



DRB CASE ACTION LOG (SITE PLAN BLDG PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70162 (SBP)
Project Name: PARK WEST, UNIT 4
Agent: Carol Sue Nordengren

Project # 10066522
Phone No: 480-3870

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 08-08-07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

10066522



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 8, 2007

9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 10:50 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1003125**
07DRB-70128 VACATION OF PUBLIC
EASEMENT

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE - ECLIPSE AVIATION request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AEROSPACE TECHNOLOGY PARK**, zoned SU-1 AIRPORT & RELATED FACILITIES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK ROAD NW containing approximately 251 acre(s). (F/G-6) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B)(1)(3) OF THE SUBDIVISION ORDINANCE.**

2. **Project # 1005031**
06DRB-01077 MAJOR-VACATION OF
PUBLIC EASEMENTS

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SIERRA 2 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07 & 08/01/07] (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B)(1)(3) OF THE SUBDIVISION ORDINANCE.**

06DRB-01017 MAJOR-PRELIMINARY
PLAT APPROVAL
06DRB-01018 MINOR-TEMP DEFER
SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SIERRA 2 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06, 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07 & 08/01/07] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 08/08/07 AND THE APPROVED GRADING PLAN ENGINEER STAMP DATED 07/12/06, THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: ADD THE SOLAR COLLECTOR LANGUAGE TO THE PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED AS SHOWN OF EXHIBIT C.**

06DRB-01282 MINOR-SUBD DESIGN
(DPM) VARIANCE

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SIERRA 2 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07 & 08/01/07] (C-9) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**

3. **Project# 1000965**
07DRB-70102 VACATION OF PUBLIC
EASEMENT

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO request(s) the above action(s) for all or a portion of Lot(s) 22 & 23, **VALLE PARAISO AT ANDALUCIA**, zoned SU-1/PRD, located on VALLE SANTO TRAIL NW BETWEEN VALLE BONITA CT NW AND CAMINO VALLE CT NW containing approximately 21.5725 acre(s). *[Deferred from 07/25/07]* (F-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B)(1)(3) OF THE SUBDIVISION ORDINANCE.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 4. **Project# 1006522**
07DRB-70162 EPC APPROVED SDP
FOR BUILD PERMIT

CAROL SUE NORDENGREN request(s) the above action(s) for all or a portion of Lot(s) 1-P1, Block(s) 16, **PARK WEST, UNIT 4**, zoned SU-1 FOR BED & BREAKFAST, located on PETROGLYPH AVE NW BETWEEN LAVA BLUFF NW AND MONUMENT NW containing approximately 0.15 acre(s). **[Anna Dimambro, EPC Case Planner]** (H-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project# 1005280**
07DRB-70011 EPC APPROVED SDP
FOR BUILD PERMIT
07DRB-70012 EPC APPROVED SDP
FOR SUBDIVISION

GEORGE RAINHART ARCHITECTS agent(s) for SCM PROPERTY CO LLC request(s) the above action(s) for all or a portion of TRACT 16-A-1, PARADISE NORTH AND TRACT E-A-1, CRESTVIEW SUBDIVISION (to be known as **MCMAHON MARKETPLACE**) zoned SU-1 FOR C-1 PURPOSES, located on MCMAHON NW BETWEEN BANDELIER DR NW AND UNSER BLVD NW containing approximately 12.3 acre(s). [REF: 06EPC01706, 06EPC01705, 063PC01704] **[Catalina Lehner, EPC Case Planner]** *[Indef deferred from 5/30/07]* (A-11) **THE SITE PLANS FOR FOR BUILDING PERMIT AND SUBDIVISION WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ALL MOTORCYCLE STALLS TO BE SHORTENED, SOLID WASTE TO SIGN, TO PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF EACH SITE PLAN.**

6. **Project# 1006573**
07DRB-70081 MINOR - SDP FOR
BUILDING PERMIT
07DRB-70080 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

LARRY READ AND ASSOCIATES agent(s) for DESERT HILLS JEHOVAH'S WITNESSES request(s) the above action(s) for all or a portion of Lot(s) 12 & 21, Block(s) 29, Tract(s) A, **UNIT B, NORTH ALBUQUERQUE ACRES**, zoned SU-2 IP, located on ALAMEDA AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 1.78 acre(s). *[Indef deferred from 06/27/07]* (C-18) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR ADDED COMMENTS AND 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATE 08/08/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 08/03/07, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

7. **Project# 1004246**
07DRB-70090 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for PETE AND PEGGY DASKALOS request(s) the above action(s) for all or a portion of Lot(s) 10-A, Tract (s) A, Block(s) 35, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on HOLLY AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 5.3279 acre(s). *[Deferred from 07/11/07]* (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH NO DELEGATION.**

