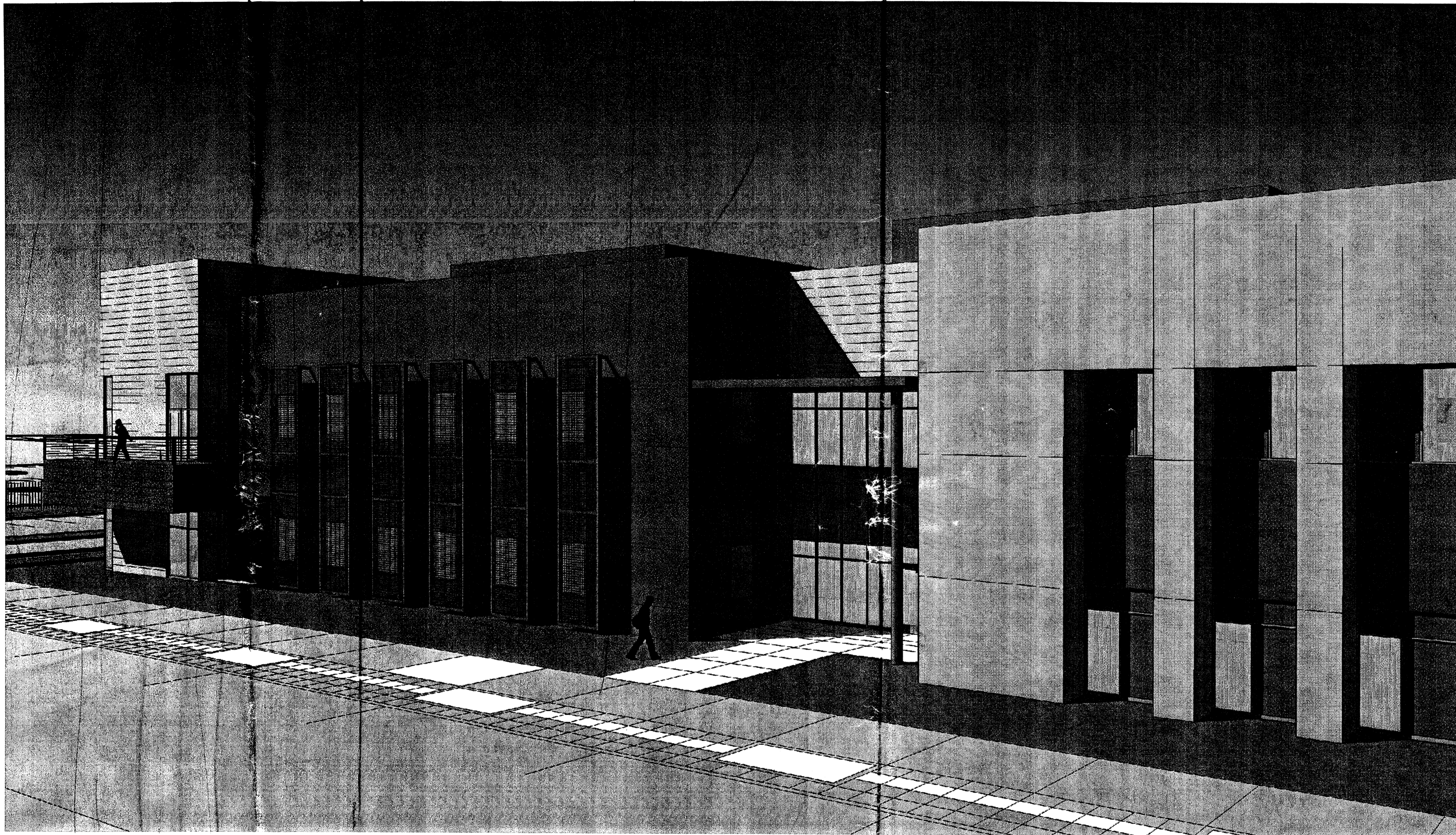


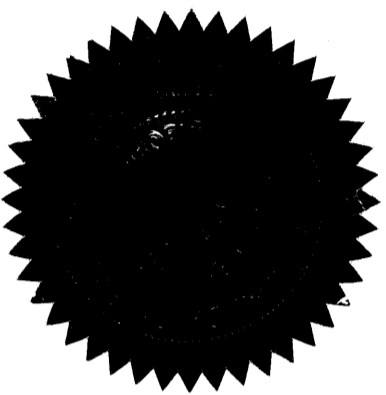
**DRAWING INDEX**

DWG.No. DESCRIPTIONS

COVER SHEET	
A001	SITE PLAN - FULL BUILD OUT
A002	PLAZA ENLARGEMENT
A003	PHASING PLAN
A004	SITE PLAN - PHASE I
L001	LANDSCAPE PLAN
L002	COURTYARD LANDSCAPE PLAN & TREE DETAILS
L003	WATER HARVESTING PLAN
L004	LANDSCAPE PLAN - PHASE I
L005	SITE FURNISHINGS AND FINISHES
C100	GRADING PLAN
C200	UTILITY PLAN
A301	BUILDING EXTERIOR ELEVATIONS
A201	ROOF PLAN
A291	ROOF DETAILS
E002	ELECTRICAL SITE LIGHTING



PROJECT



Project No. 1006539

LEVEL C PLAN  
PRELIMINARY PLAT  
APPROVED BY DRB  
ON 5-29-08

*Priscilla Davis*

Approved for compliance with PC Zoning level "A" and Level "B" Plans and compliance with the Design Standards of the Mesa del Sol Employment Center Covenants, Conditions & Restrictions.

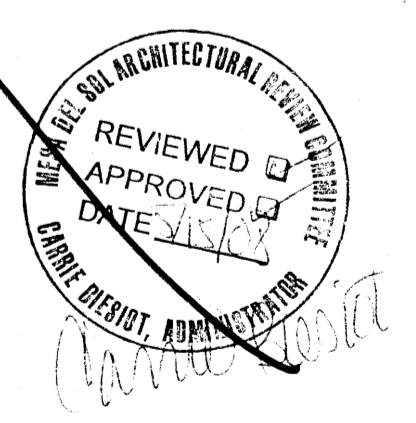
Architectural Review Committee  
Mesa del Sol Employment Center

By: *Carrie Biesiot*  
Carrie Biesiot, Administrator

SONY IMAGEWORKS  
@ Mesa del Sol

Albuquerque, New Mexico

PROJECT # 1006539



# SONY IMAGEWORKS @ Mesa del Sol

PROJECT TEAM

**OWNER**

FOREST CITY COVINGTON NM, LLC  
801 UNIVERSITY BLVD., SE SUITE 200  
ALBUQUERQUE, NM 87106  
(505) 400-3021  
FAX: (505)

**TENANT REPRESENTATIVE**

ANTHONY MASON ASSOCIATES  
11766 WILSHIRE BLVDL, SUITE 470  
LOS ANGELES, CALIFORNIA 90025  
(310) 312-6603  
FAX: (310) 213-2982

**ARCHITECT**

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON NE SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700  
FAX: (505) 761-4222

**STRUCTURAL ENGINEER**

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON NE SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700  
FAX: (505) 761-4222

**CIVIL ENGINEER**

BOHANNAN HUSTON  
7500 JEFFERSON NE  
ALBUQUERQUE, NM 87109  
(505) 823-1000  
FAX: (505) 821-0892

**MEP ENGINEER**

THE RESPONSE GROUP, INC.  
11930 MENAUL BLVD. NE  
ALBUQUERQUE, NM 87112  
(505) 323-7629  
FAX: (505)

**GENERAL CONTRACTOR**

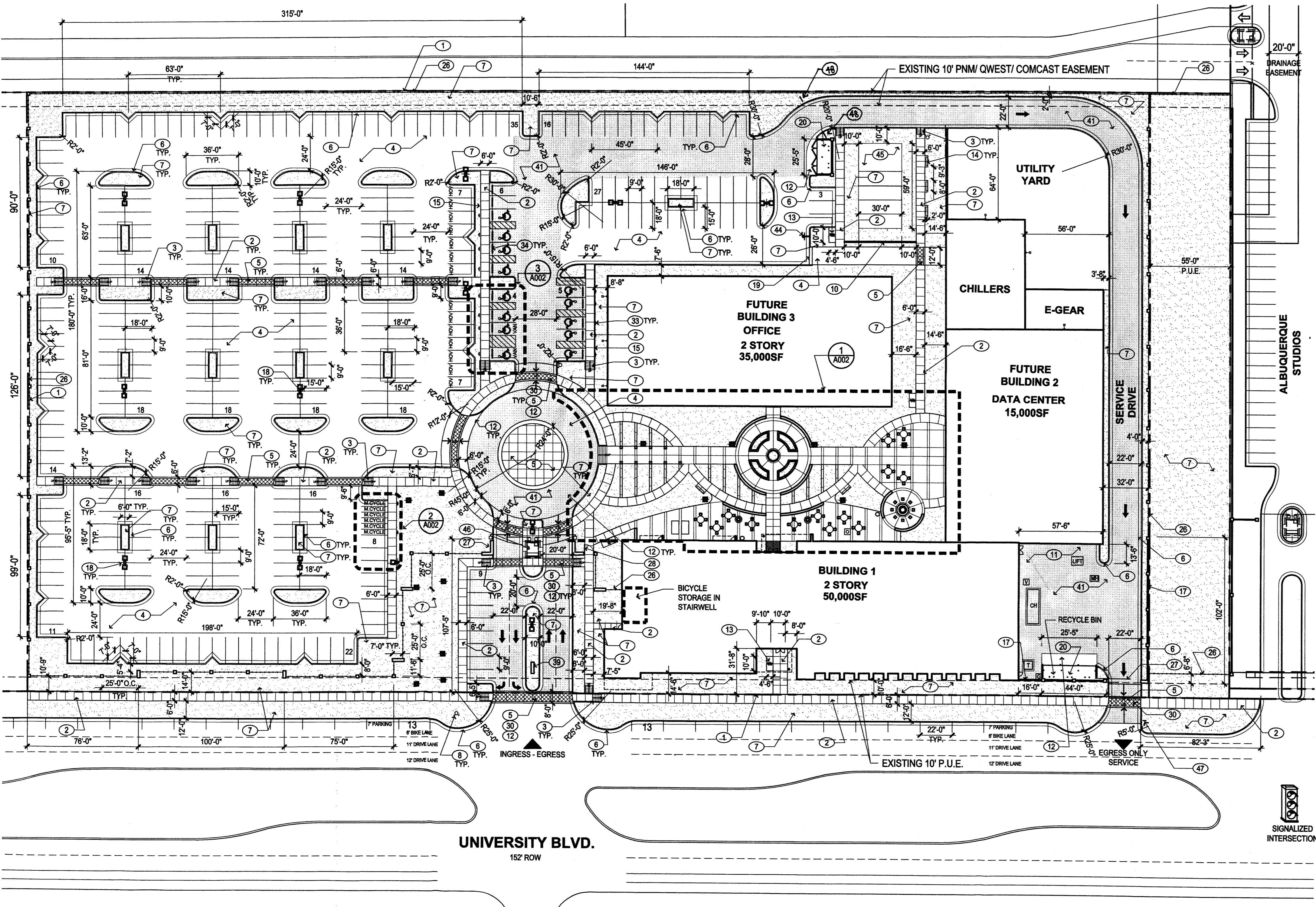
ENTERPRISE BUILDERS  
2732 VASSAR PL., NE, SUITE E  
ALBUQUERQUE, NM 87107  
(505) 857-0050  
FAX: (505)

5/9/2008 - LEVEL C COMMENTS

PROJECT NO. 07-0016  
DATE 02/15/2008

ISSUE PURPOSE

MESA DEL SOL  
ARC  
FINAL SUBMITTAL



**SITE INFORMATION**

**LEGAL DESCRIPTION**  
A CERTAIN TRACT OF LAND BEING A PORTION OF SECTION 22, TOWNSHIP 9 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

**ZONE ATLAS MAP NUMBER:** R-16  
**PRESENT ZONING:** PLANNED COMMUNITY

**GROSS BUILDING AREA (GBA):**  
BUILDING 1 - OFFICE (2 STORY) = 50,000 SF.  
BUILDING 2 - DATA CENTER (1 STORY) = 15,000 SF.  
BUILDING 3 - OFFICE (2 STORY) = 35,000 SF.  
**TOTAL GROSS BUILDING AREA:** 100,000 SF.

**TOTAL SITE AREA:** 323,946 SF = 7.44 ACRES  
**GROSS F.A.R. (GBA/site area) = 0.3**

**LANDSCAPE CALCULATIONS**

**TOTAL SITE AREA:** 323,946 SF = 7.44 ACRES  
**TOTAL GROSS BUILDING AREA:** 100,000 SF  
**TOTAL UTILITY YARD AREA:** 14,388 SF

**NET LOT AREA:** 209,558 SF / 4.81 ACRES

**REQUIRED LANDSCAPE AREA:** (15% OF NET LOT AREA) 31,434 SF / 0.72 ACRES  
**PROVIDED LANDSCAPE AREA:** (32% OF NET LOT AREA) 66,526 SF / 1.5 ACRES

**TOTAL ALLOWED TURF GRASS:** (20% OF OVERALL LANDSCAPE AREA) 13,305 SF / .3 ACRES  
**TOTAL PROVIDED TURF GRASS:** (2.5% OF OVERALL LANDSCAPE AREA) 1,631 SF / .04 ACRES

**GENERAL NOTES**

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20 FEET OF THE SITE.
- TRACT REFERENCES ARE TO THE TRACTS AS CONFIGURED AND ALIGNED IN THE SITE DEVELOPMENT PLAN. TRACT LINES ARE TO BE ADJUSTED/FIXED WITH REQUIRED REPLAT.
- UNIVERSITY BLVD. TO HAVE ON-STREET PARKING ON EACH SIDE AT ULTIMATE BUILD-OUT
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY. A FUTURE TRAIL MAY BE LOCATED ON THE WEST SIDE OF UNIVERSITY BOULEVARD, OUTSIDE OF THE RIGHT-OF-WAY.
- BICYCLE AMENITIES: TENANT WILL PROVIDE ENCLOSED BICYCLE STORAGE FOR 10% OF THE TOTAL BICYCLE SPACES. SEE A001 FOR LOCATION.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHTING SHALL COMPLY TO LIGHTING STANDARDS OF THE MESA DEL SOL EMPLOYMENT CENTER MASTER DEVELOPMENT PLAN.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- SEE CIVIL PLANS FOR LOCATION OF ARCHEOLOGICAL SITE.
- A DETAILED GRADING PLAN WILL BE REQUIRED PRIOR TO THE APPROVAL OF THE BUILDING PERMIT PLAN SET AND NO C.O. WILL BE REQUESTED UNTIL THERE IS ADEQUATE PERMANENT ROADWAYS COMPLETED AND ACCEPTED BY THE CITY FOR THIS SITE.
- APPROVAL IS FOR FULL BUILD-OUT SITE PLAN AND PHASE 1 BUILDING ELEVATIONS FOR FUTURE PHASES WILL REQUIRE RE-SUBMITTAL TO THE CITY FOR LEVEL C APPROVAL.

**KEYED NOTES (X)**

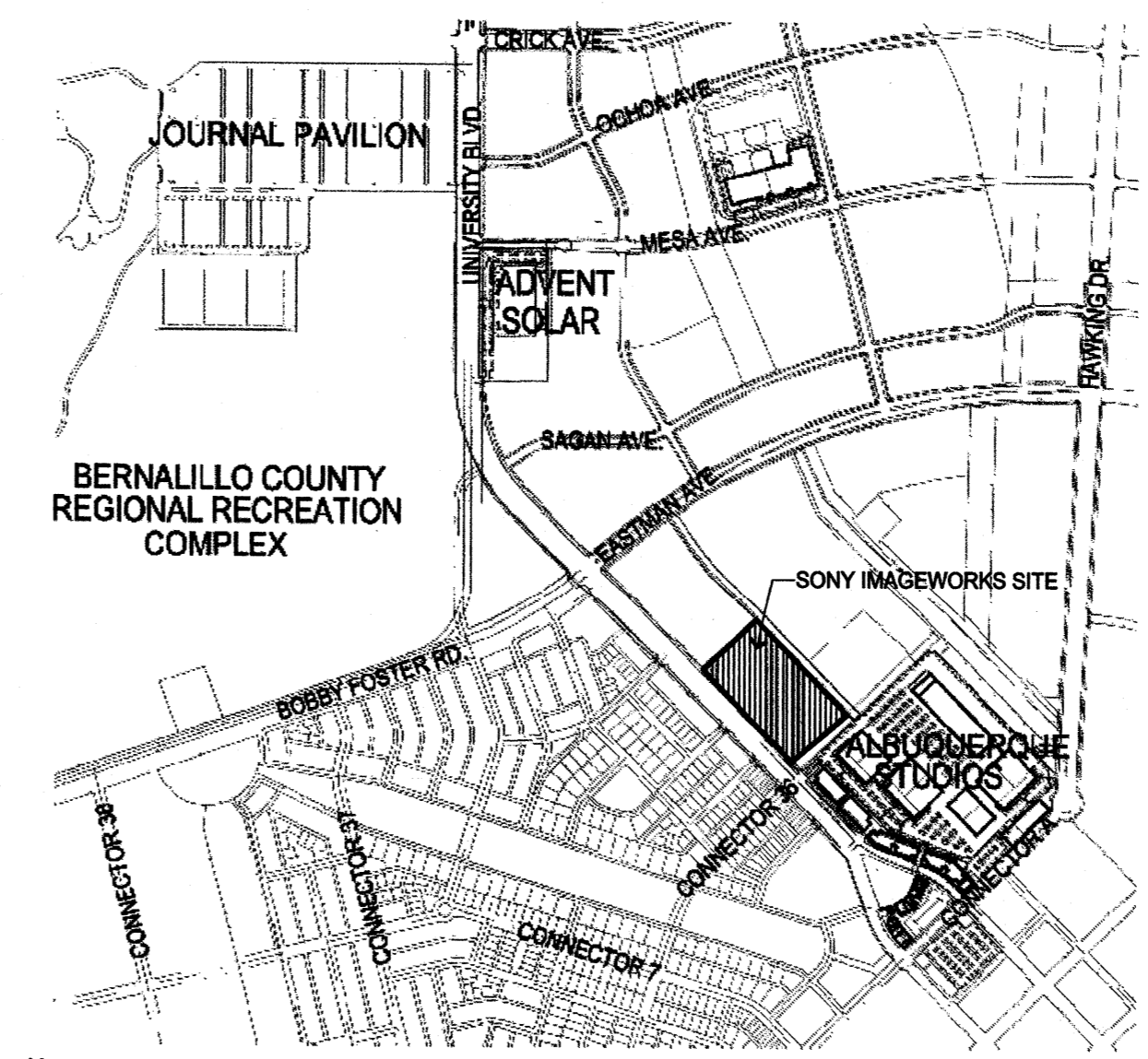
- PROPERTY LINE.
- CONCRETE PAVING.
- ACCESSIBLE RAMP.
- ASPHALT PAVING.
- INTEGRAL COLOR CONCRETE.
- CONCRETE CURB AND GUTTER.
- LANDSCAPE AREA, TYP. SEE L001.
- FIRE HYDRANT, SEE CIVIL.
- FIRE FEATURE, N.I.C. SEE 6/A002.
- SEATWALL.
- SERVICE AREA.
- HEAVY DUTY CONCRETE PAVING.
- BIKE RACK, SEE C/L005.
- BENCH, SEE B/L005.
- 6" WIDE CONCRETE HEADER CURB.
- PIPE BOLLARD.
- 6'-8" SCREEN WALL, SEE 1/A004.
- LIGHT POLE, SEE ELECTRICAL.
- 18" WIDE CONCRETE MOW CURB.
- DUMPSTER ENCLOSURE, SEE 1 & 2/A003.
- TABLE AND CHAIRS, N.I.C. SEE D/L005.
- NOT USED.
- 5' DIA. TREE GRATE.
- NOT USED.
- MOTORCYCLE ONLY PARKING SIGN.
- 6'-6" SECURITY FENCE, SEE 2/A003.
- SECURITY GATE.
- NOT USED.
- TEMPORARY ASPHALT CURB.
- PEDESTRIAN CROSSING.
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- PAINTED PARKING STRIPING, COLOR: WHITE.
- ACCESSIBLE SIGN.
- CONCRETE BUMPER.
- TRASH RECEPTACLE, SEE C/L006.
- NOT USED.
- PING PONG TABLE, N.I.C.
- NOT USED.
- MONUMENT SIGN, SEE 1/A001.
- MANHOLE, SEE ELECTRICAL DWGS.
- HEAVY DUTY ASPHALT.
- 42' FDC LOCATION.
- PAINTED FIRE LANE, PER COA STD.
- BASKETBALL HOOP (N.I.C.).
- VOLLEYBALL COURT (N.I.C.).
- GUARD HOUSE (N.I.C.).
- EXIT ONLY SIGN.
- SERVICE DRIVE ONLY SIGN.

**SITE FURNISHINGS LEGEND**

- BENCH, QUANTITY: 5**  
Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench.  
Surface Mount. Powdercoat Finish, Color: Silver.
- BIKE RACK, QUANTITY: 3**  
Manufacturer: Dobra Design. Model: Boa - 6  
Surface Mount. Powdercoat Finish, Color: Steel.
- TRASH RECEPTACLE, QUANTITY: 2**  
Manufacturer: Landscape Forms. Model: Chase Park, Side Opening (36 gal.)  
Surface Mount. Powdercoat Finish, Color: Titanium.
- TABLE (N.I.C.), QUANTITY: 13**  
Manufacturer: Landscape Forms. Model: 42" round steelhead perforated table top. Catena support: freestanding. Powdercoat Finish, Color: silver.
- CHAIR (N.I.C.), QUANTITY: 52**  
Manufacturer: Landscape Forms. Model: traverse chair, perforated metal seat, without arm rests. Powdercoat Finish, Color: silver.
- PING PONG TABLE (N.I.C.), QUANTITY: 2**
- WALK-OFF-MAT.**  
Manufacturer: J.L. Industries. Model: #700. Aluminum roll-up mat with surface mounted. Aluminum frame. Vinyl abrasive inserts.
- TREE GRATE, QUANTITY: 2**  
Manufacturer: Ironsmith. Model: Olympian M600 1F-7.

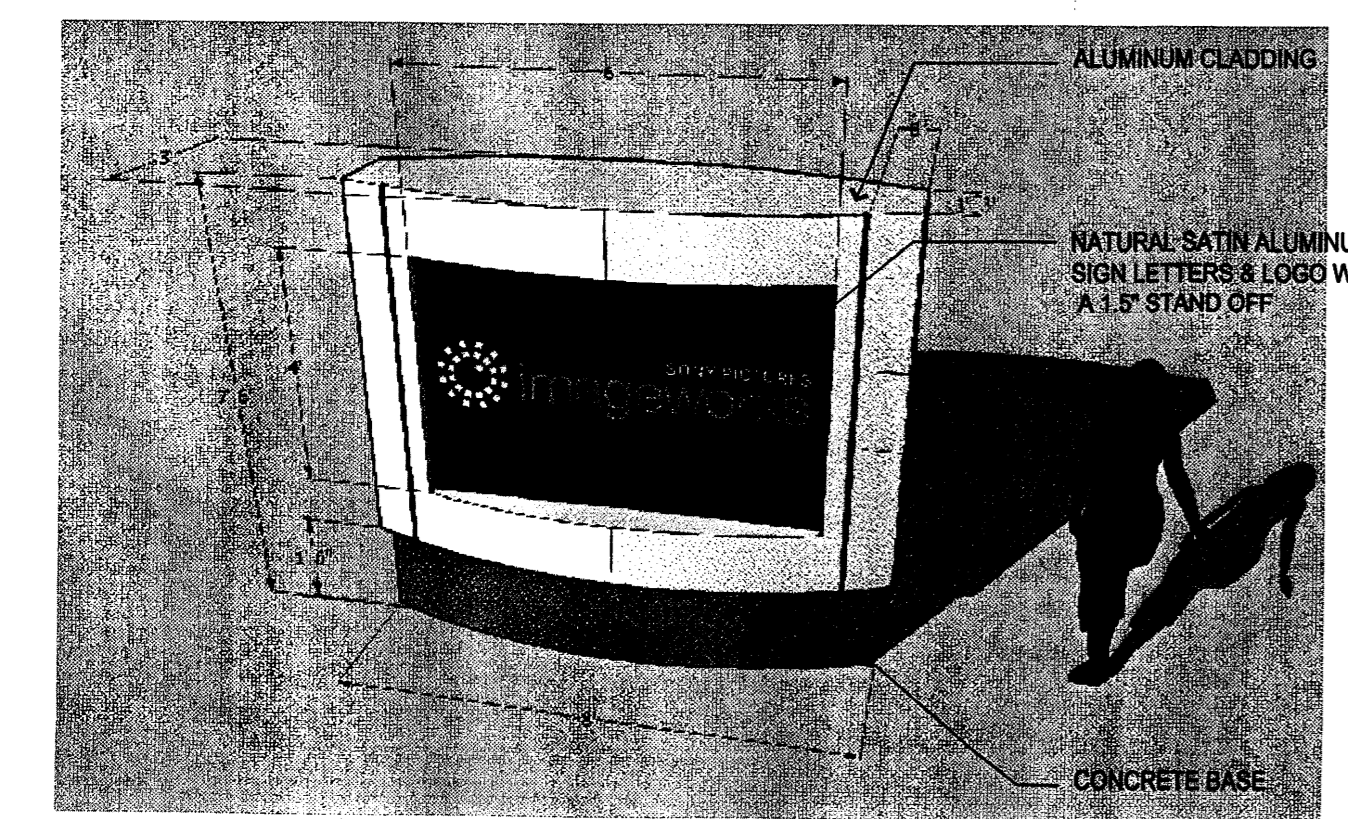
**LEGEND**

- PROPERTY LINE
- UTILITY EASEMENT
- TRAFFIC ARROW, PAINT WHITE
- LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- FIRE HYDRANT
- LANDSCAPE AREA
- HEAVY DUTY ASPHALT
- CARPOOL/VANPOOL PARKING
- VAULT
- MAN HOLE
- CHILLER
- TRANSFORMER
- GAS METER

