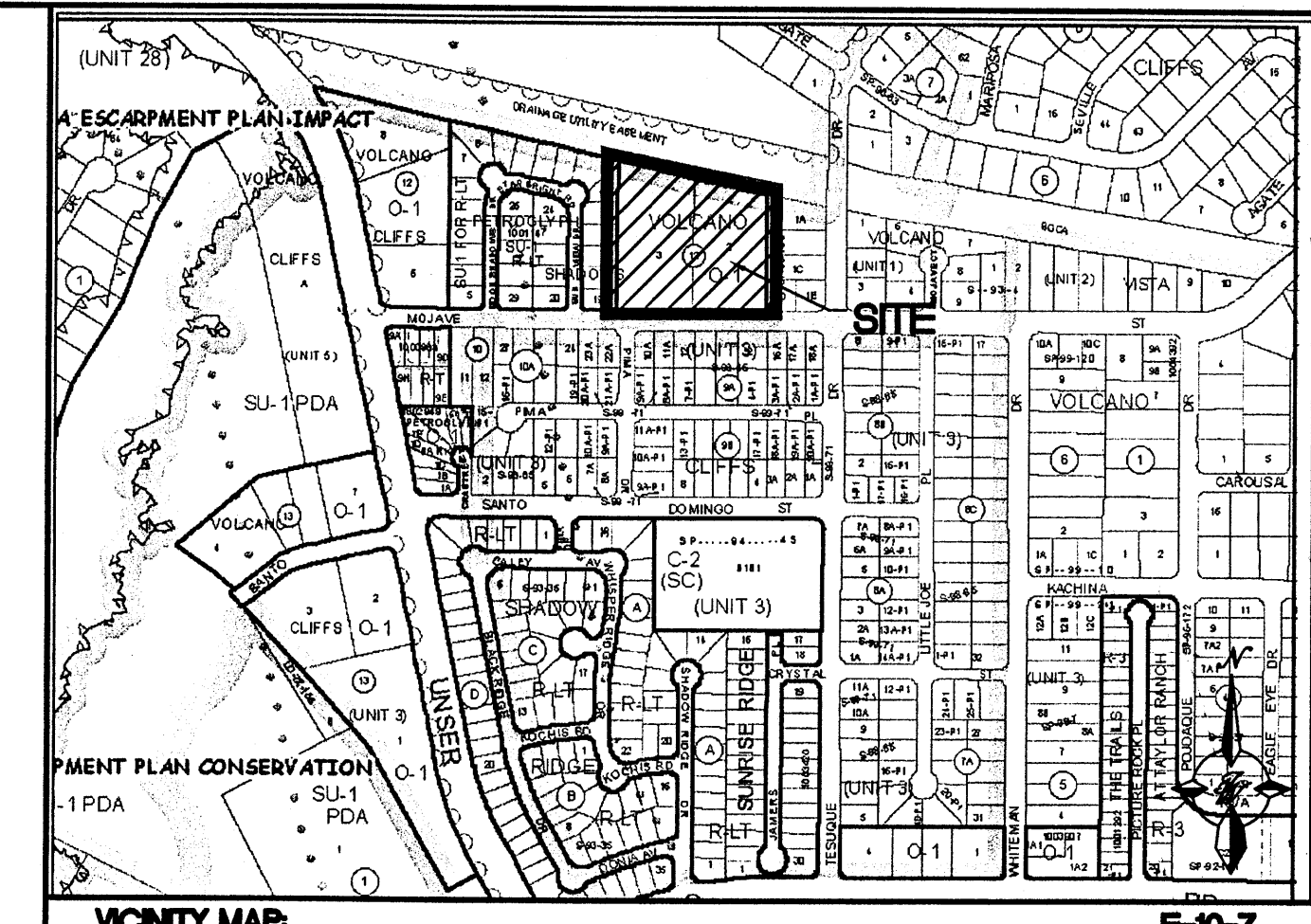


1006537



LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- - - RIGHT-OF-WAY
- - - PROPOSED BUILDING LOTS
- - - PROPOSED PERIMETER WALL
- - - PROPOSED RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING LANE
- - - EXISTING STRIPING
- - - PROPOSED SIDEWALKS
- - - DEFERRED SIDEWALKS

LEGAL DESCRIPTION: LOTS 2 & 3, BLOCK 12 Volcano Cliffs Subdivision

NOTES TO SITE PLAN

- 1) There shall be an additional 5' of setback for the houses along Mojave St. which will increase the side yard setback to 15 feet.
- 2) The layout of the property shall accommodate (2) view corridors that follow the north-south interior streets from Mojave to the National Monument.
- 3) There shall be a minimum of one pedestrian connection from the development to the National Monument.
- 4) View fencing shall be provided on the north side of the subdivision with a combination of split face black and open wrought iron or tubular steel fencing. The View Fence shall match the View Fence constructed at "Petroglyph Shadows" The Subdivision to the West.
- 7) Grading shall reflect the natural ground of the property as much as possible. Must meet City requirements.
- 8) Garages shall meet the following criteria:
Each home must have a garage and driveway sufficient to park up to four vehicles for 1 and/or 2 bedroom homes. 5 spaces are required for 3 and/or 4 bedroom homes, 6 spaces required for 5 or more bedrooms.
Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8")
Total width of Garage doors shall not exceed 34 feet.
The garage doors shall be no greater than 8 feet in height.
Half of the lots shall have a choice: The garage shall either be rotated 90 degrees from the front facade, or the garage shall be setback and additional 5 ft. from the front facade of the living quarters, portion of the house.
Garage doors that face the street will be painted the color of the majority of the house.

9) Solar panels:
No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plan.
The foregoing requirement shall be a condition of approval of this plat or site development plan for subdivision.

- 10) Height of walls and fences adjacent to the Boca Negra Arroyo shall not exceed 6 ft.
- 11) Structure height shall not exceed 15 ft.
- 12) The exterior colors of houses and roofs shall be per the approved color range found in the NWMEP. Trim material on facades constituting less than 20% of the facade's opaque surface may be any color.
- 13) Glass on any facade shall not be reflective or mirror glass.
- 14) No exposed roof mounted heating or air-conditioning equipment shall be permitted. Roof mounted heating and air-conditioning equipment shall be fully screened from views, both from the ground and from the escarpment.

15) ALL Lots are P2 designated lots.

LOT INFORMATION TABLE

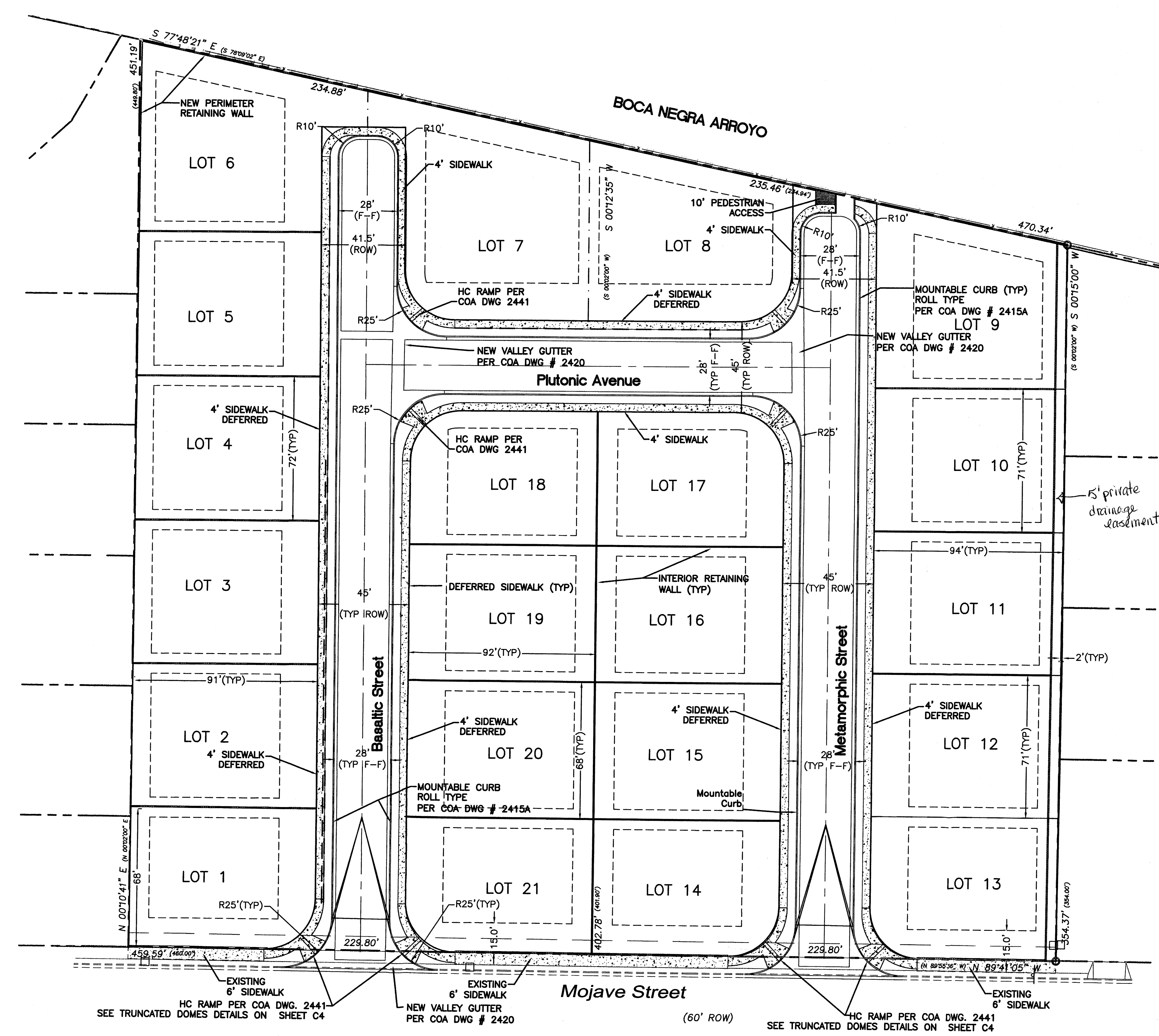
LOT#	BLDG. ENV. - SF	LOT - SF
LOT-1	3,198.50 - SF	6,327.44 - SF
LOT-2	3,945.39 - SF	6,582.28 - SF
LOT-3	3,945.39 - SF	6,559.70 - SF
LOT-4	3,945.39 - SF	6,537.15 - SF
LOT-5	3,945.39 - SF	6,514.59 - SF
LOT-6	4,312.59 - SF	8,314.04 - SF
LOT-7	5,136.88 - SF	9,354.00 - SF
LOT-8	4,185.70 - SF	8,144.65 - SF
LOT-9	4,119.80 - SF	7,884.00 - SF
LOT-10	3,887.48 - SF	6,643.68 - SF
LOT-11	3,887.48 - SF	6,615.35 - SF
LOT-12	3,887.48 - SF	6,587.07 - SF
LOT-13	3,243.72 - SF	6,254.88 - SF
LOT-14	3,222.56 - SF	6,093.52 - SF
LOT-15	3,708.56 - SF	6,285.88 - SF
LOT-16	3,708.56 - SF	6,286.08 - SF
LOT-17	3,387.48 - SF	6,011.48 - SF
LOT-18	3,387.41 - SF	6,012.45 - SF
LOT-19	3,708.56 - SF	6,286.07 - SF
LOT-20	3,708.56 - SF	6,285.98 - SF
LOT-21	3,004.36 - SF	6,070.87 - SF

PROJECT NUMBER: 1006537
APPLICATION NUMBER: 07DRB-70249

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

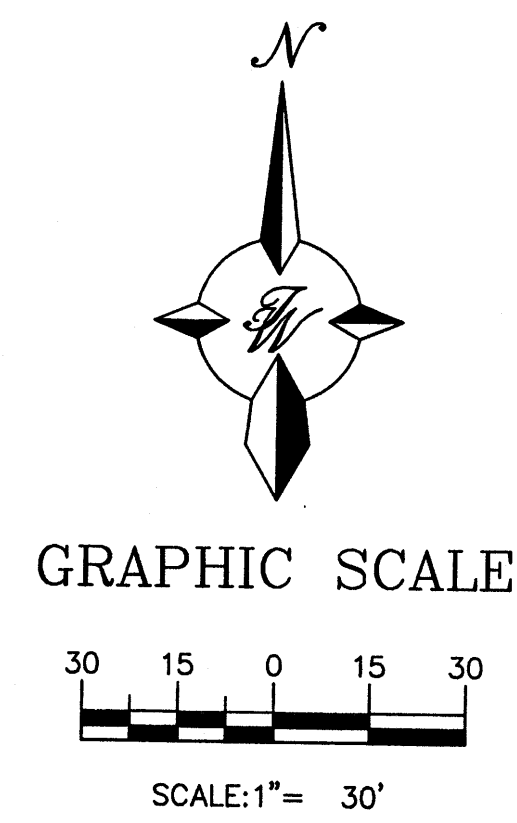
Traffic Engineering Transportation Division	10-24-07
Water Utility Development, RACWA	10-24-07
Christina Dandora Parks & Recreation Department	10/24/07
Bradley S. Bingham City Engineer	10/24/07
NA * Environmental Health Department (conditional)	Date
NA Solid Waste Management	Date
DRB Chairperson, Planning Department	10/24/07
* Environmental Health, if necessary	Date



