

VICINITY MAP  
SCALE: 1" = 750'

C-20

DESCRIPTION

Lots 5 through 8, inclusive, Block 4 and Lots 25 through 28, inclusive, Block 4, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

# PLAT OF TRACTS A, B AND C, HOPE PLAZA ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO OCTOBER, 2007

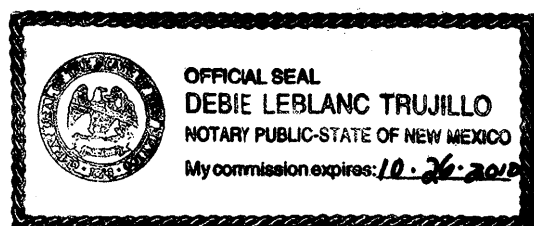
DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owners and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the public street rights-of-way with respect to the Alameda Boulevard N.E. realignment, and does hereby dedicate to the City of Albuquerque in fee simple the public street rights-of-way with respect to the north-half of Signal Avenue N.E., and the south-half of Alameda Boulevard N.E. and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided, hereon.

*Donald G. Hoeh*  
Donald G. Hoeh, President  
Hoeh Real Estate Corporation (Contract Purchaser of Proposed Tract A) 10-11-2007 Date

ACKNOWLEDGEMENT

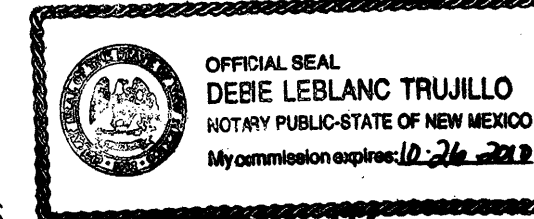
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on this 11th day of October, 2007, by Donald G. Hoeh, President, Hoeh Real Estate Corporation.  
*Debie Leblanc Trujillo*  
Notary Public

*Robert B. Keeran*  
Robert B. Keeran, President,  
Llave Development, Inc. (Lot B; Contract Purchaser of Proposed Tract C) 10-11-2007 Date

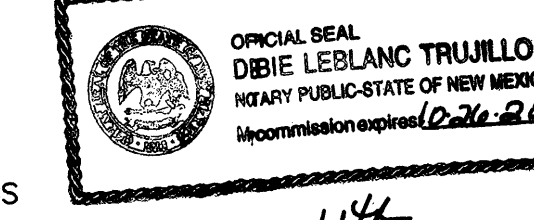
ACKNOWLEDGEMENT  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on this 11th day of October, 2007, by Robert B. Keeran, President, Llave Development, Inc.  
*Debie Leblanc Trujillo* RXT 11-26-07  
Notary Public

*Jeffrey N. Steenson*  
The Right Reverend Jeffrey N. Steenson, President,  
The Trustees of the Property of the Protestant Episcopal Church in New Mexico (Lots 5, 6, 7, 25, 26, 27 and 28; Proposed Tract B to be retained) 10/11/07 Date

ACKNOWLEDGEMENT  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on this 11th day of October, 2007, by Jeffrey N. Steenson, President, The Trustees of the Property of the Protestant Episcopal Church in New Mexico.  
*Debie Leblanc Trujillo* RXT 11-21-07  
Notary Public

Llave Development, Inc. and Protestant Episcopal Church in New Mexico  
OWNER  
PROJECTED  
SEC. 17, T 11 N, R 4 E, N.M.P.M.  
LOCATION  
HOPE PLAZA  
SUBDIVISION

DOC# 2008002898  
01/09/2008 12:31 PM Page: 1 of 4  
PLAT R: \$22.00 B: 2008C P: 0006 M: Toulouse, Bernalillo County  
LOCATION

COUNTY CLERK FILING DATA

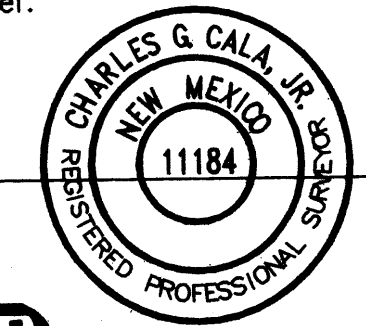
DRB PROJECT NUMBER 1006520  
APPLICATION NUMBER 07EPC-40001, 07EPC-40002

- APPROVALS:
- Andrew Conner* 1-9-08  
DRB CHAIRPERSON, (PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO) DATE
  - Roger A. Green* 11-28-07  
ABCWUA DATE
  - Roll D. Dowd* 11-28-07  
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE
  - Lynn M. Mays* 12-3-07  
A.M.A.F.C.A. DATE
  - W.D.S.* 11/28/07  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
  - Christina Dandoval* 11/28/07  
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
  - W.B. Stewart* 10-12-07  
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE
  - N/A  
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
  - Joseph R. Ros* 12/3/2007  
P.N.M. ELECTRIC SERVICES DATE
  - David Kalil* 12/3/07  
QWEST TELECOMMUNICATIONS DATE
  - Joseph R. Ros* 12/3/2007  
P.N.M. GAS SERVICES DATE
  - Yonke Burson* 11-30-07  
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
Charles G. Cala, Jr., NMPS 11184 10-11-2007 Date  
11/1/07  
11/20/07



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPC # 102002407533510205  
PROPERTY OWNER OF RECORD:  
PROTESTANT EPISCOPAL  
BERNALILLO COUNTY TREASURERS OFFICE: 1-9-08

HIGH MESA Consulting Group  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
6010-S MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
JOB #2006.047.4 PLAT

PLAT OF  
**TRACTS A, B AND C, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2007

DOCH 2008002898  
 01/09/2008 12:31 PM Page: 2 of 4  
 PLAT R \$22.00 B: 2008C P: 0006 M. Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in July 2006 and verified in September, 2007. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "7-C19".
5. Record bearings and distances are shown in parenthesis.
6. Public street mileage created by this plat = 0.25 miles (half-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
  - a. Create 3 (three) tracts from former Lots 5-8, inclusive, and 25-28, inclusive, Block 4, North Albuquerque Acres, Tract 3, Unit 3.
  - b. Eliminate the interior property lines between former Lots 5-8, inclusive and 25-28, inclusive.
  - c. Dedicate in fee simple, with warranty covenants, the additional public street rights-of-way for Alameda Boulevard (0.6458 AC. ±); and also dedicate in fee simple the half-widths for Alameda Boulevard and Signal Avenue (0.9129 AC. ±) as shown.
  - d. Grant the necessary public utility, private access, private drainage and public drainage easements as shown.
  - e. Vacate the nonspecific easements and/or right-of-ways for road and/or pipeline purposes (water, gas or sewage), telephone and electrical energy as noted, affecting the properties platted hereon, granted by the following documents: Book 124, Page 463 and Book D74, Page 109, records of Bernalillo County, New Mexico by this request (07DRB-70360).
9. The following documents and instruments were used for the performance and preparation of this survey:
  - a. Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
  - b. Plat of Tierra Morena, filed 04-22-2005, Book 2005C, Page 125, Records of Bernalillo County, New Mexico.
  - c. Plat of Carrington Subdivision, Unit One, filed 08-06-1993, Book 93C, Page 225, Records of Bernalillo County, New Mexico.
  - d. Warranty Deed filed 10-09-2002, Book A43, Page 534, Doc. No. 2002130893, Records of Bernalillo County, New Mexico (Lots 5, 6, 7, 25, 26, 27 and 28).
  - e. Commitment for Title Insurance File No. 833574-AL01, MLC prepared by First American Title Insurance Company dated May 31, 2006 (Lots 5, 6, 7, 25, 26, 27 and 28).
  - f. Warranty Deed filed 09-26-2005, Book A104, Page 654, Doc. No. 2005141049, Records of Bernalillo County, New Mexico (Lot 8).
  - g. Title Insurance Policy No. 661342-AL01, MLC prepared by First American Title Insurance Company dated August 17, 2005 (Lot 8).
  - h. Boundary and Topographic survey of Lots 25, 26, 27, Block 3, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm dated May, 2006 (unrecorded).
  - i. Boundary and Topographic survey of Lots 5, 6, 7, 8, 25, 26, 27 and 28, Block 4, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm dated August, 2006 (unrecorded).
10. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.
11. No direct vehicular access to Tract C is permitted from Alameda Boulevard or Tracts A and B. An access easement to Alameda Boulevard shall be granted across Lot 9, Block 4 by separate document.
12. Gross subdivision acreage = 7.9928 acres.
13. Current Zoning of this site is SU-2/O-1 & R-T, based upon review of the City of Albuquerque Zone Atlas.
14. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1338.00'	304.46'	303.81'	S 83°08'26" E	13°02'16"
C2	1338.00'	85.46'	85.45'	S 74°47'31" E	03°39'35"
CL1	1400.00'	389.16'	387.91'	S 81°41'46" E	15°55'36"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	EASEMENT
E1	S 00°24'26" W	36.02'	5
E2	S 00°24'26" W	27.44'	5
E3	N 00°24'26" E	53.47'	5
E4	S 00°24'26" W	6.01'	5
E5	N 89°37'18" W	33.00'	5
E6	N 00°24'26" E	6.03'	5
E7	S 00°24'26" W	53.00'	5
E8	N 89°38'30" W	38.54'	5
E9	N 02°41'03" E	25.07'	5
E10	N 00°24'26" E	27.46'	5
E11	N 10°41'05" W	42.29'	5
E12	N 00°24'26" E	43.92'	5
E13	S 89°39'34" E	17.66'	5
E14	S 00°24'26" W	13.01'	5
E15	N 00°24'26" E	13.01'	5
E16	S 00°24'26" W	13.00'	5
E17	N 00°24'26" E	13.00'	5
E18	S 89°33'50" E	24.00'	7
E19	N 89°38'30" W	34.73'	7
E20	N 02°41'03" E	25.07'	7

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	EASEMENT
EC1	1338.00'	45.11'	S 88°41'37" E	45.10'	01°55'53"	5
EC2	23.37'	5.81'	S 10°30'24" W	5.80'	14°15'09"	5
EC3	24.50'	38.48'	S 44°35'34" E	34.65'	90°00'00"	5
EC4	8.50'	13.38'	N 44°31'03" W	12.04'	90°10'13"	5
EC5	13.50'	21.20'	S 45°24'08" W	19.09'	89°59'25"	5
EC6	13.50'	21.20'	N 44°35'17" W	19.09'	89°59'25"	5
EC7	8.50'	13.35'	S 45°24'42" W	12.02'	90°00'37"	5
EC8	13.50'	21.21'	S 45°24'21" W	19.09'	90°00'10"	5
EC9	23.50'	13.39'	S 22°34'24" E	13.21'	32°38'22"	5
EC10	23.50'	16.27'	N 20°11'28" E	15.95'	39°40'11"	5
EC11	24.50'	38.48'	N 45°24'26" E	34.65'	90°00'00"	5
EC12	23.37'	20.74'	N 24°36'20" W	20.07'	50°51'17"	5
EC13	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	5
EC14	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	5
EC15	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	5
EC16	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	5
EC17	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	5
EC18	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	5
EC19	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	5
EC20	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	5
EC21	70.00'	89.36'	N 38°25'29" W	83.41'	73°08'25"	6
EC22	1338.00'	60.53'	S 74°15'29" E	60.52'	02°35'31"	6
EC23	25.00'	13.04'	S 21°11'45" E	12.89'	29°52'55"	7
EC24	25.00'	16.07'	N 18°49'04" E	15.79'	36°49'27"	7

KEYED NOTES

EXISTING EASEMENT

- ① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT SERVING FORMER LOTS 29-32, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, NOW PLATTED AS LOTS 1-20, TIERRA MORENA, GRANTED BY DOCUMENT FILED 06-09-2004, BOOK A79, PAGE 278, DOC. #2004080490, RECORDS OF BERNALILLO COUNTY,

VACATED EASEMENTS

- ② THE NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY AFFECTING THE PROPERTIES PLATTED HEREON, GRANTED BY THE FOLLOWING DOCUMENTS: BOOK 124, PAGE 463, (LOTS 6 & 7, BLOCK 4) BOOK D74, PAGE 109, (LOT 8, BLOCK 4), RECORDS OF BERNALILLO COUNTY, NEW MEXICO VACATED BY 07DRB-70360
- ③ TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, BOOK A102, PAGE 4978, DOC. #2005125347, RECORDS OF BERNALILLO COUNTY, NEW MEXICO VACATED BY 07DRB-70360

NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ⑤ PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A AND B. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED 01-09-2006 DOCUMENT NO. 200600294
- ⑥ PUBLIC DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE THE CITY OF ALBUQUERQUE
- ⑦ PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT A. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED 01-09-2006 DOCUMENT NO. 200600294

ACCESS CONTROL

- ⑧ DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B, HOPE PLAZA. ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.

EASEMENT - OFFSITE

- ⑨ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

MONUMENTS

- Ⓐ FOUND #4 REBAR W/CAP STAMPED "NMPS 8127", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓑ FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓒ FOUND 1" REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓓ FOUND #5 REBAR W/CAP STAMPED "LS 7719, TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓔ FOUND #5 REBAR, NO I.D., (USED FOR NORTH R.O.W. LINE ONLY)
- Ⓕ FOUND ALUMINUM CAP STAMPED "PLS 4972"
- Ⓖ FOUND #5 REBAR W/CAP STAMPED "LS 9801", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓗ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓙ SET P.K. NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- Ⓚ FOUND AMAFCA BRASS CAP
- Ⓛ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"

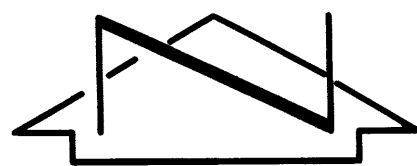
**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.047.4 PLAT



PLAT OF  
**TRACTS A, B AND C, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2007

DOC# 2008002898  
 81/09/2008 12:31 PM Page: 3 of 4  
 PLAT R:\$22.00 B: 2008C P: 0006 M: Toulouse, Bernalillo County

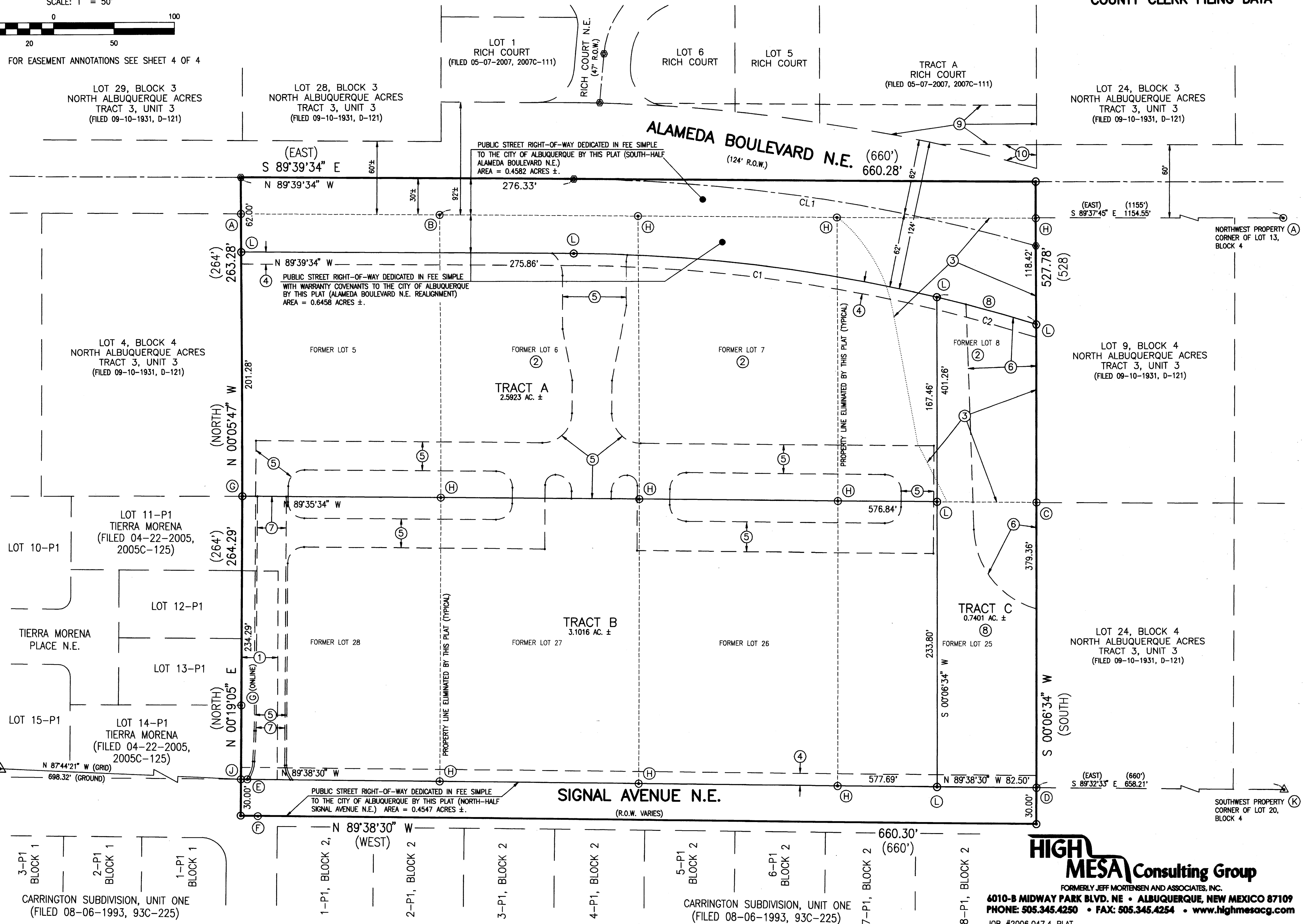


SCALE: 1" = 50'



NOTE: FOR EASEMENT ANNOTATIONS SEE SHEET 4 OF 4

COUNTY CLERK FILING DATA



NEW MEXICO, CENTRAL ZONE - NAD 1927  
 X-CORNER 374.36  
 Y-CORNER 522.06  
 COMBINED FACTOR=0.999647055  
 ELEVATION=5483.076' (NGVD 29)

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.047.4 PLAT

EASEMENT DIAGRAM

TRACTS A, B AND C, HOPE PLAZA

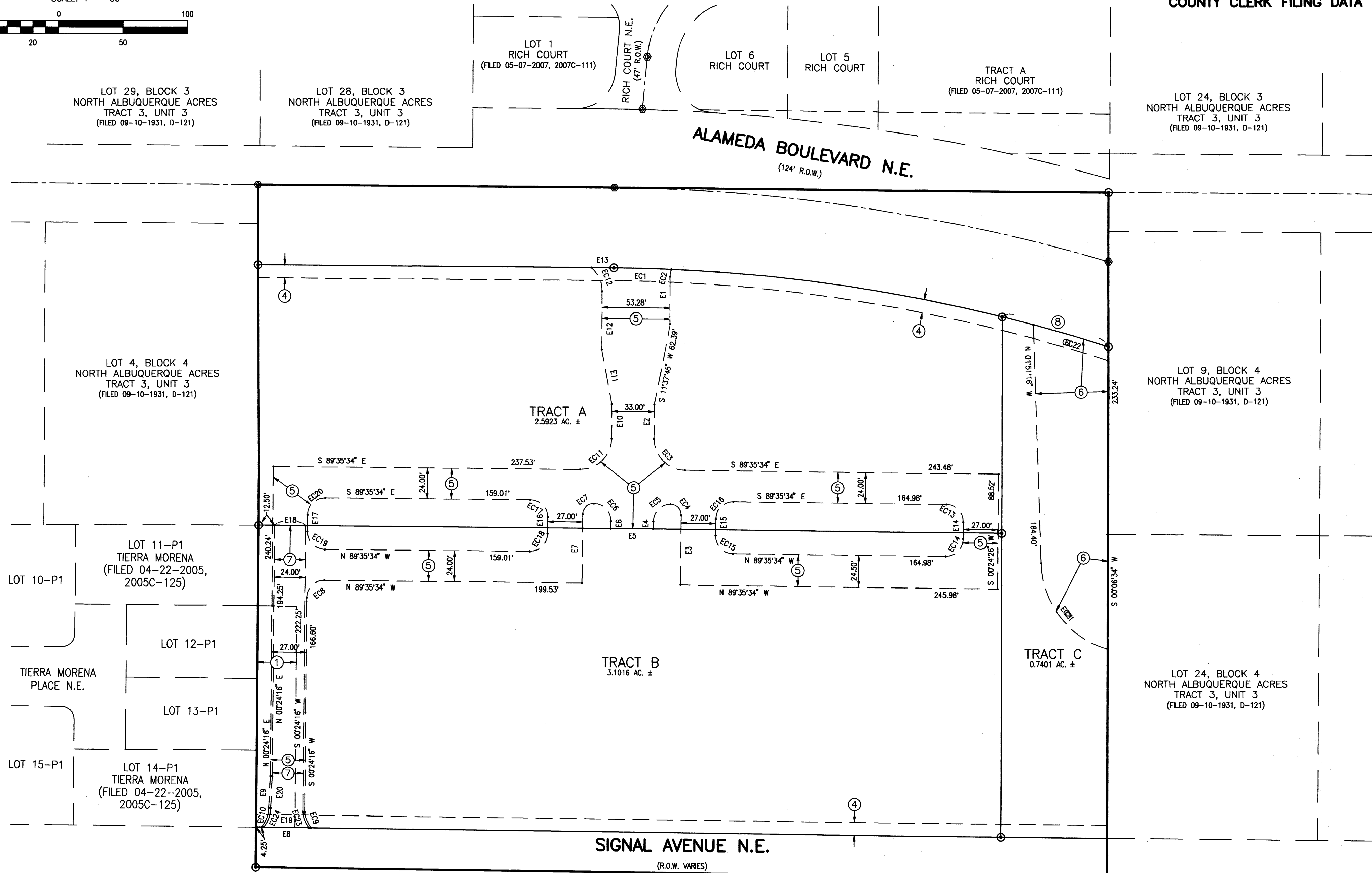
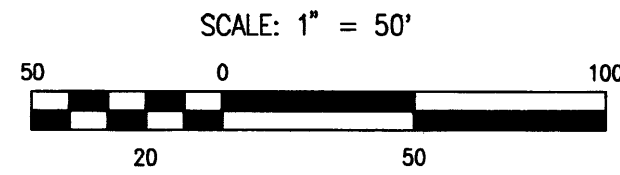
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2007

DOCH 200802898

01/09/2008 12:31 PM Page: 4 of 4  
 PLAT R: \$22.00 B: 2008C P: 0006 M. Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

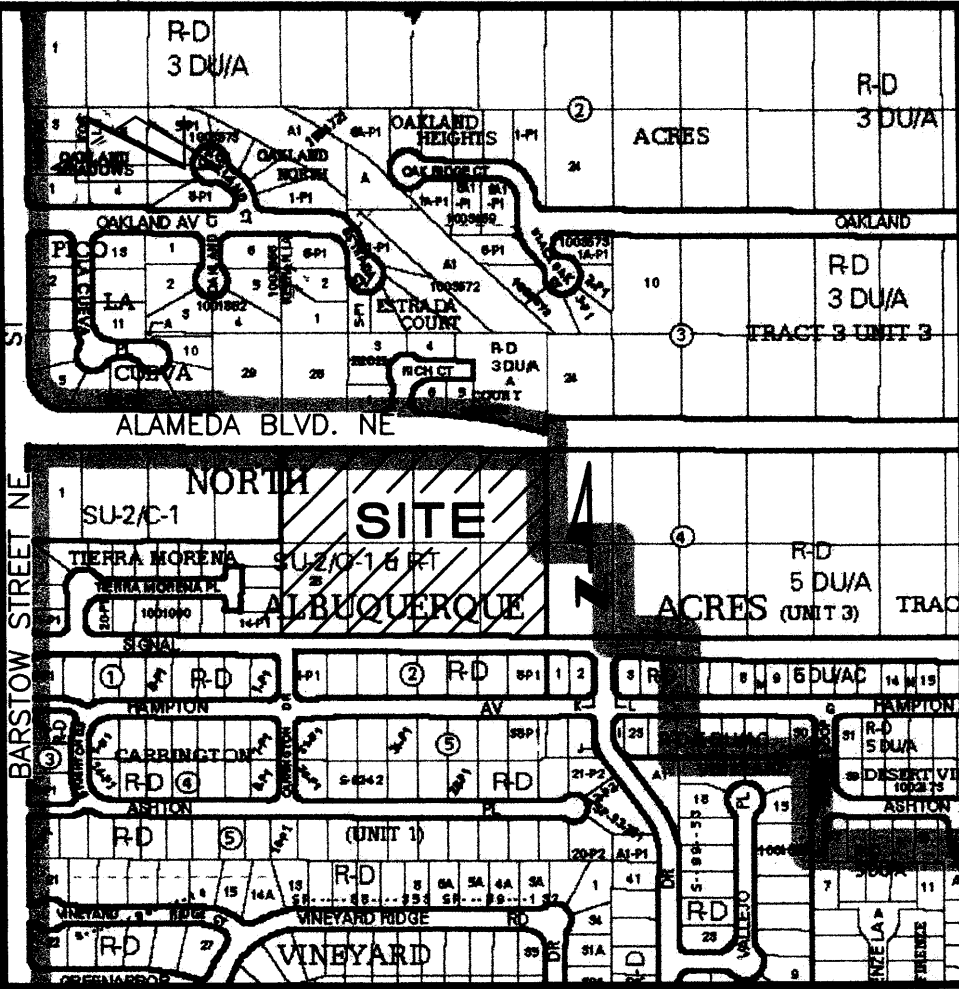


3-P1 BLOCK 1  
 2-P1 BLOCK 1  
 1-P1 BLOCK 1  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

1-P1, BLOCK 2,  
 2-P1, BLOCK 2  
 3-P1, BLOCK 2  
 4-P1, BLOCK 2  
 5-P1 BLOCK 2  
 6-P1 BLOCK 2  
 7-P1, BLOCK 2  
 8-P1, BLOCK 2  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORITENSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.047.4 PLAT4





PLAT OF  
**TRACTS A, B AND C, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2007

LLAVE DEVELOPMENT, INC. AND  
 PROTESTANT EPISCOPAL CHURCH  
 IN NEW MEXICO  
 OWNER  
 PROJECTED  
 SEC. 17, T 11 N, R 4 E, N.M.P.M.  
 LOCATION  
 HOPE PLAZA  
 SUBDIVISION

COUNTY CLERK FILING DATA

**PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON \_\_\_\_\_**

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owners and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the public street rights-of-way with respect to the Alameda Boulevard N.E. realignment, and does hereby dedicate to the City of Albuquerque in fee simple the public street rights-of-way with respect to the north-half of Signal Avenue N.E., and the south-half of Alameda Boulevard N.E. and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided, hereon.

*Donald G. Hoech*  
 Donald G. Hoech, President  
 Hoech Real Estate Corporation (Contract Purchaser of Proposed Tract A) 10-11-2007 Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on this 11th day of October, 2007, by Donald G. Hoech, President, Hoech Real Estate Corporation.

*Debbe LeBlanc Trujillo*  
 Notary Public

*Robert B. Keeran*  
 Robert B. Keeran, President,  
 Llave Development, Inc. (Lot 8; Contract Purchaser of Proposed Tract C) 10-11-2007 Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on this 11th day of October, 2007, by Robert B. Keeran, President, Llave Development, Inc.

*Debbe LeBlanc Trujillo*  
 Notary Public

*Jeffrey N. Steenson* JNS 11-1-07  
 The Right Reverend Jeffrey N. Steenson, President,  
 The Trustees of the Property of the Protestant Episcopal Church in New Mexico (Lots 5, 6, 7, 25, 26, 27 and 28; Proposed Tract B to be retained) 10/11/07 Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on this 11th day of October, 2007, by Jeffrey N. Steenson, President, The Trustees of the Property of the Protestant Episcopal Church in New Mexico.

*Debbe LeBlanc Trujillo* DXT 11-01-07  
 Notary Public

DRB PROJECT NUMBER 1006520	
APPLICATION NUMBER 07EPC-40001, 07EPC-40002	
APPROVALS:	
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
ABCWUA	DATE
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
<i>John B. Ford</i> 10-12-07	DATE
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
P.N.M. ELECTRIC SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
P.N.M. GAS SERVICES	DATE
COMCAST CABLE VISION OF NEW MEXICO, INC.	DATE

VICINITY MAP  
 SCALE: 1" = 750'

C-20

DESCRIPTION

Lots 5 through 8, inclusive, Block 4 and Lots 25 through 28, inclusive, Block 4, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

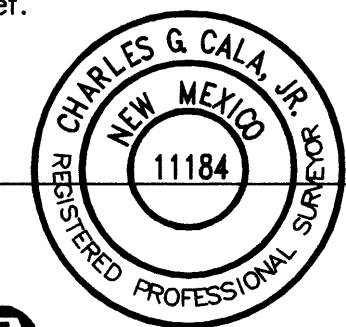
1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
 Charles G. Cala, Jr., N.M.P.S. 11184



10-11-2007  
11/1/07 Date

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.047.4 PLAT

PLAT OF  
**TRACTS A, B AND C, HOPE PLAZA**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2007

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in July 2006 and verified in September, 2007. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "7-C19".
5. Record bearings and distances are shown in parenthesis.
6. Public street mileage created by this plat = 0.25 miles (half-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
  - a. Create 3 (three) tracts from former Lots 5-8, inclusive, and 25-28, inclusive, Block 4, North Albuquerque Acres, Tract 3, Unit 3.
  - b. Eliminate the interior property lines between former Lots 5-8, inclusive and 25-28, inclusive.
  - c. Dedicate in fee simple, with warranty covenants, the additional public street rights-of-way for Alameda Boulevard (0.6458 AC. ±); and also dedicate in fee simple the half-widths for Alameda Boulevard and Signal Avenue (0.9129 AC. ±) as shown.
  - d. Grant the necessary public utility, private access, private drainage and public drainage easements as shown.
  - e. Vacate the nonspecific easements and/or right-of-ways for road and/or pipeline purposes (water, gas or sewage), telephone and electrical energy as noted, affecting the properties platted hereon, granted by the following documents: Book 124, Page 463 and Book D74, Page 109, records of Bernalillo County, New Mexico by this request (07DRB-\_\_\_\_\_).
9. The following documents and instruments were used for the performance and preparation of this survey:
  - a. Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
  - b. Plat of Tierra Morena, filed 04-22-2005, Book 2005C, Page 125, Records of Bernalillo County, New Mexico.
  - c. Plat of Carrington Subdivision, Unit One, filed 08-06-1993, Book 93C, Page 225, Records of Bernalillo County, New Mexico.
  - d. Warranty Deed filed 10-09-2002, Book A43, Page 534, Doc. No. 2002130893, Records of Bernalillo County, New Mexico (Lots 5, 6, 7, 25, 26, 27 and 28).
  - e. Commitment for Title Insurance File No. 833574-AL01, MLC prepared by First American Title Insurance Company dated May 31, 2006 (Lots 5, 6, 7, 25, 26, 27 and 28).
  - f. Warranty Deed filed 09-26-2005, Book A104, Page 654, Doc. No. 2005141049, Records of Bernalillo County, New Mexico (Lot 8).
  - g. Title Insurance Policy No. 661342-AL01, MLC prepared by First American Title Insurance Company dated August 17, 2005 (Lot 8).
  - h. Boundary and Topographic survey of Lots 25, 26, 27, Block 3, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm dated May, 2006 (unrecorded).
  - i. Boundary and Topographic survey of Lots 5, 6, 7, 8, 25, 26, 27 and 28, Block 4, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm dated August, 2006 (unrecorded).
10. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.
11. No direct vehicular access to Tract C is permitted from Alameda Boulevard or Tracts A and B. An access easement to Alameda Boulevard shall be granted across Lot 9, Block 4 by separate document.
12. Gross subdivision acreage = 7.9928 acres.
13. Current Zoning of this site is SU-2/O-1 & R-T, based upon review of the City of Albuquerque Zone Atlas.

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1338.00'	304.46'	303.81'	S 83°08'26" E	13°02'16"
C2	1338.00'	85.46'	85.45'	S 74°47'31" E	03°39'35"
CL1	1400.00'	389.16'	387.91'	S 81°41'46" E	15°55'36"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	EASEMENT
E1	S 00°24'26" W	36.02'	5
E2	S 00°24'26" W	27.44'	5
E3	N 00°24'26" E	53.47'	5
E4	S 00°24'26" W	6.01'	5
E5	N 89°37'18" W	33.00'	5
E6	N 00°24'26" E	6.03'	5
E7	S 00°24'26" W	53.00'	5
E8	N 89°38'30" W	38.54'	5
E9	N 02°41'03" E	25.07'	5
E10	N 00°24'26" E	27.46'	5
E11	N 10°41'05" W	42.29'	5
E12	N 00°24'26" E	43.92'	5
E13	S 89°39'34" E	17.68'	5
E14	S 00°24'26" W	13.01'	5
E15	N 00°24'26" E	13.01'	5
E16	S 00°24'26" W	13.00'	5
E17	N 00°24'26" E	13.00'	5
E18	S 89°33'50" E	24.00'	7
E19	N 89°38'30" W	34.73'	7
E20	N 02°41'03" E	25.07'	7

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	EASEMENT
EC1	1338.00'	45.11'	S 88°41'37" E	45.10'	01°55'53"	5
EC2	23.37'	5.81'	S 10°30'24" W	5.80'	14°15'09"	5
EC3	24.50'	38.48'	S 44°35'34" E	34.65'	90°00'00"	5
EC4	8.50'	13.38'	N 44°31'03" W	12.04'	90°10'13"	5
EC5	13.50'	21.20'	S 45°24'08" W	19.09'	89°59'25"	5
EC6	13.50'	21.20'	N 44°35'17" W	19.09'	89°59'25"	5
EC7	8.50'	13.35'	S 45°24'42" W	12.02'	90°00'37"	5
EC8	13.50'	21.21'	S 45°24'21" W	19.09'	90°00'10"	5
EC9	23.50'	13.39'	S 22°34'24" E	13.21'	32°38'22"	5
EC10	23.50'	16.27'	N 20°11'28" E	15.95'	39°40'11"	5
EC11	24.50'	38.48'	N 45°24'26" E	34.65'	90°00'00"	5
EC12	23.37'	20.74'	N 24°36'20" W	20.07'	50°51'17"	5
EC13	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	5
EC14	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	5
EC15	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	5
EC16	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	5
EC17	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	5
EC18	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	5
EC19	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	5
EC20	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	5
EC21	60.00'	73.92'	N 37°08'48" E	69.33'	70°35'03"	6
EC22	1338.00'	50.10'	S 74°02'05" E	50.09'	02°08'43"	6
EC23	25.00'	13.04'	S 21°11'45" E	12.89'	29°52'55"	7
EC24	25.00'	16.07'	N 18°49'04" E	15.79'	36°49'27"	7

KEYED NOTES

EXISTING EASEMENT

- ① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT SERVING FORMER LOTS 29-32, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, NOW PLATTED AS LOTS 1-20, TIERRA MORENA, GRANTED BY DOCUMENT FILED 06-09-2004, BOOK A79, PAGE 278, DOC. #2004080490, RECORDS OF BERNALILLO COUNTY,

VACATED EASEMENTS

- ② THE NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY AFFECTING THE PROPERTIES PLATTED HEREON, GRANTED BY THE FOLLOWING DOCUMENTS: BOOK 124, PAGE 463, (LOTS 6 & 7, BLOCK 4) BOOK D74, PAGE 109, (LOT 8, BLOCK 4), RECORDS OF BERNALILLO COUNTY, NEW MEXICO VACATED BY 07DRB-\_\_\_\_\_
- ③ TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, BOOK A102, PAGE 4978, DOC. #2005125347, RECORDS OF BERNALILLO COUNTY, NEW MEXICO VACATED BY 07DRB-\_\_\_\_\_

NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ⑤ PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A AND B. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED \_\_\_\_\_-2007, DOCUMENT NO. 2007\_\_\_\_\_.
- ⑥ PUBLIC DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE THE CITY OF ALBUQUERQUE
- ⑦ PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT A. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED \_\_\_\_\_-2007, DOCUMENT NO. 2007\_\_\_\_\_.

ACCESS CONTROL

- ⑧ DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B, HOPE PLAZA. ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.

