

# INDEX OF DRAWINGS:

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- SHEET-2 GRADING & DRAINAGE PLAN
- SHEET-3 SITE UTILITY PLAN
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- SHEET-5 BUILDING ELEVATIONS
- SHEET-6 BUILDING ELEVATIONS

## DESIGN DATA:

LEGAL DESCRIPTIONS: LOTS 5-8 LOTS 25-26, BLOCK 4, TRACT 3, UNIT 3 NORTH ALBUQUERQUE ACRES, 6.1928 ACRES  
 ZONE MAP: C-20-Z (ZONE ATLAS JUNE 1998)  
 C.O.A. ZONE CODE: SU-2 FOR C-1 & R-1 USES (ALBUQ. ZONE CODE 1991)

## PROJECT BREAKDOWN

### AREAS (GROSS SQUARE FEET):

PHASE 1  
 CHURCH & RELATED SPACES: 14,000 GSF  
 (MAIN SANCTUARY CAPACITY - 300 FIXED SEATS)

OFFICE BUILDINGS  
 (2) 2-STORY OFFICE BUILDINGS @ 22,000 GSF EA. = 44,000 GSF

FUTURE PHASES  
 HEALING CENTER (16,000 GSF UNIT) = 16,000 GSF  
 CHURCH ADMINISTRATION (OFFICES AND PARISH HALL) = 5,700 GSF

PARKING REQUIREMENTS:  
 PARKING PROVIDED:  
 OFFICES @ 43.676 GSF  
 GROUND: 21,838 GSF / 200 = 109.19  
 SECOND: 21,838 GSF / 300 = 72.79  
 CHURCH: 280 SEATS @ 4 = 70  
 NET REQUIRED: 252  
 SHARED PARKING REDUCTION @ 20% = (-50.40)  
 BUS REDUCTION @ 5% = (-12.6)  
 NET REQUIRED: 189 SPACES

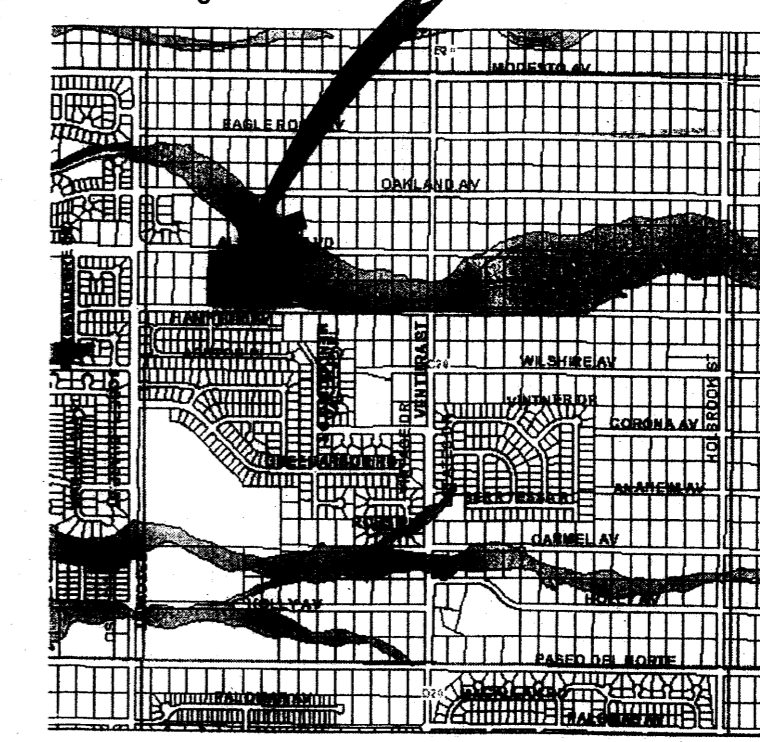
PARKING PROVIDED:  
 SHARED PARKING = 159  
 OFFICES-VISITOR PARKING = 20  
 CHURCH AT CIRCLE = 10  
 TOTAL = 189 SPACES

PARKING REQUIREMENTS: RESIDENCES  
 PARKING PROVIDED:  
 4 UNITS @ 3 BATHS EA. = 16  
 6 UNITS W/ 2 CAR GARAGE = 12  
 6 UNITS W/ 2 CAR DRIVEWAY = 12  
 TOTAL = 24 SPACES

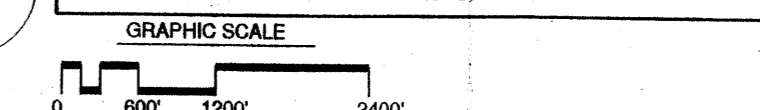
ACCESSIBLE PARKING SPACES:  
 TOTAL ACCESSIBLE SPACES REQUIRED: 100-200 SPACES REQUIRES 8  
 (PER ALBUQUERQUE ZONE CODE 14-16-3-1-A-3)  
 TOTAL HANDICAP PARKING PROVIDED: 8  
 TOTAL "VAN" ACCESSIBLE SPACES REQUIRED: 1 FOR EVERY 8 HANDICAP SPACES  
 (PER NMCS SECTION 9115: ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES)  
 (PER ALBUQUERQUE ZONE CODE 14-16-3-1-E-5-4)  
 TOTAL "VAN" HANDICAP PARKING SPACES PROVIDED: 1

BICYCLE SPACE REQUIREMENTS: MOTORCYCLE SPACE REQUIREMENTS:  
 SPACES REQUIRED: 10 SPACES PROVIDED: 5  
 SPACES REQUIRED: 5 SPACES PROVIDED: 5

## SITE LOCATION



## VICINITY MAP



DRB SITE DEVELOPMENT PLAN APPROVAL:

PROJECT NUMBER: 1006520 APPLICATION NUMBER: 13EPC-40157

SOLID WASTE DEPARTMENT	DATE
<i>[Signature]</i>	01-30-14
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Carol S. Demont</i>	1-30-14
PARKS & RECREATION DEPARTMENT	DATE
<i>Allen Peter</i>	01/30/14
CITY ENGINEER, ENGINEERING DIV./AMAF/CA	DATE
<i>Ante C. Chu</i>	1-30-14

APPROVAL AND CONDITIONAL ACCEPTANCES: AS SPECIFIED BY DEVELOPMENT PROCESS MANUAL.

*[Signature]* DATE: 1-30-14  
 DRB CHAIRPERSON PLANNING DEPARTMENT

**HOPE PLAZA**  
 A CO-DEVELOPMENT OF  
 HOPE EPISCOPAL CHURCH  
 AND HOECH  
 REAL ESTATE CORP.  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2007  
 REVISED OCTOBER, 2007  
 REVISED NOVEMBER, 2013

SHEET TITLE  
**AMENDED SITE DEVELOPMENT  
 PLAN FOR BUILDING PERMIT**

## RESIDENTIAL DESIGN STANDARDS:

THE SIX HOUSES IN THIS SUBDIVISION SHALL BE DETACHED, SINGLE FAMILY, RESIDENCES. HOUSES ON LOTS 1,2,5, AND 6 SHALL BE "LOT LINE. ALL HOUSES SHALL BE A COMBINATION OF ONE AND TWO STORY, FLAT ROOF STRUCTURES. THEY SHALL BE DESIGNED IN A CONTEMPORARY PUEBLO STYLE COMPATIBLE WITH AND SIMILAR TO THE TWO OFFICE BUILDINGS AND THE CHURCH IN HOPE PLAZA.

THE SIX LOTS ARE APPROXIMATELY 5,000 SF EACH. MINIMUM LOT SIZE FOR A DETACHED HOUSE IN AN R-T ZONE IS 3,800 SF. 10' LOT LINE CONFIGURATION WILL RESULT IN MINIMUM 10'

WIDE SIDE YARDS ALONG WITH 15' REAR YARDS PROVIDING READILY USABLE AREAS FOR PATIOS AND LANDSCAPING. EACH HOUSE WILL HAVE A FULL TWO-CAR GARAGE AND DOUBLE WIDTH DRIVEWAY FOR A TOTAL OF 4 PARKING SPACES PER LOT.

HOUSE CONSTRUCTION SHALL BE AS FOLLOWS:  
 FOUNDATIONS: REINFORCED CONCRETE SPREAD FOOTINGS.  
 GROUND FLOORS: 4" CONCRETE SLABS ON COMPACTED EARTH FILL.  
 2ND FLOORS: PRE-ENGINEERED WOOD FLOOR JOISTS AND PLYWOOD DECK.  
 ROOF FRAMING: PRE-ENGINEERED WOOD TRUSS CONSTRUCTION WITH SLOPED TOP CHORDS FOR POSITIVE ROOF DRAINAGE. TRUSSES MINIMUM OF 12 DEEP.  
 ROOF: ADHERED SINGLE MEMBRANE ROOF SYSTEM WITH MINIMUM OF 1/4" PER FOOT SLOPES.

EXTERIOR WALLS: 6" WOOD STUDS AT 16" OC, EXCEPT FOR "LOT LINE WALLS COMBINATION 8" CONCRETE MASONRY AND 4" WOOD FRAME WALL.

INSULATION WALLS: 6" EXTERIOR WALLS BATT 6" INSULATION OR EQUIVALENT. 0" LOT LINE WALLS: PERLITE FILL IN CONCRETE MASONRY AND 4" BATT INSULATION OR EQUIVALENT IN FRAME WALLS.

INSULATION, ROOF: 12" BATT OR EQUIVALENT R-VALUE

EXTERIOR WALL FINISHES: SYSTEM OF PORTLAND CEMENT STUCCO AND SYNTHETIC (100% ACRYLIC) STUCCO; CONCRETE MASONRY ACCENTS.

EXTERIOR COLOR PALETTE: NEUTRAL WARM TONES SIMILAR TO THE OFFICE BUILDINGS AND CHURCH IN HOPE PLAZA.

HEATING AND COOLING SYSTEM: GAS-FIRED FORCED AIR HEATING AND REFRIGERATED AIR CONDITIONING WITH UNDER-FLOOR AND OVERHEAD DUCTS.

