

LOCATION MAP
 ZONE ATLAS INDEX MAP NOS. R-15, R-16, R-17, S-14,
 S-15, S-16, S-17, T-16 and T-17
 NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index Number: R-15, R-16, R-17, S-14, S-15, S-16, S-17, T-16 & T-17.
3. Zoning: PC
4. Gross Subdivision Acreage: 1764.7655 Acres.
5. Total number of Tracts Created: (2) Tracts.
6. No public right-of-way is created.
7. Date of Survey: September, 2013.
8. Plat is located within Sections 21, 22, 23, 26, 27, 28, 29, 34, and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

PURPOSE OF PLAT

The purpose of this Plat is to subdivide all of Tract A-1 of the Bulk Land Plat of Tracts A-1 thru A-6 Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 6, 2010 in Book 2010C, page 131 as Document No. 2010123421 into one two (2) tracts.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat

DESCRIPTION

A certain tract of land situate within Sections 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract A-1 of the Bulk Land Plat of Tracts A-1 thru A-6 Mesa Del Sol Innovation Park, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 6, 2010 in Book 2010C, page 131 as Document No. 2010123421.

Tract contains 1764.7655 acres, more or less.



LANDFILL DISCLOSURE STATEMENT

The subject property is located near or is a former landfill site. Due to the subject property being on or near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site.

NOTICE OF SUBDIVISION PLAT CONDITIONS

Future subdivision of Tract A-1-A, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

Document #2010123413

FREE CONSENT AND DEDICATION

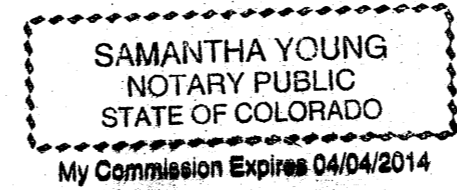
The plat shown hereon is made with the owner(s) free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as shown on this plat. Access easements are permanent. Said owner(s) hereby dedicate Public Rights-of-Way as shown on this plat to City of Albuquerque, New Mexico in Fee Simple with Warranty Covenants.

Mesa Del Sol LLC
 By: *Brian Fennelly*
 Brian Fennelly, Authorized Signatory

State of Colorado)
 County of *Denver*

This instrument was acknowledged before me on 1 day of October, 2013, by Brian Fennelly, Authorized Signatory of Mesa Del Sol, LLC.

My Commission Expires: 4-4-2014 *Samantha Young*
 Notary Public



NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Tracts A-1 thru A-6 Mesa Del Sol Innovation Park, Albuquerque, New Mexico, filed on December 6, 2010 in Book 2010C, page 131 as Document No. 2010123421.
3. Basis of Bearings is between City of Albuquerque Control Stations "1-R16 and "3-Q16". Bearing = N12°15'06"E.
4. Distances are ground distances.
5. Record easements taken from search and report File No. FT000058876 dated Monday, September 27, 2010 from Fidelity National Title.
6. The location of pipeline, powerline, and communication line easements and/or right-of-ways shown hereon were plotted from the granting documents in conjunction with field ties of existing infrastructure.
7. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."
8. All corners created with this plat will be monumented with a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469" or nail and washer stamped "Gromatzky PS 16469".
9. Tract A-1, now A-1-A, is subject to an Easement Agreement filed June 21, 2006 in Book A-119, page 1052 as Document No. 2006-091310, records of Bernalillo County, New Mexico.

**PLAT OF
 TRACTS A-1-A & A-1-B
 MESA DEL SOL
 INNOVATION PARK
 (A REPLAT OF TRACT A-1 MESA DEL SOL
 INNOVATION PARK)
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2013**

PROJECT NUMBER _____

APPLICATION NUMBER _____

UTILITY APPROVALS:

QWEST CORPORATION d/b/a CENTURYLINK QC _____ DATE _____

COMCAST CABLE _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

CITY APPROVALS:

David P. Acosta 10-9-13
 CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ALBUQUERQUE BERNALILLO COUNTY
 WATER UTILITY AUTHORITY _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
 Robert Gromatzky
 New Mexico Professional Surveyor 16469
 Date: October 1, 2013

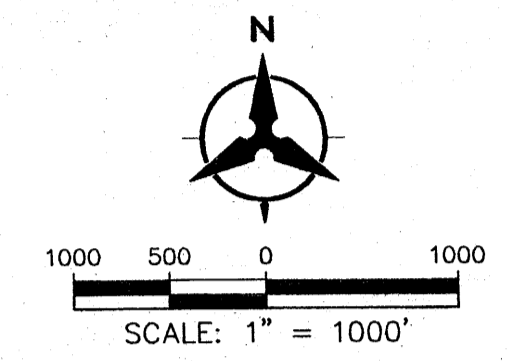


Bohannon & Huston

7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

PLAT OF TRACTS A-1-A & A-1-B MESA DEL SOL INNOVATION PARK

(A REPLAT OF TRACT A-1 MESA DEL SOL
INNOVATION PARK)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2013

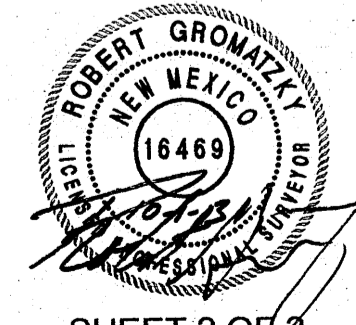
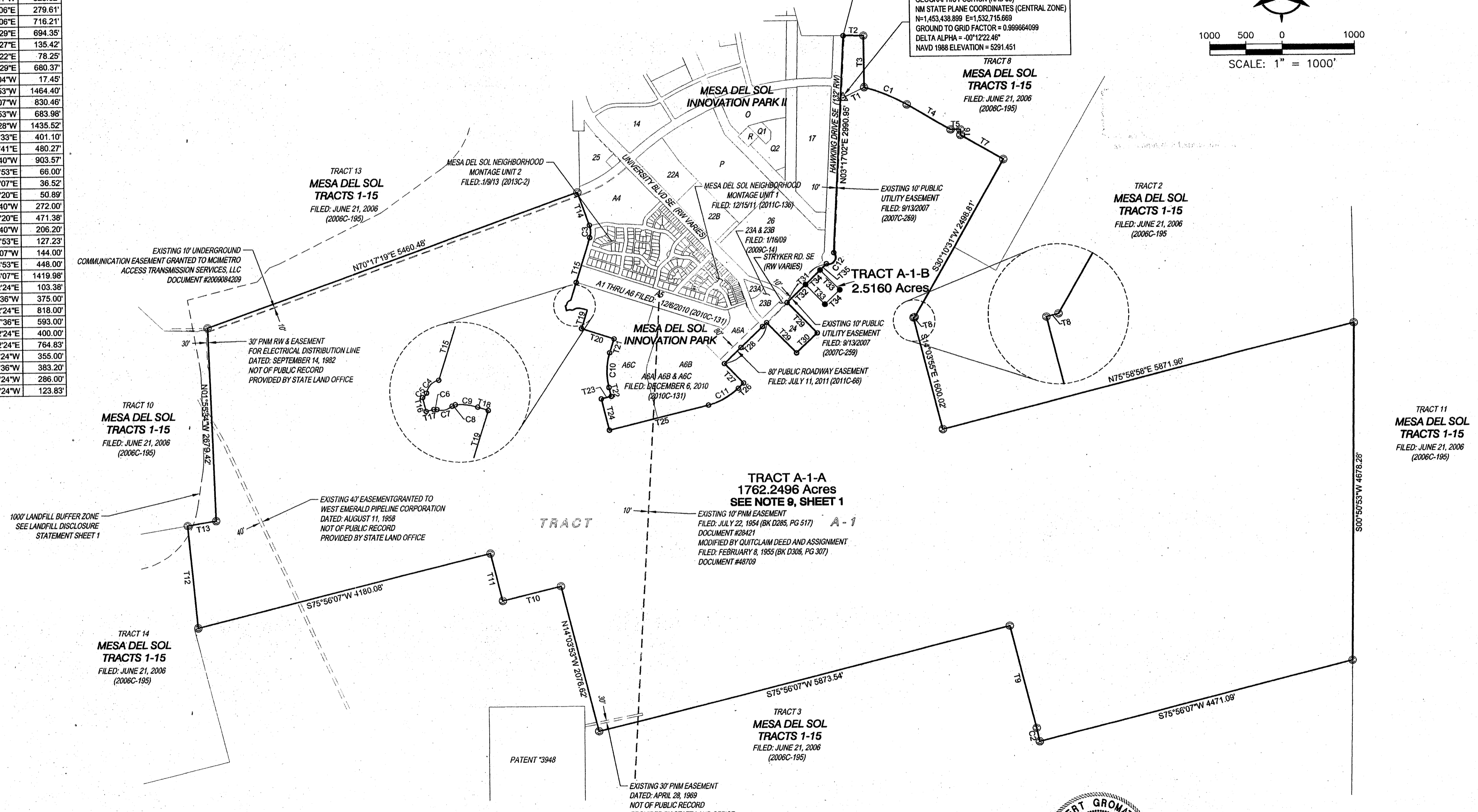


Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	15°07'15"	320.29'	636.86'	2413.20'	635.02'	S67°23'06"E
C2	04°17'24"	95.28'	190.48'	2544.00'	190.43'	N11°55'11"W
C3	37°23'20"	90.35'	174.23'	267.00'	171.16'	S01°01'00"E
C4	71°17'38"	50.20'	87.10'	70.00'	81.59'	S43°54'13"W
C5	67°40'37"	16.76'	29.53'	25.00'	27.84'	S42°05'49"W
C6	32°43'42"	7.34'	14.28'	25.00'	14.09'	S87°42'02"E
C7	61°39'57"	41.78'	75.34'	70.00'	71.76'	N77°49'51"E
C8	38°17'46"	8.68'	16.71'	25.00'	16.40'	N66°08'45"E
C9	22°23'02"	52.83'	104.31'	267.00'	103.65'	S83°30'51"E
C10	31°44'33"	249.34'	485.87'	877.00'	479.68'	S01°48'23"W
C11	29°53'43"	244.28'	477.42'	915.00'	472.03'	N60°59'15"E
C12	153°50'56"	409.03'	255.09'	95.00'	185.07'	N34°12'52"E

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND #5 REBAR AND ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700"
- FOUND #5 REBAR AND YELLOW SURVEY CAP STAMPED "GROMATZKY PS 16469"
- SET #5 REBAR AND YELLOW SURVEY CAP STAMPED "GROMATZKY PS 16469"

Tangent Data		
ID	BEARING	DISTANCE
T1	S64°05'21"W	328.32'
T2	S89°38'06"E	279.61'
T3	S00°02'06"E	716.21'
T4	S59°49'29"E	694.35'
T5	S89°47'27"E	135.42'
T6	S00°00'22"E	78.25'
T7	S59°49'29"E	680.37'
T8	S75°56'04"W	17.45'
T9	N14°03'53"W	1464.40'
T10	S75°56'07"W	830.46'
T11	N14°03'53"W	683.98'
T12	N05°17'28"W	1435.52'
T13	N80°27'33"E	401.10'
T14	S19°42'41"E	480.27'
T15	S17°40'40"W	903.57'
T16	S14°03'53"E	66.00'
T17	N75°56'07"E	36.52'
T18	S72°19'20"E	50.89'
T19	S17°40'40"W	272.00'
T20	S72°19'20"E	471.38'
T21	S17°40'40"W	206.20'
T22	S14°03'53"E	127.23'
T23	S75°56'07"W	144.00'
T24	S14°03'53"E	448.00'
T25	N75°56'07"E	1419.98'
T26	N46°02'24"E	103.38'
T27	N43°57'36"W	375.00'
T28	N46°02'24"E	818.00'
T29	S43°57'36"E	593.00'
T30	N46°02'24"E	400.00'
T31	N46°02'24"E	764.83'
T32	S46°02'24"W	355.00'
T33	N43°57'36"W	383.20'
T34	S46°02'24"W	286.00'
T35	S46°02'24"W	123.83'



Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 2 OF 2

P:\2014\168\SURVEY\GRAPHICS\MSD TRACT A1 REPLAT.dwg
Tue, 1-Oct-2013 - 2:43pm, Plotted by: RGRMATZKY

DRAWING INDEX

DWG.No. DESCRIPTIONS

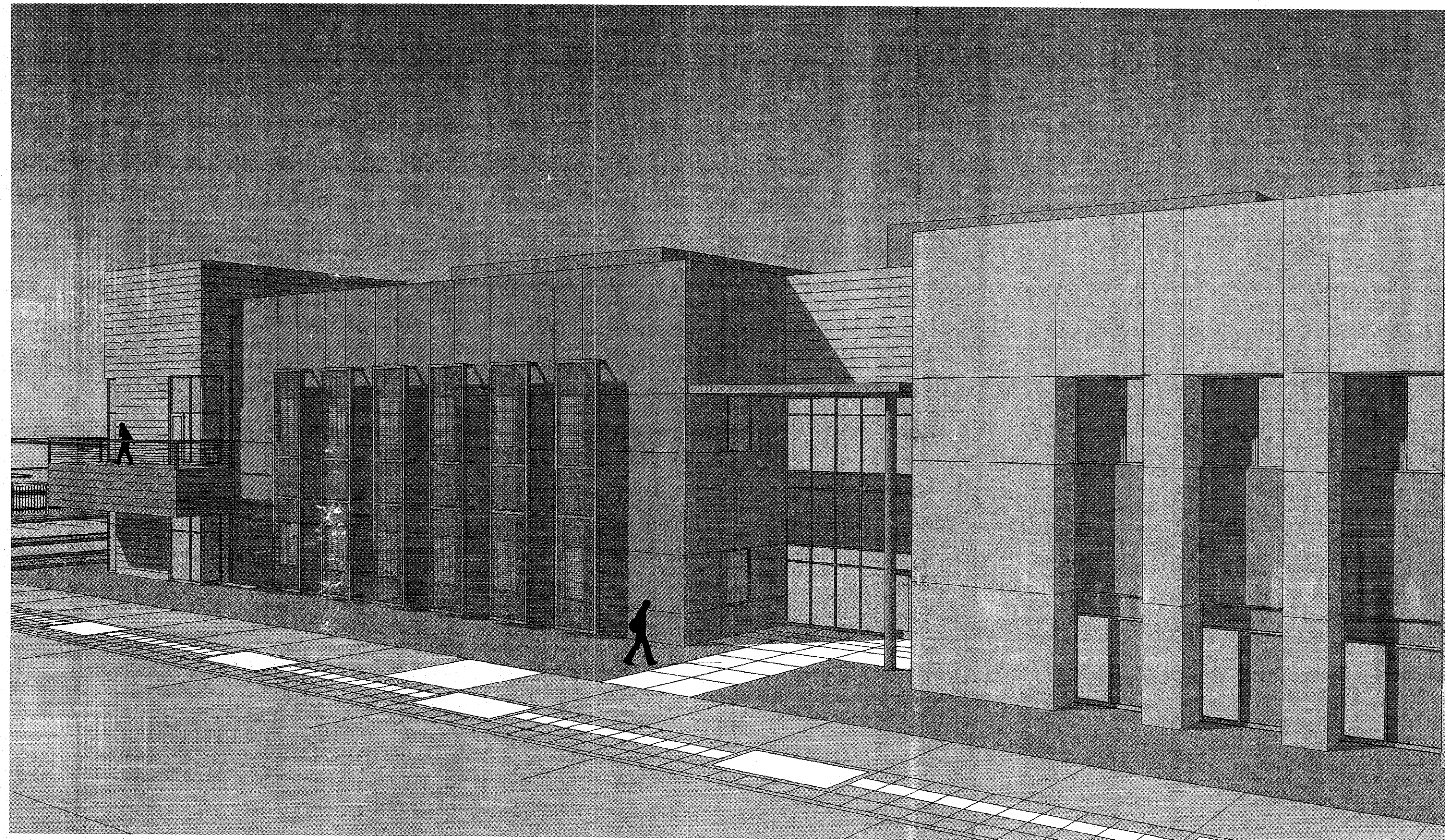
COVER SHEET	
A001	SITE PLAN - FULL BUILD OUT
A002	PLAZA ENLARGEMENT
A003	PHASING PLAN
A004	SITE PLAN - PHASE I
L001	LANDSCAPE PLAN
L002	COURTYARD LANDSCAPE PLAN & TREE DETAILS
L003	WATER HARVESTING PLAN
L004	SITE FURNISHINGS AND FINISHES
L005	LANDSCAPE PLAN - PHASE I
C100	GRADING PLAN
C200	UTILITY PLAN
A301	BUILDING EXTERIOR ELEVATIONS
A201	ROOF PLAN
A291	ROOF DETAILS
E002	ELECTRICAL SITE LIGHTING

architecture
interiors
landscape
planning
engineering

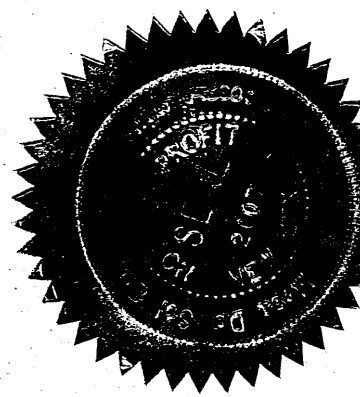
**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT



PROJECT



SONY IMAGEWORKS
@ Mesa del Sol

Albuquerque, New Mexico



Approved for compliance with PC Zoning Level "A" and Level "B" Plans and compliance with the Design Standards of the Mesa del Sol Employment Center Convenants, Conditions & Restrictions.

Architectural Review Committee
Mesa del Sol Employment Center

By: *Carrie Biesiot*
Carrie Biesiot, Administrator

SONY IMAGEWORKS @ Mesa del Sol

PROJECT TEAM

OWNER

FOREST CITY COVINGTON NM, LLC
801 UNIVERSITY BLVD., SE SUITE 200
ALBUQUERQUE, NM 87106
(505) 400-3021
FAX: (505)

TENANT REPRESENTATIVE

ANTHONY MASON ASSOCIATES
11766 WILSHIRE BLVDL, SUITE 470
LOS ANGELES, CALIFORNIA 90025
(310) 312-6603
FAX: (310) 213-2982

ARCHITECT

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FAX: (505) 761-4222

STRUCTURAL ENGINEER

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FAX: (505) 761-4222

CIVIL ENGINEER

BOHANNAN HUSTON
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109
(505) 823-1000
FAX: (505) 821-0892

MEP ENGINEER

THE RESPONSE GROUP, INC.
11930 MENAUL BLVD. NE
ALBUQUERQUE, NM 87112
(505) 323-7629
FAX: (505)

GENERAL CONTRACTOR

ENTERPRISE BUILDERS
2732 VASSAR PL., NE, SUITE E
ALBUQUERQUE, NM 87107
(505) 857-0050
FAX: (505)

PROJECT NO. 07-0016
DATE 02/15/2008

ISSUE PURPOSE

MESA DEL SOL
ARC
FINAL SUBMITTAL



REVISIONS

01-28-08 - ARC Preliminary Review
02-14-08 - ARC Secondary Review

DRAWN BY	CM / SY
REVIEWED BY	MB / CG
DATE	02/15/08
PROJECT NO.	07-0116

DRAWING NAME
**SITE PLAN
FULL BUILD OUT**

SITE INFORMATION

LEGAL DESCRIPTION
A CERTAIN TRACT OF LAND BEING A PORTION OF SECTION 22, TOWNSHIP 9 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

ZONE ATLAS MAP NUMBER: R-16
PRESENT ZONING: PLANNED COMMUNITY

GROSS BUILDING AREA (GBA):
BUILDING 1 - OFFICE (2 STORY) = 50,000 SF
BUILDING 2 - DATA CENTER (1 STORY) = 15,000 SF
BUILDING 3 - OFFICE (2 STORY) = 35,000 SF
TOTAL GROSS BUILDING AREA: 100,000 SF

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES
GROSS F.A.R. (GBA/site area) = 0.3

PARKING INFORMATION

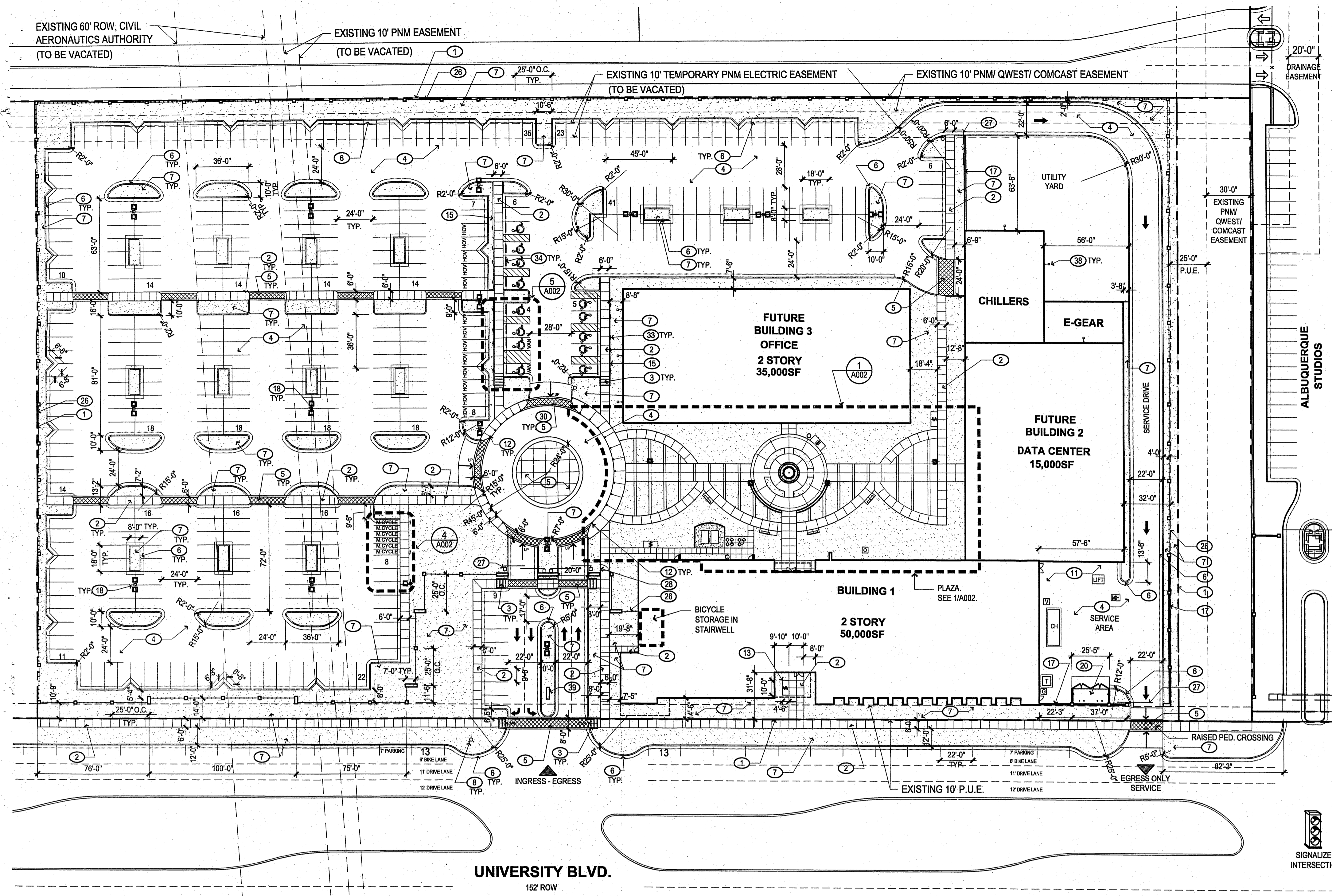
- TOTAL PARKING REQUIRED = 371 PS**
BUILDING 1 - OFFICE (2 STORY): 50,000SF
1ST FLOOR @ 1PS/2000SF= 25 PS
2ND FLOOR @ 1PS/3000SF= 84 PS
TOTAL BUILDING 1= 209 PS
BUILDING 2 - DATA CENTER (1 STORY): 15,000SF
1ST FLOOR @ 1PS/1,000SF= 15 PS
TOTAL BUILDING 2= 15 PS
BUILDING 3 - OFFICE (2 STORY): 35,000SF
1ST FLOOR @ 1PS/2000SF= 88 PS
2ND FLOOR @ 1PS/3000SF= 59 PS
TOTAL BUILDING 3= 147 PS
TOTAL OFF STREET PARKING PROVIDED: 385 PS
TOTAL ON STREET PARKING PROVIDED: 26 PS
TOTAL PARKING PROVIDED: 411 PS
- HANDICAP PARKING STALLS REQUIRED:**
301-500 PARKING STALLS: 12 HC STALLS REQUIRED (2 VAN ACCESSIBLE)
PROVIDED: 12 HC STALL (2 VAN ACCESSIBLE)
- BICYCLE PARKING REQUIRED: (120 AUTOS)**
TOTAL: 19 SPACES
PROVIDED: 24 SPACES
- MOTORCYCLE PARKING REQUIRED:**
301-500 PARKING STALLS: 6 SPACES REQUIRED.
PROVIDED: 6 SPACES
- H.O.V. PARKING REQUIRED:**
5% OF BUILDING OCCUPANTS: 13 SPACES REQUIRED.
PROVIDED: 13 SPACES

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES
TOTAL GROSS BUILDING AREA: 100,000 SF
TOTAL UTILITY YARD AREA: 14,388 SF
NET LOT AREA: 209,558 SF / 4.81 ACRES
REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 31,434 SF / 0.72 ACRES
PROVIDED LANDSCAPE AREA: (32% OF NET LOT AREA) 66,525 SF / 1.5 ACRES
TOTAL ALLOWED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 13,305 SF / .3 ACRES
TOTAL PROVIDED TURF GRASS: (2.5% OF OVERALL LANDSCAPE AREA): 1,631 SF / .04 ACRES

GENERAL NOTES

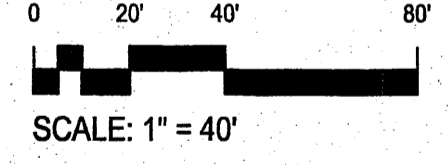
- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20 FEET OF THE SITE.
- TRACT REFERENCES ARE TO THE TRACTS AS CONFIGURED AND ALIGNED IN THE SITE DEVELOPMENT PLAN. TRACT LINES ARE TO BE ADJUSTED/FIXED WITH REQUIRED REPLAT.
- UNIVERSITY BLVD. TO HAVE ON-STREET PARKING ON EACH SIDE AT ULTIMATE BUILD-OUT
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY. A FUTURE TRAIL MAY BE LOCATED ON THE WEST SIDE OF UNIVERSITY BOULEVARD, OUTSIDE OF THE RIGHT-OF-WAY.
- BICYCLE AMENITIES: TENANT WILL PROVIDE ENCLOSED BICYCLE STORAGE FOR 10% OF THE TOTAL BICYCLE SPACES. SEE A001 FOR LOCATION.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHTING SHALL COMPLY TO LIGHTING STANDARDS OF THE MESA DEL SOL EMPLOYMENT CENTER MASTER DEVELOPMENT PLAN.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- SEE CIVIL PLANS FOR LOCATION OF ARCHEOLOGICAL SITE.



UNIVERSITY BLVD.
152' ROW

SITE PLAN

1" = 40'



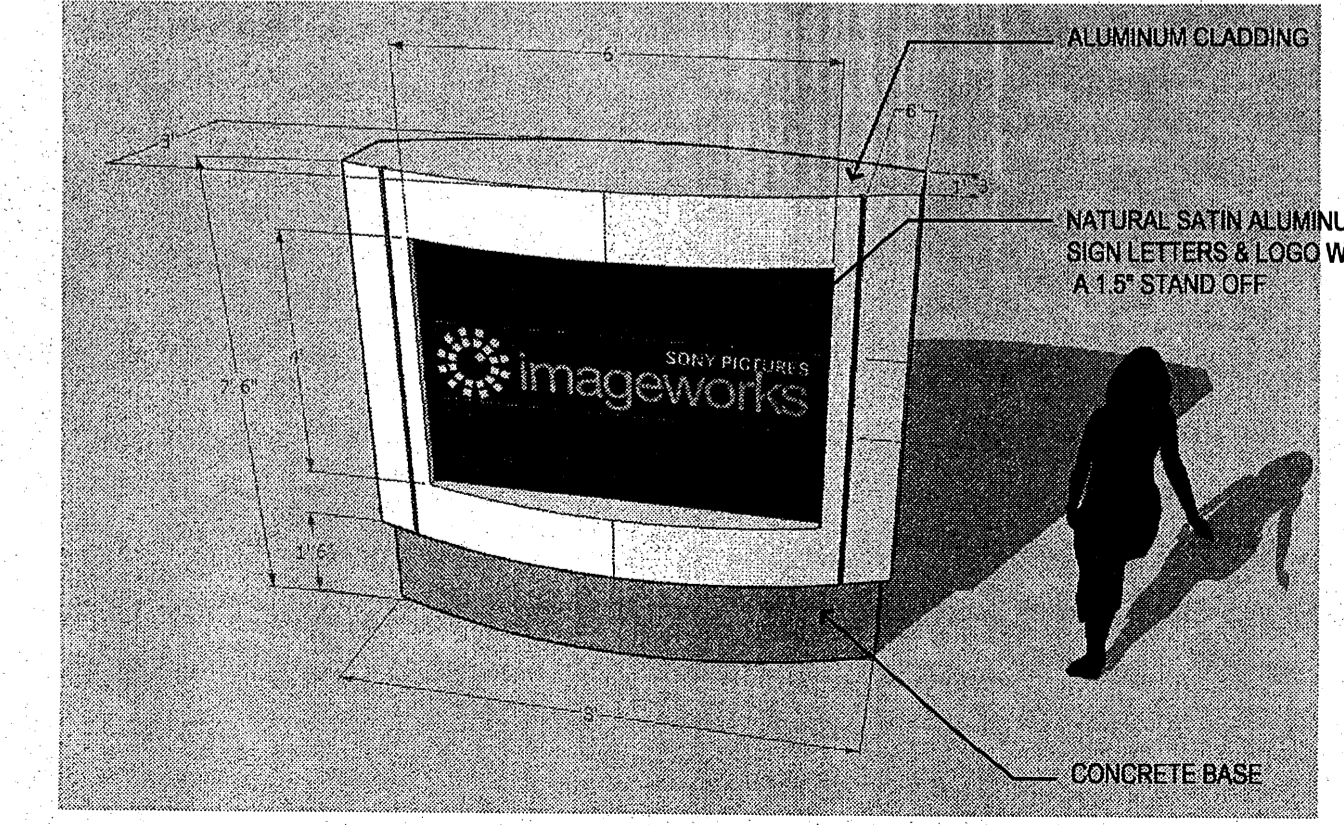
SCALE: 1" = 40'