EASEMENT - OFFSITE

- ⑨ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

MONUMENTS

- Ⓐ FOUND #4 REBAR W/CAP STAMPED "NMPS 8127", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓑ FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓒ FOUND 1" REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓓ FOUND #5 REBAR W/CAP STAMPED "LS 7719, TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓔ FOUND #5 REBAR, NO I.D., (USED FOR NORTH R.O.W. LINE ONLY)
- Ⓕ FOUND ALUMINUM CAP STAMPED "PLS 4972"
- Ⓖ FOUND #5 REBAR W/CAP STAMPED "LS 9801", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓗ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓙ SET P.K. NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- Ⓚ FOUND AMAFCA BRASS CAP
- Ⓛ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"

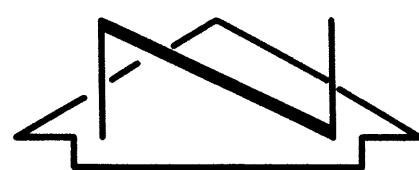
**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
JOB #2006.047.4 PLAT

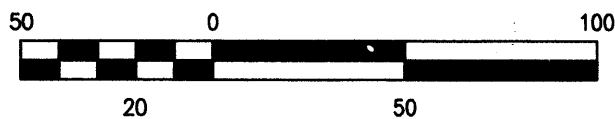


PLAT OF  
**TRACTS A, B AND C, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2007

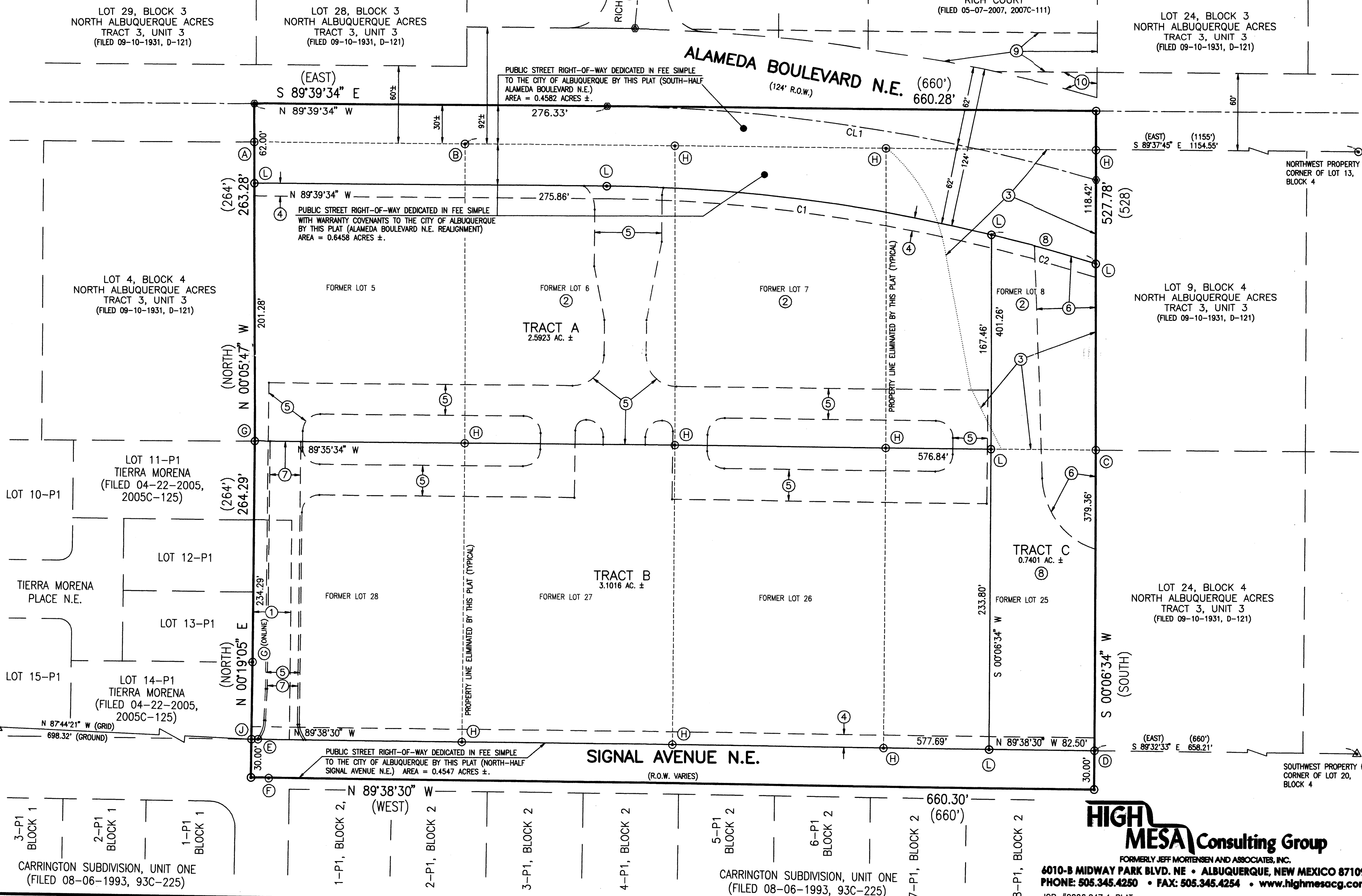
COUNTY CLERK FILING DATA



SCALE: 1" = 50'



NOTE: FOR EASEMENT ANNOTATIONS SEE SHEET 4 OF 4



NEW MEXICO CENTRAL ZONE-NAD 1927  
 A.C.S. STA. 7-C18  
 X=410,171.36  
 Y=1,522,006.02  
 COMBINED FACTOR=0.999647055  
 ELEVATION=5483.076' (NGVD 29)

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORITSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.047.4 PLAT



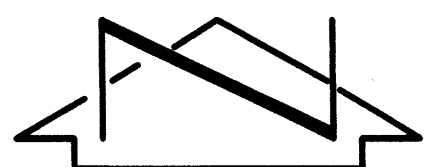
EASEMENT DIAGRAM

TRACTS A, B AND C, HOPE PLAZA

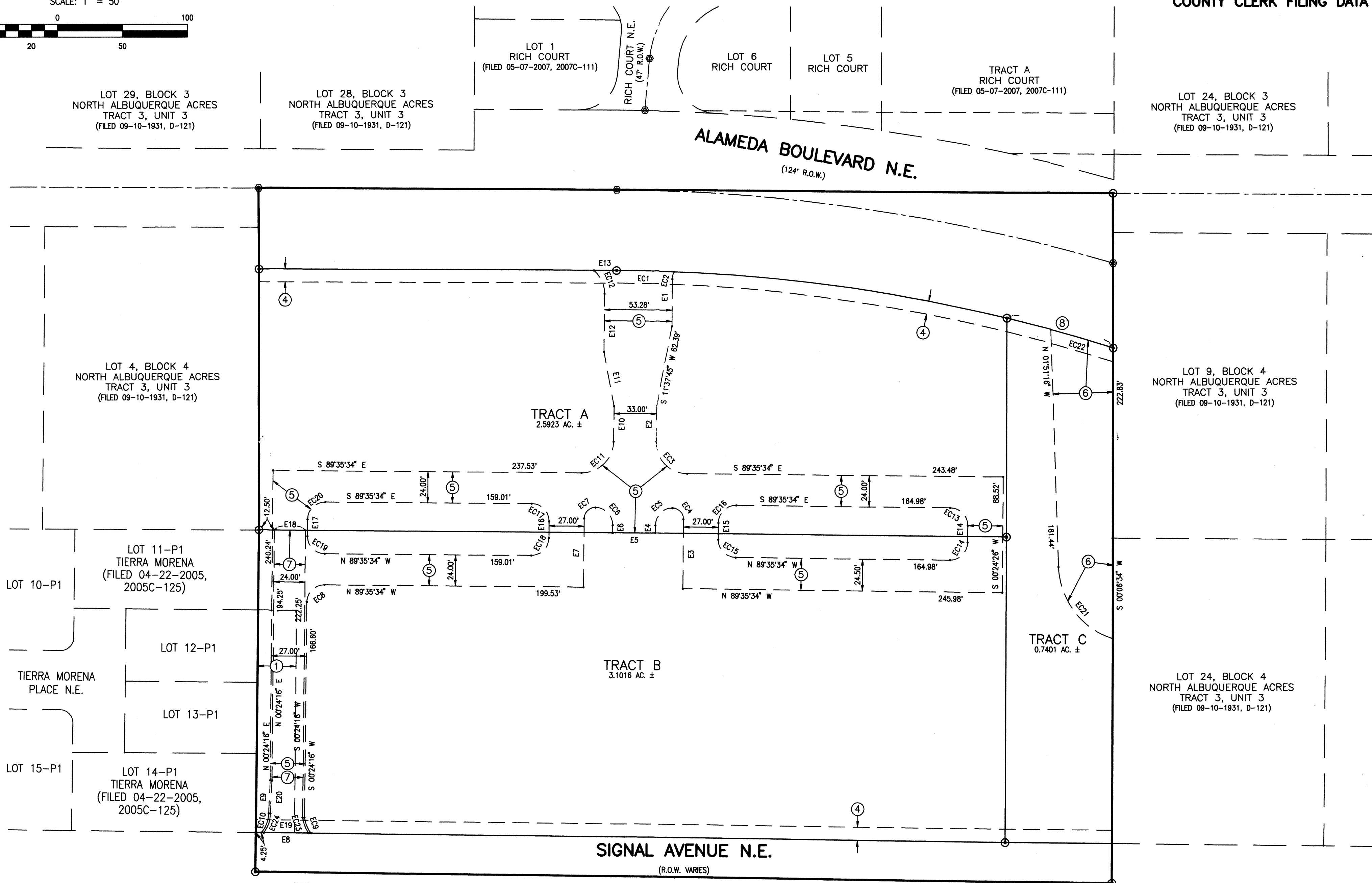
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2007

COUNTY CLERK FILING DATA



SCALE: 1" = 50'



3-P1  
BLOCK 1  
CARRINGTON SUBDIVISION, UNIT ONE  
(FILED 08-06-1993, 93C-225)

2-P1  
BLOCK 1

1-P1  
BLOCK 1

1-P1, BLOCK 2

2-P1, BLOCK 2

3-P1, BLOCK 2

4-P1, BLOCK 2

5-P1  
BLOCK 2

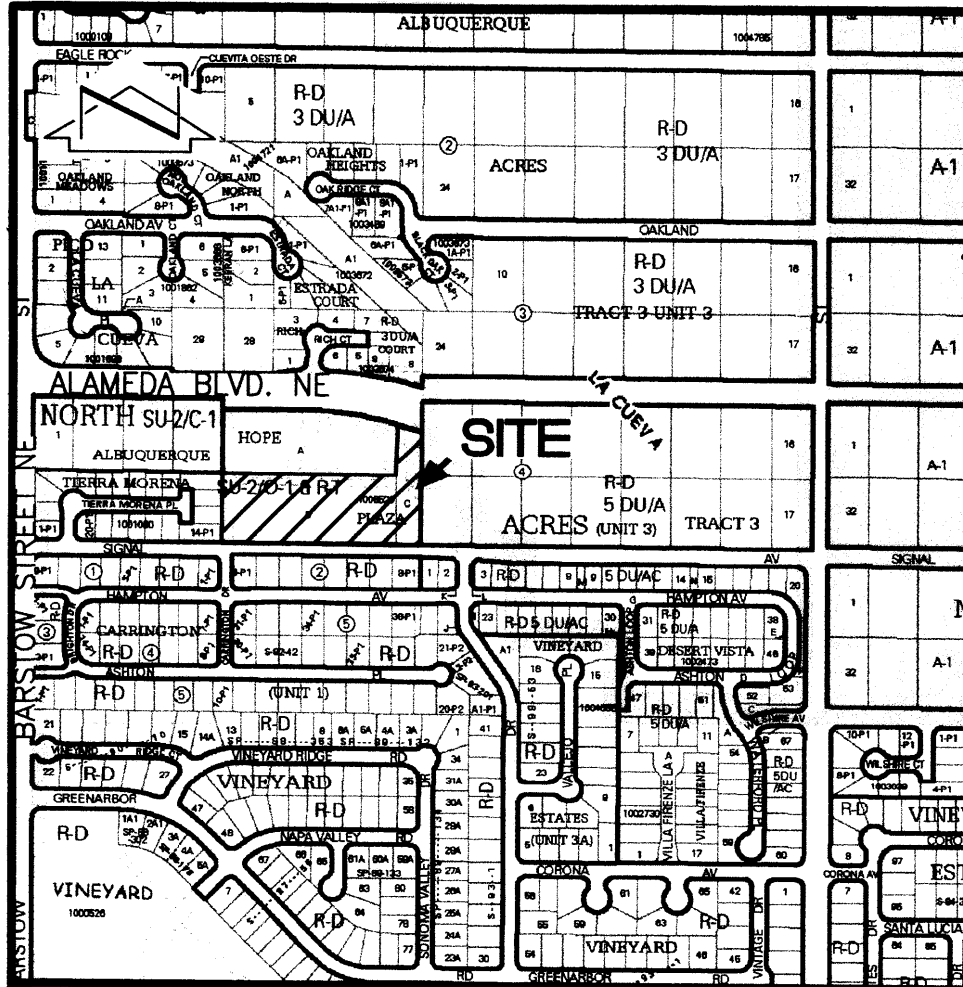
6-P1  
BLOCK 2

7-P1, BLOCK 2

8-P1, BLOCK 2

CARRINGTON SUBDIVISION, UNIT ONE  
(FILED 08-06-1993, 93C-225)

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.047.4 PLAT4



PLAT OF  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012

PROTESTANT EPISCOPAL CHURCH  
 IN NEW MEXICO  
 OWNER  
 PROJECTED  
 SEC. 17, T 11 N, R 4 E, N.M.P.M.  
 LOCATION  
 HOPE PLAZA  
 SUBDIVISION

DOC# 2012038246  
 04/17/2012 10:48 AM Page: 1 of 4  
 PLAT R: \$25.00 B: 2012C.P. 0043 M. Taulous Olivere, Bernalillo Cou

COUNTY CLERK FILING DATA

VICINITY MAP C-20  
 SCALE: 1" = 750'

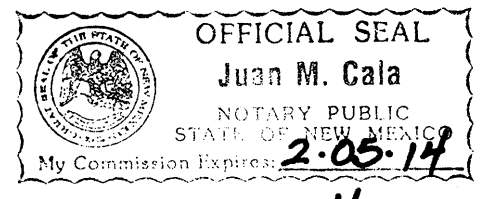
FREE CONSENT  
 The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided, hereon.

*John H. Sloane*  
 John H. Sloane, Senior Warden,  
 Hope-in-the-Desert Episcopal Church

ACKNOWLEDGEMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 20<sup>th</sup> day of January, 2012, by John H. Sloane, Senior Warden, Hope-in-the-Desert Episcopal Church.

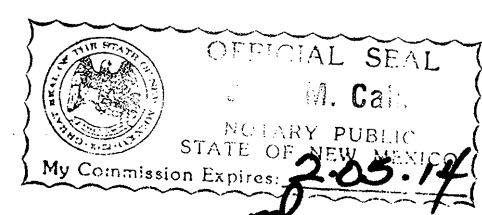
*J. M. Cala*  
 Notary Public



ACKNOWLEDGEMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 23<sup>rd</sup> day of January, 2012, by Fred W. Winter, Sr., Assistant Treasurer, Episcopal Diocese of the Rio Grande.

*J. M. Cala*  
 Notary Public



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
 PAID ON UPC # 102001A12033520225 + 1020006A08632120226  
 PROPERTY OWNER OF RECORD  
 HOPE IN THE DESERT EPISCOPAL CHURCH  
 BERNALILLO COUNTY TREASURER'S OFFICE

*J. M. Cala*  
 Notary Public

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Tracts B and C, Hope Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 09, 2008, Book 2008C, Page 6, Doc. #2008002898, and being more particularly described as follows:

Beginning at the southwest corner of the parcel herein described, being the southwest corner of said Tract B, also being the southeast corner of Lot 14-P1, Tierra Morena, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 22, 2005, Book 2005C, Page 125, and also being a point on the north right-of-way line of Signal Avenue N.E.; thence N 00°19'05" E a distance of 234.29 feet to the northwest corner of said Tract B, being the southwest corner of Tract A, of said Hope Plaza, also being the northeast corner of Lot 11-P1, of said Tierra Morena, and also being the southeast corner of Lot 4, Block 4, North Albuquerque Acres, Tract 3, Unit 3, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121; thence S 89°39'34" E a distance of 576.84 feet to the northeast corner of said Tract B, being a point on the west property line of said Tract C, and also being the southeast corner of Tract A, of said Hope Plaza; thence N 00°06'34" E a distance of 167.46 feet to the northwest corner of the parcel herein described, being the northwest corner of said Tract C, also being the northeast corner of Tract A, of said Hope Plaza, and also being a point on the south right-of-way line of Alameda Boulevard N.E.; thence along an arc of a curve to the right with Delta = 03°39'35", R = 1338.00 feet, L = 85.46 feet (Chord Bearing = S 74°47'31" E, Chord Distance = 85.45 feet) along said south right-of-way line to the northeast corner of the parcel herein described, being the northeast corner of said Tract C, also being a point on the west property line of Lot 9, Block 4, of said North Albuquerque Acres, Tract 3, Unit 3; thence S 00°06'34" W a distance of 379.36 feet to the southeast corner of the parcel herein described, being the southeast corner of said Tract C, also being a point on the west property line of Lot 24, Block 4, of said North Albuquerque Acres, Tract 3, Unit 3, and also being a point on the north right-of-way line of Signal Avenue N.E.; thence N 89°38'30" W a distance of 660.19 feet along said north right-of-way line to the point of beginning and containing 3.8417 acres more or less.

EASEMENT DEDICATION

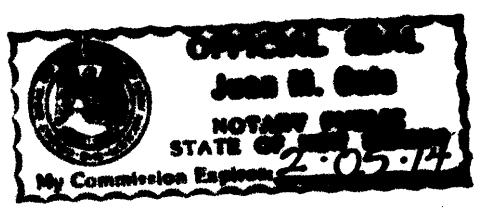
The undersigned owners of the land platted hereon do hereby grant the easement to Qwest Corporation d/b/a CenturyLink QC and Comcast Cable Vision of New Mexico, Inc. as shown, including the rights of ingress and egress and the right to trim interfering trees.

*John H. Sloane*  
 John H. Sloane, Senior Warden,  
 Hope-in-the-Desert Episcopal Church

ACKNOWLEDGEMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 21<sup>st</sup> day of March, 2012, by John H. Sloane, Senior Warden, Hope-in-the-Desert Episcopal Church.

*J. M. Cala*  
 Notary Public

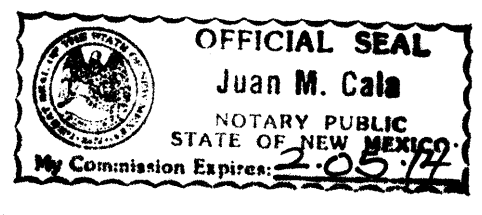


*Fred W. Winter, Sr.*  
 Fred W. Winter, Sr., Assistant Treasurer  
 Episcopal Diocese of the Rio Grande

ACKNOWLEDGEMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 22<sup>nd</sup> day of March, 2012, by Fred W. Winter, Sr., Assistant Treasurer, Episcopal Diocese of the Rio Grande.

*J. M. Cala*  
 Notary Public



DRB PROJECT NUMBER 1006520  
 APPLICATION NUMBER 12DRB-70028

APPROVALS:

*Paul Ch...* 4-17-12  
 DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

*Al Pata* 02/08/12  
 ABCWUA DATE

*Ante a chu* 2-8-12  
 CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

*Lynn M. Mayan* 2-15-12  
 A.M.A.F.C.A. DATE

*...* 02-09-12  
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

*Carol S. Dumont* 2-8-12  
 PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

*...* 1-30-12  
 CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

*Lernando Villar* 3-29-12  
 PUBLIC SERVICE COMPANY OF NEW MEXICO DATE

*...* 03-26-12  
 QWEST CORPORATION d/b/a CENTURYLINK QC DATE

*...* 3-28-2012  
 NEW MEXICO GAS COMPANY DATE

*...* 03-27-12  
 COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

DISCLAIMER  
 In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
 Charles G. Cala, Jr., NMPS 11184



*...* 1-19-2012  
 Date

**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2011.035.1 PLAT



Notes:

- A boundary survey was performed in December, 2011. Property corners were found or set as indicated.
- All distances are ground distances.
- Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
- Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.G.R.S. Control Station "7\_C19", NAD 83.
- No public street mileage was created by this plat.
- The purpose of this plat is to:
  - Create Tract B-1 from former Tracts B and C, Hope Plaza.
  - Eliminate the interior property line between former Tracts B and C.
  - Grant the necessary Qwest and Comcast Easement, as shown.
- The following documents and instruments were used for the performance and preparation of this survey:
  - Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
  - Plat of Tierra Morena, filed 04-22-2005, Book 2005C, Page 125, Records of Bernalillo County, New Mexico.
  - Plat of Hope Plaza, filed 01-09-2008, Book 2008C, Page 6, Records of Bernalillo County, New Mexico.
  - Warranty Deed filed 07-28-2011, Doc. #2011068700, Records of Bernalillo County, New Mexico
  - Policy of Title Insurance Policy No. 27-031-06-249570, File No. FT000077737-NM19, prepared by Fidelity National Title Insurance Company dated 07-28-2011.
  - Second Condominium Plat of Hope Plaza Condominiums filed 07-29-2010, Doc. #2010076720.
- No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.
- No direct vehicular access to former Tract C, Hope Plaza is permitted from Alameda Boulevard. An access easement to Alameda Boulevard was granted across Lot 9, Block 4, North Albuquerque Acres, Tract 3, Unit 3 by document filed 01-09-2008, Doc.# 2008002906, records of Bernalillo County, New Mexico.
- Gross subdivision acreage = 3.8417 acres.
- Current Zoning of this site is SU-2/O-1 & R-T, based upon review of the City of Albuquerque Zone Atlas.
- A portion of the property surveyed hereon, being former Tract B, is subject to a Declaration of Covenants, filed 01-09-2008 as Doc. #2008002903, records of Bernalillo County, New Mexico.
- A portion of the property surveyed hereon, being former Tract B, is subject to a Access, Drainage and Shared Parking Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. #2008002904, modified by instrument filed 06-08-2009, Doc. #2009064058, and by instrument filed 06-08-2009, Doc. #2009064059, records of Bernalillo County, New Mexico.
- A portion of the property surveyed hereon, being former Tract B, is subject to a Sign Easement Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. #2008002905, records of Bernalillo County, New Mexico.
- A portion of the property surveyed hereon, being former Tract C, is subject to a Preliminary Pre-Development Fee Agreement with Albuquerque Public Schools, filed 01-09-2008 as Doc. #2008002907, records of Bernalillo County, New Mexico.
- A portion of the property surveyed hereon, being former Tract C, is subject to a Patent filed 10-27-1923, Book 80, Page 353, records of Bernalillo County, New Mexico.
- A portion of the property surveyed hereon, being former Tract C, may be subject to a Temporary Public Drainage Easement filed 09-06-2007, Doc. #2007128672, records of Bernalillo County, New Mexico.
- The majority of the property surveyed hereon has a Zone X designation which is further described as "Area determined to be outside the 0.2% annual chance floodplain" and in the northeastern portion of the property surveyed hereon an area has a Zone AO (Depth 2') designation which is further described as "Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined" based upon review of the National Flood Insurance Program, Flood Insurance Rate Maps, Panel 141 of 825, dated September 26, 2008.

PLAT OF  
**TRACT B-1, HOPE PLAZA**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2012

DOCH 2012038246

04/17/2012 10:48 AM Page: 2 of 4  
City/PLAT R: \$25.00 B: 2012C P: 0043 M. Toulous Olivere, Bernalillo Cou

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1338.00'	85.46'	85.45'	S 74°47'31" E	03°39'35"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	EASEMENT
E1	S 00°24'26" W	36.02'	3
E2	S 00°24'26" W	27.44'	3
E3	N 00°24'26" E	53.47'	3
E4	S 00°24'26" W	6.01'	3
E5	N 89°37'18" W	33.00'	3
E6	N 00°24'26" E	6.03'	3
E7	S 00°24'26" W	53.00'	3
E8	N 89°38'30" W	38.54'	3
E9	N 02°41'03" E	25.07'	3
E10	N 00°24'26" E	27.46'	3
E11	N 10°41'05" W	42.29'	3
E12	N 00°24'26" E	43.92'	3
E13	S 89°39'34" E	17.68'	3
E14	S 00°24'26" W	13.01'	3
E15	N 00°24'26" E	13.01'	3
E16	S 00°24'26" W	13.00'	3
E17	N 00°24'26" E	13.00'	3
E18	S 89°33'50" E	24.00'	5
E19	N 89°38'30" W	34.73'	5
E20	N 02°41'03" E	25.07'	5
E21	S 00°39'38" W	75.00'	7
E22	N 89°38'46" W	30.00'	7
E23	N 00°39'38" E	75.00'	7
E24	S 89°38'46" E	30.00'	7

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	EASEMENT
EC1	1338.00'	45.11'	S 88°41'37" E	45.10'	01°55'53"	3
EC2	23.37'	5.81'	S 10°30'24" W	5.80'	14°15'09"	3
EC3	24.50'	38.48'	S 44°35'34" E	34.65'	90°00'00"	3
EC4	8.50'	13.38'	N 44°31'03" W	12.04'	90°10'13"	3
EC5	13.50'	21.20'	S 45°24'08" W	19.09'	89°59'25"	3
EC6	13.50'	21.20'	N 44°35'17" W	19.09'	89°59'25"	3
EC7	8.50'	13.35'	S 45°24'42" W	12.02'	90°00'37"	3
EC8	13.50'	21.21'	S 45°24'21" W	19.09'	90°00'10"	3
EC9	23.50'	13.39'	S 22°34'24" E	13.21'	32°38'22"	3
EC10	23.50'	16.27'	N 20°11'28" E	15.95'	39°40'11"	3
EC11	24.50'	38.48'	N 45°24'26" E	34.65'	90°00'00"	3
EC12	23.37'	20.74'	N 24°36'20" W	20.07'	50°51'17"	3
EC13	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	3
EC14	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	3
EC15	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	3
EC16	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	3
EC17	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	3
EC18	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	3
EC19	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	3
EC20	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	3
EC21	70.00'	89.36'	N 38°25'29" W	83.41'	73°08'25"	4
EC22	1338.00'	60.53'	S 74°15'29" E	60.52'	02°35'31"	4
EC23	25.00'	13.04'	S 21°11'45" E	12.89'	29°52'55"	5
EC24	25.00'	16.07'	N 18°49'04" E	15.79'	36°49'27"	5

KEYED NOTES

EASEMENTS

- APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT SERVING FORMER LOTS 29-32, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, NOW PLATTED AS LOTS 1-20, TIERRA MORENA, GRANTED BY DOCUMENT FILED 06-09-2004, BOOK A79, PAGE 278, DOC. #2004080490, RECORDS OF BERNALILLO COUNTY,
- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2008C-6
- PRIVATE ACCESS EASEMENT GRANTED BY PLAT 2008C-6 TO SERVE TRACT A AND FORMER TRACT B. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED 01-09-2008, DOCUMENT NO. 2008002904.
- PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2008C-6 TO SERVE THE CITY OF ALBUQUERQUE
- PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2008C-6 TO SERVE TRACT A. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED 01-09-2008, DOCUMENT NO. 2008002904.
- 10' PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107716 (FEEDER LINE TO TRANSFORMER, FORMER TRACT B, HOPE PLAZA)
- 10' PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107716 (FORMER TRACT B, HOPE PLAZA)
- PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107716 (FOR THE TRANSFORMER SITE, THE EASEMENT EXTENDS TO 10' WIDE IN FRONT OF THE TRANSFORMER DOOR AND 5' WIDE ON EACH SIDE OF THE TRANSFORMER, AS INSTALLED, FORMER TRACT B, HOPE PLAZA)
- LOCATION TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 09-06-2007, DOC.# 2007128672 (SEE NOTE 17)
- 10' QWEST CORPORATION D/B/A CENTURYLINK QC AND COMCAST CABLE VISION OF NEW MEXICO, INC. EASEMENT GRANTED BY THIS PLAT

ACCESS CONTROL

- DIRECT VEHICULAR ACCESS TO FORMER TRACT C, HOPE PLAZA IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. (SEE NOTE 9)

EASEMENTS - OFFSITE

- 10' PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107715 (FOR THE TRANSFORMER SITE, THE EASEMENT EXTENDS TO 10' WIDE IN FRONT OF THE TRANSFORMER DOOR AND 5' WIDE ON EACH SIDE OF THE TRANSFORMER, AS INSTALLED, TRACT A, HOPE PLAZA)
- PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- 20' ACCESS EASEMENT SERVING FORMER TRACT C GRANTED BY DOCUMENT FILED 01-09-2008, DOC. #2008002906

MONUMENTS

- FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- FOUND #4 REBAR W/CAP STAMPED "GRITSKO NMPS 8686"
- FOUND #4 REBAR W/CAP STAMPED "GRITSKO NMPS 8686", DISTURBED, REPLACED WITH #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- SET MAG NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- FOUND MAG NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- FOUND CHISELED "+" IN CONCRETE SIDEWALK

**HIGH MESA Consulting Group**

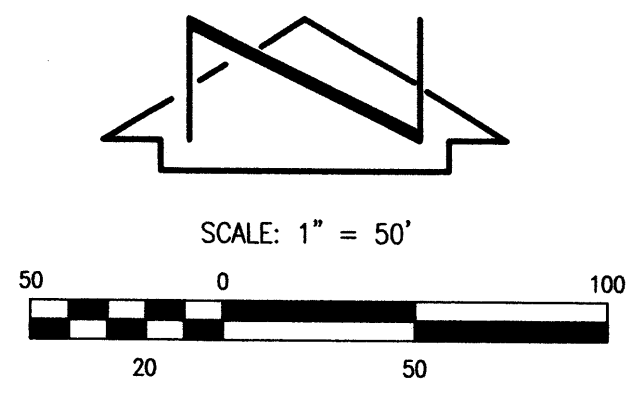
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2011.035.1 PLAT

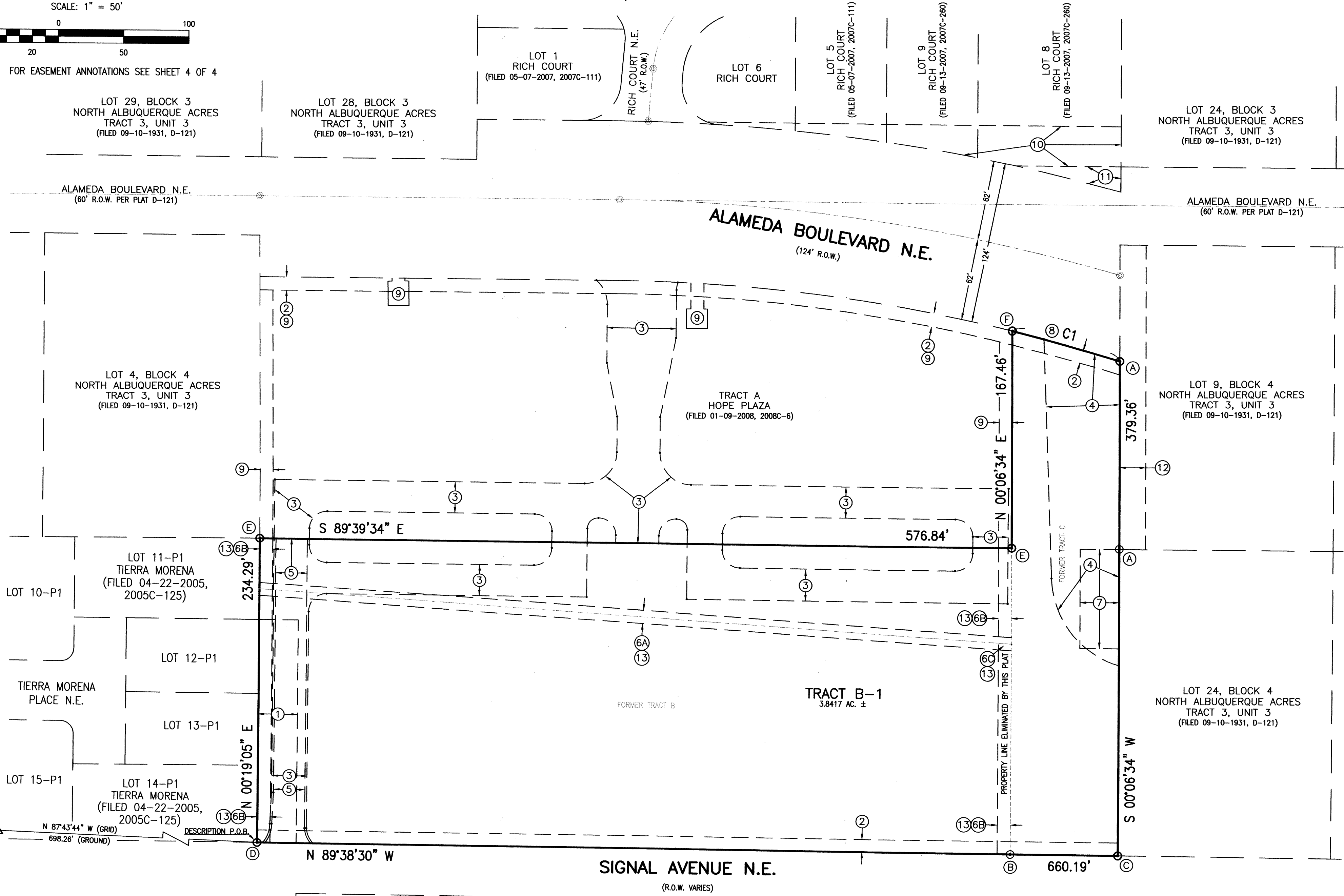


PLAT OF  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012

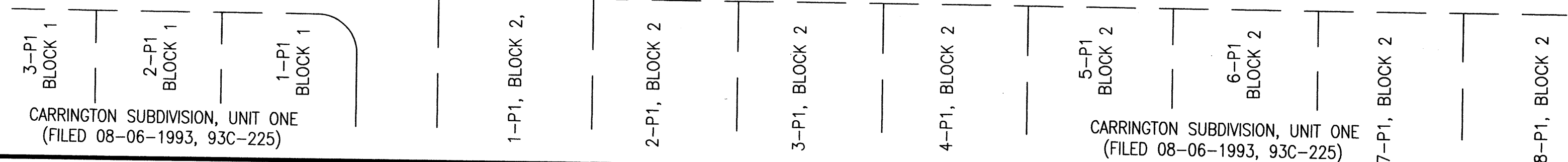
DOCH 2012038246  
 04/17/2012 10:48 AM Page: 3 of 4  
 City: PLAT R 325 00 B 20120 P 0043 M, Toulous Olivere, Bernalillo Cour



NOTE: FOR EASEMENT ANNOTATIONS SEE SHEET 4 OF 4



NEW MEXICO CENTRAL ZONE-NAD 1983  
 A.G.R.S. STA. 7, C19  
 X=1,550,417.138  
 Y=1,522,088.520  
 COMBINED FACTOR=0.99950745  
 DELTA ALPHA=-00°10'24.78"  
 ELEVATION=5485.723' (NAVD 88)



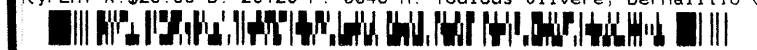
**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacc.com  
 JOB #2011.035.1 PLAT

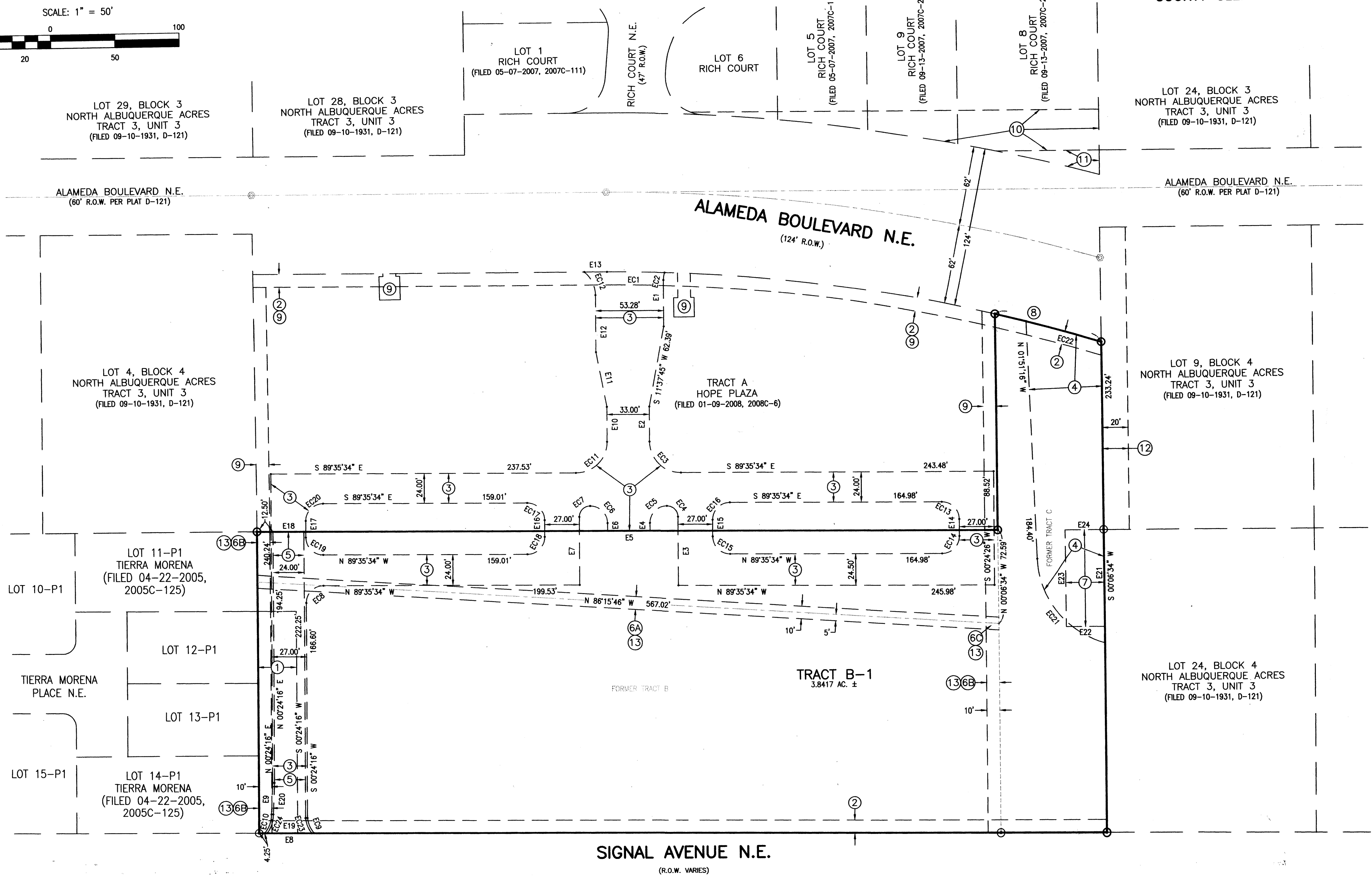
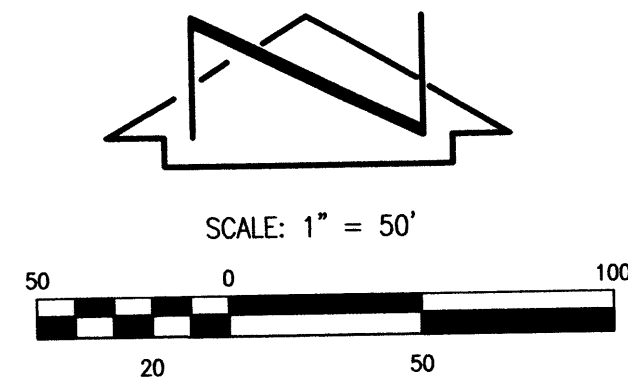
EASEMENT DIAGRAM  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012

DOCH 2012038246

04/17/2012 10:48 AM Page: 4 of 4  
 PLAT R: \$25.00 B: 2012C P: 0043 M. Toulouse Olivere, Bernalillo Cour



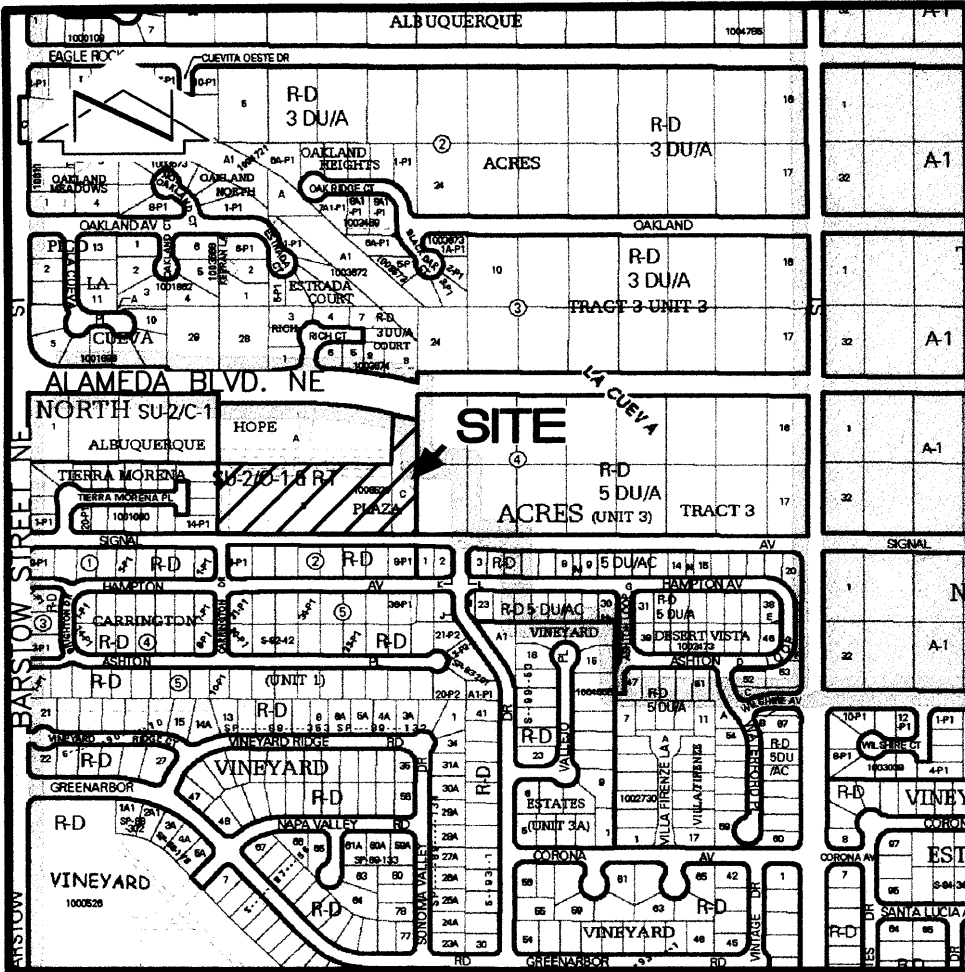
COUNTY CLERK FILING DATA



**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2011.035.1 PLAT 4



**VICINITY MAP**

SCALE: 1" = 750'

FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided, hereon.

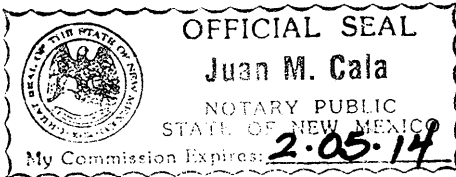
*John H. Sloane*  
 John H. Sloane, Senior Warden,  
 Hope-in-the-Desert Episcopal Church

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 20<sup>th</sup> day of January, 2012, by John H. Sloane, Senior Warden, Hope-in-the-Desert Episcopal Church.

*J. M. Cala*  
 Notary Public



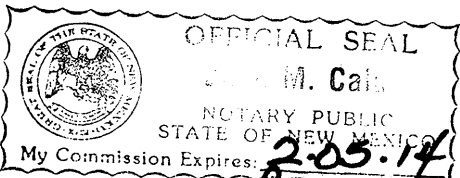
*Fred W. Winter, Sr.*  
 Fred W. Winter, Sr., Assistant Treasurer  
 Episcopal Diocese of the Rio Grande

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 23<sup>rd</sup> day of January, 2012, by Fred W. Winter, Sr., Assistant Treasurer, Episcopal Diocese of the Rio Grande.

*J. M. Cala*  
 Notary Public



PLAT OF  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Tracts B and C, Hope Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 09, 2008, Book 2008C, Page 6, Doc. #2008002898, and being more particularly described as follows:

Beginning at the southwest corner of the parcel herein described, being the southwest corner of said Tract B, also being the southeast corner of Lot 14-P1, Tierra Morena, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 22, 2005, Book 2005C, Page 125, and also being a point on the north right-of-way line of Signal Avenue N.E.; thence N 00°19'05" E a distance of 234.29 feet to the northwest corner of said Tract B, being the southwest corner of Tract A, of said Hope Plaza, also being the northeast corner of Lot 11-P1, of said Tierra Morena, and also being the southeast corner of Lot 4, Block 4, North Albuquerque Acres, Tract 3, Unit 3, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121; thence S 89°39'34" E a distance of 576.84 feet to the northeast corner of said Tract B, being a point on the west property line of said Tract C, and also being the southeast corner of Tract A, of said Hope Plaza; thence N 00°06'34" E a distance of 167.46 feet to the northwest corner of the parcel herein described, being the northwest corner of said Tract C, also being the northeast corner of Tract A, of said Hope Plaza, and also being a point on the south right-of-way line of Alameda Boulevard N.E.; thence along an arc of a curve to the right with Delta = 03°39'35", R = 1338.00 feet, L = 85.46 feet (Chord Bearing = S 74°47'31" E, Chord Distance = 85.45 feet) along said south right-of-way line to the northeast corner of the parcel herein described, being the northeast corner of said Tract C, also being a point on the west property line of Lot 9, Block 4, of said North Albuquerque Acres, Tract 3, Unit 3; thence S 00°06'34" W a distance of 379.36 feet to the southeast corner of the parcel herein described, being the southeast corner of said Tract C, also being a point on the west property line of Lot 24, Block 4, of said North Albuquerque Acres, Tract 3, Unit 3, and also being a point on the north right-of-way line of Signal Avenue N.E.; thence N 89°38'30" W a distance of 660.19 feet along said north right-of-way line to the point of beginning and containing 3.8417 acres more or less.