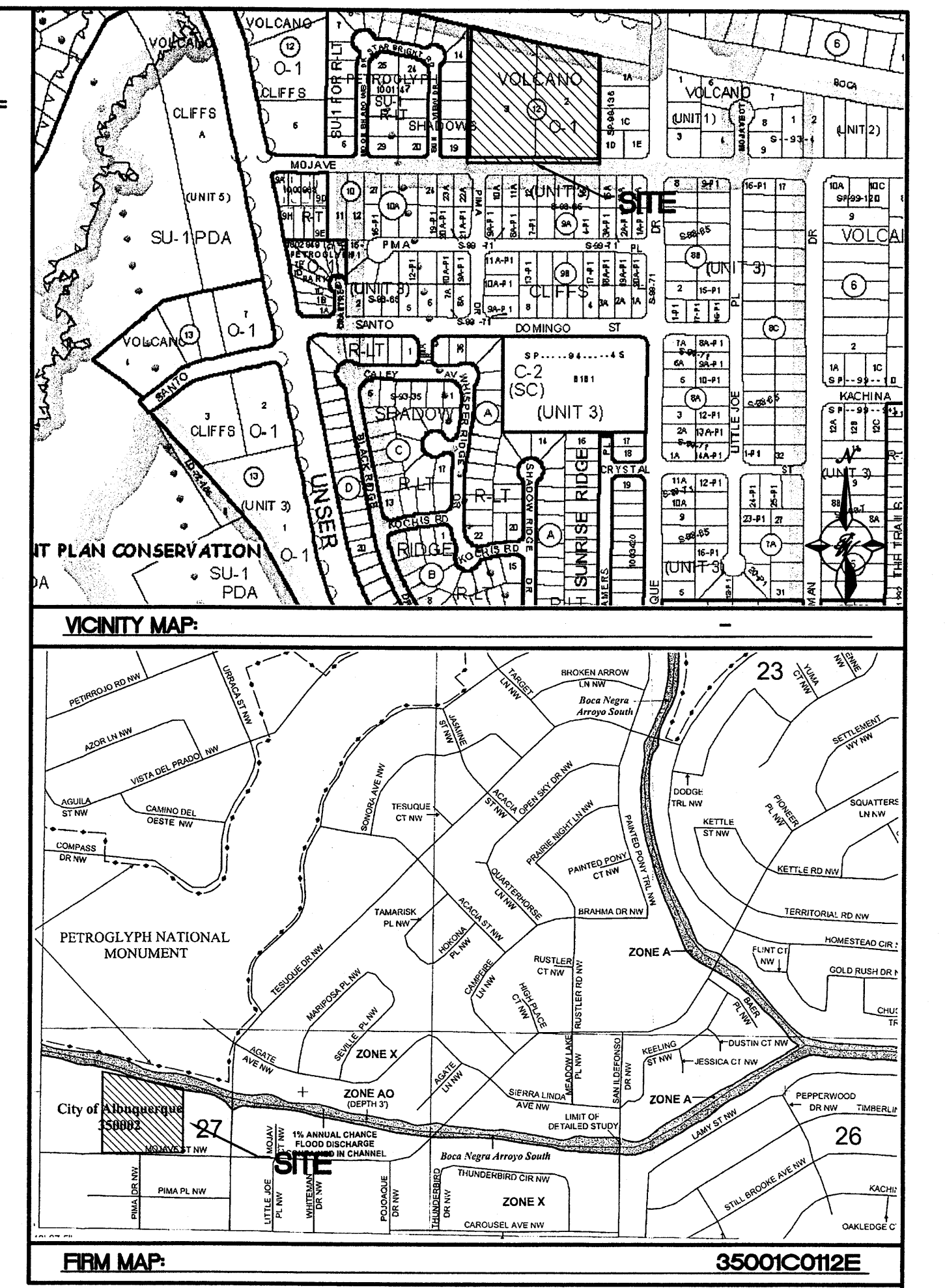
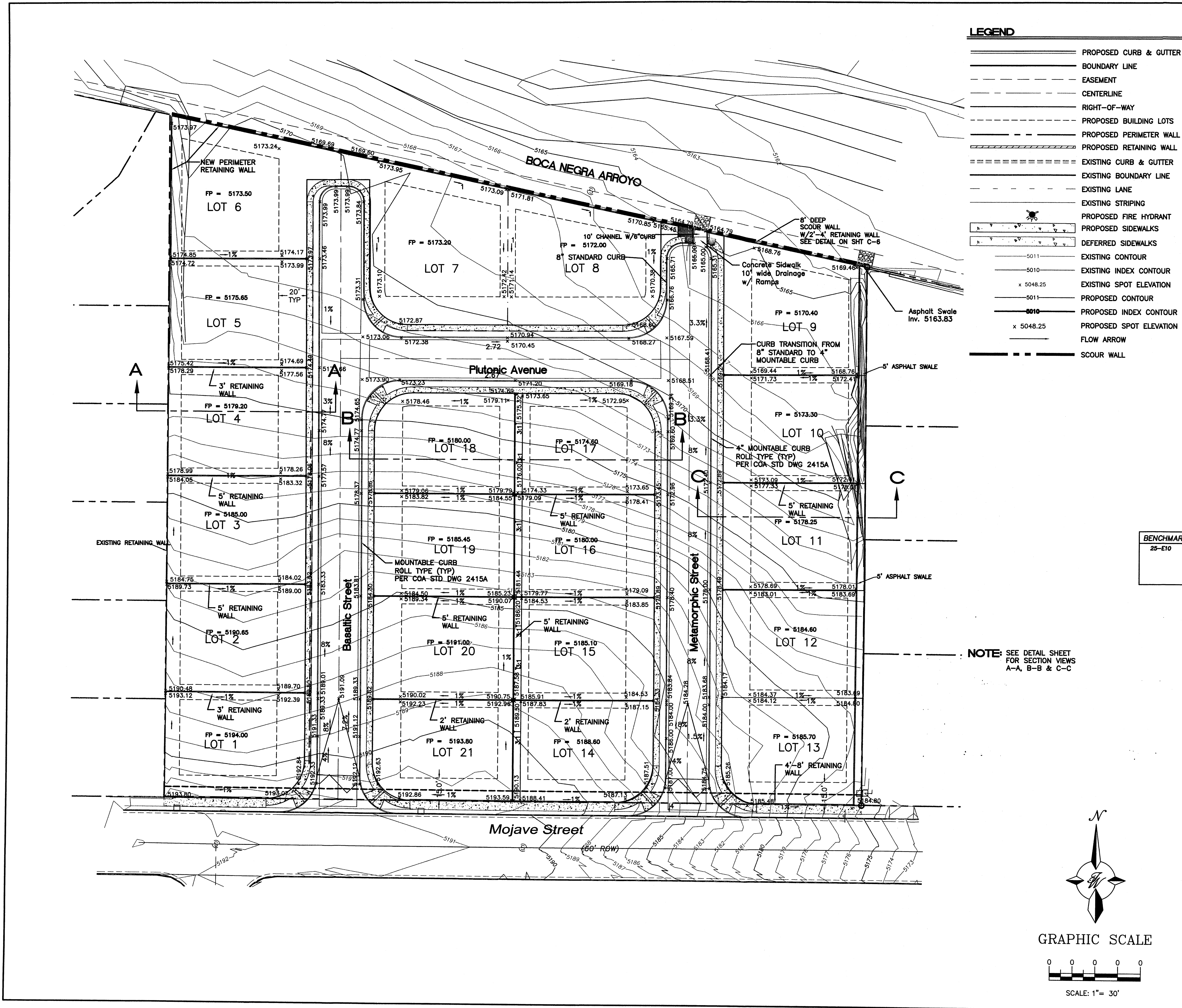
SITE DATA

PROPOSED USAGE:	SINGLE FAMILY HOUSING
TRACT AREA:	(4.2520 ACRES)
NUMBER OF LOTS :	21
DENSITY :	4.94 UNITS PER ACRE
ZONING:	R-1

- INDEX TO DRAWINGS**
- C1. SITE PLAN
 - C2. GRADING PLAN
 - C3. MASTER UTILITY PLAN
 - C4. DETAILS - SECTION VIEWS AND SCOUR WALL
 - C5. RETAINING AND SCREEN WALL PLAN
 - C6. RETAINING AND SCREEN WALL DETAILS
 - C7. RETAINING AND SCREEN WALL DETAILS
 - L1. LANDSCAPING



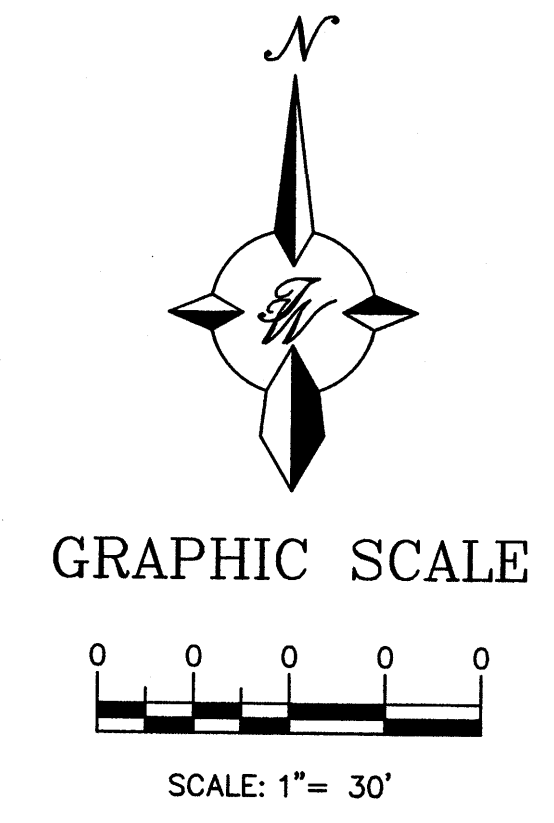
ENGINEER'S SEAL 	PETROGLYPH EDGE	DRAWN BY BJF
	SITE PLAN FOR SUBDIVISION	DATE 09/27/07
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 27062



NOTE: ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

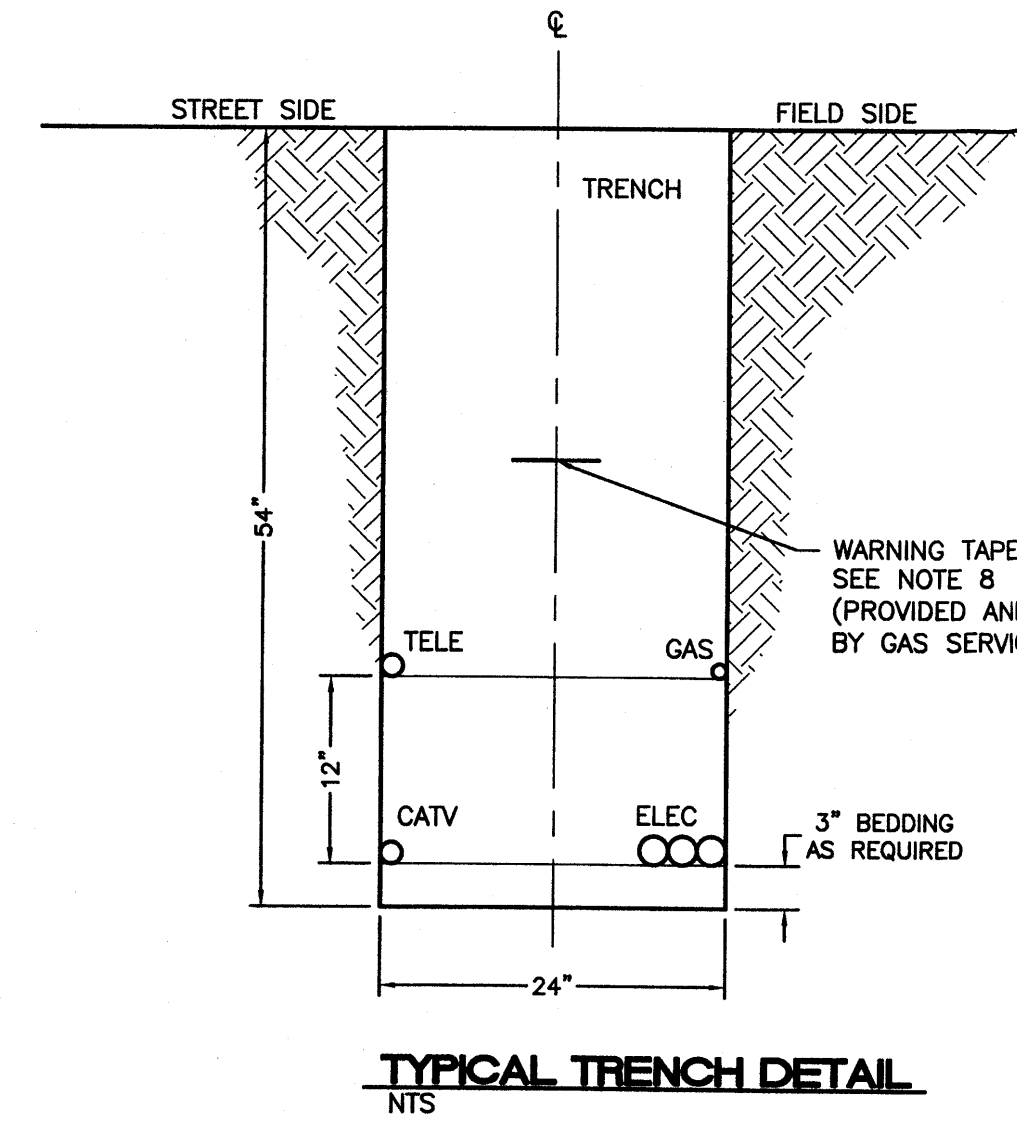
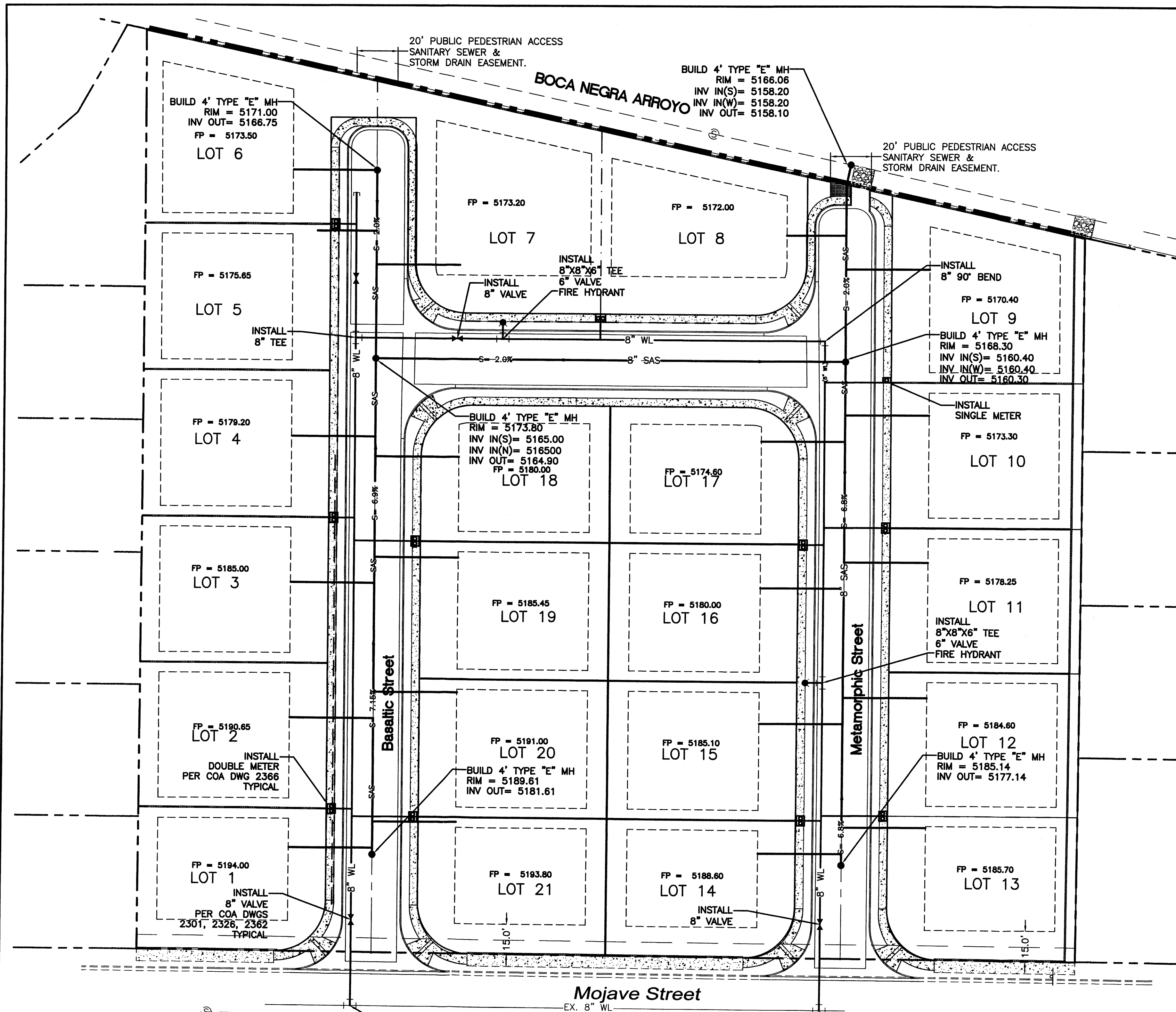
BENCHMARK	ELEVATION	DESCRIPTION	ORDER/CLASS
25-E10	5162.69 NGVD 1929	ACS STATION BEING 1 3/4" ALUMINUM CAP, STAMPED "A25-E10 2003", SET FLUSH ON TOP OF CONCRETE CURB 12.0 FEET WEST OF THE EAST NORTHEAST CURB RETURN OF MONTANO ROAD AND TESUQUE DRIVE, NW, AND 0.18 MILES EAST OF UNSER BOULEVARD NW.	2ND-ORDER 1ST CLASS

