: 6" WOOD STUDS AT 16" OC, EXCEPT FOR 'LOT LINE WALLS COMBINATION 8" CONCRETE MASONRY AND A 4" WOOD FRAME WALL.

INSULATION WALLS: 6" EXTERIOR WALLS BATT 6" INSULATION OR EQUIVALENT. 'LOT LINE WALLS: PERLITE FILL IN CONCRETE MASONRY AND 4" BATT INSULATION OR EQUIVALENT IN FRAME WALLS.

INSULATION, ROOF: 12" BATT OR EQUIVALENT R-VALUE

EXTERIOR WALL FINISHES: SYSTEM OF PORTLAND CEMENT STUCCO AND SYNTHETIC (100% ACRYLIC) STUCCO; CONCRETE MASONRY ACCENTS.

EXTERIOR COLOR PALETTE: NEUTRAL WARM TONES SIMILAR TO THE OFFICE BUILDINGS AND CHURCH IN HOPE PLAZA.

HEATING AND COOLING SYSTEM: GAS-FIRED FORCED AIR HEATING AND REFRIGERATED AIR CONDITIONING WITH UNDER-FLOOR AND OVERHEAD DUCTS.

INDEX OF DRAWINGS:

SHEET-1	SITE PLAN
SHEET-2	GRADING & DRAINAGE PLAN
SHEET-3	SITE UTILITY PLAN
SHEET-4	LANDSCAPE PLAN
SHEET-5	BUILDING ELEVATIONS
SHEET-6	BUILDING ELEVATIONS

DESIGN DATA:

LEGAL DESCRIPTIONS: LOTS 5-8, LOTS 25-28, BLOCK 4, TRACT 3, UNIT 3 NORTH ALBUQUERQUE ACRES, 6.1928 ACRES

ZONE MAP: C-20-Z (ZONE ATLAS JUNE 1998)

C.O.A. ZONE CODE: SU-2 FOR O-1 & R-T USES (ALB. ZONE CODE 1991)

PROJECT BREAKDOWN

AREAS (GROSS SQUARE FEET):

PHASE 1	CHURCH & RELATED SPACES (MAIN SANCTUARY CAPACITY - 300 FIXED SEATS)	= 14,000 GSF
OFFICE BUILDINGS	(2) 2-STORY OFFICE BUILDINGS @ 22,000 GSF EA.	= 44,000 GSF
FUTURE PHASES	HEALING CENTER (16,000 GSF UNIT) CHURCH ADMINISTRATION (OFFICES AND PARISH HALL)	= 10,000 GSF = 5,700 GSF

PARKING REQUIREMENTS:

PARKING PROVIDED:

OFFICES @ 420.675 GSF	= 109.19
SECOND: 21,838 GSF/300	= 72.79
CHURCH: 280 SEATS/4	= 70
SHARED PARKING REDUCTION @ 20% (+\$0.40)	= 252
BUS REDUCTION @ 5%	= (12.6)
NET REQUIRED	= 189 SPACES

PARKING PROVIDED:

SHARED PARKING	= 159
OFFICES-VISITOR PARKING	= 20
CHURCH AT CIRCLE	= 10
TOTAL	= 189 SPACES

PARKING REQUIREMENTS: RESIDENCES

PARKING REQUIRED:	6 UNITS @ 3 BATHS EA. = 18
PARKING PROVIDED:	6 UNITS W/ 2 CAR GARAGE = 12 6 UNITS W/ 2 CAR DRIVEWAY = 12
TOTAL	= 24 SPACES

ACCESSIBLE PARKING SPACES:

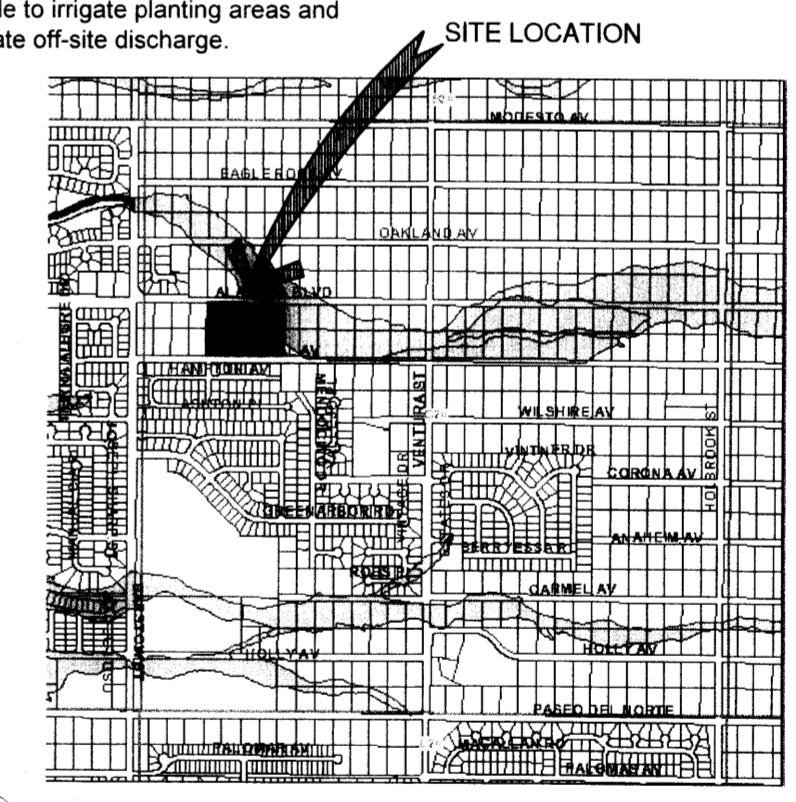
TOTAL ACCESSIBLE SPACES REQUIRED: 100-300 SPACES REQUIRES 8	(PER ALBUQUERQUE ZONE CODE 14-16-3-1-A-3)
TOTAL HANDICAP PARKING SPACES PROVIDED: 9	(PER NMBD SECTION 31.13: ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES)
TOTAL "VAN" ACCESSIBLE SPACES REQUIRED: 1 FOR EVERY 8 HANDICAP SPACES.	(PER ALBUQUERQUE ZONE CODE 14-16-3-1-E-5-A)
TOTAL "VAN" HANDICAP PARKING SPACES PROVIDED: 1	(PER NMBD SECTION 31.13: ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES)

BICYCLE SPACE REQUIREMENTS: SPACES REQUIRED: 10 SPACES PROVIDED: 10

MOTORCYCLE SPACE REQUIREMENTS: SPACES REQUIRED: 5 SPACES PROVIDED: 5

Sustainable Building Applications:

- It is the intention of the Diocese of the Rio Grande and Hoech Real Estate Corp. to explore various green building applications in the development of their properties. Aspects of green design that have either been included or are being considered include:
1. Building orientation: Office buildings are configured with the long axis oriented east-west and large windows located on north and south sides to maximize day-lighting.
 2. Windows: To control of solar heat gain, west-facing glazing will be limited and protected with overhangs. Glazing shall be low-e, insulated, on east, south, and west elevations, and clear, insulated on north elevations. South windows shall be protected with eyebrows or overhangs.
 3. Building footprints and insulation: Building footprints have been designed to minimize exterior walls to the extent possible. The church shall include a basement to contain classrooms. Wall and roof insulation shall be maximized.
 4. Air quality: Adhesives, sealants, carpeting, and paint with low to no emissions of volatile organics (VOC's) shall be specified.
 5. Roofs: Cool roofing, using a highly reflective finish, (energy star-compliant) shall be employed.
 6. Locally-sources and recycled building materials: To the extent possible, building materials manufactured in our region (500 mile radius) shall be specified to reduce costs of transportation. Recycled building materials shall be incorporated where possible.
 7. Mechanical systems: Mechanical equipment that operates with low energy usage shall be selected. Energy management systems shall be used to monitor and minimize energy usage.
 8. Electrical systems: The most energy-efficient lighting shall be used along with either timers or motion sensor controls.
 9. Water harvesting: Site runoff shall be controlled wherever possible to irrigate planting areas and reduce or eliminate off-site discharge.