PROTESTANT EPISCOPAL CHURCH  
 IN NEW MEXICO  
 OWNER  
 PROJECTED  
 SEC. 17, T 11 N, R 4 E, N.M.P.M.  
 LOCATION  
 HOPE PLAZA  
 SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO \_\_\_\_\_ DATE \_\_\_\_\_

ABCWUA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO \_\_\_\_\_ DATE \_\_\_\_\_

*Charles G. Cala, Jr.*  
 CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO \_\_\_\_\_ DATE 1-30-12

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
 Charles G. Cala, Jr., NMPS #1184



1-19-2012  
 Date



6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2011.035.1 PLAT



**PLAT OF**  
**TRACT B-1, HOPE PLAZA**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**  
**JANUARY, 2012**

Notes:

1. A boundary survey was performed in December, 2011. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.G.R.S. Control Station "7\_C19", NAD 83.
5. No public street mileage was created by this plat.
6. The purpose of this plat is to:
  - a. Create Tract B-1 from former Tracts B and C, Hope Plaza.
  - b. Eliminate the interior property line between former Tracts B and C.
7. The following documents and instruments were used for the performance and preparation of this survey:
  - a. Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
  - b. Plat of Tierra Morena, filed 04-22-2005, Book 2005C, Page 125, Records of Bernalillo County, New Mexico.
  - c. Plat of Hope Plaza, filed 01-09-2008, Book 2008C, Page 6, Records of Bernalillo County, New Mexico.
  - d. Warranty Deed filed 07-28-2011, Doc. #2011068700, Records of Bernalillo County, New Mexico
  - e. Policy of Title Insurance Policy No. 27-031-06-249570, File No. FT000077737-NM19, prepared by Fidelity National Title Insurance Company dated 07-28-2011.
  - f. Second Condominium Plat of Hope Plaza Condominiums filed 07-29-2010, Doc. #2010076720.
8. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.
9. No direct vehicular access to former Tract C, Hope Plaza is permitted from Alameda Boulevard. An access easement to Alameda Boulevard was granted across Lot 9, Block 4, North Albuquerque Acres, Tract 3, Unit 3 by document filed 01-09-2008, Doc.# 2008002906, records of Bernalillo County, New Mexico.
10. Gross subdivision acreage = 3.8417 acres.
11. Current Zoning of this site is SU-2/O-1 & R-T, based upon review of the City of Albuquerque Zone Atlas.
12. A portion of the property surveyed hereon, being former Tract B, is subject to a Declaration of Covenants, filed 01-09-2008 as Doc. #2008002903, records of Bernalillo County, New Mexico.
13. A portion of the property surveyed hereon, being former Tract B, is subject to a Access, Drainage and Shared Parking Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. #2008002904, modified by instrument filed 06-08-2009, Doc. #2009064058, and by instrument filed 06-08-2009, Doc. #2009064059, records of Bernalillo County, New Mexico.
14. A portion of the property surveyed hereon, being former Tract B, is subject to a Sign Easement Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. #2008002905, records of Bernalillo County, New Mexico.
15. A portion of the property surveyed hereon, being former Tract C, is subject to a Preliminary Pre-Development Fee Agreement with Albuquerque Public Schools, filed 01-09-2008 as Doc. #2008002907, records of Bernalillo County, New Mexico.
16. A portion of the property surveyed hereon, being former Tract C, is subject to a Patent filed 10-27-1923, Book 80, Page 353, records of Bernalillo County, New Mexico.
17. A portion of the property surveyed hereon, being former Tract C, may be subject to a Temporary Public Drainage Easement filed 09-06-2007, Doc. #2007128672, records of Bernalillo County, New Mexico.

**BOUNDARY TABLE**

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1338.00'	85.46'	85.45'	S 74°47'31" E	03°39'35"

**EASEMENT TABLES**

LINE	DIRECTION	DISTANCE	EASEMENT
E1	S 00°24'26" W	36.02'	3
E2	S 00°24'26" W	27.44'	3
E3	N 00°24'26" E	53.47'	3
E4	S 00°24'26" W	6.01'	3
E5	N 89°37'18" W	33.00'	3
E6	N 00°24'26" E	6.03'	3
E7	S 00°24'26" W	53.00'	3
E8	N 89°38'30" W	38.54'	3
E9	N 02°41'03" E	25.07'	3
E10	N 00°24'26" E	27.46'	3
E11	N 10°41'05" W	42.29'	3
E12	N 00°24'26" E	43.92'	3
E13	S 89°39'34" E	17.68'	3
E14	S 00°24'26" W	13.01'	3
E15	N 00°24'26" E	13.01'	3
E16	S 00°24'26" W	13.00'	3
E17	N 00°24'26" E	13.00'	3
E18	S 89°33'50" E	24.00'	5
E19	N 89°38'30" W	34.73'	5
E20	N 02°41'03" E	25.07'	5

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	EASEMENT
EC1	1338.00'	45.11'	S 88°41'37" E	45.10'	01°55'53"	3
EC2	23.37'	5.81'	S 10°30'24" W	5.80'	14°15'09"	3
EC3	24.50'	38.48'	S 44°35'34" E	34.65'	90°00'00"	3
EC4	8.50'	13.38'	N 44°31'03" W	12.04'	90°10'13"	3
EC5	13.50'	21.20'	S 45°24'08" W	19.09'	89°59'25"	3
EC6	13.50'	21.20'	N 44°35'17" W	19.09'	89°59'25"	3
EC7	8.50'	13.35'	S 45°24'42" W	12.02'	90°00'37"	3
EC8	13.50'	21.21'	S 45°24'21" W	19.09'	90°00'10"	3
EC9	23.50'	13.39'	S 22°34'24" E	13.21'	32°38'22"	3
EC10	23.50'	16.27'	N 20°11'28" E	15.95'	39°40'11"	3
EC11	24.50'	38.48'	N 45°24'26" E	34.65'	90°00'00"	3
EC12	23.37'	20.74'	N 24°36'20" W	20.07'	50°51'17"	3
EC13	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	3
EC14	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	3
EC15	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	3
EC16	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	3
EC17	13.50'	21.21'	S 44°35'34" E	19.09'	90°00'00"	3
EC18	13.50'	21.21'	S 45°24'26" W	19.09'	90°00'00"	3
EC19	13.50'	21.21'	N 44°35'34" W	19.09'	90°00'00"	3
EC20	13.50'	21.21'	N 45°24'26" E	19.09'	90°00'00"	3
EC21	70.00'	89.36'	N 38°25'29" W	83.41'	73°08'25"	4
EC22	1338.00'	60.53'	S 74°15'29" E	60.52'	02°35'31"	4
EC23	25.00'	13.04'	S 21°11'45" E	12.89'	29°52'55"	5
EC24	25.00'	16.07'	N 18°49'04" E	15.79'	36°49'27"	5

**KEYED NOTES**

**EASEMENTS**

- ① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT SERVING FORMER LOTS 29-32, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, NOW PLATTED AS LOTS 1-20, TIERRA MORENA, GRANTED BY DOCUMENT FILED 06-09-2004, BOOK A79, PAGE 278, DOC. #2004080490, RECORDS OF BERNALILLO COUNTY,
- ② 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2008C-6
- ③ PRIVATE ACCESS EASEMENT GRANTED BY PLAT 2008C-6 TO SERVE TRACT A AND FORMER TRACT B. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED 01-09-2008, DOCUMENT NO. 2008002904.
- ④ PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2008C-6 TO SERVE THE CITY OF ALBUQUERQUE
- ⑤ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2008C-6 TO SERVE TRACT A. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE HOPE PLAZA OWNER'S AGREEMENT FILED 01-09-2008, DOCUMENT NO. 2008002904.
- ⑥A 10' PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107716 (FEEDER LINE TO TRANSFORMER, FORMER TRACT B, HOPE PLAZA)
- ⑥B 10' PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107716 (FORMER TRACT B, HOPE PLAZA)
- ⑥C PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107716 (FOR THE TRANSFORMER SITE, THE EASEMENT EXTENDS TO 10' WIDE IN FRONT OF THE TRANSFORMER DOOR AND 5' WIDE ON EACH SIDE OF THE TRANSFORMER, AS INSTALLED, FORMER TRACT B, HOPE PLAZA)
- ⑦ APPROXIMATE LOCATION TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 09-06-2007, DOC.# 2007128672 (SEE NOTE 17)

**ACCESS CONTROL**

- ⑧ DIRECT VEHICULAR ACCESS TO FORMER TRACT C, HOPE PLAZA IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. (SEE NOTE 9)

**EASEMENTS - OFFSITE**

- ⑨ 10' PNM JOINT ELECTRIC AND GAS EASEMENT GRANTED BY DOCUMENT FILED 09-30-2008, DOC.# 2008107715 (FOR THE TRANSFORMER SITE, THE EASEMENT EXTENDS TO 10' WIDE IN FRONT OF THE TRANSFORMER DOOR AND 5' WIDE ON EACH SIDE OF THE TRANSFORMER, AS INSTALLED, TRACT A, HOPE PLAZA)
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑪ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑫ 20' ACCESS EASEMENT SERVING FORMER TRACT C GRANTED BY DOCUMENT FILED 01-09-2008, DOC. #2008002906

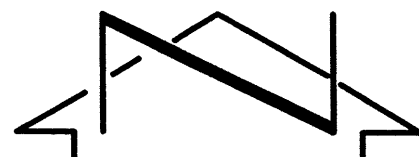
**MONUMENTS**

- A FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- B FOUND #4 REBAR W/CAP STAMPED "GRITSKO NMPS 8686"
- C FOUND #4 REBAR W/CAP STAMPED "GRITSKO NMPS 8686", DISTURBED, REPLACED WITH #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- D SET MAG NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- E FOUND MAG NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- F FOUND CHISELED "+" IN CONCRETE SIDEWALK

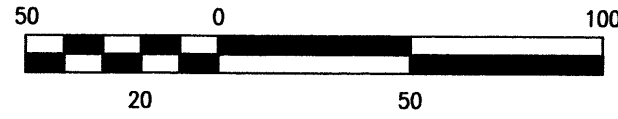


6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2011.035.1 PLAT

PLAT OF  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012



SCALE: 1" = 50'



NOTE: FOR EASEMENT ANNOTATIONS SEE SHEET 4 OF 4

LOT 29, BLOCK 3  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (FILED 09-10-1931, D-121)

LOT 28, BLOCK 3  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (FILED 09-10-1931, D-121)

LOT 1  
 RICH COURT  
 (FILED 05-07-2007, 2007C-111)

LOT 6  
 RICH COURT

LOT 5  
 RICH COURT  
 (FILED 05-07-2007, 2007C-111)

LOT 9  
 RICH COURT  
 (FILED 09-13-2007, 2007C-260)

LOT 8  
 RICH COURT  
 (FILED 09-13-2007, 2007C-260)

LOT 24, BLOCK 3  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (FILED 09-10-1931, D-121)

ALAMEDA BOULEVARD N.E.  
 (60' R.O.W. PER PLAT D-121)

ALAMEDA BOULEVARD N.E.  
 (60' R.O.W. PER PLAT D-121)

ALAMEDA BOULEVARD N.E.  
 (124' R.O.W.)

LOT 4, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (FILED 09-10-1931, D-121)

TRACT A  
 HOPE PLAZA  
 (FILED 01-09-2008, 2008C-6)

LOT 9, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (FILED 09-10-1931, D-121)

LOT 10-P1  
 LOT 11-P1  
 TIERRA MORENA  
 (FILED 04-22-2005,  
 2005C-125)

LOT 12-P1

TIERRA MORENA  
 PLACE N.E.

LOT 13-P1

LOT 15-P1

LOT 14-P1  
 TIERRA MORENA  
 (FILED 04-22-2005,  
 2005C-125)

234.29'

N 00°19'05" E

S 89°39'34" E

576.84'

N 00°06'34" E — 167.46'

379.36'

S 00°06'34" W

N 89°38'30" W

SIGNAL AVENUE N.E.  
 (R.O.W. VARIES)

660.19'

NEW MEXICO CENTRAL ZONE—NAD 1983  
 A.G.R.S. STA. 7, C19"  
 X=1,550,417.138  
 Y=1,522,068.520  
 COMBINED FACTOR=0.9999650745  
 DELTA ALPHA=-00°10'24.78"  
 ELEVATION=5485.723' (NAVD 88)

DESCRIPTION P.O.B.

3-P1  
 BLOCK 1  
 2-P1  
 BLOCK 1  
 1-P1  
 BLOCK 1  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

1-P1, BLOCK 2,

2-P1, BLOCK 2

3-P1, BLOCK 2

4-P1, BLOCK 2

5-P1  
 BLOCK 2

6-P1  
 BLOCK 2

7-P1, BLOCK 2

8-P1, BLOCK 2

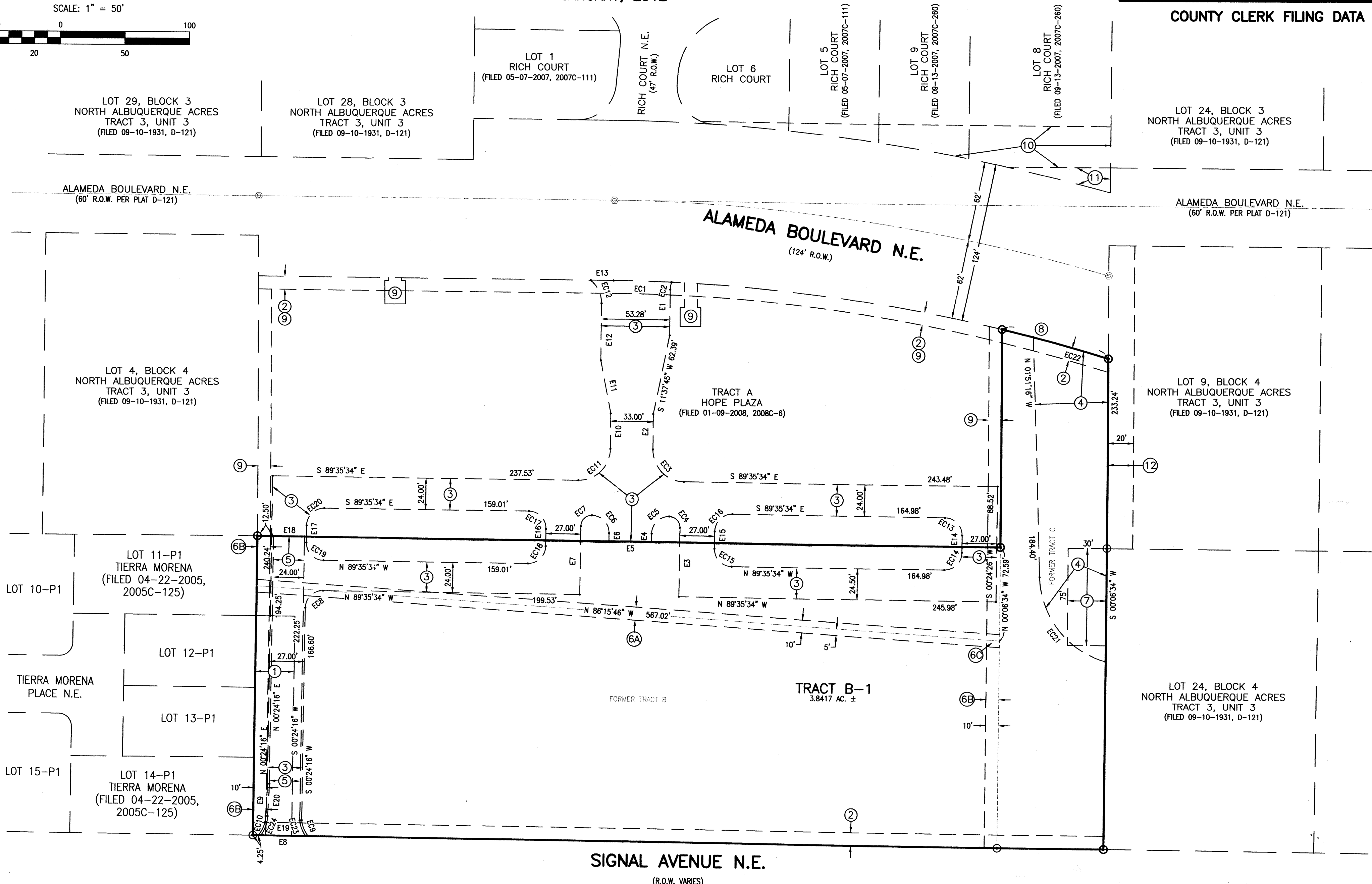
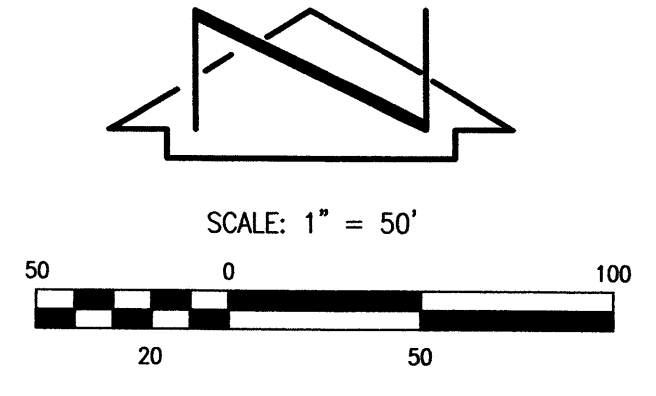
CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2011.035.1 PLAT

EASEMENT DIAGRAM  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012

COUNTY CLERK FILING DATA

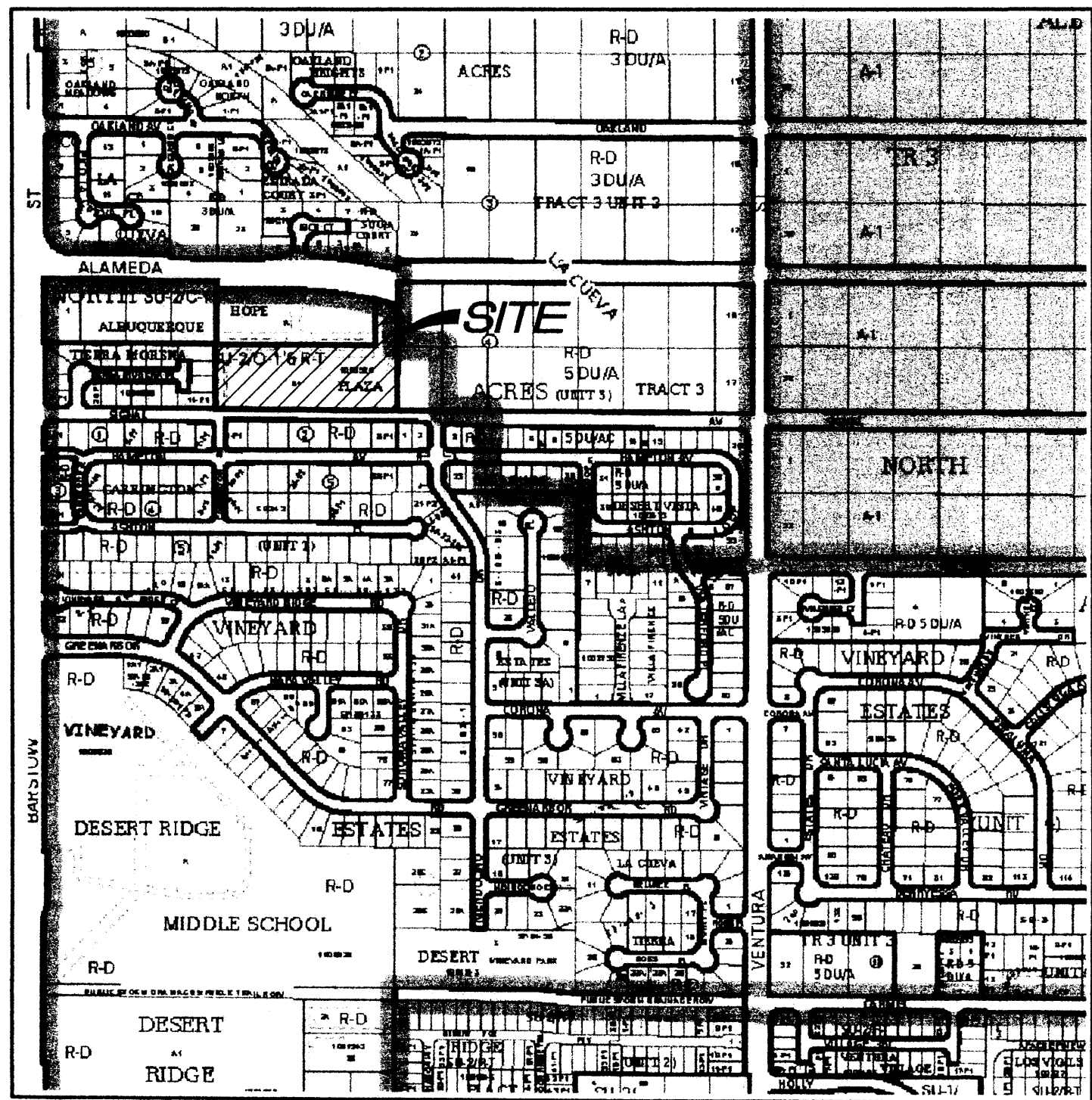


3-P1 BLOCK 1  
 2-P1 BLOCK 1  
 1-P1 BLOCK 1  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

1-P1, BLOCK 2  
 2-P1, BLOCK 2  
 3-P1, BLOCK 2  
 4-P1, BLOCK 2  
 5-P1 BLOCK 2  
 6-P1 BLOCK 2  
 7-P1, BLOCK 2  
 8-P1, BLOCK 2  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

**HIGH MESA Consulting Group**  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2011.035.1 PLAT4





**VICINITY MAP**

Not To Scale

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page C-20.

**SUBDIVISION DATA**

1. Total number of existing Tracts: 1
2. Total number of Tracts created: 2
3. Gross Subdivision acreage: 3.8417 acres

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

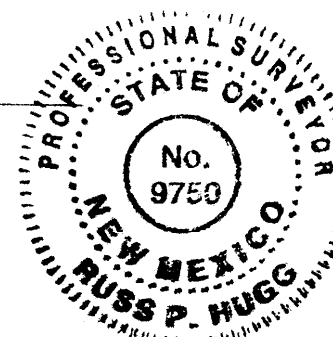
**PURPOSE OF PLAT**

The purpose of this plat is to:  
Divide existing Tract B-1 into two (2) tracts as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
October 16, 2013



**PLAT OF  
TRACTS B-1-A AND B-1-B  
HOPE PLAZA**

(BEING A REPLAT OF TRACT B-1, HOPE PLAZA)

SITUATE WITHIN

THE ELENA GALLEGOS GRANT

IN

PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2013

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

Public Service Company of New Mexico \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Gas Company \_\_\_\_\_ Date \_\_\_\_\_

Qwest Corporation d/b/a CenturyLink QC. \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

**CITY APPROVALS:**

*Russ P. Hugg* \_\_\_\_\_ 10-25-13  
City Surveyor  
Department of Municipal Development \_\_\_\_\_ Date \_\_\_\_\_

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

SHEET 1 OF 3

**SURVOTEK, INC.**

Consulting Surveyors  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3388  
Fax: 505-897-3377

PROJECT # 1006520  
 11-6-13  
 13-70736 (P/F)

PLAT OF  
TRACTS B-1-A AND B-1-B  
**HOPE PLAZA**  
(BEING A REPLAT OF TRACT B-1, HOPE PLAZA)

SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
IN  
**PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
OCTOBER, 2013

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Elena Gallegos Grant in Projected Section 17, Township 11 North, Range 4 east, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising a Southwesterly portion of Tract B-1, Hope Plaza as the same is shown and designated on the plat entitled "PLAT OF TRACT B-1, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 17, 2012 in Plat Book 2012C, Page 43.

Said parcel contains 3.8417 acres, more or less.

**FREE CONSENT**

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS B-1-A AND B-1-B, HOPE PLAZA (BEING A REPLAT OF TRACT B-1, HOPE PLAZA) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

Hope-in-the Desert Episcopal Church

By: John H. Sloane, Senior Warden

Episcopal Diocese of the Rio Grande

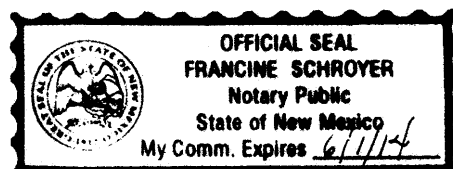
By: Michael Vono, Bishop

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF Bernalillo SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of October, 2013, by John Sloane, Senior Warden of Hope-in-the Desert Episcopal Church.

Francine Schroyer My commission expires June 2014  
Notary Public

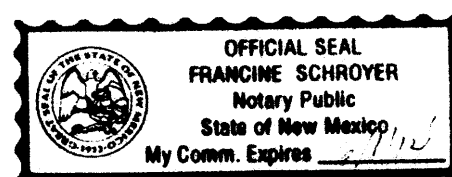


**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF Bernalillo SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of October, 2013, by Michael Vono, Bishop of Episcopal Diocese of the Rio Grande

Francine Schroyer My commission expires June 2014  
Notary Public



**NOTES PERTAINING TO SUBJECT PROPERTY**

Tracts B-1-A and B-1-B are subject to the existing conditions, covenants, conditions and easements as cited on prior plat of Hope Plaza filed April 17, 2012 as follows:

1. No direct vehicular access to former Tract C, Hope Plaza is permitted from Alameda Boulevard. An access easement to Alameda Boulevard was granted across Lot 9, Block 4, North Albuquerque Acres, Tract 3, Unit 3 by document filed 01-09-2008, as Doc. # 2008002906, records of Bernalillo County, New Mexico.
2. A portion of former Tract B, Hope Plaza is subject to a Declaration of Covenants, filed 01-09-2008 as Doc. # 2008002903, records of Bernalillo County, New Mexico.
3. A portion of former Tract B, Hope Plaza is subject to an Access, Drainage and Shared Parking Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. # 2008002904, modified by instrument filed 06-08-2009 as Doc. # 2009064058, and by instrument filed 06-08-2009 as Doc. # 2009064059, records of Bernalillo County, New Mexico.
4. A portion of former Tract B, Hope Plaza is subject to a Sign Easement Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. # 2008002905, records of Bernalillo County, New Mexico.
5. A portion of former Tract C, Hope Plaza is subject to a Preliminary Pre-Development Fee Agreement with Albuquerque Public Schools, filed 01-09-2008 as Doc. # 2008002907, records of Bernalillo County, New Mexico.
6. A portion of former Tract C, Hope Plaza is subject to a Patent, filed 10-27-1923 in Book 80, Page 353, records of Bernalillo County, New Mexico.
7. A portion of former Tract C, Hope Plaza may be subject to a Temporary Drainage Easement, filed 09-06-2007 as Doc. # 2007128672, records of Bernalillo County, New Mexico.

**FLOOD ZONE DETERMINATION**

The majority of the subject property lies within a Zone X (Areas determined to be outside the 0.2% annual chance floodplain) and a minor northeastern portion of the subject property lies within a Zone AO (Depth 2') (Flood depths of 1 to 3 feet usually sheet flow on sloping terrain, average depths determined. For areas of alluvial fan flooding, velocities also determined) as shown on the National Flood Insurance Program, Flood Insurance Rate Maps Panel 141, dated September 26, 2008.

**EXISTING EASEMENT LEGEND**

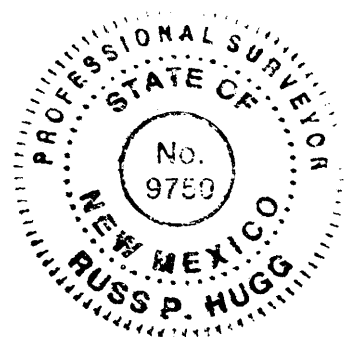
- (A) Existing Private Access Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve Tracts A and B. Maintenance and operation of this easement shall be in accordance with the Hope Plaza Owner's Agreement filed 01-09-2008, Document No. 2008002904.
- (B) Existing Private Drainage Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve Tract A. Maintenance and operation of this easement shall be in accordance with the Hope Plaza Owner's Agreement filed 01-09-2008, Document No. 2008002904.
- (C) Existing Public Utility Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6.
- (D) Existing Private Drainage Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve the City of Albuquerque.
- (E) Approximate location of Existing Private Drainage Easement granted by Document filed 06-09-2004 in Book A79, Page 278 as Document No. 2004080490.
- (G) Existing 10' PNM Joint Electric and Gas Easement granted by Document filed 09-30-2008 as Document No. 2008107716.
- (H) Location of Temporary Public Drainage Easement granted by Document filed 09-06-2007 as Document No. 2007128672.
- (J) Existing 10' Qwest Corporation d/b/a Centurylink QC and Comcast Cable Easement granted by plat filed 04-17-2012 in Plat Book 2012C, page 43.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:**

- a. Plat entitled "PLAT OF TRACT B-1, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 17, 2012 in Plat Book 2012C, Page 43.
- b. Plat entitled "PLAT OF TRACTS A, B, AND C, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2008 in Plat Book 2008C, Page 6.
- c. Plat of "NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121.
- d. Plat entitled "PLAT OF TIERRA MORENA SUBDIVISION SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 17, T. 11 N., R. 4 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 22, 2005 in Plat Book 2005C, Page 125.
- e. Plat entitled "CORRECTION PLAT, VACATION AND REPLAT OF LOTS 1 THRU 8 AND LOTS 23 THRU 32, BLOCK 5, TOGETHER WITH A PORTION OF SIGNAL AVENUE N.E., AND A PORTION OF WILSHIRE AVENUE N.E., NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 TO CARRINGTON SUBDIVISION, UNIT ONE, SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 17, T. 11 N., R. 4 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on August 6, 1993 in Plat Book 93C, Page 225.



SHEET 2 OF 3

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

LINE TABLE		
LINE	LENGTH	BEARING
L1	14.15	N44°39'41"W

PLAT OF  
TRACTS B-1-A AND B-1-B  
**HOPE PLAZA**

(BEING A REPLAT OF TRACT B-1, HOPE PLAZA)

SITUATE WITHIN  
THE ELENA GALLEGOS GRANT

IN  
PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

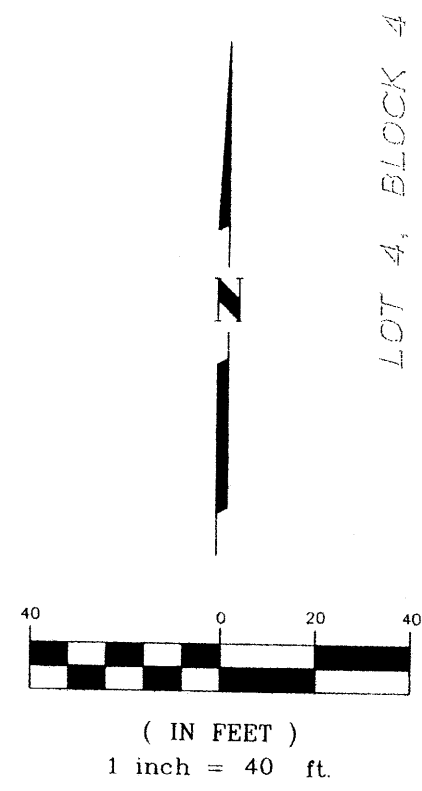
OCTOBER, 2013

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	85.77'	1338.00'	42.90'	85.75'	S74°15'03"E	3°40'23"

ALAMEDA BOULEVARD N.E.  
Existing 60' R/W

ALAMEDA BOULEVARD N.E.  
Existing 60' R/W

ALAMEDA BOULEVARD N.E.  
Existing 124' R/W



LOT 4, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
Filed 09-10-1931 in Volume D, Folio 121

LOT 9, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
Filed 09-10-1931 in Volume D, Folio 121

TIERRA MORENA  
Filed 04-22-2005 in Plat Book 2005C, Page 125

LOT 24, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
Filed 09-10-1931 in Volume D, Folio 121

TRACT A  
HOPE PLAZA  
Filed 01-09-2008 in Plat Book 2008C, Page 6

TRACT A  
HOPE PLAZA  
Filed 01-09-2008 in Plat Book 2008C, Page 6

TRACT B-1-B  
0.7799 Ac.

TRACT B-1  
HOPE PLAZA  
Filed 04-17-2012 in Plat Book 2012C, Page 43

TRACT B-1-A  
3.0701 Ac.

Albuquerque Control Survey Monument "7-C19"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83)  
North = 1,522,068.520 feet  
East = 1,550,412.138 feet  
Elevation = 5485.723 feet (NAVD 1988)  
Delta Alpha = -00°10'24.78"  
Ground to Grid Factor = 0.999650745

Fd. PK Nail and Disc stamped "L.S. 11184"

Fd. 5/8" Rebar and cap stamped "L.S. 11184"

SIGNAL AVENUE N.E.  
Existing 38' R/W

1-P1 2-P1 3-P1 4-P1 5-P1 6-P1 7-P1  
CARRINGTON DRIVE

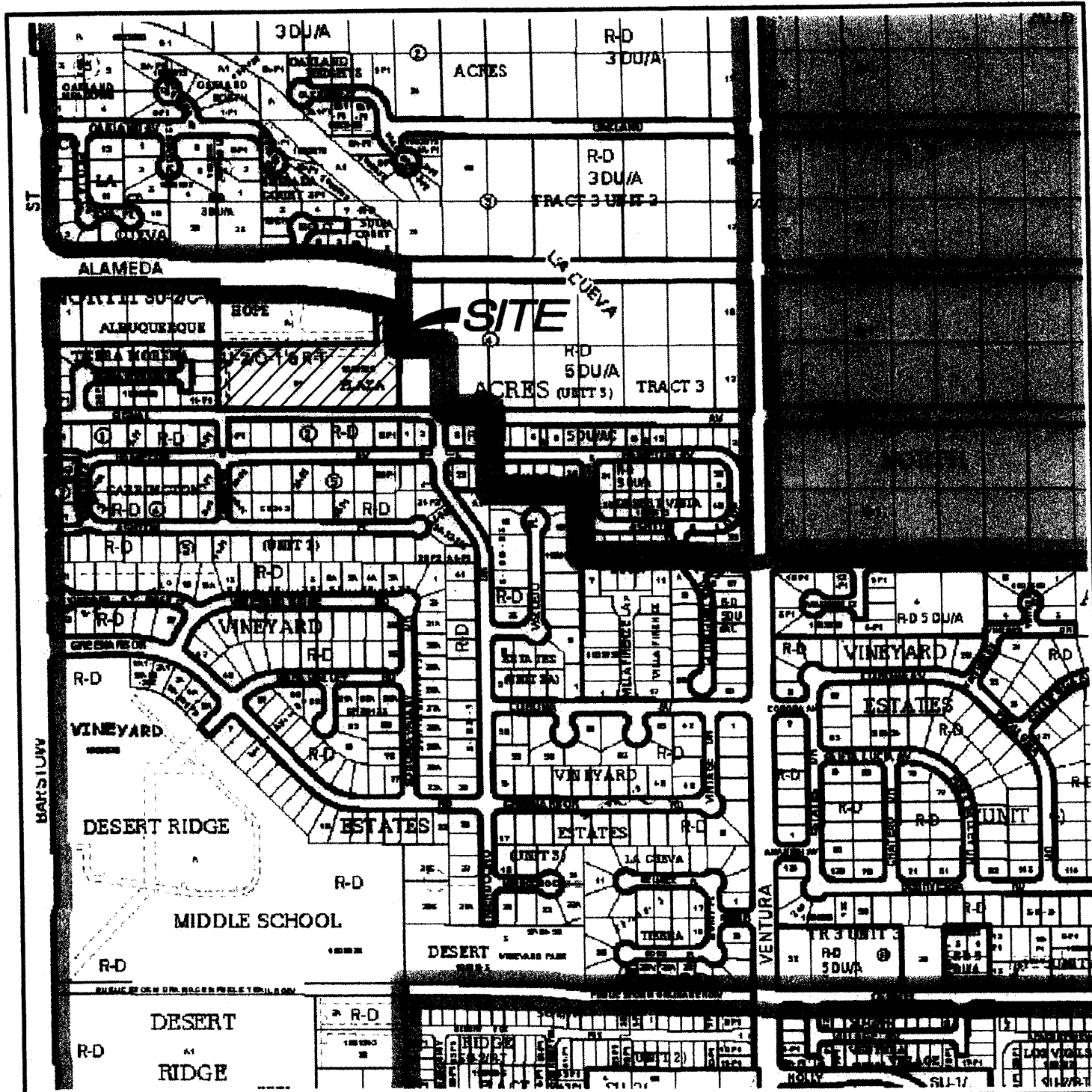
CARRINGTON SUBDIVISION UNIT ONE  
Filed 08-06-1993 in Volume 93C, Folio 225

SHEET 3 OF 3

**SURV TEK, INC.**  
Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

130517.dwg





VICINITY MAP

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page C-20.

**SUBDIVISION DATA**

1. Total number of existing Tracts: 1
2. Total number of Tracts created: 2
3. Gross Subdivision acreage: 3.8417 acres

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

2013 + 2014  
 10006409232820226  
 Trustees Protestant Episcopal Church  
 [Signature] 3/20/14  
 Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

The purpose of this plat is to:

Divide existing Tract B-1 into two (2) tracts as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]  
 Russ P. Hugg  
 NMPS No. 9750  
 October 16, 2013



PLAT OF  
 TRACTS B-1-A AND B-1-B  
 HOPE PLAZA

(BEING A REPLAT OF TRACT B-1, HOPE PLAZA)

SITUATE WITHIN

THE ELENA GALLEGOS GRANT

IN

PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2013

PROJECT NUMBER: 1006520

Application Number: 13DRB-70736

**PLAT APPROVAL**

**UTILITY APPROVALS:**

[Signature] 11-1-13  
 Public Service Company of New Mexico Date

[Signature] Date  
 New Mexico Gas Company

[Signature] 11/1/13  
 Qwest Corporation d/b/a CenturyLink QC. Date

[Signature] 10/28/13  
 Comcast Date

**CITY APPROVALS:**

[Signature] 10-25-13  
 City Surveyor Date  
 Department of Municipal Development

OK 3-19-14  
 Real Property Division Date

[Signature] 3-19-14  
 Environmental Health Department Date

[Signature] 03-19-14  
 Traffic Engineering, Transportation Division Date

[Signature] 03/19/14  
 ABCWA Date

[Signature] 3-19-14  
 Parks and Recreation Department Date

[Signature] 3-19-14  
 AMAFCA Date

[Signature] 3-19-14  
 City Engineer Date

[Signature] 3-19-14  
 DRB Chairperson, Planning Department Date

DOCH 2014022551  
 03/20/2014 03:37 PM Page 1 of 3  
 PLAT R: \$25.00 B: 2014C P: 0020 M: Toulous, Olivero, Bernalillo Co.

SHEET 1 OF 3

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3368  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

FLAT OF  
**TRACTS B-1-A AND B-1-B**  
**HOPE PLAZA**  
 (BEING A REPLAT OF TRACT B-1, HOPE PLAZA)

SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
 IN

**PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 OCTOBER, 2013

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS  
 ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Elena Gallegos Grant in Projected Section 17, Township 11 North, Range 4 east, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising a Southwesterly portion of Tract B-1, Hope Plaza as the same is shown and designated on the plat entitled "PLAT OF TRACT B-1, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 17, 2012 in Plat Book 2012C, Page 43.

Said parcel contains 3.8417 acres, more or less.

**FREE CONSENT**

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS B-1-A AND B-1-B, HOPE PLAZA (BEING A REPLAT OF TRACT B-1, HOPE PLAZA) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

Hope-in-the Desert Episcopal Church

*John H. Sloane*  
 By John H. Sloane, Senior Warden

Episcopal Diocese of the Rio Grande

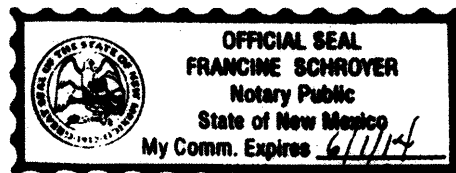
*Michael Vono*  
 By: Michael Vono, Bishop

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
 COUNTY OF Bernalillo SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of October, 2013, by John Sloane, Senior Warden of Hope-in-the Desert Episcopal Church.