LEGEND

- PROPERTY LINE
- - - UTILITY EASEMENT
- ↑ TRAFFIC ARROW, PAINT WHITE
- LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- FIRE HYDRANT
- BUILDING MOUNTED LIGHT FIXTURE
- ▨ STABILIZED CRUSHER FINES PATH
- HOV CARPOOL/ VANPOOL PARKING
- VAULT
- MAN HOLE
- CH CHILLER
- TRANSFORMER
- GAS METER

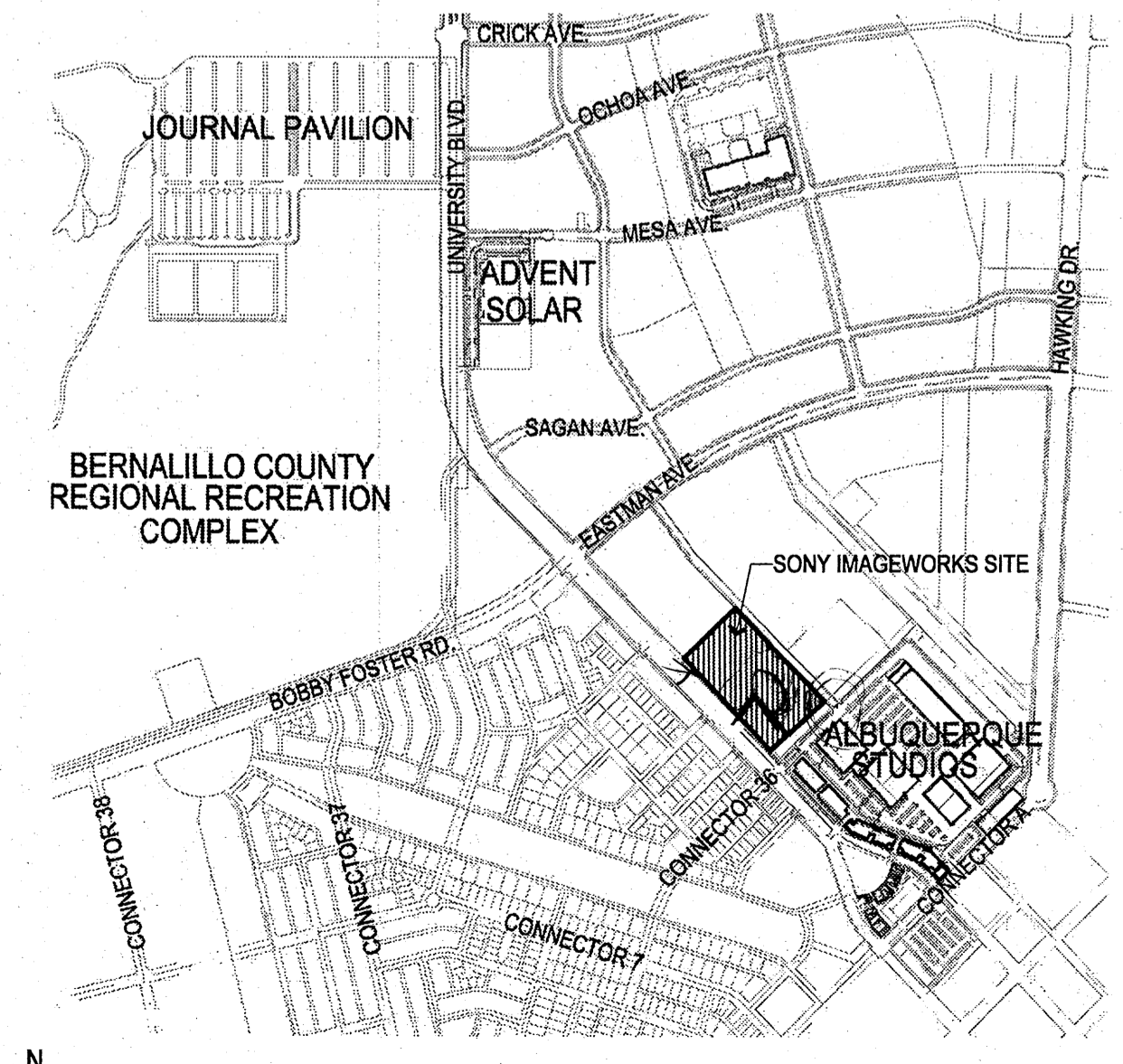
SITE FURNISHINGS LEGEND

- BENCH, QUANTITY: 4
Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench.
Surface Mount. Powercoat Finish, Color: Titanium.
- BIKE RACK, QUANTITY: 4
Manufacturer: Dobra Design. Model: Boa - 6
Surface Mount. Powercoat Finish, Color: Steel.
- TRASH RECEPTACLE, QUANTITY: 2
Manufacturer: Landscape Forms. Model: Chase Park, Side Opening (36 gal.)
Surface Mount. Powercoat Finish, Color: Titanium.
- CONCRETE BOLLARD, QUANTITY: 36
Manufacturer: Wausau Tile. Model: TF6066 Round Bollard
Color: B2 French Gray.
- PICNIC TABLE, QUANTITY: 2
Manufacturer: Landscape Forms. Model: Carousel - Backed, Perforated, (1) 3-seats, (1) 4-seats
Surface Mount. Powercoat Finish, Color: Titanium.
- PING PONG TABLE, QUANTITY: 2 (N.I.C.)



1 MONUMENT SIGN

NTS



VICINITY MAP
MESA DEL SOL

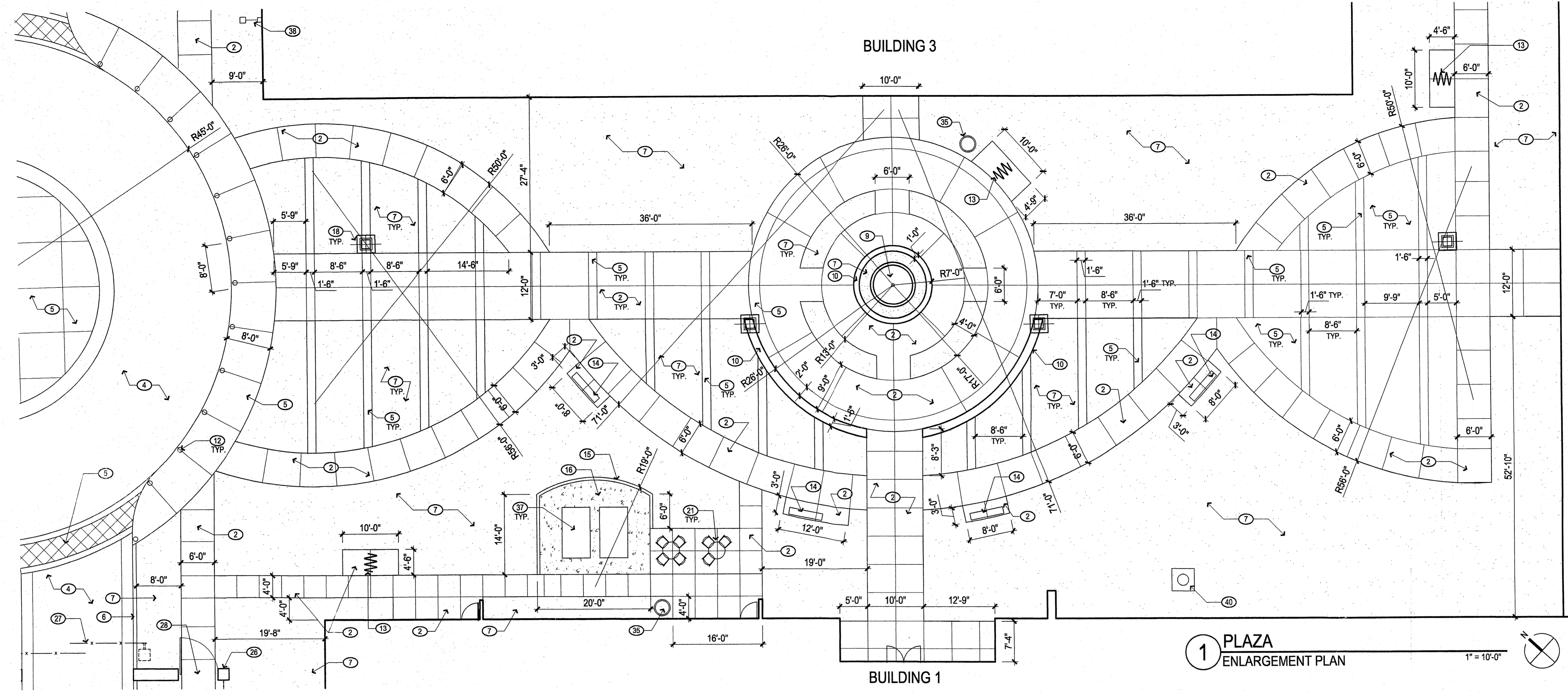
1" = 800'



REVISIONS

△	01.28.08 - ARC Preliminary Review
△	02.14.08 - ARC Secondary Review

DRAWN BY	CM / SY
REVIEWED BY	MB / CG
DATE	02/15/08
PROJECT NO.	07-0116
DRAWING NAME	PLAZA ENLARGEMENT



1 PLAZA ENLARGEMENT PLAN
1" = 10'-0"

KEYED NOTES (X)