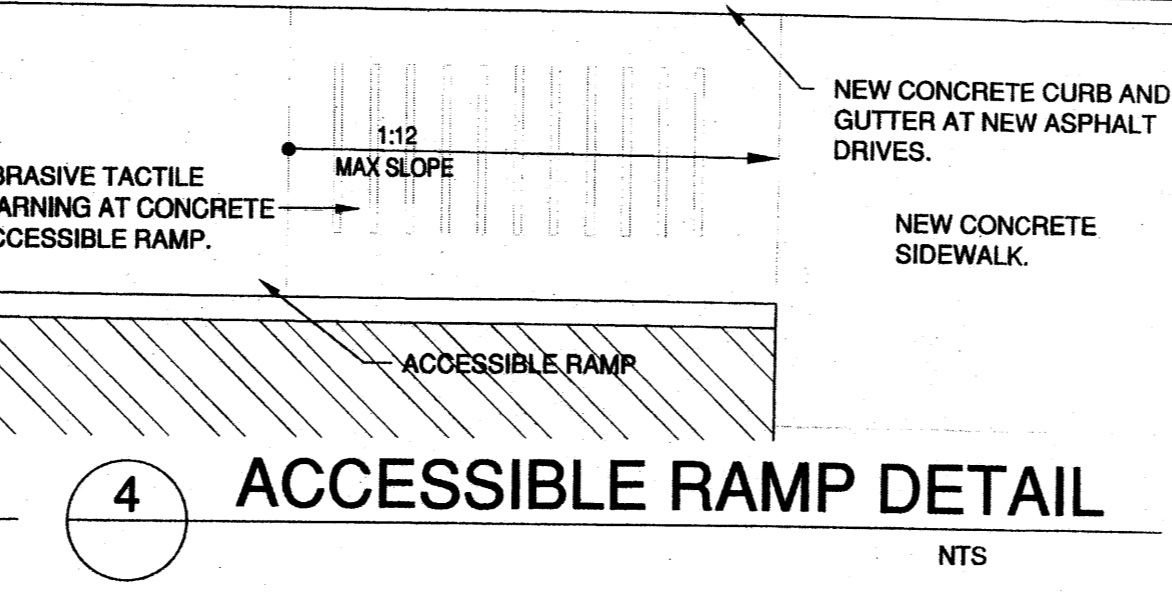
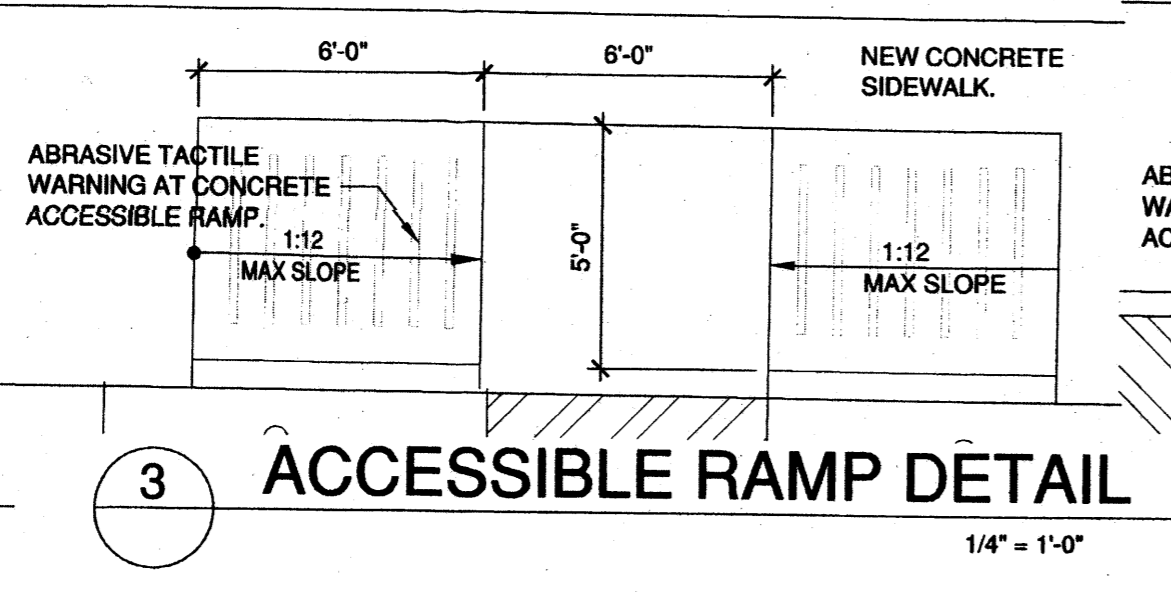
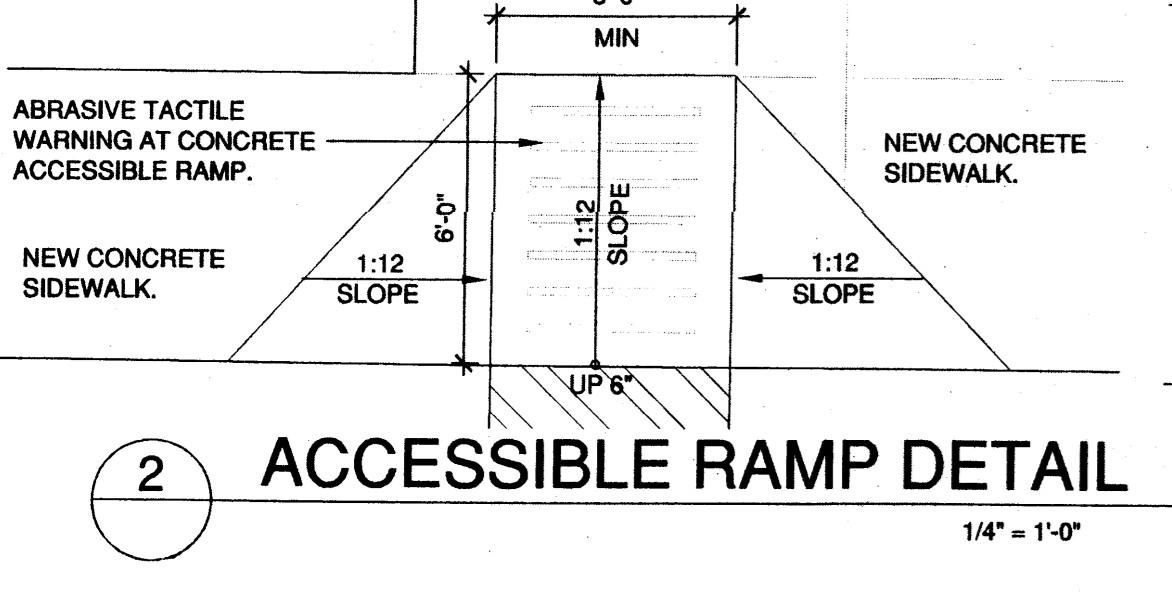
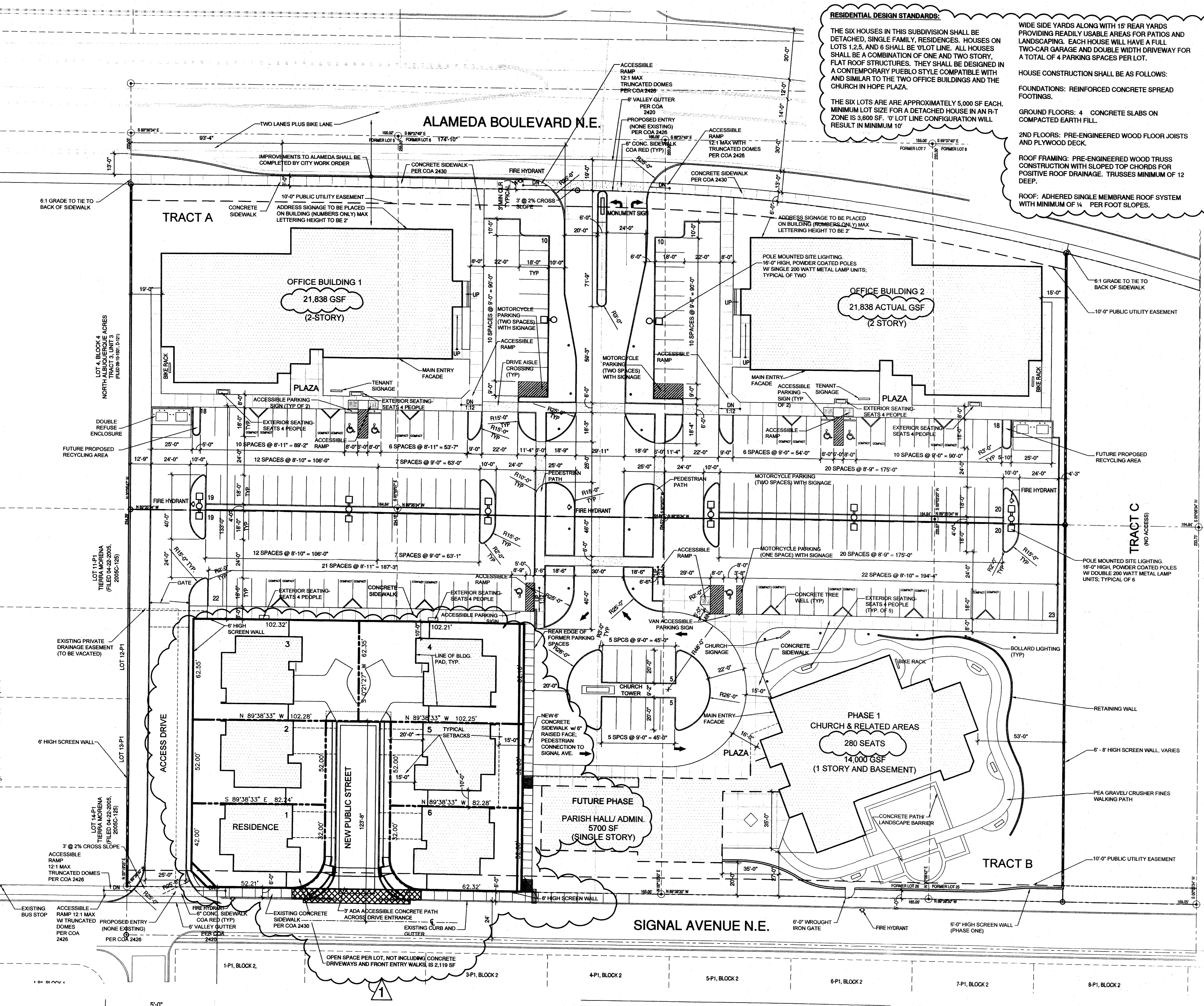
## Sustainable Building Applications:

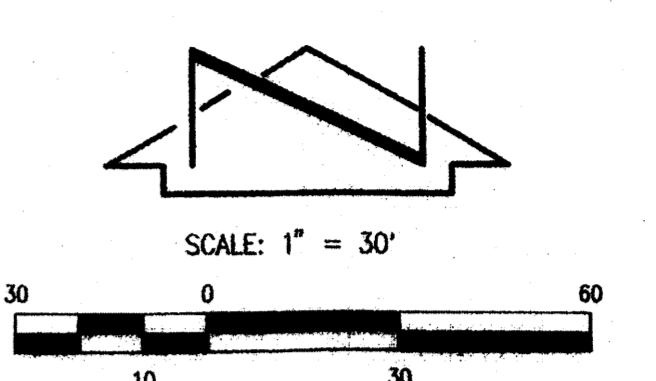
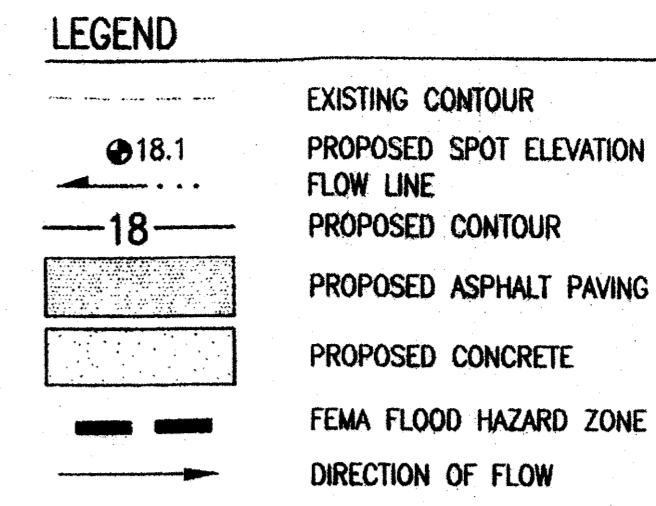
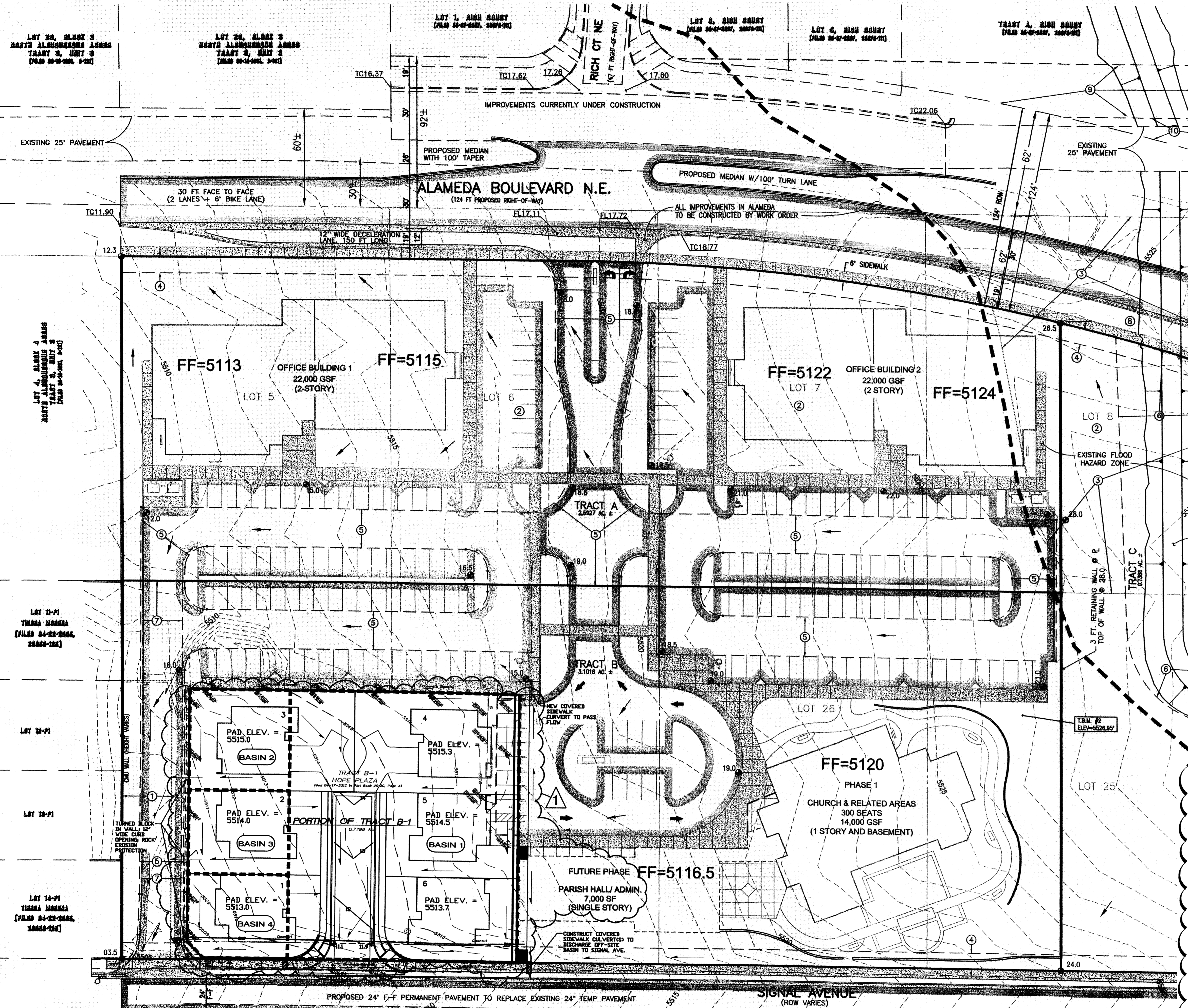
- Building orientation: Office buildings are configured with the long axis oriented east/west and large windows located on north and south sides to maximize day-lighting.
- Windows: To control of solar heat gain, west-facing glazing will be limited and protected with overhangs. Glazing shall be low-e, insulated, on east, south, and west elevations, and clear, insulated on north elevations. South windows shall be protected with eaveboards or overhangs.
- Building footprints and insulation: Building footprints have been designed to minimize exterior walls to the extent possible. The church shall include a basement to contain classrooms. Wall and roof insulation shall be maximized.
- Air quality: Adhesives, sealants, carpeting, and paint with low to no emissions of volatile organics (VOC's) shall be specified.
- Roofs: Cool roofing, using a highly reflective finish, (energy star-compliant) shall be employed.
- Locally-sourced and recycled building materials: To the extent possible, building materials manufactured in our region (500 mile radius) shall be specified to reduce costs of transportation. Recycled building materials shall be incorporated where possible.
- Mechanical systems: Mechanical equipment that operates with low energy usage shall be selected. Energy management systems shall be used to monitor and minimize energy usage.
- Electrical systems: The most energy-efficient lighting shall be used along with either timers or motion sensor controls.
- Water harvesting: Site runoff shall be controlled wherever possible to irrigate planting areas and reduce or eliminate off-site discharge.

## SITE PLAN

### SITE PLAN GENERAL NOTES:

- ALL DRIVE AISLE CROSSINGS SHALL BE COLOR INTEGRAL CONCRETE, TERRA COTTA COLOR
- ROOF TOP UNITS SHALL BE SCREENED BY LOW STUCCO WALLS. STUCCO COLOR TO MATCH BUILDING STUCCO COLORS
- ROOF TOP COLOR SHALL BE WHITE OR TAN
- LA CUEVA OPEN SPACE REQUIREMENTS HAVE BEEN MET
- FUTURE DEVELOPMENT PHASES SHALL NOT BE DELEGATED TO THE DRB





**LEGAL DESCRIPTION**  
 LOTS 5-8 AND 25-28, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3

**PROJECT BENCHMARK**  
 ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 11-C19", EPOXIED TO TOP OF CONCRETE CURB, NNW RETURN OF BARSTOW ST. AND OAKLAND AVE. N.E. ELEVATION = 5480.974 FEET (NGVD 1928)

**T.B.M. #1**  
 ALUMINUM CAP STAMPED, "PLS#4972", LOCATED AT THE S.W. CORNER OF SITE. ELEVATION = 5503.27 FEET (NGVD 1928)

**T.B.M. #2**  
 FLAGGED NAIL 116" WEST OF EAST SIDE FENCE AND 160" NORTH OF SOUTH SIDE FENCE. ELEVATION = 5526.95 FEET (NGVD 1928)

**ZONING**  
 SU-2 / O-1 & RT (VINEYARD SECTOR PLAN)  
 LA CUEVA SECTOR PLAN DESIGN GUIDELINES APPLY PER THE VINEYARD SECTOR PLAN

**SURVEY INFORMATION**

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED AUGUST 16, 2006 (UNRECORDED), NMPS 11184. TOPOGRAPHIC INFORMATION IS BASED UPON THE TOPOGRAPHIC SURVEY BY THIS FIRM ALSO DATED 08/16/06. EXISTING BERM EAST OF SITE IS FROM CONSTRUCTION PLANS FOR CPN 757781. EXISTING ALAMEDA PAVING AND UTILITY IMPROVEMENTS ARE FROM CONSTRUCTION PLANS FOR CPN 751983.

**EASEMENTS AND RESTRICTIONS**

- APPROXIMATE LOCATION OF A PRIVATE DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 06-09-2004.
- NONSPECIFIC EASEMENTS AND/OR RIGHT-OF-WAYS FOR ROAD AND/OR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY TO BE VACATED BY FORTHCOMING ACTION.
- TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 08-26-2005, TO BE VACATED BY FORTHCOMING ACTION.
- 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS A AND B.
- PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACT A.
- DIRECT VEHICULAR ACCESS TO TRACT C IS NOT PERMITTED FROM ALAMEDA BOULEVARD N.E. OR FROM TRACTS A AND B. HOPE PLAZA ACCESS EASEMENT TO ALAMEDA BOULEVARD N.E. SHALL BE GRANTED ACROSS LOT 9, BLOCK 4, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 BY SEPARATE DOCUMENT.
- PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111
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**DRAINAGE NARRATIVE**

THE SITE IS CURRENTLY UNDEVELOPED. A PORTION OF THE SITE LIES WITHIN A MAPPED FLOODPLAIN, HOWEVER, A RECENTLY COMPLETED AMAFCA PROJECT CONSTRUCTED A DIVERSION BERM AND CONCRETE CHANNEL ON THE LA CUEVA ARROYO AND ELIMINATED THE OFFSITE FLOWS. A LOWR FROM FEMA WILL OFFICIALLY ELIMINATE THE FLOODPLAIN.

THE SITE GENERALLY SLOPES FROM EAST TO WEST. THE PROPOSED SITE WILL FOLLOW THE EXISTING TEND AND SLOPE FROM EAST TO WEST. THE SITE FOLLOW THE NAA MASTER DRAINAGE PLAN WHEREBY MOST OF THE NORTHERN TRACT WILL DRAIN TO ALAMEDA, AND THE REMAINING SITE WILL DRAIN TO SIGNAL. SIGNAL IS IMPROVED AND CAN CONVEY THE FLOWS. ALAMEDA WEST OF THE SITE LACKS CURB AND GUTTER, AND INTERIM DITCH IMPROVEMENTS ARE ANTICIPATED ON THE SOUTH SIDE OF ALAMEDA TO CARRY THE FLOWS TO BARSTOW.