07DRB-70093 MINOR - SDP FOR
SUBDIVISION

TIERRA WEST LLC agent(s) for KOZANI, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-A, Tract(s) A, Block(s) 35, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR IP USES, located on PASEO DEL NORTE NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE containing approximately 5.42 acre(s). *[Deferred from 07/11/07]* (C-18) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE AND FOR 3 COPIES OF THE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1004999**
07DRB-70167 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for GLENN EFFERTZ request(s) the above action(s) for all or a portion of Tract(s) 316-A & 316-D AND VACATED PORTION OF LULAC RD NW, MRGCD MAP 38 (to be known as **TRACT A, LAND OF GLEN EFFERTZ**) zoned RA-1, located on MOUNTAIN RD NW BETWEEN DURANES ACEQUIA AND LAGUNA SECA LANE NW containing approximately 0.8672 acre(s). (J-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DEDICATION OF RIGHT-OF-WAY AND SIDEWALK AND TO PLANNING FOR REAL PROPERTY'S SIGNATURE, AGIS DXF FILE AND A COPY OF THE RECORDED PLAT.**
9. **Project# 1006713**
07DRB-70163 VACATION OF PRIVATE
EASEMENT
07DRB-70164 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for BELARMINO GONZALES request(s) the above action(s) for all or a portion of Lot(s) A, **LANDS OF HUBERT R. TEAGUE**, zoned C-2, located on 4TH ST NW BETWEEN SAN ANDRES AVE NW AND SHANGRILA CT NW containing approximately 0.4556 acre(s). (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO ABCWUA FOR PRIVATE WATER AND SEWER EASEMENTS WITH MAINTENANCE AND BENEFICIARIES AND TRANSPORTATION DEVELOPMENT TO RECONFIGURE EASEMENT AND TO PLANNING FOR A COPY OF THE RECORDED PLAT.**
10. **Project# 1006715**
07DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACK'S HIGH COUNTRY INC. agent(s) for ALVIN & NANCY ANDERSEN request(s) the above action(s) for all or a portion of Lot(s) 11, **RINCON DEL RIO ADDITION**, zoned RA-2 located on RINCON DEL RIO CT NW BETWEEN TRELIS DR NW AND GLENWOOD NW containing approximately 0.4719 acre(s). (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 08/15/07.**
11. **Project# 1002194**
07DRB-70165 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WAYJOHN SURVEYING INC agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, **SUNPORT TOWNHOMES**, zoned R-2, located on WELLESLEY SE BETWEEN KATHRYN SE AND ANDERSON SE containing approximately 0.1631 acre(s). (L-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH THE FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

12. **Project# 1000271**
07DRB-70166 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

FORSTBAUER SURVEYING LLC agent(s) for GRACE INVESTMENT CORPORATION request(s) the above action(s) for all or a portion of Lot(s) A-1-A, Block(s) 25, **MESA VERDE ADDITION**, zoned C-2, located on WYOMING BLVD NE BETWEEN COPPER AVE NE AND MARQUETTE NE containing approximately 0.6423 acre(s). (K-19) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK PLACEMENT AND TO PLANNING FOR SOLAR LANGUAGE ON THE PLAT AND TO RECORD.**

13. **Project# 1004919**
07DRB-70073 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for DAVID MURPHY request(s) the above action(s) for all or a portion of Tract(s) 127-B, 128-B, 129-B-2, 129-B-1, 131 & 131-A (to be known as **NORTH 2ND STREET BUSINESS CENTER**) zoned M-1, located on 2nd ST NW between MONTANO NW and GRIEGOS NW containing approximately 6.1315 acre(s). *[Deferred from 06/27/07, 07/11/07, 07/25/07 & 08/01/07]* [REF: 06DRB-00747] (F-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 08/08/07 AND THE APPROVED GRADING PLAN ENGINEER STAMP DATED 06/05/07, THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: NOTE 6 SHALL DEFINE WHAT PUBLIC UTILITIES ARE WITHIN THE EASEMENT, PROVIDE A 24-FOOT ACCESS EASEMENT BETWEEN ALL LOTS AND 20-FOOT ACCESS EASEMENT ON THE NORTH SIDE OF LOT 1, NOTE 8 SHALL ADD "EXCLUSIVELY TO THE CITY OF ALBUQUERQUE" AT THE END OF THE SENTENCE AND INCLUDE THE REQUIRED SOLAR LANGUAGE ON THE PLAT AS DEFINED IN SECTION 14-14-4-7(B). THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1004906**
07DRB-70168 SKETCH PLAT REVIEW
AND COMMENT

TOM AND SUSAN SLATES request(s) the above action(s) for all or a portion of Tract(s) 118E, MRGCD MAP 32, zoned R-1, located on GUADALUPE TR NW BETWEEN GRIEGOS NW AND DELAMAR NW containing approximately 0.6833 acre(s) (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Other Matters: **THE PRELIMINARY PLAT AND SIA FOR THE LAS PLAYAS SUBDIVISION, PROJECT# 1002372 WAS WITHDRAWN AT THE AGENT'S REQUEST.**

ADJOURNED: 10.50 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1006522

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Building Permit

APPROVED

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

The site plan must adhere to minimum standards.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 8, 2007
505-924-3986

0

August 2, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair

FROM: Anna DiMambro, Planner AD

SUBJECT: Project # 1006522

On July 19, 2007, the Environmental Planning Commission approved Project number 1006522 case numbers 07EPC 40003 and 40017, a request for a zone map amendment and a site development plan for building permit for Lot 1-P1, Block 16, Parkwest Unit 4.

Upon final sign-off of the site development plan for building permit, the applicant will have met all conditions of approval.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3924.

Thank you.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1006522

AGENDA ITEM NO: 4

SUBJECT:

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ENGINEERING COMMENTS:

The site plan must adhere to minimum standards.

P.O. Box 1293

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New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 8, 2007
505-924-3986

0

August 2, 2007

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Thank you.