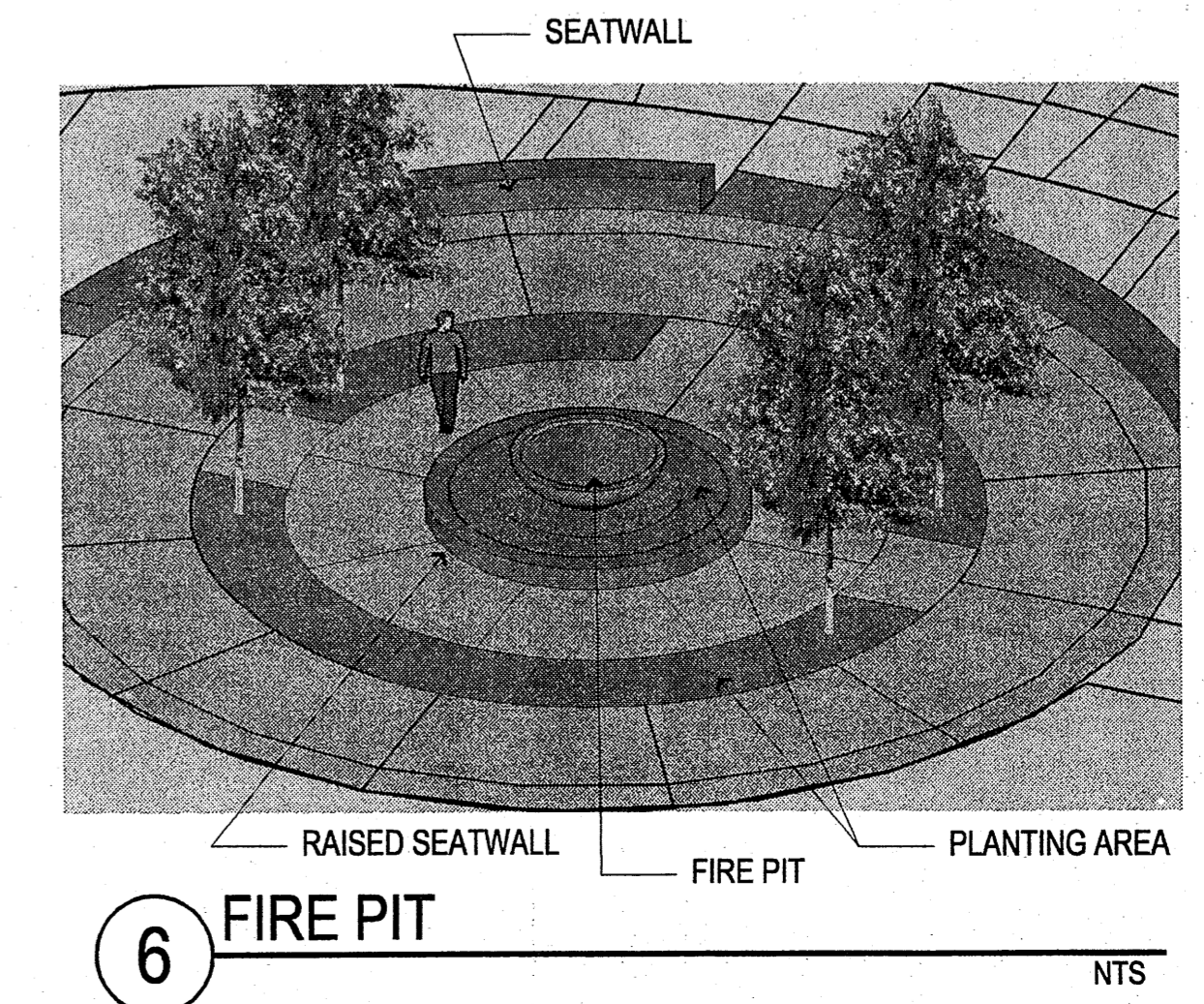
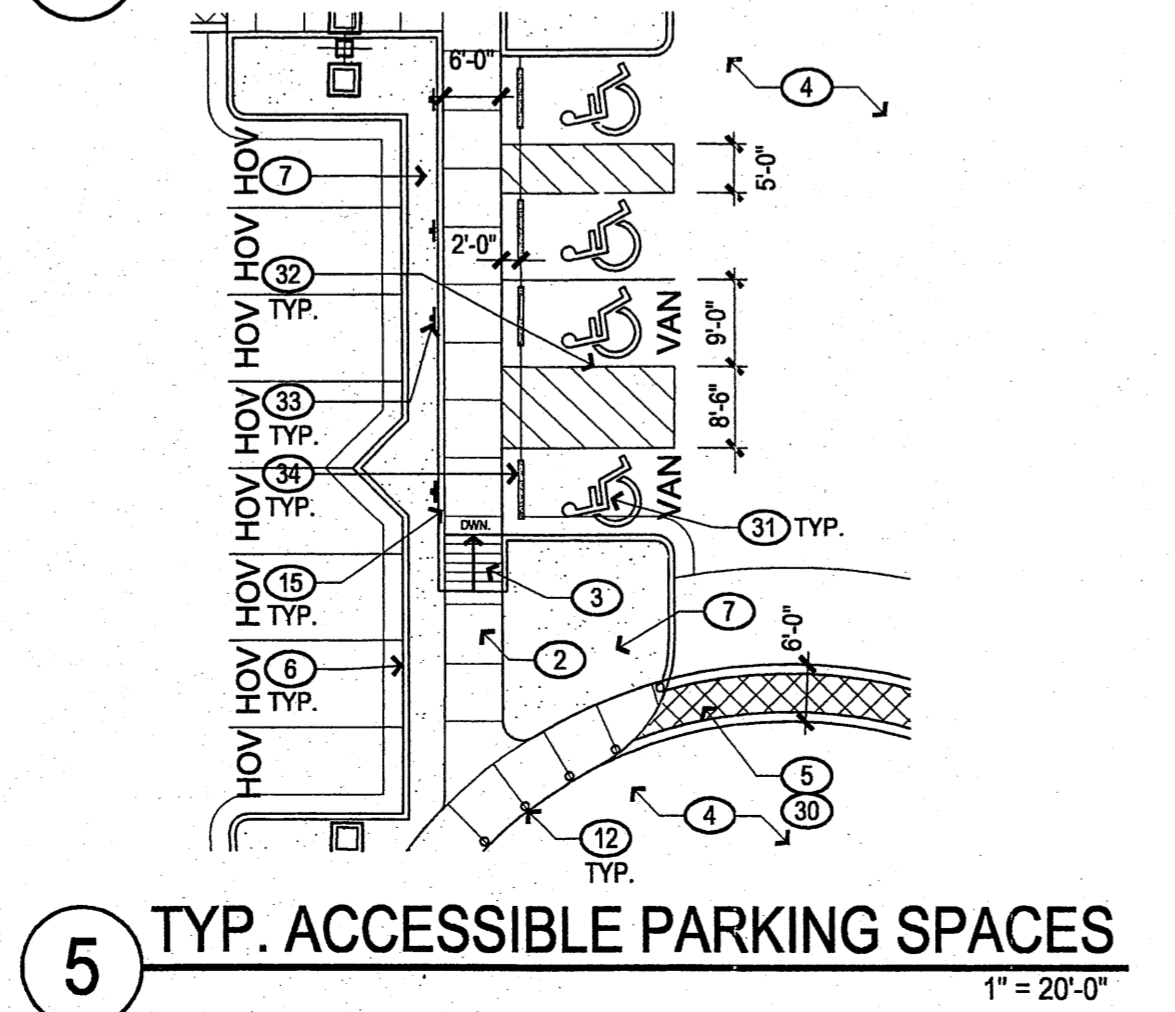
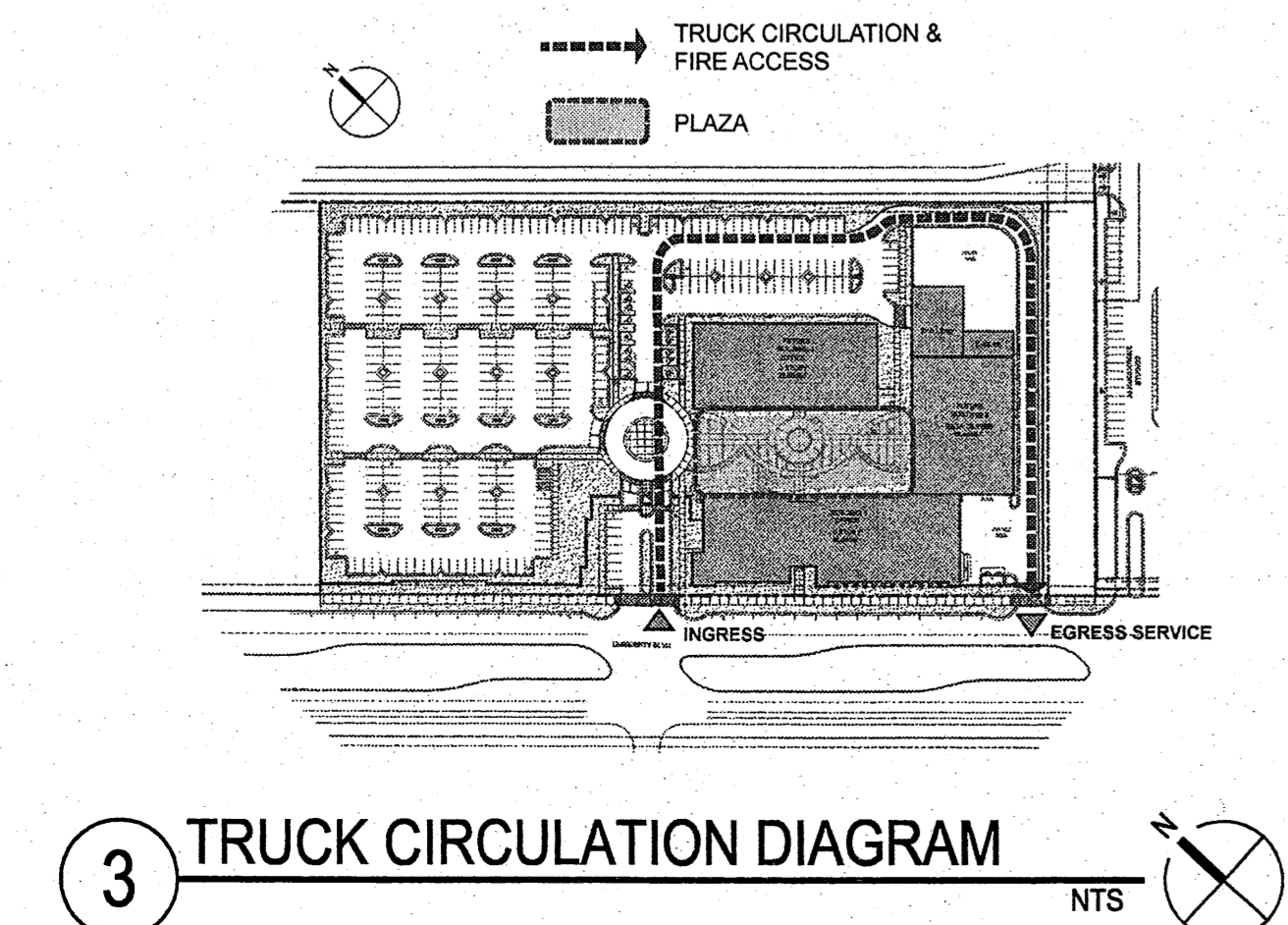
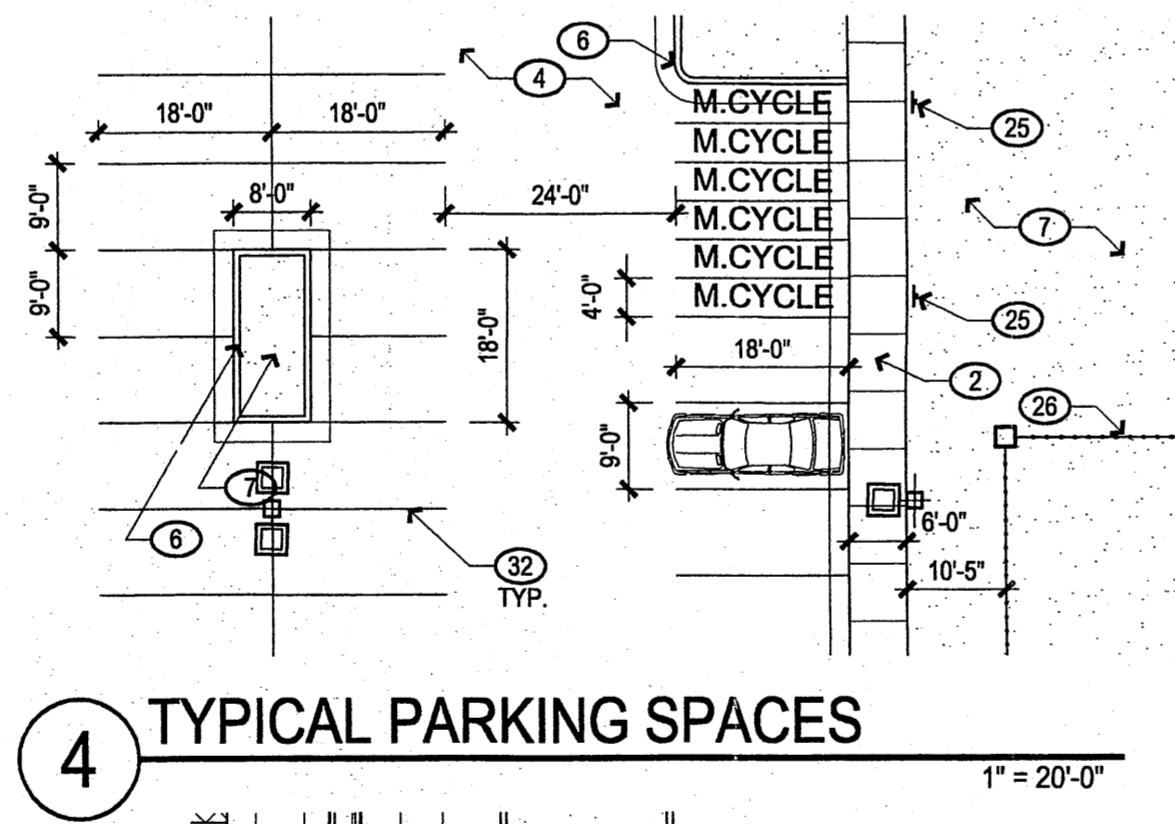
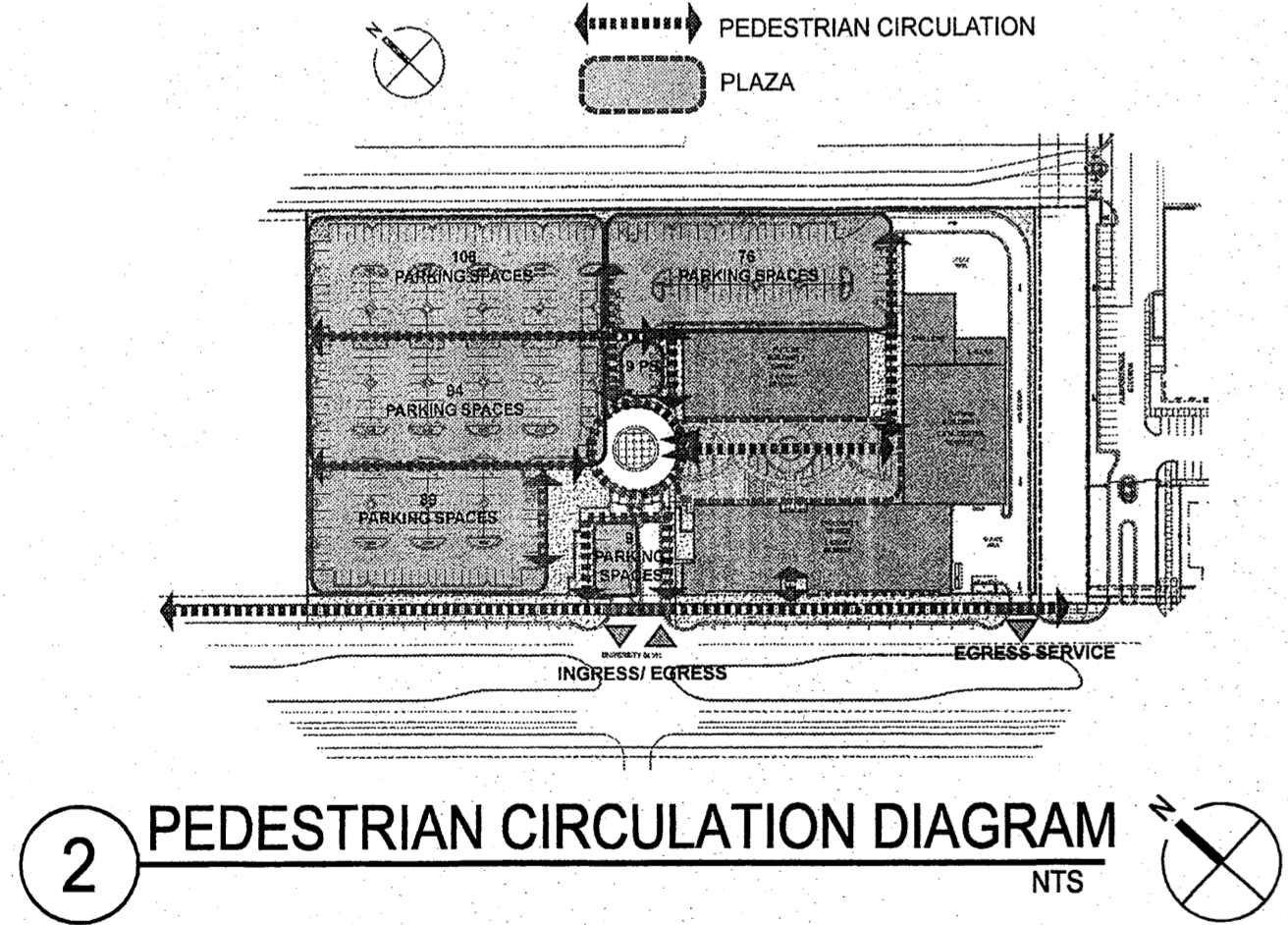
- PROPERTY LINE.
- CONCRETE WALK.
- ACCESSIBLE RAMP.
- ASPHALT PAVING.
- INTEGRAL COLOR CONCRETE. SEE SHEET L003.
- CONCRETE CURB AND GUTTER. SEE COA STD. DWG # 2415B.
- LANDSCAPE AREA, TYP. SEE L001.
- FIRE HYDRANT, SEE CIVIL.
- FIRE PIT, SEE 6/A002.
- SEATWALL.
- TRUCK LOADING AREA.
- CONCRETE BOLLARD, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- BIKE RACK, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- BENCH, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- CONCRETE CURB.
- STABILIZED CRUSHER FINES.
- 6"-8" CMU WALL WITH STUCCO FINISH, SEE 1/A004.
- LIGHT POLE, SEE ELECTRICAL.
- TEMPORARY 6"-8" SECURITY FENCE WITH ALUMINUM POSTS.
- DUMPSTER ENCLOSURE, SEE 1 & 2/A003.
- PICNIC TABLE, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- NOT USED.
- NOT USED.
- MOTORCYCLE ONLY PARKING SIGN.
- 6"-8" SECURITY FENCE. SEE 3/A003.
- SECURITY GATE.
- SECURED PEDESTRIAN ACCESS POINT.
- TEMPORARY ASPHALT CURB. SEE COA STD. DWG # 2415B.
- PEDESTRIAN CROSSING.
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- PAINTED PARKING STRIPING, COLOR: WHITE.
- ACCESSIBLE SIGN.
- CONCRETE BUMPER.
- TRASH RECEPTACLE, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- STEEL EDGING.
- PING PONG TABLE, N.I.C.
- BUILDING MOUNTED LIGHT FIXTURE, SEE ELECTRICAL.
- MONUMENT SIGN, SEE 1A001.
- MANHOLE. SEE ELECTRICAL DWGS.