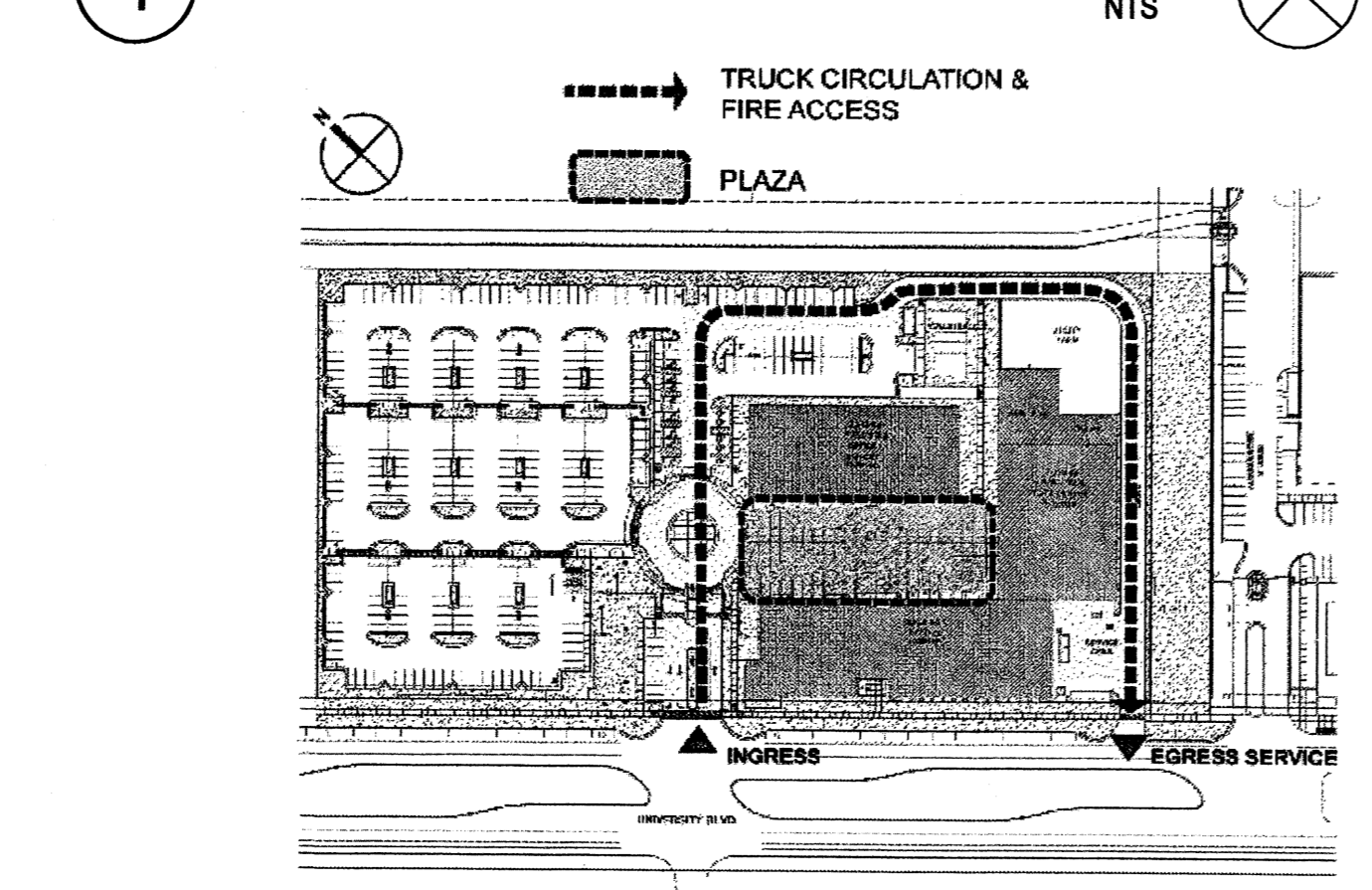
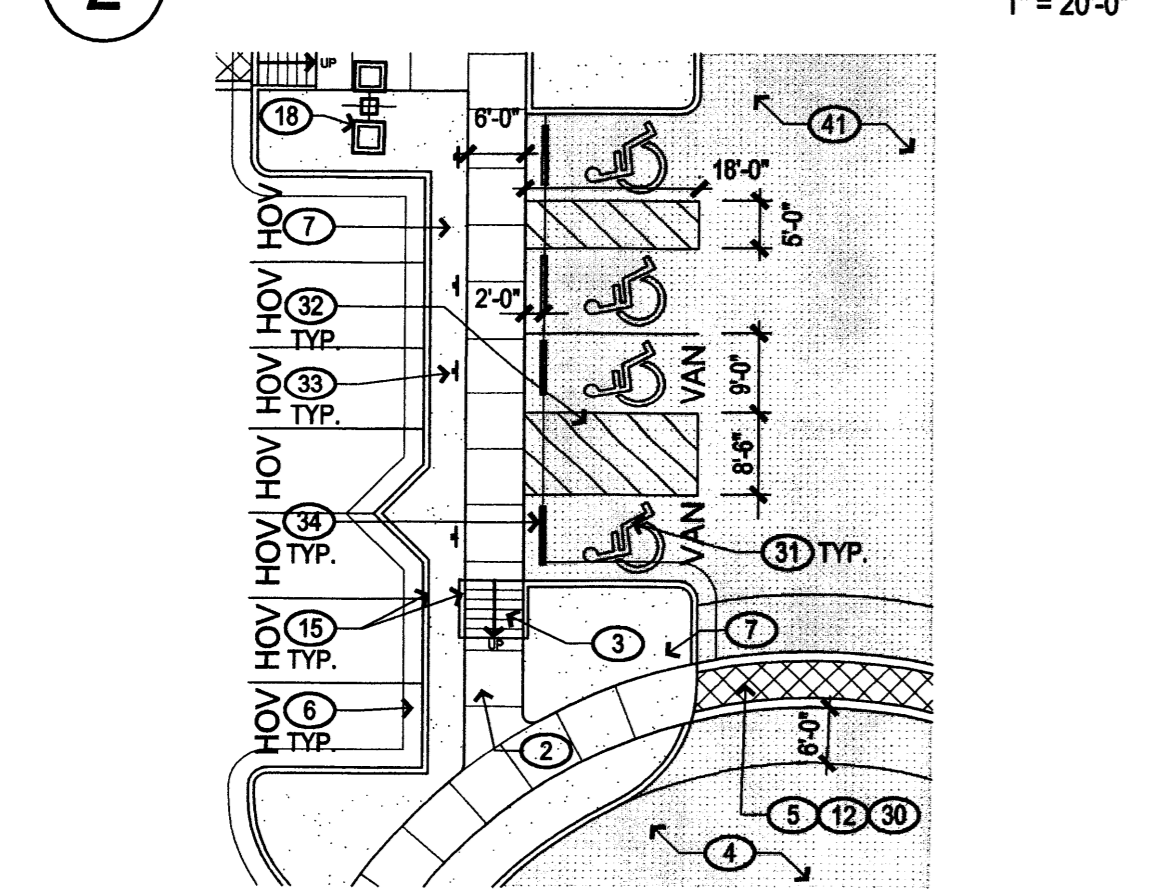
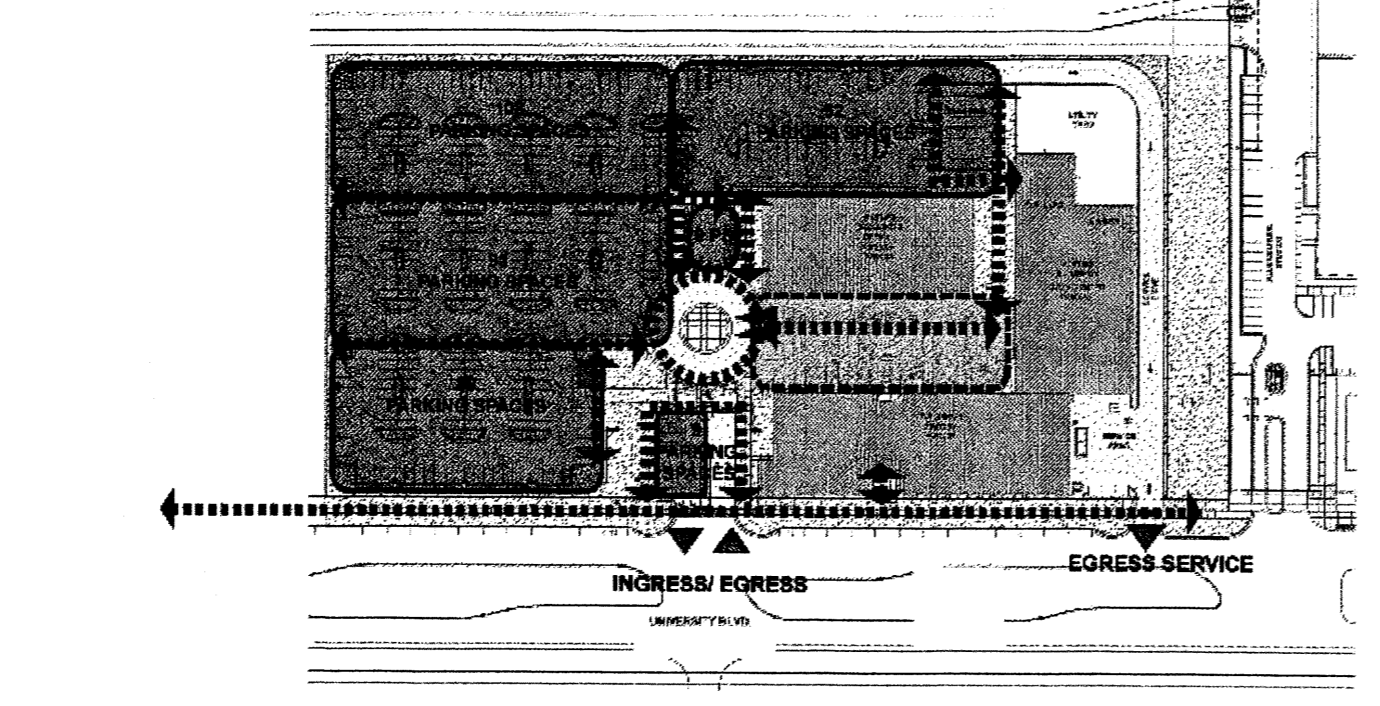
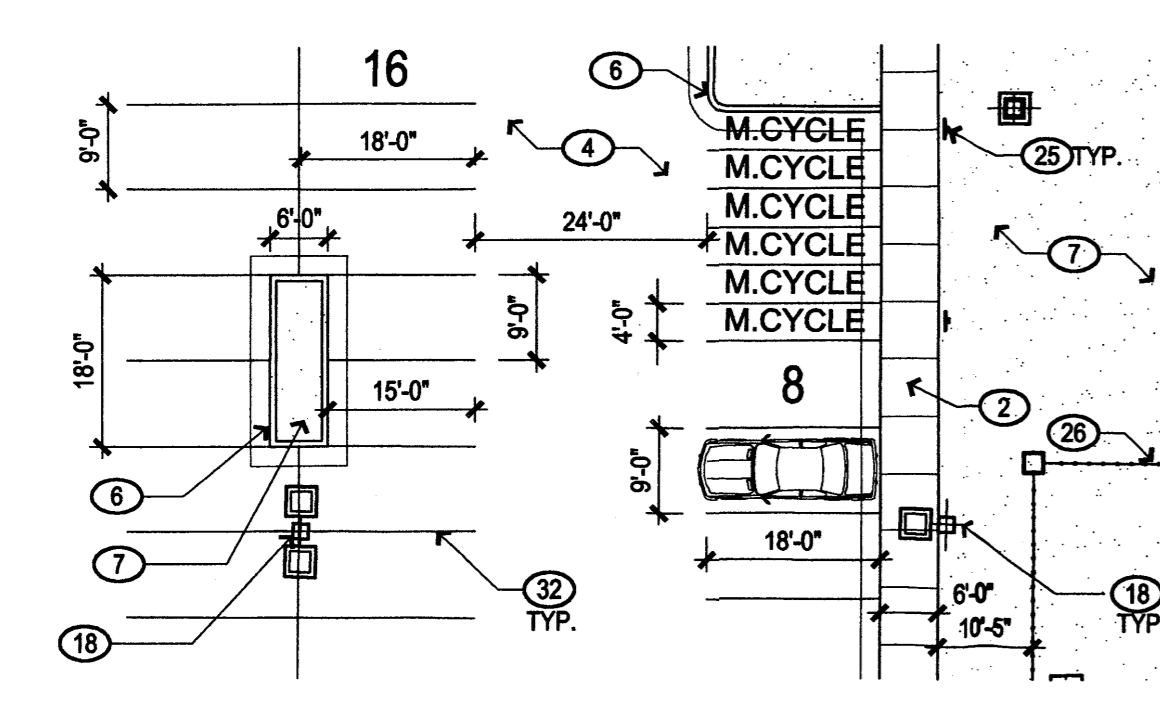
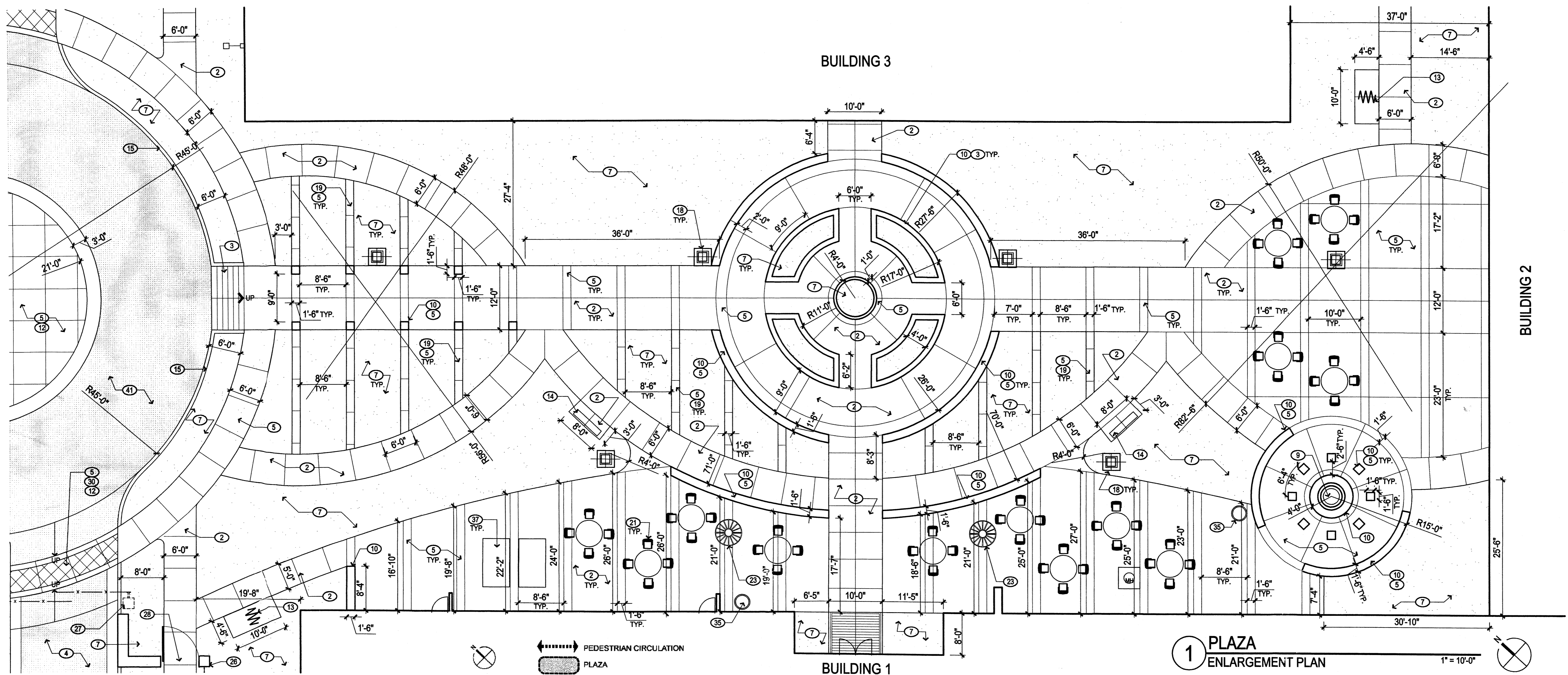


**VICINITY MAP  
MESA DEL SOL**

**SITE PLAN**



**1 MONUMENT SIGN**  
NTS



**KEYED NOTES (X)**

- PROPERTY LINE.
- CONCRETE PAVING.
- ACCESSIBLE RAMP.
- ASPHALT PAVING.
- INTEGRAL COLOR CONCRETE.
- CONCRETE CURB AND GUTTER.
- LANDSCAPE AREA, TYP. SEE L001.
- FIRE HYDRANT, SEE CIVIL.
- FIRE FEATURE, N.I.C. SEE 6/A002.
- SEATWALL.
- SERVICE AREA.
- HEAVY DUTY CONCRETE PAVING.
- BIKE RACK, SEE C1005.
- BENCH, SEE B1005.
- 6" WIDE CONCRETE HEADER CURB.
- PIPE BOLLARD.
- 6'-8" SCREEN WALL, SEE 1/A004.
- LIGHT POLE, SEE ELECTRICAL.
- 18" WIDE CONCRETE MOW CURB.
- DUMPSTER ENCLOSURE, SEE 1 & 2/A003.
- TABLE AND CHAIRS, N.I.C. SEE D1005.
- NOT USED.
- 5" DIA. TREE GRATE.
- NOT USED.
- MOTORCYCLE ONLY PARKING SIGN.
- 6'-8" SECURITY FENCE, SEE 2/A003.
- SECURITY GATE.
- NOT USED.
- TEMPORARY ASPHALT CURB.
- PEDESTRIAN CROSSING.
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- PAINTED PARKING STRIPING, COLOR: WHITE.
- ACCESSIBLE SIGN.
- CONCRETE BUMPER.
- TRASH RECEPTACLE, SEE C1006.
- NOT USED.
- PING PONG TABLE, N.I.C.
- MONUMENT SIGN, SEE 1/A001.
- MANHOLE, SEE ELECTRICAL DWGS.
- HEAVY DUTY ASPHALT.
- FDC LOCATION.
- PAINTED FIRE LANE, PER COA STD.
- BASKETBALL HOOP (N.I.C.).
- VOLLEYBALL COURT (N.I.C.).
- GUARD HOUSE (N.I.C.).
- EXIT ONLY SIGN.

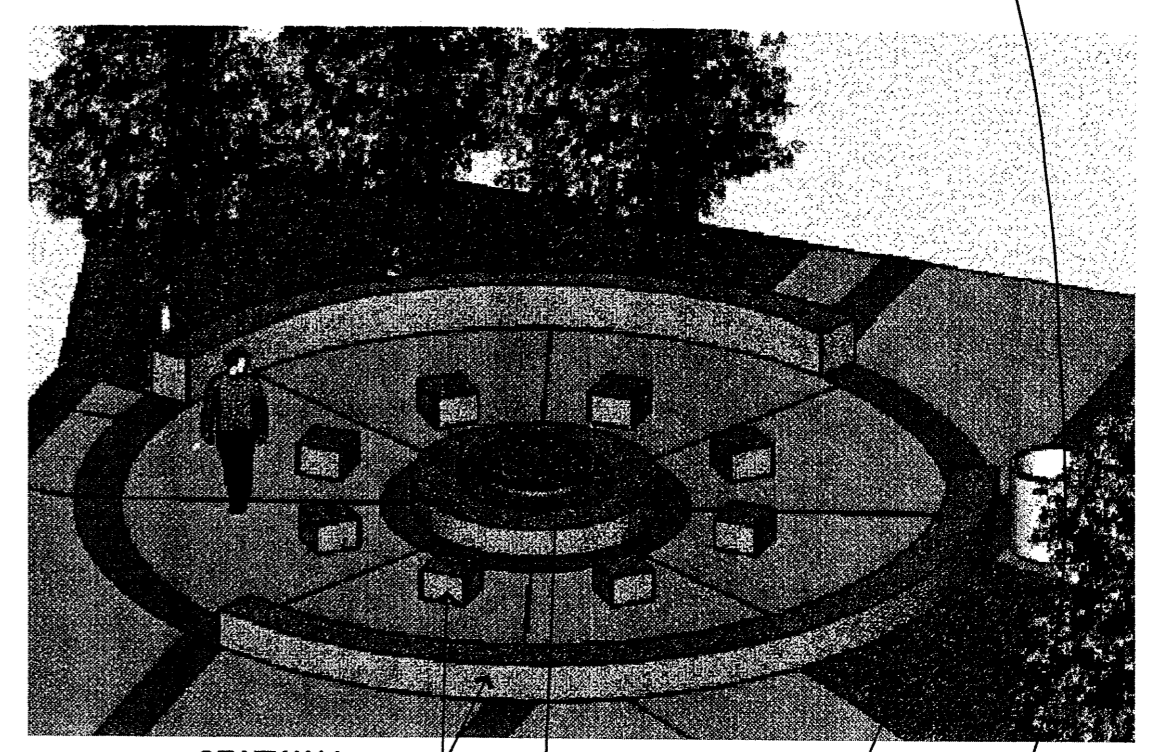
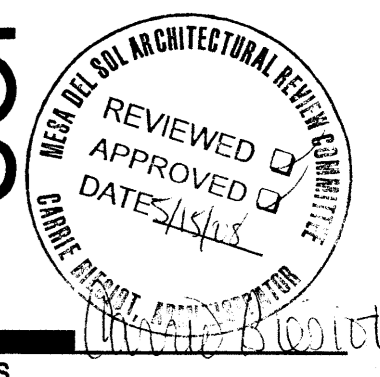
**SITE FURNISHINGS LEGEND**

- BENCH, QUANTITY: 5  
Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench.  
Surface Mount. Powdercoat Finish. Color: Silver.
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- TREE GRATE, QUANTITY: 2  
Manufacturer: Ironsmith. Model: Olympian M600 1F-7.

**LEGEND**

- PROPERTY LINE
- UTILITY EASEMENT
- TRAFFIC ARROW, PAINT WHITE
- LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- FIRE HYDRANT
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- HEAVY DUTY ASPHALT
- HOV CARPOOL/VANPOOL PARKING
- VAULT
- MAN HOLE
- CHILLER
- TRANSFORMER
- GAS METER

AFD PLANS CHECKING OFFICE  
924-3611  
**APPROVED/DISAPPROVED**  
SIGNATURE & DATE



**6 FIRE FEATURE**

NOTE: FIRE FEATURE TO BE APPROVED BY FIRE MARSHAL.

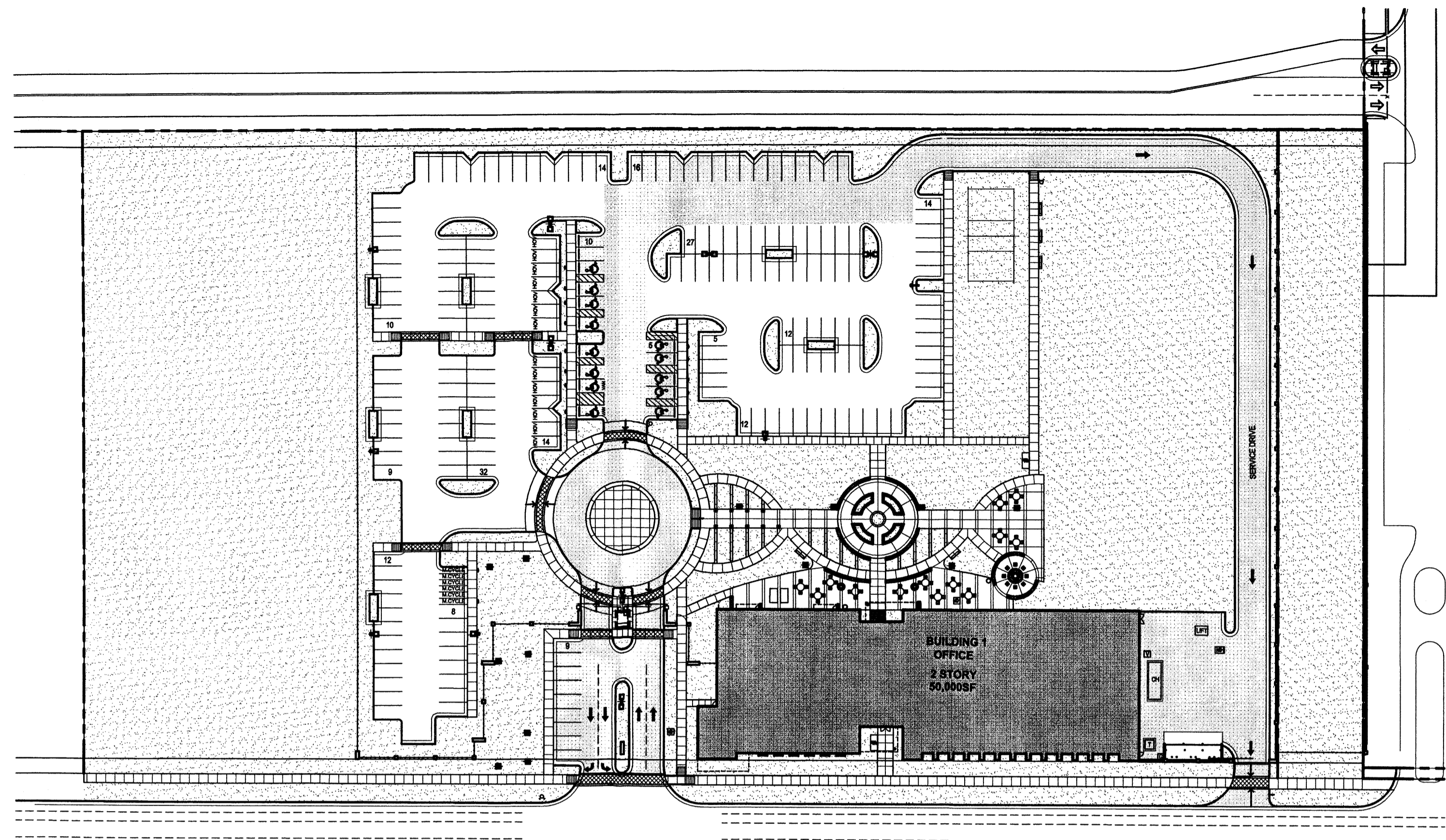
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5/14/08



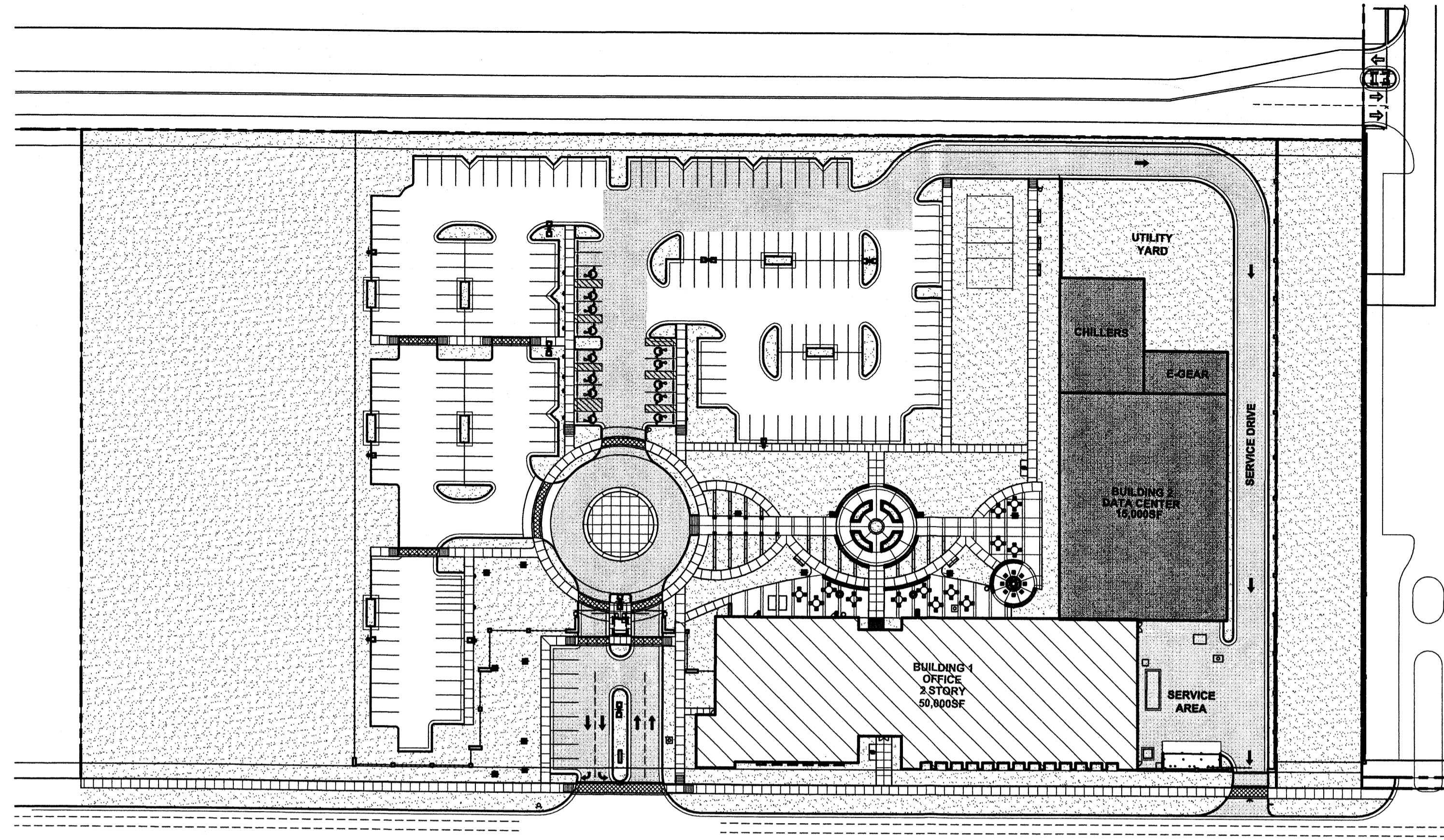
REVISIONS

1	01.28.08 - ARC Preliminary Review
2	02.14.08 - ARC Secondary Review
3	04.18.08 - LEVEL C COMMENTS

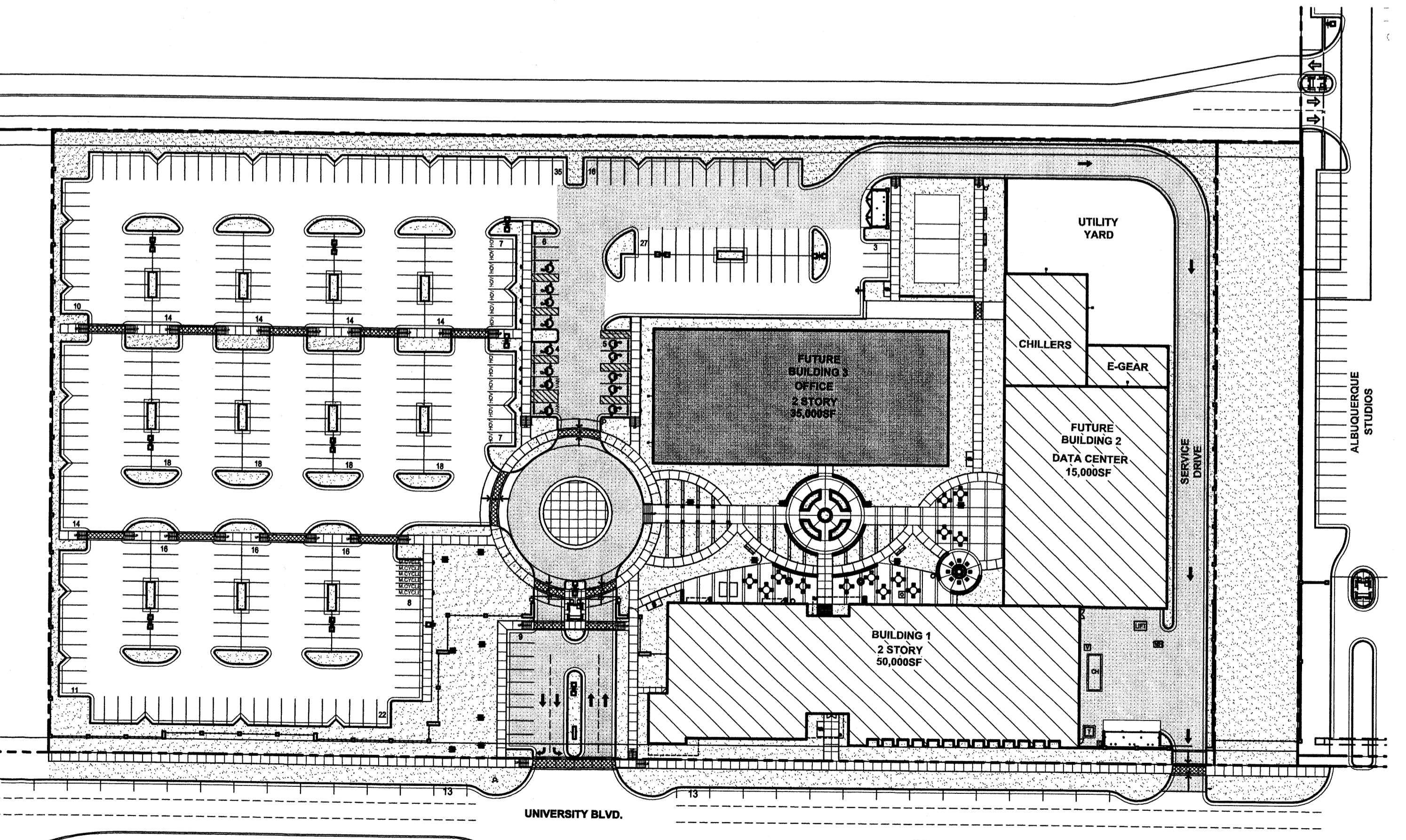
DRAWN BY	IF / CM / SY
REVIEWED BY	MB / CG
DATE	05/06/08
PROJECT NO.	07-0116
DRAWING NAME	PHASING PLAN



**PHASE 1**  
SEE SHEETS A004 & L004  
UNIVERSITY BLVD.  
SCALE: 1" = 60'

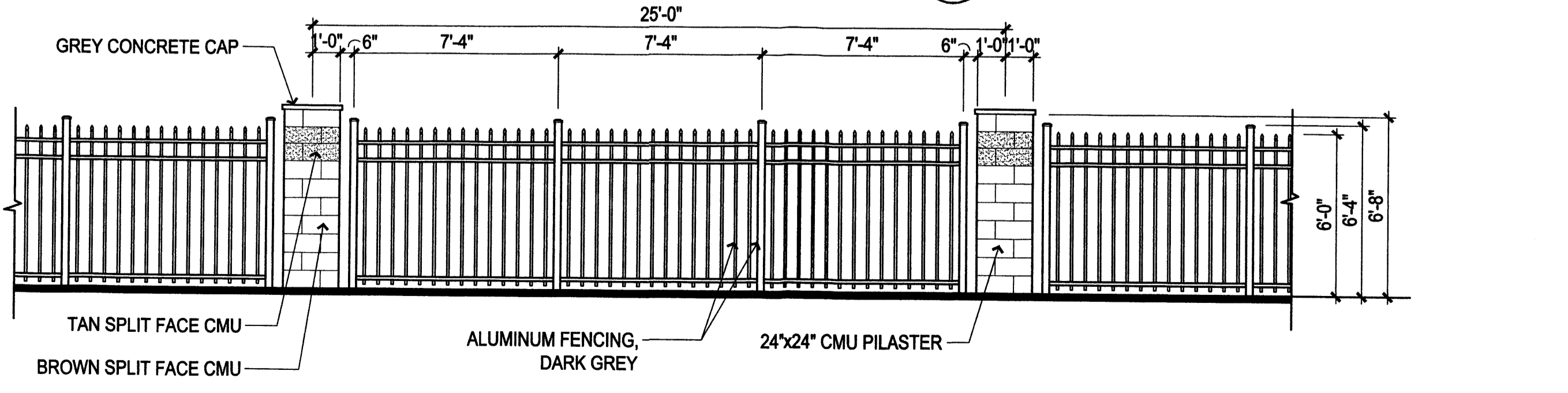


**PHASE 2**  
UNIVERSITY BLVD.  
SCALE: 1" = 60'



**PHASE 3**  
SEE SHEET A001 & L001  
UNIVERSITY BLVD.  
SCALE: 1" = 60'

**2 ENCLOSURE GATE**  
1/2" = 1'-0"



**2 TYPICAL SITE WALL ELEVATION**  
1/4" = 1'-0"



1	01.28.08 - ARC Preliminary Review
2	02.14.08 - ARC Secondary Review
3	04.18.08 - LEVEL C COMMENTS

**SITE INFORMATION**

LEGAL DESCRIPTION  
A CERTAIN TRACT OF LAND BEING A PORTION OF SECTION 22,  
TOWNSHIP 9 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN,  
BERNALILLO COUNTY, NEW MEXICO.