VICINITY MAP
GRAPHIC SCALE
0 600 1200 2400'

fb ARCHITECTS

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ALBUQUERQUE, NEW MEXICO

JUNE, 2007
REVISED OCTOBER, 2007
REVISED NOVEMBER, 2007
REVISED NOVEMBER, 2013

SHEET TITLE

**AMENDED SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT**

1 OF 6

DRB SITE DEVELOPMENT PLAN APPROVAL:

PROJECT NUMBER: 1006520	APPLICATION NUMBER: 13EPC-40157
SOLID WASTE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
ABCWUA	DATE
CITY ENGINEER, ENGINEERING DIV./AMAFCA	DATE

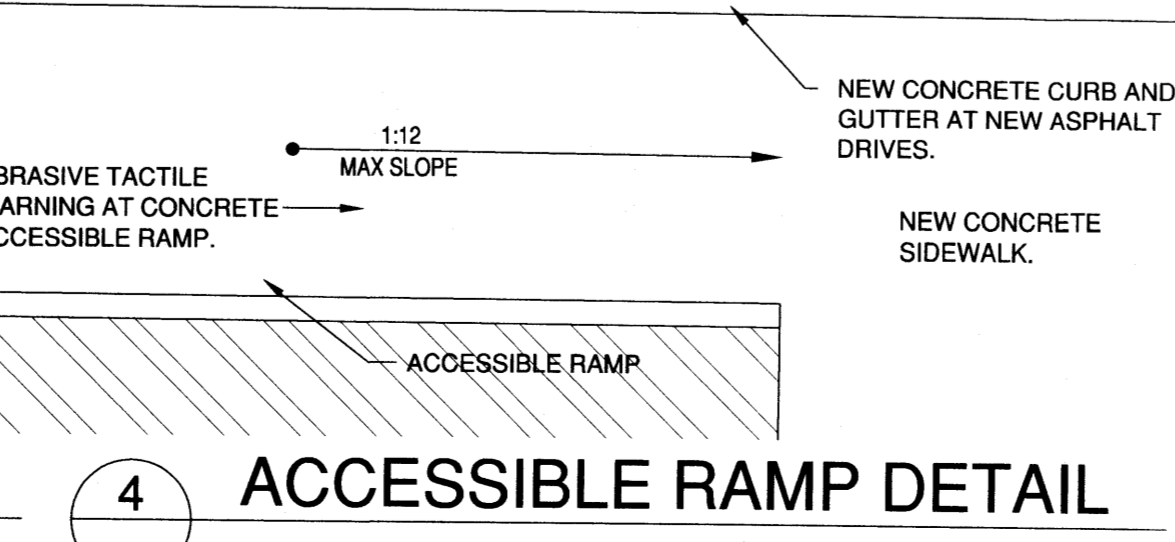
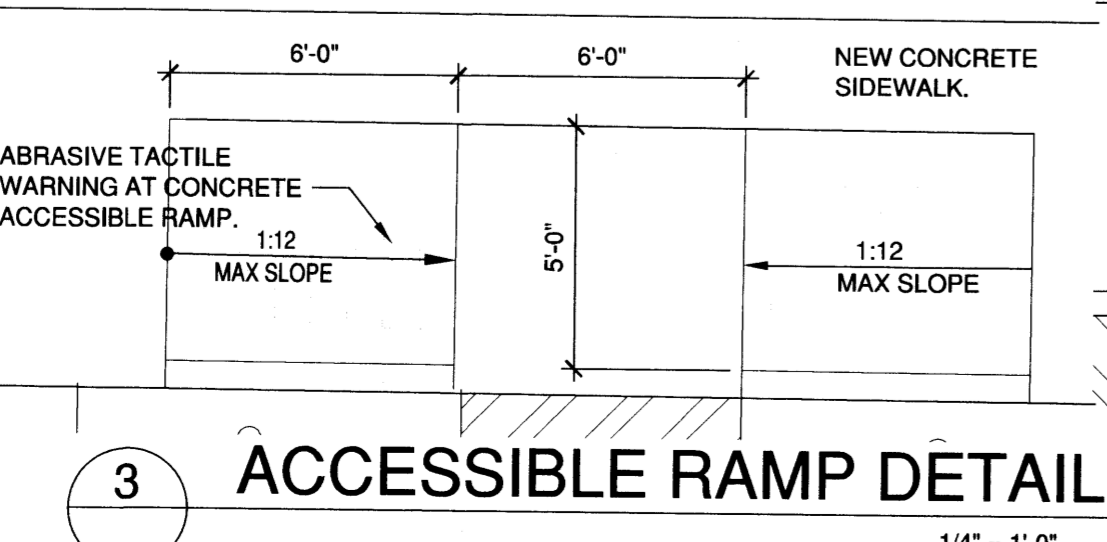
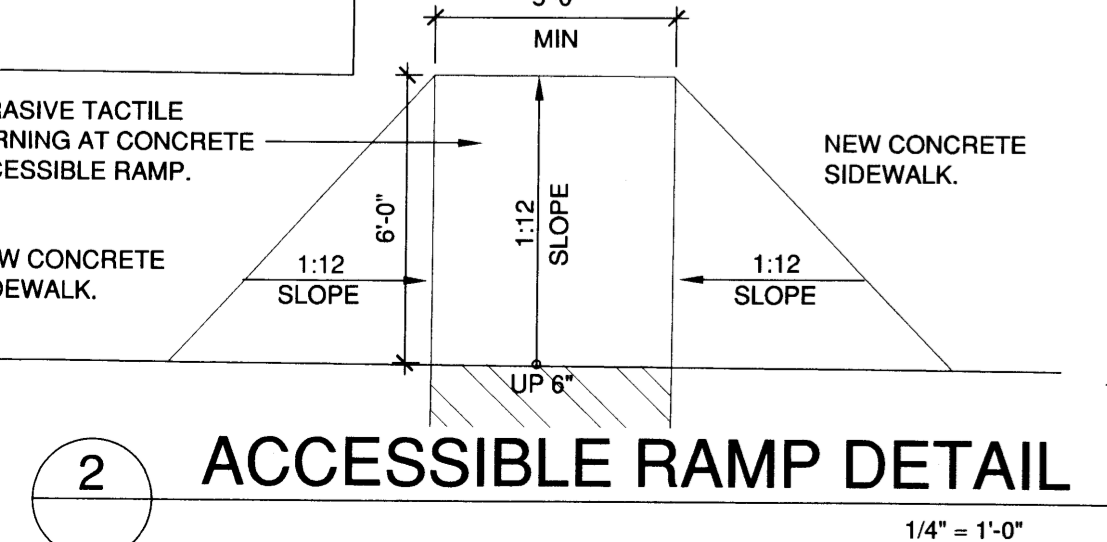
APPROVAL AND CONDITIONAL ACCEPTANCES: AS SPECIFIED BY DEVELOPMENT PROCESS MANUAL.

DRB CHAIRPERSON	DATE
PLANNING DEPARTMENT	DATE

SITE PLAN

SITE PLAN GENERAL NOTES:

1. ALL DRIVE AISLE CROSSINGS SHALL BE COLOR INTEGRAL CONCRETE, TERRA COTTA COLOR
2. ROOF TOP UNITS SHALL BE SCREENED BY LOW STUCCO WALLS. STUCCO COLOR TO MATCH BUILDING STUCCO COLORS
3. ROOF TOP COLOR SHALL BE WHITE OR TAN
4. LA CUEVA OPEN SPACE REQUIREMENTS HAVE BEEN MET
5. FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB



-12/15/2000-2009/2014/20/20/2014 C-701: REVISED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT #12-2-044, 3/11/2014 2:16:40 PM, fbt

HOPE PLAZA