NOTE: SEE DETAIL SHEET FOR SECTION VIEWS A-A, B-B & C-C

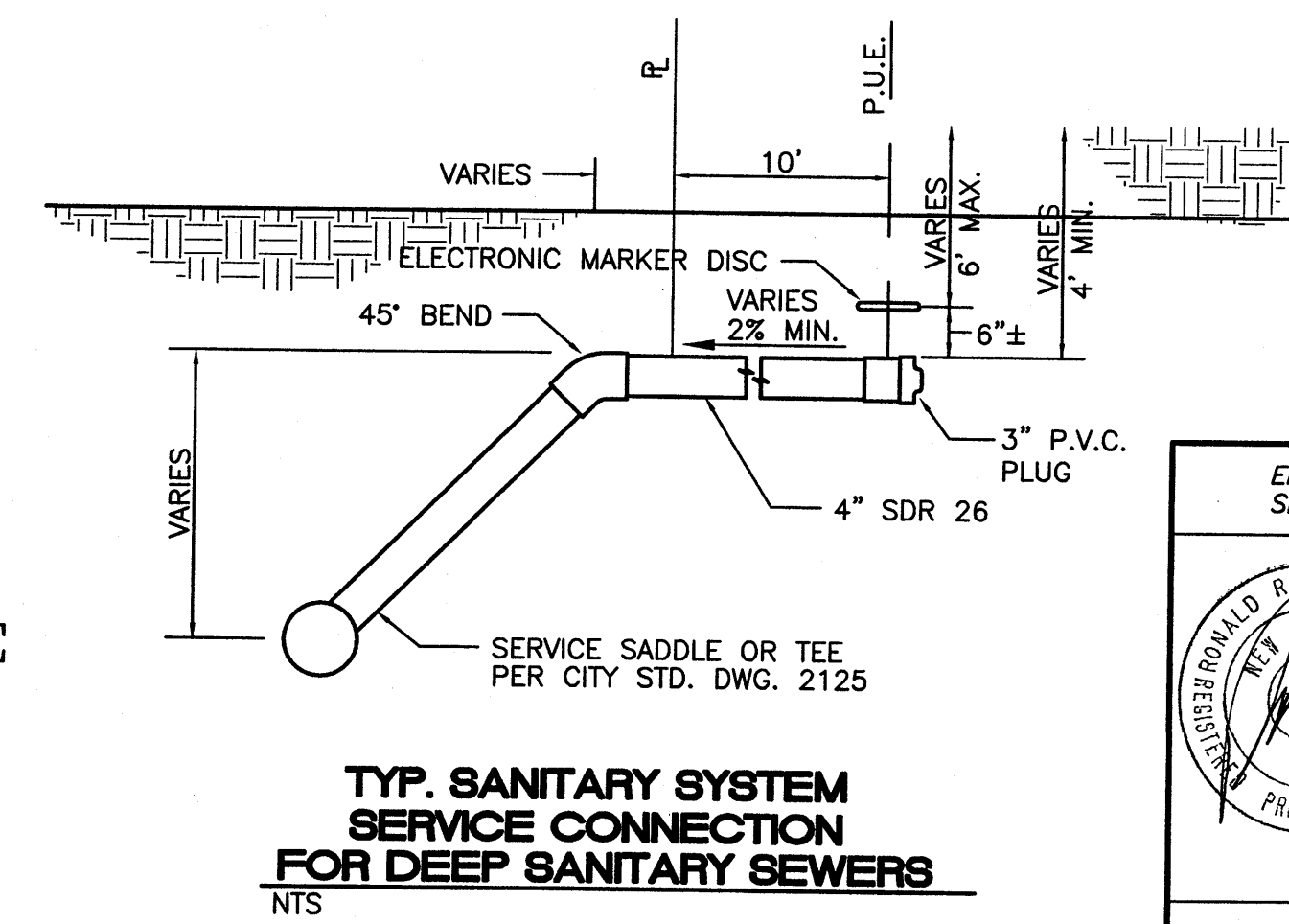
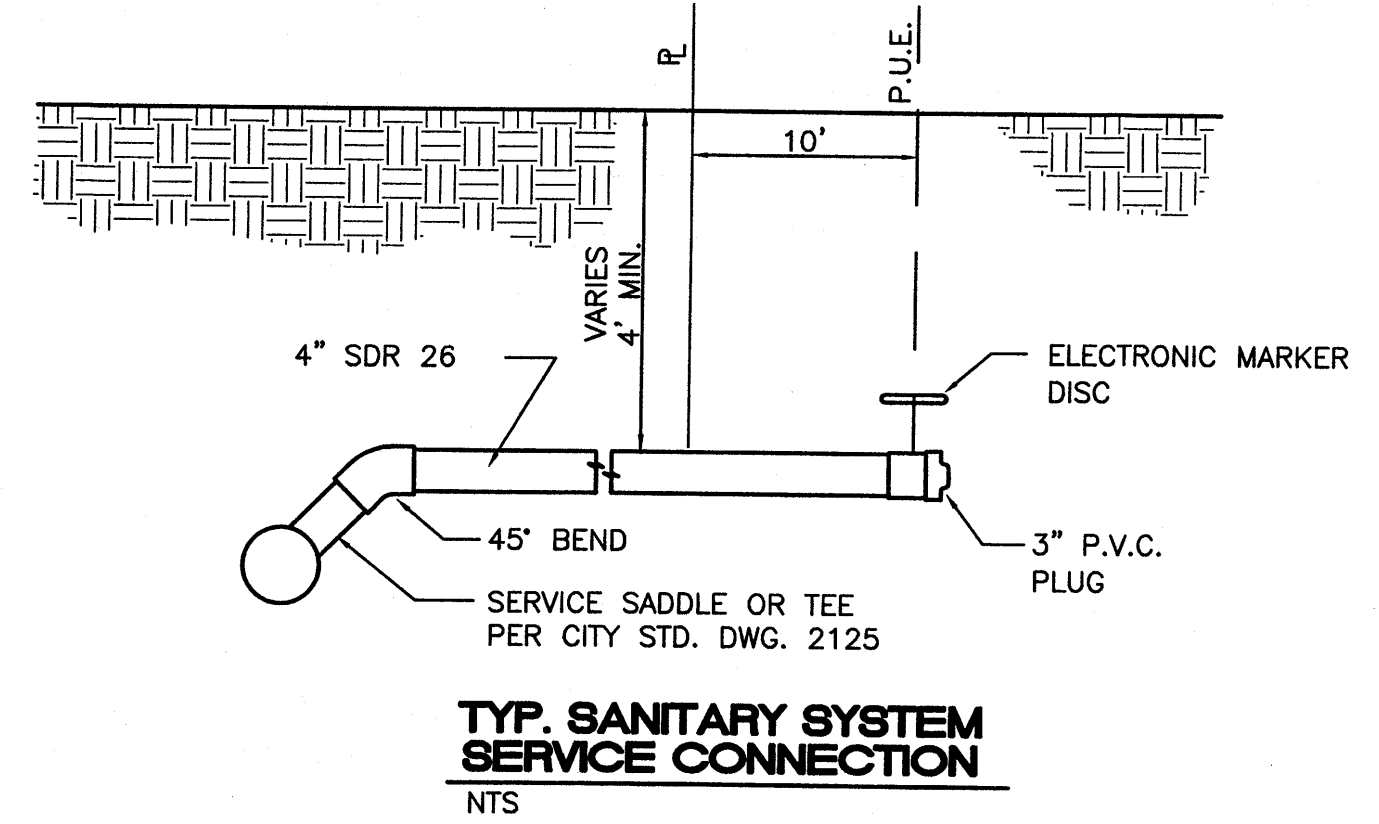


ROUGH GRADING APPROVAL _____ DATE _____

	PETROGLYPH EDGE	DRAWN BY BJF
	GRADING AND DRAINAGE PLAN	DATE 9/27/07
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)856-3100		SHEET # C2
		JOB # 27062

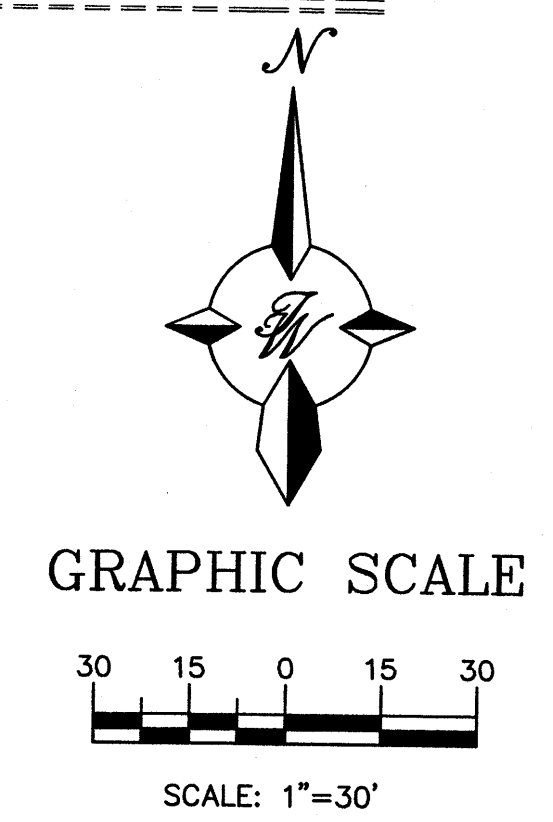


- GENERAL NOTES:**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
 2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
 3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL REQUIREMENTS TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
 4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLE SHALL BE AT LEAST 12".
 5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
 6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
 7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
 8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.