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: Carol Sue Nordengren PHONE: 480 3870

ADDRESS: 8032 Petroslyph Av NW FAX: _____

CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: cnordengren@comcast.net

Proprietary interest in site: owner List all owners: self

DESCRIPTION OF REQUEST: site plan approval building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. lot 1-Pl 1 Block: 16 Unit: 4

Subdiv/Addn/TBKA: Park West

Existing Zoning: R-D Proposed zoning: SU-1 for Bed & Breakfast

Zone Atlas page(s): H-9 UPC Code: 100905938147510921 MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):

07 EPC - 40003, 07 EPC - 40017

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO

No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .15

LOCATION OF PROPERTY BY STREETS: On or Near: Lava Bluff / Monument Petroslyph Av NW

Between: Lava Bluff NW and Monument NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 5/5/07

SIGNATURE Carol Sue Nordengren DATE July 27, 2007

(Print) Carol Sue Nordengren Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>07 DRB - 70162</u>	<u>SBP</u>	<u>PL(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total
				<u>\$ 20.00</u>

Hearing date: August 8, 2007

Andrew G... 7/30/07
Planner signature / date

Project # 1006522

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Carol Sue Nordengren
Applicant name (print)

Carol Sue Nordengren 27 July 2007
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

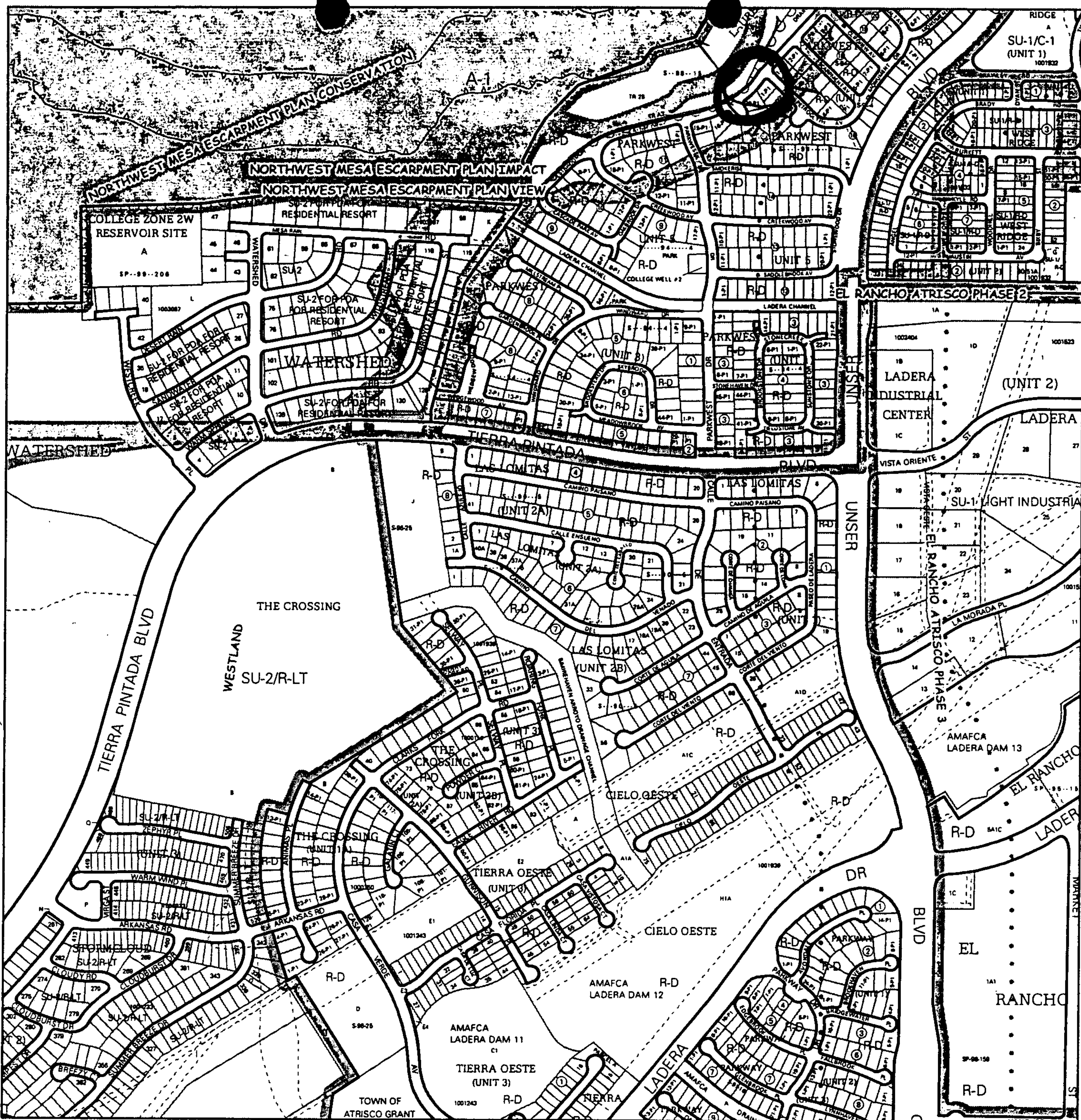
Application case numbers

07 DRB - - 70162

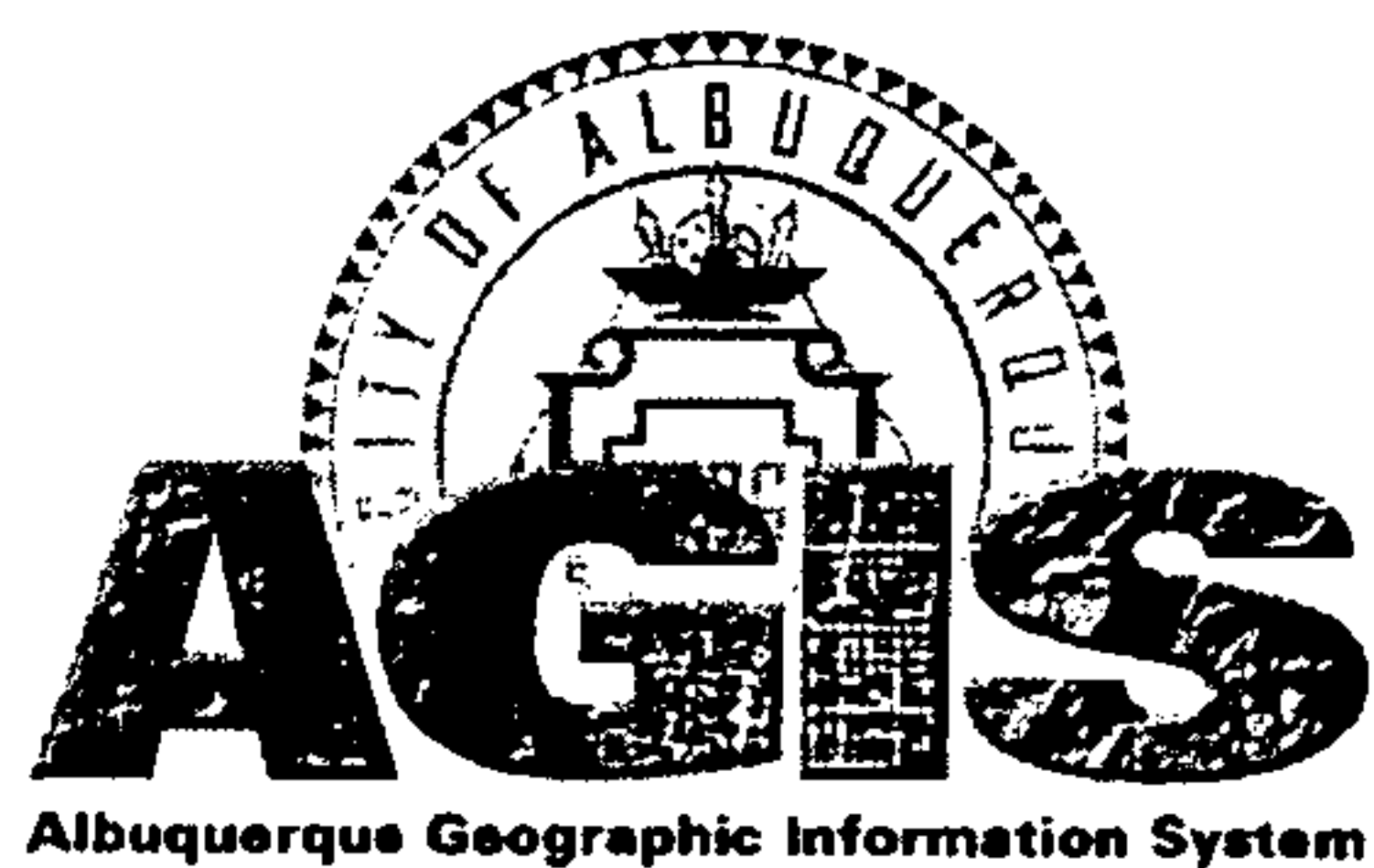
Form revised APRIL 2007

Andrew Garcia 7/30/07
Planner signature / date

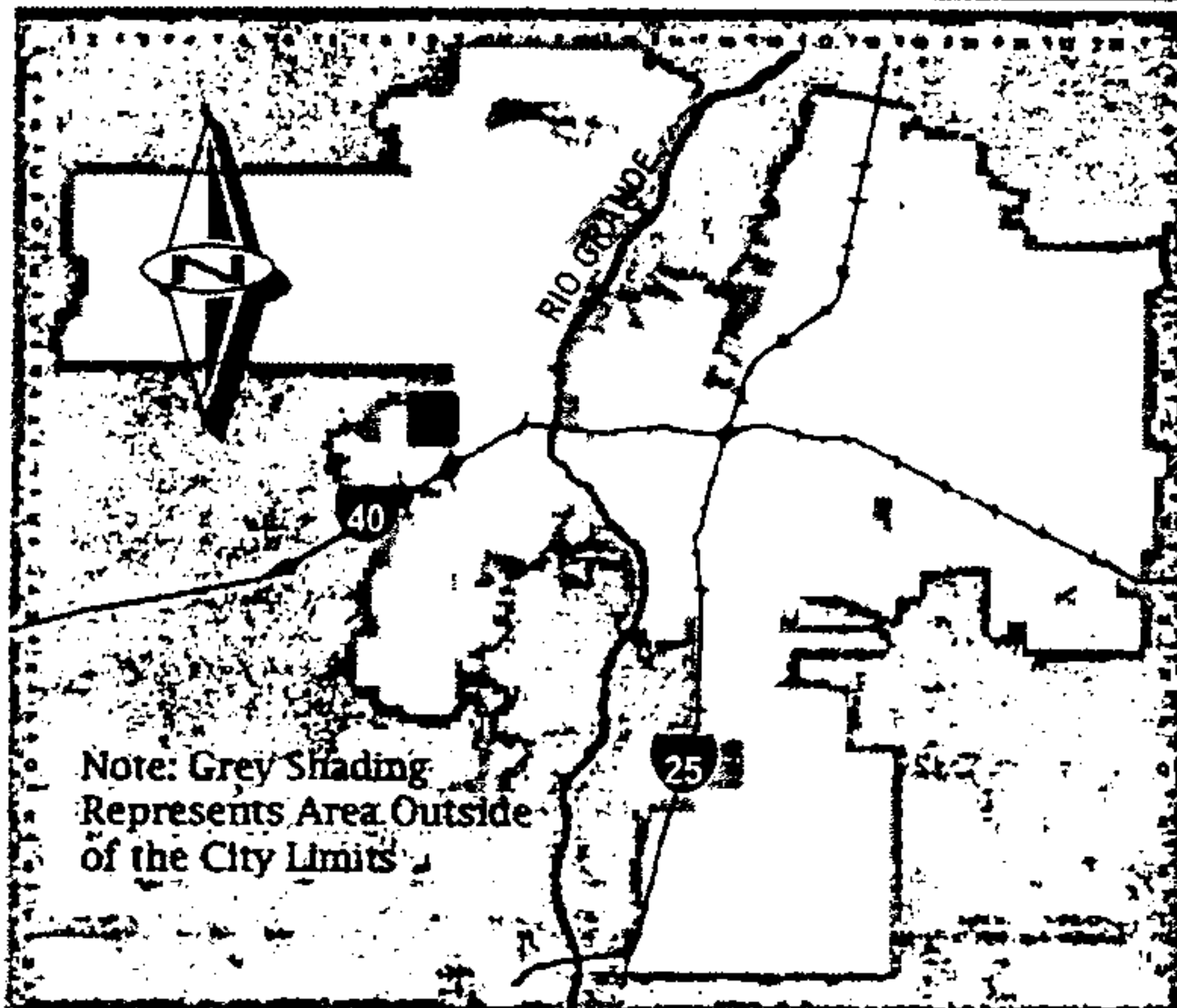
Project # 1006522



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/17/2007

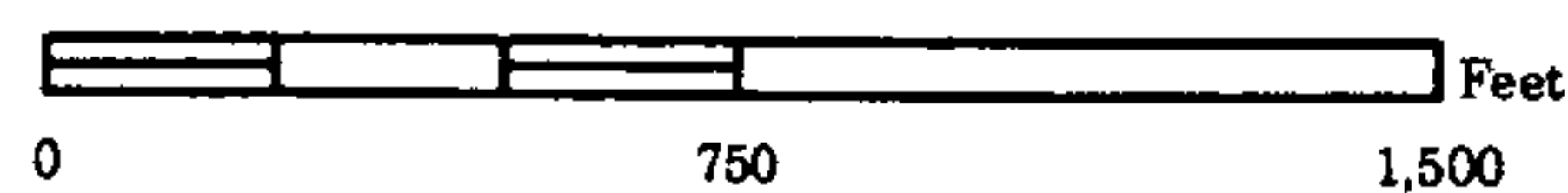


Zone Atlas Page:

H-09-Z

Selected Symbols

- SECTOR PLANS
- Escarpment
- Design Overlay Zones
- 2 Mile Airport Zone
- City Historic Zones
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.



DRB Meeting, August 8th, 2007

Project # 1006522: 07EPC-40003 Amndt to Zone Map
07EPC-40017 Site Plan for Building Permit