ZONE ATLAS MAP NUMBER: R-16  
PRESENT ZONING: PLANNED COMMUNITY

GROSS BUILDING AREA (GBA):  
BUILDING 1 - OFFICE (2 STORY) = 50,000 SF

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES  
GROSS F.A.R. (GBA/site area) = 0.15

**PARKING INFORMATION**

1. TOTAL PARKING REQUIRED = 209 PS

BUILDING 1 - OFFICE (2 STORY): 50,000SF  
1ST FLOOR @ 1PS/200SF = 125 PS.  
2ND FLOOR @ 1PS/300SF = 84 PS.  
TOTAL BUILDING = 209 PS

TOTAL OFF STREET PARKING PROVIDED: 227 PS (209 PS)

2. HANDICAP PARKING STALLS REQUIRED:  
101-300 PARKING STALLS: 8 HC STALLS REQUIRED  
(2 VAN ACCESSIBLE)

PROVIDED: 13 HC STALL (2 VAN ACCESSIBLE)

3. BICYCLE PARKING REQUIRED: (1:20 AUTOS)  
TOTAL: 11 SPACES

PROVIDED: 12 SPACES

4. MOTORCYCLE PARKING REQUIRED:  
151-300 PARKING STALLS: 5 SPACES REQUIRED.

PROVIDED: 6 SPACES

5. H.O.V. PARKING REQUIRED:  
5% OF BUILDING OCCUPANTS: 13 SPACES REQUIRED.

PROVIDED: 13 SPACES

**SITE FURNISHINGS LEGEND**

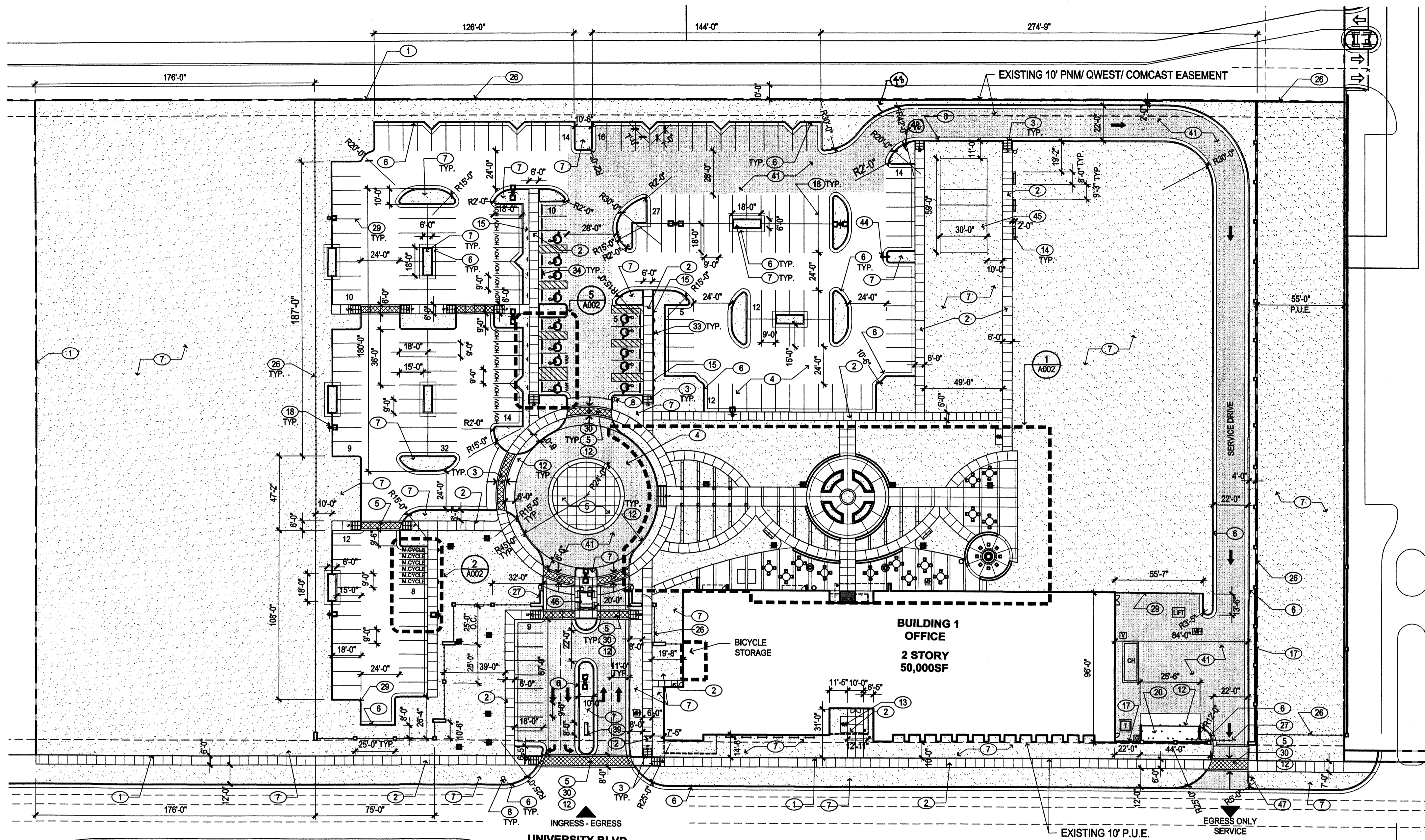
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Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench.  
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Manufacturer: Dobra Design. Model: Boa - 6  
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surface mounted. Aluminum frame. Vinyl abrasive inserts.
- 7. TREE GRATE, QUANTITY: 2  
Manufacturer: Ironsmith. Model: Olympian M600 1F-7.

**LEGEND**

- 1. PROPERTY LINE
- 2. UTILITY EASEMENT
- 3. TRAFFIC ARROW, PAINT WHITE
- 4. LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- 5. FIRE HYDRANT
- 6. LANDSCAPE AREA
- 7. HEAVY DUTY ASPHALT
- 8. HOV CARPOOL VANPOOL PARKING
- 9. VAULT
- 10. MAN HOLE
- 11. CHILLER
- 12. TRANSFORMER
- 13. GAS METER

**KEYED NOTES (X)**

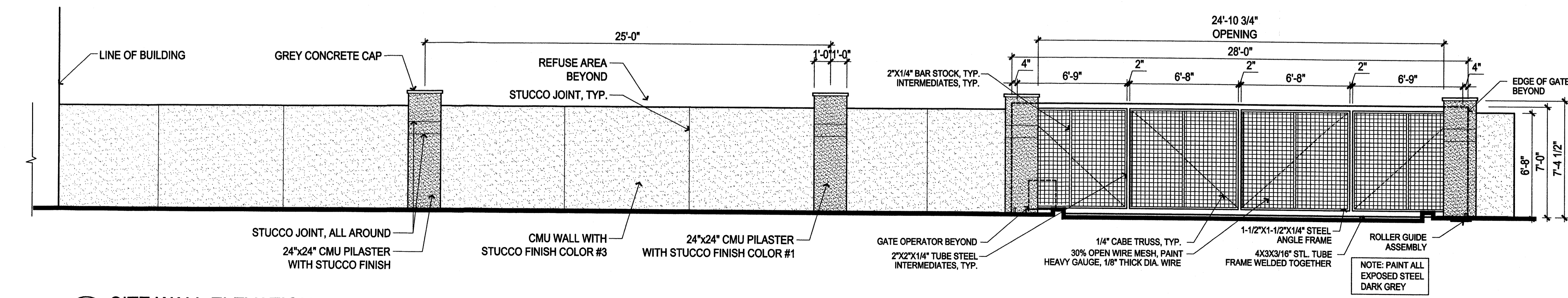
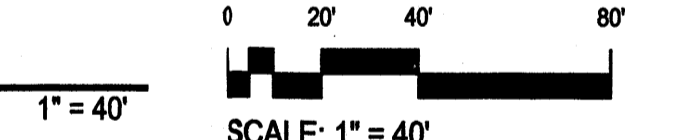
1. PROPERTY LINE.
2. CONCRETE PAVING.
3. ACCESSIBLE RAMP.
4. ASPHALT PAVING.
5. INTEGRAL COLOR CONCRETE.
6. CONCRETE CURB AND GUTTER.
7. LANDSCAPE AREA, TYP. SEE L001.
8. FIRE HYDRANT, SEE CIVIL.
9. FIRE FEATURE, N.I.C. SEE 8/A002.
10. SEATWALL.
11. SERVICE AREA.
12. HEAVY DUTY CONCRETE PAVING.
13. BIKE RACK, SEE C/L005.
14. BENCH, SEE B/L005.
15. 6" WIDE CONCRETE HEADER CURB.
16. PIPE BOLLARD.
17. 6" SCREEN WALL, SEE 1/A004.
18. LIGHT POLE, SEE ELECTRICAL.
19. 18" WIDE CONCRETE MOW CURB.
20. DUMPSTER ENCLOSURE, SEE 1 & 2/A003.
21. TABLE AND CHAIRS, N.I.C. SEE D/L005.
22. NOT USED.
23. 6" DIA. TREE GRATE.
24. NOT USED.
25. MOTORCYCLE ONLY PARKING SIGN.
26. 6" SECURITY FENCE, SEE 2/A003.
27. SECURITY GATE.
28. NOT USED.
29. TEMPORARY ASPHALT CURB.
30. PEDESTRIAN CROSSING.
31. PAINTED ACCESSIBLE PAVEMENT SYMBOL.
32. PAINTED PARKING STRIPING, COLOR: WHITE.
33. ACCESSIBLE SIGN.
34. CONCRETE BUMPER.
35. TRASH RECEPTACLE, SEE C/L005.
36. NOT USED.
37. PING PONG TABLE, N.I.C.
38. NOT USED.
39. MONUMENT SIGN, SEE 1/A001.
40. MANHOLE, SEE ELECTRICAL DWGS.
41. HEAVY DUTY ASPHALT.
42. FDC LOCATION.
43. PAINTED FIRE LANE, PER COA STD.
44. BASKETBALL HOOP (N.I.C.).
45. VOLLEYBALL COURT (N.I.C.).
46. GUARD HOUSE (N.I.C.).
47. EXIT ONLY SIGN.
48. SERVICE DRIVE ONLY SIGN.



**LANDSCAPE CALCULATIONS - PHASE 1**

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES  
TOTAL GROSS BUILDING AREA: 50,000 SF  
NET LOT AREA: 273,946 SF / 6.29 ACRES  
REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 41,092 SF / 0.94 ACRES  
PROVIDED LANDSCAPE AREA: (60.0% OF NET LOT AREA) 164,548 SF / 3.8 ACRES  
TOTAL ALLOWED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 32,809 SF / .76 ACRES  
TOTAL PROVIDED TURF GRASS: (6.2% OF OVERALL LANDSCAPE AREA): 10,122 SF / .23 ACRES

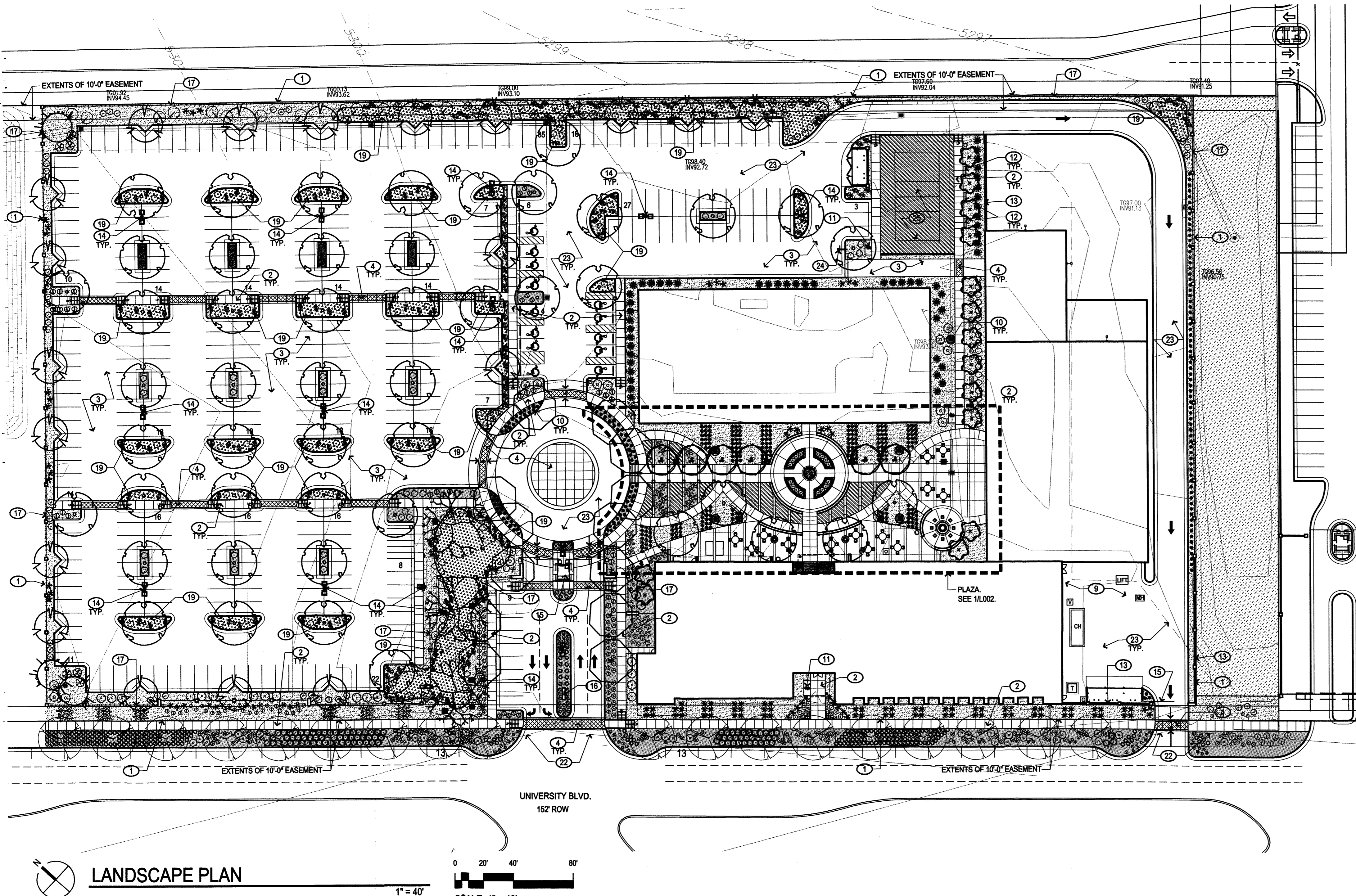
**SITE PLAN**



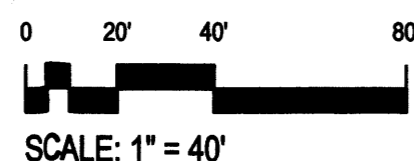
**1 SITE WALL ELEVATION AT SERVICE AREA**

1/4" = 1'-0"

CRG  
5/29/08



**LANDSCAPE PLAN**



**PLANTING NOTES**

- LANDSCAPE DESCRIPTION: THE LANDSCAPE DESIGN UTILIZES NATIVE PLANTS AND OTHER LOW-WATER-USE PLANTS THAT WILL REINFORCE THE SPECIAL LOCATION OF THE PROJECT - ON A HIGH DESERT GRASSLAND MESA. THE SELECTED SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT. FOLLOW THE MESA DEL SOL DESIGN GUIDELINES, AND ESTABLISH AREAS OF WILDLIFE HABITAT.
- EXISTING PLANT MATERIAL: THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- AFTER SUBSTANTIAL COMPLETION, THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING APPROPRIATE BRANCH CLEARANCES OVER WALKS AND STREETS WHERE MULTI-TRUNK TREES ARE USED.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- WATER USE DESCRIPTION: PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES. A MINIMAL AMOUNT OF TURF IS USED IN THIS DESIGN.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- SOIL BOND SHALL BE ADDED TO SEED INSTALLATION IN WATER HARVESTING AREAS AND ON SLOPES GREATER THAN 3:1.
- LANDSCAPE FABRIC: ALL LANDSCAPE AREAS, EXCEPT FOR SEEDED AND SODDED AREAS, SHALL BE COVERED WITH LANDSCAPE WEED BARRIER FABRIC PRIOR TO MULCHING, IN ORDER TO MINIMIZE WEED GROWTH AND HELP MAINTAIN SOIL MOISTURE.
- LANDSCAPE AREAS SHALL BE COVERED WITH EITHER SEED, SOD, OR ROCK MULCH. SEE LANDSCAPE LEGEND, L001. PLANT QUANTITIES AND AREA SQUARE FOOTAGES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES FOR FINAL PRICING.
- SOIL PREPARATION WITHIN ROW IS REQUIRED TO CLEAR DEBRIS AND DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING. SEE SPECIFICATIONS.
- ALL LANDSCAPING WITHIN THE R.O.W. MUST CONFORM TO THE MESA DEL SOL STREETSCAPE MASTER PLAN.
- SOIL SECRETS SOIL BIOLOGY AMENDMENTS SHALL BE USED ON ALL PLANTING, SODDED, AND SEEDED AREAS. (SOIL SECRETS: 505-550-3246 OR WWW.SOILSECRETS.COM).  
A. PRODUCTS AND RATES SHALL BE AS FOLLOWS:  
1. SOIL INNOCULUM: TERRA PRO-COMMERCIAL OR APPROVED EQUAL. TERRA PRO-COMMERCIAL IS A FULL SPECTRUM ORGANIC SOIL INNOCULUM WITH BACTERIA, ENZYMES, COENQVIMES, MYCORRHIZAE, AND PROTOZOA. TERRA PRO-COMMERCIAL IS PRODUCED BY SOIL SECRETS (505-550-3246, WWW.SOILSECRETS.COM). APPLY AT A RATE OF 2000 LBS. PER ACRE, WHICH IS ONE .8 CUBIC FOOT BAG PER 1000 SF OR 43 BAGS PER ACRE.  
2. CATALYST: PROTEIN CRUMBLES OR APPROVED EQUAL. PROTEIN CRUMBLES IS A NATURAL SOURCE OF CRUDE PROTEIN. PROTEIN CRUMBLES IS PRODUCED BY SOIL SECRETS. APPLY AT A RATE OF 800 LBS. PER ACRE, WHICH IS ONE .8 CUBIC FOOT BAG PER 2000 SF OR 22 BAGS PER ACRE.
- APPLICATIONS OF SOIL AMENDMENTS ARE REQUIRED AT INSTALLATION AND AGAIN DURING THE WARRANTY PERIOD.
- APPLICATION OF SOIL AMENDMENTS FOR TREES, GROUND COVERS, SHRUBS, AND SUCCULENTS IS TO BE MADE OVER EACH PLANT PIT. FOR PURPOSES OF BIDDING, ASSUME THE FOLLOWING AREAS:  
TREES: 78.5 SF EACH  
SHRUBS, GRASSES, GROUND COVERS, SUCCULENTS: 5 GAL.: 28 SF EACH/1 GAL.: 12 SF EACH
- FOLLOWING PLANTING AND SEEDING, SOIL AMENDMENTS SHALL BE SPREAD UNIFORMLY OVER PLANTING PIT AND SEEDED AREAS. CONTRACTOR SHALL WATER AMENDMENTS INTO SOIL PER MANUFACTURER'S INSTRUCTIONS.
- NATIVE SOILS SHALL BE USED FOR LANDSCAPE INSTALLATION. IMPORT OF PLANTING MIX OR HIGH QUALITY TOPSOIL IS NOT REQUIRED UNLESS THE SOILS HAVE BEEN CONTAMINATED DURING THE CONSTRUCTION PROCESS.
- PASSIVE WATER HARVESTING: PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, IS UTILIZED WHERE FEASIBLE. SEE KEYED NOTES.
- THIS LANDSCAPE PLAN IS COMPLIANT WITH THE REQUIREMENTS SET FORTH BY THE MESA DEL SOL DESIGN GUIDELINES BOOK.
- STREETSCAPE PLANTING WAS DESIGNED BY EDW AND IS SHOWN WITH A SEPARATE PLANTING LEGEND TO CLARIFY THAT THIS AREA WAS DESIGNED BY THEM.

**IRRIGATION NOTES**

- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE NON-POTABLE WATER. IRRIGATION SHALL BE PROVIDED TO ALL CONTAINER PLANTS, AND POTENTIALLY TO SEEDED AREAS.
- IRRIGATION: WE ARE NOT SHOWING AN IRRIGATION PLAN FOR THE FOLLOWING REASONS:  
1) AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL SUPPLY THE IRRIGATION PLAN.  
2) THE CITY OF ALBUQUERQUE DOES NOT REQUIRE AN IRRIGATION PLAN AT THIS LEVEL OF DOCUMENTATION.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL OTHER THAN SEEDED AREAS.

**KEYED NOTES (X)**

- PROPERTY LINE
- CONCRETE PAVING
- ASPHALT PAVING
- INTEGRAL COLOR CONCRETE, SEE 1/L005
- NOT USED
- NOT USED
- 18" WIDE CONCRETE MOW CURB
- SEATWALL
- SERVICE AREA
- STORM DRAIN INLET, SEE CIVIL
- BIKE RACK, SEE B/L005
- BENCH, SEE A/L005
- 6'-8" SCREEN WALL, SEE 1/A004
- LIGHT POLE, SEE ELECTRICAL
- FIRE PIT, N.I.C.
- MONUMENT SIGN, 1/A001
- 6'-8" SECURITY FENCE, SEE 2/A003
- TRASH RECEPTACLE, SEE C/L005
- WATER HARVESTING AREA, SEE L003
- PING PONG TABLE, N.I.C.
- TABLE & CHAIRS, N.I.C., SEE D/L005
- CLEAR SIGHT TRIANGLE
- HEAVY DUTY ASPHALT
- BASKETBALL HOOP, N.I.C.
- VOLLEYBALL COURT, N.I.C.
- 5" DIA. TREE GRATE, SEE E/L005
- TEMPORARY SAND FENCE - PHASE I ONLY

**PLANTING SCHEDULE - MDS STREETSCAPE - FULL BUILD**

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	18	3" Cal.	CHINESE PISTACHE	<i>Pistacia chinensis</i>	35.00	30.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	230	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
(Symbol)	21	1 Gal.	NASHVILLE MUMBLEY	<i>Muhlenbergia rigida 'Nashville'</i>	2.00	3.00	Medium Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	63	1 Gal.	PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	3.00	1.50	Mold At All Times
(Symbol)	48	1 Gal.	SUNSET PENSTEMON	<i>Penstemon chitii</i>	3.00	2.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	35	5 Gal.	TRAILING INDIGO BUSH	<i>Dalea greggii</i>	1.50	8.00	Drought Tolerant
(Symbol)	10	5 Gal.	TURPENTINE BUSH	<i>Eriogonum latifolium</i>	3.00	4.00	Drought Tolerant
(Symbol)	90	5 Gal.	GREEN CLOUD RANGER	<i>Leucophyllum frutescens 'Green Cloud'</i>	5.00	5.00	Drought Tolerant
(Symbol)	43	3 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	37	3 Gal.	MESCAL AGAVE	<i>Agave parryi 'Neomexicana'</i>	2.00	2.00	Drought Tolerant

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	5,778 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lateral Materials			For use in designated landscape areas with weed barrier fabric.

**PLANTING SCHEDULE - FULL BUILD**

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	3	8" Tall min.	ARIZONA CYPRESS (Non-Allergenic)	<i>Cupressus arizonica</i>	50.00	35.00	Drought Resistant
(Symbol)	14	40" Box	DESERT OLIVE (Multi-Trunk)	<i>Forsythesa roemeri</i>	12.00	12.00	Medium Water Use
(Symbol)	48	2.5" Cal.	RAYWOOD ASH	<i>Fraxinus ocyropa 'Raywood'</i>	35.00	30.00	Medium Water Use
(Symbol)	3	2.5" Cal.	RIO GRANDE COTTONWOOD (2 Trunk)	<i>Populus whitmani 'Rio Grand'</i>	35.00	45.00	Heavy Water Use
(Symbol)	14	2.5" Cal.	IDAHO LOCUST	<i>Robinia alba 'Idahoensis'</i>	35.00	30.00	Low Water Use
(Symbol)	6	40" Box	CHASTE TREE	<i>Vitex agnus-castus</i>	25.00	20.00	Medium Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	231	1 Gal.	KARL FORESTER REED GRASS	<i>Celestargrassia x scutellaria 'Karl Forester'</i>	5.00	2.00	Low Water Use
(Symbol)	44	1 Gal.	BLUE FESCUE	<i>Festuca ovina glauca</i>	1.00	1.00	Medium Water Use
(Symbol)	17	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
(Symbol)	196	5 Gal.	EL TORO MUMBLEY	<i>Muhlenbergia emersleyi 'El Toro'</i>	3.00	3.00	Low Water Use
(Symbol)	163	1 Gal.	THREADGRASS	<i>Nassella tenuistylis</i>	2.00	2.00	Low Water Use
(Symbol)	50	1 Gal.	DWARF FOUNTAIN GRASS	<i>Panicum alopecuroides 'Hemist'</i>	3.00	3.00	Medium Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	88	1 Gal.	WINECUPS	<i>Callitriche involucrata</i>	1.00	2.50	Low Water Use
(Symbol)	89	1 Gal.	GAURA	<i>Gaura lindheimeri</i>	3.00	4.00	Medium Water Use
(Symbol)	12	1 Gal.	DESERT FOUR O'CLOCK	<i>Mirabilis multiflora</i>	1.50	4.00	Low Water Use
(Symbol)	28	1 Gal.	SANDPAPER VERBENA	<i>Verbena rigida</i>	1.50	3.50	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	23	5 Gal.	FOURWING SALTBUSH	<i>Atriplex canescens</i>	6.00	6.00	Drought Resistant
(Symbol)	20	5 Gal.	THOMPSON BROOM	<i>Baccharis x Stam</i>	2.00	6.00	Low Water Use
(Symbol)	19	40" Box	DESERT WILLOW (Multi-Trunk)	<i>Chilopsis linearis</i>	20.00	25.00	Low Water Use
(Symbol)	5	5 Gal.	TURPENTINE BUSH	<i>Eriogonum latifolium</i>	3.00	4.00	Drought Tolerant
(Symbol)	42	5 Gal.	BLACK DALEA	<i>Dalea frutescens 'Stena Nigra'</i>	3.00	4.00	Drought Tolerant
(Symbol)	24	5 Gal.	ENCHANTRESS HAWTHORNE	<i>Raphanolepis indica 'Enchantress'</i>	3.00	3.00	Medium Water Use
(Symbol)	35	5 Gal.	GRO-LOW SUMAC	<i>Rhus aromatica 'Gro-Low'</i>	3.00	6.00	Medium Water Use
(Symbol)	19	15 Gal.	THREELEAF SUMAC	<i>Rhus trilobata</i>	6.00	6.00	Low Water Use
(Symbol)	51	5 Gal.	SEMI-PROSTRATE ROSEMARY	<i>Rosmarinus officinalis 'Collingwood Ingram'</i>	2.50	4.00	Medium Water Use
(Symbol)	26	5 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use
(Symbol)	19	5 Gal.	PINK AULNAM SAGE	<i>Salvia greggii</i>	2.50	3.00	Medium Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	38	5 Gal.	PARRY'S AGAVE	<i>Agave parryi 'Neomexicana'</i>	1.50	2.00	Low Water Use
(Symbol)	41	5 Gal.	BLUE SOTOL	<i>Dasylirion wheeleri</i>	5.00	6.00	Low Water Use
(Symbol)	67	5 Gal.	RED HESPERALOE	<i>Heesporalis parviflora</i>	4.00	4.00	Low Water Use
(Symbol)	54	5 Gal.	BEARGRASS	<i>Nolina texana</i>	4.00	5.00	Low Water Use
(Symbol)	9	5 Gal.	BEAVERTAIL PRICKLY PEAR	<i>Opuntia basilaris</i>	2.00	4.00	Low Water Use
(Symbol)	61	5 Gal.	BANANA YUCCA	<i>Yucca baccata</i>	3.00	4.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	5,542 SF		SOD	Festuca spp.			NA
(Symbol)	38,088 SF		ROCK MULCH	3" Rock Mulch, 3" min. Depth, Color: Santa Fe Brown			For use in designated landscape areas with weed barrier fabric.
(Symbol)	8,238 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown			For use in designated landscape areas with weed barrier fabric.
(Symbol)	15,143 SF		COBBLE	2" C Cobble Rock Mulch, 3" min. Depth, Color: Santa Fe Tan			For soil stabilization in water harvesting area with weed barrier fabric.

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	22,400 SF TOTAL		NATIVE SEEDING IN EASEMENT	East Side Mix (No Fountaing Saltbush), Curbs & Curbs			Seed Rate: 11 PLS lbs / acre, Dill seed.
(Symbol)	829 SF		ROCK MULCH IN EASEMENT	3" Rock Mulch, 3" min. Depth, Color: Santa Fe Brown			For use in designated landscape areas with weed barrier fabric.

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(Symbol)	829 SF		ROCK MULCH IN EASEMENT	3" Rock Mulch, 3" min. Depth, Color: Santa Fe Brown			For use in designated landscape areas with weed barrier fabric.