A SMALL (APPROX. 3 FT TALL) RETAINING WALL WILL BE CONSTRUCTED ALONG THE WEST EDGE OF TRACT C WHICH WILL BE PART OF A FUTURE RESIDENTIAL DEVELOPMENT PLANNED TO THE EAST. THERE ARE NO PERIMETER RETAINING WALLS PLANNED WITH THIS DEVELOPMENT. THERE WILL BE INTERNAL WALLS AND BUILDING STEPS TO ACHIEVE GRADE CHANGES.

**AMENDED DRAINAGE CONCEPT**

THE PROPOSED RESIDENTIAL SITE DRAINAGE WILL DISCHARGE FROM THE PROPOSED DEVELOPMENT TO SIGNAL AVENUE VIA THE PROPOSED SITE ACCESS ENTRANCE (BASIN 1) AND THE EXISTING CHURCH ACCESS ROAD (BASINS 2, 3 AND 4). BASED ON THE 100-YEAR 6-HOUR CALCULATIONS, THE DEVELOPED SITE WILL GENERATE 3.5 CFS:

BASIN 1: APPROXIMATELY 2.5 CFS WILL FREE DISCHARGE TO SIGNAL AVENUE VIA THE PROPOSED SITE ACCESS ENTRANCE.

BASIN 2: APPROXIMATELY 0.4 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

BASIN 3: APPROXIMATELY 0.3 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

BASIN 4: APPROXIMATELY 0.3 CFS WILL FREE DISCHARGE TO THE EXISTING CHURCH ACCESS ROAD.

TOTAL DISCHARGE TO EXISTING CHURCH ACCESS ROAD = B2+B3+B4 = 1.0 CFS.

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**HIGH MESA Consulting Group**  
 FORMERLY AFF MCKENBERRY AND ASSOCIATES, INC.  
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 ALBUQUERQUE, NEW MEXICO 87109  
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 www.highmesacg.com

**fbt ARCHITECTS**  
 Founding Bard Tatum Architects AIA, Ltd.

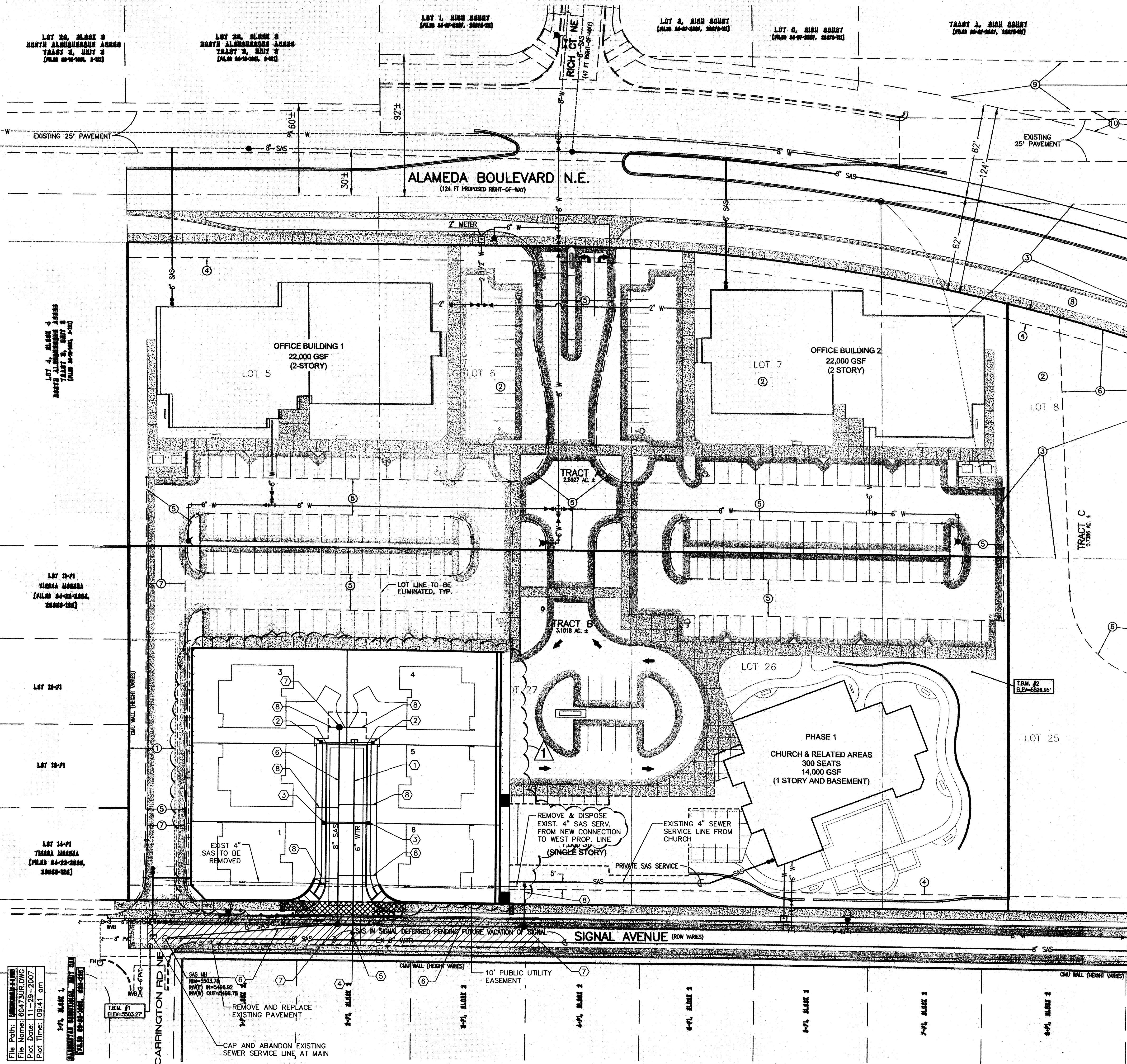
**HOPE PLAZA**  
 A CO-DEVELOPMENT OF  
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SHEET TITLE **AMENDED PRELIMINARY GRADING PLAN**

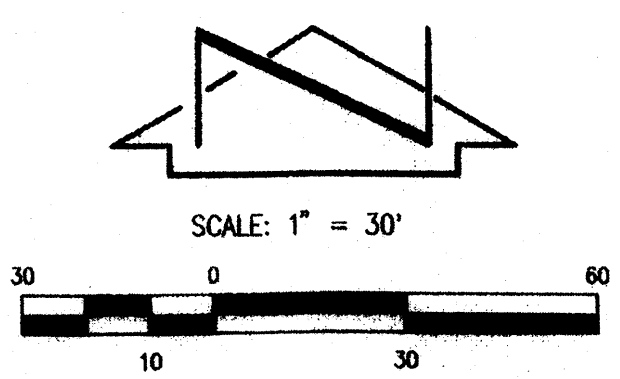
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BARBARA ANN BROWN, UNIT 008  
 (FILED 08-08-2008, 830-228)



**LEGEND**

- SAS MANHOLE
- GATE VALVE
- FIRE HYDRANT
- DOUBLE CLEANOUT
- WATER SERVICE



**LEGAL DESCRIPTION**

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- ⑩ PUBLIC ROADWAY EASEMENT GRANTED BY PLAT 2007C-111

LOT 2, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (PLAT 04-22-2004, 20040-120)

LOT 24, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT 3, UNIT 3  
 (PLAT 04-22-2004, 20040-120)

**PROPOSED IMPROVEMENTS**

1. 4" WATERLINE
2. SINGLE METER SERVICE
3. DOUBLE METER SERVICE
4. 8"x4" TEE
5. 4" GATE VALVE
6. 8" SANITARY SEWER LINE
7. 4' DIA. MANHOLE
8. 4" SEWER SERVICE

**LEGEND**

- WL— EXISTING WATERLINE
- SAS— EXISTING SEWER LINE
- WATER METER & BOX
- FIRE HYDRANT
- GATE VALVE W/ BOX
- MANHOLE
- SEWER SERVICE

MARCH 26, 2014

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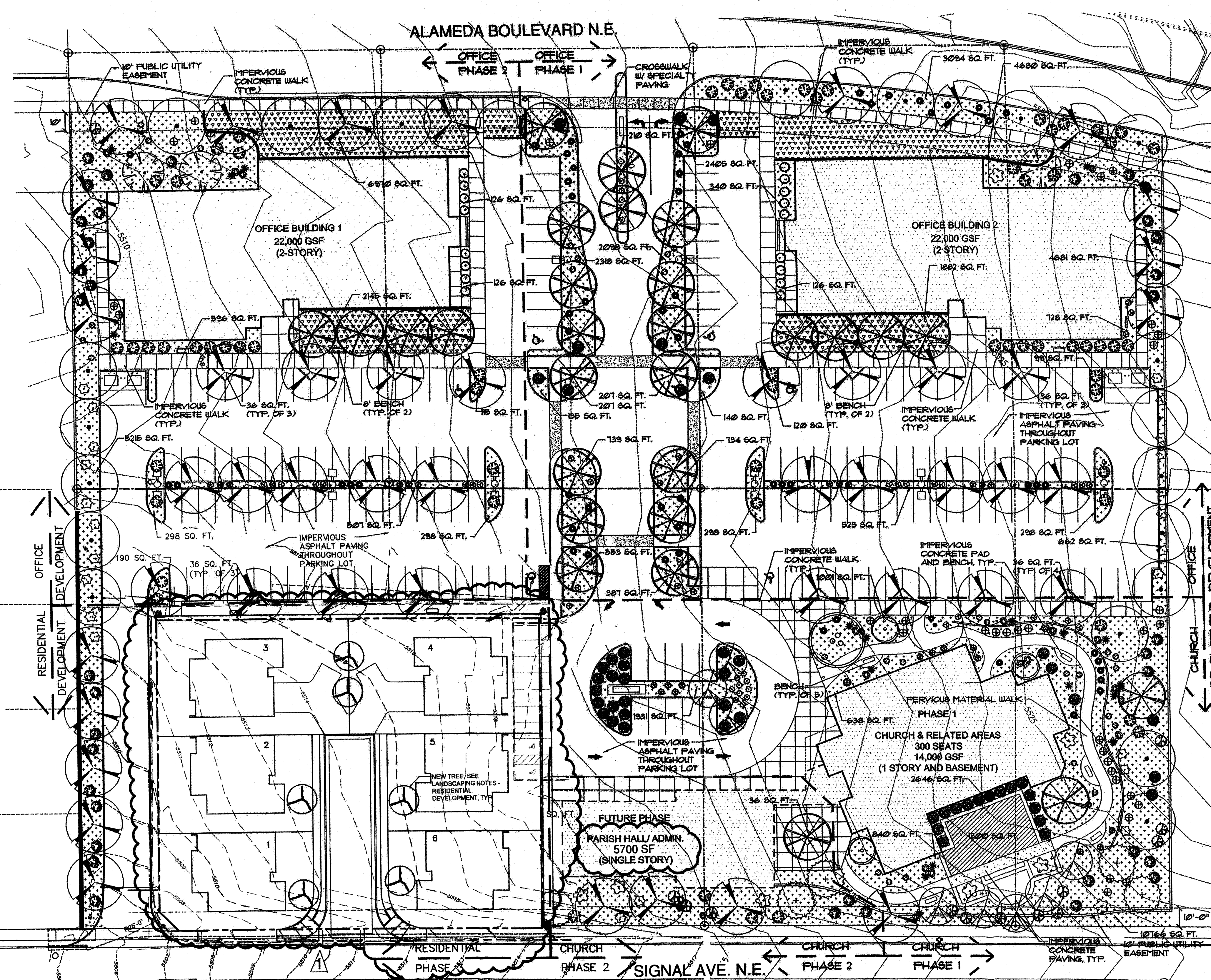
**fta**  
 ARCHITECTS