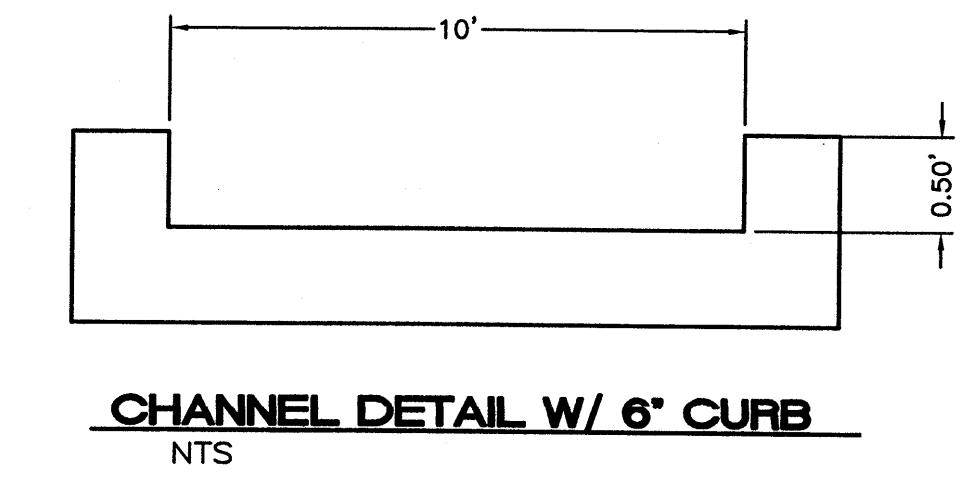
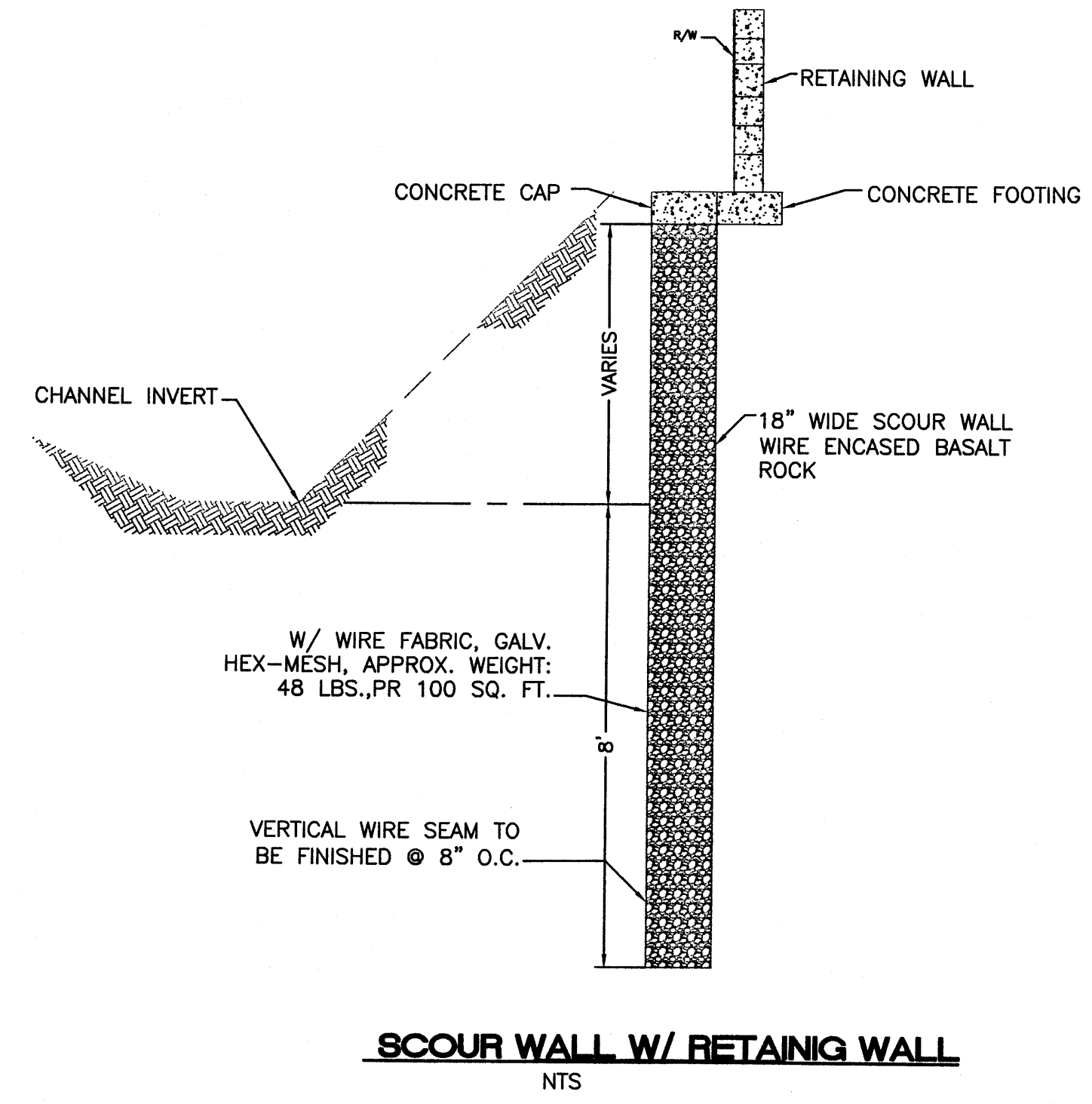
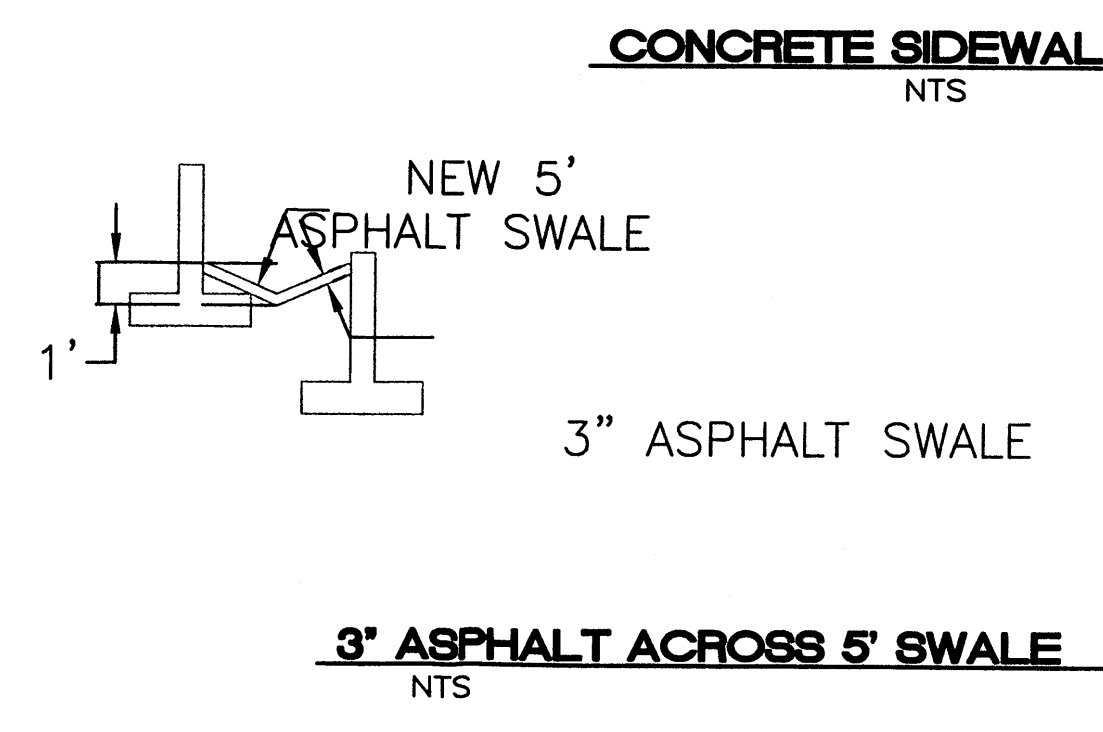
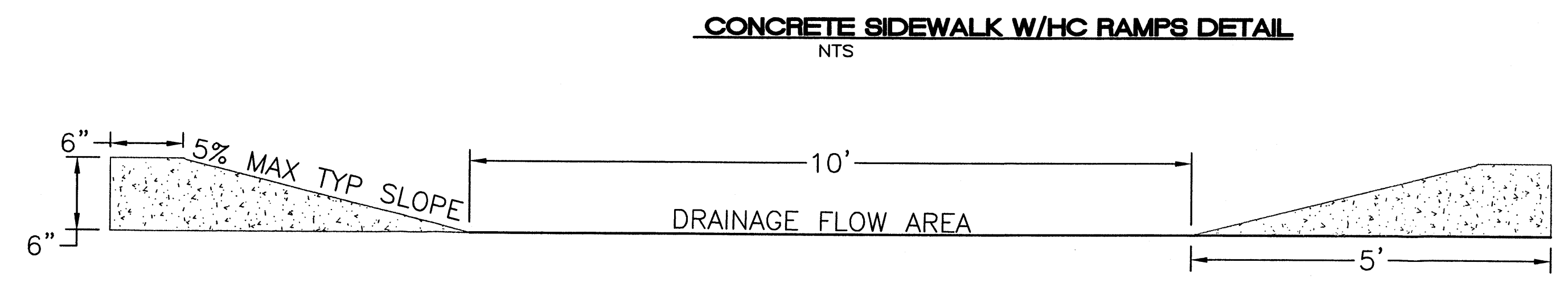
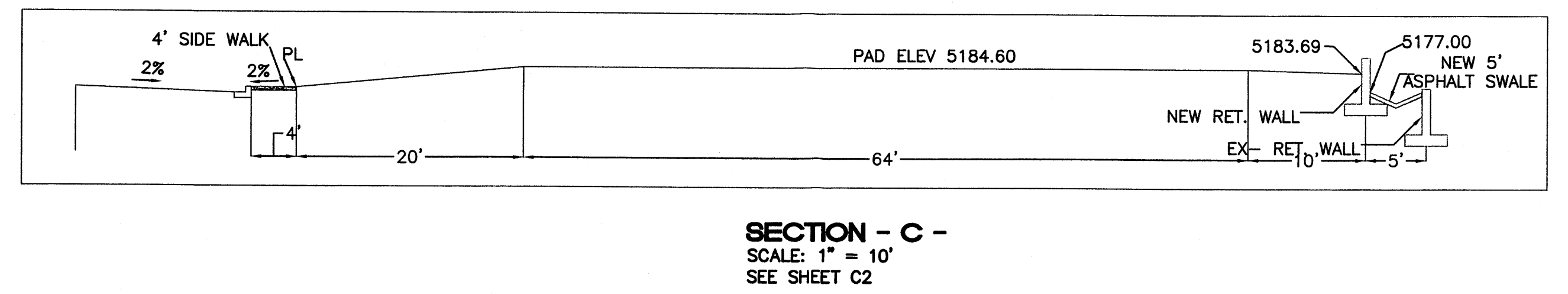
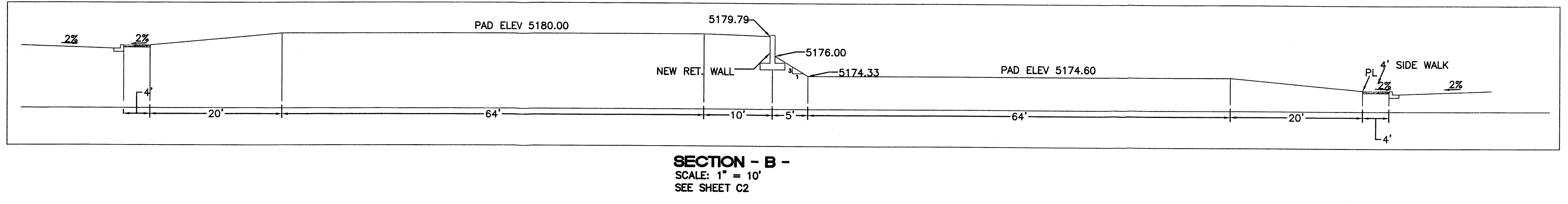
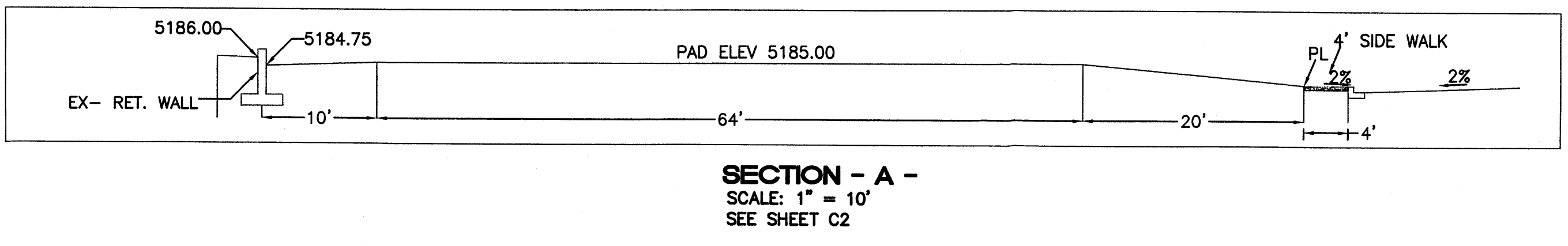
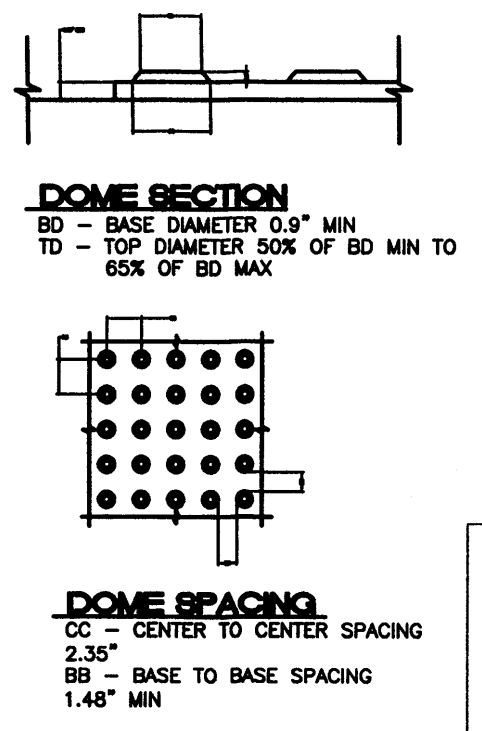
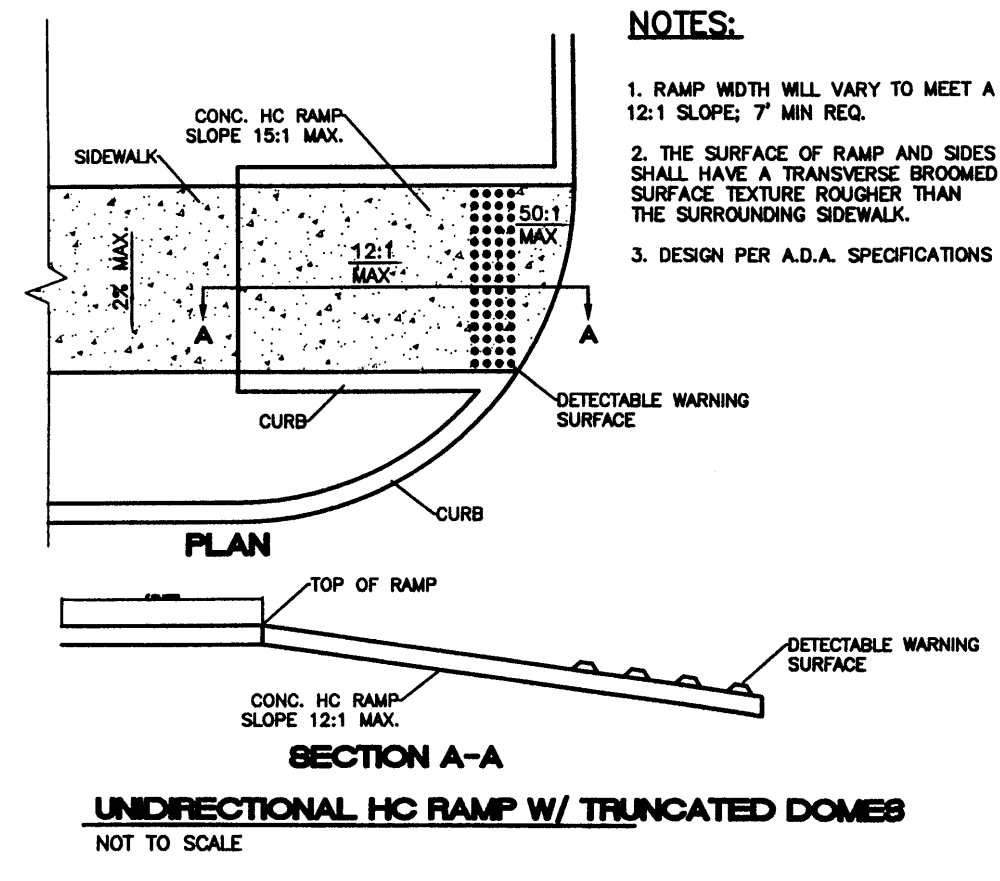