LEGEND

- PROPERTY LINE
- UTILITY EASEMENT
- TRAFFIC ARROW, PAINT WHITE
- LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- FIRE HYDRANT
- BUILDING MOUNTED LIGHT FIXTURE
- LANDSCAPE AREA
- STABILIZED CRUSHER FINES PATH
- HOV CARPOOL VANPOOL PARKING
- VAULT
- MAN HOLE
- CHILLER
- TRANSFORMER
- GAS METER

SITE FURNISHINGS LEGEND

- BENCH, QUANTITY: 4
Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench. Surface Mount. Powercoat Finish, Color: Titanium.
- BIKE RACK, QUANTITY: 4
Manufacturer: Dobra Design. Model: Boa - 6. Surface Mount. Powercoat Finish, Color: Steel.
- TRASH RECEPTACLE, QUANTITY: 2
Manufacturer: Landscape Forms. Model: Chase Park, Side Opening (36 gal). Surface Mount. Powercoat Finish, Color: Titanium.
- CONCRETE BOLLARD, QUANTITY: 36
Manufacturer: Wausau Tile. Model: TF6066 Round Bollard. Color: B2 French Gray.
- PICNIC TABLE, QUANTITY: 2
Manufacturer: Landscape Forms. Model: Carousel - Backed, Perforated, (1) 3-seats, (1) 4-seats. Surface Mount. Powercoat Finish, Color: Titanium.
- PING PONG TABLE, QUANTITY: 2 (N.I.C.)



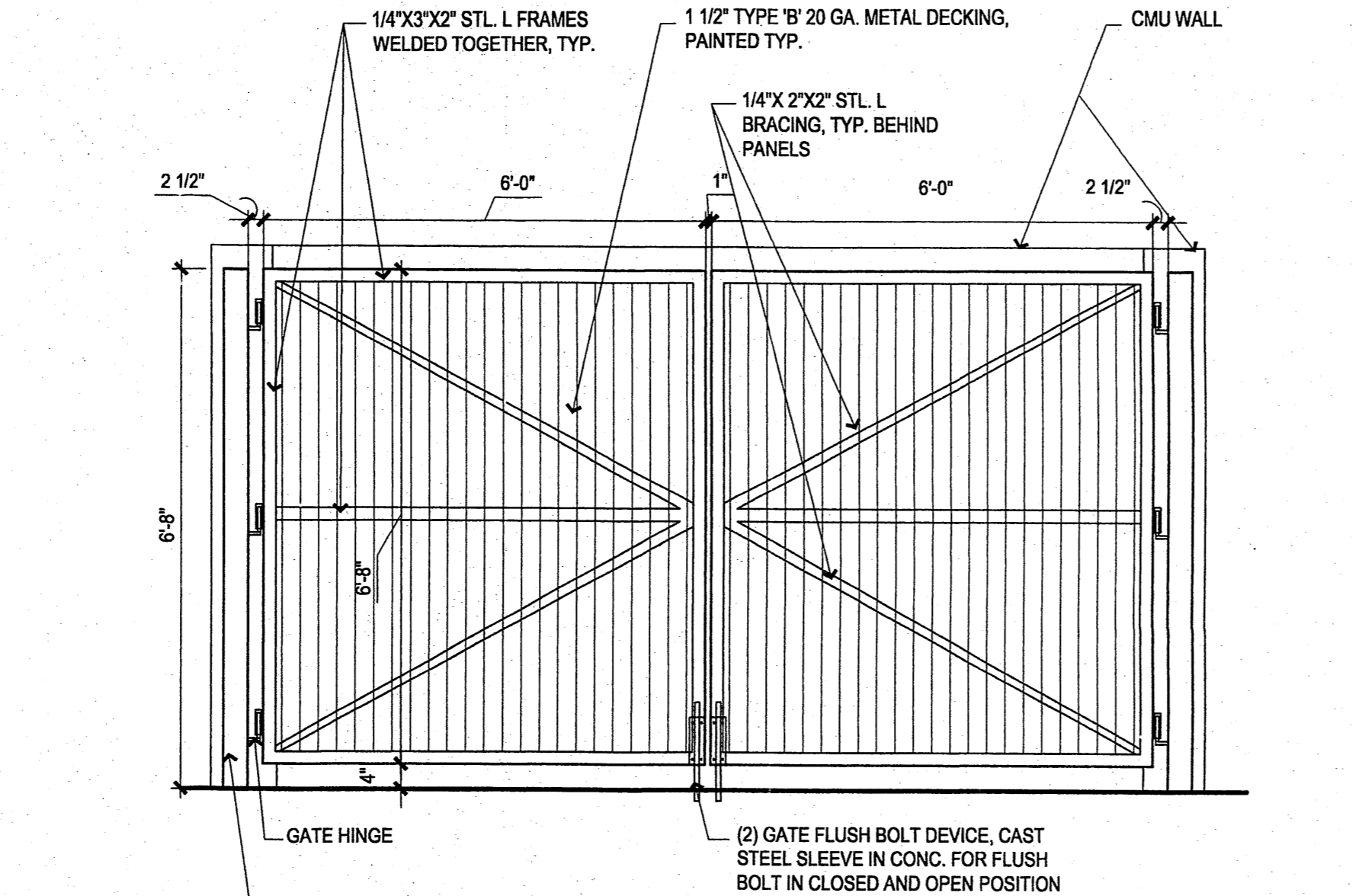
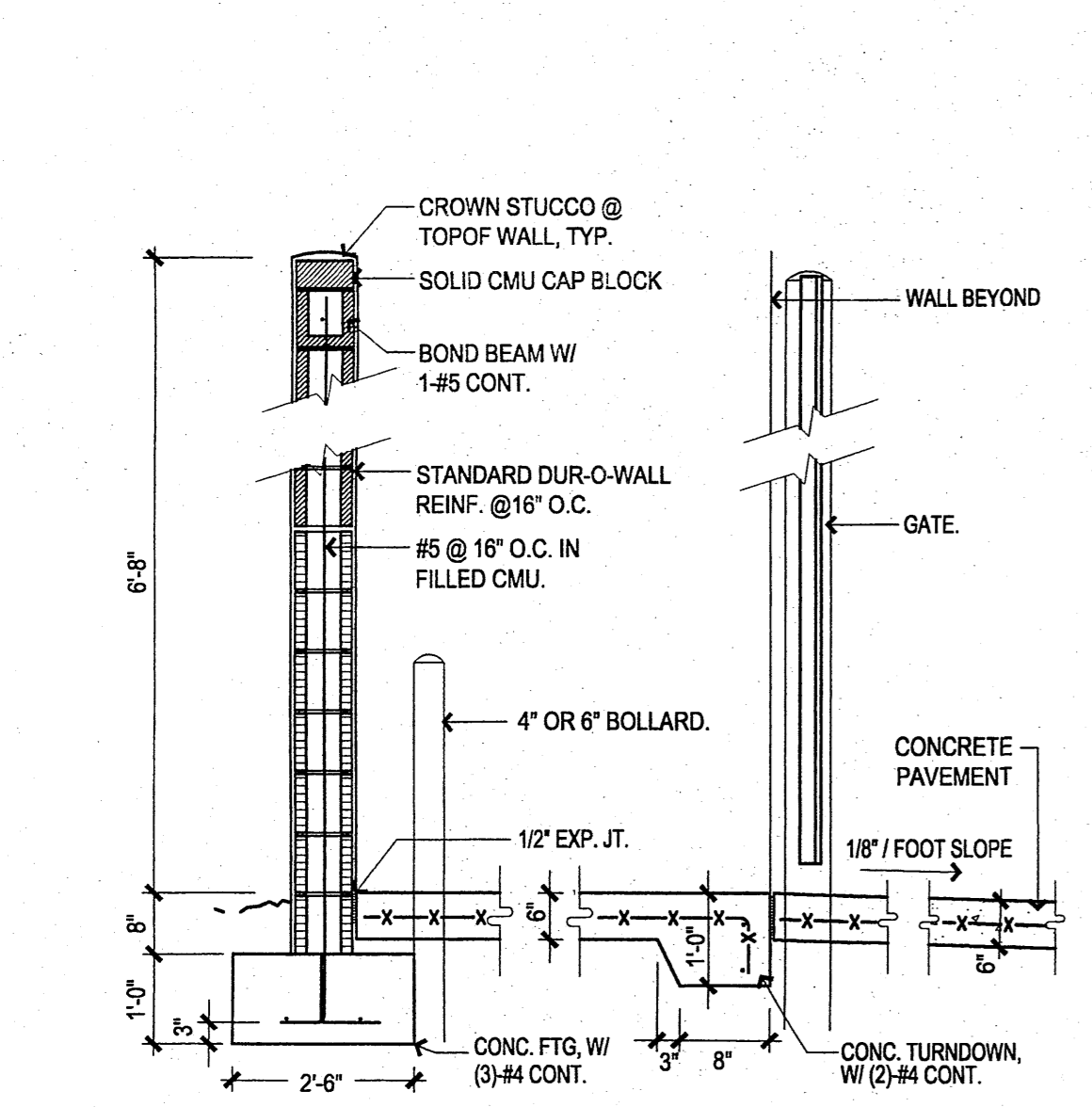
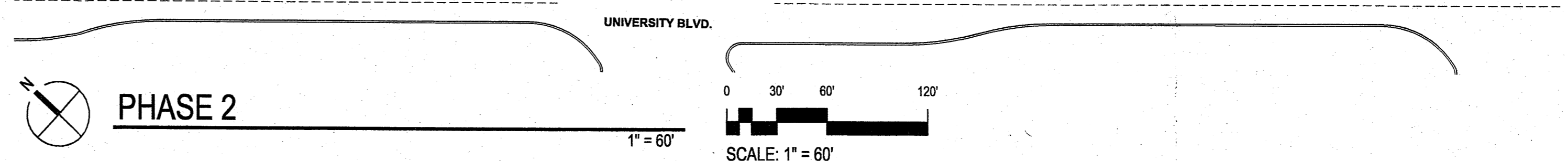
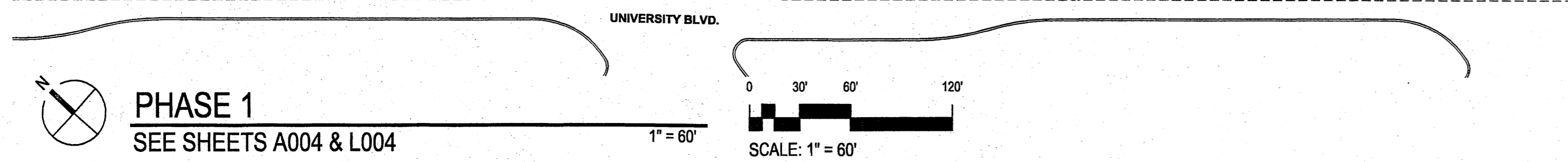
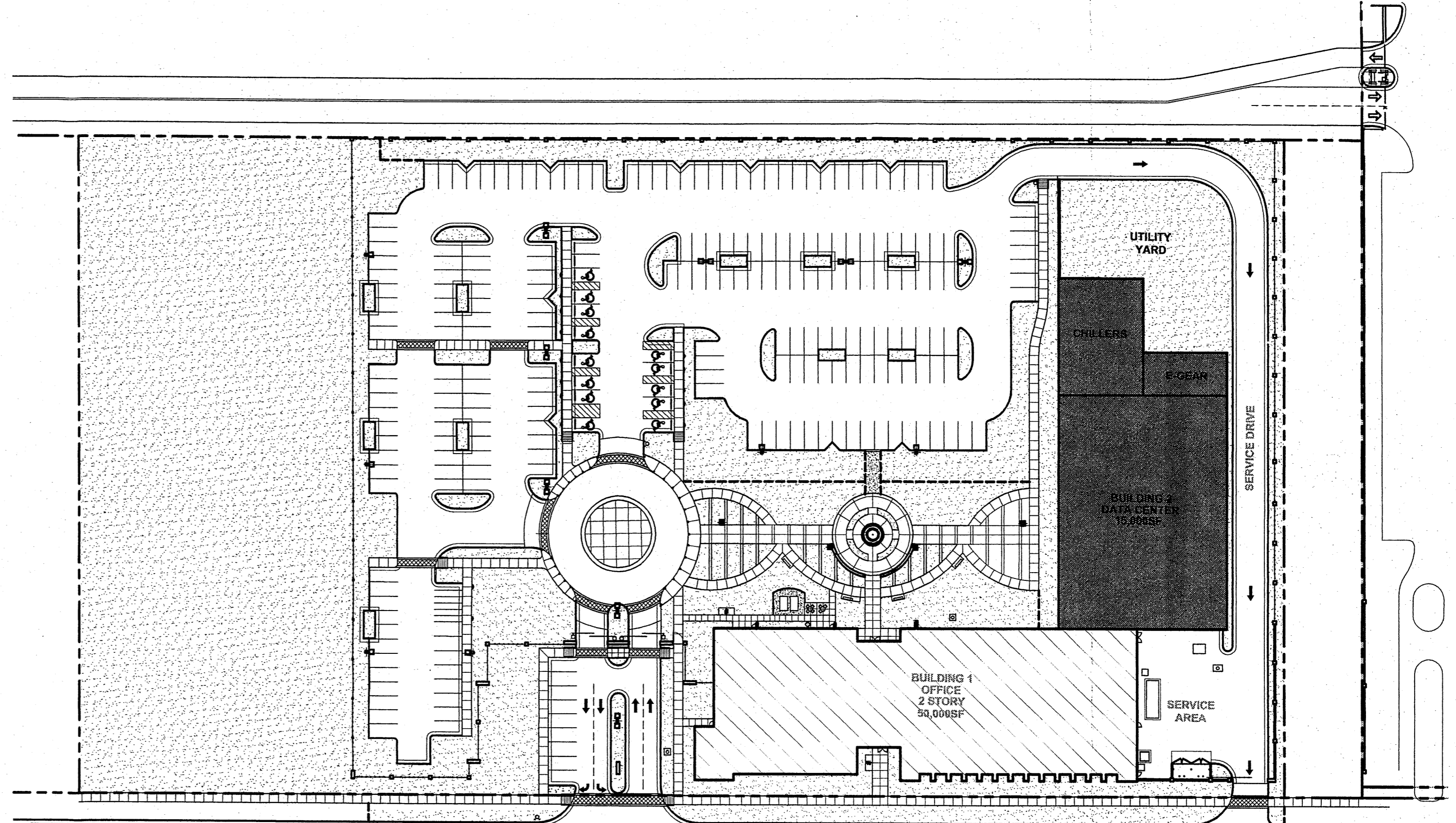
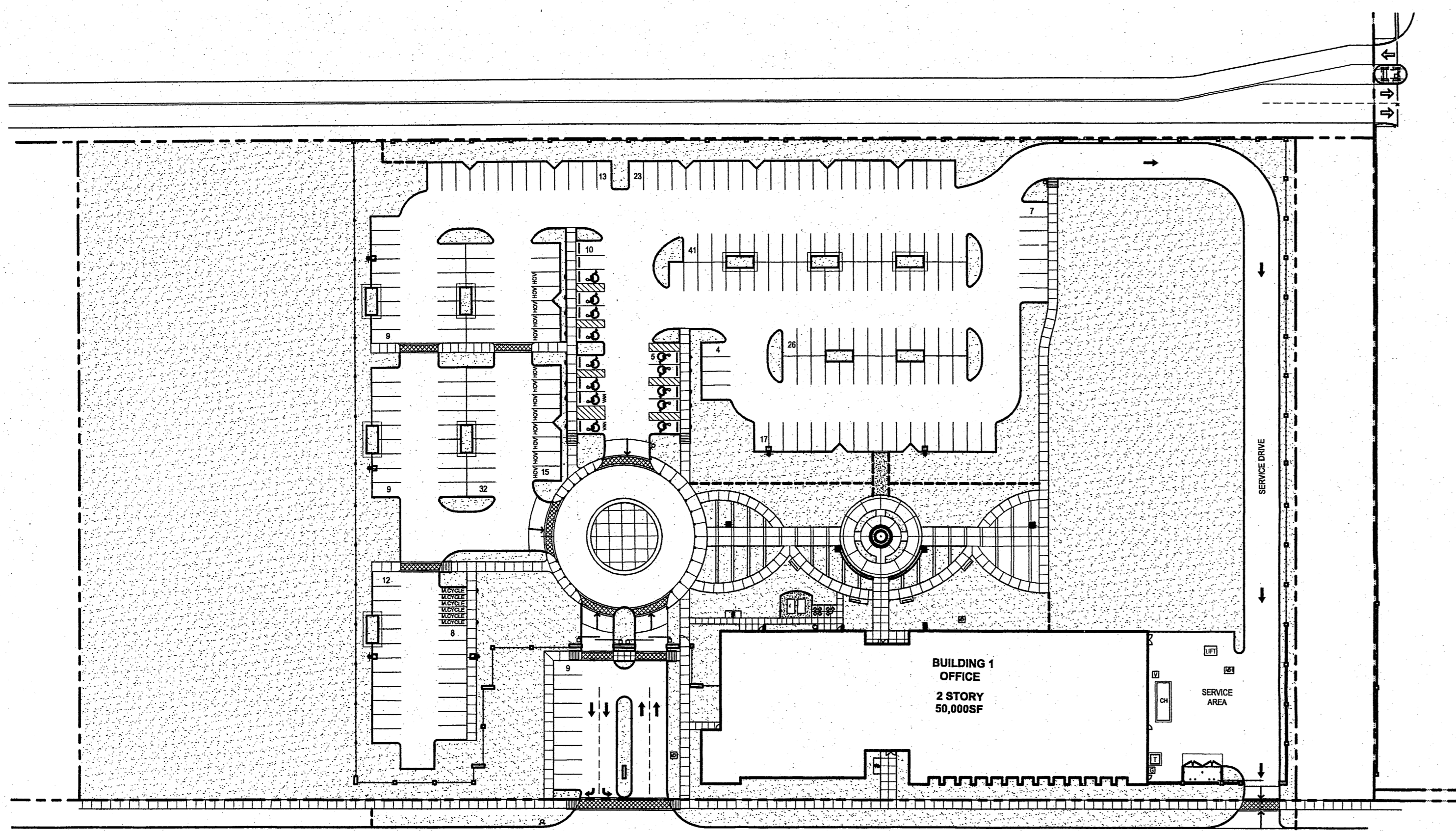