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 HOPE EPISCOPAL CHURCH  
 AND HOECH  
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 ALBUQUERQUE, NEW MEXICO  
 JUNE 2007

SHEET TITLE **AMENDED**  
 CONCEPTUAL UTILITY  
 PLAN

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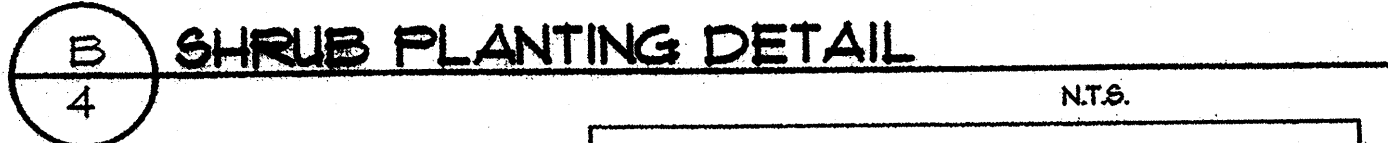
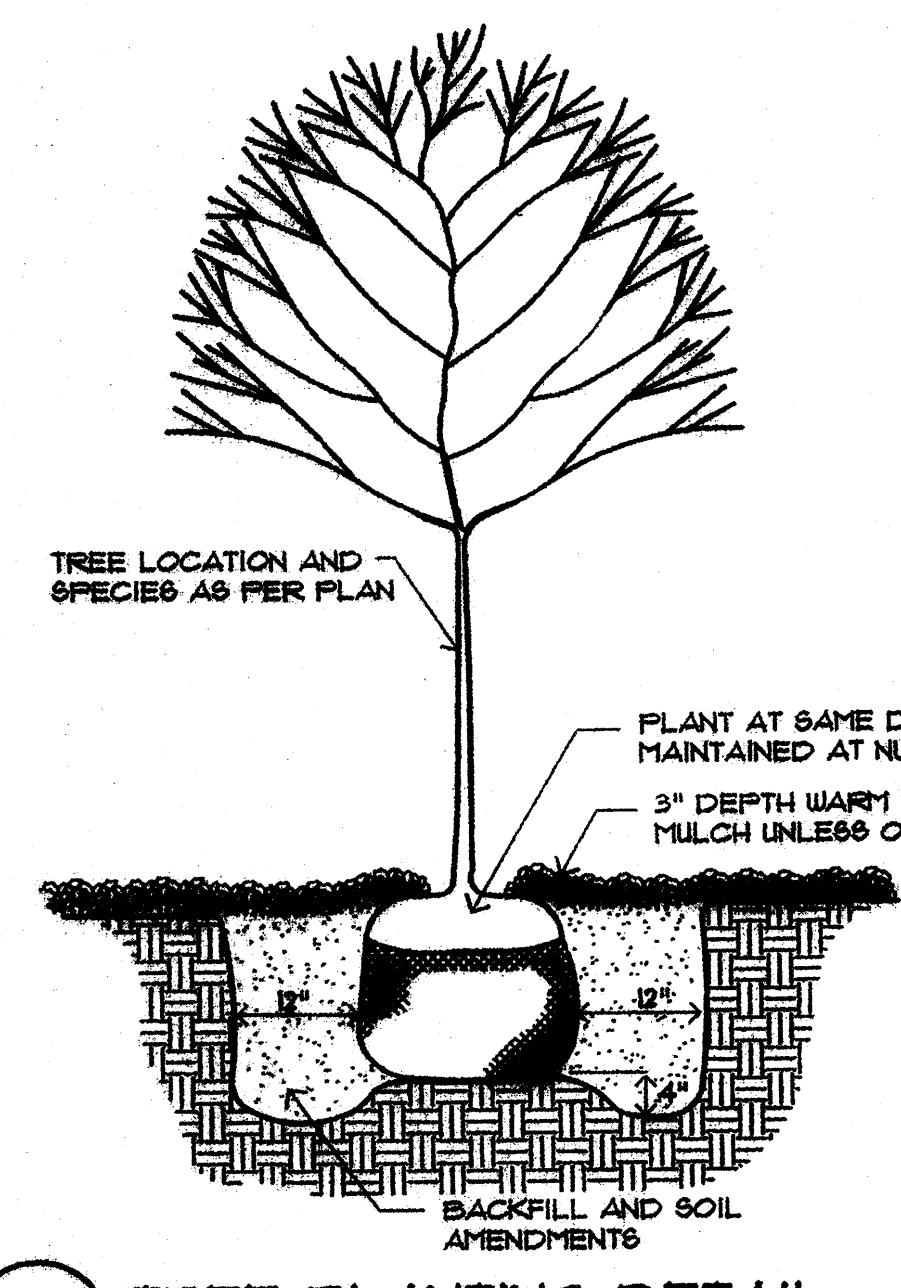


### PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE	REMARKS	WATER USE
<b>TREES</b>							
(Symbol)	Austrian Pine	Pinus nigra	10	5' - 7' ht.	30' ht., 20' epd.	30" Box	M
(Symbol)	Aristocrat Pear	Pyrus calleryana 'Aristocrat'	8	2" cal, 10' - 12' ht.	20' ht., 4 epd.	30" Box	M
(Symbol)	Chinese Pistache	Pistacia chinensis	30	2" cal, 12' - 14' ht.	40' ht., 25' epd.	30" Box	M
(Symbol)	Desert Willow	Chilopsis linearis	1	2" cal, 12' - 14' ht.	25' ht., 20' epd.	30" Box, multi-trunk	M
(Symbol)	Honey Locust	Gleditsia triacanthos inermis 'Trus shade'	32	2" cal, 12' - 14' ht.	50' ht., 25' epd.	30" Box	M
(Symbol)	Shumard Oak	Quercus shumardii	34	2" cal, 12' - 14' ht.	30' ht., 25' epd.	30" Box	L
(Symbol)	Washington Hawthorn	Crataegus phaenopyrum	3	2" cal, 10' - 12' ht.	30' ht., 20' epd.	30" Box	M
<b>SHRUBS</b>							
(Symbol)	Apache Plume	Fallugia paradoxa	27	Min. 18" ht.	5' ht., 6' epd.	5-Gal.	L
(Symbol)	Blue Mist Spirea	Caryopteris x clandonensis	34	Min. 18" ht.	4' ht., 4 epd.	5-Gal.	L
(Symbol)	Butterfly Bush	Buddleia davidii	10	Min. 18" ht.	6' ht., 4 epd.	5-Gal.	M
(Symbol)	Cherry Sage	Salvia greggii	32	Min. 12" ht.	3' ht. and epd.	5-Gal.	M
(Symbol)	Dammeri Cotoneaster	Cotoneaster dammeri	59	Min. 12" epd.	6" ht., 6' epd.	5-Gal.	L
(Symbol)	Karl Foerster	Molnia caerulea arundinacea 'Karl Foerster'	25	Min. 8" ht.	2' ht., 4 epd.	5-Gal.	M
(Symbol)	Lavender	Lavandula angustifolia	51	Min. 6" ht.	4' ht., 4 epd.	2-Gal.	L
(Symbol)	Maiden Grass	Miscanthus sinensis 'Gracillimus'	21	Min. 12" ht.	6' ht., 3' epd.	5-Gal.	M
(Symbol)	Nandina	Nandina domestica 'Compacta'	31	Min. 6" ht.	3' ht., 4 epd.	5-Gal.	L
(Symbol)	New Mexico Olive	Forsteria neomexicana	5	5' - 7' ht.	15' ht., 10' epd.	15-Gal.	M
(Symbol)	Powis Castle	Artemesia ludoviciana 'Powis Castle'	47	Min. 8" ht.	2' ht., 3' epd.	5-Gal.	L
(Symbol)	Regal Mist	Muhlenbergia capillaris	51	Min. 10" epd.	3' ht., 4 epd.	5-Gal.	M
(Symbol)	Three Leaf Sumac	Rhus trilobata	42	Min. 18" ht.	5' ht., 6' epd.	5-Gal.	M
(Symbol)	Yucca	Yucca recurvifolia	22	Min. 10" ht.	4' ht., 4 epd.	5-Gal.	M
(Symbol)	Grow Low Sumac	Rhus aromatica 'grow low'	72	Min. 10" ht.	2' ht., 6' epd.	5-Gal.	M
(Symbol)	PARK BLEND	Poa pratensis, Festuca elatior, Lolium perenne	2,990 sq. ft.	--	--	5-Gal.	H
(Symbol)	BUFFALO GRASS	Buchloe dactyloides	9,950 sq. ft.	--	6" ht.	Seed	L