LEGEND

=====	EXISTING CURB & GUTTER
-----	BOUNDARY LINE
- - - - -	EXISTING BOUNDARY LINE
- - - - -	EASEMENT
- - - - -	PROPOSED EASEMENT
- - - - -	PROPOSED SCOUR WALL
- - - - -	PROPOSED RETAINING WALL
- - - - -	PROPOSED SIDEWALK
- - - - -	DEFERRED SIDEWALKS
⊕	EXISTING INLET
⊕	EXISTING SAS MANHOLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING POWER POLE
⊕	EXISTING GAS VALVE
⊕	PROPOSED PARKING LOT LIGHT
⊕	PROPOSED CLEAN OUT
⊕	PROPOSED DOUBLE CLEAN OUT
U	EXISTING OVERHEAD UTILITIES
-EX. UGE-	EXISTING UNDERGROUND UTILITIES
-EX. 2" GAS-	EXISTING GAS
-EX. 8" SAS-	EXISTING SANITARY SEWER LINE
-EX. 10" WL-	EXISTING WATER LINE
-EX. 18" RCP-	EXISTING STORM SEWER LINE
-38" SD-	PROPOSED STORM SEWER LINE
-8" SAS-	PROPOSED SANITARY SEWER LINE
●	PROPOSED FIRE HYDRANT
-8" WL-	PROPOSED WATERLINE



<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>PETROGLYPH EDGE</p> <p>DRAWN BY BJF</p>	<p>DATE 09/27/07</p>
	<p>MASTER UTILITY PLAN</p> <p>2762-MUB</p>	<p>SHEET # C3</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100</p>	



LOT INFORMATION TABLE

LOT NUMBER	BLDG ENVELOPE - SF	TOTAL LOT - SF
LOT - 1	3,487.80 - SF	6,327.44 - SF
LOT - 2	3,945.39 - SF	6,582.26 - SF
LOT - 3	3,945.39 - SF	6,559.70 - SF
LOT - 4	3,945.39 - SF	6,537.15 - SF
LOT - 5	3,945.39 - SF	6,514.59 - SF
LOT - 6	4,312.59 - SF	8,314.04 - SF
LOT - 7	5,136.88 - SF	9,354.00 - SF
LOT - 8	4,185.70 - SF	8,144.65 - SF
LOT - 9	4,119.80 - SF	7,864.00 - SF
LOT - 10	3,887.48 - SF	6,643.68 - SF
LOT - 11	3,887.48 - SF	6,615.35 - SF
LOT - 12	3,887.48 - SF	6,693.26 - SF
LOT - 13	3,554.19 - SF	6,508.96 - SF
LOT - 14	3,338.10 - SF	6,075.10 - SF
LOT - 15	3,708.56 - SF	6,245.65 - SF
LOT - 16	3,708.56 - SF	6,222.93 - SF
LOT - 17	3,387.48 - SF	6,019.23 - SF
LOT - 18	3,387.41 - SF	6,097.46 - SF
LOT - 19	3,708.56 - SF	6,323.14 - SF
LOT - 20	3,708.56 - SF	6,300.26 - SF
LOT - 21	3,315.43 - SF	6,086.47 - SF