*Francine Schroyer* My commission expires June 1, 2014  
 Notary Public

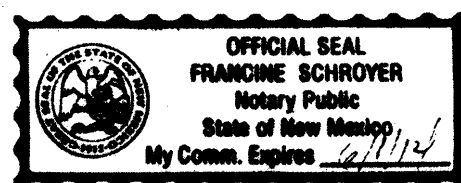


**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
 COUNTY OF Bernalillo SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of October, 2013, by Michael Vono, Bishop Episcopal Diocese of the Rio Grande

*Francine Schroyer* My commission expires June 1, 2014  
 Notary Public



**NOTES PERTAINING TO SUBJECT PROPERTY**

Tracts B-1-A and B-1-B are subject to the existing conditions, covenants, conditions and easements as cited on prior plat of Hope Plaza filed April 17, 2012 as follows:

1. No direct vehicular access to former Tract C, Hope Plaza is permitted from Alameda Boulevard. An access easement to Alameda Boulevard was granted across Lot 9, Block 4, North Albuquerque Acres, Tract 3, Unit 3 by document filed 01-09-2008, as Doc. # 2008002906, records of Bernalillo County, New Mexico.
2. A portion of former Tract B, Hope Plaza is subject to a Declaration of Covenants, filed 01-09-2008 as Doc. # 2008002903, records of Bernalillo County, New Mexico.
3. A portion of former Tract B, Hope Plaza is subject to an Access, Drainage and Shared Parking Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. # 2008002904, modified by instrument filed 06-08-2009 as Doc. # 2009064058, and by instrument filed 06-08-2009 as Doc. # 2009064059, records of Bernalillo County, New Mexico.
4. A portion of former Tract B, Hope Plaza is subject to a Sign Easement Agreement with the owners of Tract A, Hope Plaza, filed 01-09-2008 as Doc. # 2008002905, records of Bernalillo County, New Mexico.
5. A portion of former Tract C, Hope Plaza is subject to a Preliminary Pre-Development Fee Agreement with Albuquerque Public Schools, filed 01-09-2008 as Doc. # 2008002907, records of Bernalillo County, New Mexico.
6. A portion of former Tract C, Hope Plaza is subject to a Patent, filed 10-27-1923 in Book 80, Page 353, records of Bernalillo County, New Mexico.
7. A portion of former Tract C, Hope Plaza may be subject to a Temporary Drainage Easement, filed 09-06-2007 as Doc. # 2007128672, records of Bernalillo County, New Mexico.

**FLOOD ZONE DETERMINATION**

The majority of the subject property lies within a Zone X (Areas determined to be outside the 0.2% annual chance floodplain) and a minor northeastern portion of the subject property lies within a Zone AO (Depth 2') (Flood depths of 1 to 3 feet usually sheet flow on sloping terrain, average depths determined. For areas of alluvial fan flooding, velocities also determined) as shown on the National Flood Insurance Program, Flood Insurance Rate Maps Panel 141, dated September 26, 2008.

**EXISTING EASEMENT LEGEND**

- (A) Existing Private Access Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve Tracts A and B. Maintenance and operation of this easement shall be in accordance with the Hope Plaza Owner's Agreement filed 01-09-2008, Document No. 2008002904.
- (B) Existing Private Drainage Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve Tract A. Maintenance and operation of this easement shall be in accordance with the Hope Plaza Owner's Agreement filed 01-09-2008, Document No. 2008002904.
- (C) Existing Public Utility Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6.
- (D) Existing Private Drainage Easement granted by plat filed January 9, 2008 in Plat Book 2008C, Page 6 to serve the City of Albuquerque.
- (E) Approximate location of Existing Private Drainage Easement granted by Document filed 06-09-2004 in Book A79, Page 278 as Document No. 2004080490.
- (G) Existing 10' PNM Joint Electric and Gas Easement granted by Document filed 09-30-2008 as Document No. 2008107716.
- (H) Location of Temporary Public Drainage Easement granted by Document filed 09-06-2007 as Document No. 2007128672.
- (J) Existing 10' Qwest Corporation d/b/a Centurylink QC and Comcast Cable Easement granted by plat filed 04-17-2012 in Plat Book 2012C, page 43.

**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:**

- a. Plat entitled "PLAT OF TRACT B-1, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 17, 2012 in Plat Book 2012C, Page 43.
- b. Plat entitled "PLAT OF TRACTS A, B, AND C, HOPE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2008 in Plat Book 2008C, Page 6.
- c. Plat of "NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121.
- d. Plat entitled "PLAT OF TIERRA MORENA SUBDIVISION SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 17, T. 11 N., R. 4 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 22, 2005 in Plat Book 2005C, Page 125.
- e. Plat entitled "CORRECTION PLAT, VACATION AND REPLAT OF LOTS 1 THRU 8 AND LOTS 23 THRU 32, BLOCK 5, TOGETHER WITH A PORTION OF SIGNAL AVENUE N.E., AND A PORTION OF WILSHIRE AVENUE N.E., NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 TO CARRINGTON SUBDIVISION, UNIT ONE, SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 17, T. 11 N., R. 4 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on August 6, 1993 in Plat Book 93C, Page 225.

DOCH 2014022551  
 03/20/2014 03:37 PM Page 2 of 3  
 tyPLAT R 125 00 B 2014C P. 0020 R. Toulous Olivere, Bernalillo Co.



SHEET 2 OF 3

**SURVOTEK, INC.**

Consulting Surveyors  
 8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3368  
 Fax: 505-897-3377

LINE TABLE		
LINE	LENGTH	BEARING
L1	14.15	N44°39'41"W

PLAT OF  
**TRACTS B-1-A AND B-1-B**  
**HOPE PLAZA**  
 (BEING A REPLAT OF TRACT B-1, HOPE PLAZA)

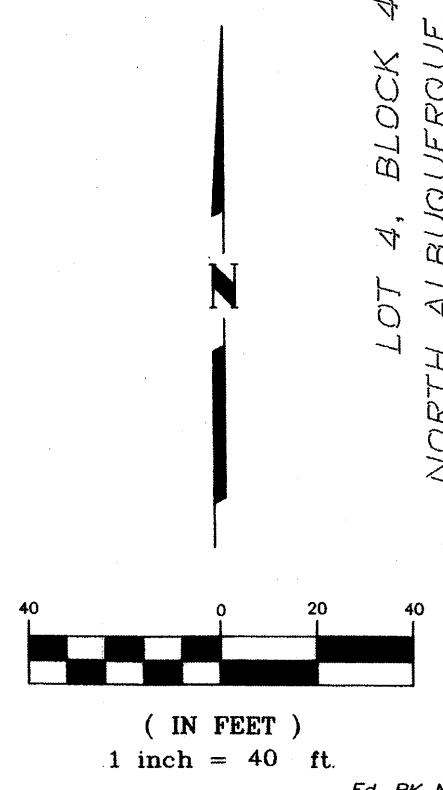
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	85.77'	1,338.00'	42.90'	85.76'	S74°15'03"E	3°40'23"

SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
 IN  
**PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 OCTOBER, 2013

**ALAMEDA BOULEVARD N.E.**  
 Existing 60' R/W

**ALAMEDA BOULEVARD N.E.**  
 Existing 60' R/W

**ALAMEDA BOULEVARD N.E.**  
 Existing 124' R/W



LOT 4, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 Filed 09-10-1931 in Volume D, Folio 121

LOT 9, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 Filed 09-10-1931 in Volume D, Folio 121

LOT 24, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 Filed 09-10-1931 in Volume D, Folio 121

TRACT A  
 HOPE PLAZA  
 Filed 01-09-2008 in Plat Book 2008C, Page 6

TRACT A  
 HOPE PLAZA  
 Filed 01-09-2008 in Plat Book 2008C, Page 6

TRACT B-1-B  
 0.7799 Ac.

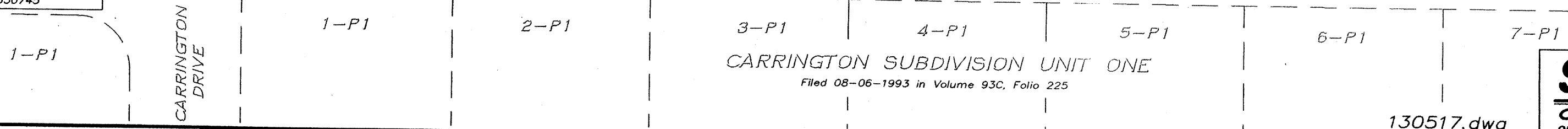
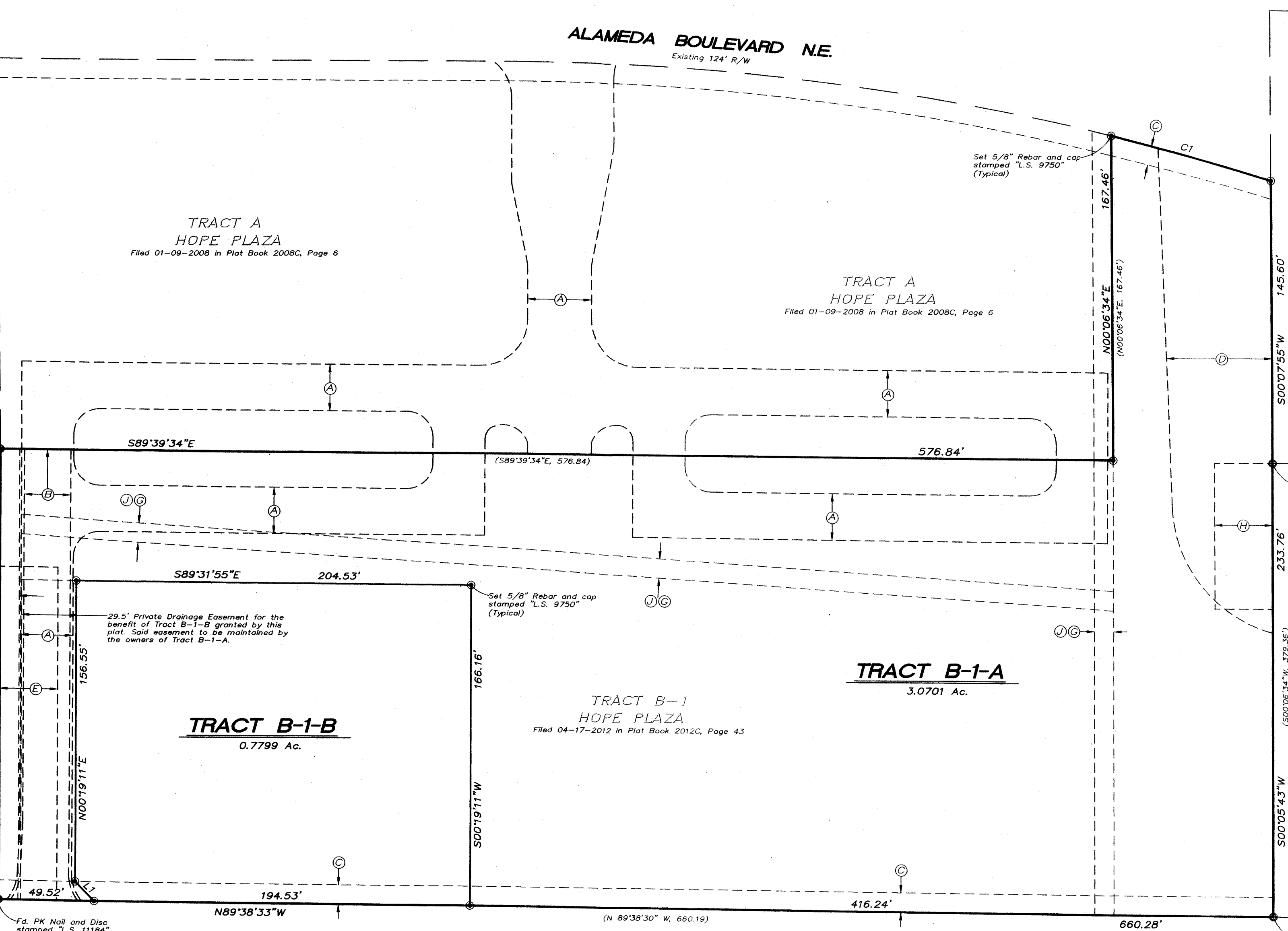
TRACT B-1  
 HOPE PLAZA  
 Filed 04-17-2012 in Plat Book 2012C, Page 43

TRACT B-1-A  
 3.0701 Ac.

Albuquerque Control Survey Monument "7-C19"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North = 1,522,068.520 feet  
 East = 1,550,417.138 feet  
 Elevation = 5485.723 feet (NAVD 1988)  
 Delta Alpha = -00°10'24.78"  
 Ground to Grid Factor = 0.999650745

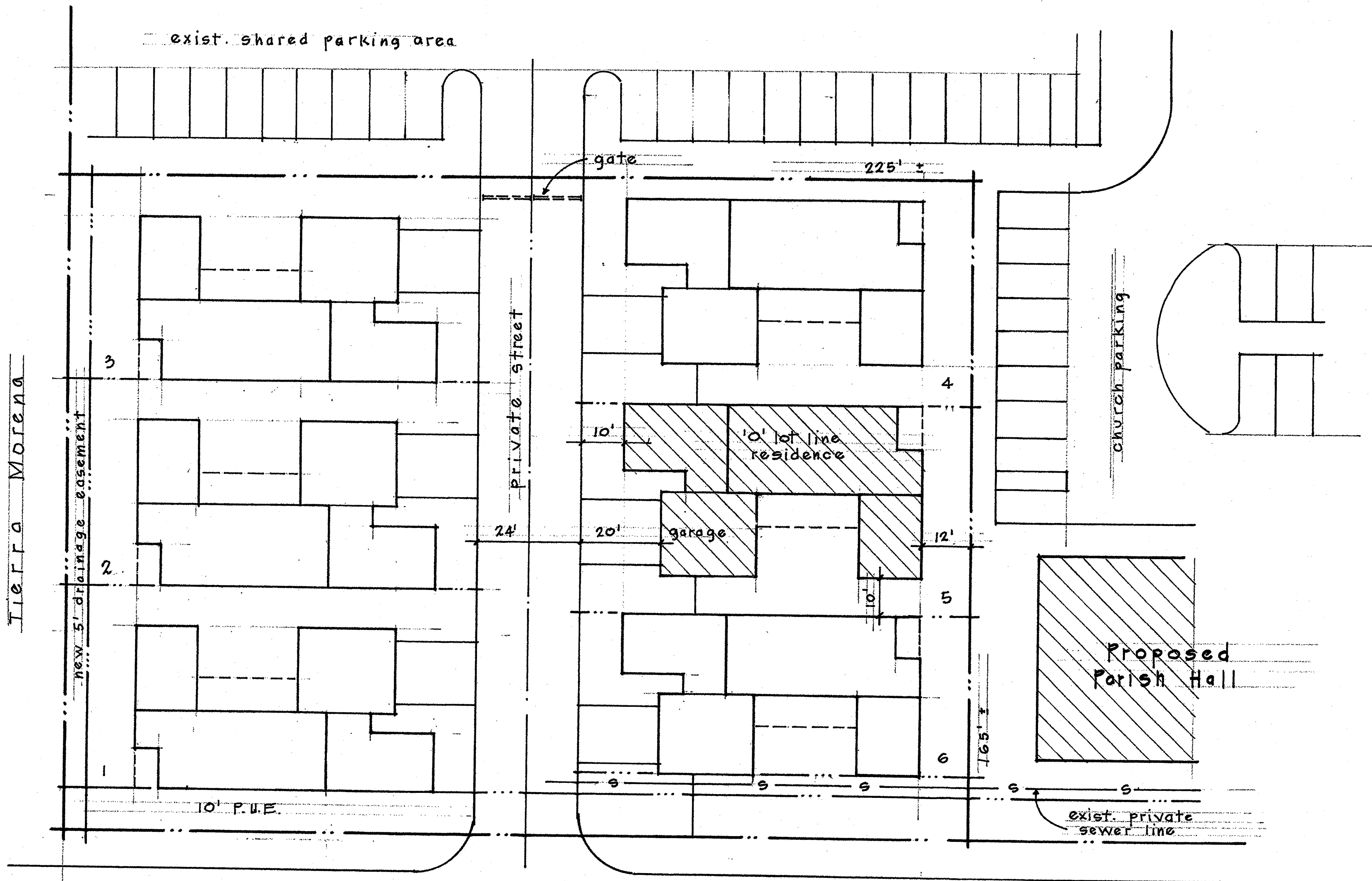
TIERRA MORENA  
 Filed 04-22-2005 in Plat Book 2005C, Page 125

LOT 11-P1  
 LOT 12-P1  
 LOT 13-P1  
 LOT 14-P1

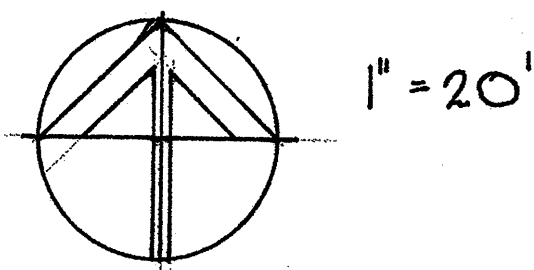


**SURV TEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366  
 Fax: 505-897-3377





Signal Av. NE



3' Manholes

Schematic Site Plan  
 Housing Development • Tract B-2 • Hope Plaza

**fbt** | architects

**INDEX OF DRAWINGS:**

- SHEET-1 SITE PLAN
- SHEET-2 GRADING & DRAINAGE PLAN
- SHEET-3 SITE UTILITY PLAN
- SHEET-4 LANDSCAPE PLAN
- SHEET-5 BUILDING ELEVATIONS
- SHEET-6 BUILDING ELEVATIONS

**DESIGN DATA:**

LEGAL DESCRIPTIONS: LOTS 5-8 LOTS 25-28, BLOCK 4, TRACT 3, UNIT 3 NORTH ALBUQUERQUE ACRES (PLAT 9-10-11)  
 ZONE MAP: C-20-2 (ZONE ATLAS JUNE 1996)  
 C.O.A. ZONE CODE: SU-2 FOR O-1 & R-T USES (ALBUQ. ZONE CODE 1997)

**PROJECT BREAKDOWN**

AREAS (GROSS SQUARE FEET):

PHASE 1	AREA	VALUE
CHURCH & RELATED SPACES	(MAIN SANCTUARY CAPACITY - 300 FIXED SEATS)	14,000 GSF
OFFICE BUILDINGS	(2) 2-STORY OFFICE BUILDINGS @ 22,000 GSF EA.	44,000 GSF
FUTURE PHASES	HEALING CENTER (18 HOSPICE UNITS)	10,000 GSF
	CHURCH ADMINISTRATION (OFFICES AND PARISH HALL)	7,000 GSF

**PARKING REQUIREMENTS:**

PARKING PROVIDED:

TYPE	REQUIREMENTS	PROVIDED
OFFICES	44,000 GSF	110
SECOND	22,000 GSF/200	74
CHURCH	300 SEATS/4	75
HEALING CENTER	18 BEDS/2	8
SHARED PARKING	REDUCTION @ 20%	143
BUS	REDUCTION @ 5%	113
NET REQUIRED		253 SPACES

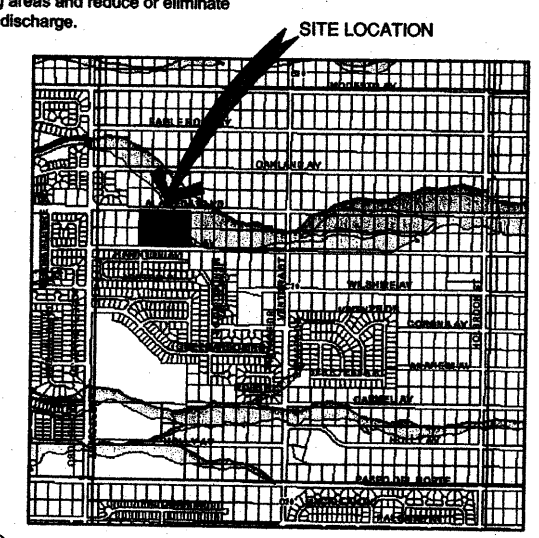
**PARKING PROVIDED:**

TYPE	REQUIREMENTS	PROVIDED
SHARED PARKING		157
OFFICES/VISITOR PARKING		32
CHURCH AT CIRCLE		19
HEALING CENTER STAFF		11
TOTAL		209 SPACES

BICYCLE SPACE REQUIREMENTS:	MOTORCYCLE SPACE REQUIREMENTS:
SPACES REQUIRED: 10	SPACES REQUIRED: 5
SPACES PROVIDED: 10	SPACES PROVIDED: 5

**Sustainable Building Applications**

- Building orientation: Office buildings are configured with the long axis oriented east-west and large windows located on north and south sides to maximize day-lighting.
- Windows: To control of solar heat gain, west-facing glazing will be limited and protected with overhangs. Glazing shall be low-e, insulated, on east, south, and west elevations, and clear, insulated on north elevations. South windows shall be protected with eaveboards or overhangs.
- Building footprints and insulation: Building footprints to the extent possible, exterior walls to the extent possible. The church shall include a basement to contain classrooms. Wall and roof insulation shall be maximized.
- Air quality: Adhesives, sealants, carpeting, and paint with low to no emissions of volatile organics (VOCs) shall be specified.
- Roofs: Cool roofing, using a highly reflective finish, (energy star-compliant) shall be employed.
- Locally-sourced and recycled building materials: To the extent possible, building materials manufactured in our region (500 mile radius) shall be specified to reduce costs of transportation. Recycled building materials shall be incorporated where possible.
- Mechanical systems: Mechanical equipment that operates with low energy usage shall be selected. Energy management systems shall be used to monitor and minimize energy usage.
- Electrical systems: The most energy-efficient lighting shall be used along with either timers or motion sensor controls.
- Water harvesting: Site runoff shall be controlled wherever possible to irrigate planting areas and reduce or eliminate off-site discharge.



**VICINITY MAP**

DRB SITE DEVELOPMENT PLAN APPROVAL:

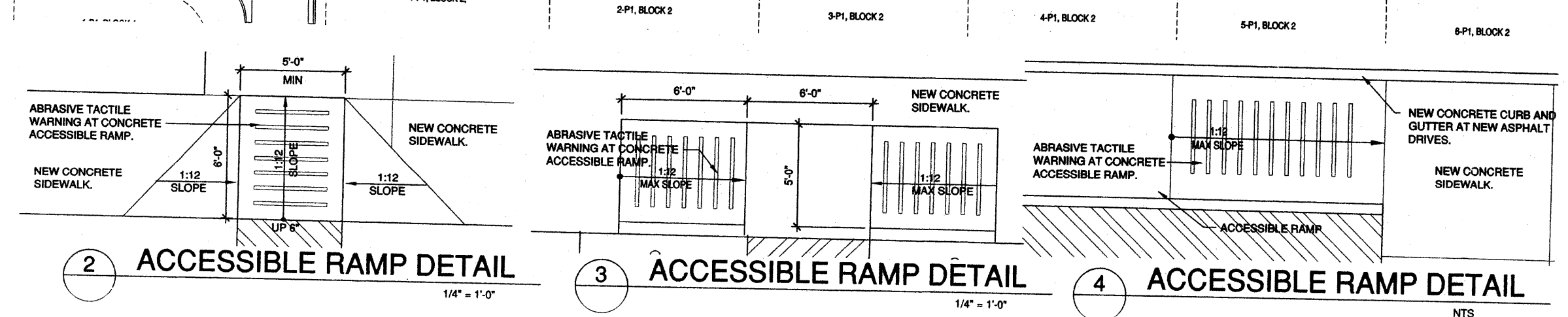
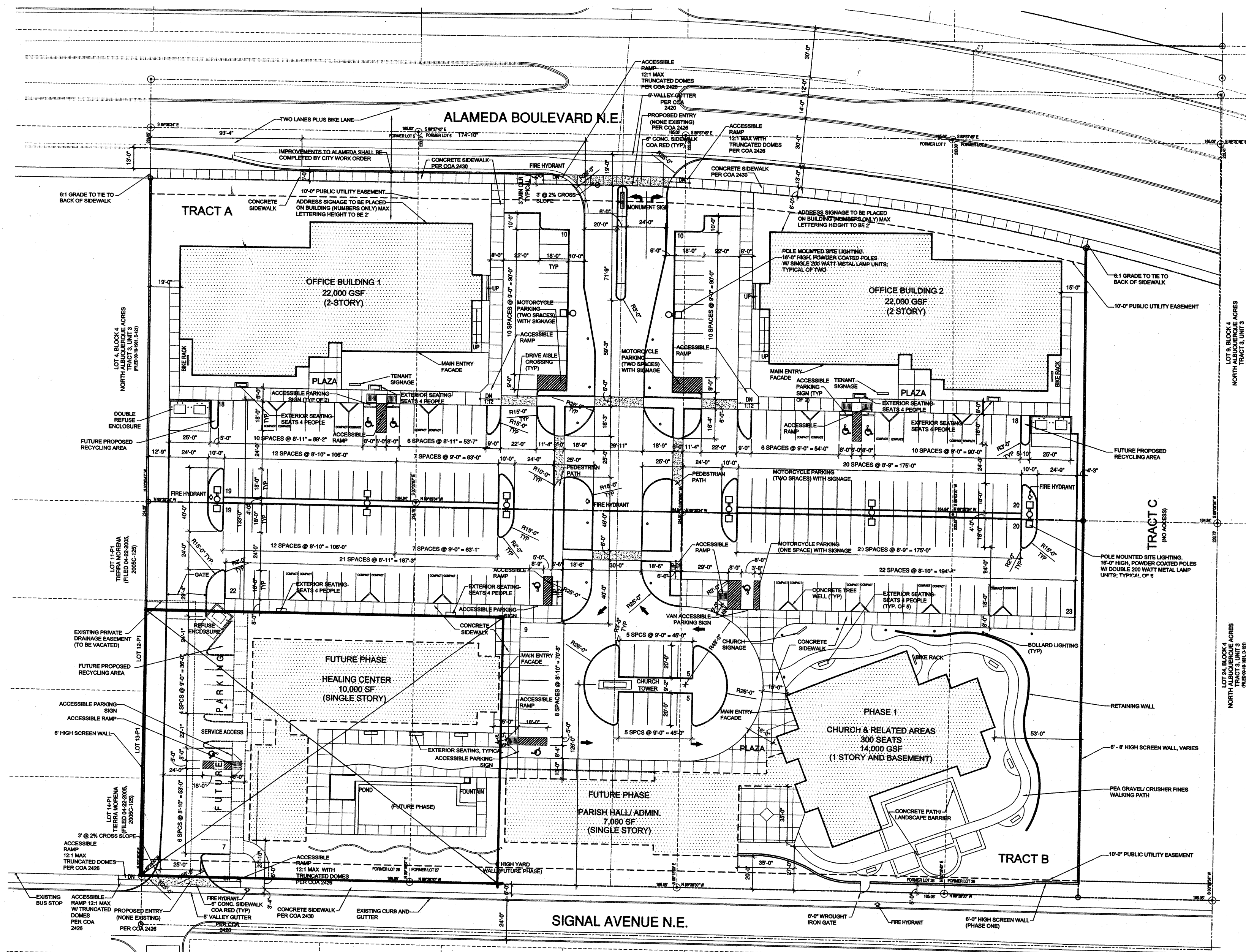
PROJECT NUMBER: 1006520	APPLICATION NUMBER: 07PEC-40002
SOLID WASTE DEPARTMENT	DATE: 12/5/07
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE: 10/5/07
PARKS & RECREATION DEPARTMENT	DATE: 12-9-07
CITY ENGINEER, ENGINEERING DIV./AM/FCA	DATE: 12-5-07
	DATE: 7-25-08

APPROVAL AND CONDITIONAL ACCEPTANCES: as specified by Development Process Manual.

DRB Chairperson: *Scott Clark* DATE: 7-25-08

**HOPE PLAZA**  
 A CO-DEVELOPMENT OF  
 HOPE EPISCOPAL CHURCH  
 AND HOECH  
 REAL ESTATE CORP.  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2007  
 REVISED OCTOBER, 2007  
 REVISED NOVEMBER, 2007

SHEET TITLE  
**SITE DEVELOPMENT PLAN  
 FOR BUILDING PERMIT**



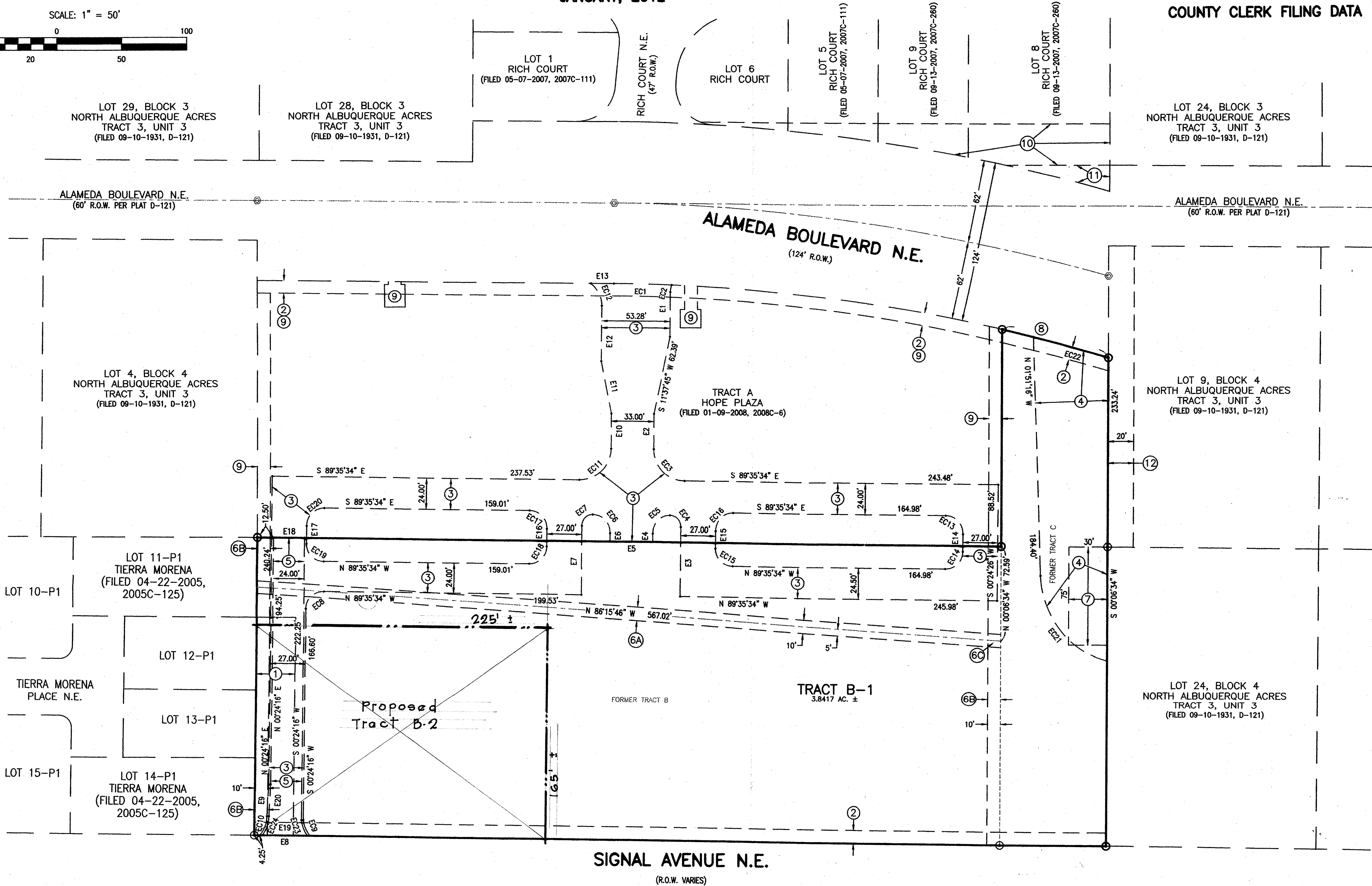
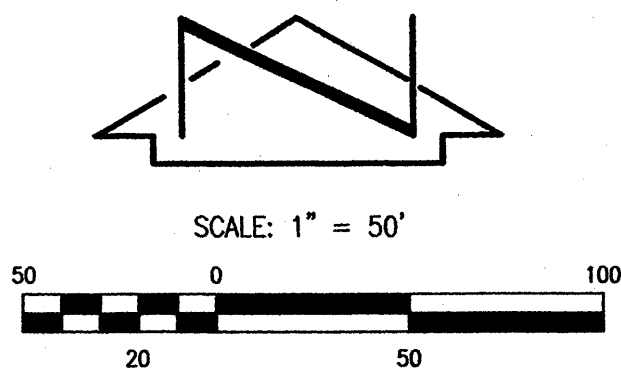
**1 SITE PLAN**

- SITE PLAN GENERAL NOTES:**
- ALL DRIVE AISLE CROSSINGS SHALL BE COLOR INTEGRAL CONCRETE, TERRA COTTA COLOR
  - ROOF TOP UNITS SHALL BE SCREENED BY LOW STUCCO WALLS. STUCCO COLOR TO MATCH BUILDING STUCCO COLORS
  - ROOF TOP COLOR SHALL BE WHITE OR TAN
  - LA CUEVA OPEN SPACE REQUIREMENTS HAVE BEEN MET
  - FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB

9.40

EASEMENT DIAGRAM  
**TRACT B-1, HOPE PLAZA**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2012

COUNTY CLERK FILING DATA

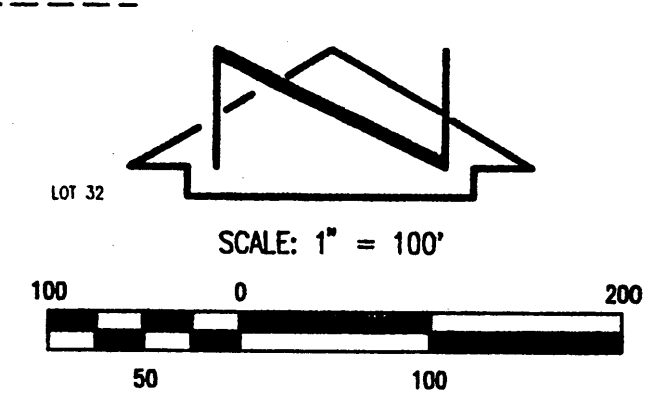
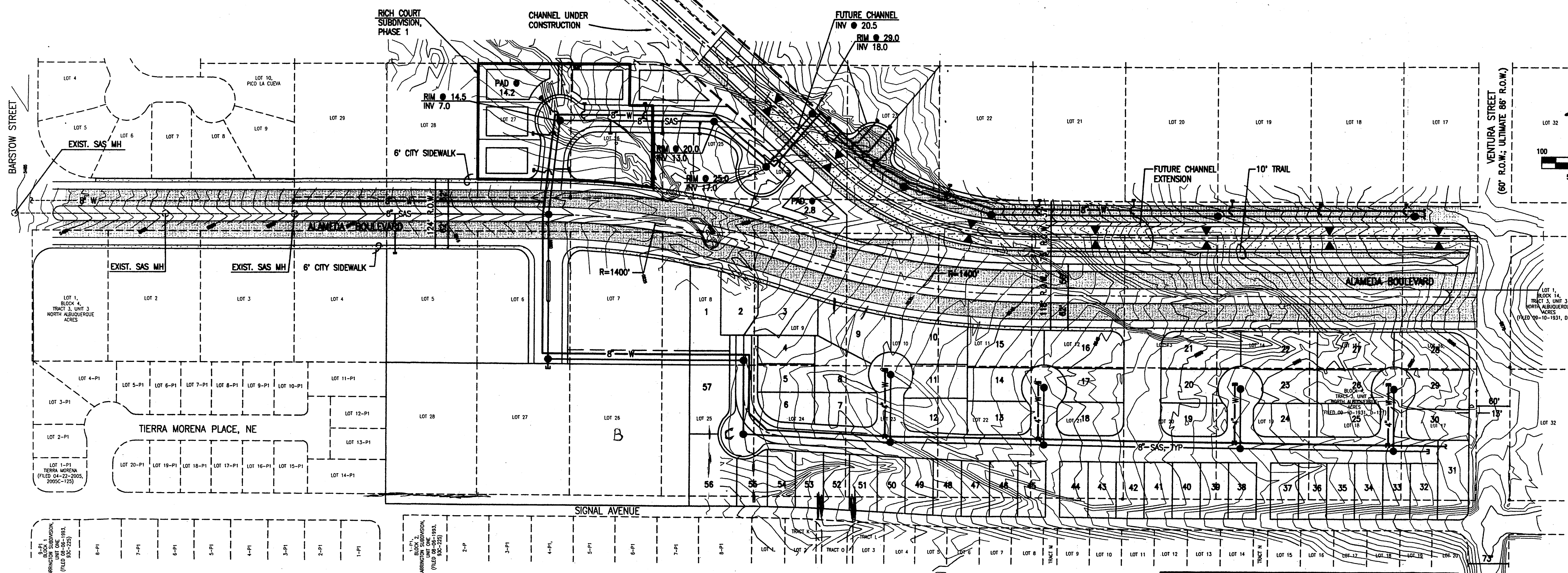


3-P1 BLOCK 1  
 2-P1 BLOCK 1  
 1-P1 BLOCK 1  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

1-P1, BLOCK 2,  
 2-P1, BLOCK 2,  
 3-P1, BLOCK 2,  
 4-P1, BLOCK 2,  
 5-P1 BLOCK 2  
 6-P1 BLOCK 2  
 7-P1, BLOCK 2  
 8-P1, BLOCK 2  
 CARRINGTON SUBDIVISION, UNIT ONE  
 (FILED 08-06-1993, 93C-225)

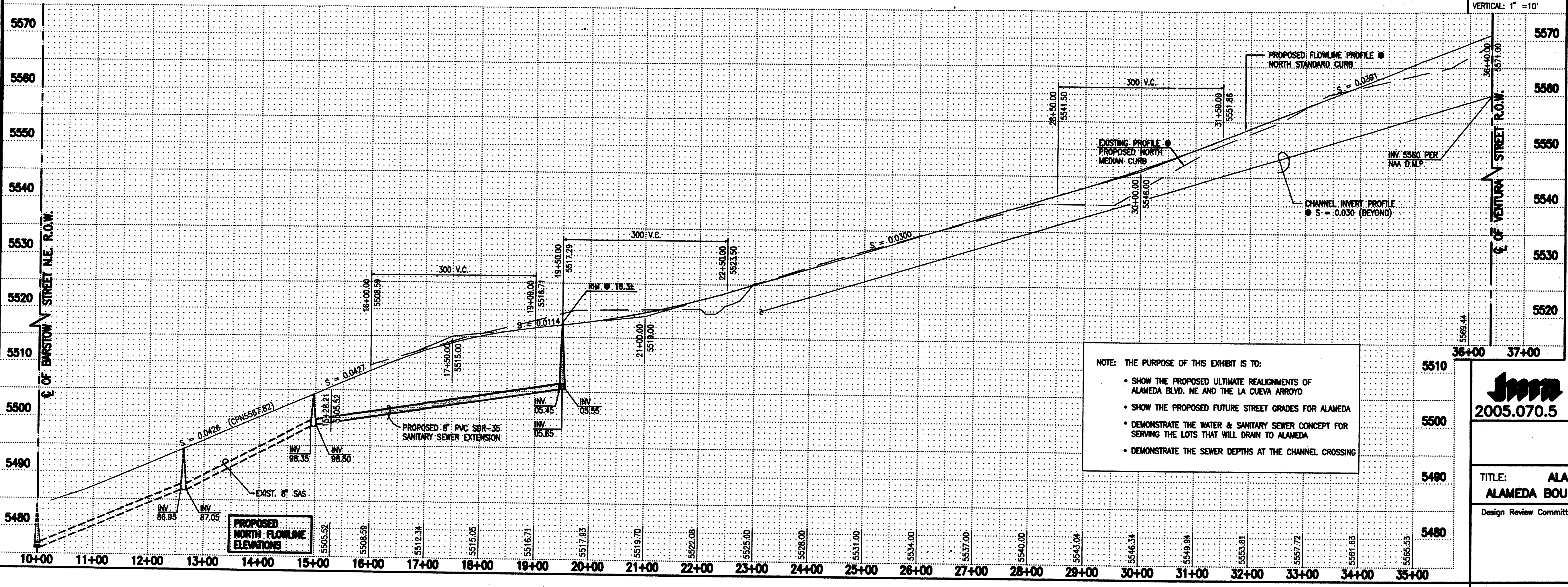
**HIGH MESA Consulting Group**  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2011.035.1 PLAT4





**NOTE:**  
 THIS IS NOT A BOUNDARY SURVEY. EXISTING LOTTING IS REPRESENTED FROM RECORD PLATTING AND IS SHOWN FOR ORIENTATION PURPOSES ONLY. EXISTING TOPOGRAPHY IS FROM CPN 757781, LA CUEVA CHANNEL. PROPOSED LOTTING IS CONCEPTUAL AND REPRESENTS A POSSIBLE DEVELOPMENT SCENARIO.