### MULCH SCHEDULE

(Symbol)	3" DEPTH WARM TONE GRAVEL MULCH. SEE LANDSCAPE NOTE # 8.
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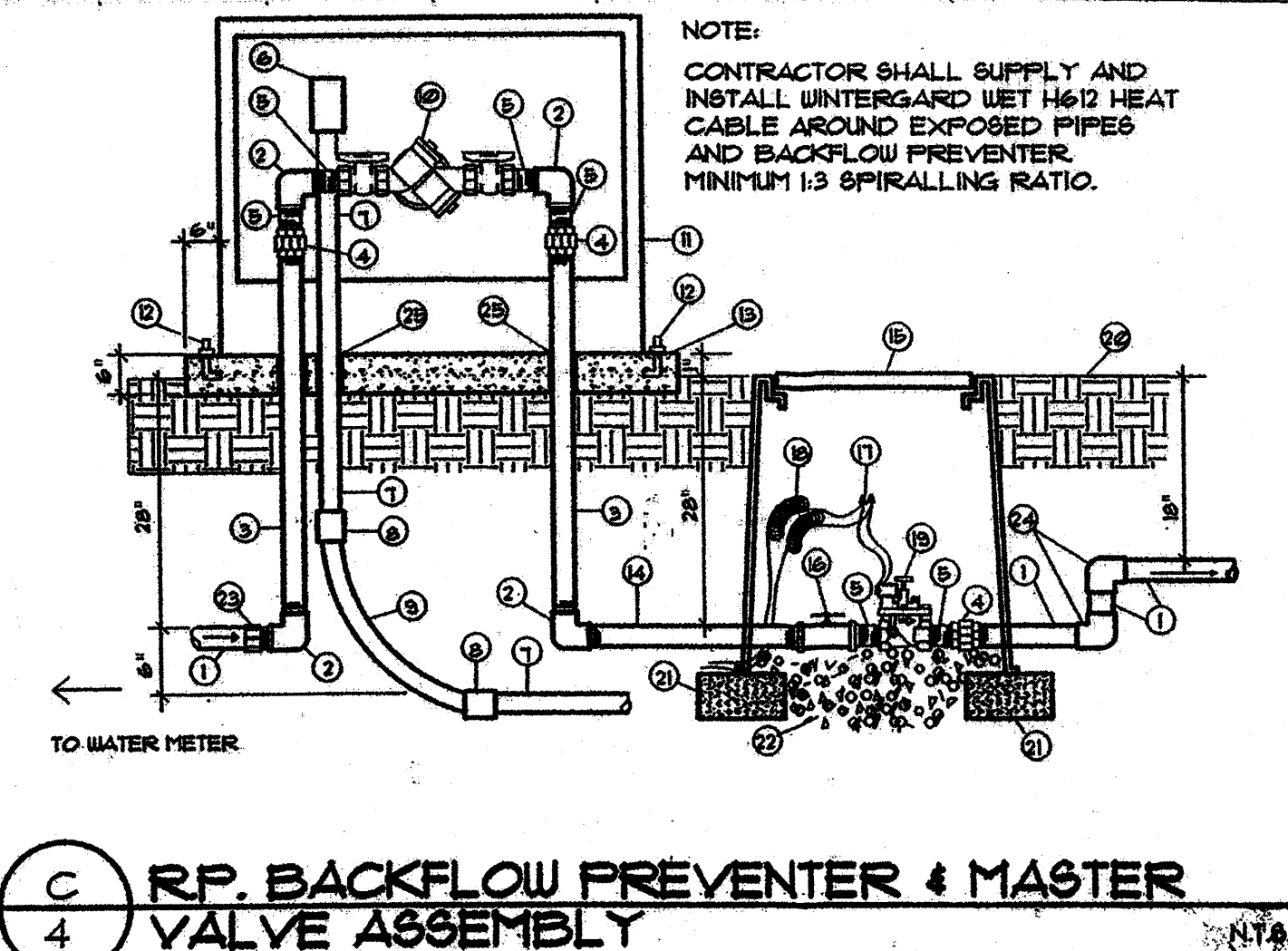
#### LANDSCAPE NOTES

- LANDSCAPE REQUIREMENTS:  
TOTAL SITE AREA: 269,150 SF  
BUILDING AREA: 53,000 SF  
NET SITE AREA: 216,150 SF (TOTAL - BUILDING = NET)  
TOTAL LANDSCAPE AREA REQUIRED (18% OF NET): 32,514 SF  
TOTAL LANDSCAPE AREA PROVIDED: 80,056 SF (31% OF NET)
- VEGETATIVE COVERAGE REQUIREMENT:  
COVERAGE REQUIRED (18% OF TOTAL LANDSCAPE): 60,042 SF.  
COVERAGE PROVIDED: 25,500 SF. (32% OF TOTAL LANDSCAPE AREA) (18% OF REQUIRED LANDSCAPE AREA)
- HIGH WATER USE TURF:  
MAX HIGH WATER USE TURF AREA ALLOWED (20% OF TOTAL LANDSCAPE AREA PROVIDED): 15,954 SF  
TOTAL HIGH WATER USE TURF AREA PROVIDED: 2,990 SF (4.0% OF TOTAL LANDSCAPE AREA)
- LANDSCAPE IRRIGATION:  
- AUTOMATIC CONTROLLER WITH RAIN SENSOR CAPABILITY AND MULTIPLE PROGRAMMING CAPABILITY.  
- REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER PER DETAIL C/4 THIS SHEET.  
- PLANTS SHALL BE IRRIGATED AS FOLLOWS:  
- TREES: 3 - 0.5 GPM BUBBLERS, EVENLY SPACED AROUND TREE, 1' FROM EDGE OF ROOT BALL.  
- SHRUBS: 1 - 0.5 GPM BUBBLER PER SHRUB.  
- TURF: POP-UP SPRAY HEADS.
- PROPERTY OWNER(S) WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.

#### LANDSCAPING NOTES - RESIDENTIAL DEVELOPMENT

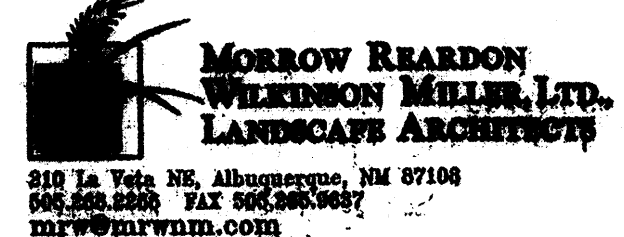
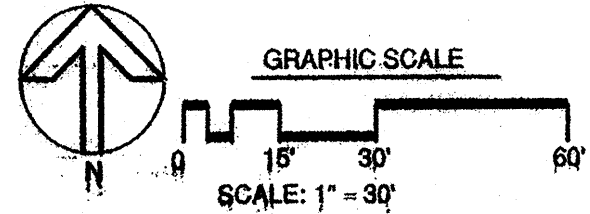
- THE FRONT YARD OF EACH LOT (TOTAL OF 6) SHALL BE LANDSCAPED BY THE DEVELOPER. LANDSCAPING SHALL BE DESIGNED TO LOW WATER/LOW MAINTENANCE STANDARDS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE. ENACTMENT NO. 18-1995.
- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.
- A 3" DEPTH OF WARM-TONE CRUSHED GRAVEL MULCH WITH WEED BARRIER UNDER SHALL BE INSTALLED THROUGHOUT PLANTING BEDS.
- TREES SHALL BE INSTALLED PER DETAIL A/4. SHRUBS SHALL BE INSTALLED PER DETAIL B/4.
- LANDSCAPE AREAS SHALL BE DEPRESSURED WITH A SHALLOW SWALE TO CAPTURE STORM WATER RUN-OFF.
- AREAS IN FUTURE PHASES THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REVEGETATED WITH NATIVE GRASS SEED MIX.

SIDE AND REAR YARDS WILL NOT BE LANDSCAPED BY THE DEVELOPER. THESE YARDS WILL BE THE RESPONSIBILITY OF EACH HOMEOWNER. YARDS WILL BE FINE-GRADED PER THE PRELIMINARY GRADING PLAN BY THE DEVELOPER READY FOR LANDSCAPE INSTALLATION BY THE HOMEOWNER.



- PVC MAINLINE (SEE LEGEND)
- GALVANIZED ELBOW
- GALVANIZED NIPPLE - 42" LENGTH
- GALVANIZED UNION
- GALVANIZED NIPPLE - 3" LENGTH
- JUNCTION BOX FOR HEAT TAPE
- RIGID STEEL CONDUIT
- WATERTIGHT CONNECTOR
- RIGID STEEL SWEEP ELL
- REDUCED PRESSURE BACKFLOW PREVENTER OR APPROVED EQUAL
- INSULATED ENCLOSURE (SEE LEGEND)
- ANCHOR BOLTS
- 3000 PSI CONCRETE PAD WITH TOOLED EDGES
- GALVANIZED NIPPLE - 36" LENGTH
- BROOKS 1 1/2" FB-10" VALVE BOX W/ 8" EXTENSIONS AS REQUIRED
- 6" PEARS TRUE UNION SCH. 80
- PVC BALL VALVE
- WATERPROOF WIRE SPLICE
- 36" WIRE LOOPS
- AUTOMATIC VALVE (SEE LEGEND)
- FINISH GRADE
- CHU BLOCK
- PEA GRAVEL - 3 CUBIC FEET
- SCH. 40 PVC MALE ADAPTER
- MAIN LINE ELL, 90 DEGREE
- PVC SLEEVE

FEBRUARY 21, 2014



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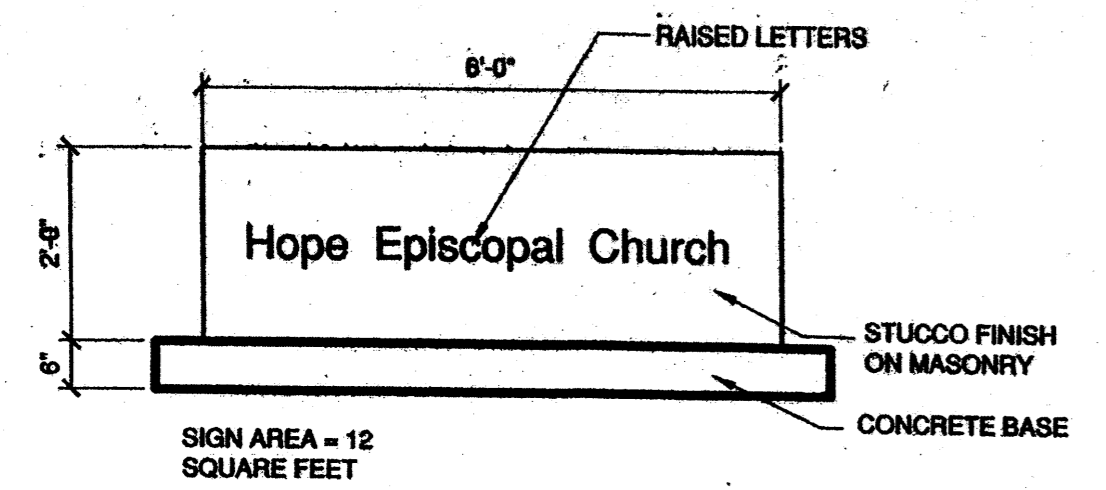
### HOPE PLAZA

A CO-DEVELOPMENT OF  
HOPE EPISCOPAL CHURCH  
AND LAVLE DEVELOPMENT  
ALBUQUERQUE, NEW MEXICO  
JUNE, 2007  
REVISED OCTOBER, 2007  
REVISED NOVEMBER, 2007  
REVISED NOVEMBER 2013