**LANDSCAPE CALCULATIONS - FULL BUILD OUT**

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES  
TOTAL GROSS BUILDING AREA: 100,000 SF  
TOTAL UTILITY YARD AREA: 14,388 SF  
NET LOT AREA: 209,558 SF / 4.81 ACRES  
REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 31,434 SF / 0.72 ACRES  
PROVIDED LANDSCAPE AREA: (30% OF NET LOT AREA) 63,009 SF / 1.4 ACRES  
TOTAL PROVIDED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 12,602 SF / .29 ACRES  
TOTAL PROVIDED TURF GRASS: (8.8% OF OVERALL LANDSCAPE AREA): 5,542 SF / .13 ACRES

ARCHITECT

ARC  
SUBMITTAL

ENGINEER

PROJECT

**SONY IMAGEWORKS @ Mesa del Sol**  
Albuquerque, NM

REVISIONS

- 01.28.08 - ARC Preliminary Review
- 02.14.08 - ARC Secondary Review
- 04.18.08 - LEVEL C COMMENTS

DRAWN BY IF / CM / SY

REVIEWED BY MB / CG

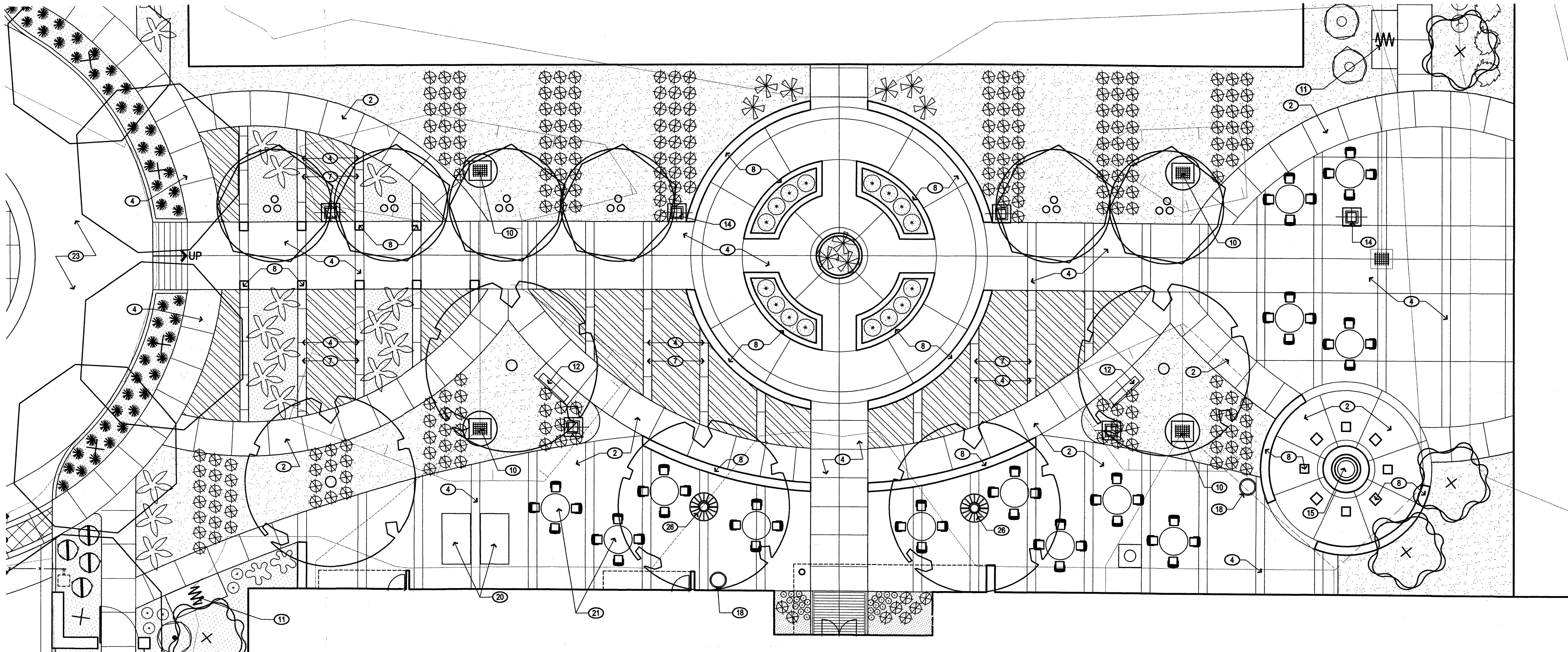
DATE 05/08/08

PROJECT NO. 07-0116

DRAWING NAME

LANDSCAPE PLAN FULL BUILD OUT

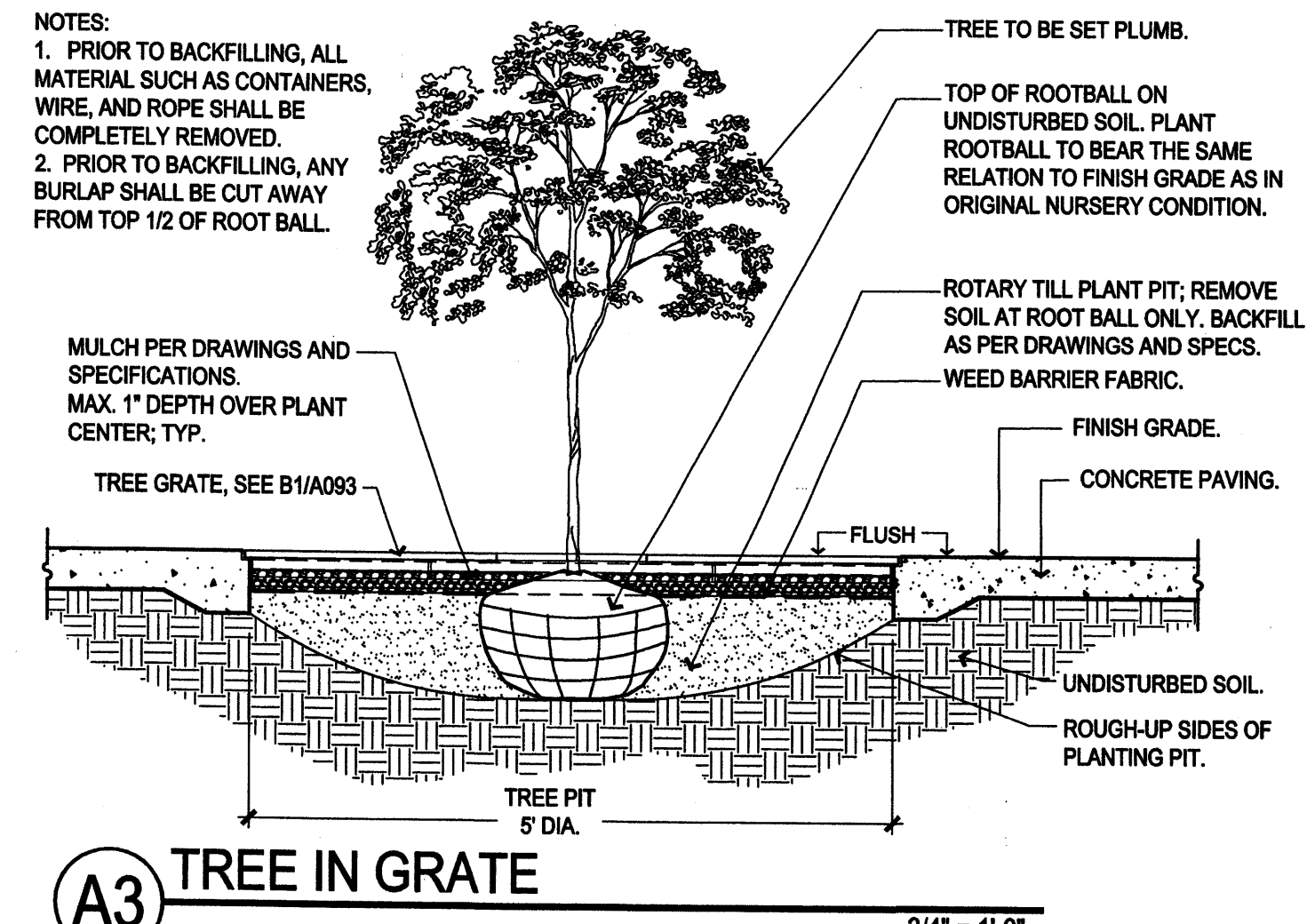
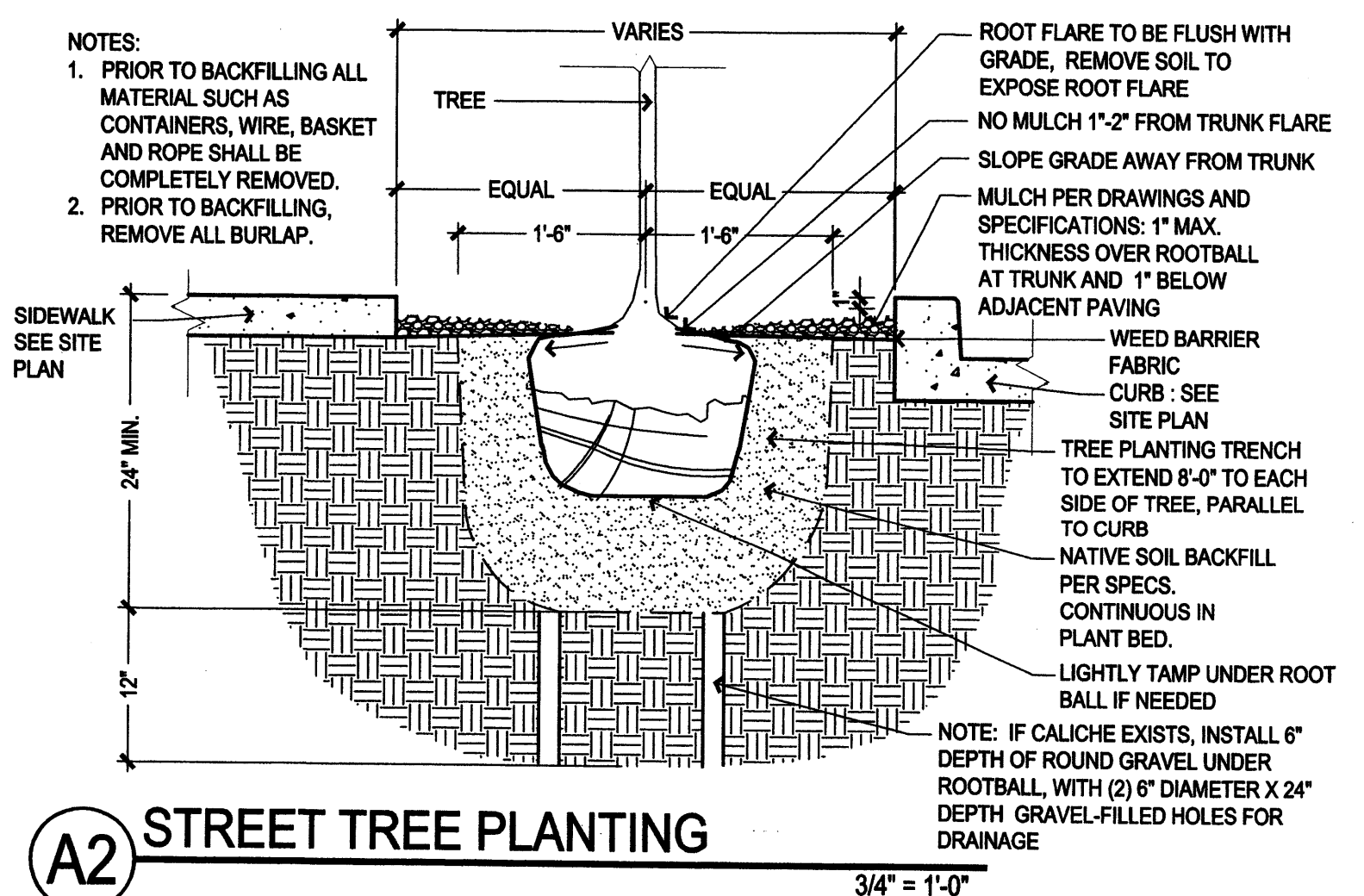
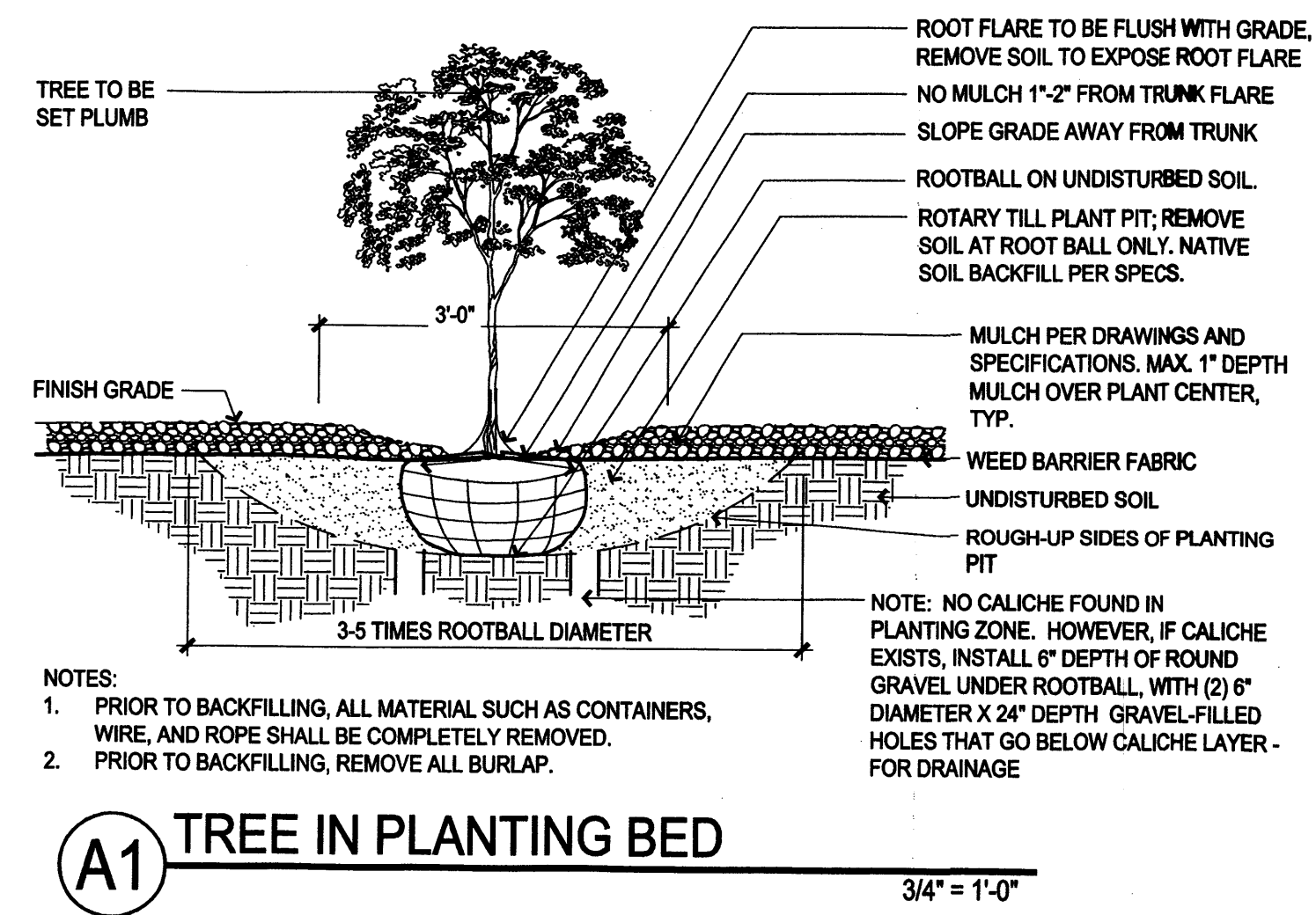
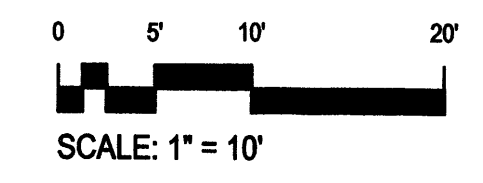
SHEET NO.



**KEYED NOTES** (X)

1. PROPERTY LINE
2. CONCRETE PAVING
3. ASPHALT PAVING
4. INTEGRAL COLOR CONCRETE, SEE 1/L005
5. NOT USED
6. NOT USED
7. 18" WIDE CONCRETE MOW CURB
8. SEATWALL
9. SERVICE AREA
10. STORM DRAIN INLET, SEE CIVIL
11. BIKE RACK, SEE B/L005
12. BENCH, SEE A/L005
13. 6"-8" SCREEN WALL, SEE 1/A004
14. LIGHT POLE, SEE ELECTRICAL
15. FIRE PIT, N.I.C.
16. MONUMENT SIGN, 1/A001
17. 6"-8" SECURITY FENCE, SEE 2/A003
18. TRASH RECEPTACLE, SEE C/L005
19. WATER HARVESTING AREA, SEE L003
20. PING PONG TABLE, N.I.C.
21. TABLE & CHAIRS, N.I.C., SEE D/L005
22. CLEAR SIGHT TRIANGLE
23. HEAVY DUTY ASPHALT
24. BASKETBALL HOOP, N.I.C.
25. VOLLEYBALL COURT, N.I.C.
26. 6" DIA. TREE GRATE, SEE E/L005
27. TEMPORARY SAND FENCE - PHASE I ONLY

**1** COURTYARD LANDSCAPE PLAN  
1" = 10'



ARCHITECT

**ARC  
SUBMITTAL**

ENGINEER

PROJECT

**SONY IMAGEWORKS**  
@ Mesa del Sol  
Albuquerque, NM



REVISIONS

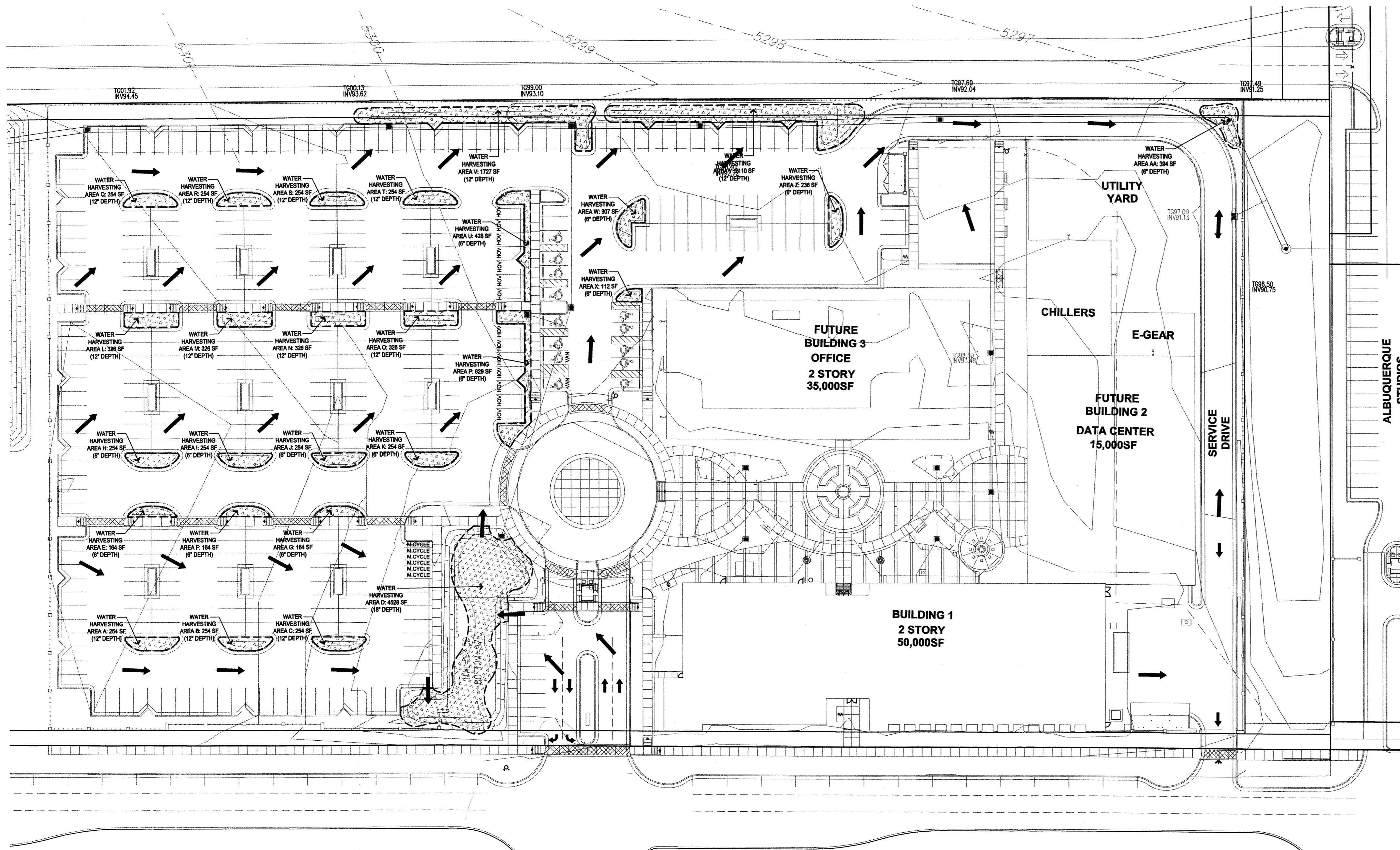
01.28.08 - ARC Preliminary Review
02.14.08 - ARC Secondary Review
04.18.08 - LEVEL C COMMENTS

DRAWN BY	IF / CM / SY
REVIEWED BY	MB / CG
DATE	05/06/08
PROJECT NO.	07-0116
DRAWING NAME	

**COURTYARD  
LANDSCAPE PLAN &  
TREE DETAILS**

SHEET NO.

**L002**  
OF



### WATER HARVESTING NOTES

1. WATER HARVESTING SWALES AS SHOWN ON THE PLAN WILL HELP CAPTURE THE SURFACE RUNOFF WATER FROM THE SITE, AND WILL PROVIDE SUPPLEMENTAL WATER FOR PLANTS WITHIN THE WATER HARVESTING ZONES.
2. THESE WATER HARVESTING AREAS ARE SHOWN AS THE HATCHED AREAS NOTED ON THE PLAN. SQUARE FOOTAGE OF TOP RIM OF EACH WATER HARVESTING AREA IS LISTED, AS WELL AS THE DEPTH OF EACH AREA.
3. THIS SITE PLAN WILL UTILIZE CURB CUTS IN NECESSARY LOCATIONS ACROSS THE SITE TO ALLOW THE WATER TO ENTER WATER HARVESTING AREAS AT THE LOCATION CLOSEST TO WHERE THE WATER FALLS. SEE CIVIL PLANS FOR CURB CUT LOCATIONS.

ARCHITECT

ARC  
SUBMITTAL

ENGINEER

PROJECT

**SONY IMAGEWORKS**  
@ Mesa del Sol  
Albuquerque, NM

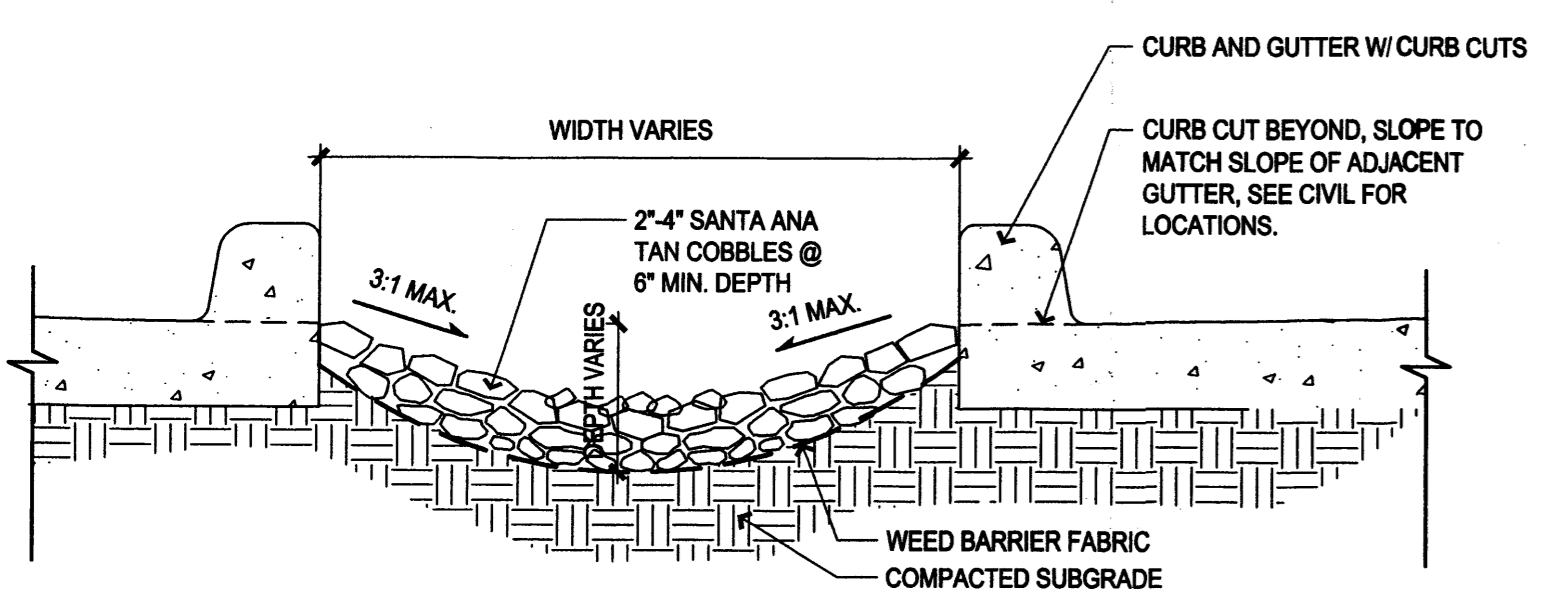


REVISIONS

1	01.28.08 - ARC Preliminary Review
2	02.14.08 - ARC Secondary Review
3	04.18.08 - LEVEL C COMMENTS

DRAWN BY IF / CM / SY  
REVIEWED BY MB / CG  
DATE 05/06/08  
PROJECT NO. 07-0116  
DRAWING NAME  
**WATER HARVESTING PLAN**

SHEET NO.



**A1 WATER HARVESTING AREA - CURB CUT**  
SEE CIVIL FOR LOCATIONS  
1" = 1'-0"

Sony Imageworks Water Harvesting Calcs						
Site Acreage						7.44
Site Area (square feet)						323,946.00
1/2" Rainfall						13,497.75 cubic feet
<b>Site Features</b>						
Building Footprint (SF)			Area (SF)	Run-off Co-efficient	Impervious Area (SF)	
Landscaped Area (SF)			63,009.00	0.2	12,601.80	
Asphalt (SF)			160,937.00	0.95	152,890.15	
<b>Subtotal</b>						260,491.95
<b>Percentage Impervious Surfaces</b>						
(Site Area - Bldg. Footprint - Landscape Area)						0.80
<b>Water Harvesting Calculations:</b>						
Total Impervious Area:						260,491.95
Cubic Volume of 1/2" rainfall event:						10,853.83 cubic feet
Average depth in inches required to harvest:						2.07 inches
<b>Water Harvesting Areas</b>						
Area	Slope of Pond Area	Top Rim SF	Bottom Rim SF	Average SF	Depth (feet)	Volume Harvested
A	3 to 1	254	56	155	1.00	155.00
B	3 to 1	254	56	155	1.00	155.00
C	3 to 1	254	56	155	1.00	155.00
D	3 to 1	4528	2794	3661	1.50	5,491.50
E	3 to 1	164	72	118	0.50	59.00
F	3 to 1	164	72	118	0.50	59.00
G	3 to 1	164	72	118	0.50	59.00
H	3 to 1	254	145	199.5	0.50	99.75
I	3 to 1	254	145	199.5	0.50	99.75
J	3 to 1	254	145	199.5	0.50	99.75
K	3 to 1	254	145	199.5	0.50	99.75
L	3 to 1	326	97	211.5	1.00	211.50
M	3 to 1	326	97	211.5	1.00	211.50
N	3 to 1	326	97	211.5	1.00	211.50
O	3 to 1	326	97	211.5	1.00	211.50
P	3 to 1	629	233	431	0.50	215.50
Q	3 to 1	254	56	155	1.00	155.00
R	3 to 1	254	56	155	1.00	155.00
S	3 to 1	254	56	155	1.00	155.00
T	3 to 1	254	56	155	1.00	155.00
U	3 to 1	428	114	271	0.50	135.50
V	3 to 1	1727	661	1194	1.00	1,194.00
W	3 to 1	307	187	247	0.50	123.50
X	3 to 1	112	53	82.5	0.50	41.25
Y	3 to 1	2110	994	1552	1.00	1,552.00
Z	3 to 1	236	134	185	0.50	92.50
AA	3 to 1	394	270	332	0.50	166.00
<b>Subtotal</b>						<b>11,518.75 cubic feet</b>





REVISIONS

1	01.28.08 - ARC Preliminary Review
2	02.14.08 - ARC Secondary Review
3	04.18.08 - LEVEL C COMMENTS

DRAWN BY IF / CM / SY  
REVIEWED BY MB / CG  
DATE 05/06/08  
PROJECT NO. 07-0116  
DRAWING NAME

LANDSCAPE PLAN  
PHASE I

PLANTING SCHEDULE - MDS STREETScape - PHASE I

TREES - SEE A1, A2, A3, & C&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	18	3" Cal.	CHINESE PISTACHE	<i>Platanus chinensis</i>	35.00	30.00	Low Water Use
GRASS - SEE B1 & B3&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	282	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
(Symbol)	21	1 Gal.	NASHVILLE MULLEY	<i>Muhlenbergia rigida 'Nashville'</i>	2.00	3.00	Medium Water Use
GROUND COVER - SEE B3&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	83	1 Gal.	PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	3.00	1.50	Moist At All Times
(Symbol)	48	1 Gal.	SUNSET PENSTEMON	<i>Penstemon digitalis</i>	3.00	2.00	Low Water Use
SHRUB - SEE B1 & C&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	34	5 Gal.	TRAILING INDIAN BUSH	<i>Dalea greggii</i>	1.50	6.00	Drought Tolerant
(Symbol)	10	5 Gal.	TURPENTINE BUSH	<i>Eriogonum fasciculatum</i>	3.00	4.00	Drought Tolerant
(Symbol)	89	5 Gal.	GREEN CLOUD RANGER	<i>Leucophyllum frutescens 'Green Cloud'</i>	5.00	5.00	Drought Tolerant
(Symbol)	33	3 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use
SUCCULENT - SEE B2&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	13	3 Gal.	MESCAL AGAVE	<i>Agave parryi 'Neonascant'</i>	2.00	2.00	Drought Tolerant
SEED / SOIL / MULCH							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	0.658 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lalgro Materials			For use in designated landscape areas with weed barrier fabric.