**ALAMEDA BLVD N.E.**



**NOTE: THE PURPOSE OF THIS EXHIBIT IS TO:**

- SHOW THE PROPOSED ULTIMATE REALIGNMENTS OF ALAMEDA BLVD. NE AND THE LA CUEVA ARROYO
- SHOW THE PROPOSED FUTURE STREET GRADES FOR ALAMEDA
- DEMONSTRATE THE WATER & SANITARY SEWER CONCEPT FOR SERVING THE LOTS THAT WILL DRAIN TO ALAMEDA
- DEMONSTRATE THE SEWER DEPTHS AT THE CHANNEL CROSSING

**SCALE:**  
 HORIZONTAL: 1" = 100'  
 VERTICAL: 1" = 10'

AS BUILT INFORMATION	
CONTRACTOR	DATE
MARKED BY	DATE
ACCEPTED BY	DATE
FIELD DRAWN BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE

SURVEY INFORMATION	
FIELD NO.	DATE
BY	N/A



NO.	DATE	BY
1	05-2006	G.M./J.D.S.
2	05-2006	J.L.P.
3	06-2006	G.M.

**Jma**  
 2005.070.5

JEFF MORTENSEN & ASSOCIATES, INC.  
 6820-B MIDWAY PARK BLVD. N.E.  
 ALBUQUERQUE, N.M. 87109  
 ENGINEERS & SURVEYORS 5050 345-4250  
 FAX 505 345-4254 (ESTABLISHED 1977)

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

**TITLE: ALAMEDA BLVD NE PLAN AND PROFILE  
 ALAMEDA BOULEVARD/LA CUEVA ARROYO ALIGNMENT STUDY**

Design Review Committee	City Engineer Approval
-------------------------	------------------------

City Project No. \_\_\_\_\_ Zone Map No. **C-20** Sheet **4** of **4**

Plot Path: E:\MORTENSEN\2005\20050705\20050705.DWG  
 Plot Name: 20050705.DWG  
 Plot Date: 07-21-2006  
 Plot Time: 09:09 am



**INDEX OF DRAWINGS:**

- SHEET-1 SITE PLAN
- SHEET-2 GRADING & DRAINAGE PLAN
- SHEET-3 SITE UTILITY PLAN
- SHEET-4 LANDSCAPE PLAN
- SHEET-5 BUILDING ELEVATIONS
- SHEET-6 BUILDING ELEVATIONS

**DESIGN DATA:**

LEGAL DESCRIPTIONS: LOTS 5-8 LOTS 25-28, BLOCK 4, TRACT 3, UNIT 3  
 NORTH ALBUQUERQUE ACRES, 6.1928 ACRES  
 ZONE MAP: C-20-Z (ZONE ATLAS JUNE 1998)  
 C.O.A. ZONE CODE: SU-2 FOR O-1 & R-T USES (ALBUQ. ZONE CODE 1991)

**PROJECT BREAKDOWN**

AREAS (GROSS SQUARE FEET):

PHASE 1	CHURCH & RELATED SPACES (MAIN SANCTUARY CAPACITY - 300 FIXED SEATS)	= 14,000 GSF
OFFICE BUILDINGS	(2) 2-STORY OFFICE BUILDINGS @ 22,000 GSF EA.	= 44,000 GSF
FUTURE PHASES	HEALING CENTER (16 HOSPACE UNITS) CHURCH ADMINISTRATION (OFFICES AND PARISH HALL)	= 10,000 GSF = 7,000 GSF

**PARKING REQUIREMENTS:**

**PARKING REQUIRED:**

OFFICES @ 44,000 GSF	GROUND: 22,000 GSF/200 = 110
	SECOND: 22,000 GSF/300 = 74
CHURCH: 300 SEATS	= 75
HEALING CENTER: 16 BEDS/2	= 8
SHARED PARKING REDUCTION @ 20%	= (-53)
BUS REDUCTION @ 5%	= (-13)
NET REQUIRED	= 201 SPACES

**PARKING PROVIDED:**

SHARED PARKING	= 157
OFFICES-VISITOR PARKING	= 22
CHURCH AT CIRCLE	= 19
HEALING CENTER STAFF	= 11
TOTAL	= 209 SPACES

**ACCESSIBLE PARKING SPACES:**

TOTAL ACCESSIBLE SPACES REQUIRED: 100-300 SPACES REQUIRES 8  
 (PER ALBUQUERQUE ZONE CODE 14-16-9-1-A-3)  
 TOTAL HANDICAP PARKING SPACES PROVIDED: 8  
 TOTAL "VAN" ACCESSIBLE SPACES REQUIRED: 1 FOR EVERY 8 HANDICAP SPACES.  
 (PER NMBC SECTION 5113, ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES)  
 (PER ALBUQUERQUE ZONE CODE 14-16-9-1-E-5-4)  
 TOTAL "VAN" HANDICAP PARKING SPACES PROVIDED: 1

**BICYCLE SPACE REQUIREMENTS:**

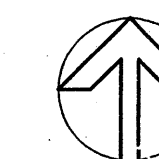
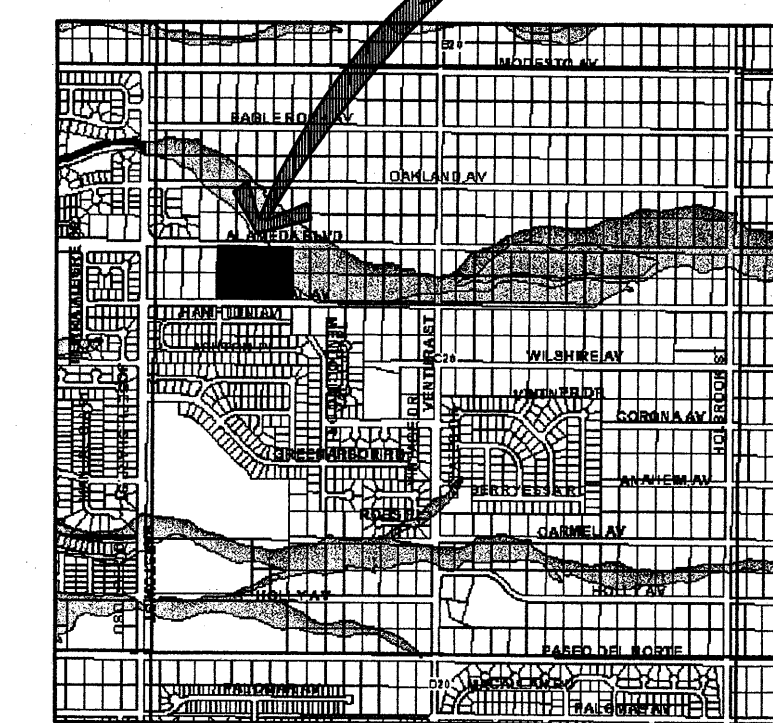
SPACES REQUIRED: 10	MOTORCYCLE SPACE REQUIREMENTS:
SPACES PROVIDED: 10	SPACES REQUIRED: 5
	SPACES PROVIDED: 5

**Sustainable Building Applications**

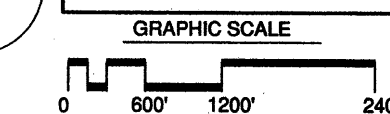
It is the intention of the Diocese of the Rio Grande and Hoech Real Estate Corp. to explore various green building applications in the development of their properties. Aspects of green design that have either been included or are being considered include:

- Building orientation: Office buildings are configured with the long axis oriented east/west and large windows located on north and south sides to maximize day-lighting.
- Windows: To control of solar heat gain, west-facing glazing will be limited and protected with overhangs. Glazing shall be low-e, insulated, on east, south, and west elevations, and clear, insulated on north elevations. South windows shall be protected with eavebrays or overhangs.
- Building footprints and insulation: Building footprints have been designed to minimize exterior walls to the extent possible. The church shall include a basement to contain classrooms. Wall and roof insulation shall be maximized.
- Air quality: Adhesives, sealants, carpeting, and paint with low to no emissions of volatile organics (VOC's) shall be specified.
- Roofs: Cool roofing, using a highly reflective finish, (energy star-compliant) shall be employed.
- Locally-sourced and recycled building materials: To the extent possible, building materials manufactured in our region (500 mile radius) shall be specified to reduce costs of transportation. Recycled building materials shall be incorporated where possible.
- Mechanical systems: Mechanical equipment that operates with low energy usage shall be selected. Energy management systems shall be used to monitor and minimize energy usage.
- Electrical systems: The most energy-efficient lighting shall be used along with exit timers or motion sensor controls.
- Water harvesting: Site runoff shall be controlled wherever possible to irrigate planting areas and reduce or eliminate off-site discharge.

**SITE LOCATION**



**VICINITY MAP**



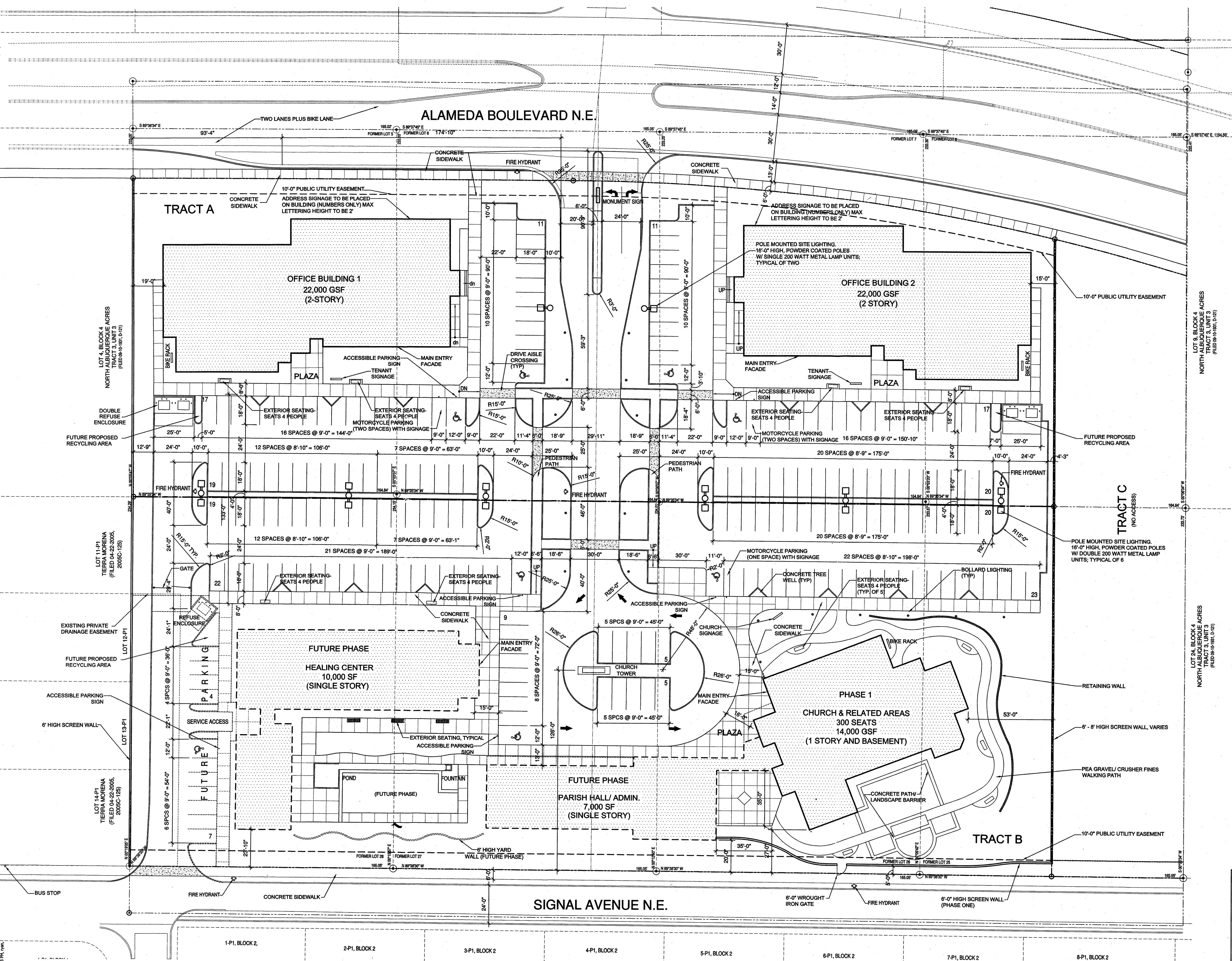
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

PROJECT NUMBER: _____	APPLICATION NUMBER: _____
<i>Michael Helton</i>	10/23/07
SOLID WASTE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIV./AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCES: as specified by Development Process Manual.	
DRB Chairperson _____	DATE _____
Planning Department	

**HOPE PLAZA**  
 A CO-DEVELOPMENT OF  
 HOPE EPISCOPAL CHURCH  
 AND HOECH  
 REAL ESTATE CORP.  
 ALBUQUERQUE, NEW MEXICO  
 JUNE 2007

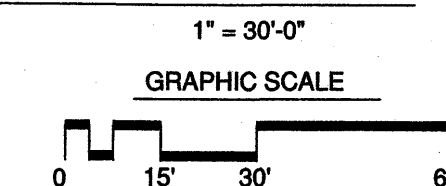
SHEET TITLE  
**SITE DEVELOPMENT PLAN**

1 OF 6



- SITE PLAN GENERAL NOTES:**
- ALL DRIVE AISLE CROSSINGS SHALL BE COLOR INTEGRAL CONCRETE, TERRA COTTA COLOR
  - ROOF TOP UNITS SHALL BE SCREENED BY LOW STUCCO WALLS. STUCCO COLOR TO MATCH BUILDING STUCCO COLORS
  - ROOF TOP COLOR SHALL BE WHITE OR TAN
  - LA CUEVA OPEN SPACE REQUIREMENTS HAVE BEEN MET
  - FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB

1 SITE PLAN



*Michael Helton* 10-23-07







LOT 23, BLOCK 3  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 8-121]

LOT 23, BLOCK 3  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 8-121]

LOT 1, HIGH COURT  
[FILED 04-07-2007, 2007-111]

LOT 3, HIGH COURT  
[FILED 04-07-2007, 2007-111]

LOT 5, HIGH COURT  
[FILED 04-07-2007, 2007-111]

TRACT A, HIGH COURT  
[FILED 04-07-2007, 2007-111]

LOT 24, BLOCK 3  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 8-121]

- LEGEND**
- SAS MANHOLE
  - GATE VALVE
  - FIRE HYDRANT
  - DOUBLE CLEANOUT
  - WATER SERVICE

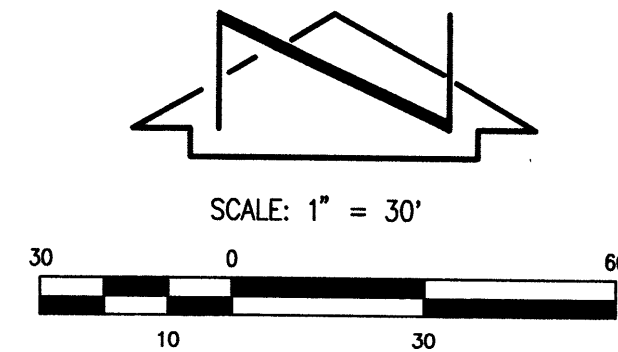
**LEGAL DESCRIPTION**  
LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

**PROJECT BENCHMARK**  
ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E. ELEVATION = 5480.974 FEET (NGVD 1929)

**T.B.M. #1**  
ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE. ELEVATION = 5503.27 FEET (NGVD 1929)

**T.B.M. #2**  
FLAGGED NAIL 116"± WEST OF EAST SIDE FENCE AND 160"± NORTH OF SOUTH SIDE FENCE. ELEVATION = 5526.95 FEET (NGVD 1929)

**ZONING**  
SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)  
LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN



**SURVEY INFORMATION**

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), NMPS 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BERM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.

**EASEMENTS AND RESTRICTIONS**

- ① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004, TO BE VACATED BY FORTHCOMING ACTION.
- ② NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
- ③ TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
- ④ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- ⑤ PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
- ⑥ PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- ⑦ PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
- ⑧ DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B. HOPE PLAZA. ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
- ⑨ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

LOT 9, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 8-121]

LOT 24, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 8-121]

LOT 7-P1  
TIERRA MORENA  
[FILED 04-22-2006, 20060-138]

LOT 12-P1

LOT 13-P1

LOT 14-P1  
TIERRA MORENA  
[FILED 04-22-2006, 20060-138]

1-P1, BLOCK 1  
[FILED 04-10-2007, 8-121]

2-P1, BLOCK 2  
[FILED 04-10-2007, 8-121]

3-P1, BLOCK 3  
[FILED 04-10-2007, 8-121]

4-P1, BLOCK 4  
[FILED 04-10-2007, 8-121]

5-P1, BLOCK 5  
[FILED 04-10-2007, 8-121]

6-P1, BLOCK 6  
[FILED 04-10-2007, 8-121]

7-P1, BLOCK 7  
[FILED 04-10-2007, 8-121]

8-P1, BLOCK 8  
[FILED 04-10-2007, 8-121]

J. GRAEME MEANS  
NEW MEXICO  
13676  
PROFESSIONAL ENGINEER  
05/31/2007  
10/17/2007

**HIGH MESA**  
Consulting Group  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 FAX: 505.345.4254  
www.highmesacg.com

**FTB**  
ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone 505/883.5200  
Facsimile 505/884.5300  
Web www.fbtarch.com

**HOPE PLAZA**  
A CO-DEVELOPMENT OF  
HOPE EPISCOPAL CHURCH  
AND HOECH  
REAL ESTATE CORP.  
ALBUQUERQUE, NEW MEXICO  
JUNE 2007

SHEET TITLE  
CONCEPTUAL UTILITY  
PLAN

3 OF 6

2006.047.3  
TRACT 3

ADMINISTRATIVE SUBDIVISION, UNIT ONE  
[FILED 04-03-2006, 880-238]

**ALAMEDA BOULEVARD N.E.**  
(124 FT PROPOSED RIGHT-OF-WAY)

**SIGNAL AVENUE** (ROW VARIES)

OFFICE BUILDING 1  
22,000 GSF  
(2-STORY)

OFFICE BUILDING 2  
22,000 GSF  
(2-STORY)

FUTURE PHASE  
HEALING CENTER  
10,000 SF  
(SINGLE STORY)

PHASE 1  
CHURCH & RELATED AREAS  
300 SEATS  
14,000 GSF  
(1 STORY AND BASEMENT)

FUTURE PHASE  
PARISH HALL/ ADMIN.  
7,000 SF  
(SINGLE STORY)

TRACT A  
2.5927 AC. ±

TRACT B  
3.1018 AC. ±

TRACT C  
0.7389 AC. ±

LOT 28

LOT 27

LOT 26

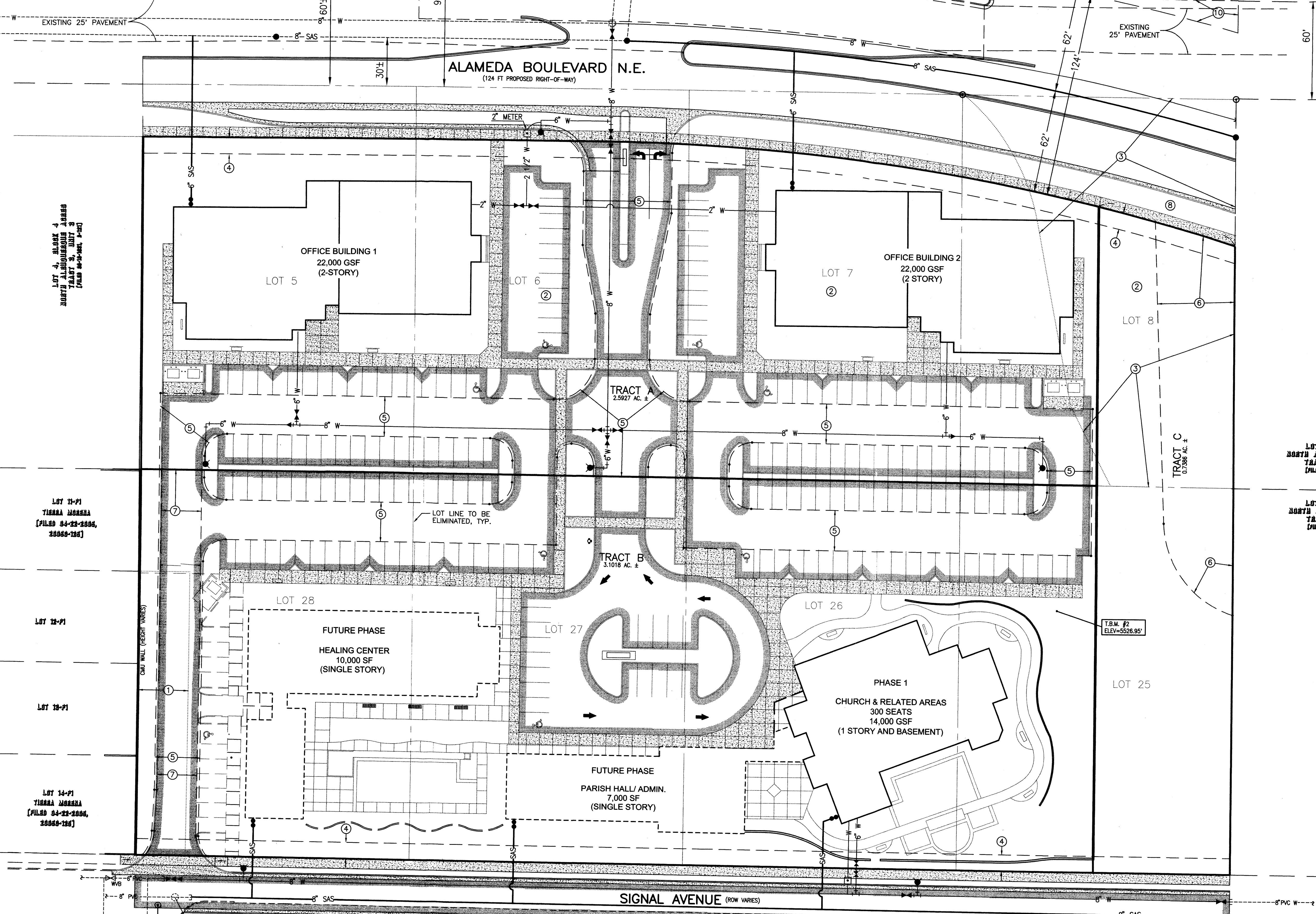
LOT 25

LOT 5

LOT 6

LOT 7

LOT 8



T.B.M. #1  
ELEV=5503.27'

SAS MH  
RIM=5503.78  
INV(E) IN=5496.92  
INV(W) OUT=5496.78

1-P1, BLOCK 1

2-P1, BLOCK 2

3-P1, BLOCK 3

4-P1, BLOCK 4

5-P1, BLOCK 5

6-P1, BLOCK 6

7-P1, BLOCK 7

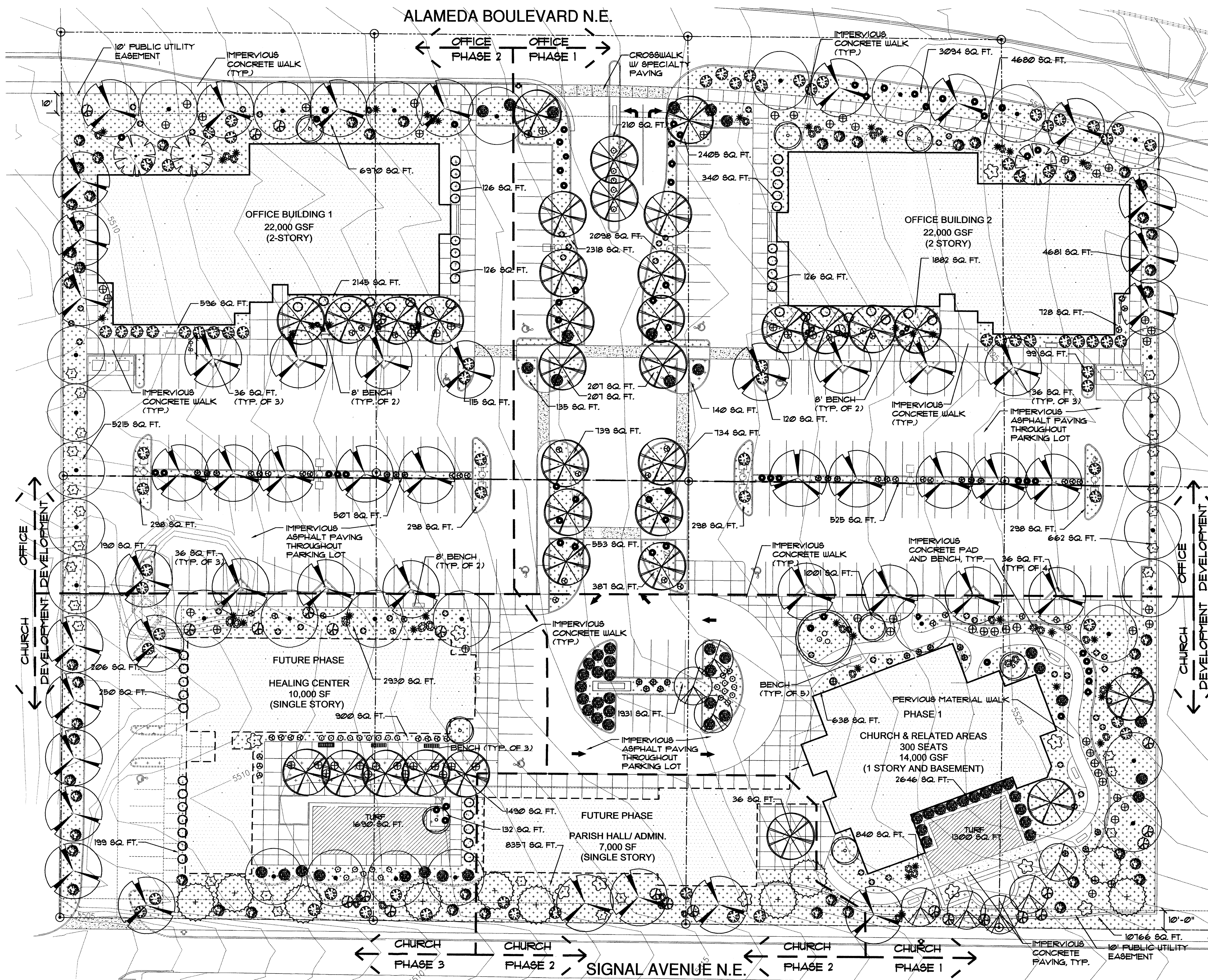
8-P1, BLOCK 8

TRACT 1

TRACT 2

TRACT 3



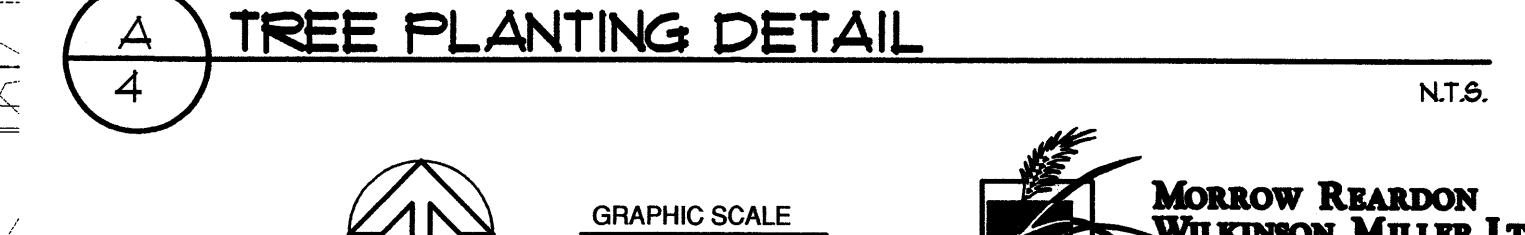
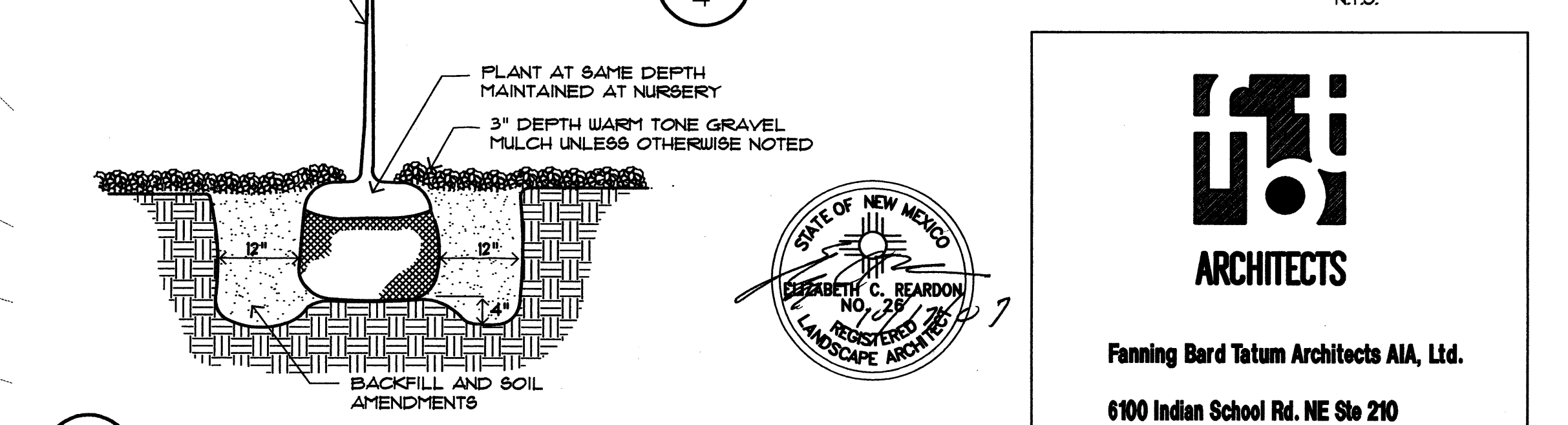
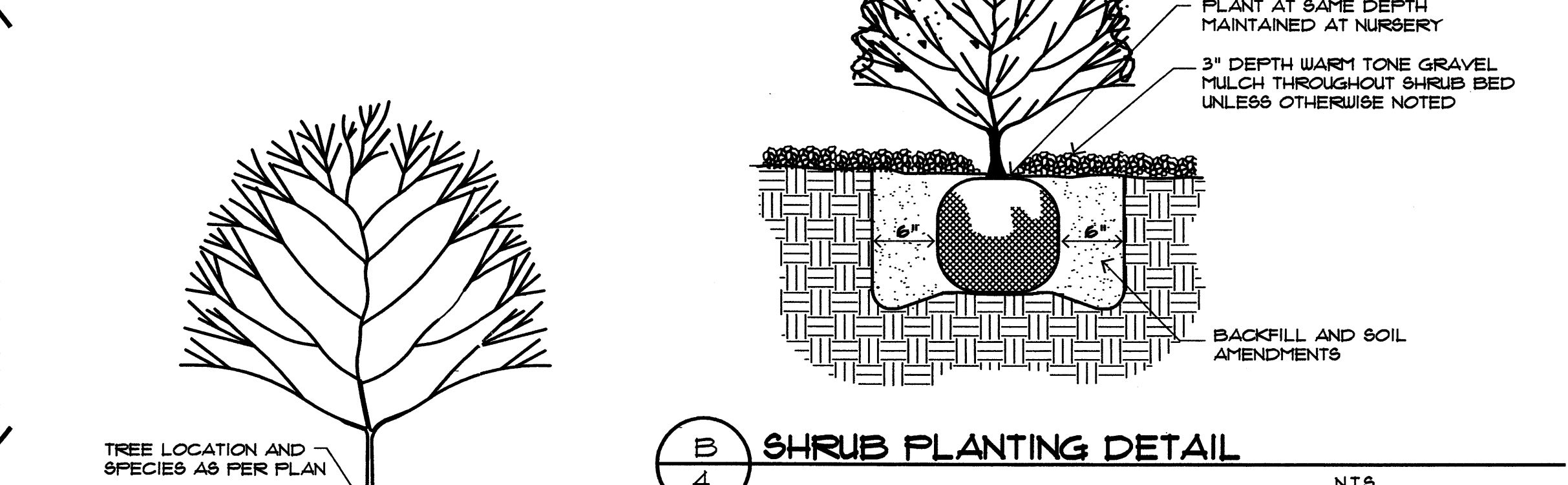


### PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		REMARKS	WATER USE
				INSTALLED	MATURE		
(Tree symbol)	Austrian Pine	Pinus nigra	10	5' - 7' ht.	30' ht., 20' spd.	30" Box	M
(Tree symbol)	Aristocrat Pear	Fyrus calleryana 'Aristocrat'	8	2" cal., 10' - 12' ht.	20' ht., 4' spd.	30" Box	M
(Tree symbol)	Chinese Pistache	Pistacia chinensis	30	2" cal., 12' - 14' ht.	40' ht., 25' spd.	30" Box	M
(Tree symbol)	Desert Willow	Chilopsis linearis	1	2" cal., 12' - 14' ht.	25' ht., 20' spd.	30" Box, multi-trunk	M
(Tree symbol)	Honey Locust	Gleditsia triacanthos inermis 'True shade'	32	2" cal., 12' - 14' ht.	50' ht., 25' spd.	30" Box	M
(Tree symbol)	Shumard Oak	Quercus shumardii	34	2" cal., 12' - 14' ht.	30' ht., 25' spd.	30" Box	L
(Tree symbol)	Washington Hawthorn	Crataegus phaenopyrum	3	2" cal., 10' - 12' ht.	30' ht., 20' spd.	30" Box	M
(Shrub symbol)	Apache Plume	Fallugia parviflora	21	Min. 18" ht.	5' ht., 6' spd.	5-Gal.	L
(Shrub symbol)	Blue Mist Spirea	Caryopteris x clandonensis	50	Min. 18" ht.	4' ht., 4' spd.	5-Gal.	L
(Shrub symbol)	Butterfly Bush	Buddleia davidii	10	Min. 18" ht.	6' ht., 4' spd.	5-Gal.	M
(Shrub symbol)	Cherry Sage	Salvia greggii	38	Min. 12" ht.	3' ht. and spd.	5-Gal.	M
(Shrub symbol)	Dammeri Cotoneaster	Cotoneaster dammeri	62	Min. 12" spd.	6' ht., 6' spd.	5-Gal.	L
(Shrub symbol)	Karl Foerster	Molina caerulea arundinacea 'Karl Foerster'	25	Min. 8" ht.	2' ht., 4' spd.	5-Gal.	M
(Shrub symbol)	Lavender	Lavandula angustifolia	65	Min. 6" ht.	4' ht., 4' spd.	2-Gal.	M
(Shrub symbol)	Maiden Grass	Miscanthus sinensis 'Gracillimus'	25	Min. 12" ht.	6' ht., 3' spd.	5-Gal.	L
(Shrub symbol)	Nandina	Nandina domestica 'Compacta'	31	Min. 6" ht.	3' ht., 4' spd.	5 Gal.	L
(Shrub symbol)	New Mexico Olive	Forestiera neomexicana	8	5' - 7' ht.	15' ht., 10' spd.	15-Gal.	M
(Shrub symbol)	Powis castle	Artemesia ludoviciana 'Powis Castle'	53	Min. 8" ht.	2' ht., 3' spd.	5-Gal.	L
(Shrub symbol)	Regal Mist	Muhlenbergia capillaris	56	Min. 10" spd.	3' ht., 4' spd.	5-Gal.	M
(Shrub symbol)	Three Leaf Sumac	Rhus trilobata	50	Min. 18" ht.	5' ht., 6' spd.	5-Gal.	M
(Shrub symbol)	Yucca	Yucca recurvifolia	38	Min. 10" ht.	4' ht., 4' spd.	5-Gal.	M
(Shrub symbol)	Grow Low Sumac	Rhus aromatica 'grow low'	12	Min. 10" ht.	2' ht., 6' spd.	5-Gal.	M
(Turf symbol)	PARK BLEND	Poa pratensis, Festuca elatior, Lolium perenne	2,990 sq. ft.	--	--	80d	H

### MULCH SCHEDULE

(Symbol)	3" DEPTH WARM TONE GRAVEL MULCH. SEE LANDSCAPE NOTE # 8.
----------	--



MORROW REARDON WILKINSON MILLER, LTD. LANDSCAPE ARCHITECTS  
 210 La Veta NE, Albuquerque, NM 87108  
 505.268.2288 FAX 505.265.9837  
 MRW@MRWML.COM

DRB SITE DEVELOPMENT PLAN APPROVAL:

PROJECT NUMBER: \_\_\_\_\_ APPLICATION NUMBER: \_\_\_\_\_

SOLID WASTE DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEER, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

PUBLIC WORKS, WATER UTILITIES DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER, ENGINEERING DIV./AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AND CONDITIONAL ACCEPTANCES: as specified by Development Process Manual.

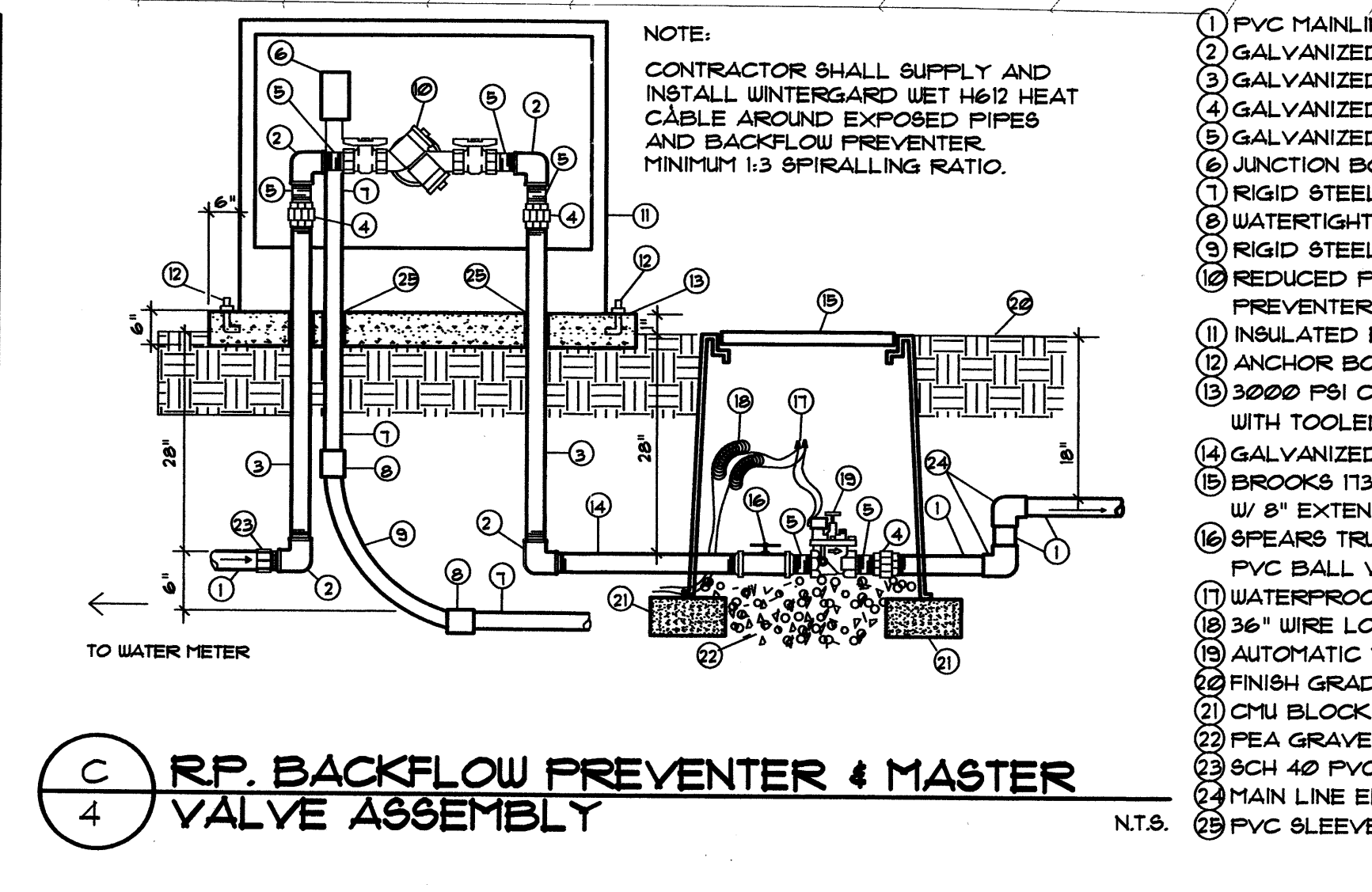
DRB Chairperson \_\_\_\_\_ DATE \_\_\_\_\_

Planning Department \_\_\_\_\_

### LANDSCAPE NOTES

- LANDSCAPE REQUIREMENTS:  
 TOTAL SITE AREA: 269,158 SF  
 BUILDING AREA: 53,000 SF  
 NET SITE AREA: 216,158 SF (TOTAL - BUILDING = NET)  
 TOTAL LANDSCAPE AREA REQUIRED (15% OF NET): 32,424 SF  
 TOTAL LANDSCAPE AREA PROVIDED: 80,056 SF (31% OF NET)
- VEGETATIVE COVERAGE REQUIREMENT:  
 COVERAGE REQUIRED (15% OF TOTAL LANDSCAPE): 60,042 SF.  
 COVERAGE PROVIDED: 16,125 SF (27% OF TOTAL LANDSCAPE AREA) (50% OF REQUIRED LANDSCAPE AREA)
- TURF:  
 MAX TURF AREA ALLOWED (20% OF TOTAL LANDSCAPE AREA PROVIDED): 15,954 SF  
 TOTAL TURF AREA PROVIDED: 2,990 SF (4.0 % OF TOTAL LANDSCAPE AREA)
- LANDSCAPE IRRIGATION:  
 • AUTOMATIC CONTROLLER WITH RAIN SENSOR CAPABILITY AND MULTIPLE PROGRAMMING CAPABILITY.  
 • REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER PER DETAIL C/4 THIS SHEET.  
 • PLANTS SHALL BE IRRIGATED AS FOLLOWS:  
 - TREES: 3 - 0.5 GPM BUBBLERS, EVENLY SPACED AROUND TREE, 1' FROM EDGE OF ROOT BALL.  
 - SHRUBS: 1 - 0.5 GPM BUBBLER PER SHRUB.  
 - TURF: POP-UP SPRAY HEADS.
- PROPERTY OWNER(S) WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.

- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.
- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.
- A 3" DEPTH OF WARM-TONE CRUSHED GRAVEL MULCH WITH WEED BARRIER UNDER SHALL BE INSTALLED THROUGHOUT PLANTING BEDS.
- TREES SHALL BE INSTALLED PER DETAIL A/4. SHRUBS SHALL BE INSTALLED PER DETAIL B/4.
- LANDSCAPE AREAS SHALL BE DEPRESSED WITH A SHALLOW SWALE TO CAPTURE STORM WATER RUN-OFF.
- AREAS IN FUTURE PHASES THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REVEGETATED WITH NATIVE GRASS SEED MIX.

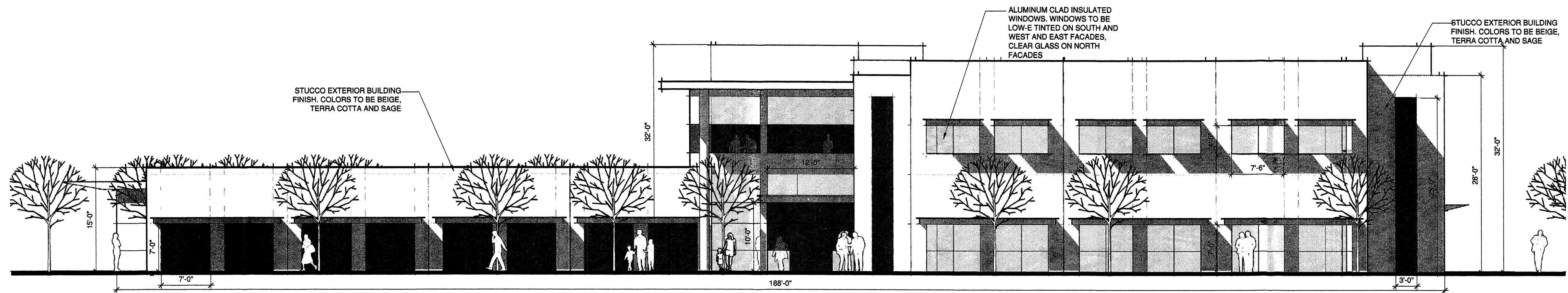


NOTE:  
 CONTRACTOR SHALL SUPPLY AND INSTALL WATERGARD WET 4612 HEAT CABLE AROUND EXPOSED PIPES AND BACKFLOW PREVENTER. MINIMUM 1:3 SPIRALLING RATIO.

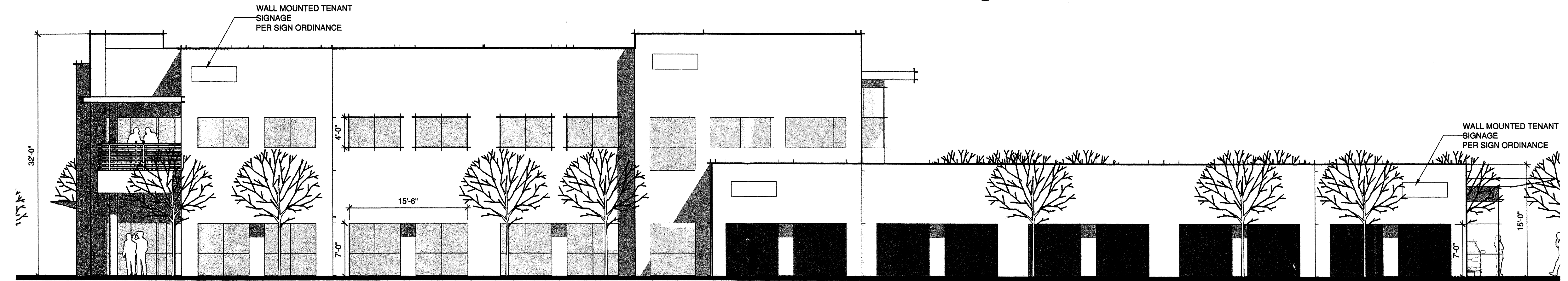
TO WATER METER

REVISION WITH EPC COMMENTS OCTOBER, 2007

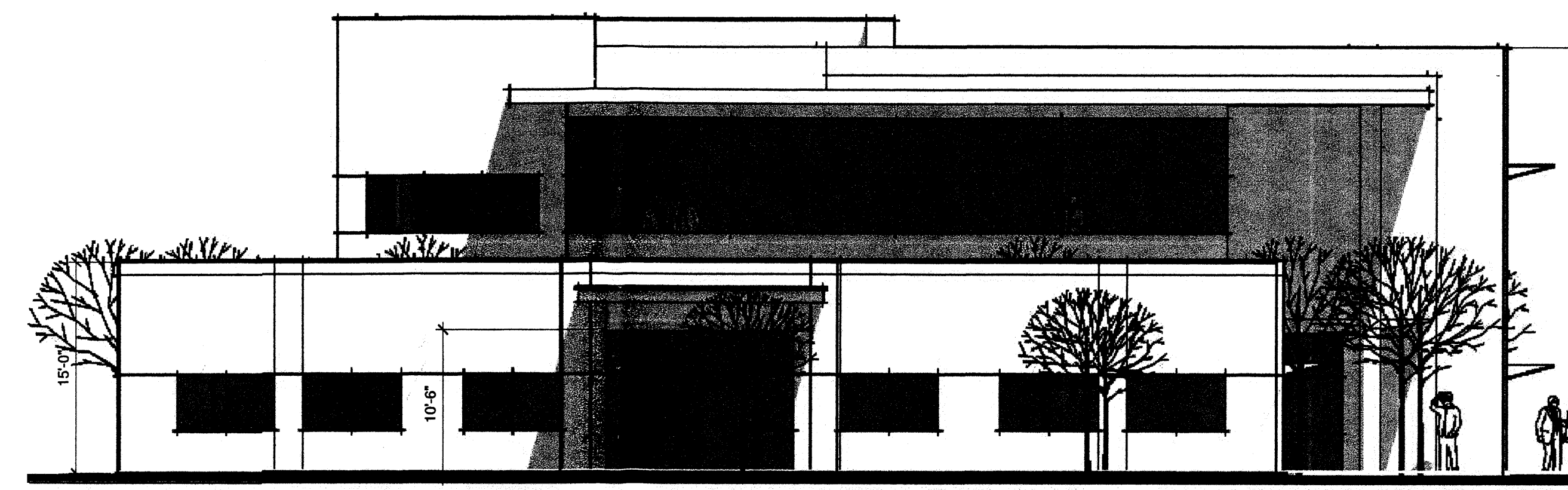




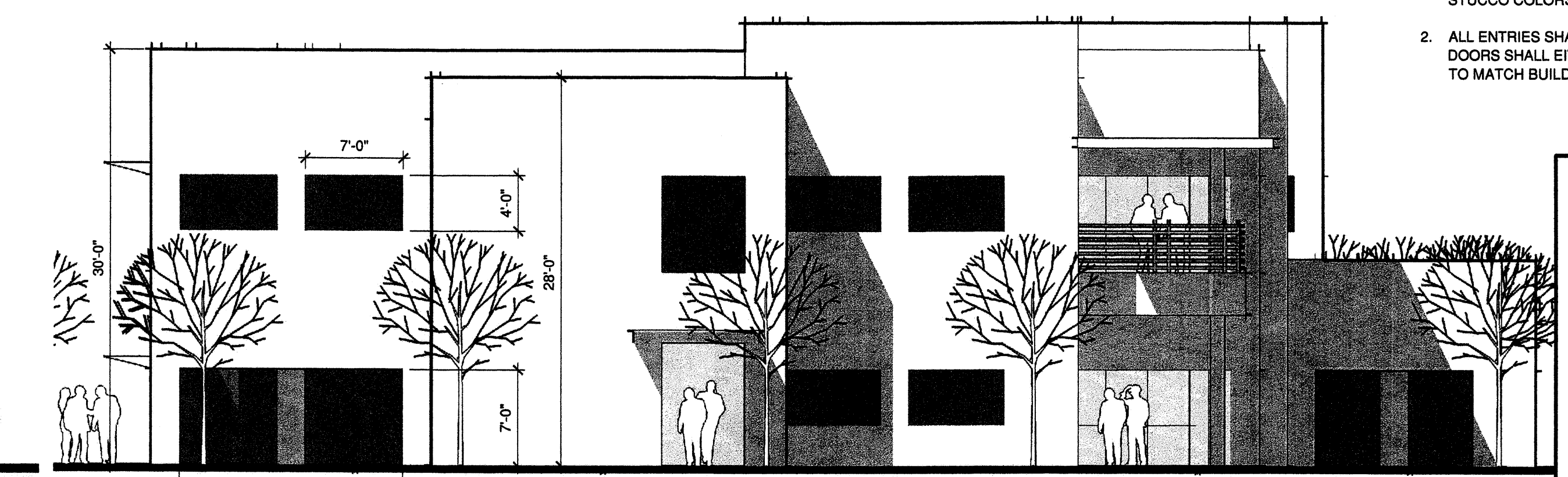
**4 SOUTH ELEVATION**  
OFFICE BUILDING 2/ BUILDING ONE OPPOSITE HAND 1/8" = 1'-0"



**2 NORTH ELEVATION**  
OFFICE BUILDING 2/ BUILDING ONE OPPOSITE HAND 1/8" = 1'-0"

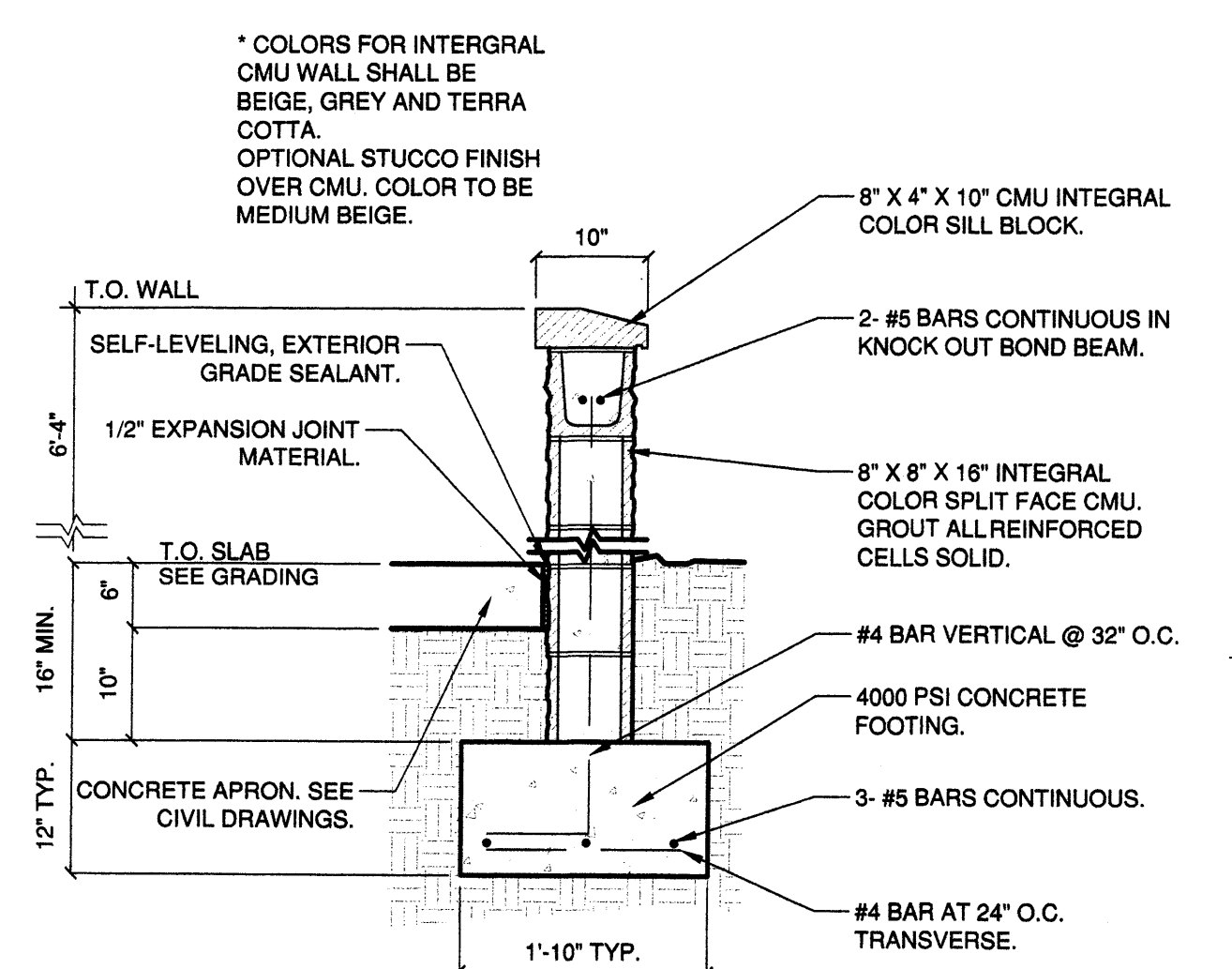
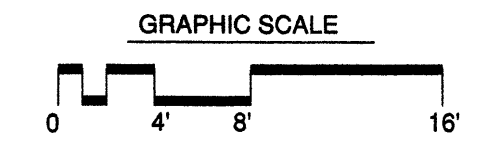


**3 WEST ELEVATION**  
OFFICE BUILDING 2/ BUILDING ONE OPPOSITE HAND 1/8" = 1'-0"

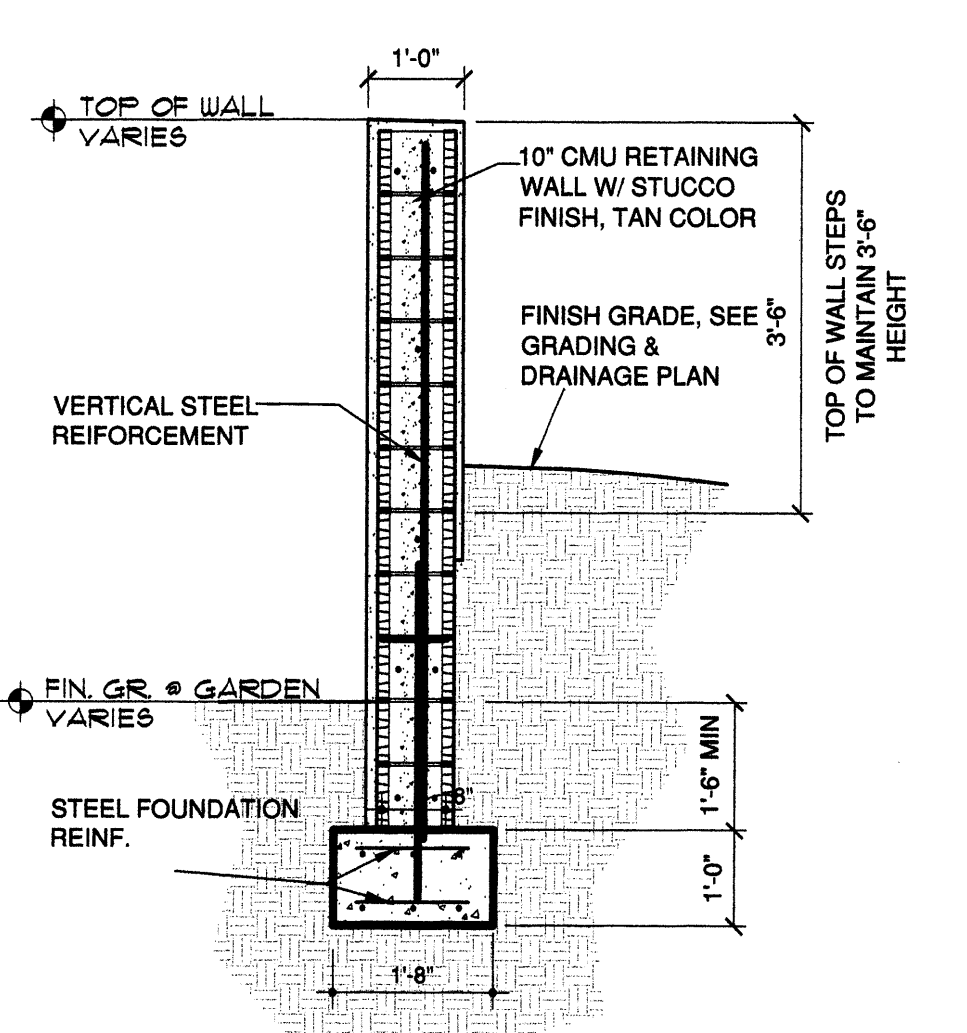


**1 EAST ELEVATION**  
OFFICE BUILDING 2/ BUILDING ONE OPPOSITE HAND 1/8" = 1'-0"

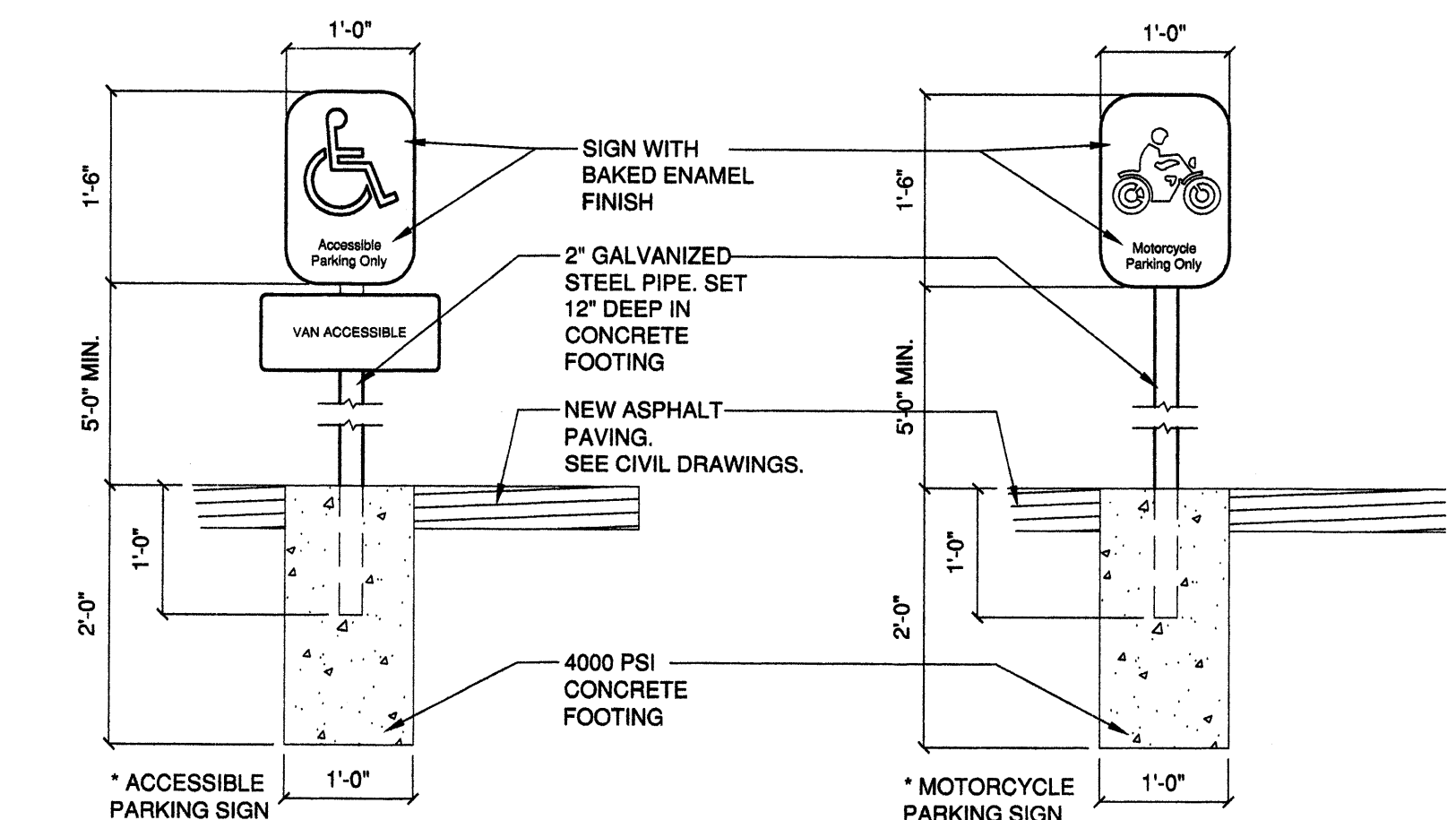
- GENERAL NOTES:**
1. ALL SITE ELEMENTS THAT ARE TO RECEIVE STUCCO SHALL MATCH BUILDING STUCCO COLORS OR BE COMPLEMENTARY TO THE BUILDING STUCCO COLORS.
  2. ALL ENTRIES SHALL BE ALUMINUM STOREFRONT TO MATCH WINDOWS. ALL OTHER DOORS SHALL EITHER BE ALUMINUM STOREFRONT OR HOLLOW METAL, PAINTED TO MATCH BUILDING EXTERIOR COLORS.



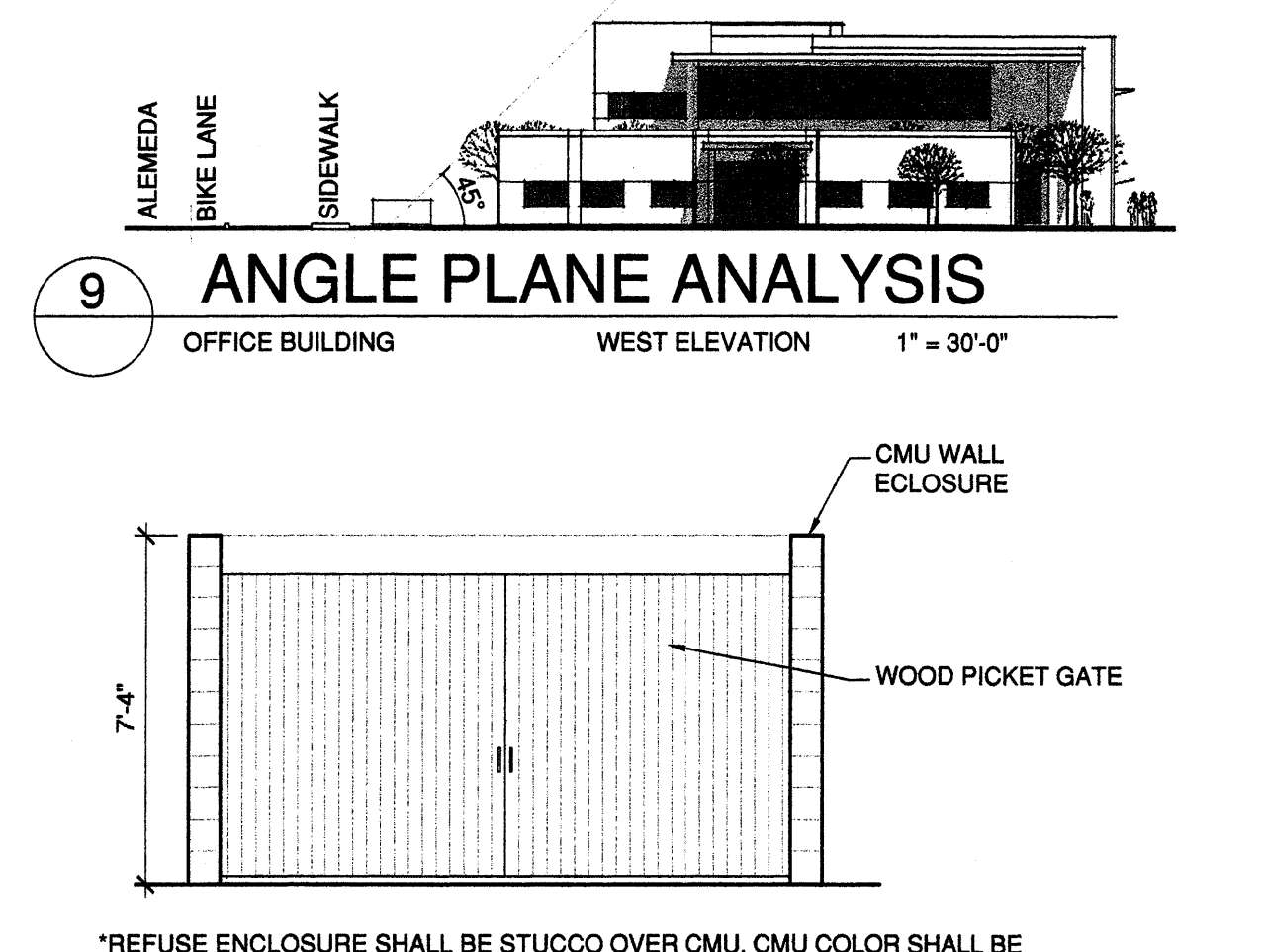
**6 SCREEN WALL DETAIL**  
3/4" = 1'-0"



**5 RETAINING WALL DETAIL**  
1/2" = 1'-0"



**7 SIGNAGE DETAILS**  
3/4" = 1'-0"



**8 REFUSE ENCLOSURE ELEVATION**  
1/4" = 1'-0"

**9 ANGLE PLANE ANALYSIS**  
OFFICE BUILDING WEST ELEVATION 1" = 30'-0"

**fbt ARCHITECTS**  
Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone 505/883.5200  
Facsimile 505/884.5300  
Web www.fbtarch.com

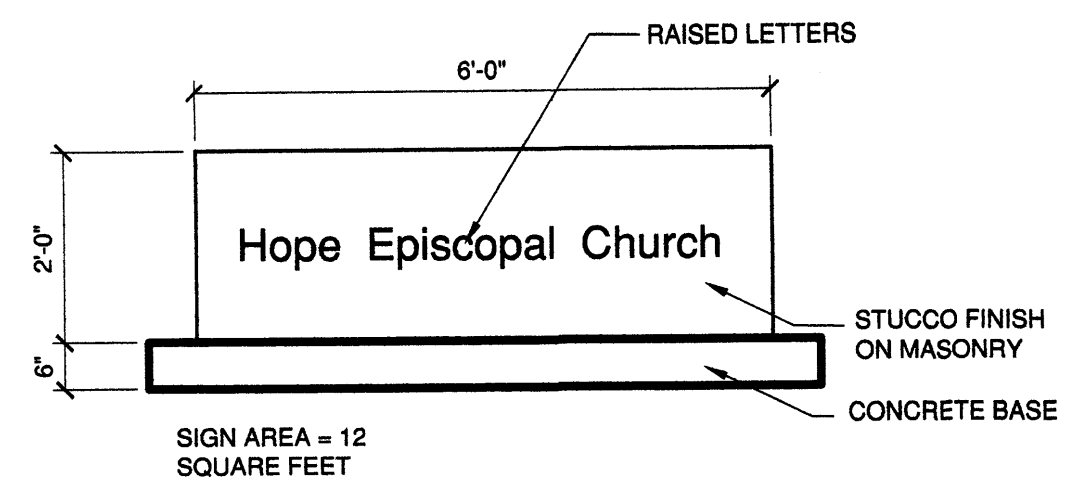
**HOPE PLAZA**  
A CO-DEVELOPMENT OF  
HOPE EPISCOPAL CHURCH  
AND HOECH  
REAL ESTATE CORP.  
ALBUQUERQUE, NEW MEXICO  
JUNE 2007

SHEET TITLE  
**OFFICE BUILDING ELEVATIONS**

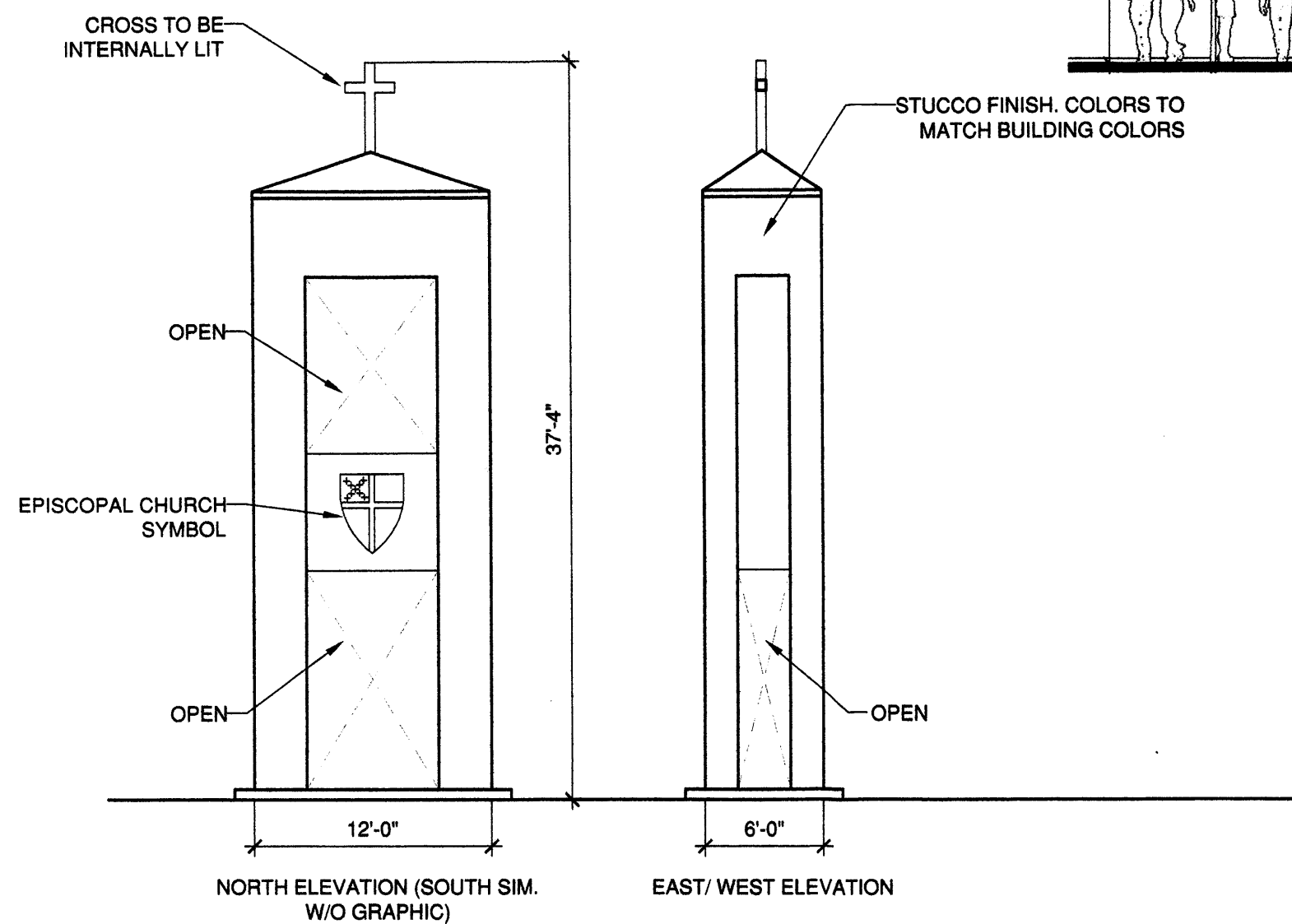
**5 OF 6**

HOPE PLAZA REVISION WITH EPC COMMENTS OCTOBER, 2007

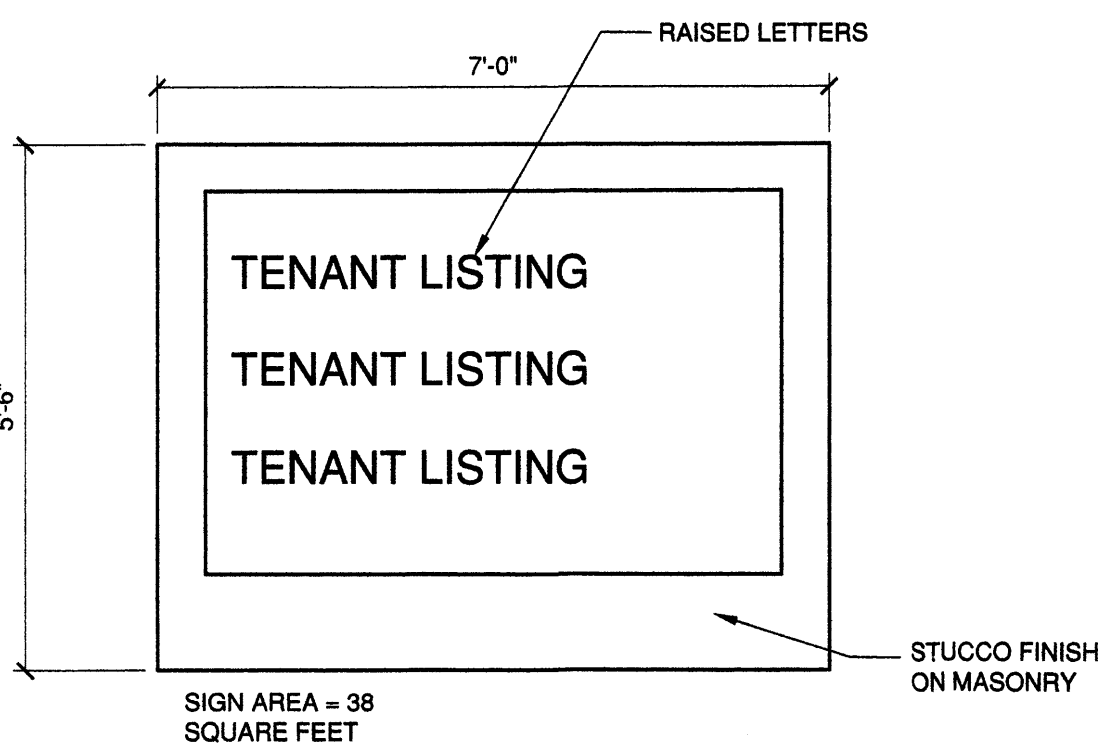




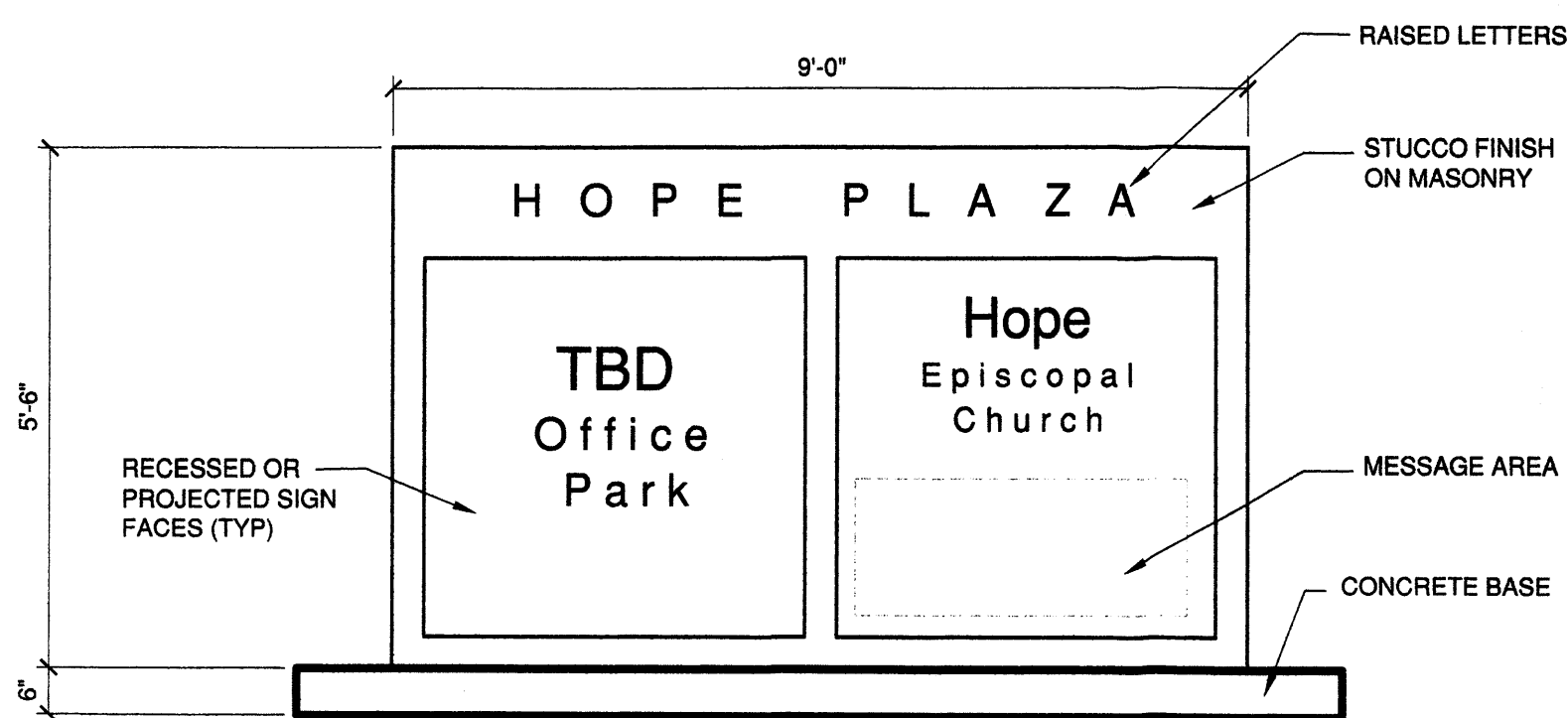
**8 SIGNAGE DETAIL**  
CHURCH SIGNAGE  
1/2" = 1'-0"



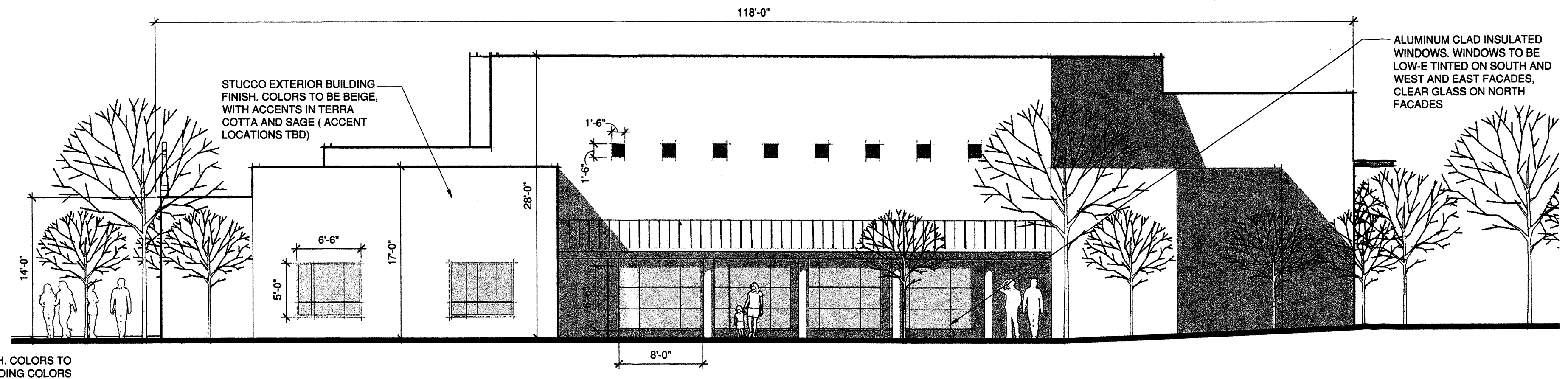
**7 TOWER ELEVATION**  
1/8" = 1'-0"