ENGINEER'S SEAL

PETROGLYPH EDGE

DETAIL SHEET

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100

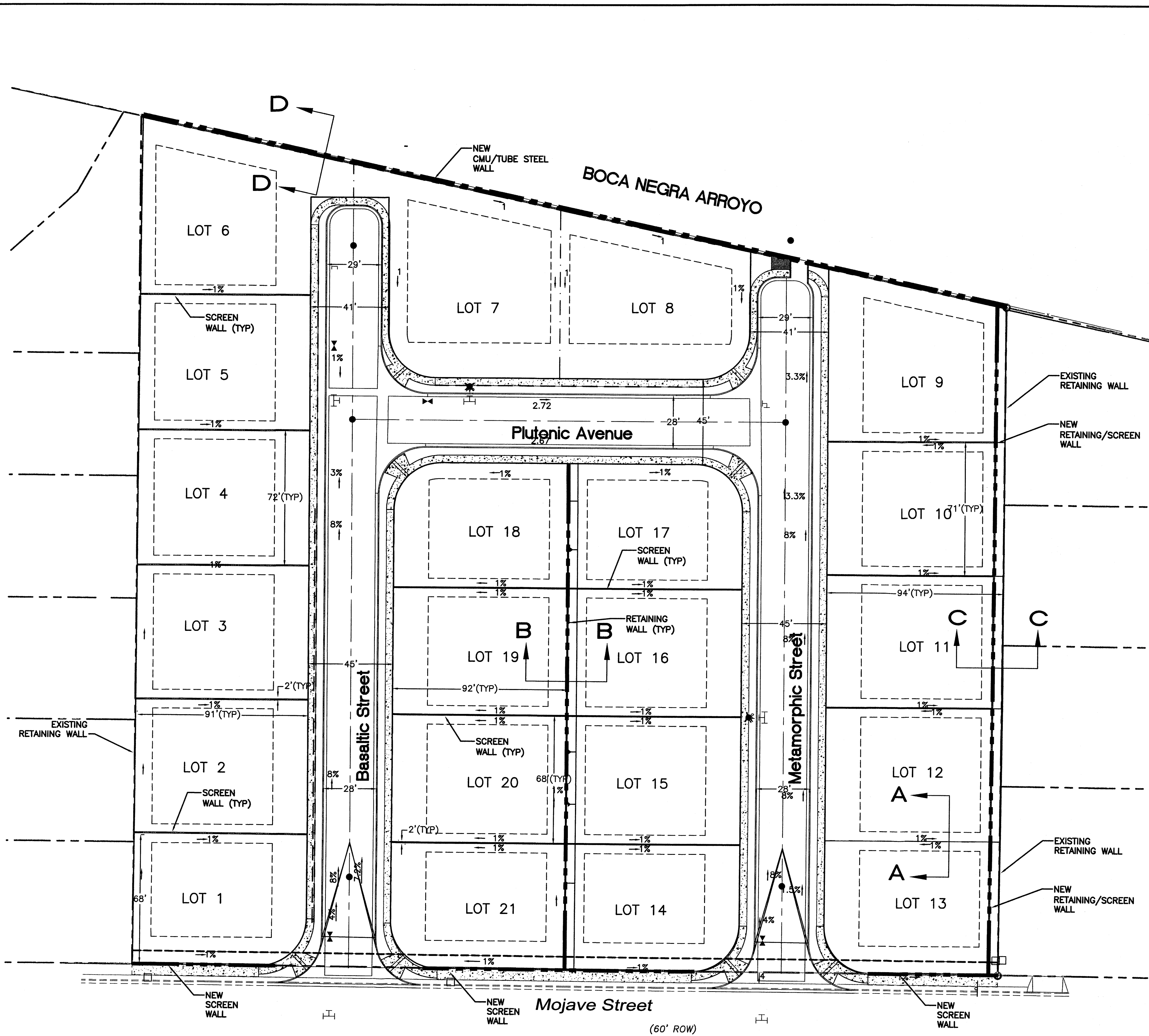
DRAWN BY
BJF

DATE
09/27/07

2762-DETAIL

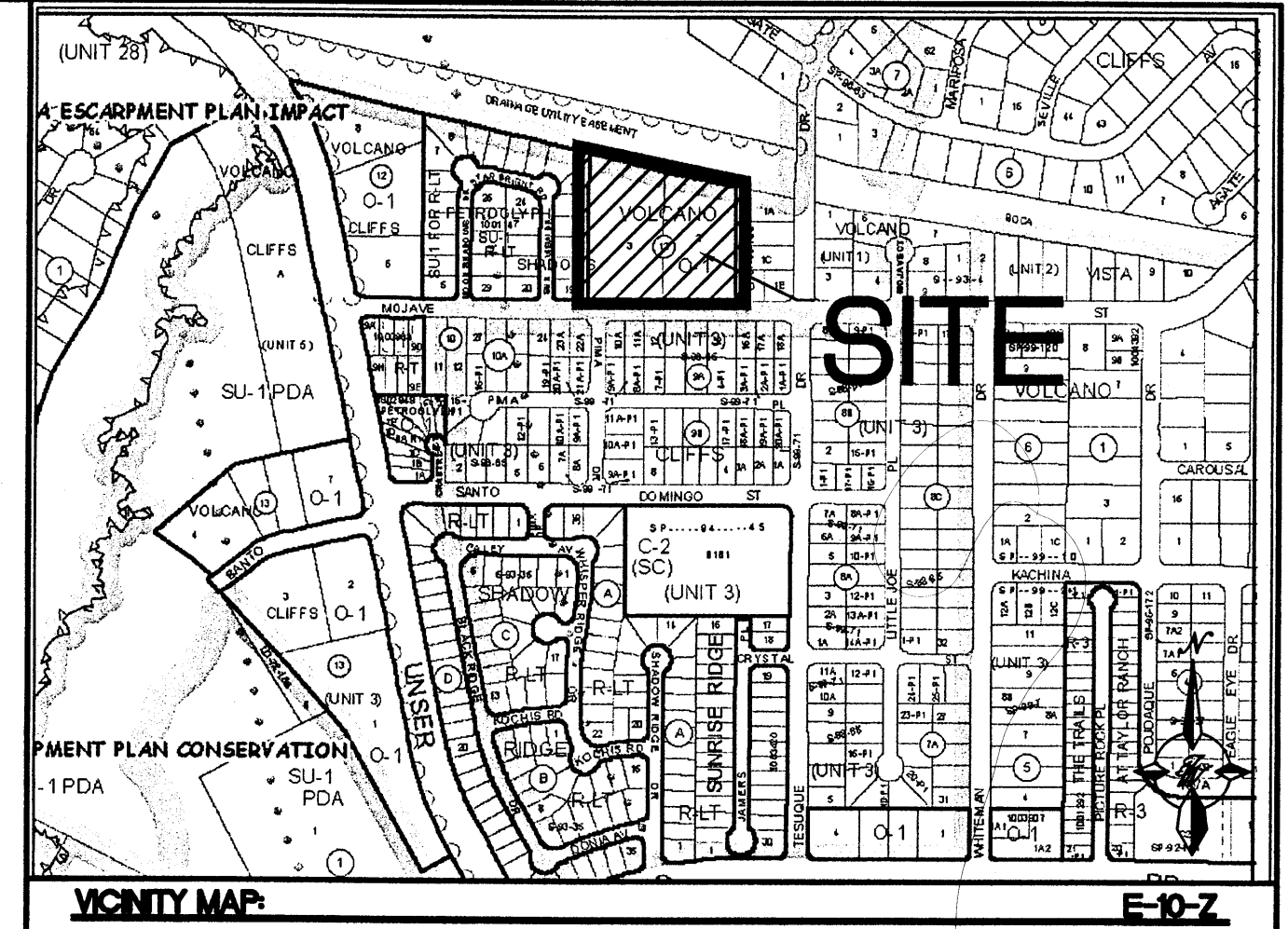
SHEET #
C4

JOB #
27062

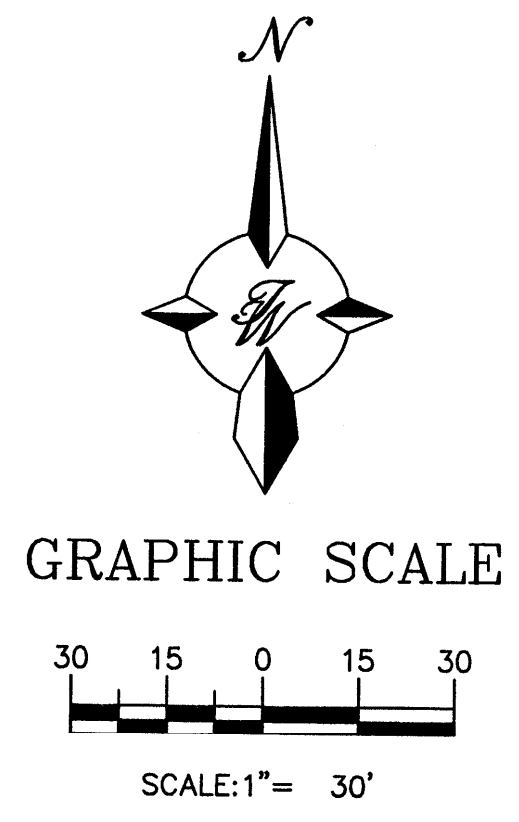


LEGEND

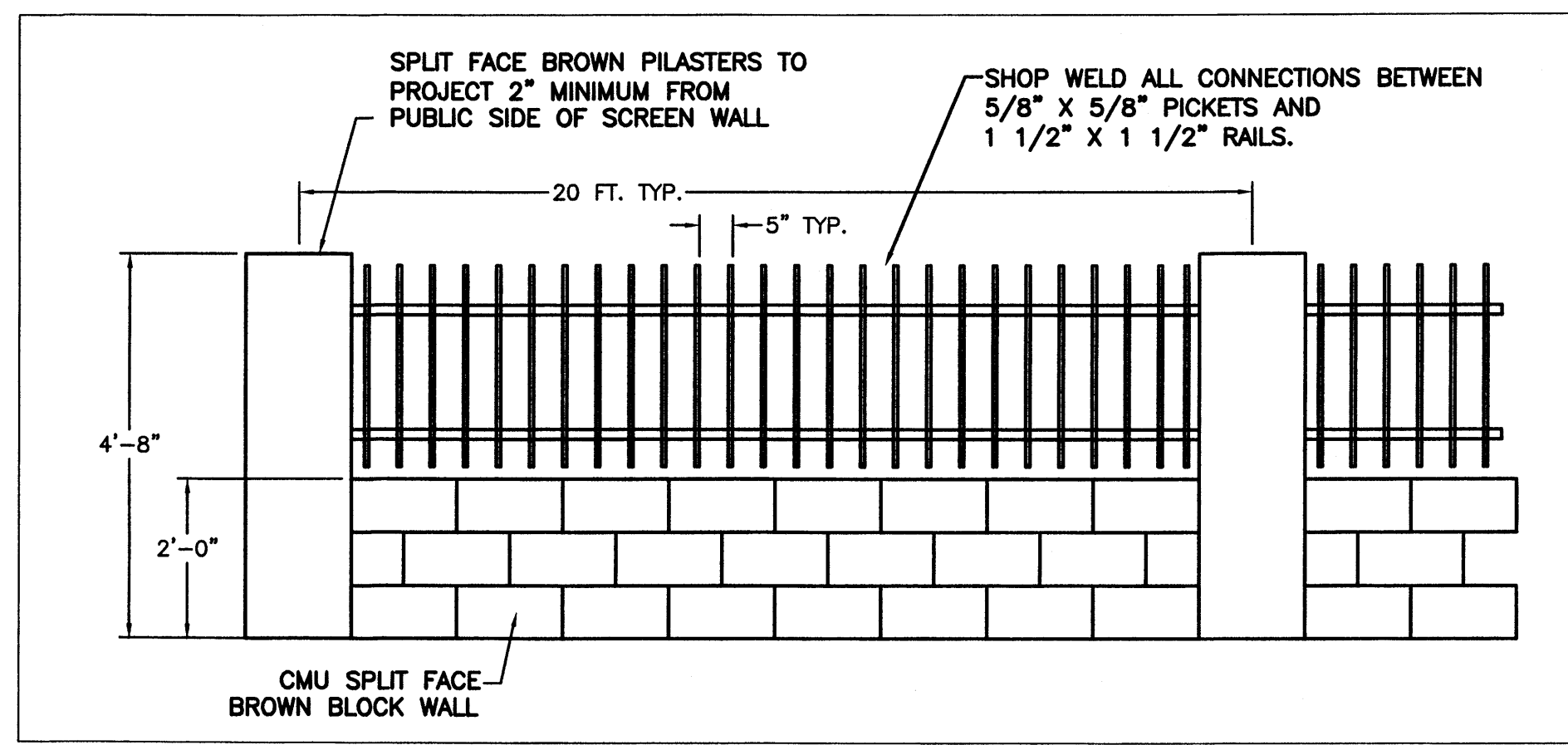
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	RIGHT-OF-WAY
	PROPOSED BUILDING LOTS
	PROPOSED WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE



LEGAL DESCRIPTION
 LOTS 2 & 3, BLOCK 12 Volcano Cliffs Subdivision

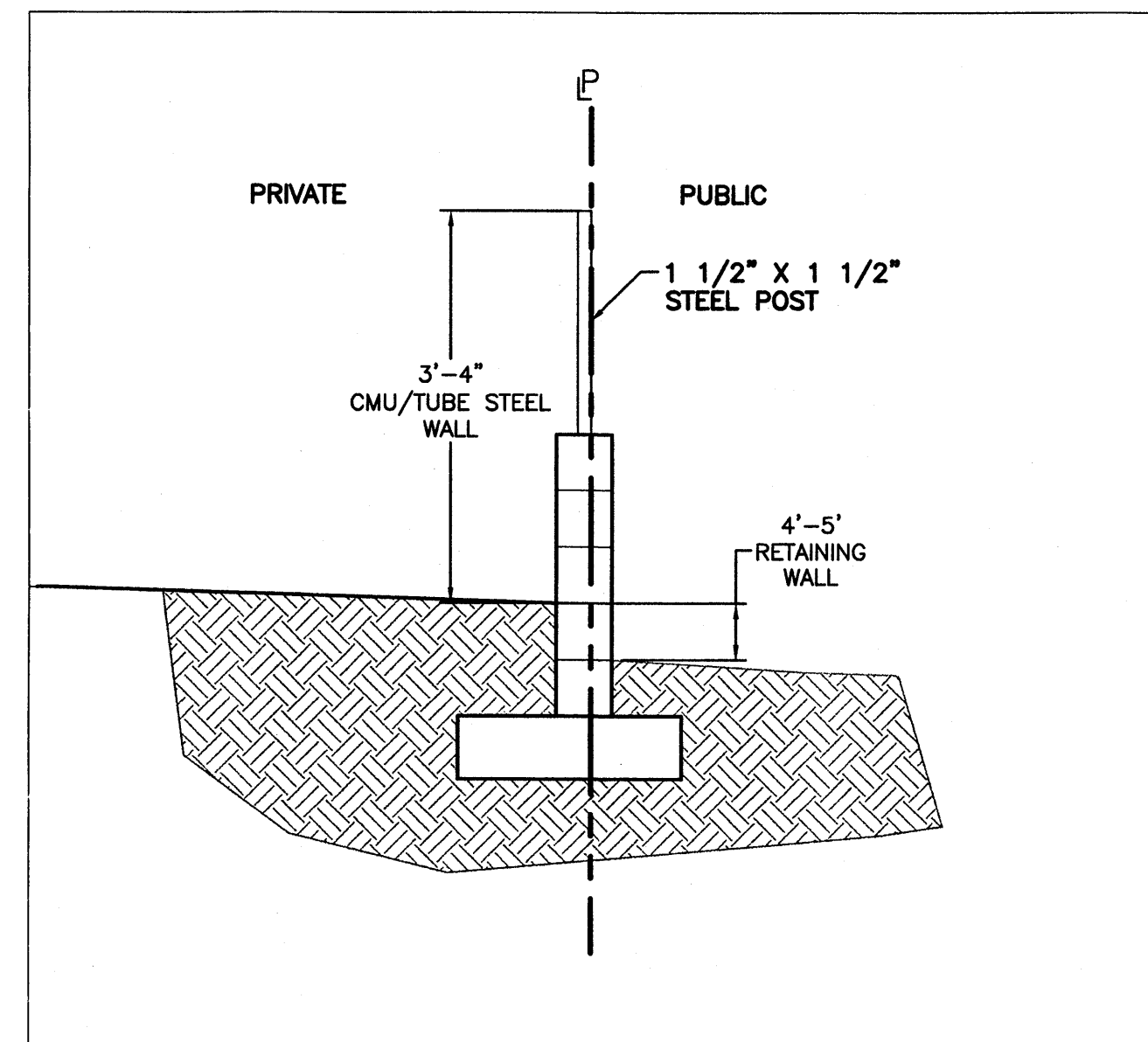


	ENGINEER'S SEAL PETROGLYPH EDGE	DRAWN BY BJF
	RETAINING AND SCREEN WALL PLAN	DATE 09/27/07
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C5	JOB # 27062