PLANTING SCHEDULE - PHASE I

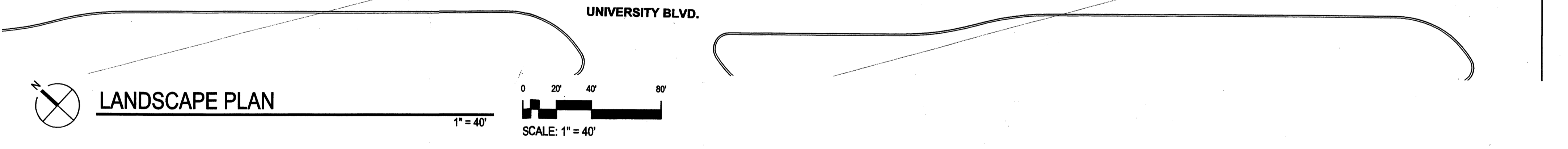
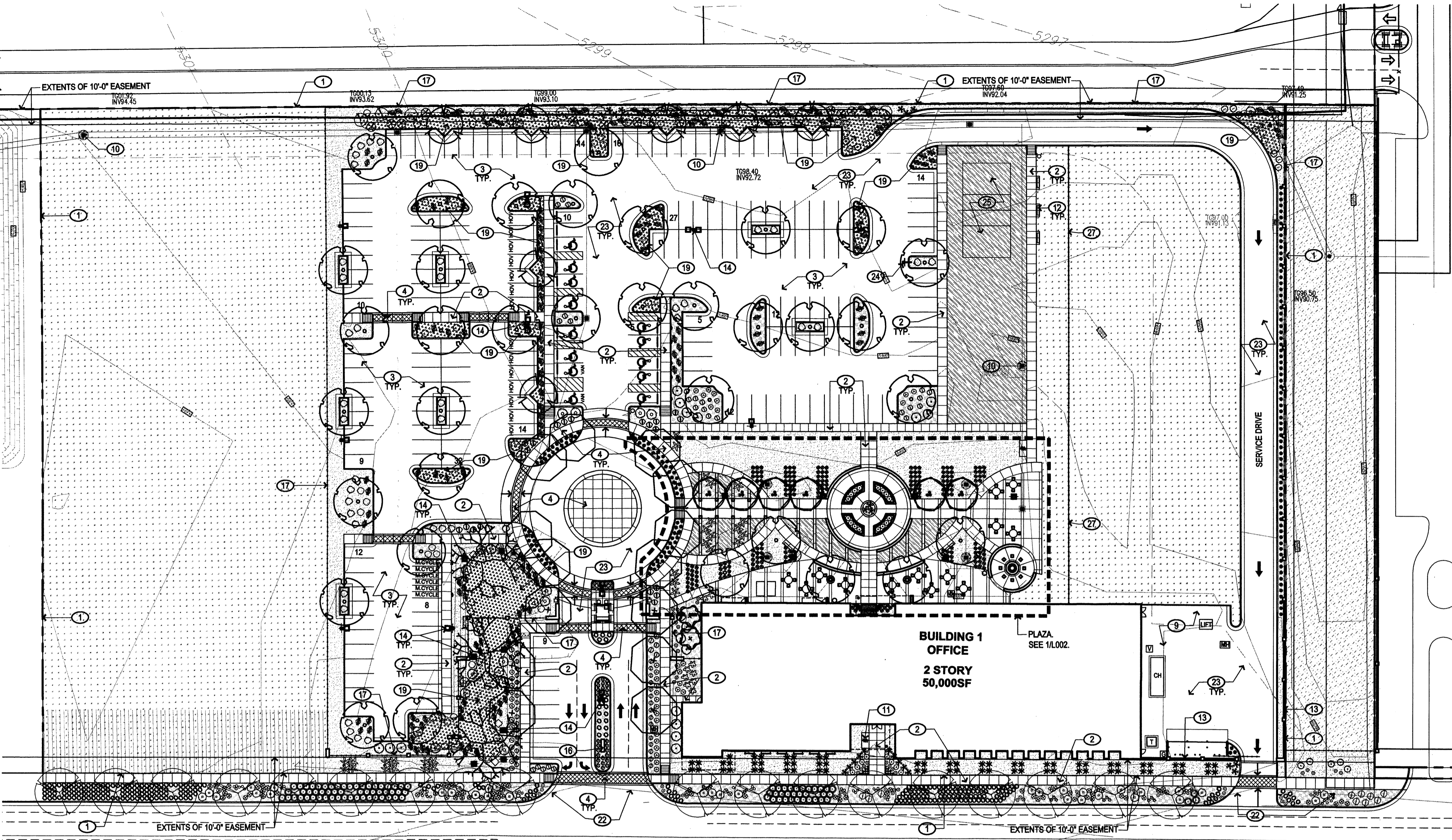
TREES - SEE A1, A2, A3, & C&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	2	40" Box	DESERT OLIVE (Multi-Trunk)	<i>Forsythia neomexicana</i>	12.00	12.00	Medium Water Use
(Symbol)	35	2.5" Cal.	RAYWOOD ASH	<i>Fraxinus oxyacantha 'Raywood'</i>	35.00	30.00	Medium Water Use
(Symbol)	3	2.5" Cal.	RIO GRANDE COTTONWOOD (2 Trunk)	<i>Populus wislizeni 'Rio Grande'</i>	35.00	45.00	Heavy Water Use
(Symbol)	14	2.5" Cal.	IDAHO LOCUST	<i>Robinia ambigua 'Idahoensis'</i>	35.00	30.00	Low Water Use
(Symbol)	6	40" Box	CHASTE TREE	<i>Viburnum coccineum</i>	25.00	20.00	Medium Water Use
GRASS - SEE B1 & B3&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	195	1 Gal.	KARL FORESTER REED GRASS	<i>Calamagrostis x scudifolia 'Yarl Forester'</i>	5.00	2.00	Low Water Use
(Symbol)	44	1 Gal.	BLUE FESCUE	<i>Festuca ovina glauca</i>	1.00	1.00	Medium Water Use
(Symbol)	17	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
(Symbol)	187	5 Gal.	EL TORO MULLEY	<i>Muhlenbergia emmenlayi 'El Toro'</i>	3.00	3.00	Low Water Use
(Symbol)	153	1 Gal.	THREEDRAGON	<i>Nassella tenuissima</i>	2.00	2.00	Low Water Use
(Symbol)	45	1 Gal.	DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides 'Hawaii'</i>	3.00	3.00	Medium Water Use
GROUND COVER - SEE B3&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	31	1 Gal.	WINECUPS	<i>Callitriche involucrata</i>	1.00	2.50	Low Water Use
(Symbol)	62	1 Gal.	GAURA	<i>Gaura lindheimeri</i>	3.00	4.00	Medium Water Use
(Symbol)	12	1 Gal.	DESERT FOUR O'CLOCK	<i>Mimulus multicolor</i>	1.50	4.00	Low Water Use
(Symbol)	20	1 Gal.	SANDPAPER VERBENA	<i>Verbena rigida</i>	1.50	3.50	Low Water Use
SHRUB - SEE B1 & C&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	17	5 Gal.	FOURWING SALT BUSH	<i>Atriplex canescens</i>	6.00	6.00	Low Water Use
(Symbol)	18	5 Gal.	THOMPSON BROOM	<i>Baccharis x thornii</i>	2.00	6.00	Low Water Use
(Symbol)	7	40" Box	DESERT WILLOW (Multi-Trunk)	<i>Chilopsis linearis</i>	20.00	25.00	Low Water Use
(Symbol)	9	5 Gal.	BLACK DALEA	<i>Dalea frutescens 'Sierra Negra'</i>	3.00	4.00	Low Water Use
(Symbol)	5	5 Gal.	TURPENTINE BUSH	<i>Eriogonum fasciculatum</i>	3.00	4.00	Drought Tolerant
(Symbol)	24	5 Gal.	ENCHANTRESS INDIA HAWTHORNE	<i>Raphanolepis indica 'Enchantress'</i>	3.00	3.00	Medium Water Use
(Symbol)	27	5 Gal.	GRO-LOW SUMAC	<i>Rhus aromatica 'Gro-Low'</i>	3.00	6.00	Medium Water Use
(Symbol)	11	15 Gal.	THREELF LEAF SUMAC	<i>Rhus trilobata</i>	6.00	6.00	Low Water Use
(Symbol)	40	5 Gal.	SEMI-PROSTRATE ROSEMARY	<i>Rosmarinus officinalis 'Coffinwood Ingram'</i>	2.50	4.00	Medium Water Use
(Symbol)	28	5 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use
(Symbol)	34	5 Gal.	PINK AUTUMN SAGE	<i>Salvia greggii</i>	2.50	3.00	Medium Water Use
SUCCULENT - SEE B2&L003							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	38	5 Gal.	PARRY'S AGAVE	<i>Agave parryi 'Neonascant'</i>	2.00	2.00	Low Water Use
(Symbol)	29	5 Gal.	BLUE SOTOL	<i>Dasylirion wheeleri</i>	5.00	6.00	Low Water Use
(Symbol)	87	5 Gal.	RED HESPERALOE	<i>Hesperaloe parviflora</i>	4.00	4.00	Low Water Use
(Symbol)	9	5 Gal.	BEAUVERTAL PROCKLY PEAR	<i>Oenothera biocellata</i>	2.00	4.00	Drought Resistant
(Symbol)	22	5 Gal.	BANANA YUCCA	<i>Yucca baccata</i>	3.00	4.00	Low Water Use

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	10,122 SF		SOD	Revolve Sod Turfgrass Gardner/Turfgrass, Inc.	N/A		
(Symbol)	109,228 SF		NATIVE SEEDING	East Side Mix Curtis & Curtis	Seed Rate: 11 PLS lb / acre, Drill seed.		
(Symbol)	7,025 SF		NATIVE SEEDING W/ IRRIGATION	East Side Mix Curtis & Curtis	N/A		
(Symbol)	27,847 SF		ROCK MULCH	3" Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lalgro Materials			For use in designated landscape areas with weed barrier fabric.
(Symbol)	8,076 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lalgro Materials			For use in designated landscape areas with weed barrier fabric.
(Symbol)	8,473 SF		COBBLE	2" x 4" Cobble Rock Mulch, 3" min. Depth, Color: Santa Fe Tan - Lalgro Materials			For soil stabilization in water harvesting area with weed barrier fabric.
ADDITIONAL NATIVE SEEDING - TO BE INSTALLED UNDER A SEPARATE CONTRACT							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
(Symbol)	22,458 SF		NATIVE SEEDING IN EASEMENT	East Side Mix (No Fourwing Saltbush) Curtis & Curtis	Seed Rate: 11 PLS lb / acre, Drill seed.		
(Symbol)	928 SF		ROCK MULCH IN EASEMENT	3" Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lalgro Materials			For use in designated landscape areas with weed barrier fabric.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES  
 TOTAL GROSS BUILDING AREA: 100,000 SF  
 TOTAL UTILITY YARD AREA: 14,388 SF  
 NET LOT AREA: 209,558 SF / 4.81 ACRES  
 REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 31,434 SF / 0.72 ACRES  
 PROVIDED LANDSCAPE AREA: (32% OF NET LOT AREA) 66,525 SF / 1.5 ACRES  
 TOTAL ALLOWED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 13,305 SF / .3 ACRES  
 TOTAL PROVIDED TURF GRASS: (2.5% OF OVERALL LANDSCAPE AREA): 1,631 SF / .04 ACRES



PLANTING NOTES

- LANDSCAPE DESCRIPTION: THE LANDSCAPE DESIGN UTILIZES NATIVE PLANTS AND OTHER LOW-WATER-USE PLANTS THAT WILL REINFORCE THE SPECIAL LOCATION OF THE PROJECT. ON A HIGH DESERT GRASSLAND MESA, THE SELECTED SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT, FOLLOW THE MESA DEL SOL DESIGN GUIDELINES, AND ESTABLISH AREAS OF WILDLIFE HABITAT.
- EXISTING PLANT MATERIAL: THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- AFTER SUBSTANTIAL COMPLETION, THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING APPROPRIATE BRANCH CLEARANCES OVER WALKS AND STREETS WHERE MULTI-TRUNK TREES ARE USED.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- WATER USE DESCRIPTION: PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES. A MINIMAL AMOUNT OF TURF IS USED IN THIS DESIGN.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- SOIL BOND SHALL BE ADDED TO SEED INSTALLATION IN WATER HARVESTING AREAS AND ON SLOPES GREATER THAN 3:1.
- LANDSCAPE FABRIC: ALL LANDSCAPE AREAS, EXCEPT FOR SEEDED AND SODDED AREAS, SHALL BE COVERED WITH LANDSCAPE WEED BARRIER FABRIC PRIOR TO MULCHING, IN ORDER TO MINIMIZE WEED GROWTH AND HELP MAINTAIN SOIL MOISTURE.
- LANDSCAPE AREAS SHALL BE COVERED WITH EITHER SEED, SOD, OR ROCK MULCH. SEE LANDSCAPE LEGEND, L001. PLANT QUANTITIES AND AREA SQUARE FOOTAGES ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES FOR FINAL PRICING.
- SOIL PREPARATION WITHIN ROW IS REQUIRED TO CLEAR DEBRIS AND DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTINGS. SEE SPECIFICATIONS.
- ALL LANDSCAPING WITHIN THE R.O.W. MUST CONFORM TO THE MESA DEL SOL STREETScape MASTER PLAN.
- SOIL SECRETS'S SOIL BIOLOGY AMENDMENTS SHALL BE USED ON ALL PLANTING, SODDED, AND SEEDED AREAS. (SOIL SECRETS: 505-550-3246 OR WWW.SOILSECRETS.COM).  
 A. PRODUCTS AND RATES SHALL BE AS FOLLOWS:  
 1. SOIL INNOCULUM: TERRA PRO-COMMERCIAL OR APPROVED EQUAL. TERRA PRO-COMMERCIAL IS A FULL SPECTRUM ORGANIC SOIL INNOCULUM WITH BACTERIA, ENZYMES, COENQYMES, MYCORRHIZAE, AND PROTOZOA. TERRA PRO-COMMERCIAL IS PRODUCED BY SOIL SECRETS (505-550-3246, WWW.SOILSECRETS.COM). APPLY AT A RATE OF 2000 LBS. PER ACRE, WHICH IS ONE .6 CUBIC FOOT BAG PER 1000 SF OR 43 BAGS PER ACRE.  
 2. CATALYST: PROTEIN CRUMBLIES OR APPROVED EQUAL. PROTEIN CRUMBLIES IS A NATURAL SOURCE OF CRUDE PROTEIN. PROTEIN CRUMBLIES IS PRODUCED BY SOIL SECRETS. APPLY AT A RATE OF 800 LBS. PER ACRE, WHICH IS ONE .6 CUBIC FOOT BAG PER 2000 SF OR 22 BAGS PER ACRE.
- APPLICATIONS OF SOIL AMENDMENTS ARE REQUIRED AT INSTALLATION AND AGAIN DURING THE WARRANTY PERIOD.
- APPLICATION OF SOIL AMENDMENTS FOR TREES, GROUND COVERS, SHRUBS, AND SUCCULENTS IS TO BE MADE OVER EACH PLANT PIT. FOR PURPOSES OF BIDDING, ASSUME THE FOLLOWING AREAS:  
 TREES: 78.5 SF EACH  
 SHRUBS, GRASSES, GROUND COVERS, SUCCULENTS: 5 GAL.: 28 SF EACH/1 GAL.: 12 SF EACH
- FOLLOWING PLANTING AND SEEDING, SOIL AMENDMENTS SHALL BE SPREAD UNIFORMLY OVER PLANTING PIT AND SEEDED AREAS. CONTRACTOR SHALL WATER AMENDMENTS INTO SOIL PER MANUFACTURER'S INSTRUCTIONS.
- NATIVE SOILS SHALL BE USED FOR LANDSCAPE INSTALLATION. IMPORT OF PLANTING MIX OR HIGH QUALITY TOPSOIL IS NOT REQUIRED UNLESS THE SOILS HAVE BEEN CONTAMINATED DURING THE CONSTRUCTION PROCESS.
- PASSIVE WATER HARVESTING: PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, IS UTILIZED WHERE FEASIBLE. SEE KEYED NOTES.
- THIS LANDSCAPE PLAN IS COMPLIANT WITH THE REQUIREMENTS SET FORTH BY THE MESA DEL SOL DESIGN GUIDELINES BOOK.
- STREETScape PLANTING WAS DESIGNED BY EDAW AND IS SHOWN WITH A SEPARATE PLANTING LEGEND TO CLARIFY THAT THIS AREA WAS DESIGNED BY THEM.

IRRIGATION NOTES

- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE NON-POTABLE WATER. IRRIGATION SHALL BE PROVIDED TO ALL CONTAINER PLANTS, AND POTENTIALLY TO SEEDED AREAS.
- IRRIGATION: WE ARE NOT SHOWING AN IRRIGATION PLAN FOR THE FOLLOWING REASONS:  
 1) AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL SUPPLY THE IRRIGATION PLAN.  
 2) THE CITY OF ALBUQUERQUE DOES NOT REQUIRE AN IRRIGATION PLAN AT THIS LEVEL OF DOCUMENTATION.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL OTHER THAN SEEDED AREAS.

KEYED NOTES (X)

- PROPERTY LINE
- CONCRETE PAVING
- ASPHALT PAVING
- INTEGRAL COLOR CONCRETE, SEE 1/L005
- NOT USED
- NOT USED
- 18" WIDE CONCRETE MOW CURB
- SEATWALL
- SERVICE AREA
- STORM DRAIN INLET, SEE CIVIL
- BIKE RACK, SEE B1/L005
- RENCH, SEE A/L005
- 6"-8" SCREEN WALL, SEE 1/A004
- LIGHT POLE, SEE ELECTRICAL
- FIRE PIT, N.I.C.
- MONUMENT SIGN, 1/A001
- 6"-8" SECURITY FENCE, SEE 2/A003
- TRASH RECEPTACLE, SEE C/L005
- WATER HARVESTING AREA, SEE L003
- PING PONG TABLE, N.I.C.
- TABLE & CHAIRS, N.I.C., SEE D/L005
- CLEAR SIGHT TRIANGLE
- HEAVY DUTY ASPHALT
- BASKETBALL HOOP, N.I.C.
- VOLLEYBALL COURT, N.I.C.
- 8" DIA. TREE GRATE, SEE E/L005
- TEMPORARY SAND FENCE - PHASE I ONLY



REVISIONS

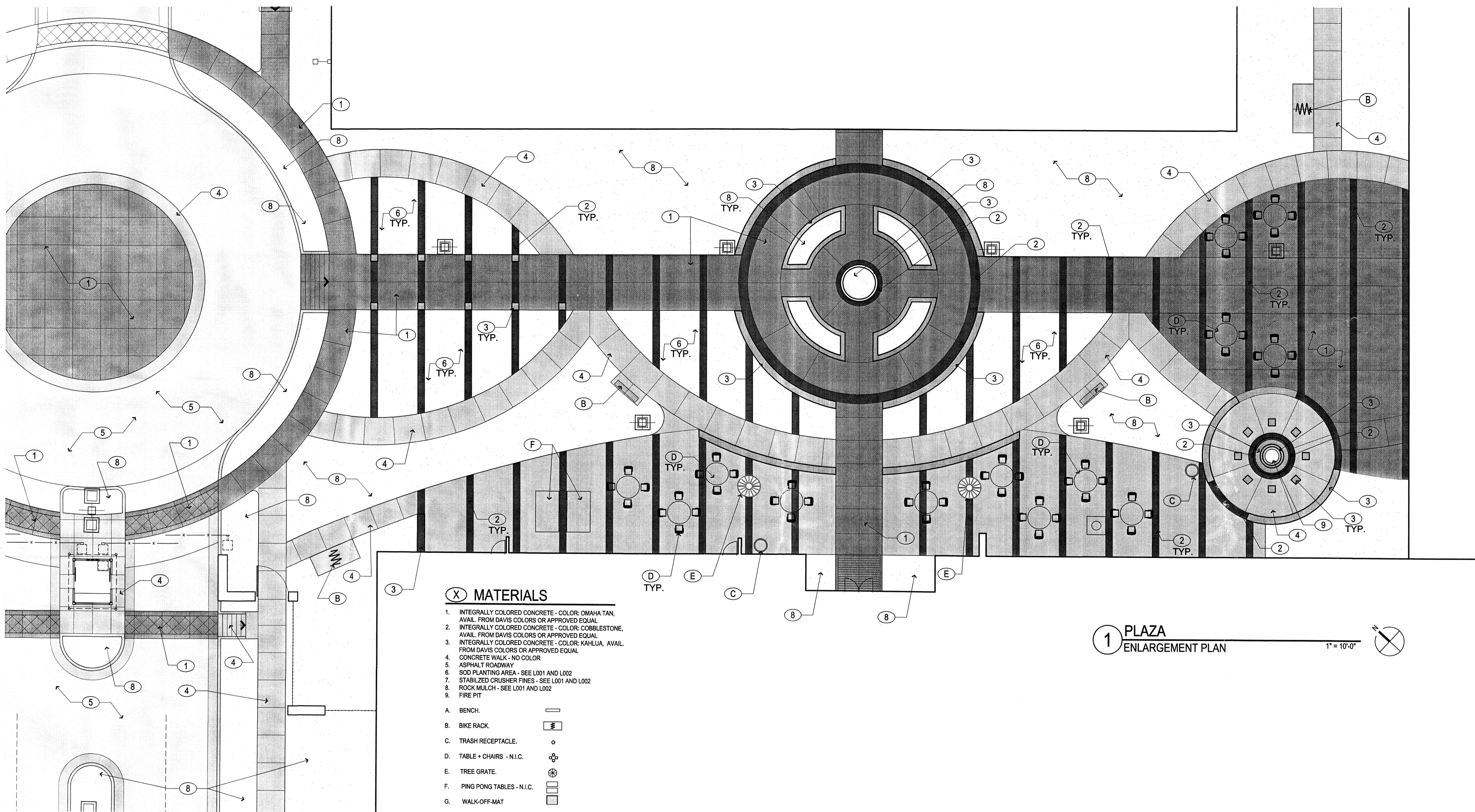
- 1 01.28.08 - ARC Preliminary Review
- 2 02.14.08 - ARC Secondary Review
- 3 04.18.08 - LEVEL C COMMENTS
- 4

DRAWN BY IF / CM / SY  
REVIEWED BY MB / CG  
DATE 05/06/08  
PROJECT NO. 07-0116  
DRAWING NAME

SITE FURNISHINGS  
& FINISHES

SHEET NO.

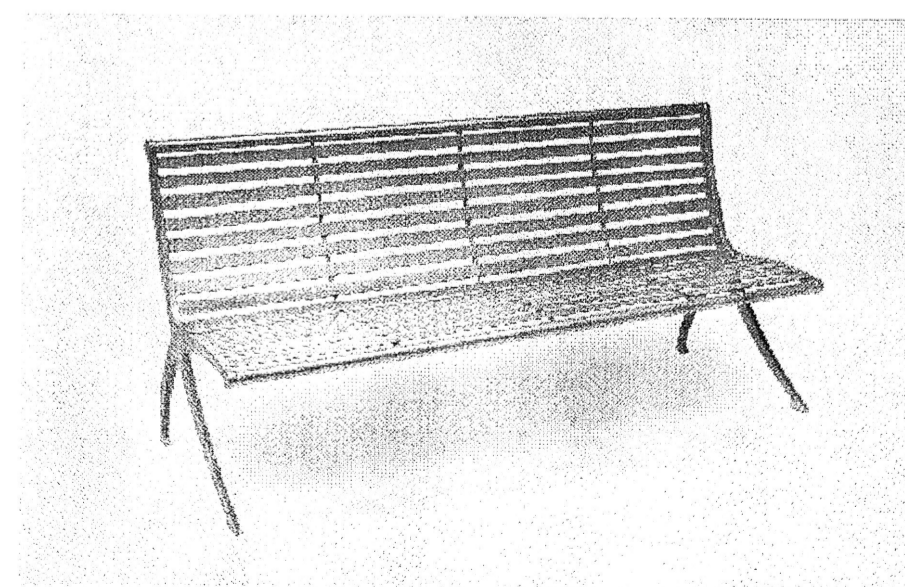
**L005**  
OF



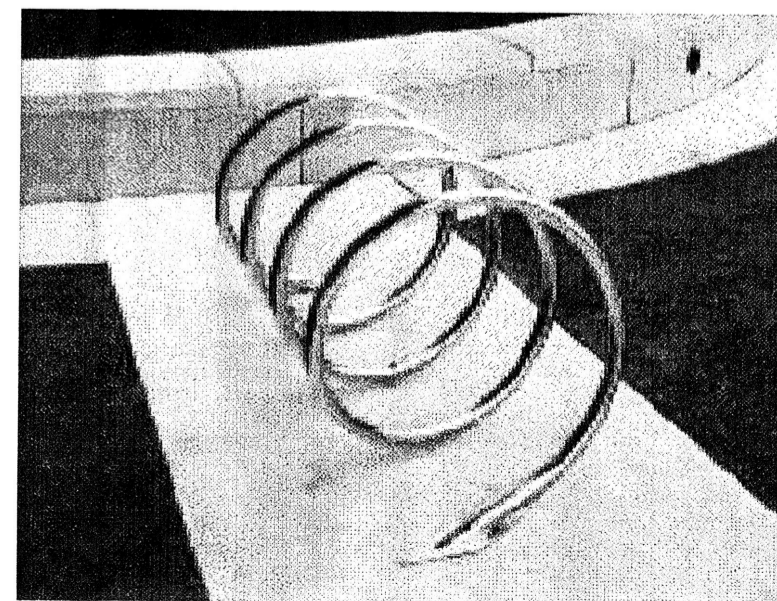
**(X) MATERIALS**

1. INTEGRALLY COLORED CONCRETE - COLOR: OMAHA TAN, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL
2. INTEGRALLY COLORED CONCRETE - COLOR: COBBLESTONE, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL
3. INTEGRALLY COLORED CONCRETE - COLOR: KAHLUA, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL
4. CONCRETE WALK - NO COLOR
5. ASPHALT ROADWAY
6. SOD PLANTING AREA - SEE L001 AND L002
7. STABILIZED CRUSHER FINES - SEE L001 AND L002
8. ROCK MULCH - SEE L001 AND L002
9. FIRE PIT

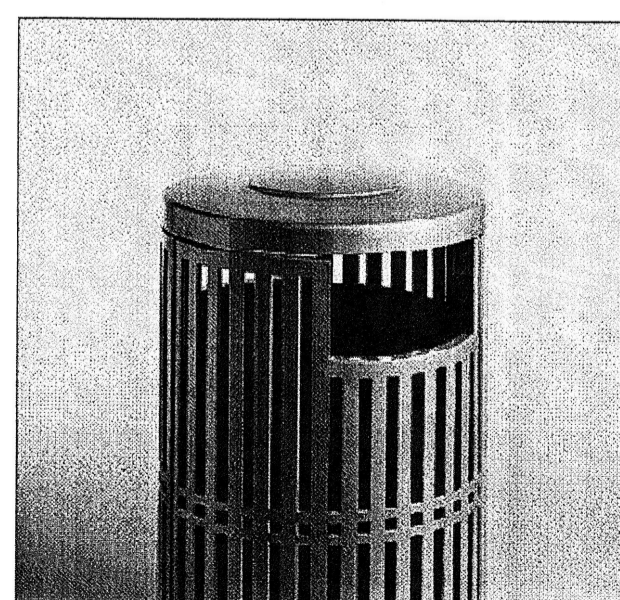
- A. BENCH
- B. BIKE RACK
- C. TRASH RECEPTACLE
- D. TABLE + CHAIRS - N.I.C.
- E. TREE GRATE
- F. PING PONG TABLES - N.I.C.
- G. WALK-OFF-MAT



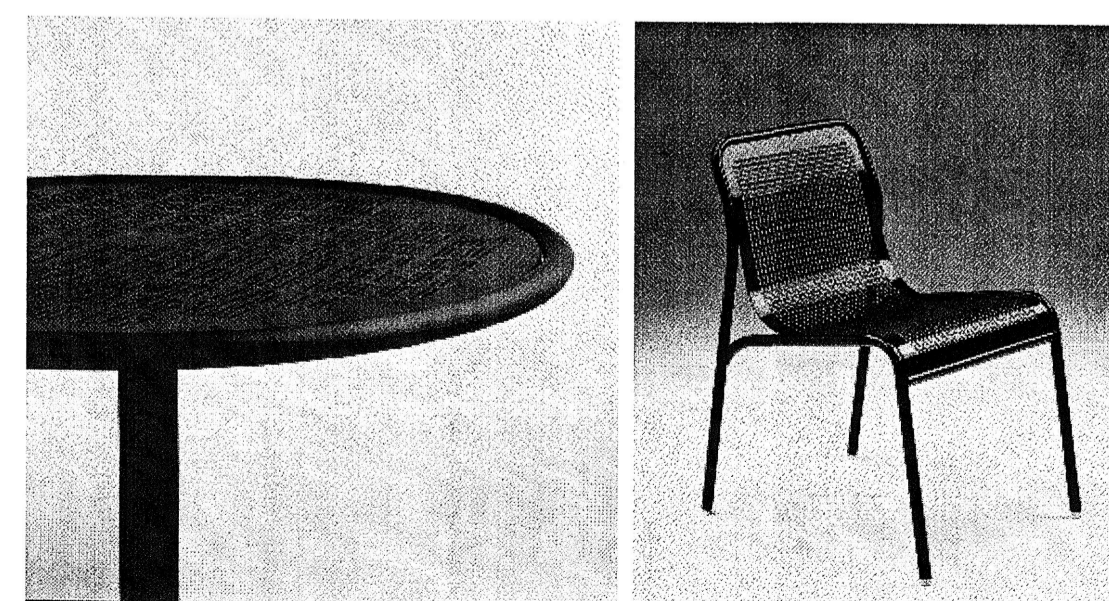
**A** PARC VUE BENCH  
N.T.S.



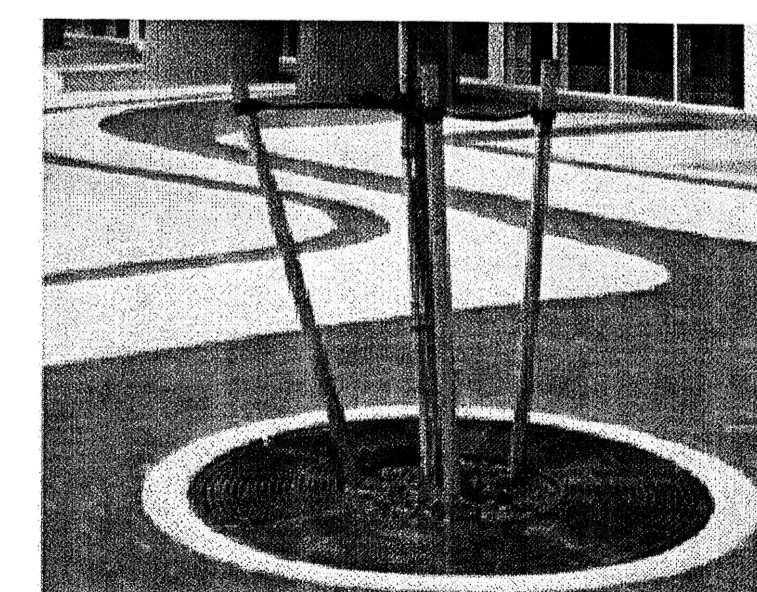
**B** BIKE RACK  
N.T.S.