REVISIONS

▲	01.28.08 - ARC Preliminary Review
▲	02.14.08 - ARC Secondary Review
▲	

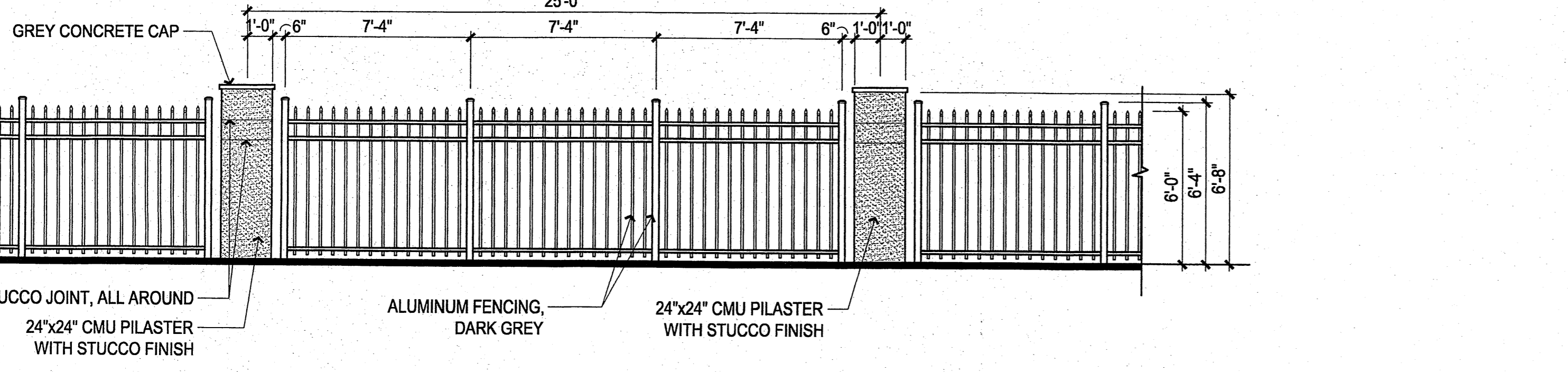
DRAWN BY	CM / SY
REVIEWED BY	MB / CG
DATE	02/15/08
PROJECT NO.	07-0116
DRAWING NAME	

PHASING PLAN

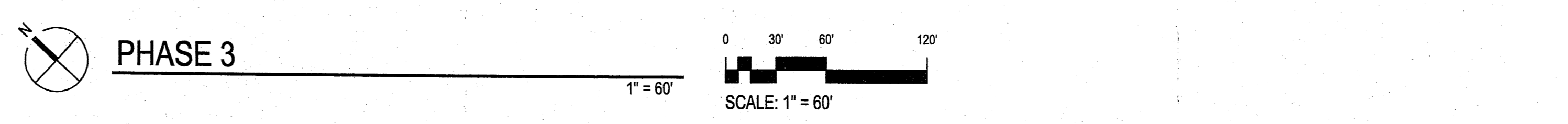
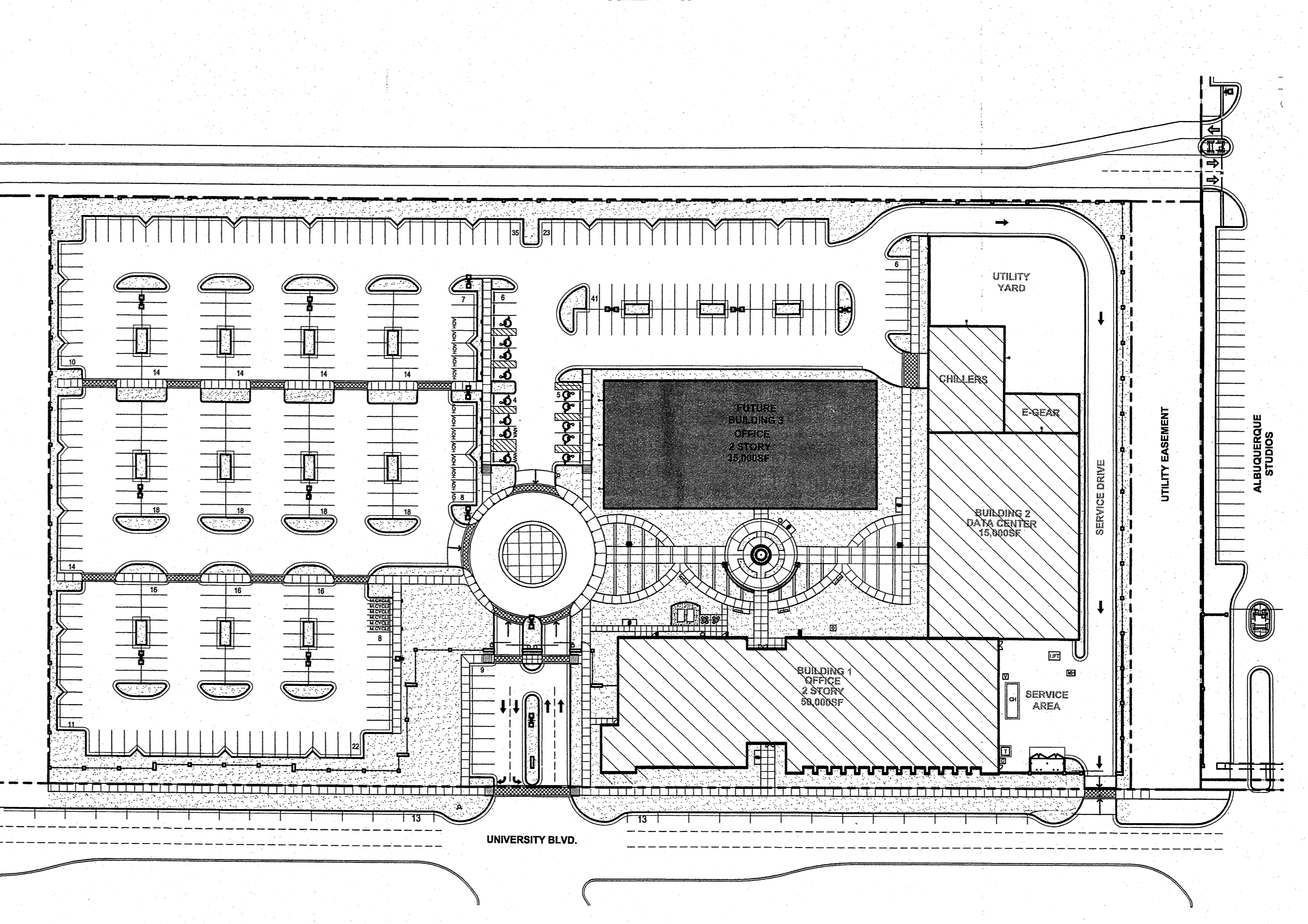


1 ENCLOSURE SECTION
1/2" = 1'-0"

2 ENCLOSURE GATE
1/2" = 1'-0"



3 TYPICAL SITE WALL ELEVATION
1/4" = 1'-0"





REVISIONS

01.28.08 - ARC Preliminary Review
02.14.08 - ARC Secondary Review

DRAWN BY	CM / SY
REVIEWED BY	MB / CG
DATE	02/15/08
PROJECT NO.	07-0116

**SITE PLAN
PHASE 1**

SITE INFORMATION

LEGAL DESCRIPTION
A CERTAIN TRACT OF LAND BEING A PORTION OF SECTION 22, TOWNSHIP 8 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

ZONE ATLAS MAP NUMBER: R-18
PRESENT ZONING: PLANNED COMMUNITY

GROSS BUILDING AREA (GBA):
BUILDING 1 - OFFICE (2 STORY) = 50,000 SF.

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES
GROSS F.A.R. (GBA/site area) = 0.15

PARKING INFORMATION

- TOTAL PARKING REQUIRED = 371 PS
BUILDING 1 - OFFICE (2 STORY): 50,000SF
1ST FLOOR @ 1PS/200SF = 125 PS.
2ND FLOOR @ 1PS/300SF = 84 PS.
TOTAL BUILDING 1 = 209 PS
- TOTAL OFF STREET PARKING PROVIDED: 223 PS
- HANDICAP PARKING STALLS REQUIRED:
101-300 PARKING STALLS: 8 HC STALLS REQUIRED (2 VAN ACCESSIBLE)
PROVIDED: 13 HC STALL (2 VAN ACCESSIBLE)
- BICYCLE PARKING REQUIRED: (1:20 AUTOS)
TOTAL: 11 SPACES
PROVIDED: 12 SPACES
- MOTORCYCLE PARKING REQUIRED:
151-300 PARKING STALLS: 5 SPACES REQUIRED.
PROVIDED: 6 SPACES
- H.O.V. PARKING REQUIRED:
5% OF BUILDING OCCUPANTS: 13 SPACES REQUIRED.
PROVIDED: 13 SPACES