I have requested a zone change and site plan for building permit for my house at 8032 Petroglyph Av, NW from R-D to SU-1 for a one bedroom bed and breakfast.

One room, one bed, two people maximum. There will be no new construction, no renovations to the existing site. I did install a ceiling fan in that bedroom.

The EPC in approving 40003, stipulated one condition:

"1. The accompanying site development plan for building permit shall obtain final DRB sign-off."

The EPC in approving 40017 stipulated two conditions:

"1. The EPC delegates final sign-off authority of this site development plan to the DRB. The DRB is responsible for ensuring that all EPC conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.....


2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met."

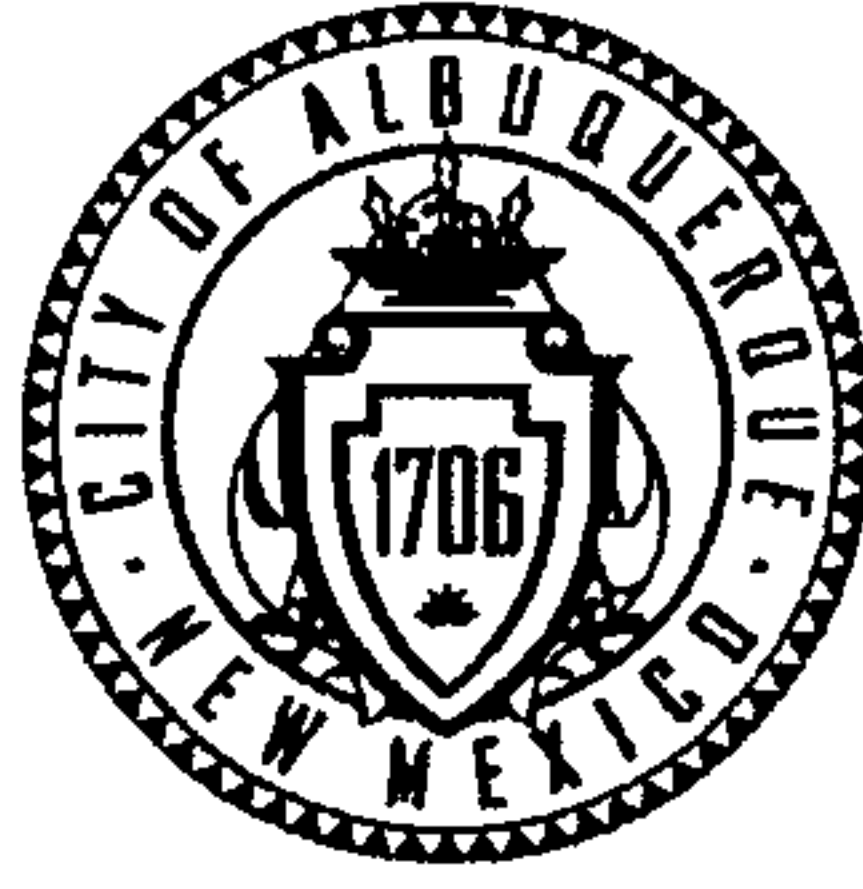
There have been only two modifications to the site plan since submittal to the EPC:

Waste Management has stamped the site plan with their approval.

The Fire Marshall's office has stamped the site plan with their approval

There have been no changes or modifications to the site plan other than these two.