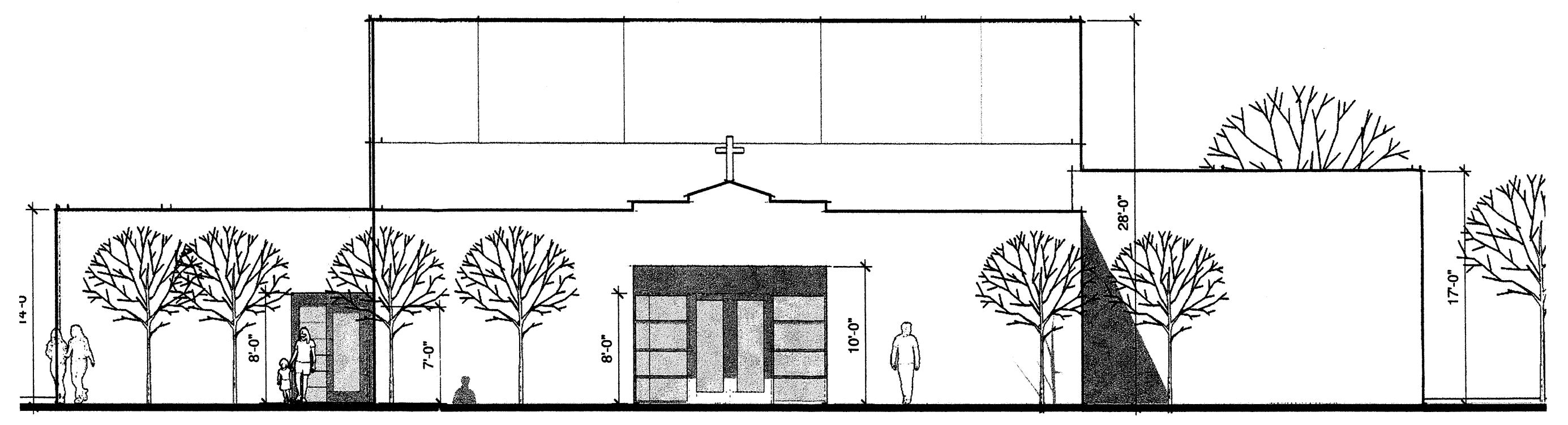
**6 SIGNAGE DETAIL**  
TENANT SIGNAGE TYPICAL OF TWO  
1/2" = 1'-0"



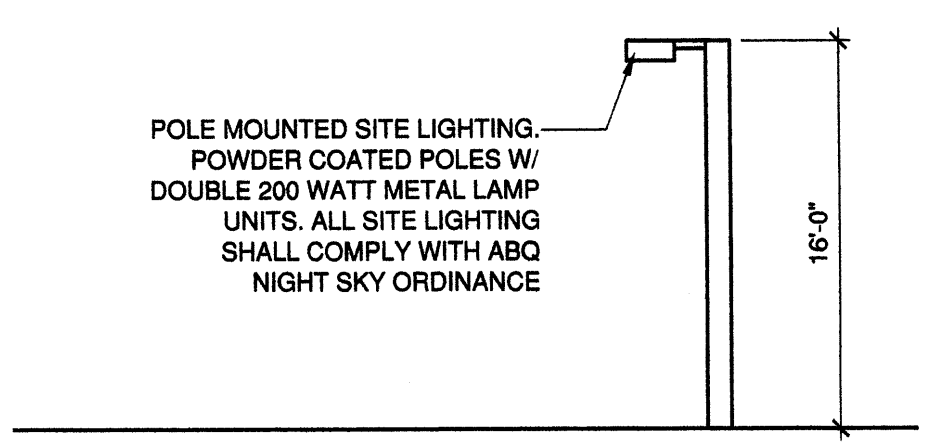
**5 SIGNAGE DETAIL**  
MONUMENT SIGN  
1/2" = 1'-0"



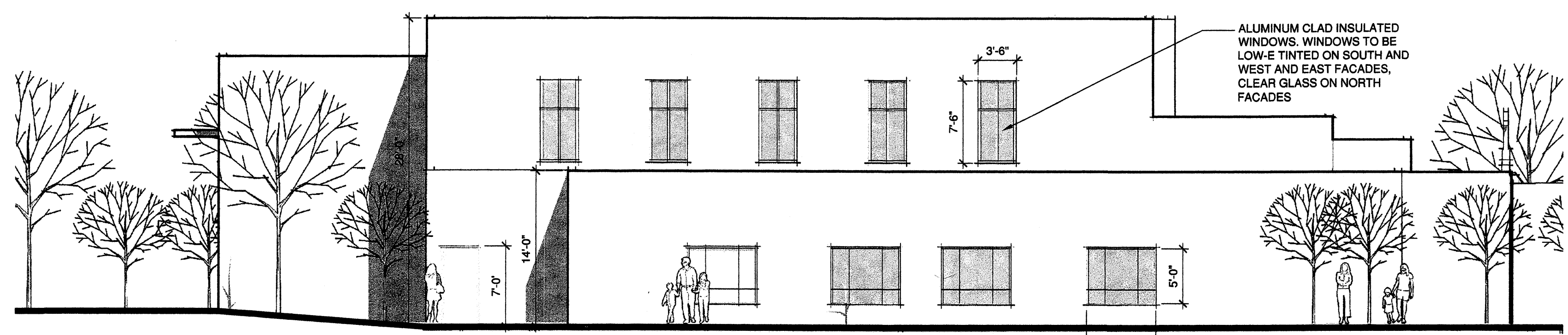
**4 SOUTH ELEVATION**  
1/8" = 1'-0"



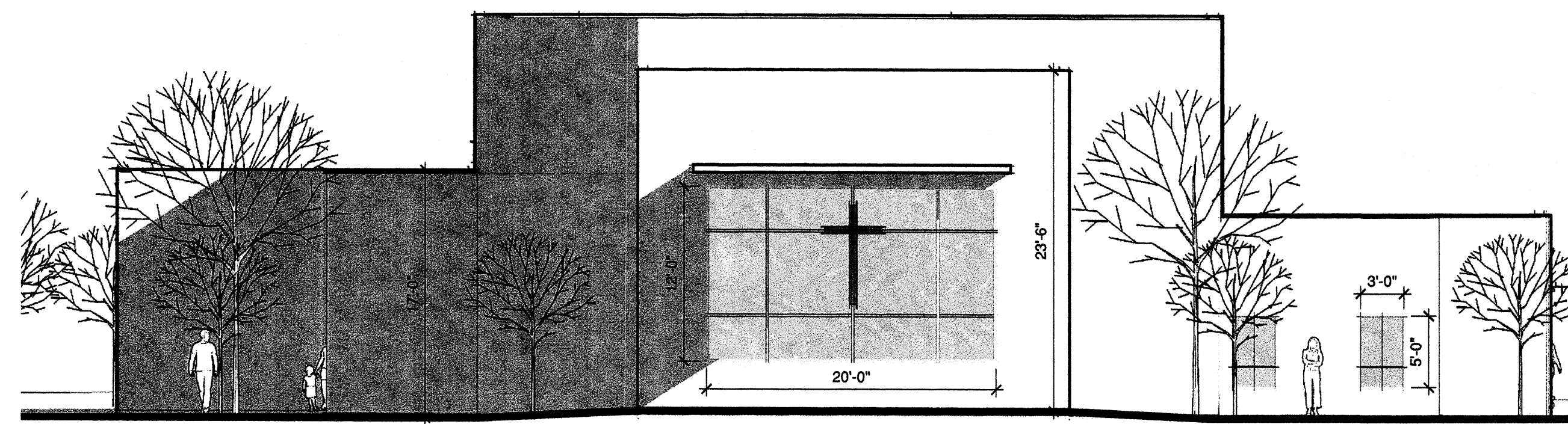
**3 WEST ELEVATION**  
1/8" = 1'-0"



**9 SITE LIGHTING ELEVATION**  
1/8" = 1'-0"

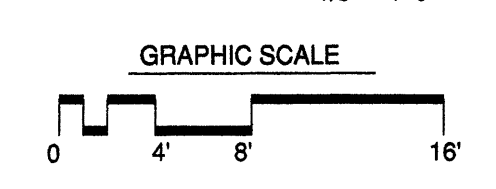


**2 NORTH ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"

- GENERAL NOTES:**
1. ALL SITE ELEMENTS THAT ARE TO RECEIVE STUCCO SHALL MATCH BUILDING STUCCO COLORS OR BE COMPLEMENTARY TO THE BUILDING STUCCO COLORS.
  2. ALL ENTRIES SHALL BE ALUMINUM STOREFRONT TO MATCH WINDOWS. ALL OTHER DOORS SHALL EITHER BE ALUMINUM STOREFRONT OR HOLLOW METAL, PAINTED TO MATCH BUILDING EXTERIOR COLORS.



**ftb ARCHITECTS**  
Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone 505/883.8200  
Facsimile 505/884.5390  
Web www.ftbarch.com

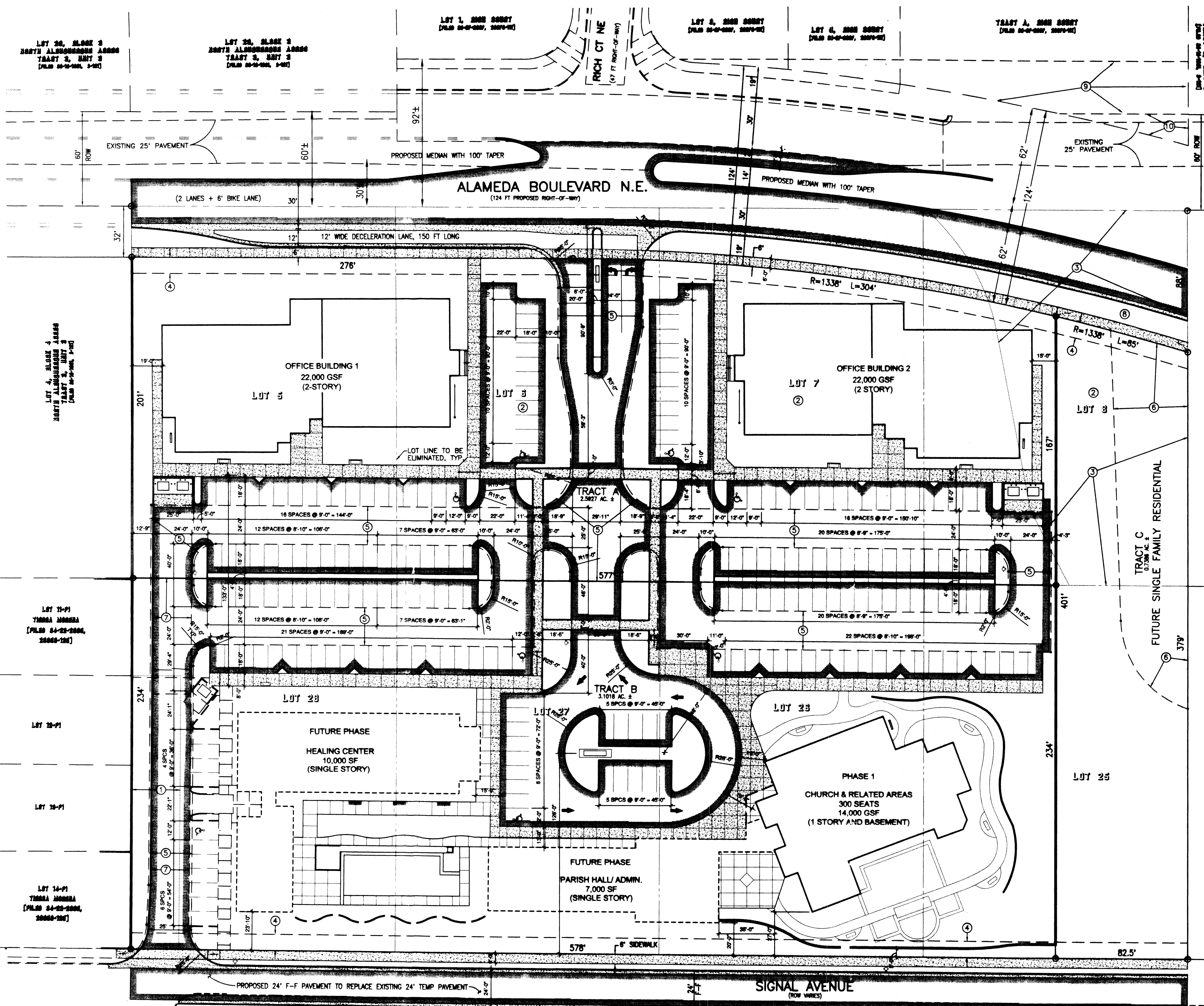
**HOPE PLAZA**  
A CO-DEVELOPMENT OF  
HOPE EPISCOPAL CHURCH  
AND HOECH  
REAL ESTATE CORP.  
ALBUQUERQUE, NEW MEXICO  
JUNE 2007

SHEET TITLE  
**CHURCH BUILDING  
ELEVATIONS**

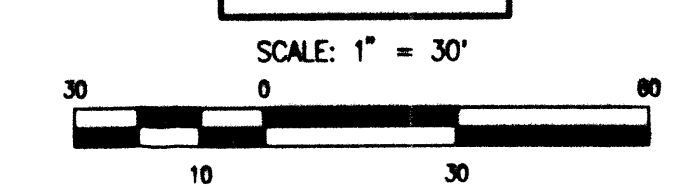
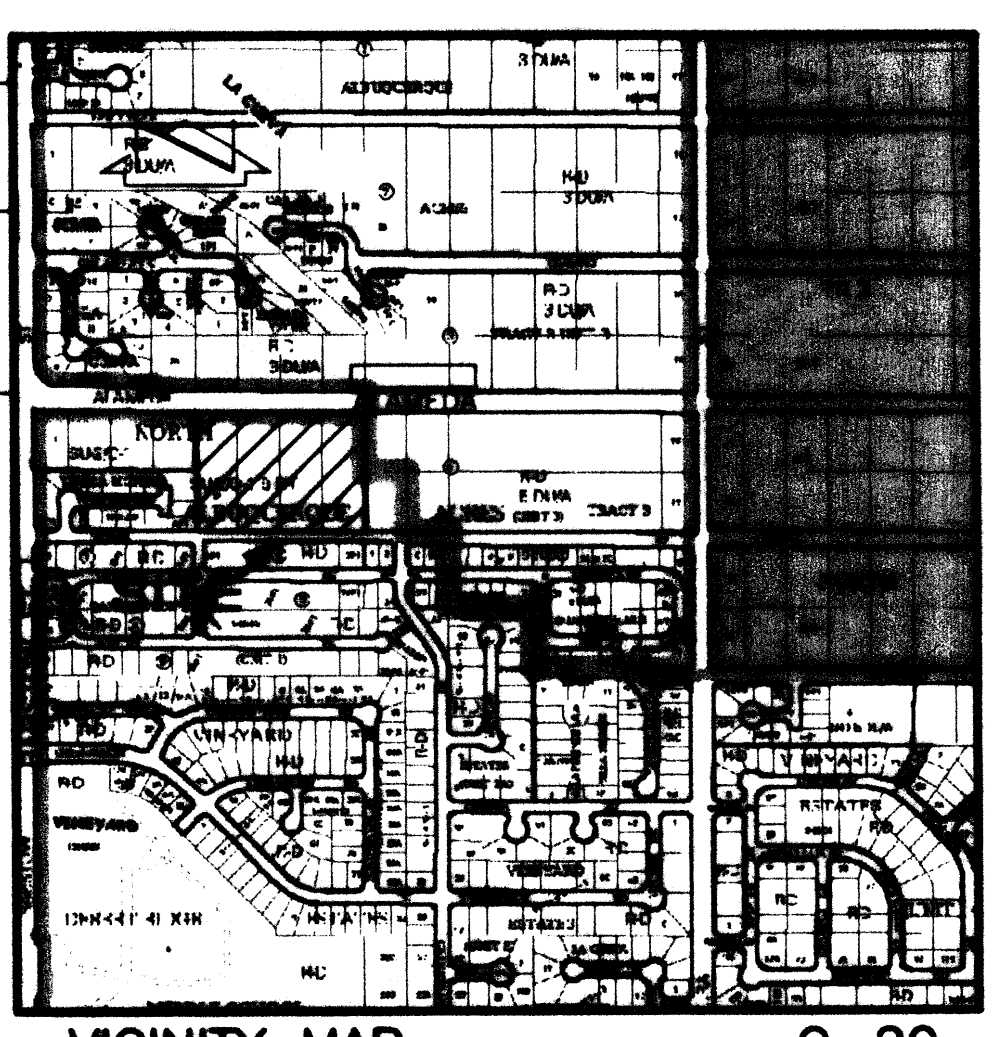
**6** OF 6

HOPE PLAZA REVISION WITH EPC COMMENTS OCTOBER, 2007





**LEGAL DESCRIPTION**  
 LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3  
**ZONING**  
 SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)  
 LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN  
**SURVEY INFORMATION**  
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), N.M.P.S. 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BERM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.



- EASEMENTS AND RESTRICTIONS**
- APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004, TO BE VACATED BY FORTHCOMING ACTION.
  - NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
  - TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
  - 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
  - PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
  - PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
  - PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
  - DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B, HOPE PLAZA. ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
  - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
  - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
    - MINIMUM BUILDING SETBACK IS 10 FT FOR TRACTS A AND B
    - BUILDING HEIGHT FOR TRACTS A AND B SHALL COMPLY WITH HEIGHT REGULATIONS FOR THE O-1 ZONE
    - MAXIMUM F.A.R. FOR COMMERCIAL DEVELOPMENT IS 0.4 FOR TRACTS A AND B
    - SETBACKS, DENSITY AND OTHER CRITERIA FOR TRACT C WILL BE ADDRESSED BY SEPARATE EPC SUBMITTAL
    - FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB
    - ALL FUTURE PHASES SHALL BE IN CONTEXT IN DESIGN, COLOR AND MATERIALS WITH THE PROPOSED MAIN FACILITY
    - LA CUEVA SECTOR DEVELOPMENT PLAN DESIGN REGULATIONS SHALL COMPLY TO ALL TRACTS

**LOT 6, BLOCK 4**  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (PLAT 06-09-2004, 7-02)

**LOT 24, BLOCK 4**  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (PLAT 06-09-2004, 7-02)

PROJECT NUMBER: 1008520  
 Application Number: 07EPC-4001

Is an Infrastructure List required? (X) Yes ( ) No  
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer <i>Michael Holton</i>	Date 10/10/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**HIGH MESA**  
 Consulting Group  
 FORMERLY BY MORROW AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4280 FAX: 505.345.4254  
 www.highmesacg.com

**ARCHITECTS**

Planning David Tolson Architects AIA, Ltd.

690 Indian School Rd. NE Ste 210  
 Albuquerque NM 87110

Phone 505/984.8890  
 Facsimile 505/984.8890  
 Web www.fdtarch.com

**HOPE PLAZA**  
 A CO-DEVELOPMENT OF  
 HOPE EPISCOPAL CHURCH  
 AND HOECH  
 REAL ESTATE CORP.  
 ALBUQUERQUE, NEW MEXICO  
 JUNE 2007

SHEET TITLE  
 SITE PLAN FOR  
 SUBDIVISION

1 OF 2

File Path: E:\ALBUQUERQUE\60473SPR.DWG  
 File Name: 60473SPR.DWG  
 Plot Date: 10-12-2007  
 Plot Time: 2:16 pm  
 1-P/L, BLANK 1  
 2-P/L, BLANK 2  
 3-P/L, BLANK 3  
 4-P/L, BLANK 4  
 5-P/L, BLANK 5  
 6-P/L, BLANK 6  
 7-P/L, BLANK 7  
 8-P/L, BLANK 8

Professional Engineer Seal  
 J. GRAEME MEANS  
 NEW MEXICO  
 13676  
 05/11/2007  
 10/11/2007

2008.047.3  
 TRACT 3



LOT 23, BLOCK 3  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 3-181]

LOT 23, BLOCK 3  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 3-181]

LOT 1, HIGH SOUTH  
[FILED 04-07-2007, 28079-111]

LOT 3, HIGH SOUTH  
[FILED 04-07-2007, 28079-111]

LOT 5, HIGH SOUTH  
[FILED 04-07-2007, 28079-111]

TRACT A, HIGH SOUTH  
[FILED 04-07-2007, 28079-111]

LOT 24, BLOCK 3  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 3-181]

- LEGEND**
- SAS MANHOLE
  - ⊗ GATE VALVE
  - ⊕ FIRE HYDRANT
  - ⊖ DOUBLE CLEANOUT
  - WATER SERVICE

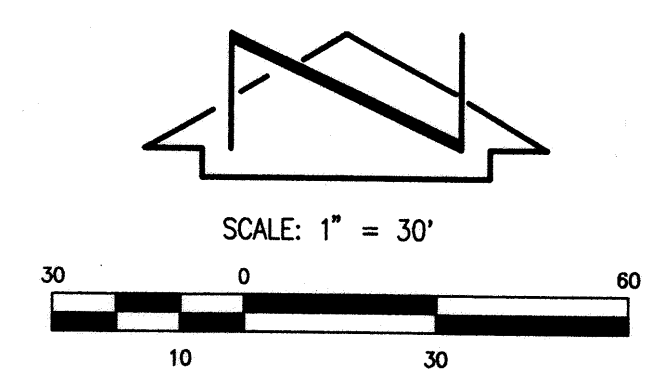
**LEGAL DESCRIPTION**  
LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

**PROJECT BENCHMARK**  
ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19", EPOXY TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E.  
ELEVATION = 5480.974 FEET (NGVD 1929)

**T.B.M. #1**  
ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE.  
ELEVATION = 5503.27 FEET (NGVD 1929)

**T.B.M. #2**  
FLAGGED NAIL 116" ± WEST OF EAST SIDE FENCE AND 160" ± NORTH OF SOUTH SIDE FENCE.  
ELEVATION = 5526.95 FEET (NGVD 1929)

**ZONING**  
SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)  
LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN



**SURVEY INFORMATION**

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), NMPS 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BERM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.

**EASEMENTS AND RESTRICTIONS**

- ① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004, TO BE VACATED BY FORTHCOMING ACTION.
- ② NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
- ③ TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
- ④ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- ⑤ PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
- ⑥ PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- ⑦ PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
- ⑧ DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B. HOPE PLAZA ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
- ⑨ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

LOT 9, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 3-181]

LOT 24, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 3-181]

LOT 4, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT 3, UNIT 3  
[FILED 04-10-2007, 3-181]

LOT 11-P1  
TISARA MORRIS  
[FILED 04-22-2004, 28859-124]

LOT 12-P1

LOT 13-P1

LOT 14-P1  
TISARA MORRIS  
[FILED 04-22-2004, 28859-124]

File Path: E:\WORK\MESA  
File Name: 604731R.DWG  
Plot Date: 10-12-2007  
Plot Time: 12:19 pm  
C:\PROGRAMS\AUTOCAD\ACAD  
[FILED 04-10-2007, 3-181]

J. GRAEME MEANS  
NEW MEXICO  
13676  
PROFESSIONAL ENGINEER  
05/31/2007  
10/17/2007

**HIGH MESA**  
Consulting Group  
FORMERLY JEFF MORRISSEN AND ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 FAX: 505.345.4254  
www.highmesacg.com

**ARCHITECTS**

Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone 505/883.5200  
Facsimile 505/884.5390  
Web www.fbtarch.com

**HOPE PLAZA**  
A CO-DEVELOPMENT OF  
HOPE EPISCOPAL CHURCH  
AND HOECH  
REAL ESTATE CORP.

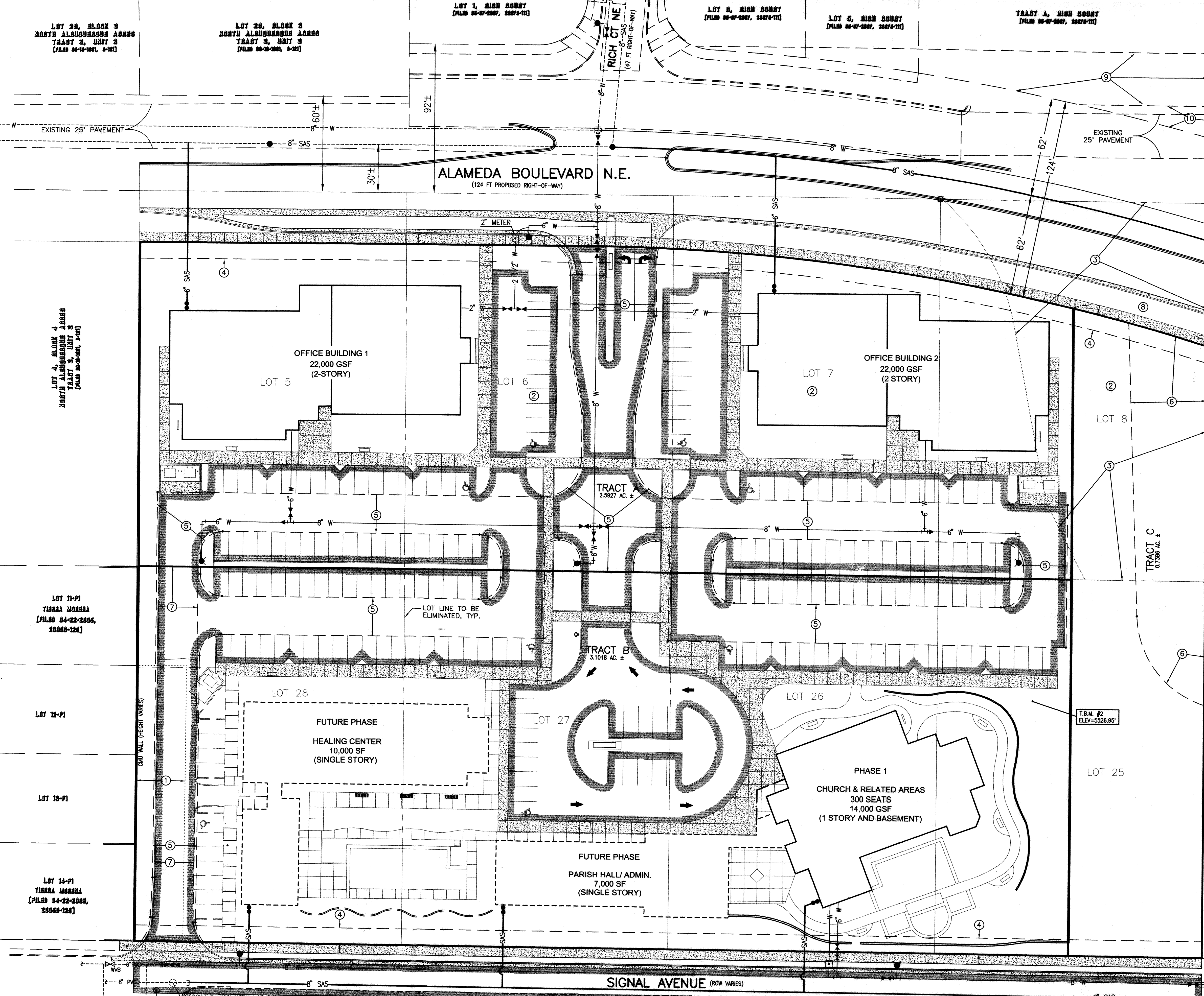
ALBUQUERQUE, NEW MEXICO  
JUNE 2007

SHEET TITLE  
CONCEPTUAL UTILITY  
PLAN

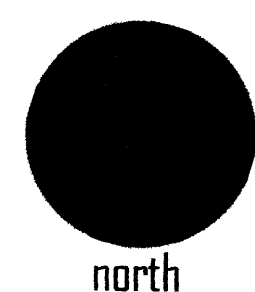
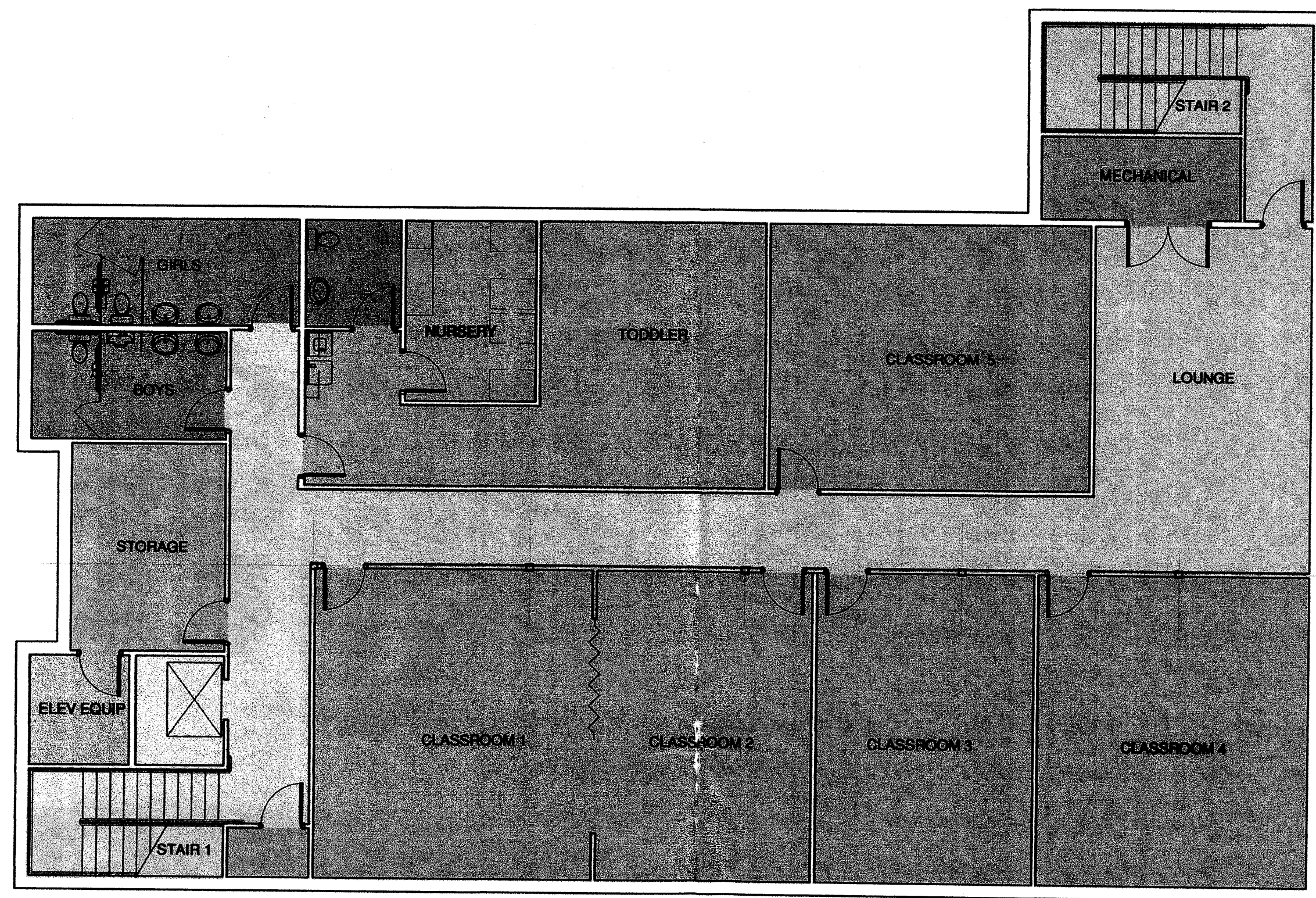
2 OF 2

2006.047.3  
TRACT 3

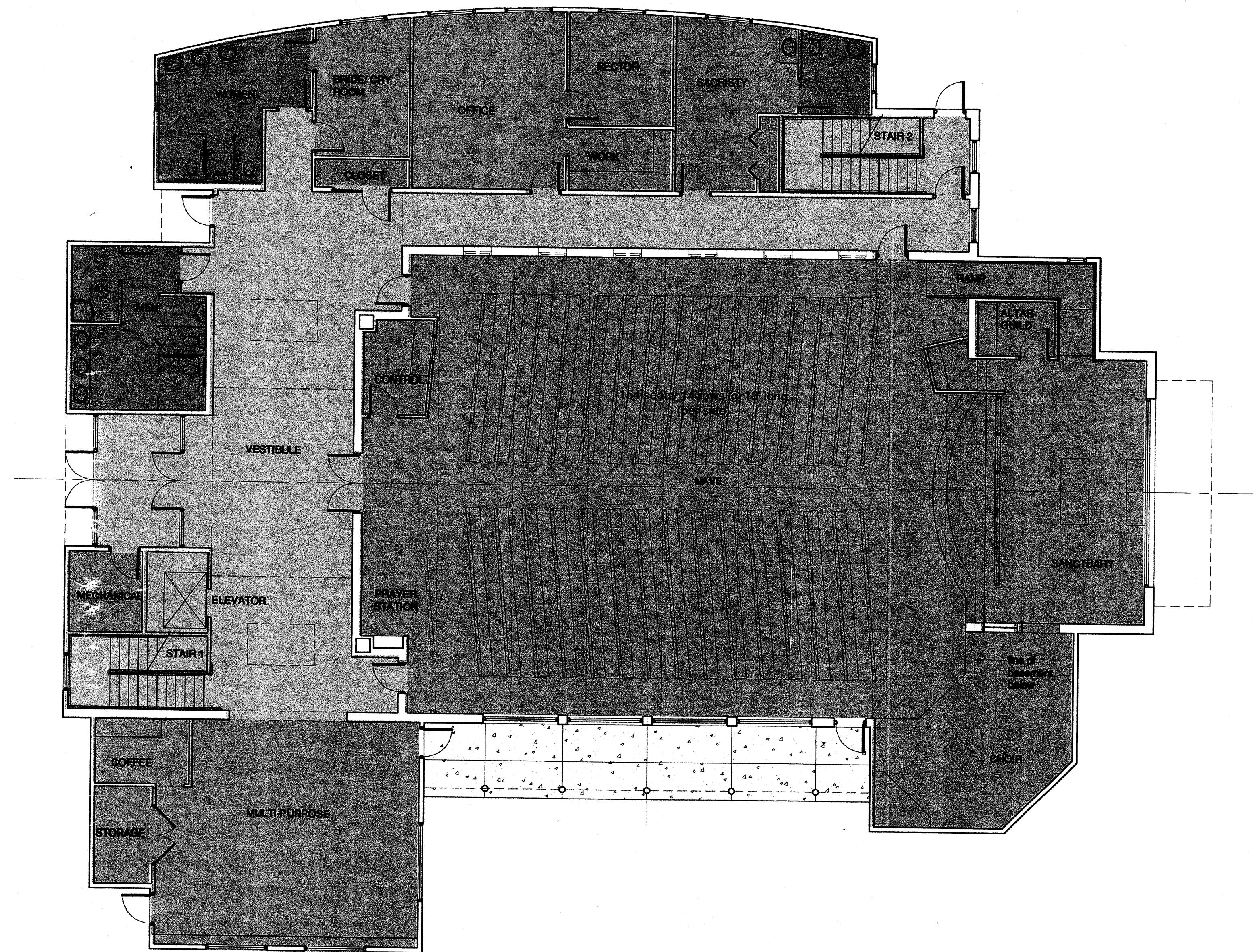
HARRINGTON SUBDIVISION, UNIT ONE  
[FILED 08-03-1993, 330-233]







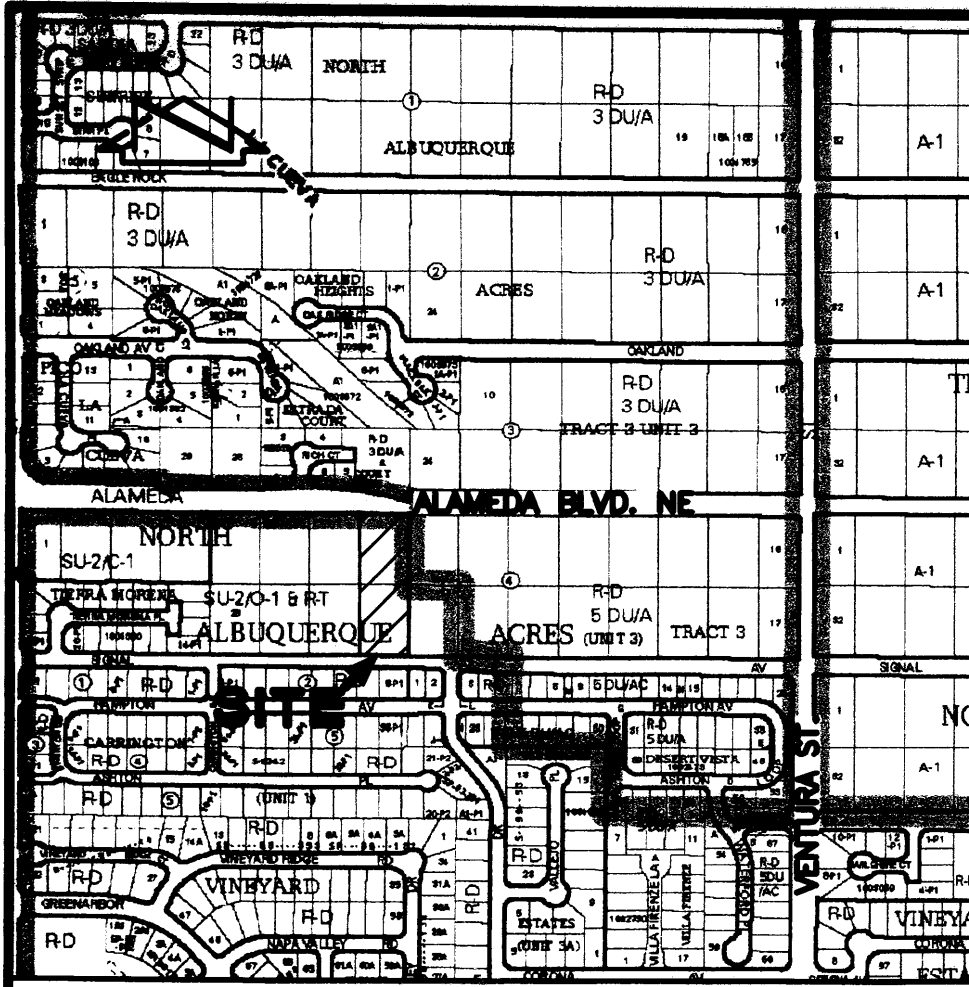
**Basement Floor Plan**  
1/8" = 1'-0"



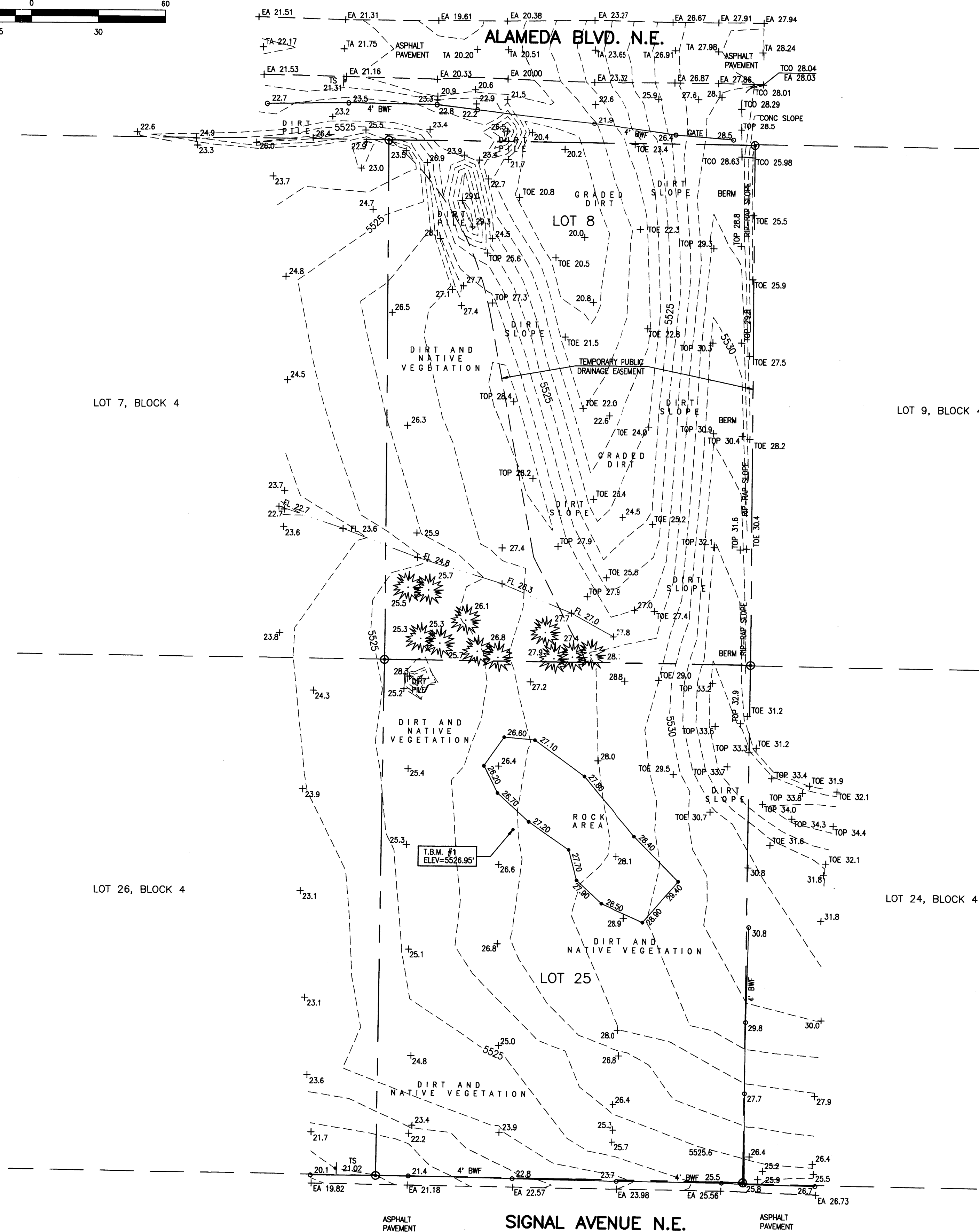
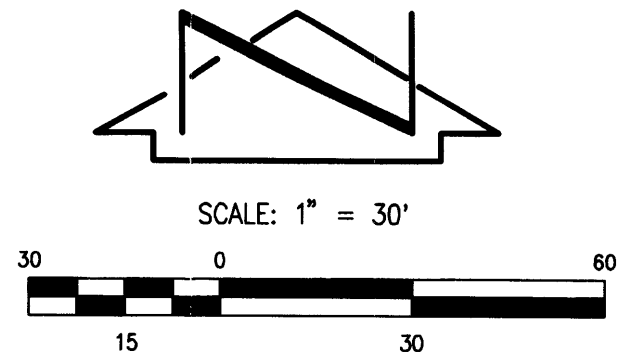
**Ground Floor Plan**  
1/8" = 1'-0"

# Phase One Church Facility





VICINITY MAP  
SCALE: 1" = 750'



DESCRIPTION

Lots 8 and 25, Block 4, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico.