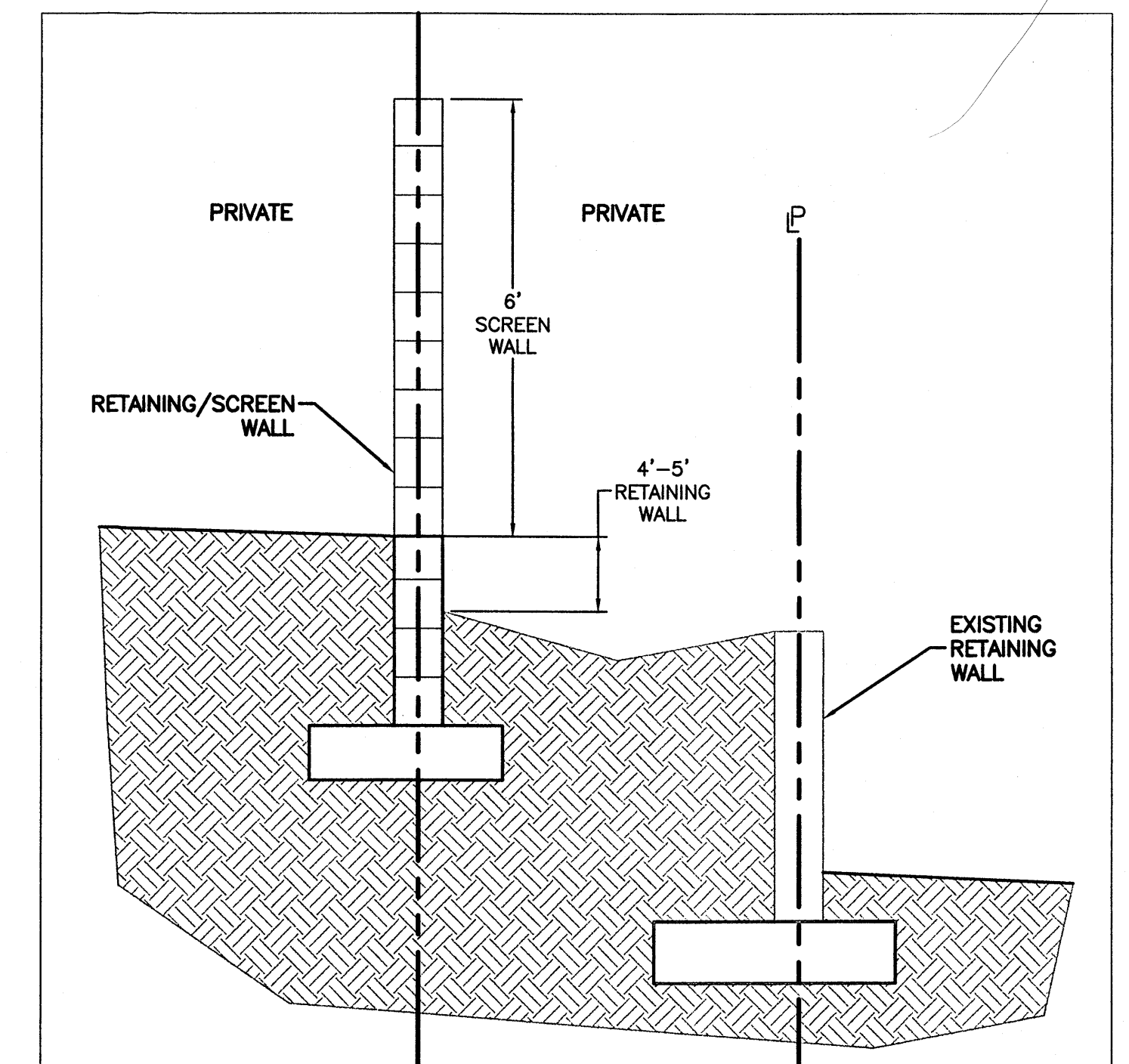
CMU AND TUBE STEEL FENCE WALL DETAIL

NTS LOCATED ALONG NORTH PROPERTY LINE OF LOTS 6, 7, 8, AND 9



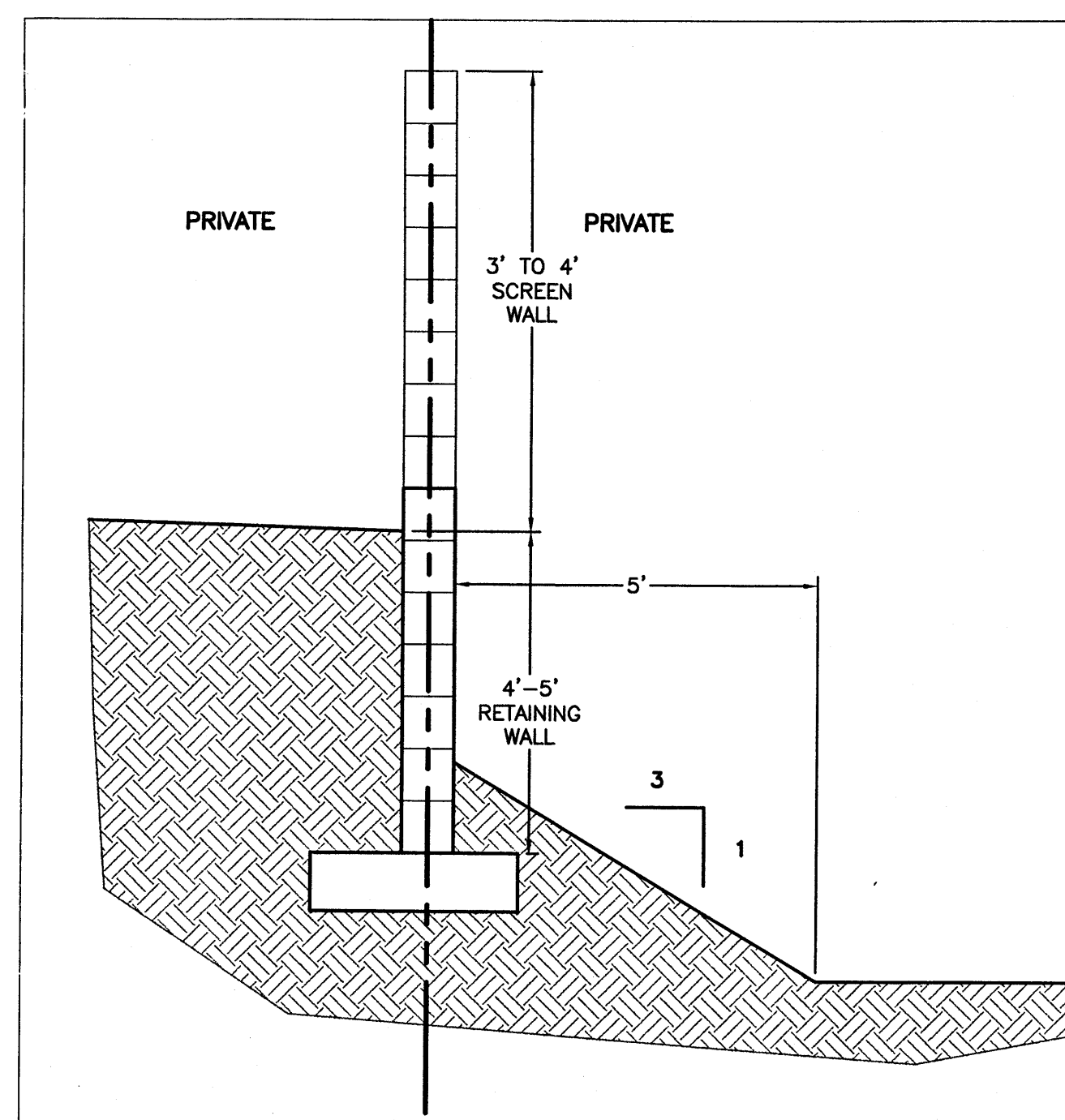
CMU AND TUBE STEEL FENCE WALL DETAIL- SECTION D-D

NTS



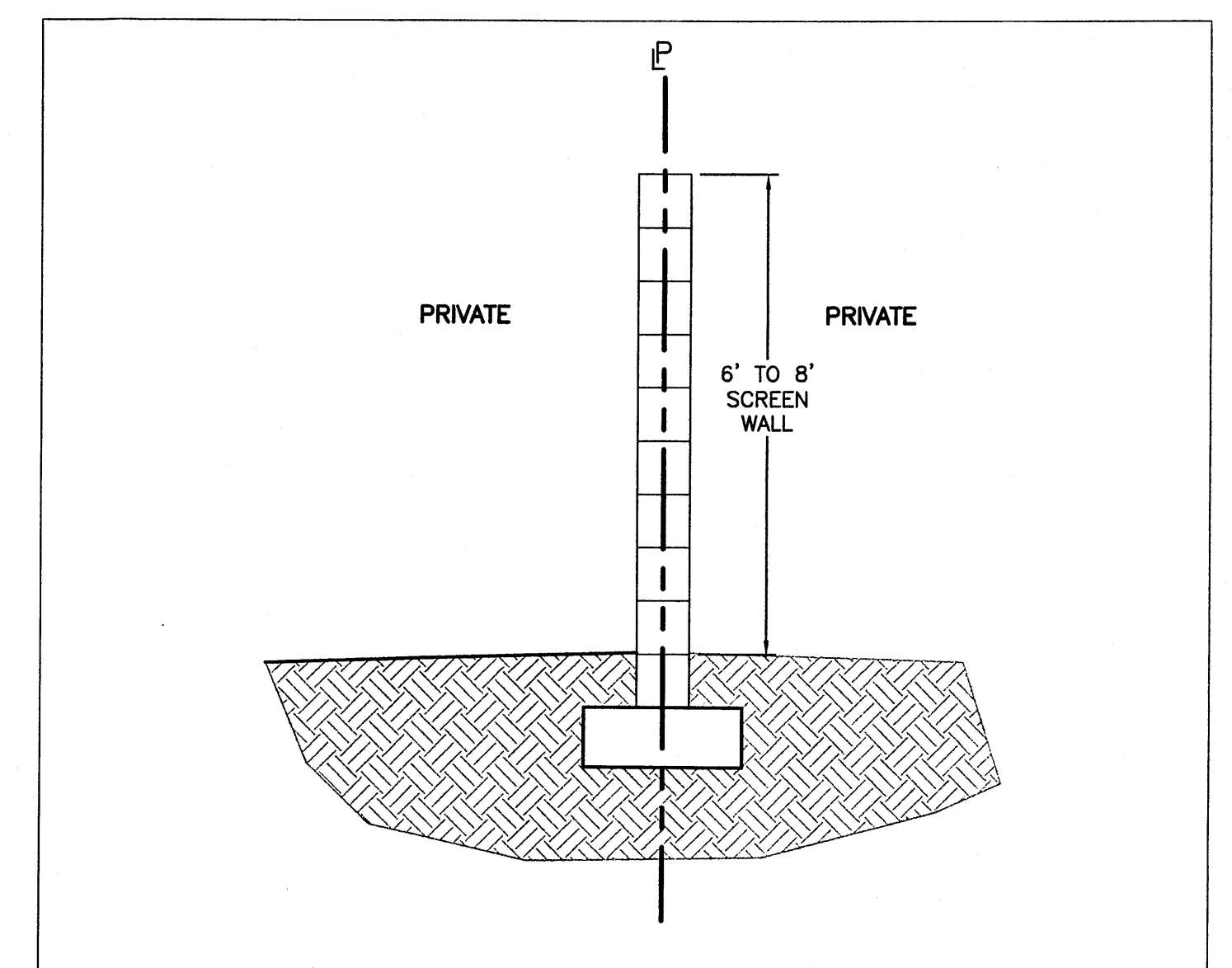
RETAINING WALL W/ SCREEN WALL DETAIL- SECTION C-C

NTS



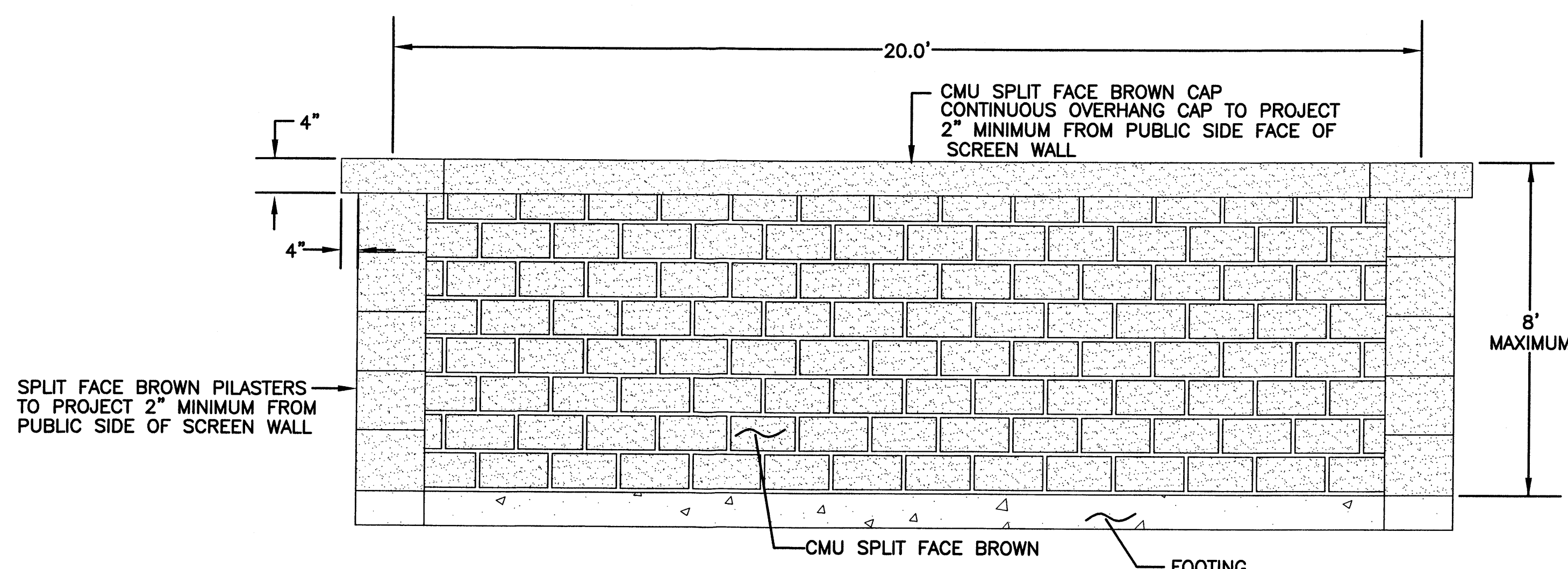
RETAINING WALL W/ SCREEN WALL DETAIL- SECTION B-B

NTS



SCREEN WALL DETAIL- A-A

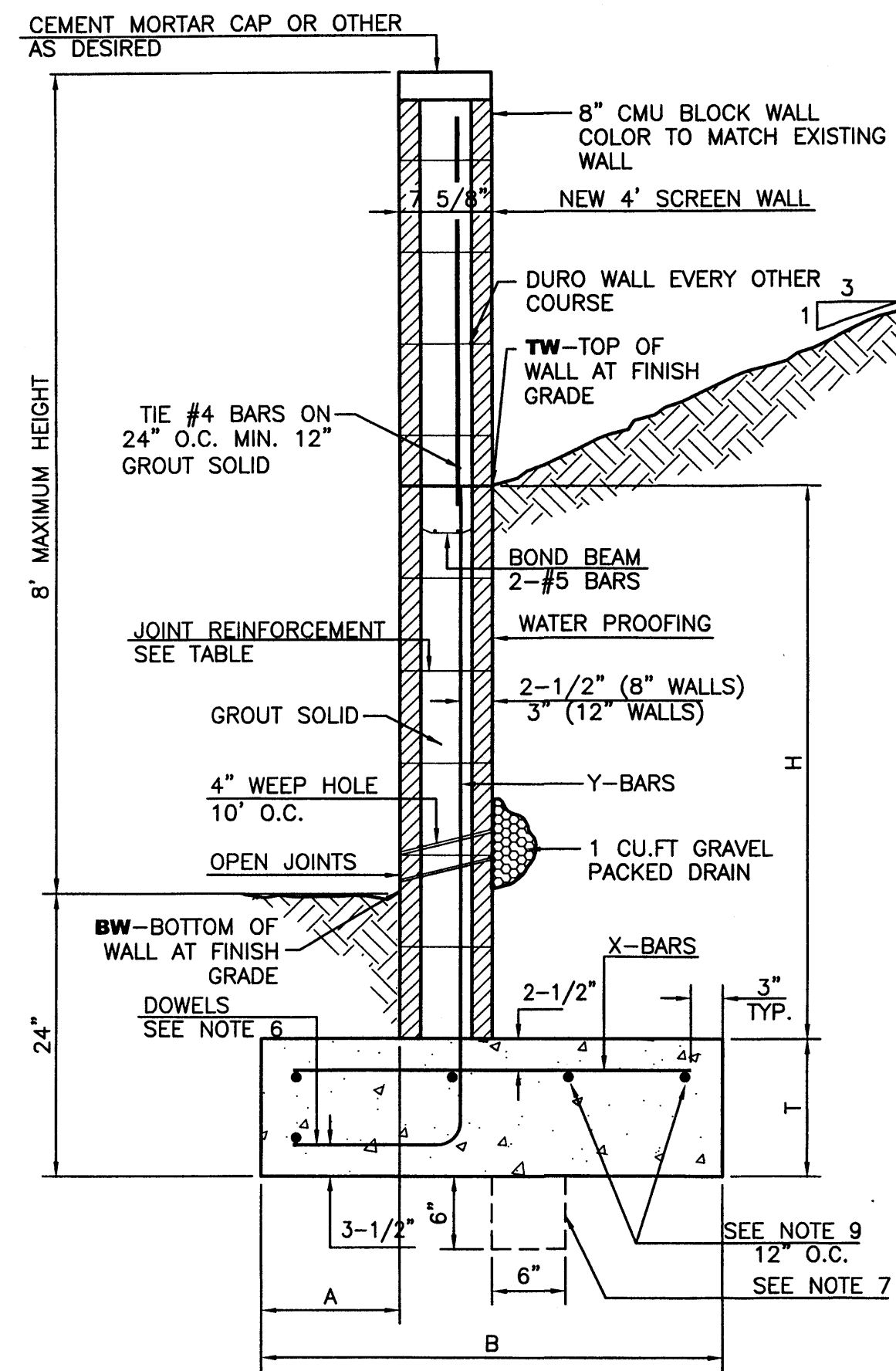
NTS



SCREENWALL/RETAINING WALL- ELEVATION FOR STREET FACING WALL

NTS

	PETROGLYPH EDGE	DRAWN BY BJF
	RETAINING AND SCREEN WALL DETAILS	DATE 09/27/07
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C6	JOB # 27062
RONALD R. BOHANNAN P.E. #7888		