Carol Sue Nordengren
Lot 1-P1, block 16, Park West, unit 4



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: July 20, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1006522***
07EPC-40003 AMNDT TO ZONE MAP
07EPC-40017 SITE PLAN FOR BUILDING
PERMIT

Carol Sue Nordengren
8032 Petroglyph Ave. NW
Albuq. NM 87120

LEGAL DESCRIPTION: for all or a portion of lot 1-P1, block 16, **Park West**, Unit 4, a zone map amendment from R-D to SU-1 for Bed & Breakfast, located on PETROGLYPH AVE NW BETWEEN LAVA BLUFF NW AND MONUMENT NW containing approximately 0.15 acre. (H-9) Anna DiMambro, Staff Planner

On July 19, 2007 the Environmental Planning Commission voted to approve Project 1006522/07EPC 40003, a request for a zone map amendment from R-D to SU-1 for Bed & Breakfast, for Lot 1-P1, Block 16, Parkwest Unit 4, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a zone map amendment from R-D to SU-1 for Bed & Breakfast for Lot 1-P1, Block 16, Parkwest Unit 4, an approximately 0.15 acre parcel located immediately adjacent to Petroglyph National Monument at the intersection of Petroglyph Avenue NW and Lava Bluff NW. The applicant is proposing to expand the use of the existing home to include bed & breakfast.
2. The subject site is located in the area designated Developing Urban by the Comprehensive Plan and within the boundaries of the West Side Strategic Plan, the El Rancho Atrisco Phase 2 Sector Plan, and the Northwest Mesa Escarpment Plan.
3. The proposed use is permissive in the requested zone category.

4. This request furthers the following Comprehensive Plan policies for Developing and Established Urban areas:
 - a. The requested zone category will expand the range of urban land uses in the Developing Urban area (Policy II.B.5.a).
 - b. The requested zoning respects existing neighborhood values in that the existing home is compatible with surrounding homes and will continue to be as the request does not involve any exterior changes to the home (Policy II.B.5.d).
 - c. The proposed use will have only minimal impact on noise, pollution, and traffic and will provide employment for the applicant in a location very complementary to her residence (Policy II.B.5.i).
5. This request furthers Comprehensive Plan Policy II.C.1.a for Air Quality by balancing the land use/transportation system. The requested zoning will allow lodging within walking distance of a tourist attraction and within short driving distance of the Rapid Ride transit stop, thus reducing automobile travel's adverse effects on air quality.
6. This request furthers Comprehensive Plan Policy II.C.6.c for Archaeological Resources by promoting public understanding and appreciation for the area's archaeological and paleontological past.
7. This request furthers the following Comprehensive Plan policies for Economic Development:
 - a. Approval of this request will allow development of a local business enterprise (Policy II.D.6.b).
 - b. This request promotes tourist opportunities at Petroglyph National Monument (Policy II.D.6.b).
8. This request furthers the following goals, objectives, and policies of the West Side Strategic Plan:
 - a. This zone change request will protect significant natural assets of the West Side, namely the escarpment, because no new development is associated with this request. A new source of lodging can be provided near the Petroglyph National Monument without any disturbance of natural assets (Goal 6).
 - b. This request recognizes the importance of preserving and protecting Petroglyph National Monument while also protecting the existing neighborhoods (Goal 9).
 - c. This request provides a live/work opportunity for the applicant while protecting the unique quality of life and natural and cultural resources for West Side residents (Goal 10).
 - d. This request represents a unique solution to transportation problems on the West Side by providing a lodging opportunity within walking distance of a tourist attraction and by provided a home-based business opportunity for a resident (Objective 2).
 - e. This request does not require new development. The West Side's scenic, cultural, historical, and spiritual resources can be preserved and recognized as important resources and destinations without any further development or visual disruption (Objective 3).

- f. A Bed & Breakfast in an already-built home conserves and protects natural resources and minimizes environmental impacts. It contributes to efficient utilization of transportation corridors by minimizing the number of trips necessary for visitors to arrive at Petroglyph National Monument (Objective 6).
 - g. The proposed Bed & Breakfast will have minimal impact on the neighborhood and the Monument (Policy 3.81, page 88).
 - h. Approval of this request will allow a resident an opportunity to operate a home-based business and will not generate additional rush hour traffic (Policy 3.92, page 153).
 - i. The applicant has met with the affected Neighborhood Association and has garnered support for this request. The Neighborhood Association has agreed that the request will have a minimal impact on the neighborhood (Policy 7.4, page 208).
9. The proposed zone change is contrary to the El Rancho Atrisco Phase II Sector Plan's zoning recommendation (R-D), but is in line with the recommended land use. The request furthers the intent of the sector plan.
10. The requested zone map amendment is not in conflict with any portion of the Northwest Mesa Escarpment Plan.
11. The applicant has adequately justified this request per R-106:
 - a. The cultural and historical significance of the subject site itself is questionable, however, the subject site is located immediately adjacent to one of Albuquerque's most significant cultural and historical resources. The subject site's proximity to Petroglyph National Monument fulfills the intent of this policy, as no lodging opportunity will be allowed within the boundaries of the Monument (1).
 - b. The subject site has adequate off-street parking available (2).
 - c. No private parties shall be held in the home for a fee (3).
 - d. Guests will not be allowed to stay in a motor home, camper, or tent (4).
 - e. The exterior appearance of the home on the subject site is compatible with other homes in the neighborhood. The applicant is not proposing any exterior modifications to the home, and no signage will be placed on the property (5).
 - f. No staff will be hired (6).
 - g. The proposed Bed & Breakfast will have only one guest room. This provision is not applicable (7).
 - h. There are no Bed & Breakfast establishments within 500' of the subject site (8).
 - i. No guest will be allowed to stay more than 14 nights at a time (9).
 - j. Zones allowing houses as the most intense use do not abut more than 80% of the proposed SU-1 zone's boundary (10).
12. The applicant has adequately justified this request per R-270-1980:
 - a. The proposed zone change is consistent with the health, safety, morals, and general welfare of the City (A).