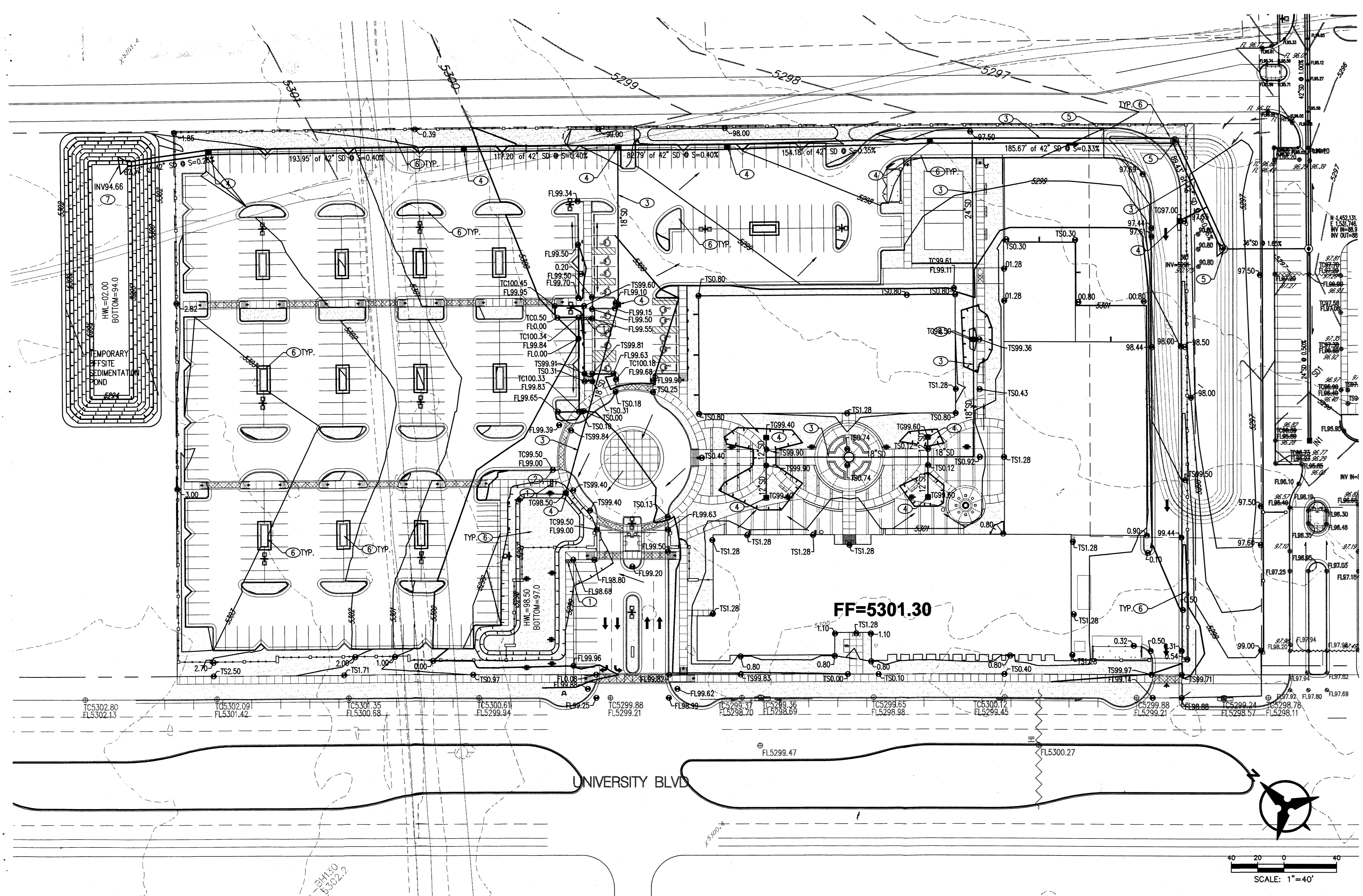
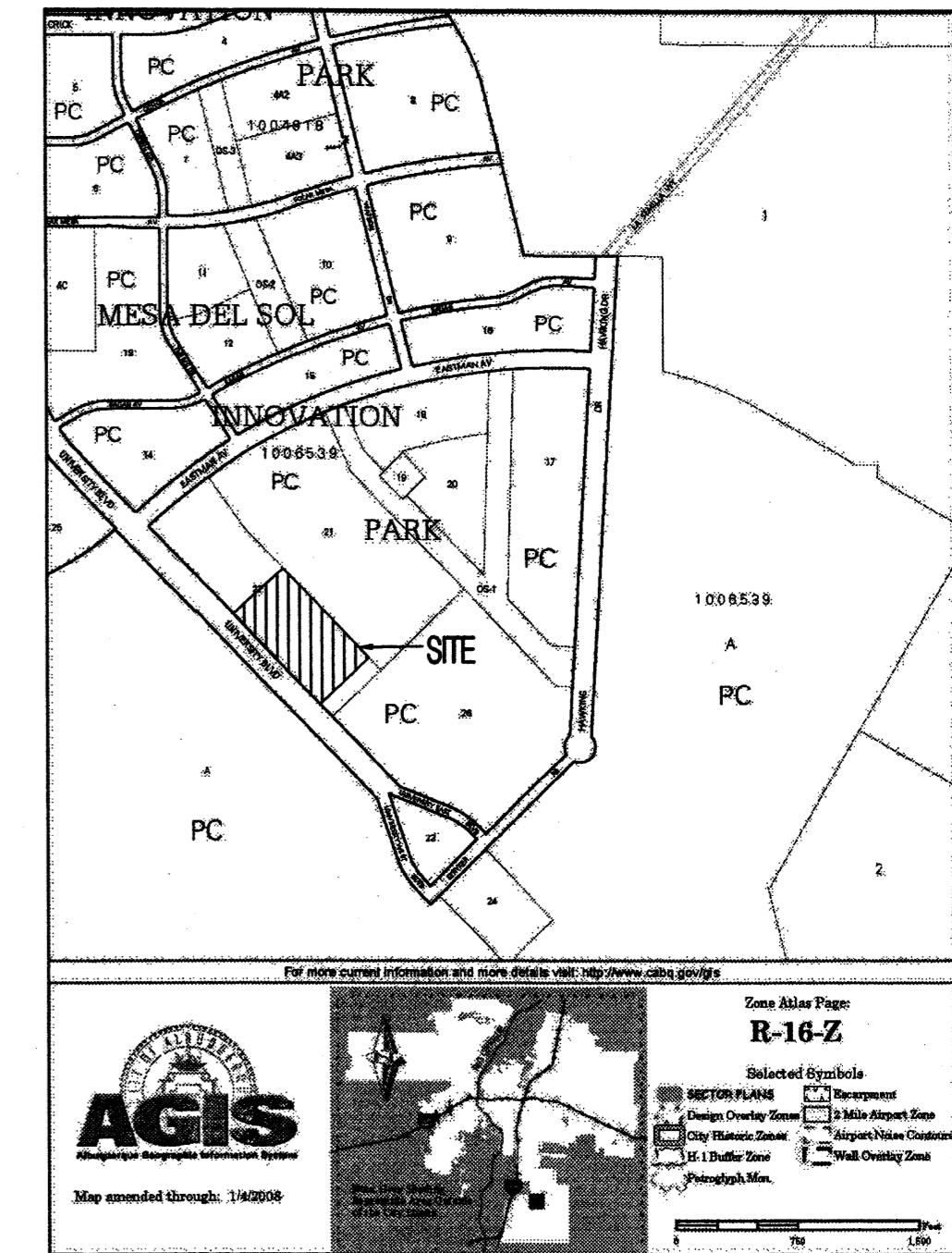
**C** CHASE PARK TRASH RECEPTACLE  
N.T.S.



**D** TABLE AND CHAIRS  
N.T.S.



**E** TREE GRATE  
N.T.S.



**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDJANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**GRADING KEYED NOTES**

- NEW SIDEWALK CULVERT
- CURB OPENING
- NEW STORM DRAIN
- NEW STORM DRAIN INLET w/ GRATE INLET
- NEW STORM DRAIN MANHOLE
- WATER HARVESTING AREA
- INSTALL END SECTION

**LEGEND**

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- PROPOSED STORM DRAIN INLET
- EXISTING MONUMENT
- PROPOSED RETAINING WALL
- PROPOSED CURB OPENING

**GENERAL NOTES**

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**SONY IMAGEWORKS  
@ Mesa del Sol**  
Albuquerque, NM

**REVISIONS**

△	01.28.08 - ARC Preliminary Review
△	02.14.08 - ARC Secondary Review
△	04.18.08 - LEVEL C COMMENTS
△	

DRAWN BY	<b>MJB</b>
REVIEWED BY	<b>JLM</b>
DATE	05/06/08
PROJECT NO.	07-0116
DRAWING NAME	

**GRADING PLAN**

**Bohannon & Huston**  
Courtyard 1 7600 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**LEGEND**

- PROPERTY LINE
- - - - - EXISTING EASEMENT
- SAS --- EXISTING SANITARY SEWER
- W --- EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING CAP
- ⊗ EXISTING VALVE
- ⊙ EXISTING FIRE HYDRANT
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊖ EXISTING STORM DRAIN MANHOLE
- EXISTING INLET
- - - - - PROPOSED EASEMENT
- SAS --- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- <sub>CO</sub> PROPOSED CLEANOUT
- WL --- PROPOSED WATER LINE
- ⊕ PROPOSED VALVE
- FL --- PROPOSED FIRE LINE
- ⊙ PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER

**REVISIONS**

- △ 01.28.08 - ARC Preliminary Review
- △ 02.14.08 - ARC Secondary Review
- △ 04.18.08 - LEVEL C COMMENTS
- △

DRAWN BY **MJEP**

REVIEWED BY **JLNM**

DATE **05/06/08**

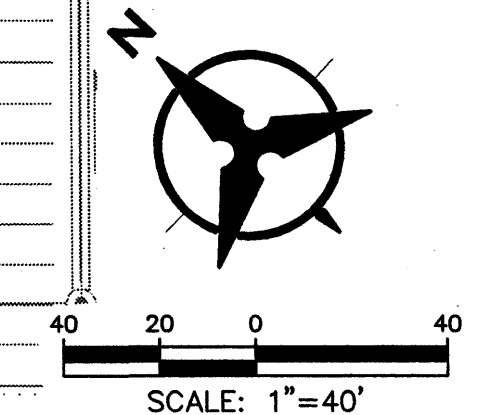
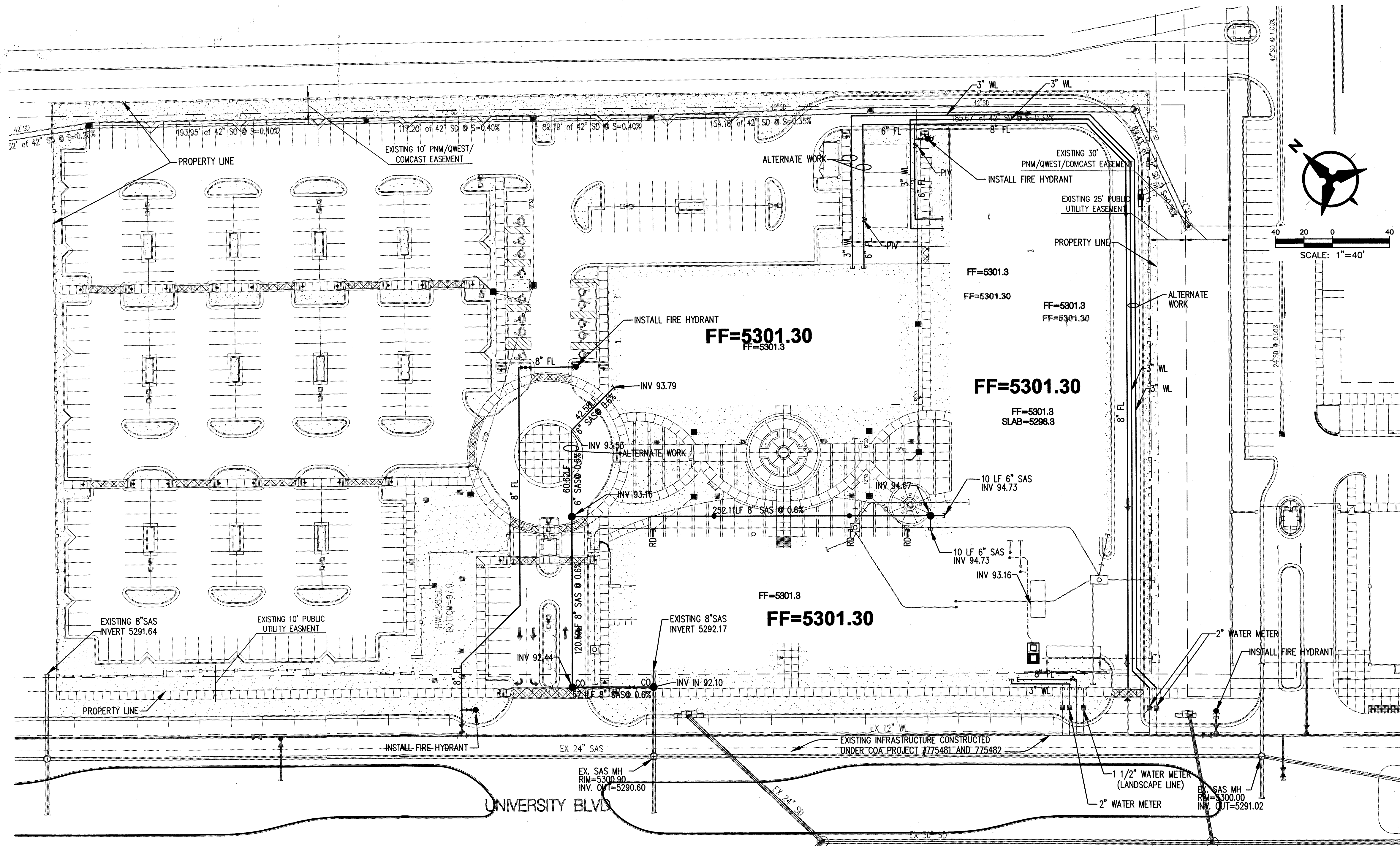
PROJECT NO. **07-0116**

DRAWING NAME

**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.

**C200**  
OF



NOTE: CONTRACTOR SHALL VERIFY DEPTH AND LOCATIONS OF ALL EXISTING UTILITIES AND CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.

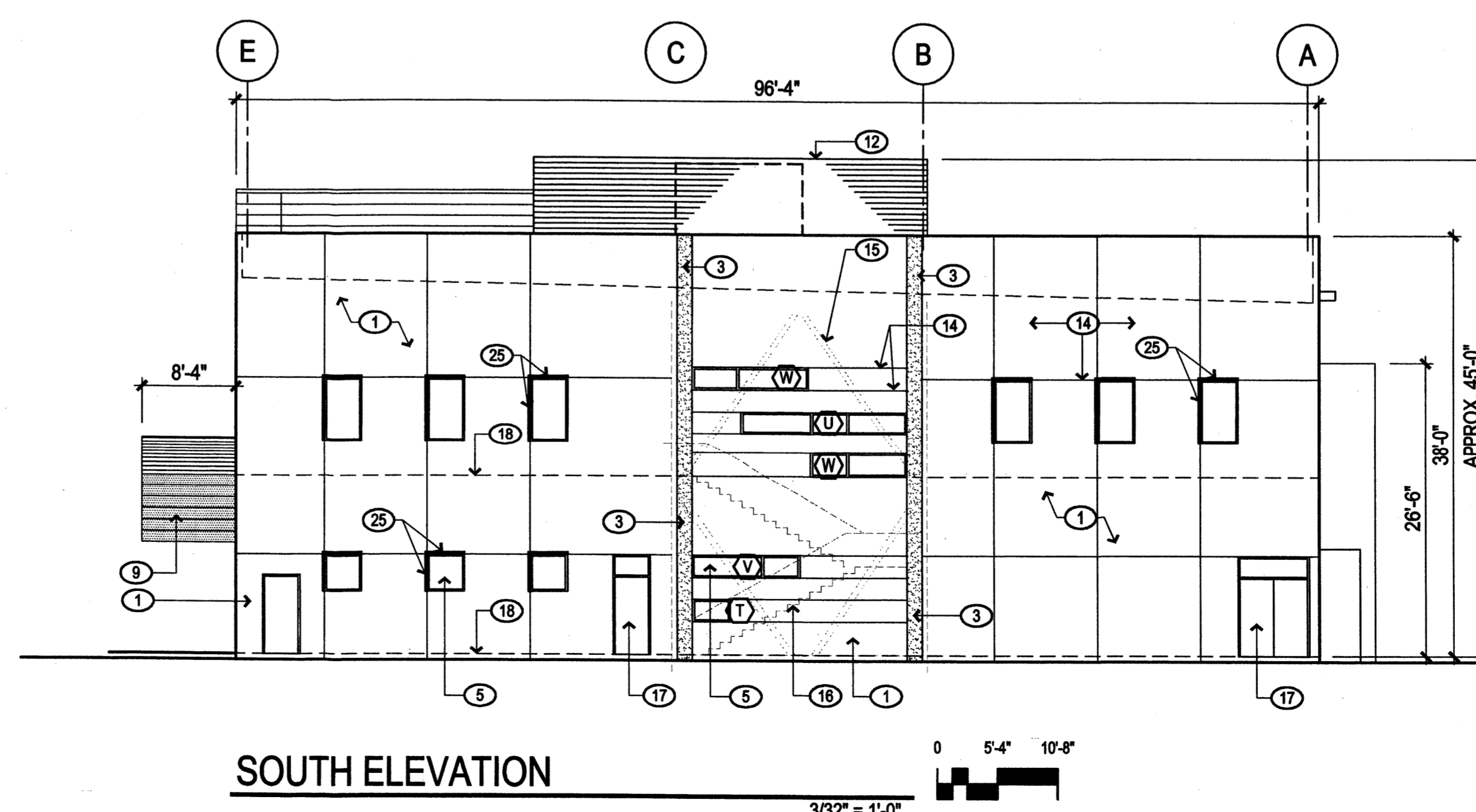
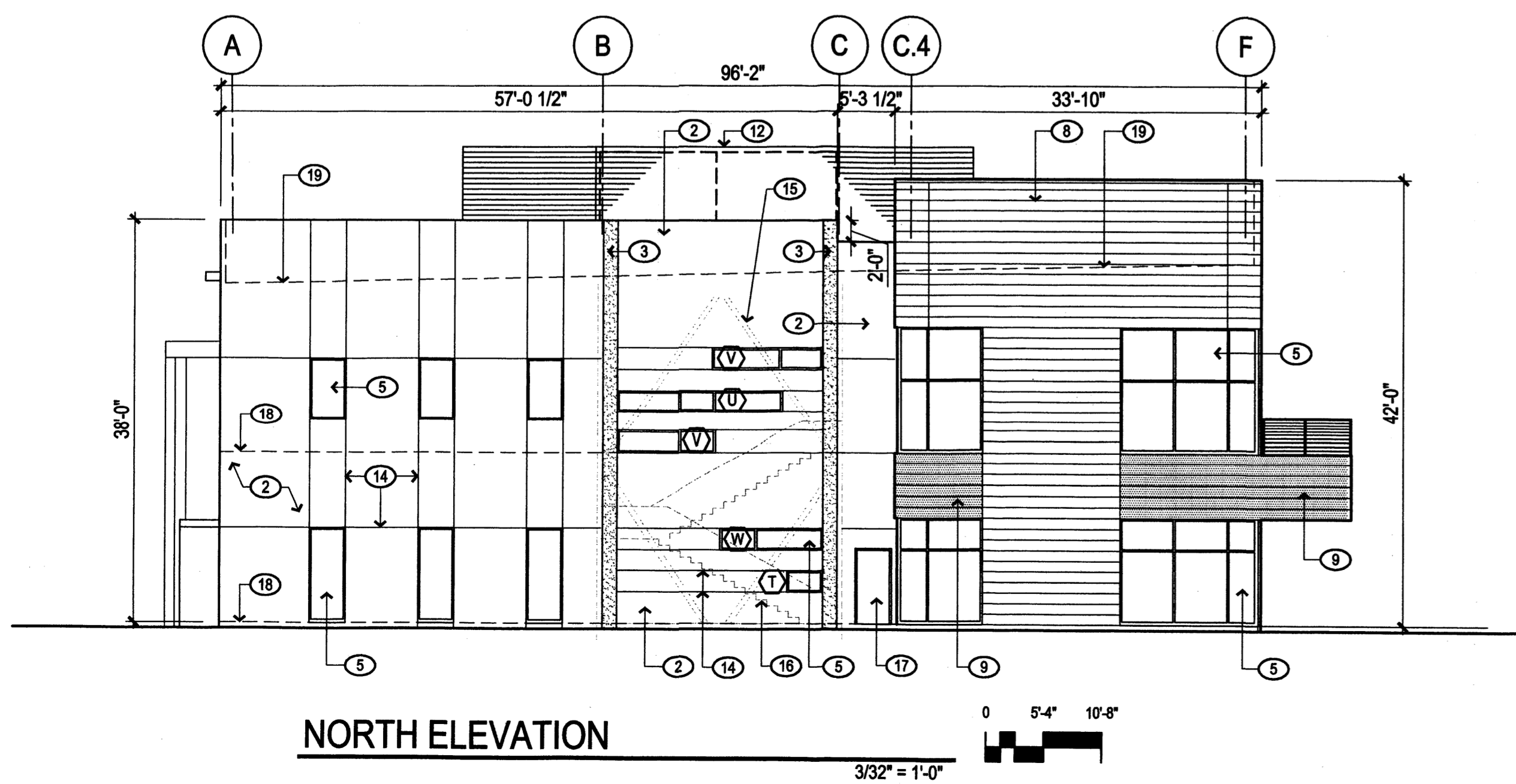
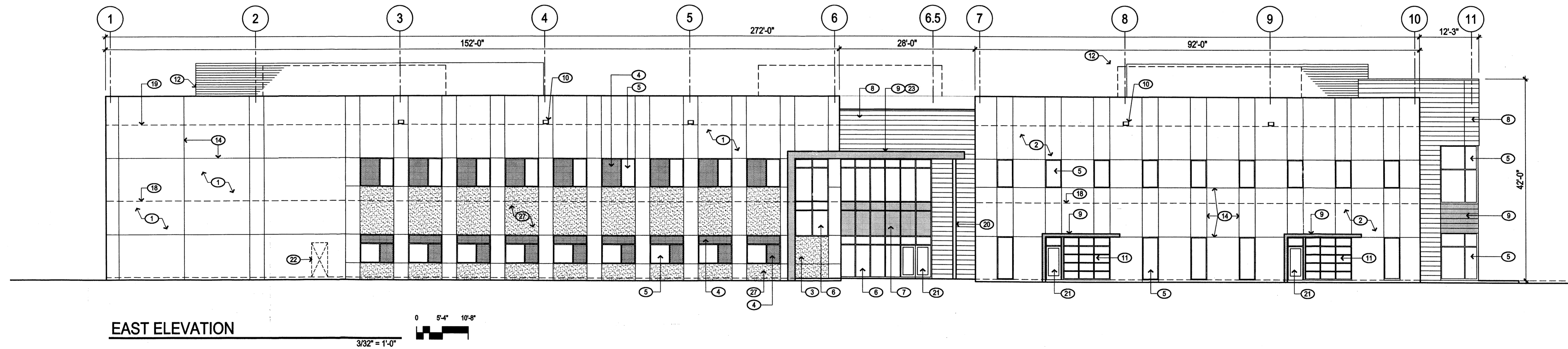
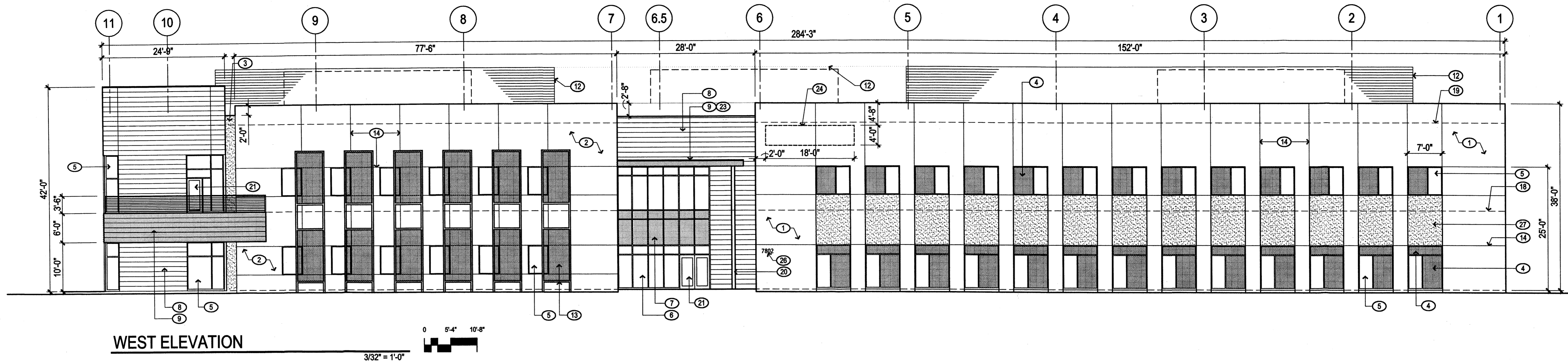
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



REVISIONS	DATE	REVIEWER
1	01.28.08	ARC Preliminary Review
2	02.15.08	ARC Final Review
3	04.25.08	Level C Review

DRAWN BY: TV  
REVIEWED BY: CG  
DATE: 02/15/08  
PROJECT NO.: 07-0116  
DRAWING NAME:

**BUILDING EXTERIOR  
ELEVATIONS**



**KEYED NOTES**

- STUCCO FINISH - COLOR #1 - BROWN.
- STUCCO FINISH - COLOR #2 - GREEN.
- STUCCO FINISH - COLOR #3 - DARK GREY.
- LAMINATORS INC. "THERMOLITE" ALUMINUM COMPOSITE PANEL, OR EQUAL.
- INSULATED, CLEAR GLAZING IN ALUMINUM STOREFRONT.
- INSULATED, CLEAR GLAZING IN ALUMINUM CURTAINWALL SYSTEM.
- INSULATED SPANDREL GLASS.
- CENTRA "PROFILE SERIES W-10" CONCEALED FASTENER METAL WALL PANEL SYSTEM - COLOR #1 - WHITE.
- CENTRA "PROFILE SERIES W-10" CONCEALED FASTENER METAL WALL PANEL SYSTEM - COLOR #2 - DARK GREY.
- OVERFLOW SCUPPER.
- GLAZED OVERHEAD SECTIONAL DOOR.
- SCREEN WALL FOR MECHANICAL ROOF TOP UNITS.
- PAINTED TUBE STEEL SHADING DEVICE WITH >50% OPEN WIRE MESH PANELS.
- STUCCO CONTROL JOINT, TYP.
- LINE OF STRUCTURAL BRACE FRAME IN WALL.
- LINE OF STAIRS BEYOND.
- HOLLOW METAL DOOR AND FRAME, PAINTED.
- LINE OF FINISHED FLOOR BEYOND.
- LINE OF ROOF BEYOND. ROOFING MATERIALS SHALL MEET ENERGY STAR OR COMPARABLE APPROVED STANDARDS.
- STEEL POST, PAINTED.
- ALUMINUM STOREFRONT/CURTAINWALL ENTRANCE DOOR.
- FRAME WALL FOR FUTURE DOOR OPENING TO BE CUT OUT.
- ENTRY CANOPY.
- BUILDING SIGNAGE LOCATION, NOT TO EXCEED 75 SQ. FT.
- SUNSHADE DEVICE, PROJECTS 12" FROM FACE OF BUILDING.
- 8" HIGH RAISED BUILDING ADDRESS NUMBERS, ANODIZED ALUMINUM FINISH, LUCINDA SANS UNICODE FONT STYLE.
- STUCCO FINISH - COLOR #4 - LIGHT GREY.

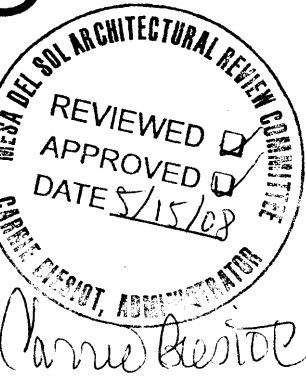
ARCHITECT

**ARC  
SUBMITTAL**

ENGINEER

PROJECT

**SONY IMAGEWORKS  
@ Mesa del Sol**  
Albuquerque, NM



REVISIONS	DATE	DESCRIPTION
1	01.28.08	ARC Preliminary Review
2	02.15.08	ARC Final Review

DRAWN BY	
REVIEWED BY	CG
DATE	02/15/08
PROJECT NO.	07-0116
DRAWING NAME	

**ROOF PLAN**

SHEET NO.

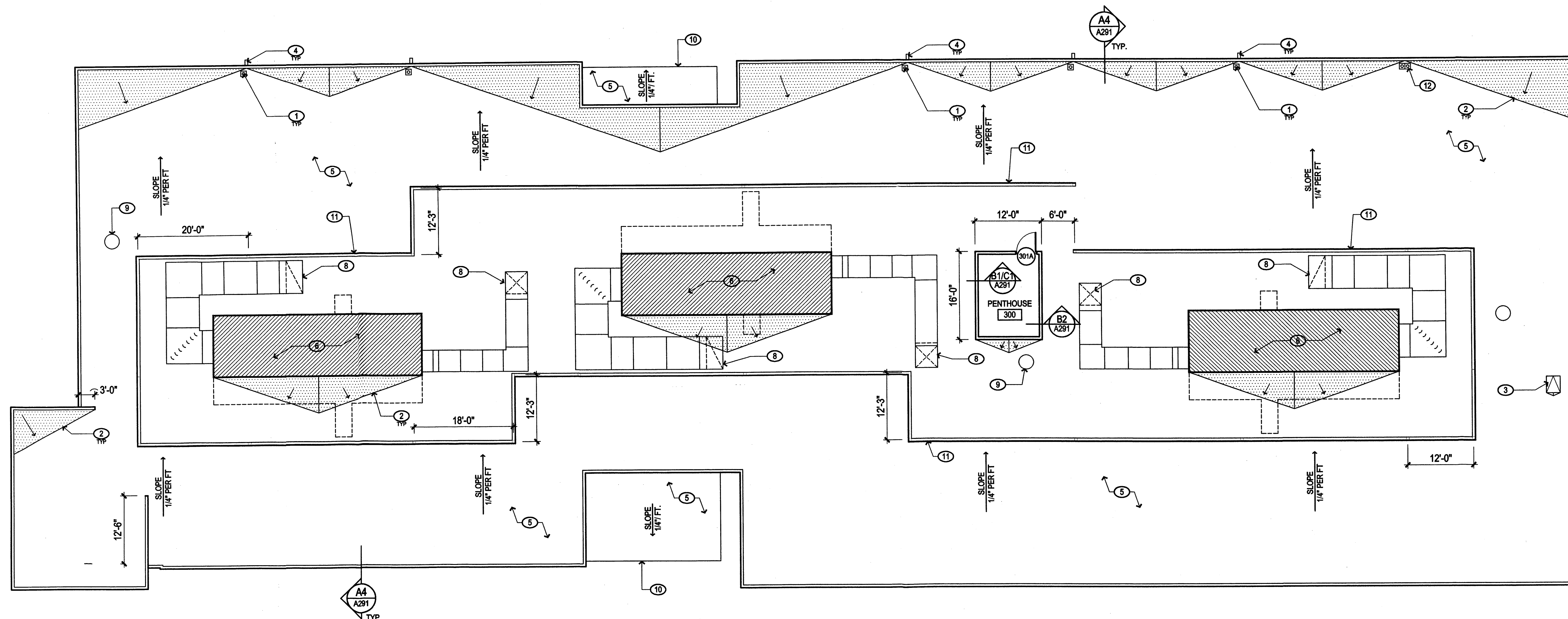
**A201**  
OF

**GENERAL NOTES**

- A. ALL ROOF TO SLOPE TO DRAIN AT 1/4" PER FOOT MINIMUM.
- B. ALL DIMENSIONS ARE TO F.O. STUD UNLESS NOTED OTHERWISE.
- C. PROVIDE ROOF WALKWAY PADS FROM ROOF HATCH TO ALL SERVICABLE AREAS OF MECHANICAL EQUIPMENT.
- D. REFER TO DETAILS A1 & A2/A291 FOR TYPICAL ROOF PIPE PENETRATIONS.
- E. SCREEN WALL DIMENSIONS ARE TO CENTER OF STEEL.