NOTES

1. A partial topographic survey was performed in September, 2007. This is not a boundary survey, apparent property corners are shown for orientation only. Boundary data shown is based upon a previous survey referenced hereon.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Boundary information is based upon a Boundary Survey prepared by this firm dated August 16, 2006. (unrecorded).

PROJECT BENCHMARK

ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E.  
ELEVATION = 5480.974 FEET (NGVD 1929)

T.B.M. #1

FLAGGED NAIL 116'± WEST OF EAST SIDE FENCE AND 160' NORTH OF SOUTH SIDE FENCE, AS SHOWN ON THIS SHEET.  
ELEVATION = 5526.95 FEET (NGVD 1929)

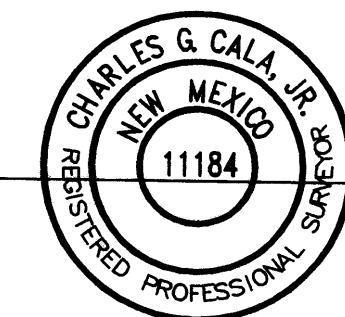
LEGEND

- BWF BARBED WIRE FENCE
- CC CONCRETE CURB
- CONC CONCRETE
- CSW CONCRETE SIDEWALK
- DP DELINEATOR POST
- EA EDGE OF ASPHALT
- FL FLOWLINE
- INV INVERT ELEVATION
- MH MANHOLE
- SAS SANITARY SEWER
- SW SIDEWALK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TS TRAFFIC SIGN
- VG VALLEY GUTTER
- WS WOOD SIGN
- WVB WATER VALVE BOX
- CONIFEROUS TREE
- \* UTILITY MARKER

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify that this survey and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
Charles G. Cala, Jr., NMPS 11184



10-04-2007  
Date

File Path: E:\Mesa\WORKS\10-04-2007  
 Plot Date: 10-04-2007  
 File Name: 60475TOP.DWG  
 Plot Time: 09:44 am

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
 6010-S MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

UPDATED TOPOGRAPHIC SURVEY  
**LOTS 8 AND 25, NORTH ALBUQUERQUE ACRES**  
**TRACT 3, UNIT 3 (PROPOSED HOPE PLAZA)**

SURVEYED BY S.L.	DRAWN BY D.M.H.	APPROVED BY C.G.C.	REVISIONS				JOB NO. 2006.047.5
							DATE 10-2007
							SHEET 1 OF 1

KEYED NOTES

EASEMENTS

① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004, BOOK A79, PAGE 278, DOC. #2004080490, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

MONUMENTS

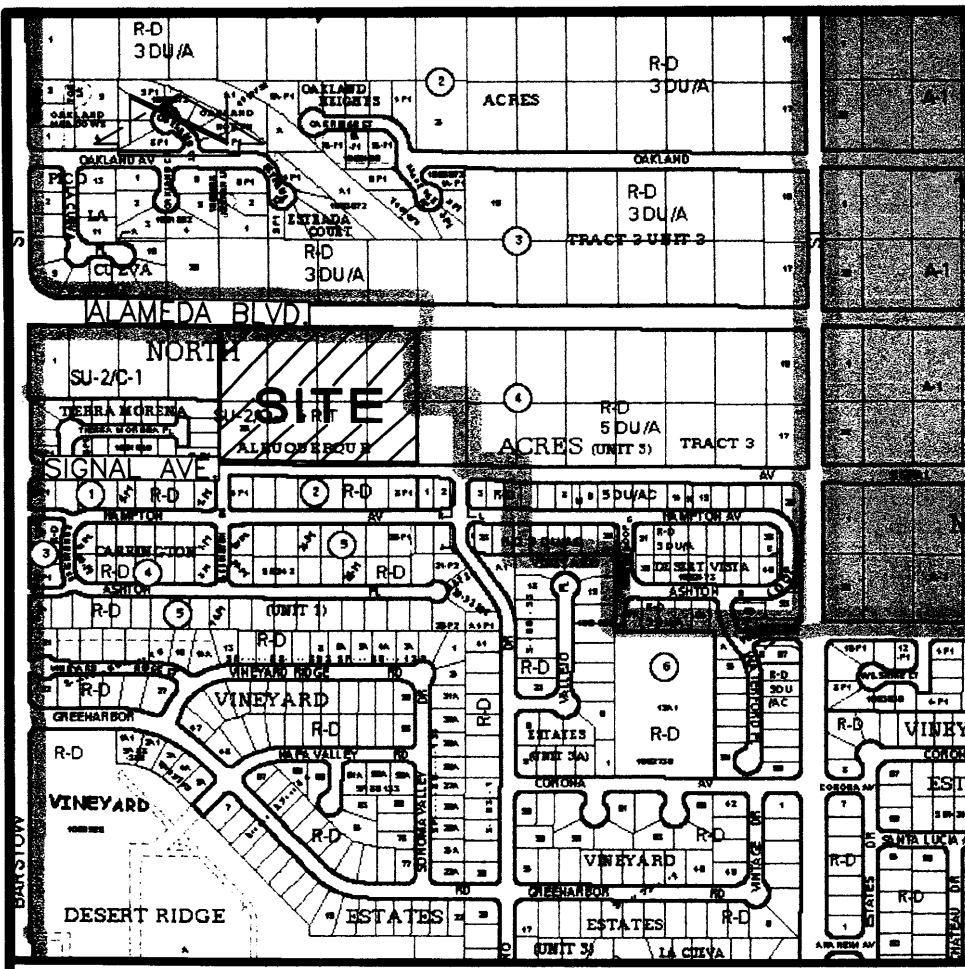
- Ⓐ FOUND #4 REBAR W/CAP STAMPED "NMPS 8127", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓑ FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓒ FOUND 1" REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓓ FOUND #5 REBAR W/CAP STAMPED "LS 7719, TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓔ FOUND #5 REBAR, NO I.D., (USED FOR NORTH R.O.W. LINE ONLY)
- Ⓕ FOUND ALUMINUM CAP STAMPED "PLS 4972"
- Ⓖ FOUND #5 REBAR W/CAP STAMPED "LS 9801", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓗ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓙ SET P.K. NAIL W/WASHER STAMPED "NMPS 11184" ON TOP OF WALL
- Ⓚ FOUND AMAFCA BRASS CAP

LEGAL DESCRIPTION

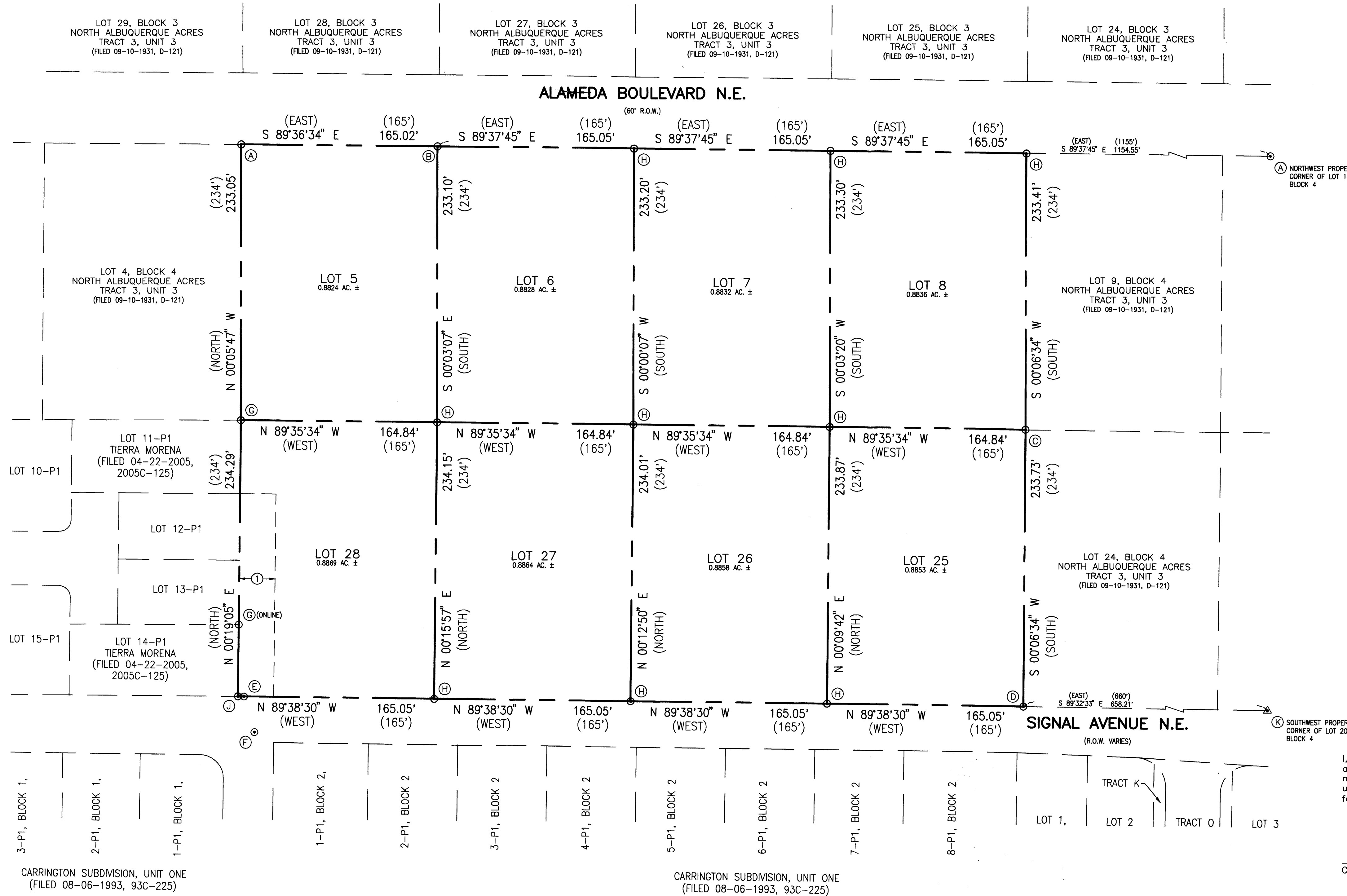
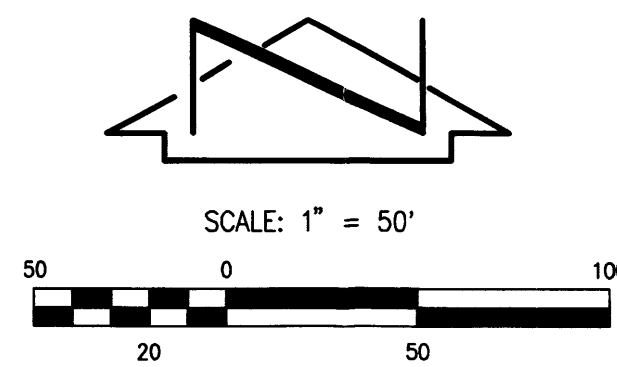
Lots 5 through 8, inclusive, Block 4 and Lots 25 through 28, inclusive, Block 4, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

Notes:

1. A boundary and topographic survey was performed in July 2006. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "7-C19".
5. Record bearings and distances are shown in parenthesis.
6. Utility information shown hereon is based upon onsite surface evidence and City of Albuquerque Distribution Maps and record drawings. Utility lines shown on this drawing are shown in an approximate manner only and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The surveyor has conducted only preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor. The property owner, developer, or contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The property owner, developer, or contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.
7. The following documents and instruments were used for the performance and preparation of this survey:
  - a. Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
  - b. Plat of Tierra Morena, filed 04-22-2005, Book 2005C, Page 125, Records of Bernalillo County, New Mexico.
  - c. Plat of Carrington Subdivision, Unit One, filed 08-06-1993, Book 93C, Page 225, Records of Bernalillo County, New Mexico.
  - d. Warranty Deed filed 10-09-2002, Book A43, Page 534, Doc. No. 2002130893, Records of Bernalillo County, New Mexico (Lots 5, 6, 7, 25, 26, 27 and 28).
  - e. Commitment for Title Insurance File No. 833574-AL01, MLC prepared by First American Title Insurance Company dated May 31, 2006 (Lots 5, 6, 7, 25, 26, 27 and 28).
  - f. Warranty Deed filed 09-26-2005, Book A104, Page 654, Doc. No. 2005141049, Records of Bernalillo County, New Mexico (Lot 8).
  - g. Title Insurance Policy No. 661342-AL01, MLC prepared by First American Title Insurance Company dated August 17, 2005 (Lot 8).
  - h. Boundary and topographic survey of Lots 25, 26, 27, Block 3, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm dated May, 2006 (unrecorded).
8. The property surveyed hereon is subject to an undefined right-of-way for road and pipe-line purposes; also telephone lines (Lots 6 and 7) being granted by document filed on 06-25-1932, Book 124, Page 463, Records of Bernalillo County, New Mexico.
9. The property surveyed hereon is subject to an undefined right-of-way for road and pipe-line purposes; also telephone lines (Lot 8) being granted by document filed in Book D74, Page 109, Records of Bernalillo County, New Mexico.



VICINITY MAP C-20  
SCALE: 1" = 750'



SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify that this Boundary and Topographic Survey and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
Charles G. Cala, Jr., NMPS 11184



08.16.2006  
Date

File Path: E:\MORTENSON\080811\ Plot Date: 08-16-2006  
File Name: 60471BD0RY.DWG Plot Time: 12:57 pm

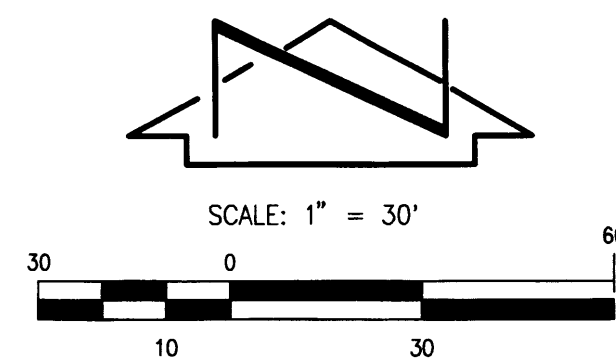
**JMA**  
JEFF MORTENSON & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD, N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (505) 345-4250  
FAX: 505 345-4254 ESTABLISHED 1977

BOUNDARY SURVEY  
LOTS 5, 6, 7, 8, 25, 26, 27 AND 28, BLOCK 4,  
NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

SURVEYED BY	DATE	BY	REVISIONS		JOB NO.
			NO.	DATE	
SL					2006.047.1
BLF					DATE 08-2006
C.G.C.					SHEET 1 OF 2



ALAMEDA BOULEVARD

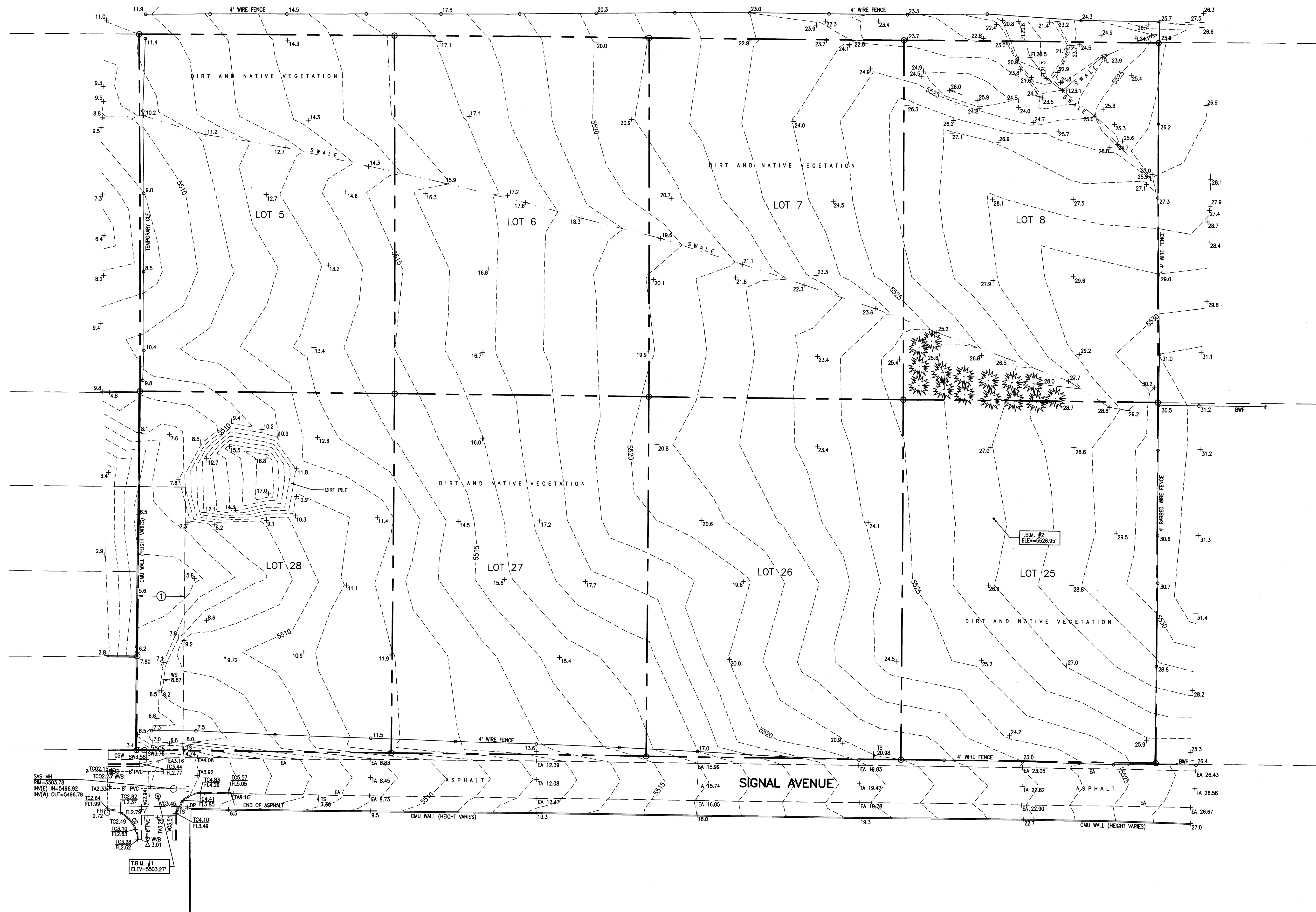


**PROJECT BENCHMARK**  
 ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19",  
 EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF  
 BARSTOW ST. AND OAKLAND AVE. N.E.  
 ELEVATION = 5480.974 FEET (NGVD 1929)

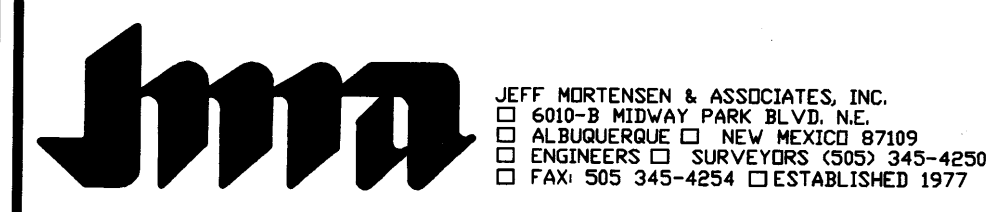
**T.B.M. #1**  
 ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE  
 S.W. CORNER OF SITE.  
 ELEVATION = 5503.27 FEET (NGVD 1929)

**T.B.M. #2**  
 FLAGGED NAIL 116'± WEST OF EAST SIDE FENCE AND  
 160'± NORTH OF SOUTH SIDE FENCE.  
 ELEVATION = 5526.95 FEET (NGVD 1929)

- LEGEND**
- BWF BARBED WIRE FENCE
  - CC CONCRETE CURB
  - CSW CONCRETE SIDEWALK
  - DP DELINEATOR POST
  - EA EDGE OF ASPHALT
  - FL FLOWLINE
  - INV INVERT ELEVATION
  - MH MANHOLE
  - SAS SANITARY SEWER
  - SW SIDEWALK
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TCO TOP OF CONCRETE
  - TS TRAFFIC SIGN
  - VG VALLEY GUTTER
  - WS WOOD SIGN
  - WVB WATER VALVE BOX
  - CONIFEROUS TREE
  - \* UTILITY MARKER



File Path: E:\WORK\080801\111111.dwg Plot Date: 08-16-2006  
 File Name: 60471TOP.DWG Plot Time: 2:58 pm



**TOPOGRAPHIC SURVEY**  
**LOTS 5, 6, 7, 8, 25, 26, 27 AND 28, BLOCK 4,**  
**NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3**

SURVEYED BY: S.L. DRAWN BY: B.L.E. APPROVED BY: C.G.C.	NO.	DATE	BY	REVISIONS	JOB NO.
					2006.047.1
					DATE: 08-2006
					SHEET 2 OF 2



LOT 28, BLOCK 3  
NORTH ALBUQUERQUE ARRAZ  
TRACT 3, UNIT 3  
[FILED 08-10-2006, 3-102]

LOT 28, BLOCK 3  
NORTH ALBUQUERQUE ARRAZ  
TRACT 3, UNIT 3  
[FILED 08-10-2006, 3-102]

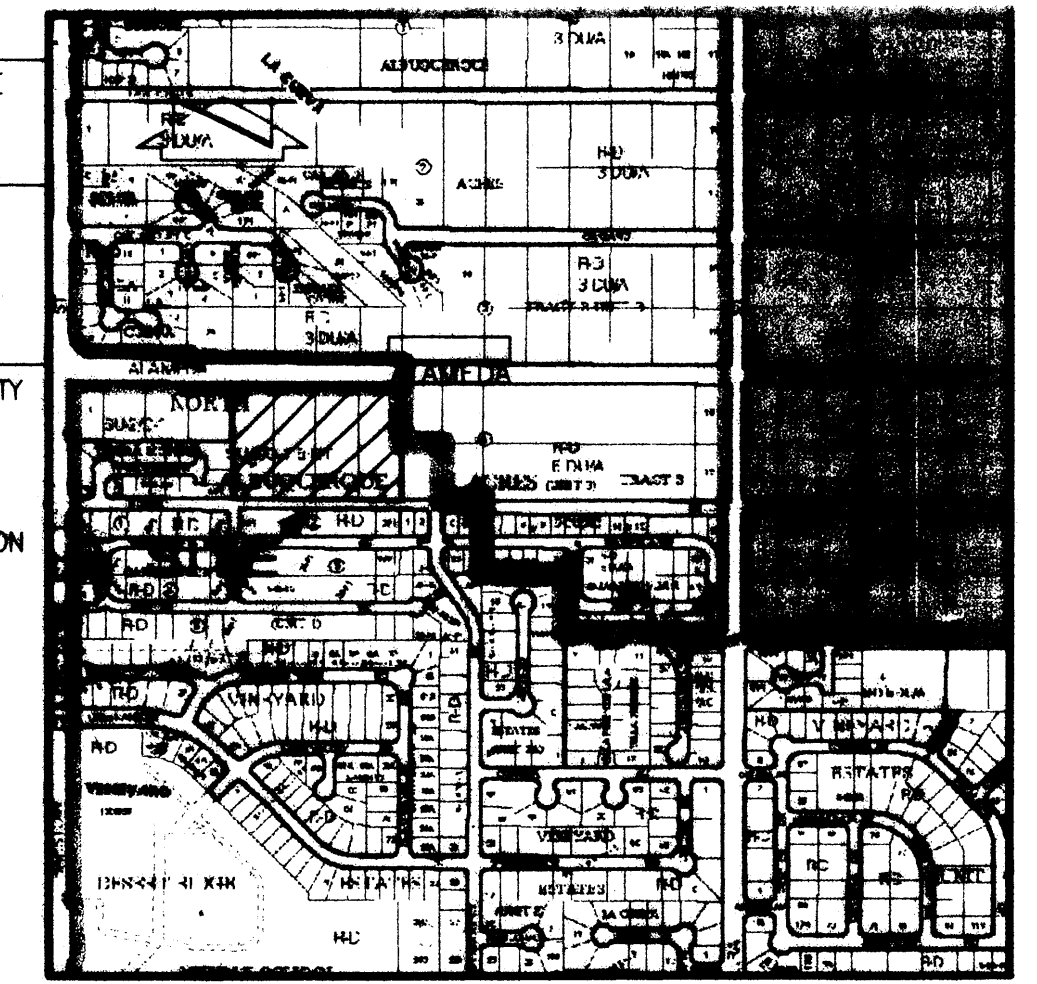
LOT 1, HIGH SLOTT  
[FILED 08-07-2007, 2007-102]

LOT 2, HIGH SLOTT  
[FILED 08-07-2007, 2007-102]

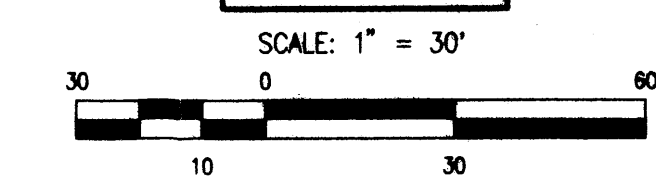
LOT 6, HIGH SLOTT  
[FILED 08-07-2007, 2007-102]

TRACT A, HIGH SLOTT  
[FILED 08-07-2007, 2007-102]

**LEGAL DESCRIPTION**  
LOTS 5-B AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3  
**ZONING**  
SU-2 / 0-1 & RT (VINEYARD SECTOR PLAN)  
LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN  
**SURVEY INFORMATION**  
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), NMP5 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BERM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.



VICINITY MAP  
SCALE: 1" = 750'



- EASEMENTS AND RESTRICTIONS**
- APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004, TO BE VACATED BY FORTHCOMING ACTION.
  - NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
  - TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
  - 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
  - PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
  - PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
  - PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
  - DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B. HOPE PLAZA ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
  - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
  - PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
    - MINIMUM BUILDING SETBACK IS 10 FT FOR TRACTS A AND B
    - BUILDING HEIGHT FOR TRACTS A AND B SHALL COMPLY WITH HEIGHT REGULATIONS FOR THE 0-1 ZONE
    - MAXIMUM F.A.R. FOR COMMERCIAL DEVELOPMENT IS 0.4 FOR TRACTS A AND B
    - SETBACKS, DENSITY AND OTHER CRITERIA FOR TRACT C WILL BE ADDRESSED BY SEPARATE EPC SUBMITTAL
    - FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB
    - ALL FUTURE PHASES SHALL BE IN CONTEXT IN DESIGN, COLOR AND MATERIALS WITH THE PROPOSED MAIN FACILITY
    - LA CUEVA SECTOR DEVELOPMENT PLAN DESIGN REGULATIONS SHALL COMPLY TO ALL TRACTS

LOT 4, BLOCK 4  
NORTH ALBUQUERQUE ARRAZ  
TRACT 3, UNIT 3  
[FILED 08-10-2006, 3-102]

LOT 24, BLOCK 4  
NORTH ALBUQUERQUE ARRAZ  
TRACT 3, UNIT 3  
[FILED 08-10-2006, 3-102]

PROJECT NUMBER: 1006520  
Application Number: 07EPC-4001

Is an Infrastructure List required? (X) Yes ( ) No  
If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	<i>[Signature]</i>	12/5/07
Water Utility Department	<i>[Signature]</i>	12-5-07
Parks and Recreation Department	<i>[Signature]</i>	12-5-07
City Engineer	<i>[Signature]</i>	12/5/07
Solid Waste Management	<i>[Signature]</i>	12/6/07
DRB Chairperson, Planning Department	<i>[Signature]</i>	12/6/07

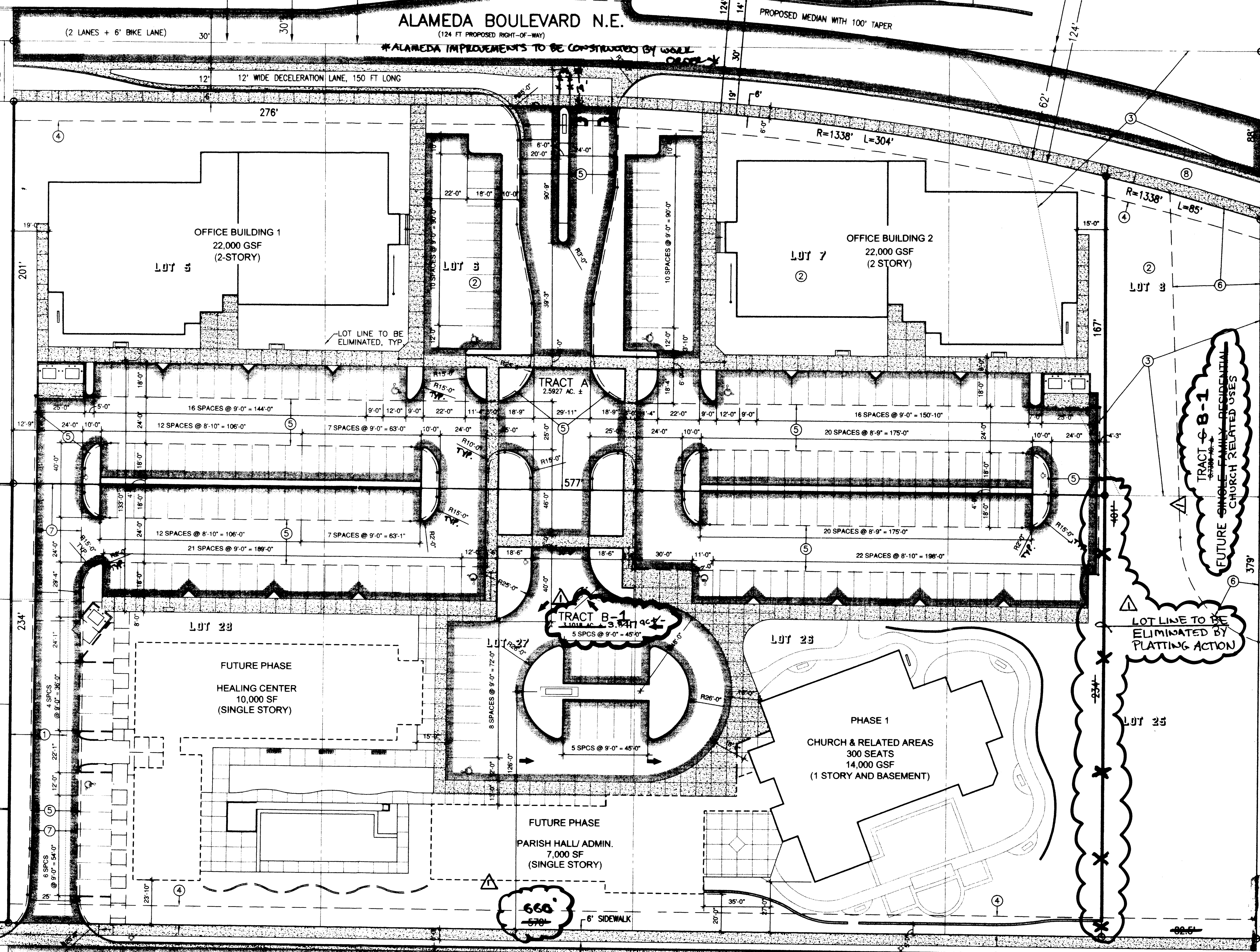
**HIGH MESA Consulting Group**  
FORMERLY: HFF NORTHEN AND ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 FAX: 505.345.4254  
www.highmesacg.com



Fanning Bard Tetum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone: 505/883.8300  
Facsimile: 505/884.8300  
Web: www.fbtarch.com

**HOPE PLAZA**  
A CO-DEVELOPMENT OF  
HOPE EPISCOPAL CHURCH  
AND HOECH  
REAL ESTATE CORP.  
ALBUQUERQUE, NEW MEXICO  
JUNE 2007

SHEET TITLE  
SITE PLAN FOR  
SUBDIVISION

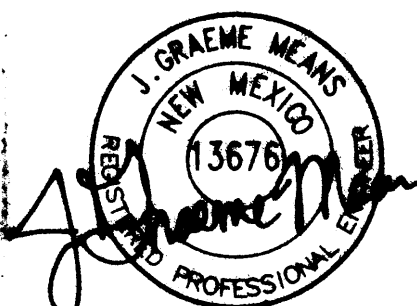


File Path: [E:\WORK\ALBUQUERQUE]  
File Name: 60473SPR.DWG  
Plot Date: 10-12-2007  
Plot Time: 2:16 pm  
PLOT SCALE: 1" = 30'  
[FILED 08-10-2006, 3-102]

CARRINGTON DRIVE N.E.

1-P, BLOCK 1  
2-P, BLOCK 2  
3-P, BLOCK 3  
4-P, BLOCK 4  
5-P, BLOCK 5  
6-P, BLOCK 6  
7-P, BLOCK 7  
8-P, BLOCK 8

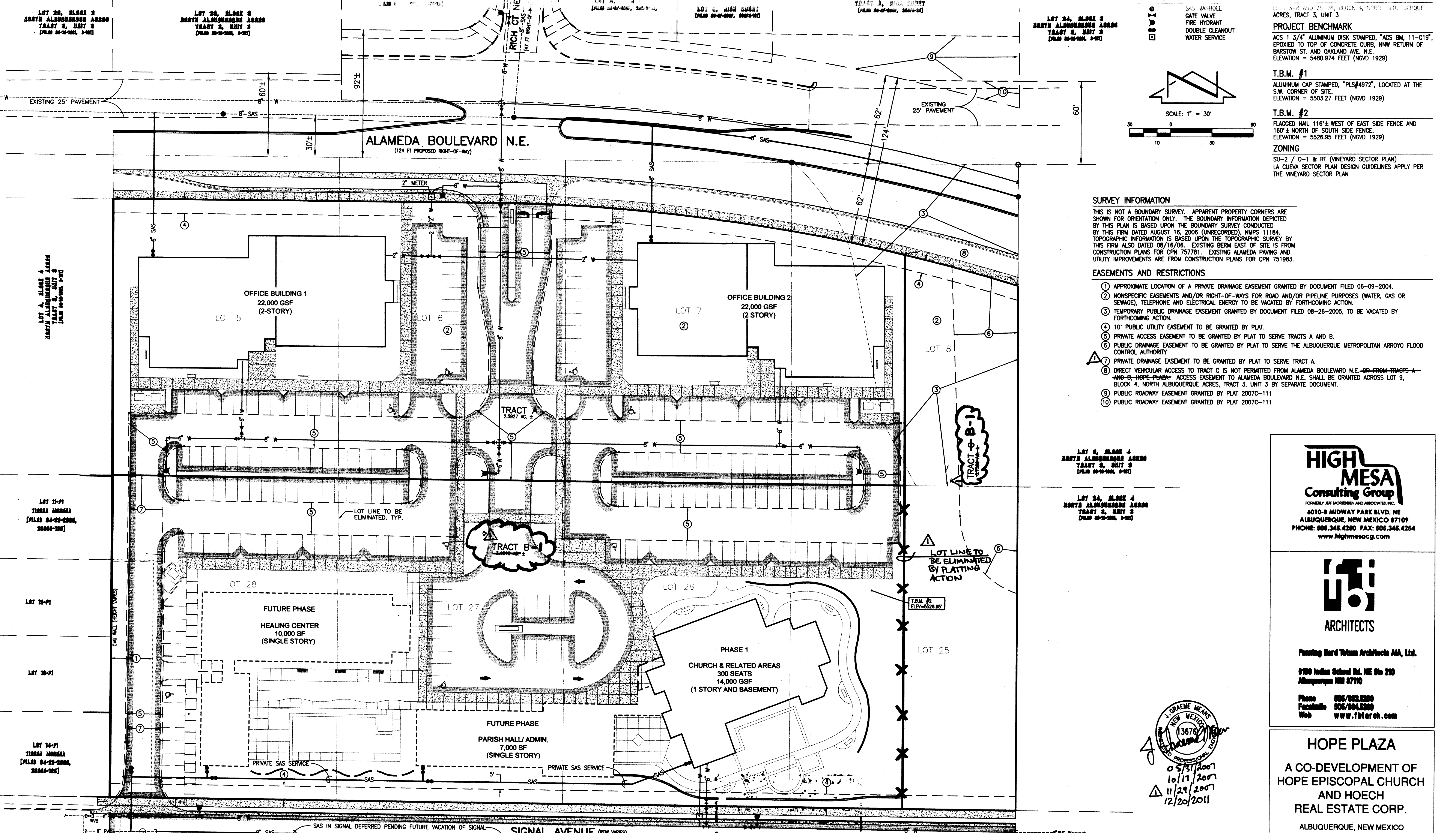
\* FOR APPROPRIATE GEOMETRY, SEE SHEET 1 OF 6  
*[Handwritten notes and signatures]*



05/31/2007  
10/17/2007  
11/28/2007  
12/20/2011

LOT 1  
LOT 2  
2006.047.3  
TRACT 3





PROJECT BENCHMARK  
 ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19",  
 EMBEDDED TO TOP OF CONCRETE CURB, NNW RETURN OF  
 BARSTOW ST. AND OAKLAND AVE. N.E.  
 ELEVATION = 5480.974 FEET (NGVD 1929)

T.B.M. #1  
 ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE  
 S.W. CORNER OF SITE.  
 ELEVATION = 5503.27 FEET (NGVD 1929)

T.B.M. #2  
 FLAGGED NAIL 116" WEST OF EAST SIDE FENCE AND  
 160" NORTH OF SOUTH SIDE FENCE.  
 ELEVATION = 5526.95 FEET (NGVD 1929)

ZONING  
 SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)  
 LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER  
 THE VINEYARD SECTOR PLAN

**SURVEY INFORMATION**

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), NMPS 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BERM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.

**EASEMENTS AND RESTRICTIONS**

- ① APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004.
- ② NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
- ③ TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
- ④ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- ⑤ PRIVATE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
- ⑥ PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- ⑦ PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
- ⑧ DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B. HOPE PLAZA ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
- ⑨ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

LOT 4, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 [FILED 08-29-2004, 3-20]

LOT 14, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 [FILED 08-29-2004, 3-20]

**HIGH MESA**  
 Consulting Group  
 FORMERLY JEFF MORRISON AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.346.4280 FAX: 505.345.4254  
 www.highmesacg.com

**ib**  
 ARCHITECTS

Founding Bard Tetum Architects AM, Ltd.  
 6190 Indian School Rd. NE Ste 210  
 Albuquerque NM 87110  
 Phone 505/904.5300  
 Facsimile 505/904.5300  
 Web www.ibtarch.com

**HOPE PLAZA**  
 A CO-DEVELOPMENT OF  
 HOPE EPISCOPAL CHURCH  
 AND HOECH  
 REAL ESTATE CORP.  
 ALBUQUERQUE, NEW MEXICO  
 JUNE 2007

SHEET TITLE  
 CONCEPTUAL UTILITY  
 PLAN

File Path: C:\Users\jmorris\Documents\60473UR.DWG  
 File Name: 60473UR.DWG  
 Plot Date: 11-29-2007  
 Plot Time: 09:41 am

J. GRAEME MEANS  
 NEW MEXICO  
 13676  
 PROFESSIONAL ENGINEER  
 05/31/2007  
 10/17/2007  
 11/29/2007  
 12/20/2011