KEYED NOTES

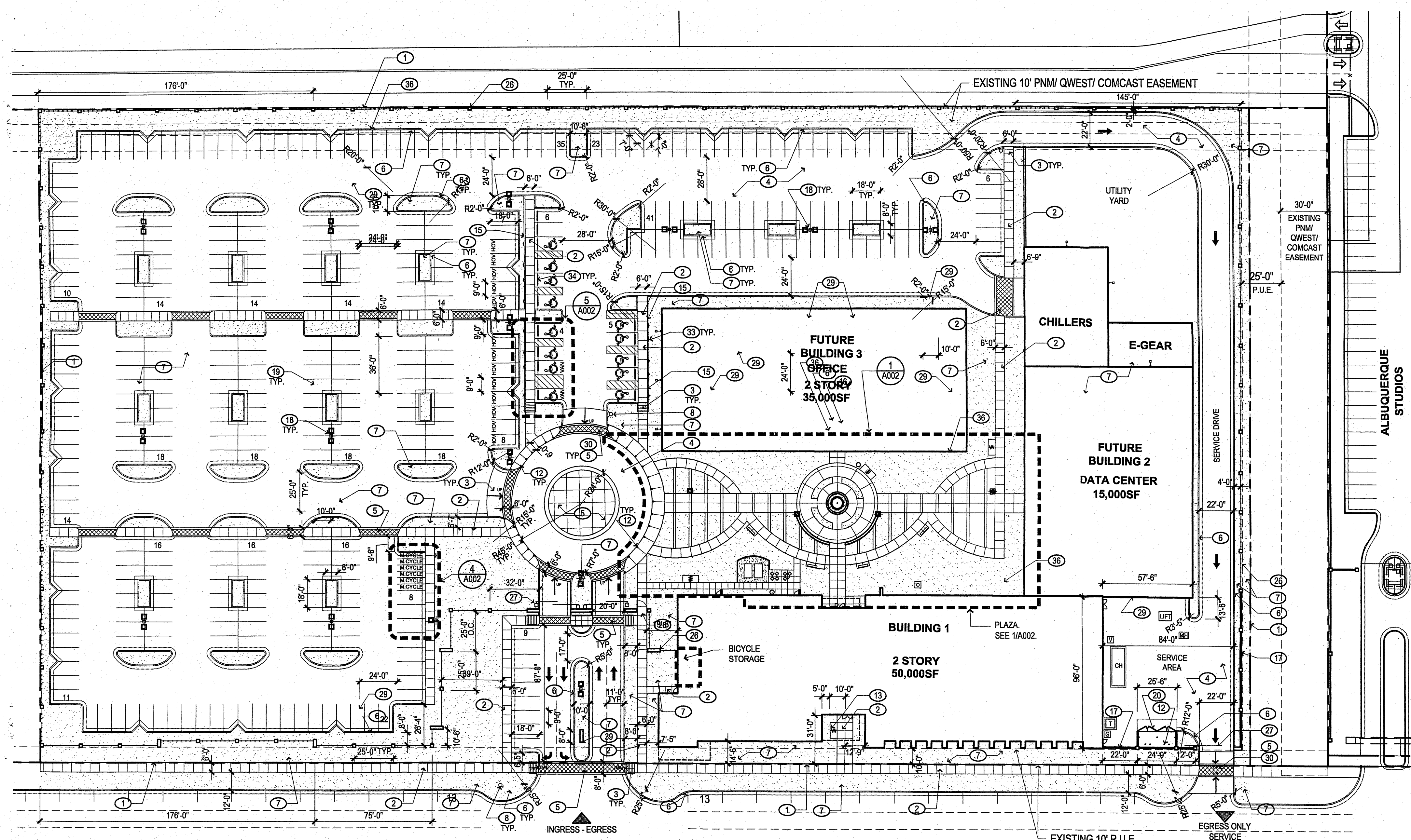
- PROPERTY LINE.
- CONCRETE WALK.
- ACCESSIBLE RAMP.
- ASPHALT PAVING.
- INTEGRAL COLOR CONCRETE. SEE SHEET L003.
- CONCRETE CURB AND GUTTER, SEE COA STD. DWG # 2415B.
- LANDSCAPE AREA, TYP. SEE L001.
- FIRE HYDRANT, SEE CIVIL.
- FIRE PIT, SEE 6/A002.
- SEATWALL.
- TRUCK LOADING AREA.
- CONCRETE BOLLARD, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- BIKE RACK, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- BENCH, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- 6" CONCRETE CURB.
- STABILIZED CRUSHER FINES.
- 6'-8" CMU WALL WITH STUCCO FINISH, SEE 1/A004.
- LIGHT POLE, SEE ELECTRICAL.
- TEMPORARY 6'-8" SECURITY FENCE WITH ALUMINUM POSTS.
- DUMPSTER ENCLOSURE, SEE 1 & 2/A003.
- PICNIC TABLE, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- NOT USED.
- NOT USED.
- MOTORCYCLE ONLY PARKING SIGN.
- 6'-8" SECURITY FENCE. SEE 3/A003.
- SECURITY GATE.
- SECURED PEDESTRIAN ACCESS POINT.
- TEMPORARY ASPHALT CURB. SEE COA STD. DWG # 2415B.
- PEDESTRIAN CROSSING.
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
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- ACCESSIBLE SIGN.
- CONCRETE BUMPER.
- TRASH RECEPTACLE, SEE SITE FURNISHINGS LEGEND, SHEET A001.
- STEEL EDGING.
- PING PONG TABLE, N.I.C.
- BUILDING MOUNTED LIGHT FIXTURE, SEE ELECTRICAL.
- MONUMENT SIGN, SEE 1/A001.
- MANHOLE. SEE ELECTRICAL DWGS.

LEGEND

- PROPERTY LINE
- UTILITY EASEMENT
- ↑ TRAFFIC ARROW, PAINT WHITE
- ☼ LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- ⊙ FIRE HYDRANT
- BUILDING MOUNTED LIGHT FIXTURE
- ▨ LANDSCAPE AREA
- ▨ STABILIZED CRUSHER FINES PATH
- ⊞ HOV CARPOOL/VANPOOL PARKING
- ⊞ VAULT
- ⊞ MAN HOLE
- CH CHILLER
- T TRANSFORMER
- G GAS METER

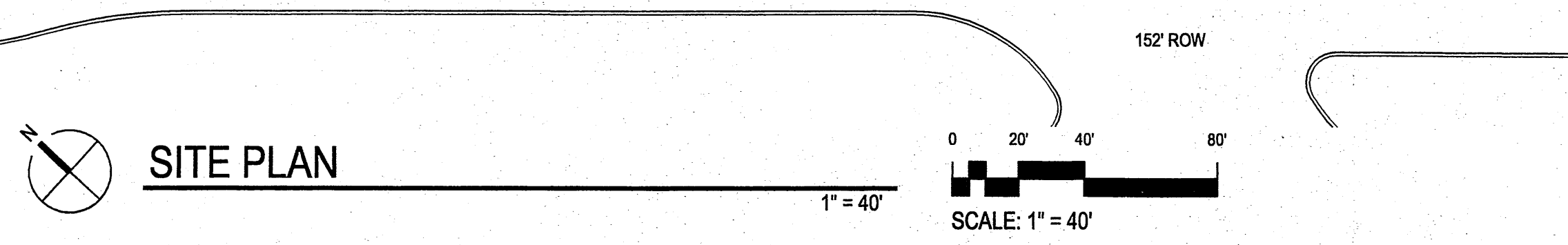
SITE FURNISHINGS LEGEND

- BENCH, QUANTITY: 4
Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench.
Surface Mount. Powercoat Finish, Color: Titanium.
- BIKE RACK, QUANTITY: 2
Manufacturer: Dobra Design. Model: Boa - 6
Surface Mount. Powercoat Finish, Color: Steel.
- TRASH RECEPTACLE, QUANTITY: 1
Manufacturer: Landscape Forms. Model: Chase Park, Side Opening (36 gal.)
Surface Mount. Powercoat Finish, Color: Titanium.
- CONCRETE BOLLARD, QUANTITY: 36
Manufacturer: Wausau Tile. Model: TF6086 Round Bollard
Color: B2 French Gray.
- ⊞ PICNIC TABLE, QUANTITY: 2
Manufacturer: Landscape Forms. Model: Carousel - Backed, Perforated, (1) 3-seats, (1) 4-seats
Surface Mount. Powercoat Finish, Color: Titanium.
- PING PONG TABLE, QUANTITY: 2 (N.I.C.)

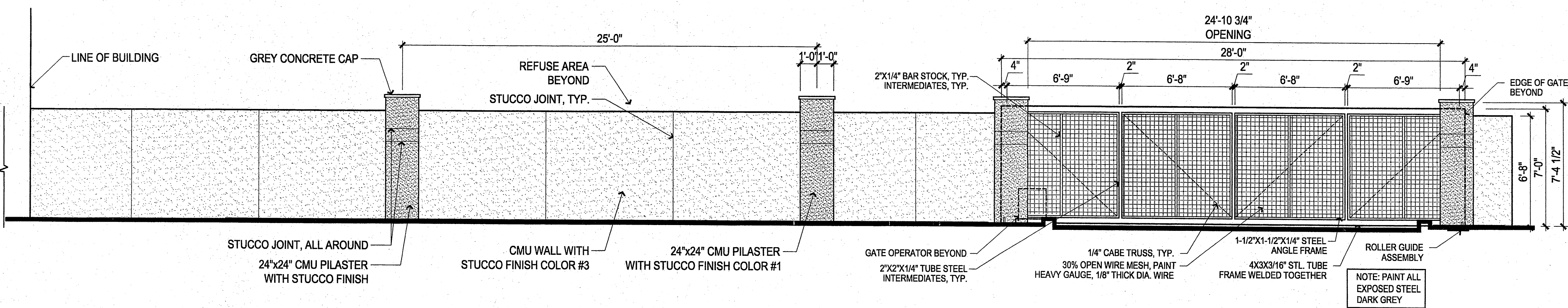


LANDSCAPE CALCULATIONS - PHASE 1

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES
TOTAL GROSS BUILDING AREA: 50,000 SF
NET LOT AREA: 273,946 SF / 6.28 ACRES
REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 41,092 SF / 0.94 ACRES
PROVIDED LANDSCAPE AREA: (62.6% OF NET LOT AREA) 171,609 SF / 3.94 ACRES
TOTAL ALLOWED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 34,322 SF
TOTAL PROVIDED TURF GRASS: (1.2% OF OVERALL LANDSCAPE AREA): 2,058 SF



SITE PLAN



**1 SITE WALL ELEVATION
AT SERVICE AREA**

1/4" = 1'-0"

ARCHITECT

**ARC
SUBMITTAL**

ENGINEER

PROJECT

SONY IMAGEWORKS
@ Mesa del Sol
Albuquerque, NM



REVISIONS

- 01.28.08 - ARC Preliminary Review
- 02.14.08 - ARC Secondary Review

DRAWN BY CM / SY

REVIEWED BY MB / CG

DATE 02/15/08

PROJECT NO. 07-0116

DRAWING NAME

LANDSCAPE PLAN

SHEET NO.

L001
OF

KEYED NOTES (X)

- PROPERTY LINE
- CONCRETE WALK
- ASPHALT PAVING
- INTEGRAL COLOR CONCRETE. SEE SHEET L003
- STEEL EDGING
- FIRE PIT, SEE 6/A002
- 6" CONCRETE CURB
- SEATWALL
- TRUCK LOADING AREA
- CONCRETE BOLLARD
- BIKE RACK, SEE SITE FURNISHINGS LEGEND
- BENCH
- 6" CMU WALL WITH STUCCO FINISH
- LIGHT POLE - SEE LEGEND
- SECURITY GATE
- DUMPSTER ENCLOSURE, SEE 1 & 2 A003
- 6" SECURITY FENCE. SEE 3/A003
- TRASH RECEPTACLE
- WATER HARVESTING AREA
- PING PONG TABLE, N.I.C.
- PICNIC TABLE
- CLEAR SIGHT TRIANGLE
- 6" CONCRETE CURB

PLANTING LEGEND - MDS STREETScape

TREES	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		18	3" Cal. or 40" Box	CHINESE PISTACHE	<i>Platanus chinensis</i>	35.00	50.00	Low Water Use
		245	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
		21	1 Gal.	NASHVILLE MURLEY	<i>Muhlenbergia rigida 'Nashville'</i>	2.00	3.00	Medium Water Use
		33	5 Gal.	TRAILING INDIGO BUSH	<i>Dalea greggii</i>	1.50	8.00	Drought Tolerant
		50	1 Gal.	PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	3.00	1.50	Moist At All Times
		3	5 Gal.	TURPENTINE BUSH	<i>Ericameria latifolia</i>	3.00	4.00	Drought Tolerant
		89	5 Gal.	GREEN CLOUD RANGER	<i>Leucophyllum frutescens 'Green Cloud'</i>	5.00	5.00	Drought Tolerant
		44	1 Gal.	SCARLET BUGLER PENSTEMON	<i>Penstemon barbatus</i>	5.00	3.00	Low Water Use
		41	3 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use

SUCCULENT	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		34	3 Gal.	MESCAL AGAVE	<i>Agave neomexicana</i>	2.00	2.00	Drought Tolerant

SEED / SOD / MULCH	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Notes
		8,302 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Latarga Materials. For use in designated landscape areas with weed barrier fabric.

PLANTING LEGEND

TREES	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		22	2" Cal. or 24" Box	DESERT WILLOW	<i>Chilopsis linearis</i>	20.00	25.00	Low Water Use
		3	6" Tall min.	ARIZONA CYPRESS	<i>Cupressus arizonica</i>	50.00	35.00	Drought Resistant
		10	2" Cal. or 24" Box	DESERT OLIVE (Multi-Trunk)	<i>Forsythia noveboracensis</i>	12.00	12.00	Medium Water Use
		50	2.5" Cal. or 40" Box	RAYWOOD ASH	<i>Fraxinus cayapica 'Raywood'</i>	35.00	30.00	Medium Water Use
		3	2.5" Cal. or 40" Box	VALLEY COTTONWOOD	<i>Populus wislizenii</i>	35.00	45.00	Heavy Water Use
		10	2.5" Cal. or 40" Box	IDAHO LOCUST	<i>Robinia ambigua 'Idahoensis'</i>	35.00	30.00	Low Water Use
		6	2" Cal. or 24" Box	CHASTE TREE	<i>Vitex agnus-castus</i>	25.00	20.00	Medium Water Use

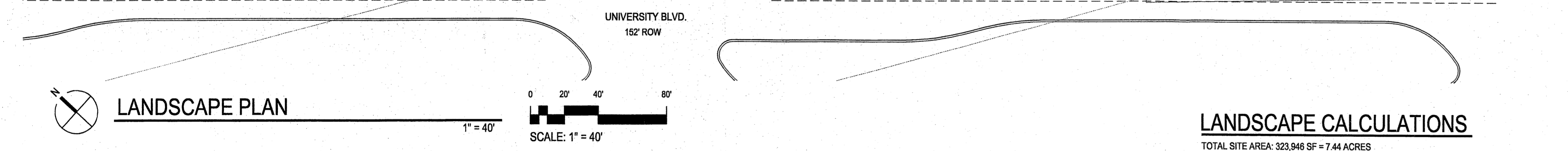
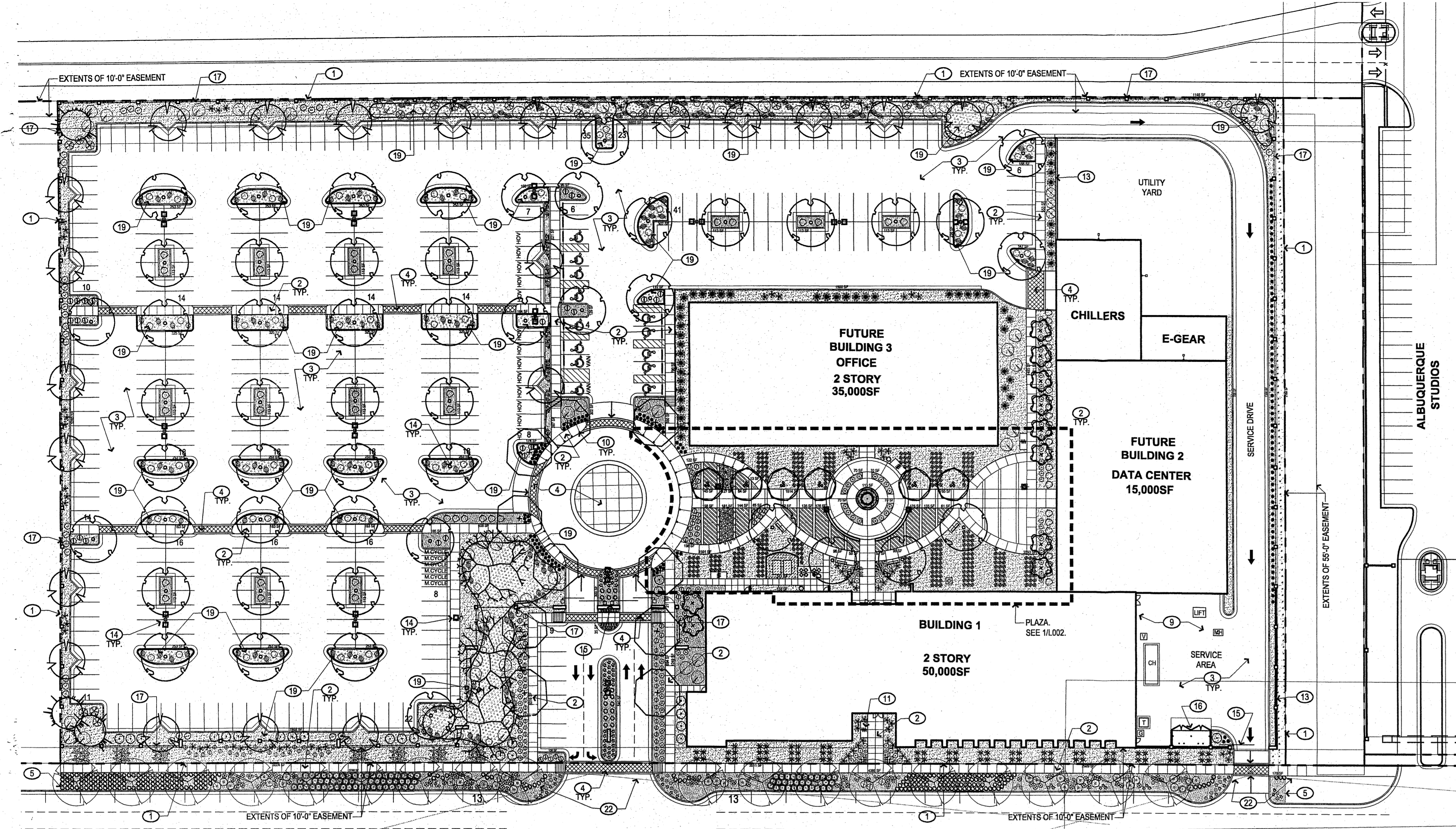
GRASS	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		300	1 Gal.	KARL FORESTER REED GRASS	<i>Calamagrostis x acutifolia 'Karl Forester'</i>	5.00	2.00	Drought Tolerant
		68	1 Gal.	BLUE FESCUE	<i>Festuca ovina glauca</i>	1.00	1.00	Medium Water Use
		18	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
		192	5 Gal.	EL TORO MURLEY	<i>Muhlenbergia emersleyi 'El Toro'</i>	3.00	3.00	Low Water Use
		166	1 Gal.	THREADGRASS	<i>Nassella tenuissima</i>	2.00	2.00	< None >
		73	1 Gal.	DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i>	3.00	3.00	Medium Water Use