**KEYED NOTES**

1. ROOF DRAIN RE: A3/A291 AND PLUMBING DRAWINGS.
2. ROOF CRICKET, SLOPE TO DRAIN AT 1/4" PER FOOT MIN.
3. 36" X 30" ROOF HATCH, RE: A5/A291.
4. OVERFLOW SCUPPER, RE: B4/A291.
5. 45 MIL. TPO ROOFING MEMBRANE ON RECOVERY BOARD ON R-30 RIGID INSULATION, SLOPE TO DRAIN AT 1/4" PER FOOT MIN.
6. MECHANICAL ROOFTOP UNIT, RE: MECHANICAL.
7. MECHANICAL EQUIPMENT, RE: MECHANICAL.
8. DUCTWORK DOWN TO BELOW, RE: MECHANICAL. PROVIDE "PENTHOUSE" ENCLOSURE AROUND OPENING.
9. EXHAUST FAN, RE: MECHANICAL.
10. CANOPY BELOW.
11. MECHANICAL SCREEN WALL, RE: DETAIL D4/A291.
12. OVERFLOW DRAIN TO BE PIPED AT THIS LOCATION.



**ROOF PLAN**

3/32" = 1'-0"

ARCHITECT

ARC  
SUBMITTAL

ENGINEER

PROJECT

**SONY IMAGEWORKS**  
@ Mesa del Sol  
Albuquerque, NM



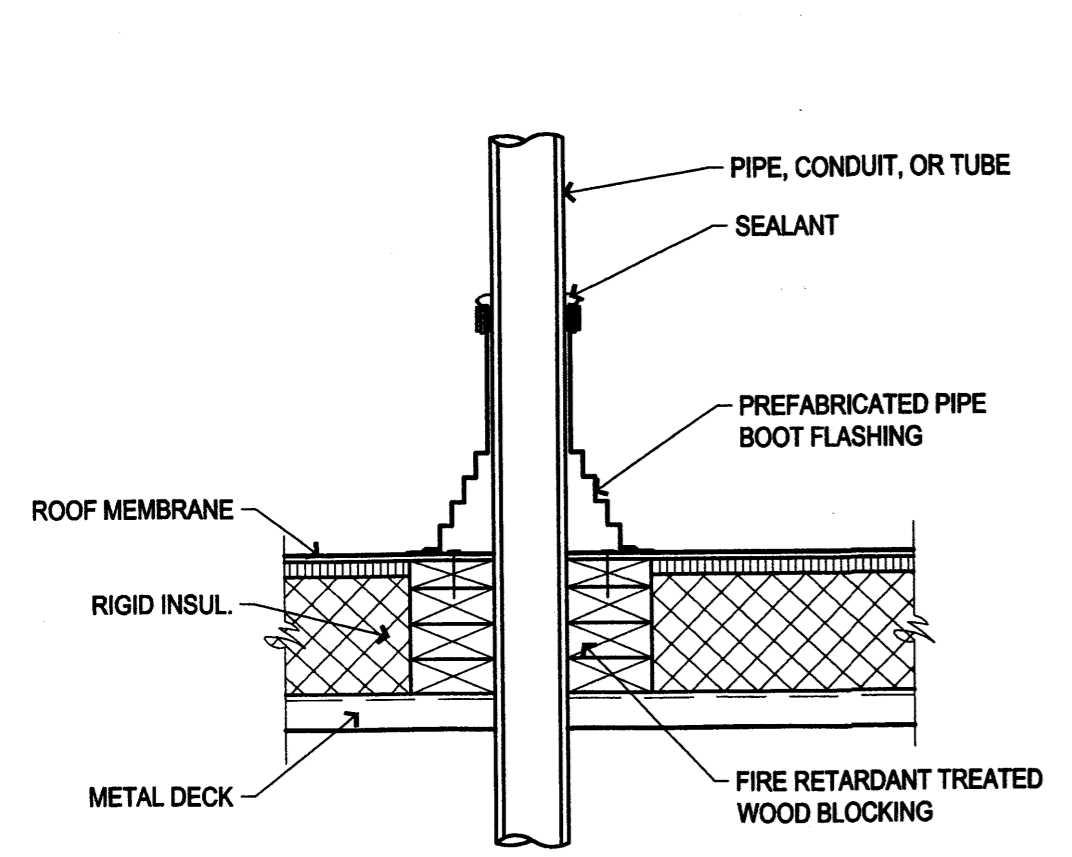
REVISIONS	DATE	DESCRIPTION
△	01.28.08	ARC Preliminary Review
△	02.15.08	ARC Final Review
△		
△		

DRAWN BY	
REVIEWED BY	CG
DATE	02/15/08
PROJECT NO.	07-0116
DRAWING NAME	

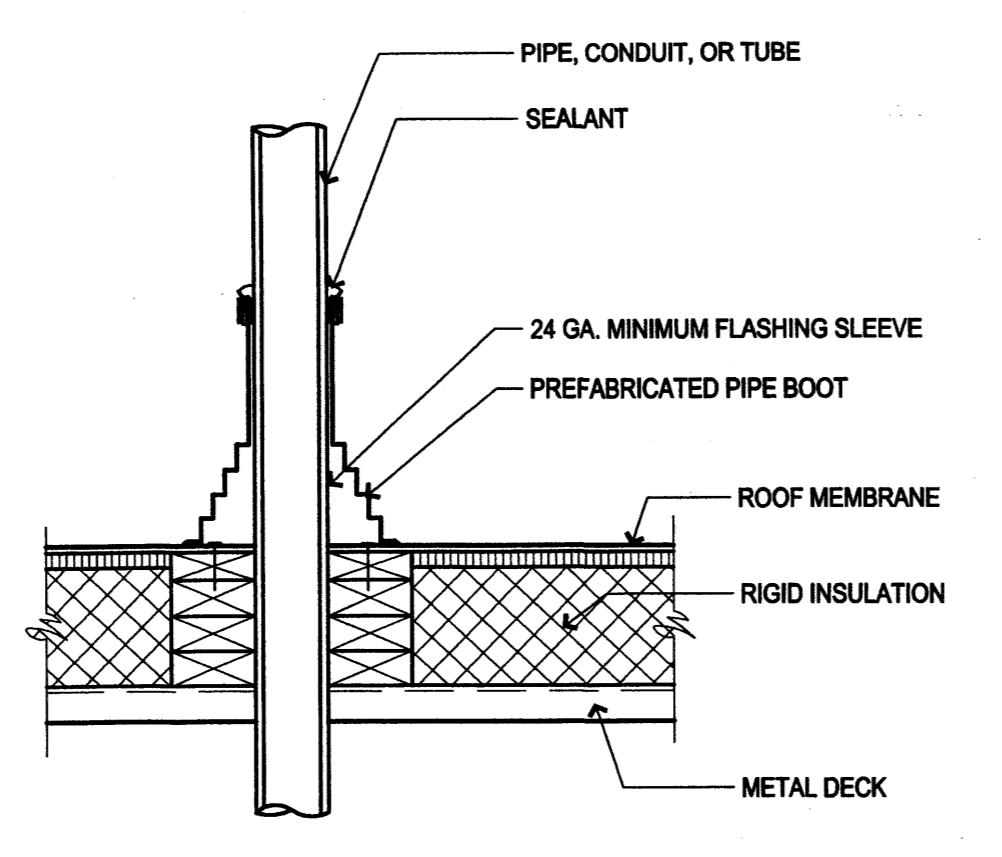
ROOF DETAILS

SHEET NO.

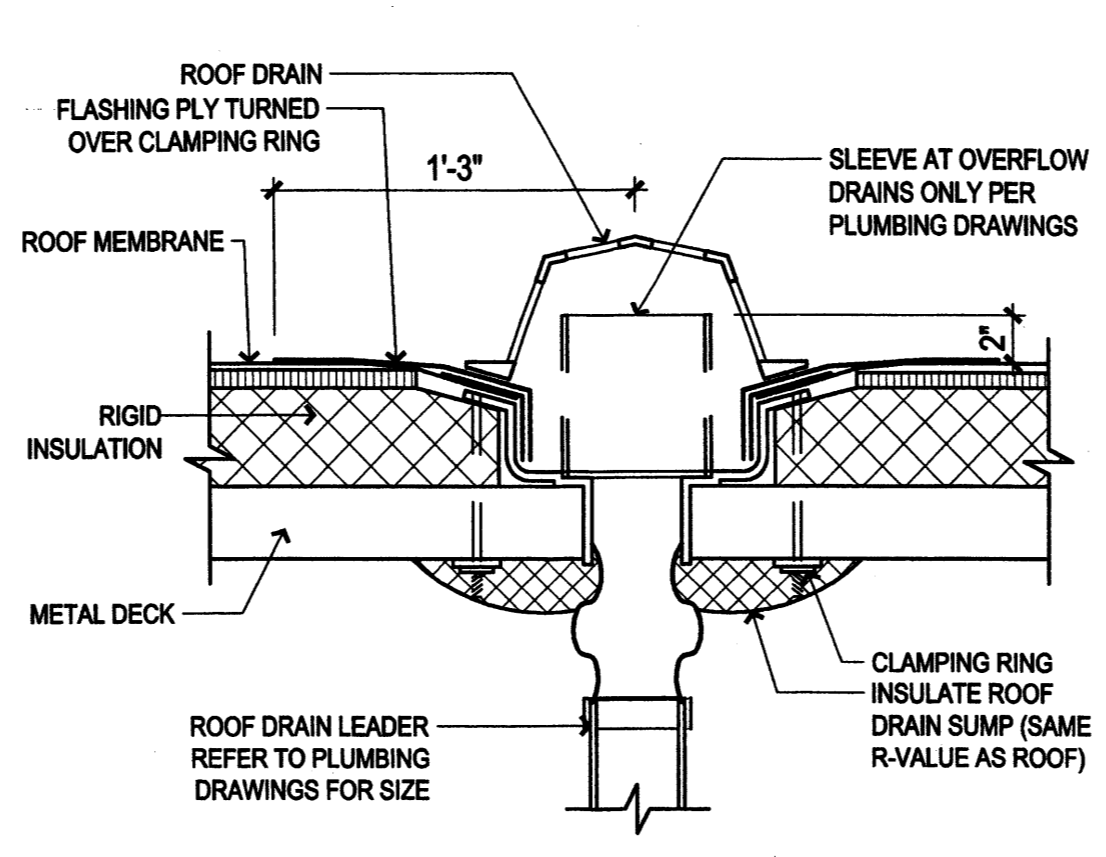
**A291**  
OF



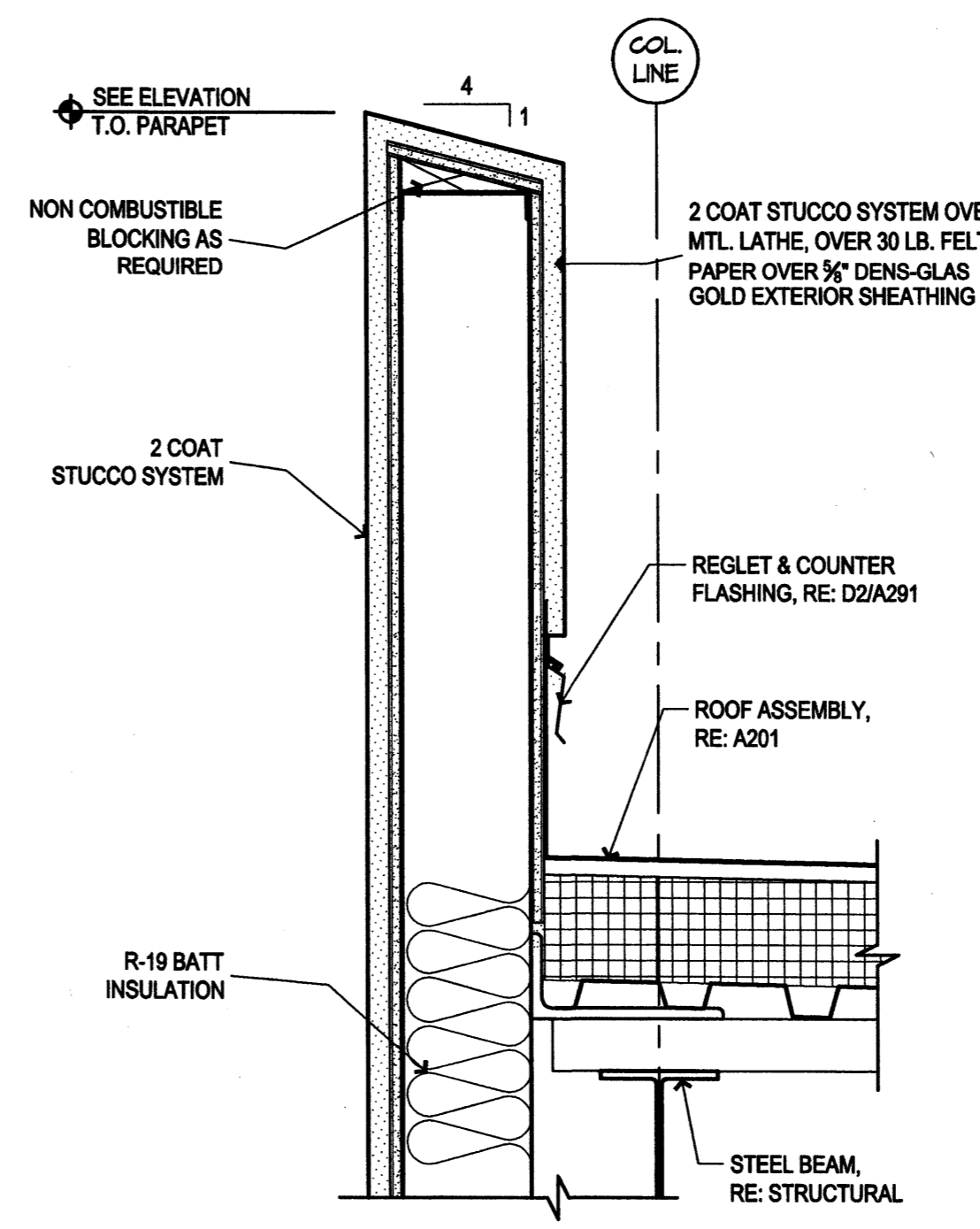
**A1 COLD PIPE PENETRATION**  
1 1/2" = 1'-0"



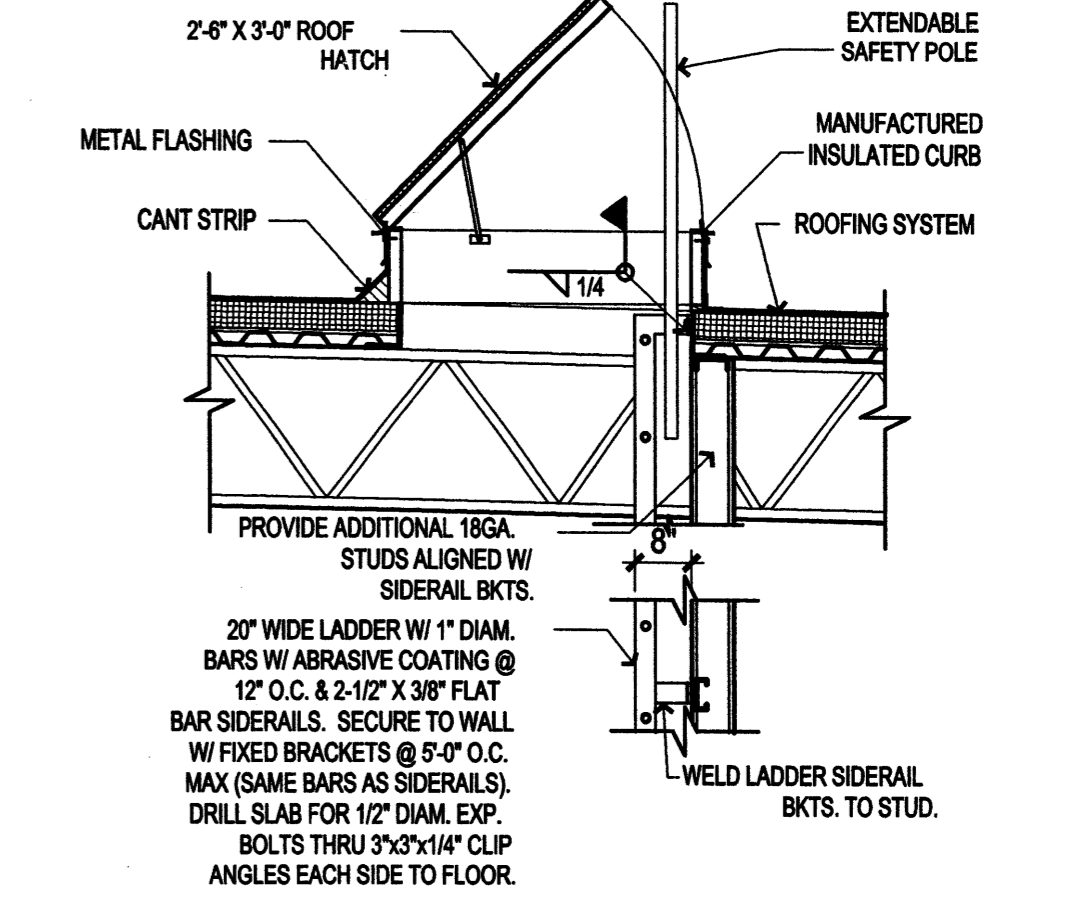
**A2 HOT PIPE PENETRATION**  
1 1/2" = 1'-0"



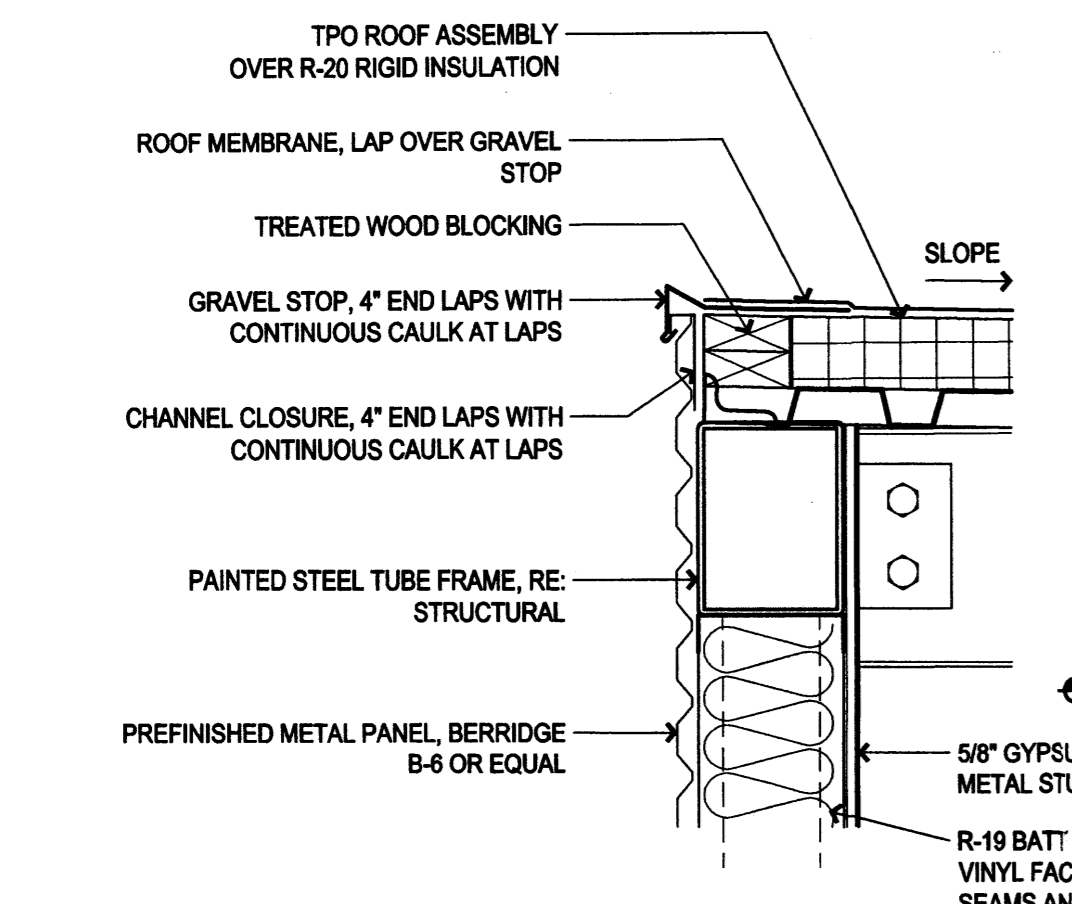
**A3 ROOF DRAIN**  
1 1/2" = 1'-0"



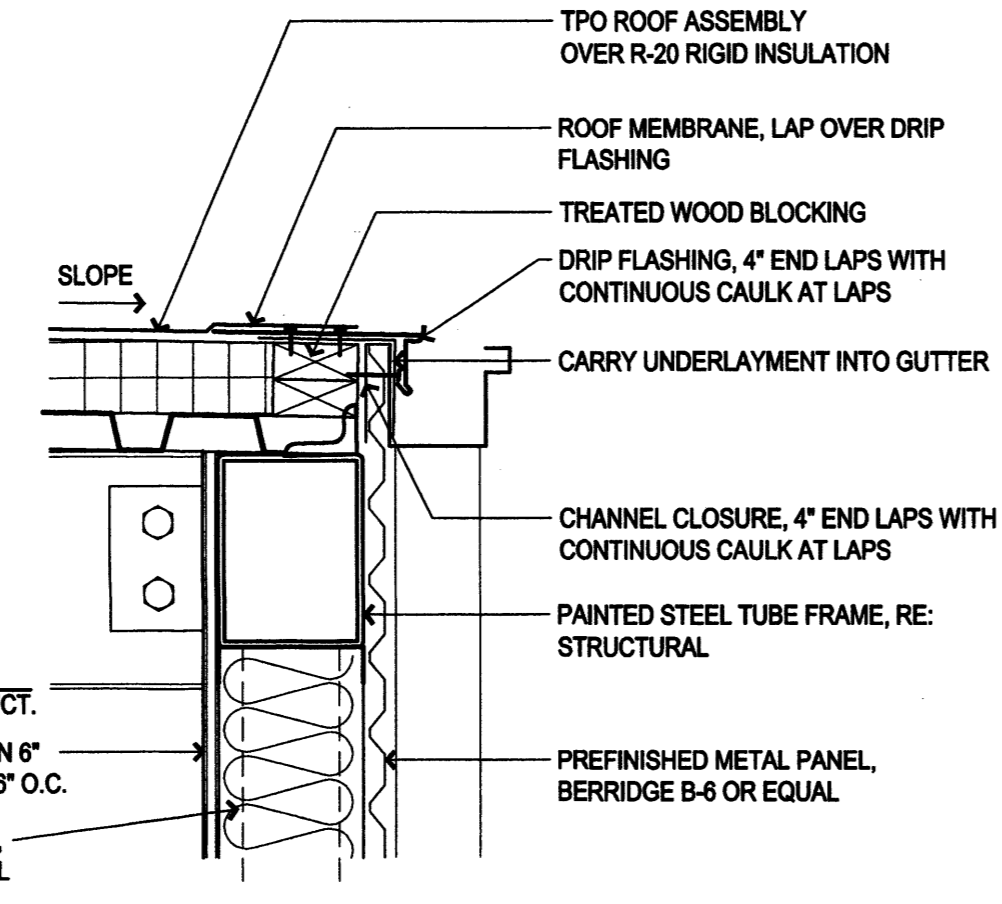
**A4 PARAPET DETAIL**  
1 1/2" = 1'-0"



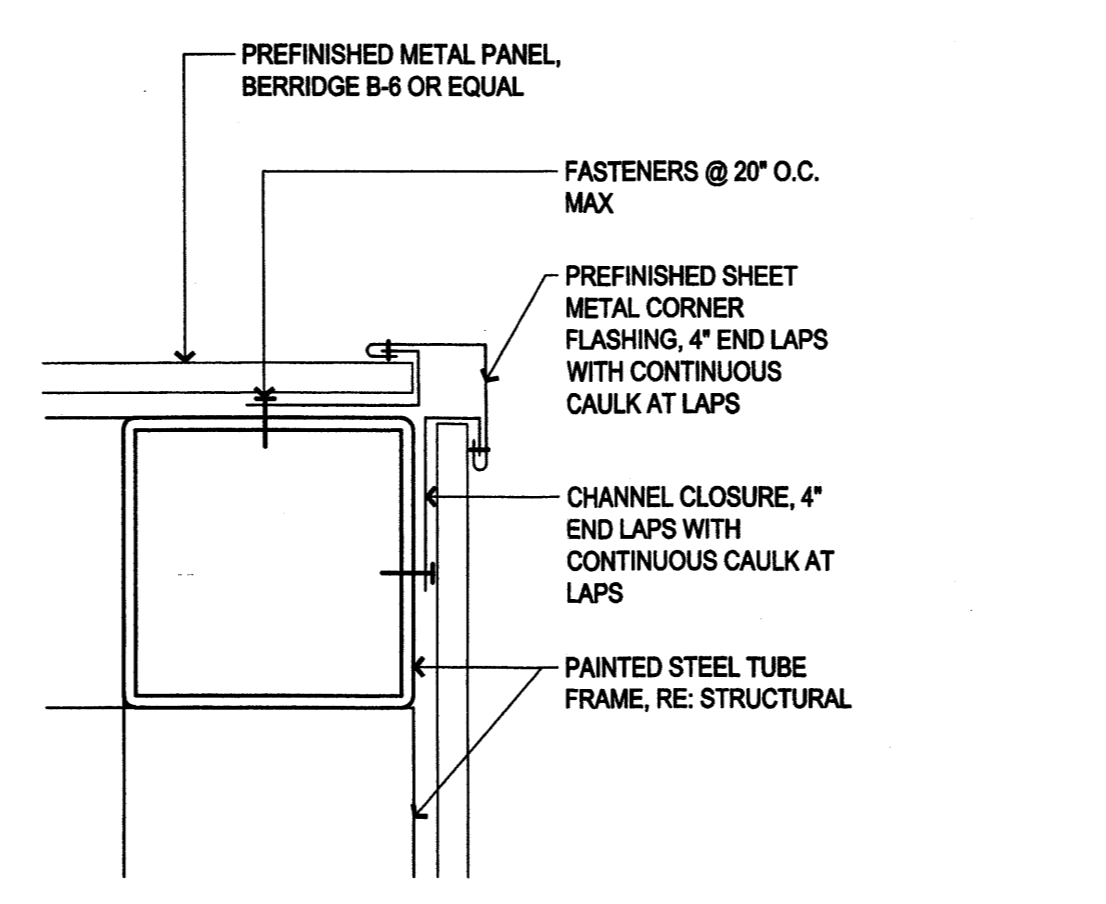
**A5 ROOF ACCESS HATCH**  
1/2" = 1'-0"



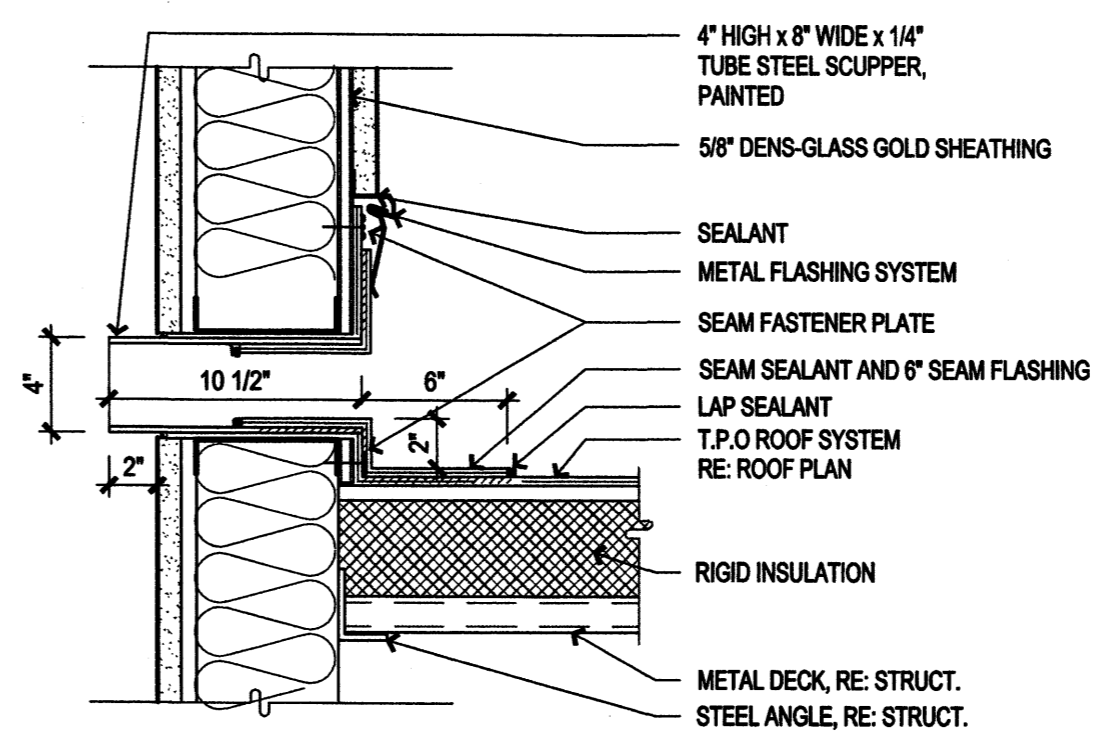
**B1 PENTHOUSE SECTION WALL TO ROOF**  
1-1/2" = 1'-0"