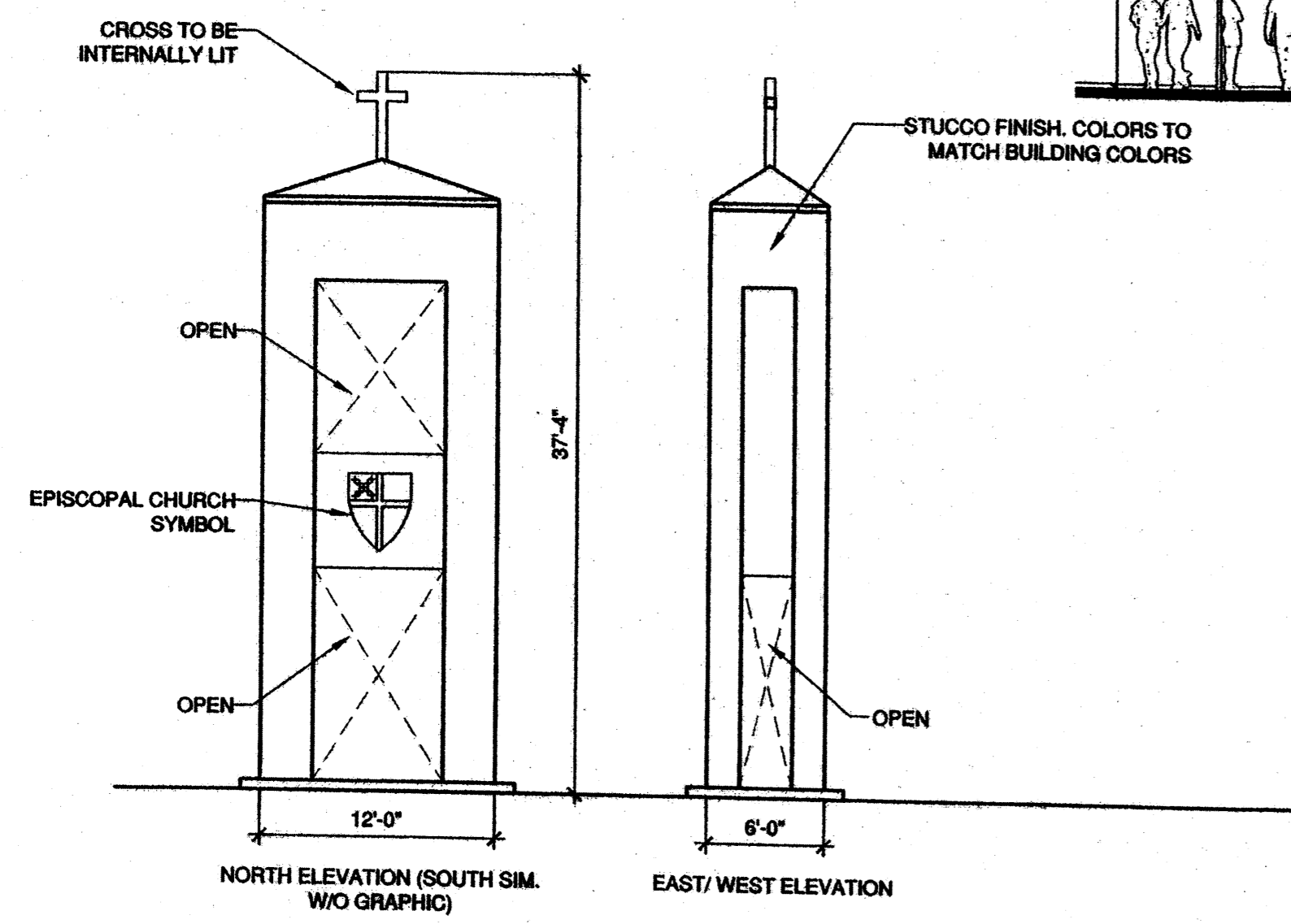
SHEET TITLE  
AMENDED  
LANDSCAPE PLAN

4 OF 6

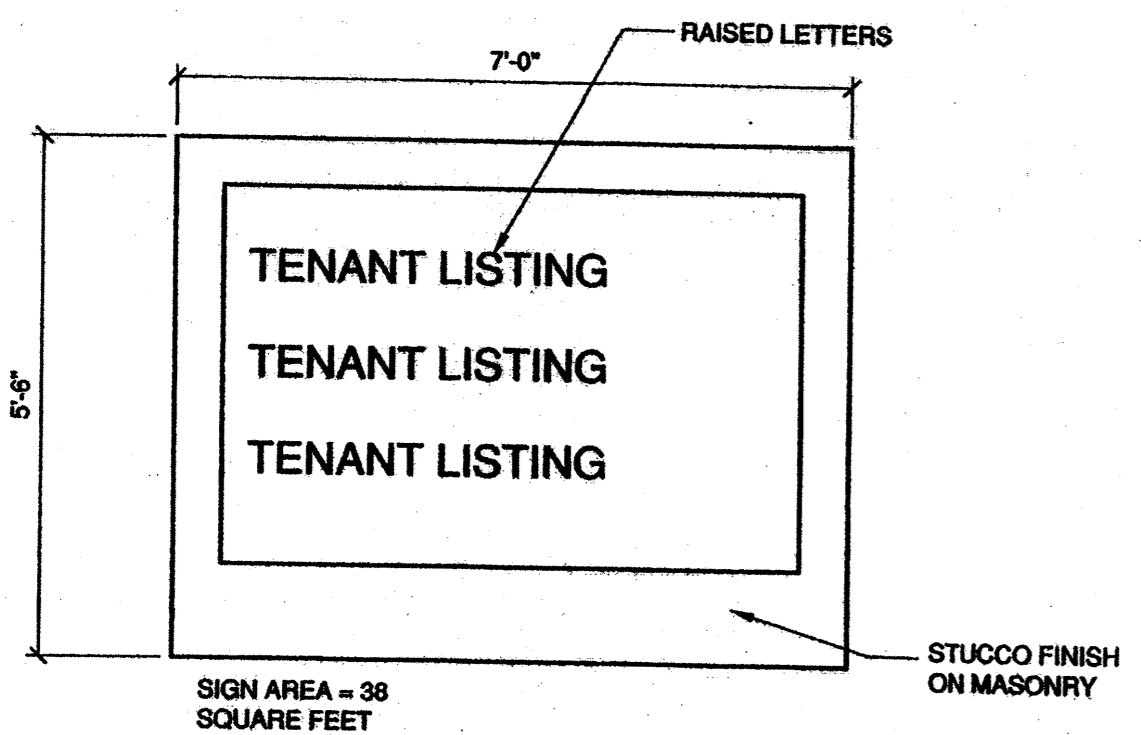




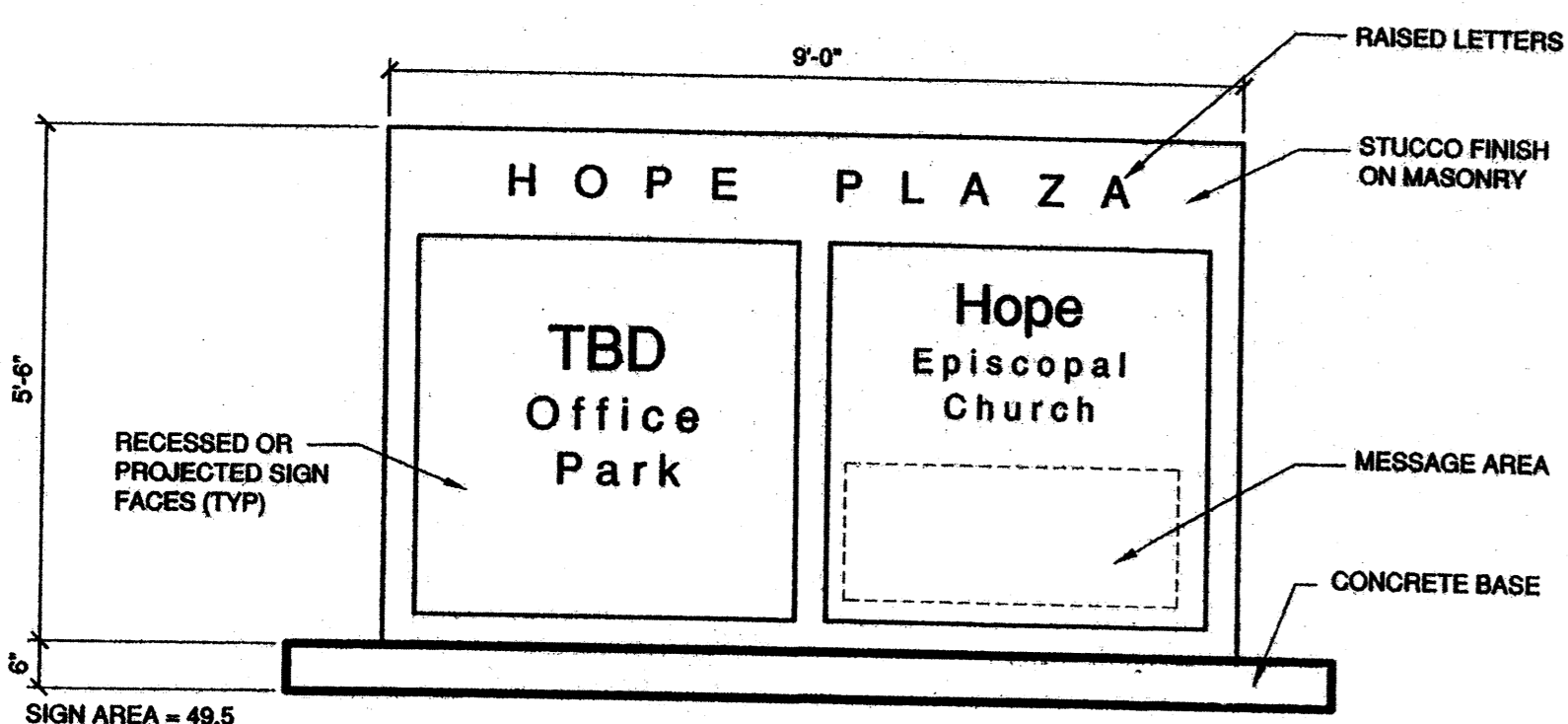
**8 SIGNAGE DETAIL**  
CHURCH SIGNAGE  
1/2" = 1'-0"