OFFICIAL NOTICE OF DECISION
JULY 19, 2007
PROJECT #1006522
PAGE 4 OF 6

- b. The proposed zoning will not destabilize land use in the neighborhood. A Bed & Breakfast, as defined by the Zoning Code, requires a permanent resident. R-106 requires a minimum distance of 500' between bed & breakfast establishments. The applicant has met the burden and has provided sound justification for the change (B).
 - c. This request is not in significant conflict with adopted plans and policies for the area. The applicant has cited a preponderance of policies, goals, and objectives that are furthered by this request (C).
 - d. The proposed zoning is more advantageous to the community than the current zoning because Petroglyph National Monument is underserved with lodging opportunities. Allowing a bed & breakfast within walking distance of the Monument furthers City policies on walkability, vehicle emissions reduction, traffic reduction, and tourism. This is a benefit to the City as a whole that does not greatly impact the immediate neighborhood (D).
 - e. No permissive uses in the proposed zone would be harmful to adjacent property, the neighborhood, or the community (E).
 - f. This request will not require capital expenditures by the City (F).
 - g. The applicant's economic considerations were not used in analyzing this request (G).
 - h. Not applicable (H).
 - i. This is a justified spot zone because it clearly facilitates realization of the Comprehensive Plan and the West Side Strategic Plan (I).
 - j. This request will not create a strip zone. Bed & Breakfast establishments must be located 500' away from each other (J).
13. The applicant has submitted a site development plan for building permit concurrently with this request.
14. The Villages of Parkwest Neighborhood Association was notified of this request and has submitted a letter of support dated June 24, 2007. The applicant has also submitted 10 verified signatures from surrounding property owners who are in support of this request.

CONDITION:

1. The accompanying site development plan for building permit shall obtain final DRB sign-off.
-

On July 19, 2007 the Environmental Planning Commission voted to approve Project 1006522/07EPC 40017, a request for a site development plan for building permit, for Lot 1-P1, Block 16, Parkwest Unit 4, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit for Lot 1-P1, Block 16, Parkwest Unit 4, an approximately 0.15 acre parcel located immediately adjacent to Petroglyph National Monument at the intersection of Petroglyph Avenue NW and Lava Bluff NW. The applicant is proposing to expand the use of the existing home to include bed & breakfast. No exterior changes to the existing building are proposed.
2. The subject site is located in the area designated Developing Urban by the Comprehensive Plan and within the boundaries of the West Side Strategic Plan, the El Rancho Atrisco Phase 2 Sector Plan, and the Northwest Mesa Escarpment Plan.
3. The subject site is currently zoned R-D. The proposed use is not allowable in this zone. The applicant has submitted a concurrent request for a zone map amendment to SU-1 for Bed & Breakfast. This site development plan for building permit is as-built and fulfills Zoning Code requirements for SU-1 zones.
4. The Villages of Parkwest Neighborhood Association was notified of this request and has submitted a letter of support dated June 24, 2007. The applicant has also submitted 10 verified signatures from surrounding property owners who are in support of this request.

CONDITION:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

OFFICIAL NOTICE OF DECISION
JULY 19, 2007
PROJECT #1006522
PAGE 6 OF 6

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 3, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



Richard Dineen
Planning Director

RD/AD/ac

cc: John Valdez, Villages of Park West, 8312 Creekwood Ave. NW, Albuquerque, NM 87120
Tim Settle, Villages of Park West, 8240 Meadowbrook NW, Albuquerque, NM 87120
Charles Usmar, 2608 Lava Bluff Dr. NW, Albuquerque, NM 87120

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/30/2007 Issued By: PLNABG

Permit Number: 2007 070 162 *o* **Category Code 910**

Application Number: 07DRB-70162, Epc Approved Sdp For Build Permit

Address:

Location Description: PETROGLYPH AVE NW BETWEEN LAVA BLUFF NW AND MONUMENT NW

Project Number: 1006522

Applicant

Carol Sue Nordengren

8032 Petroglyph Ave Nw
Albuquerque, NM 87120
480-3870
cnordengren@comcast.net

Agent / Contact

Carol Sue Nordengren

8032 Petroglyph Ave Nw
Albuquerque, NM 87120
480-3870

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

7/30/2007 8:47AM LOC: ANNX
WS# 008 TRANSH 0004
RECEIPT# 00079331-00079331
PERMITH 2007070162 TRSDMG
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
VI \$20.00
CHANGE \$0.00

Thank You

Site Plan and Landscaping CITY OF ALBUQUERQUE
 8032 Petroglyph Av. NW "SOLID WASTE"
 zone change R-D to SU-1 MANAGEMENT DEPARTMENT
 APPROVED 7/27/07

Bed + Breakfast

Lot size: 6695 sq. ft.
 House size: 1470 sq. ft.
 Garage: 412 sq. ft.