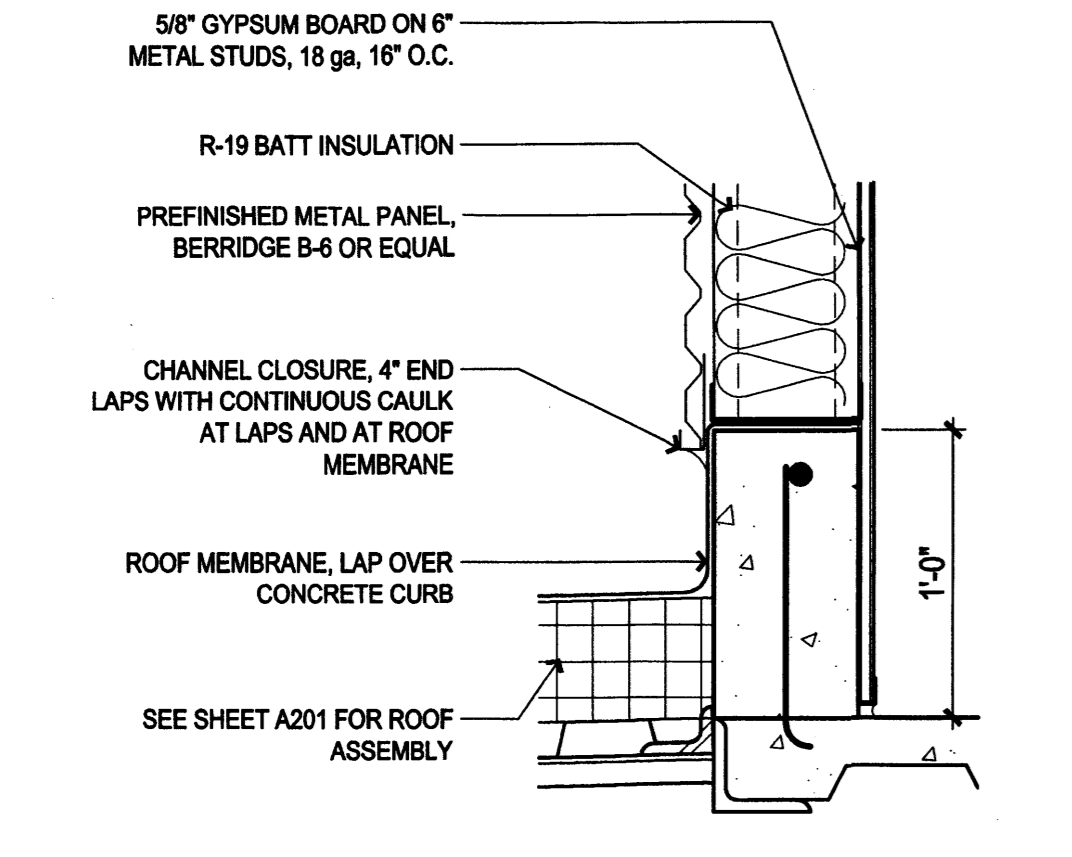
**B2 PENTHOUSE SECTION ROOF GUTTER**  
1-1/2" = 1'-0"



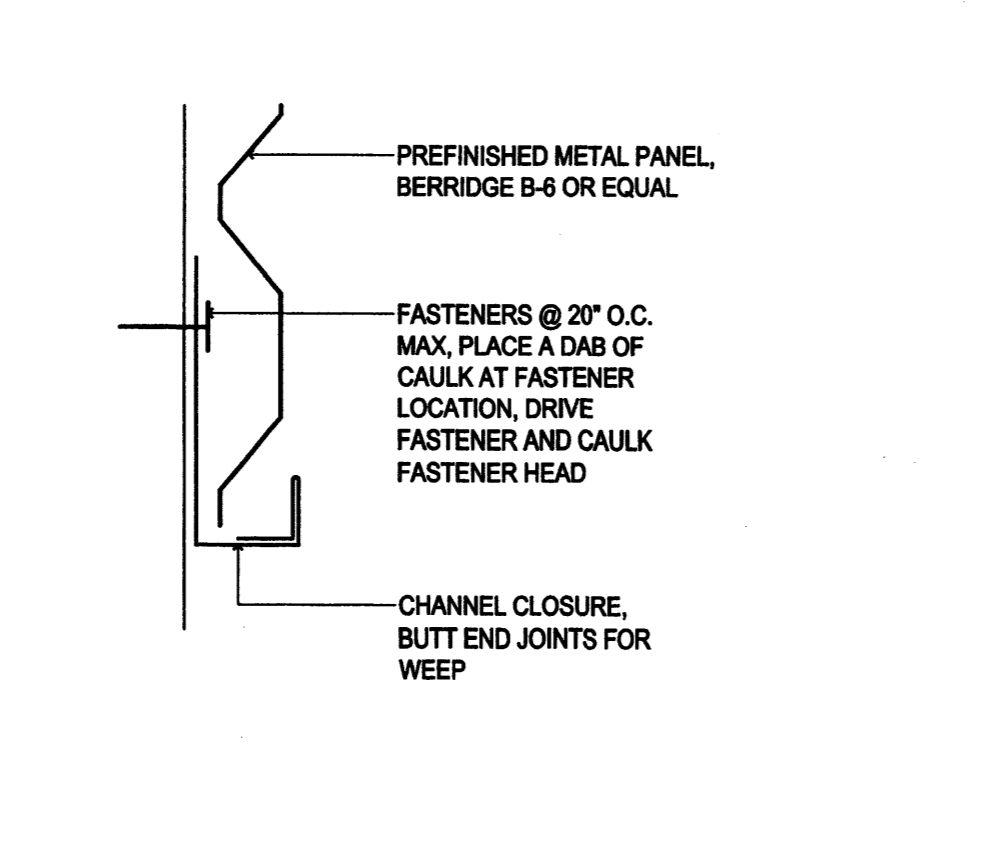
**B3 SCREEN WALL PLAN OUTSIDE CORNER**  
3" = 1'-0"



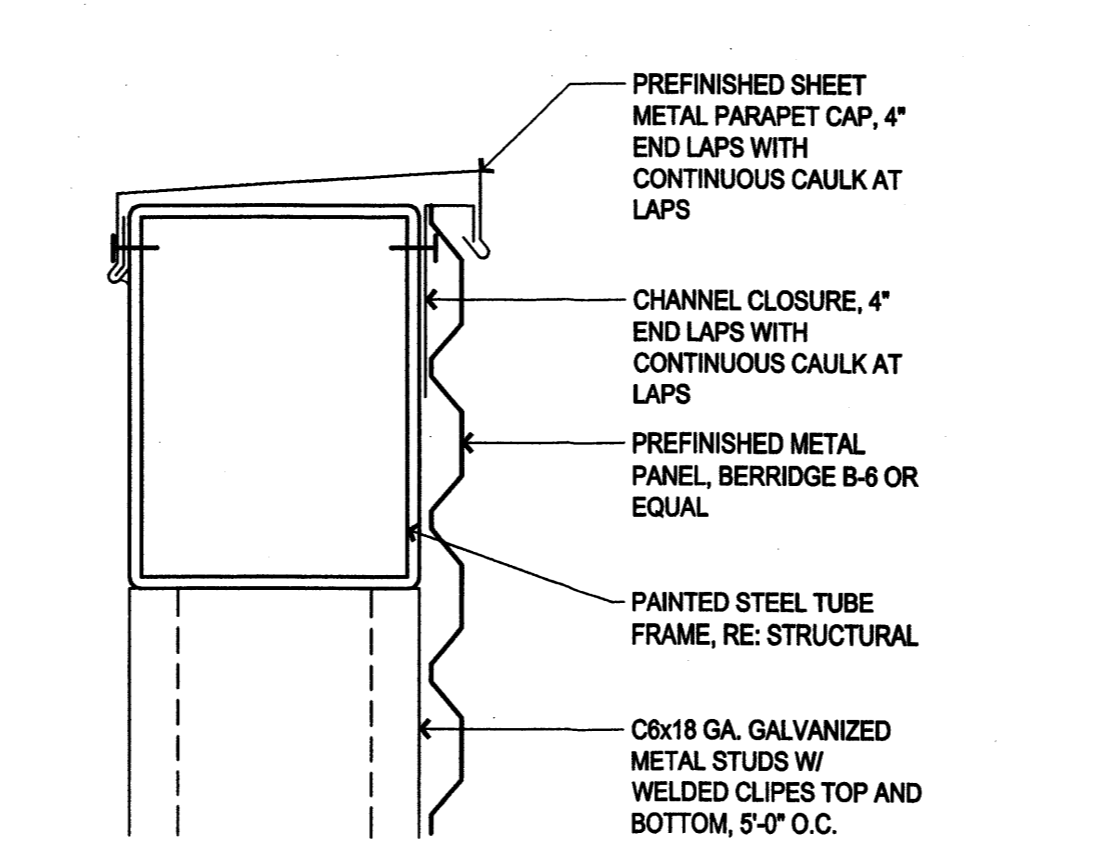
**B4 OVERFLOW SCUPPER SECTION**  
1 1/2" = 1'-0"



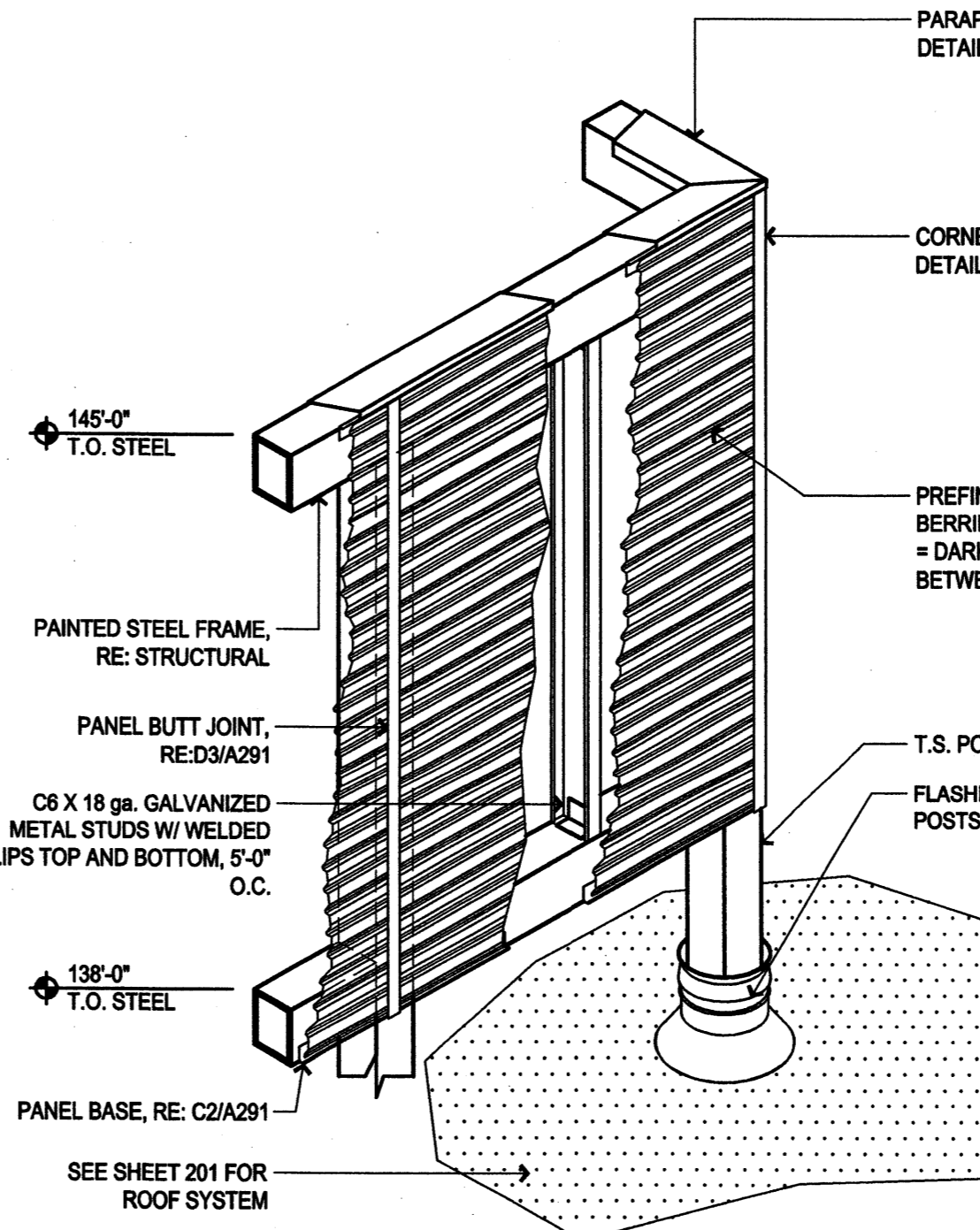
**C1 PENTHOUSE SECTION ROOF TO WALL BASE**  
1-1/2" = 1'-0"



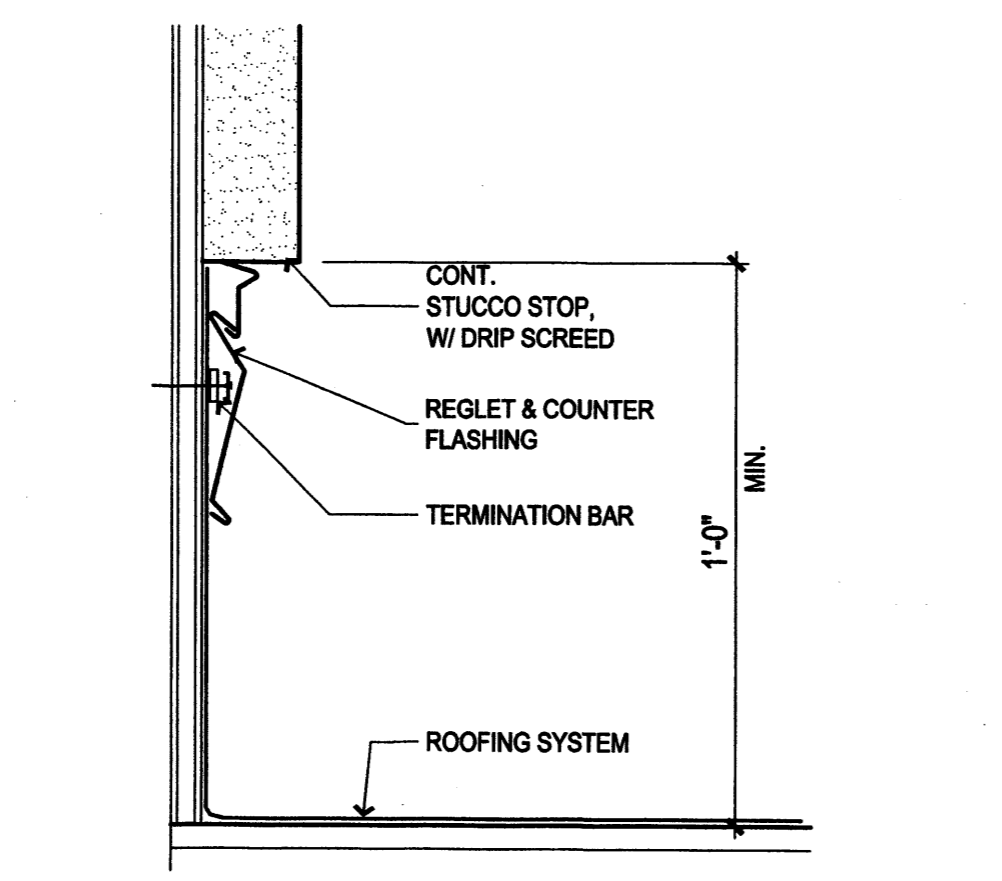
**C2 SCREEN WALL SECTION BASE**  
3" = 1'-0"



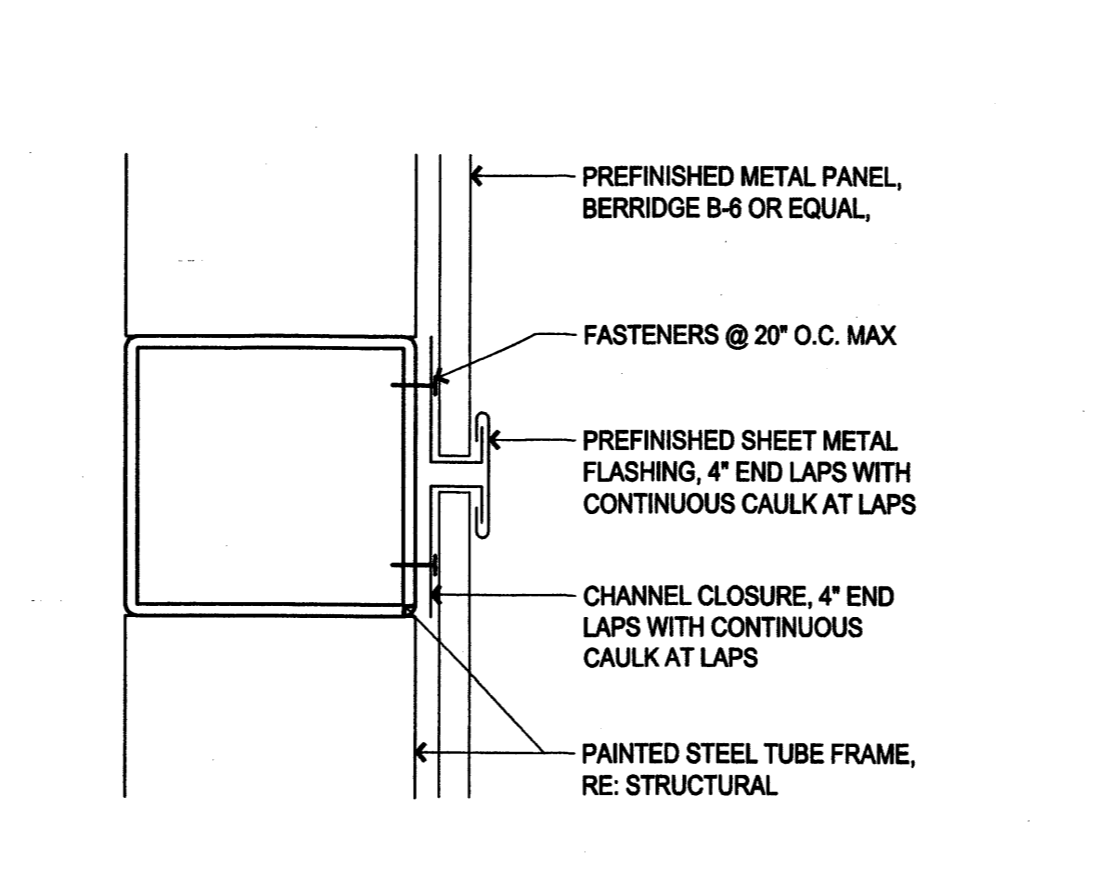
**C3 SCREEN WALL SECTION PARAPET CAP**  
3" = 1'-0"



**D4 SCREEN WALL DETAIL**  
1/2" = 1'-0"



**D2 ROOF TERMINATION**  
3" = 1'-0"



**D3 SCREEN WALL PLAN BUTT JOINT**  
3" = 1'-0"

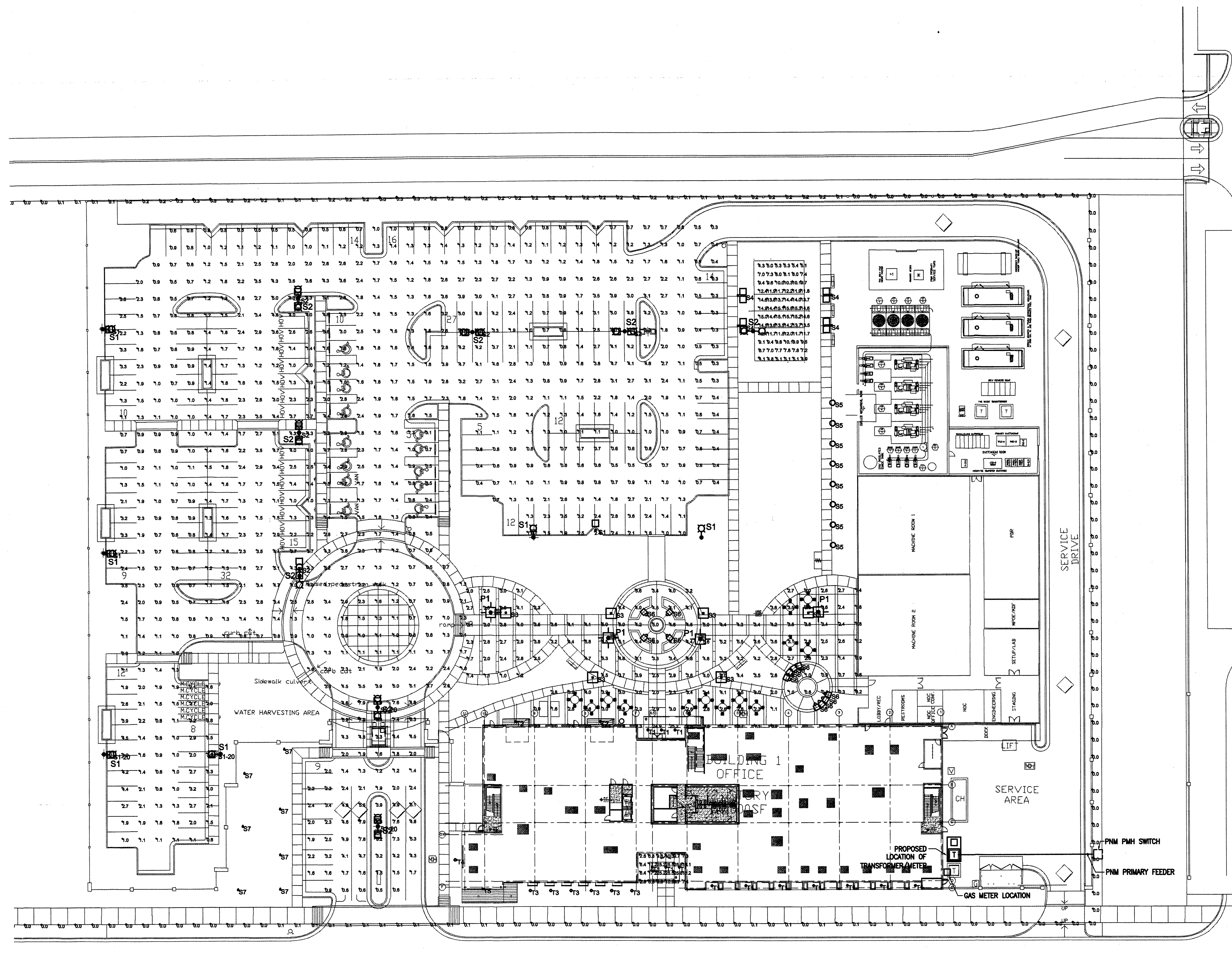


REVISIONS

02-04-08	Response To Mesa Del Sol Comments 01-28-08
4.18.08	Label C Comments

DRAWN BY	TRG
REVIEWED BY	DDR
DATE	04/15/08
PROJECT NO.	07-0116
DRAWING NAME	

**ELECTRICAL  
SITE LIGHTING**



**NOTES**

- ALL SITE FIXTURES WITHIN 20' OF UNIVERSITY BLVD MOUNTED AT 20' AFG.
- ALL OTHER SITE FIXTURES MOUNTED AT 25' AFG.
- WALKWAY FIXTURES MOUNTED AT 14' AFG.

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF
S1	5	LITHONIA MKAD 250M SR3 TB SPH DOB LPI	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICAL CLEAR FLAT GLASS	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	20000	0.72	
S1-20	2	LITHONIA MKAD 250M SR3 TB SPH DOB LPI	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICAL CLEAR FLAT GLASS	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	20000	0.72	
S2	5	LITHONIA MKAD 250M SR3 TB SPH DOB LPI	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICAL CLEAR FLAT GLASS	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	20000	0.72	
S2-20	2	LITHONIA MKAD 250M SR3 TB SPH DOB LPI	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICAL CLEAR FLAT GLASS	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	20000	0.72	
S3	6	LITHONIA MKV12 250M SVAC TB P14 GFL LPI	PREMIUM SQUARE AREA LIGHT WITH SYMMETRIC CUTOFF DISTRIBUTION	ONE 250-WATT CLEAR BT-28 METAL HALIDE, VERTICAL BASE-UP POSE	22000	0.72	
S4	4	LITHONIA MKAD 250M SR3AC TB SPH DOB LPI RTM	AREA LIGHT WITH HIGH PERFORMANCE BR3AC OPTICAL CLEAR FLAT GLASS	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	20000	0.72	
S5	8	MARTINI WALKIE LED #76250.68	DRIVE-OVER IN-GRADE WITHIN 60 DEGREE POINTS	(1) 9W LED	8	1.00	
S6	12	MARTINI ROOF LED #38003.82	RECESSED WALL LUMINAIRE	LED	2	1.00	
S7	7	WINONA 49174 UB LO 88 F9 8H0 CE B1 0 STD	COM-4R 70W FL PARCEL #30		4977	1.00	
T1	13	LITHONIA BAPRH 70MHC 44R 120 LPSF	APRH 4" APERTURE PAROL DOWNLIGHT 70MHC SPOT POSE	ONE 10-WATT CLEAR PAROL CERAMIC METAL HALIDE, VERTICAL BASE UP POSE	4400	1.00	
T2	2	LITHONIA BAPRH 70MHC 44R 120 LPSF	APRH 4" APERTURE PAROL DOWNLIGHT 35M FLOOD	ONE 35-WATT CLEAR PAROL METAL HALIDE, VERTICAL BASE UP POSE	2200	0.72	
T3	6	HYDREL #PXDCL 88 36CMTS 120 WVO FL CD 348 LPI	70W CMHTS		2800	0.72	
T4	1	HYDREL #PXDCL 88 36CMTS 120 WVO FL CD 348 LPI	35W CMHTS		2800	0.72	
T5	1	MARTINI EDO 2 #7625.08	SURFACE WALL MOUNTED LUMINAIRE WIDIAL LIGHT DISTRIBUTION ONE WIDE SPREAD ONE COLLIMATED SPINE	(1) 50W T4 G&S MH	3300	1.00	

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ENTRY	+	3.0 f/c	28.5 f/c	0.2 f/c	142.5:1	17.5:1
PERIMETER	+	0.0 f/c	0.3 f/c	0.0 f/c	N/A	N/A
SITE	+	1.9 f/c	7.9 f/c	0.3 f/c	28.3:1	8.3:1
VOLLEYBALL COURT	+	10.6 f/c	15.8 f/c	4.1 f/c	3.8:1	3.6:1

UNIVERSITY BLVD.





March 31, 2010

Mr. Richard Dourte, PE  
City Engineer / Division Manager  
City of Albuquerque, Development Review Services  
600 Second Street, NW  
Albuquerque, New Mexico 87103

Re: Request to Void/Withdraw Building Permit #200890246  
5640 University Blvd SE, 87106  
Sony Imageworks @ Mesa del Sol  
Albuquerque, New Mexico

Dear Richard:

We are writing on behalf of our client Mesa del Sol to ask that the City void/withdraw the building permit referenced above. Please also destroy the two sets of building permit drawings.

Thank you for your attention to this matter.

Sincerely,

Dekker/Perich/Sabatini



Christopher R. Gunning, AIA. LEED AP  
Principal

Cc: Chris Anderson, Mesa del Sol  
John Myers, Myers Oliver Price

**MYERS, OLIVER & PRICE, P.C.**

LAWYERS  
1401 CENTRAL AVENUE, N.W.  
ALBUQUERQUE, NEW MEXICO 87104  
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FLOYD D. WILSON, *Of Counsel*

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February 25, 2010

**HAND DELIVERED**

Debbie Stover, Planning Director  
Planning Department  
City of Albuquerque  
Plaza del Sol, Third Floor  
Albuquerque, New Mexico 87103

Re: Mesa del Sol/Project No. 775488

Dear Debbie:

This office represents Mesa del Sol, LLC ("Mesa"). In early 2008, Mesa was working with Sony Imageworks ("Sony") regarding locating at Mesa del Sol. To facilitate the Sony transaction, Mesa processed a plat for the Sony parcel and a site development plan for the Sony building. A copy of the plat (Plat of Tracts 22-A, 22-B and 22-C, Mesa del Sol Innovation Park) and the site plan ("Sony Imageworks @ Mesa del Sol") are enclosed.

As a condition of the plat and site plan approvals, Mesa entered into a Subdivision Improvement Agreement (the "SIA"), a copy of which is enclosed. The infrastructure the subject of the SIA is the south one-half of Eastman Avenue from University Blvd. to the Albuquerque Studios' north access easement. This road is highlighted on the Plat vicinity map.

The Sony transaction fell through at the 11<sup>th</sup> hour. Therefore, Mesa no longer needs the approved Sony site plan. Consequently, Mesa desires to be relieved of the SIA obligation to construct this portion of Eastman Avenue. Therefore, Mesa requests that the City void the Sony site plan and release the SIA and the associated financial guarantee.

In these difficult economic times it creates a hardship for Mesa to construct (or to continue to bear the cost of a financial guarantee) for infrastructure which is not yet



5700 University West Blvd. Ste. Suite 1100, Albuquerque, NM 87106 PHONE: 505-452-2600 FAX: 505-452-1999

March 9, 2010

Mr. Richard Dourte  
City Engineer  
City of Albuquerque  
Plaza del Sol Building, 2<sup>nd</sup> Floor  
Albuquerque, New Mexico 87102


Re: Mesa del Sol – Sony Site  
City Project No. 775488

Dear Mr. Dourte:

Mesa del Sol, LLC, hereby authorizes Myers, Oliver & Price, P.C. (John A. Myers) to do all things required by the City, including, but not limited to, execution of any documentation necessary to void the Site Plan (Sony Imageworks @ Mesa del Sol) approved May 15, 2008, the Subdivision Improvement Agreement and financial guaranty related to the Site Plan and filed in City Project No. 775488, and any work orders that may have been issued.

Very truly yours,

MESA DEL SOL, LLC

By:   
Michael D. Daly

Debbie Stover, Planning Director

Planning Department

February 25, 2010

Page -2-

necessary. The City can condition future plat or site plan approvals upon the construction of this reach of Eastman Avenue.

Please advise us if you need additional information.

Thank you for your consideration of this request.

Very truly yours,

MYERS, OLIVER & PRICE, P.C.

By: \_\_\_\_\_  
John A. Myers

JAM/kla

Enclosures

cc: Kevin Curran, Assistant City Attorney (w/enc.) (Hand Delivered)  
Mr. Richard Dourte, City Engineer (w/enc.) (Hand Delivered)  
Mr. Manny Barrera, Mesa del Sol (w/out enclosures) (email)