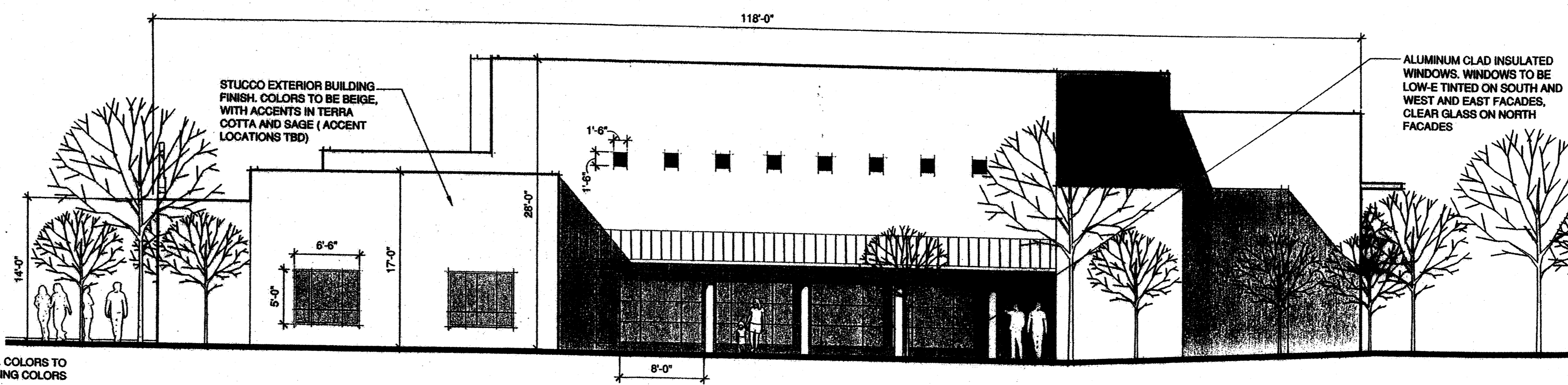
**7 TOWER ELEVATION**  
1/8" = 1'-0"



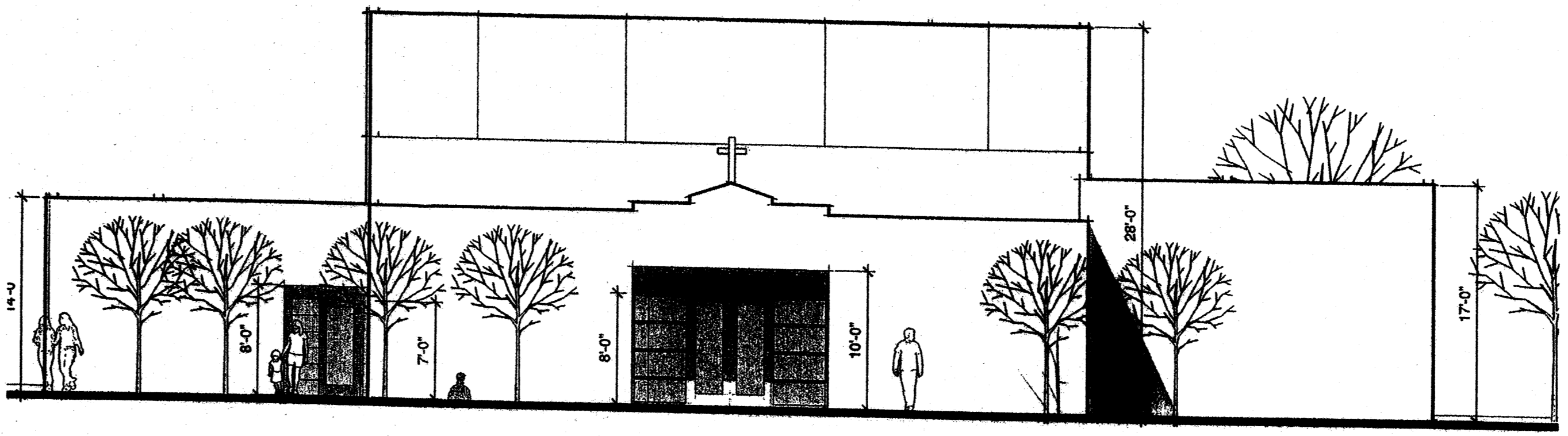
**6 SIGNAGE DETAIL**  
TENANT SIGNAGE TYPICAL OF TWO  
1/2" = 1'-0"



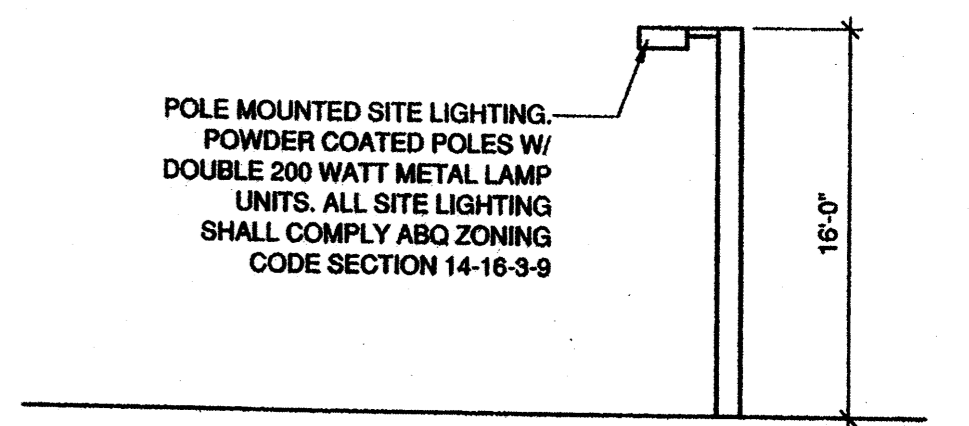
**5 SIGNAGE DETAIL**  
MONUMENT SIGN  
1/2" = 1'-0"



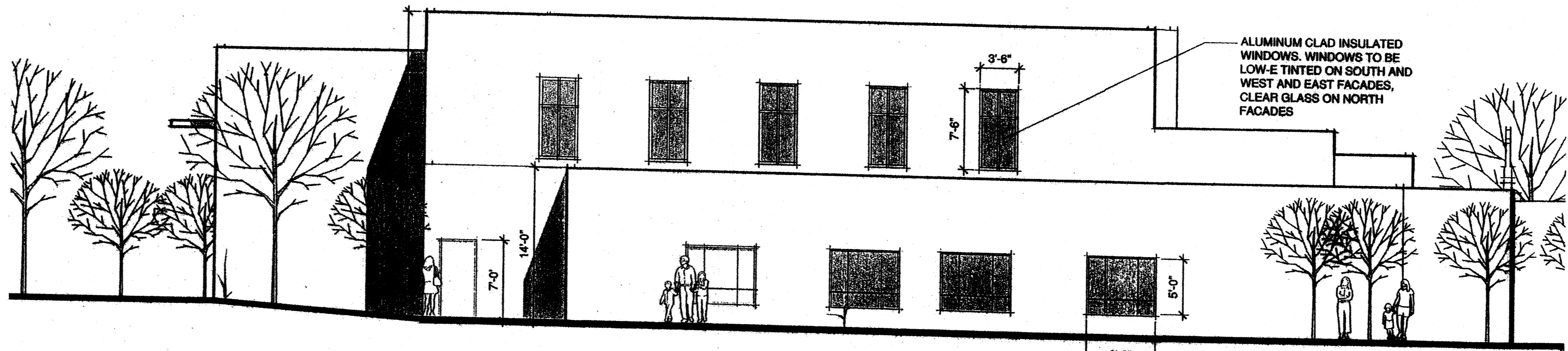
**4 SOUTH ELEVATION**  
1/8" = 1'-0"



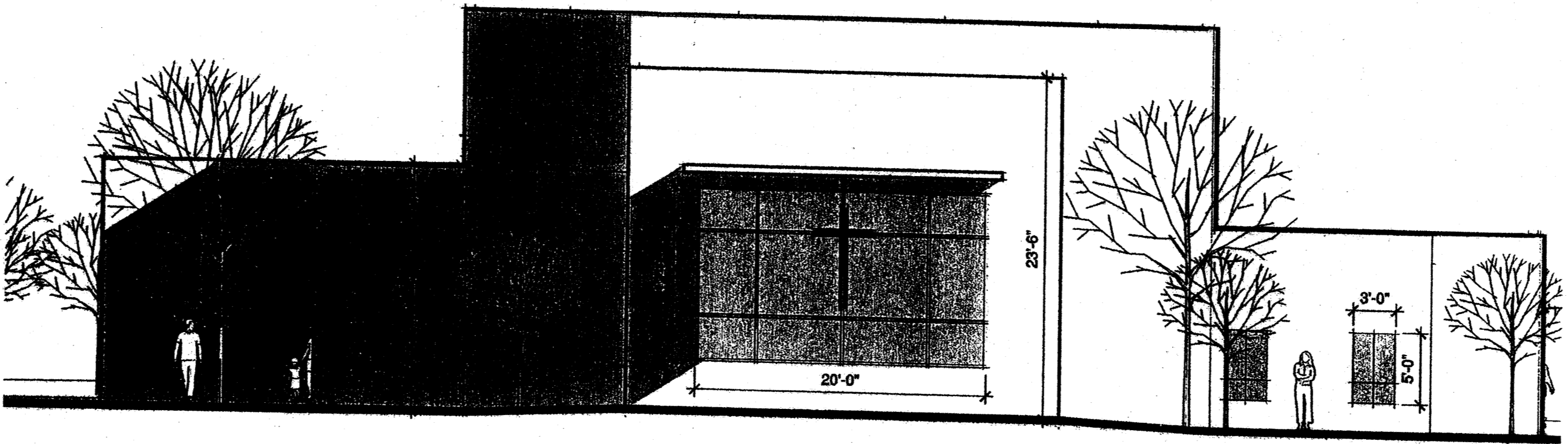
**3 WEST ELEVATION**  
1/8" = 1'-0"



**9 SITE LIGHTING ELEVATION**  
1/8" = 1'-0"

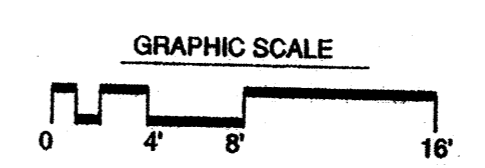


**2 NORTH ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"

- GENERAL NOTES:**
- ALL SITE ELEMENTS THAT ARE TO RECEIVE STUCCO SHALL MATCH BUILDING STUCCO COLORS OR BE COMPLEMENTARY TO THE BUILDING STUCCO COLORS.
  - ALL ENTRIES SHALL BE ALUMINUM STOREFRONT TO MATCH WINDOWS. ALL OTHER DOORS SHALL EITHER BE ALUMINUM STOREFRONT OR HOLLOW METAL, PAINTED TO MATCH BUILDING EXTERIOR COLORS.



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SHEET TITLE  
CHURCH BUILDING  
ELEVATIONS

6 OF 6

HOPE PLAZA