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

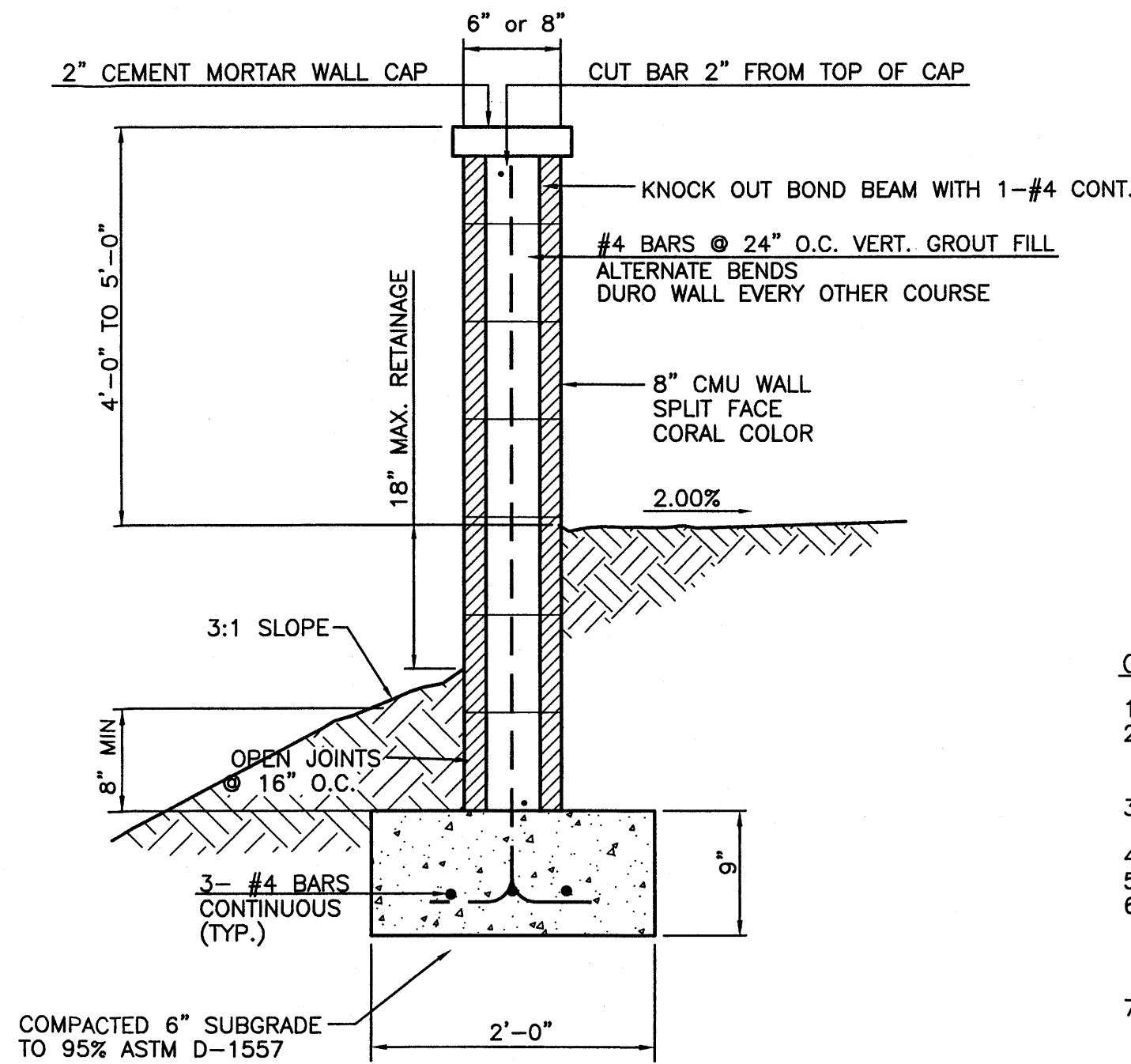
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



SCREEN WALL SECTION
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

ENGINEER'S SEAL	PETROGLYPH EDGE	DRAWN BY BJF
	RETAINING AND SCREEN WALL DETAILS	DATE 09/27/07
		2762 RETAINING-SCREEN WALL PLAN
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C7 JOB # 27062

PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Water Use
	<i>Prosopis glandulosa</i> Honey Mesquite	15-Gal.	Low +
	<i>Rabonia ambigua</i> 'Purple Robe' Purple Robe Locust	2' B4B	Medium
	<i>Chitalpa laschenkensis</i> 'Pink Dawn' Chitalpa	15 Gal.	Medium

NOTES

- The rear yards of Lots 6, 7, 8, and 9 shall be restricted to low, drought tolerant trees - Desert Willow, Chitalpa, New Mexico Olive, Vitex, etc.
- Street trees shall be provided along Mojave Street and along internal streets. The street trees shall be Honey Mesquite and Chitalpa along Mojave, which will be planted at a rate of 1 per 30 linear feet. Purple Robe Locust will be the street tree for the internal roadway, one tree shall be planted per lot. Street tree locations shown on this plan are approximate.
- Maintenance of street trees shall be the responsibility of the individual lot owner.
- An individual irrigation system shall be provided for the front yard landscape of each lot and the street tree in front of each lot.

MINIMUM FRONT YARD LANDSCAPE STANDARDS

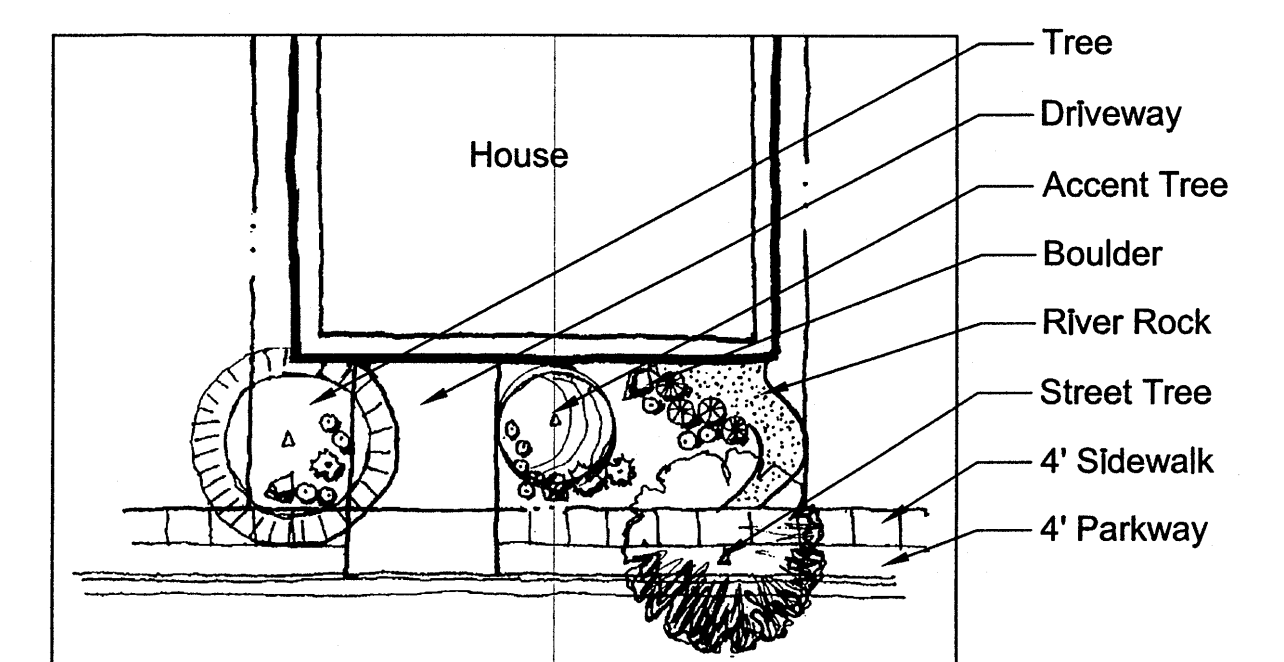
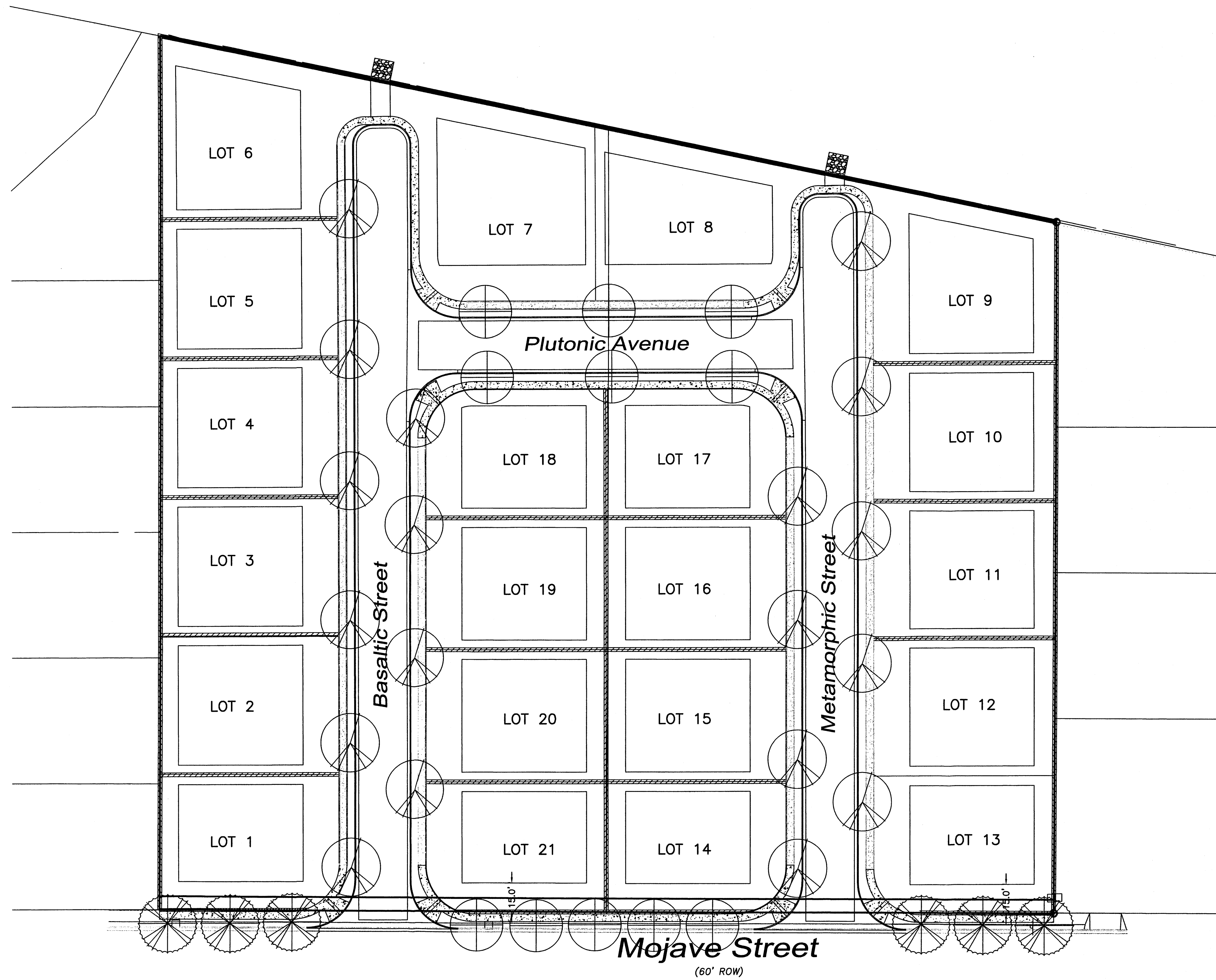
The following are minimum requirements for front yard landscaping. A plant palette is provided for guidance purposes.

- One 1.5" caliper tree
- One 15-gallon accent tree or one 8-10 foot evergreen tree
- Seven 5-gallon shrubs
- Twelve 1-gallon shrubs
- Three 3' x 3' landscape boulders
- One street tree, 1.5" caliper tree

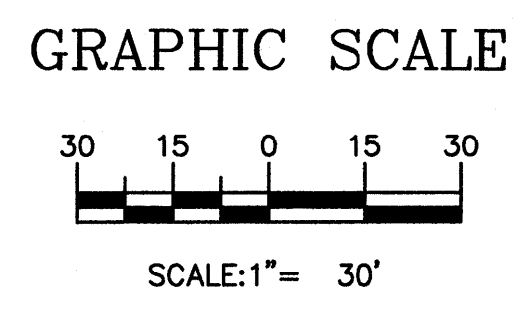
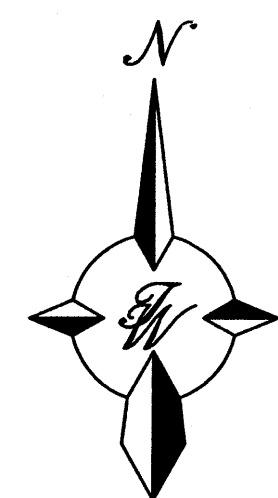
- Steel headers between turf and shrub areas are required
- Santa Fe brown rock mulch or equivalent for all landscape areas not covered with living vegetative groundcover
- Landscape Irrigation system with automatic timer
- River rock may also be used as an accent, no greater than 25% of the area. Bark mulch in tree wells only.

Plant Materials:

- Trees** Desert Willow, New Mexico Olive, Chinese Pistache, Vitex, Honey Mesquite
- Shrubs** Apache Plume, Artemisia, Cliffrose, Shrubby Cinquefoil, Three-leaf Sumac, Cherry Sage, Santolina, Cotoneaster, Broom Dalea, Prostrate Rosemary, Chamisa, Desert Bird of Paradise, Blue Mist Spirea
- Ornamental Grasses** Maiden Hair Grass, Beargrass, Blue Avena Grass
- Desert Accents** New Mexico Century Plant, Iceplant, Sotol, Soaptree Yucca



TYPICAL FRONT YARD LANDSCAPE



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ENGINEER'S SEAL	PETROGLYPH EDGE	DRAWN BY
	LANDSCAPE PLAN	DATE
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	EPC SUBMITTAL FINAL LANDSCAPE PLAN
		SHEET #
		JOB # 27062