June 6, 2007

AFD PLANS CHECKING OFFICE
 924-3611

APPROVED/DISAPPROVED

SIGNATURE & DATE

LEGEND

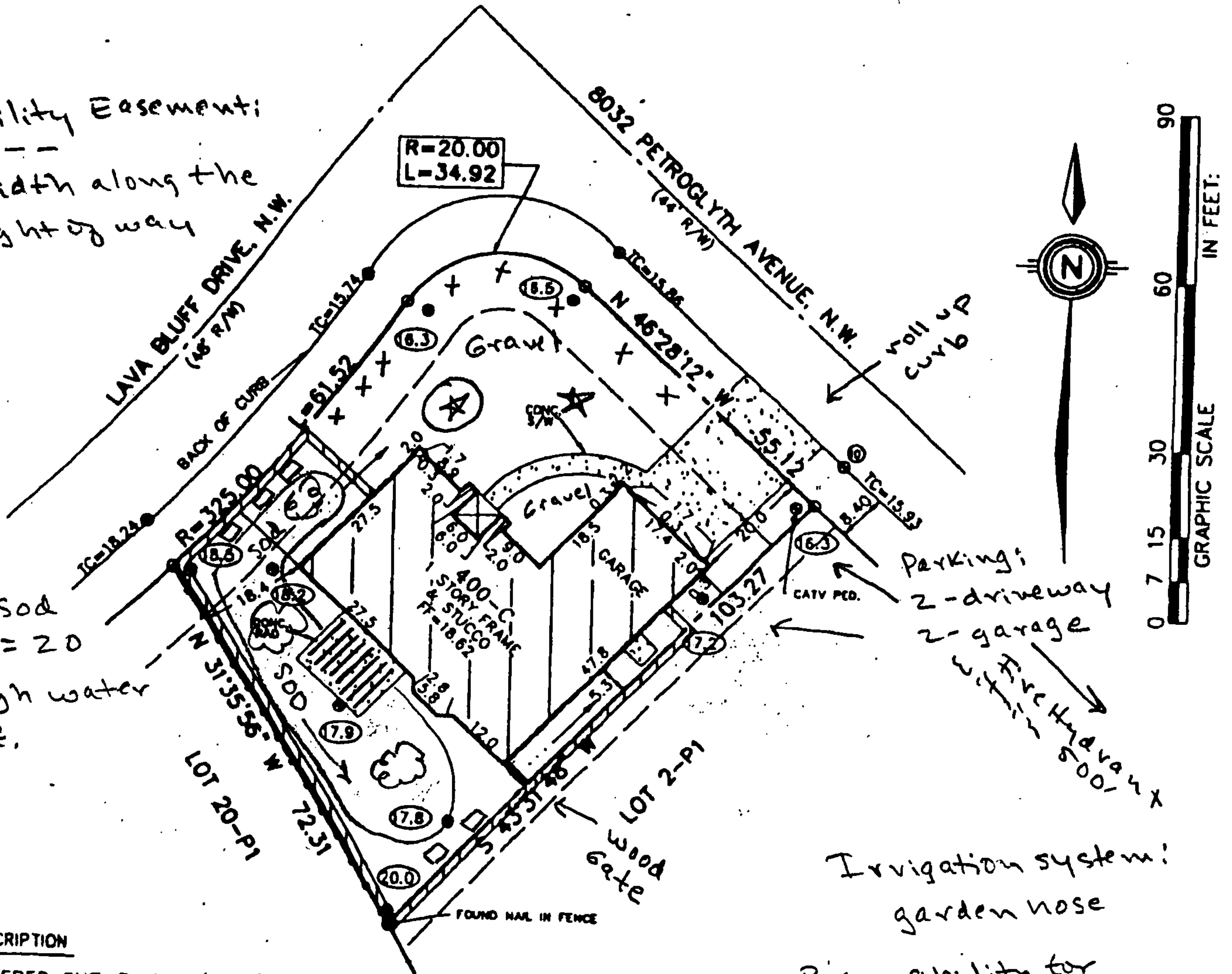
- WOOD FENCE (TYP.)
- EXISTING SPOT ELEVATION (TYP.)
- ▨ BLOCK WALL (HEIGHT VARIES) (TYP.)
- ▭ COVERED AREA
- FLOW ARROW
- ⊙ FND 10' REFERENCE POINT

- ▨ Pergola
- ⊙ Desert willow
- x Rosemary
- Rose Bushes
- ⊙ Modesto Ash
- ★ Pinon

Elevation:
 1 story

Public Utility Easement:
 10' in width along the
 street right of way
 line.

Back yard sod
 800 sq. ft. = 20
 % of high water
 use turf.



LEGAL DESCRIPTION

LOT NUMBERED ONE-P-ONE (1-P1) BLOCK NUMBERED SIXTEEN (16),
 PARKWEST UNIT 4, COMPRISED OF TRACT A-1 OF PARKWEST UNIT 5,
 SITUATE WITHIN TOWN OF ATRISCO GRANT, "PROJECTED" SECTIONS
 4 AND 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL
 MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS
 THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION,
 FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW
 MEXICO, ON JUNE 06, 1996 IN VOLUME 96C, FOLIO 244.

Irrigation system:
 garden hose
 Responsibility for
 maintenance - Owner

Site Plan and Landscaping **CITY OF ALBUQUERQUE**
 8032 Petroglyph Ave. NW "SOLID WASTE"
 zone change R-D to SU-1 **MANAGEMENT DEPARTMENT**
 Bed + Breakfast **APPROVED 7/27/07**

Lot size: 6695 sq. ft.
 House size: 1470 sq. ft.
 Garage: 412 sq. ft.

June 6, 2007
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
[Signature] 7/27/07
SIGNATURE & DATE

PROJECT NUMBER: 1006522

Application Number: 07-DRB-70162

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 7/19/07 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature]
 Traffic Engineering, Transportation Division 8-8-07
 Date

[Signature]
 ABCWUA 8/8/07
 Date

[Signature]
 Christina Sandora
 Parks and Recreation Department 8/8/07
 Date

[Signature]
 Bradley L. Byham
 City Engineer 8/8/07
 Date

NA
 * Environmental Health Department (conditional) _____
 Date

NA
 Solid Waste Management _____
 Date

[Signature]
 DRB Chairperson, Planning Department 8/08/07
 Date

*Environmental Health, if necessary