GROUND COVER	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		64	1 Gal.	WINECUPS	<i>Callifloe involucreata</i>	1.00	2.50	Drought Tolerant
		66	1 Gal.	GAURA	<i>Gaura lindheimeri</i>	3.00	4.00	Medium Water Use
		10	1 Gal.	DESERT FOUR O'CLOCK	<i>Mirabilis multiflora</i>	1.50	4.00	Low Water Use
		24	1 Gal.	SANDPAPER VERBENA	<i>Verbena rigida</i>	1.50	3.50	Drought Tolerant

SHRUB	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		20	5 Gal.	FOURWING SALTBUCH	<i>Atriplex canescens</i>	6.00	6.00	Drought Resistant
		22	5 Gal.	THOMPSON BROOM	<i>Baccharis x Stans</i>	2.00	6.00	Low Water Use
		38	5 Gal.	BLACK DALEA	<i>Dalea frutescens 'Sierra Nigra'</i>	3.00	4.00	Drought Tolerant
		3	3 Gal.	APACHE PLUME	<i>Falugia paradoxa</i>	5.00	6.00	Drought Tolerant
		32	5 Gal.	ENCHANTRESS HAWTHORNE	<i>Raphanopis indica 'Enchantress'</i>	3.00	3.00	Medium Water Use
		64	5 Gal.	THREELAF SUMAC	<i>Rhus trilobata</i>	6.00	8.00	Drought Tolerant
		64	5 Gal.	UPRIGHT ROSEMARY	<i>Rosmarinus officinalis 'Cottingham Ingram'</i>	2.50	4.00	Medium Water Use
		41	3 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use
		49	3 Gal.	PINK AUTUMN SAGE	<i>Salvia greggii</i>	2.50	3.00	Medium Water Use

SUCCULENT	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		46	3 Gal.	MESCAL AGAVE	<i>Agave neomexicana</i>	2.00	2.00	Drought Tolerant
		45	5 Gal.	BLUE SOTOL	<i>Dasylirion wheeleri</i>	5.00	6.00	Drought Tolerant
		67	5 Gal.	RED HESPERALOE	<i>Hesperaloe parviflora</i>	4.00	4.00	Drought Tolerant
		51	5 Gal.	BEARGRASS	<i>Nolina texana</i>	4.00	5.00	Drought Tolerant
		77	5 Gal.	BANANA YUCCA	<i>Yucca baccata</i>	3.00	4.00	Low Water Use

SEED / SOD / MULCH	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Notes
		1,831 SF		SOD	Fescue spp.
		2,189 SF		NATIVE SEEDING	East Side Mix Curtis & Curtis
		39,694 SF		ROCK MULCH	Rock Mulch, 3" min. Depth, Color: Santa Fe Brown. For use in designated landscape areas.
		7,764 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch 3" min. Depth, Color: Santa Fe Brown. For use in designated landscape areas.
		14,800 SF		COBBLE	2"-4" Cobble Rock Mulch 3" min. Depth, Color: Santa Ana Tan. For soil stabilization in water harvesting areas.



PLANTING NOTES

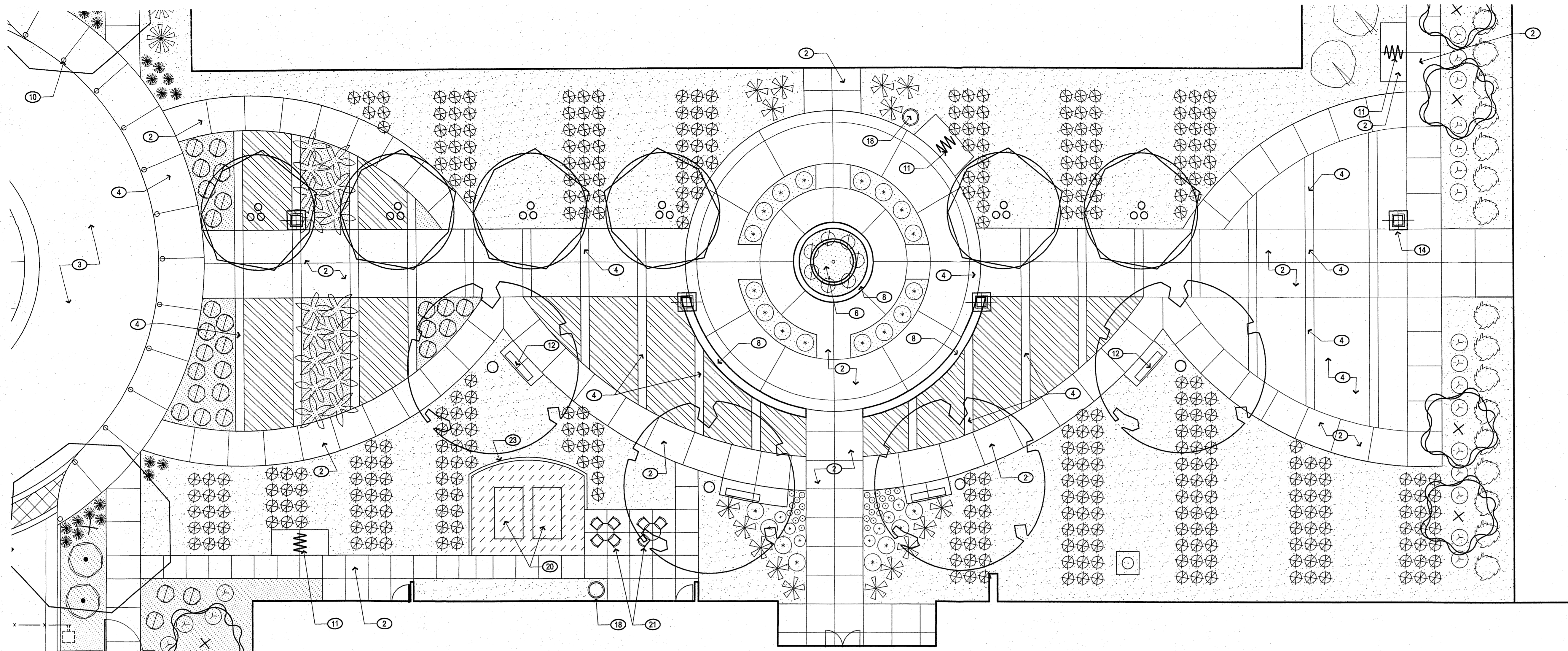
- LANDSCAPE DESCRIPTION: THE LANDSCAPE DESIGN UTILIZES NATIVE PLANTS AND OTHER LOW-WATER-USE PLANTS THAT WILL REINFORCE THE SPECIAL LOCATION OF THE PROJECT - ON A HIGH DESERT GRASSLAND MESA. THE SELECTED SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT, FOLLOW THE MESA DEL SOL DESIGN GUIDELINES, AND ESTABLISH AREAS OF WILDLIFE HABITAT.
- EXISTING PLANT MATERIAL: THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE OWNER IS RESPONSIBLE FOR MAINTAINING APPROPRIATE BRANCH CLEARANCES OVER WALKS AND STREETS WHERE MULTI-TRUNK TREES ARE USED.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- WATER USE DESCRIPTION: PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES. A MINIMAL AMOUNT OF TURF IS USED IN THIS DESIGN.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- SOIL AMENDMENTS SHALL BE ADDED AT INSTALLATION AND AGAIN DURING THE WARRANTY PERIOD.
- LANDSCAPE AREAS SHALL BE COVERED WITH 3" DEPTH MULCH, SEE PLAN FOR MATERIAL.
- TREE AND SHRUB PITS ARE TO BE 3 TO 5 TIMES THE ROOT BALL OR CONTAINER DIAMETER.
- SOIL PREPARATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- NATIVE SOILS SHALL BE USED FOR LANDSCAPE INSTALLATION. IMPORT OF PLANTING MIX OR HIGH QUALITY TOPSOIL IS NOT REQUIRED UNLESS THE SOILS HAVE BEEN CONTAMINATED IN THE CONSTRUCTION PROCESS.
- PASSIVE WATER HARVESTING: PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE.
- THIS LANDSCAPE PLAN IS COMPLIANT WITH THE REQUIREMENTS SET FORTH BY THE MESA DEL SOL DESIGN GUIDELINES BOOK.
- STREETSCAPE PLANTING WAS DESIGNED BY EDAAW AND IS SHOWN WITH A SEPARATE PLANTING LEGEND TO CLARIFY THAT THIS AREA WAS DESIGNED BY THEM.

IRRIGATION NOTES

- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE NON-POTABLE WATER. IRRIGATION SHALL BE PROVIDED TO ALL CONTAINER PLANTS, AND POTENTIALLY TO SEEDED AREAS.
- IRRIGATION: WE ARE NOT SHOWING AN IRRIGATION PLAN FOR THE FOLLOWING REASONS:
 - AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL SUPPLY THE IRRIGATION PLAN.
 - THE CITY OF ALBUQUERQUE DOES NOT REQUIRE AN IRRIGATION PLAN AT THIS LEVEL OF DOCUMENTATION.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL OTHER THAN SEEDED AREAS.

LANDSCAPE CALCULATIONS

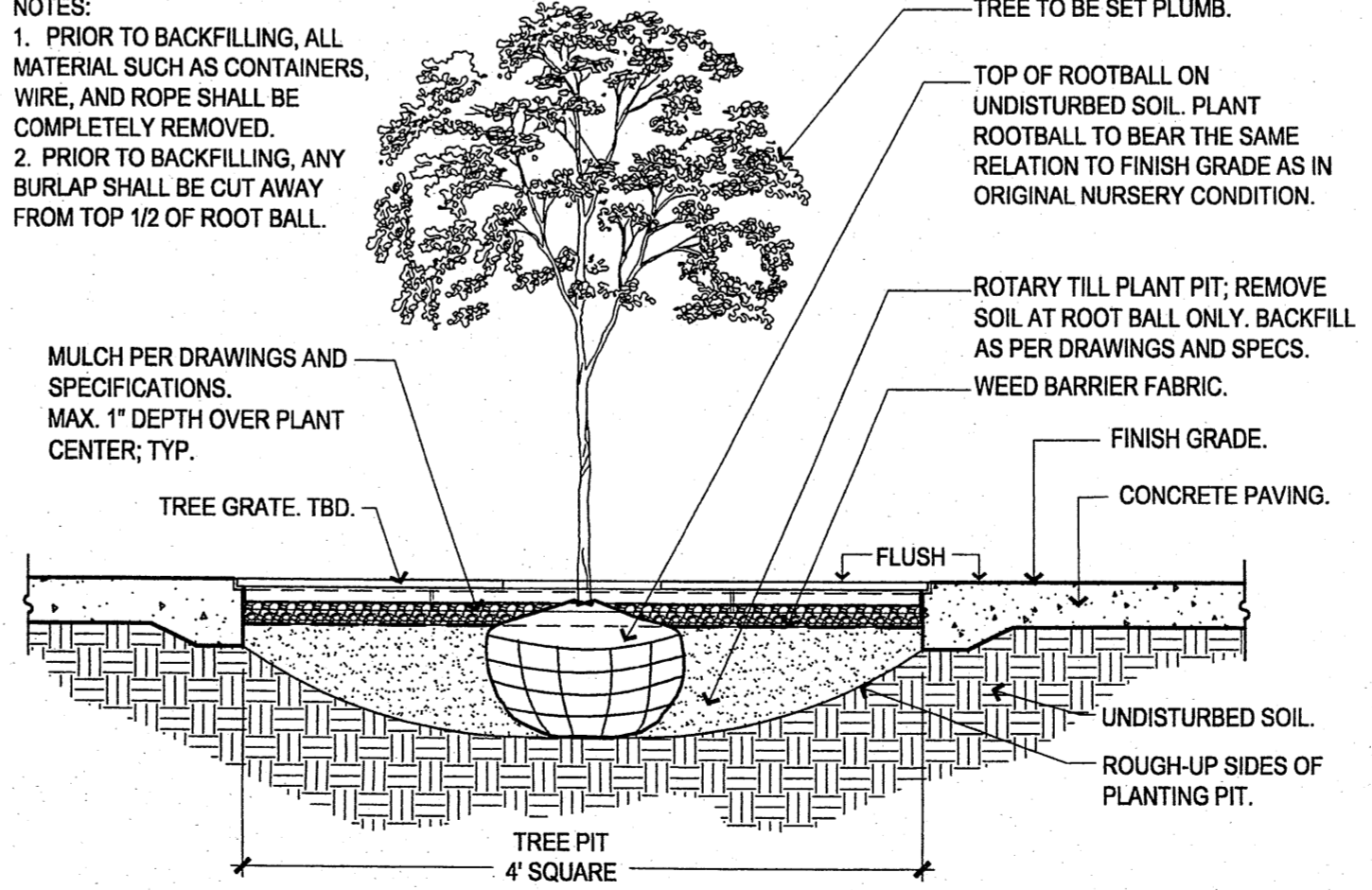
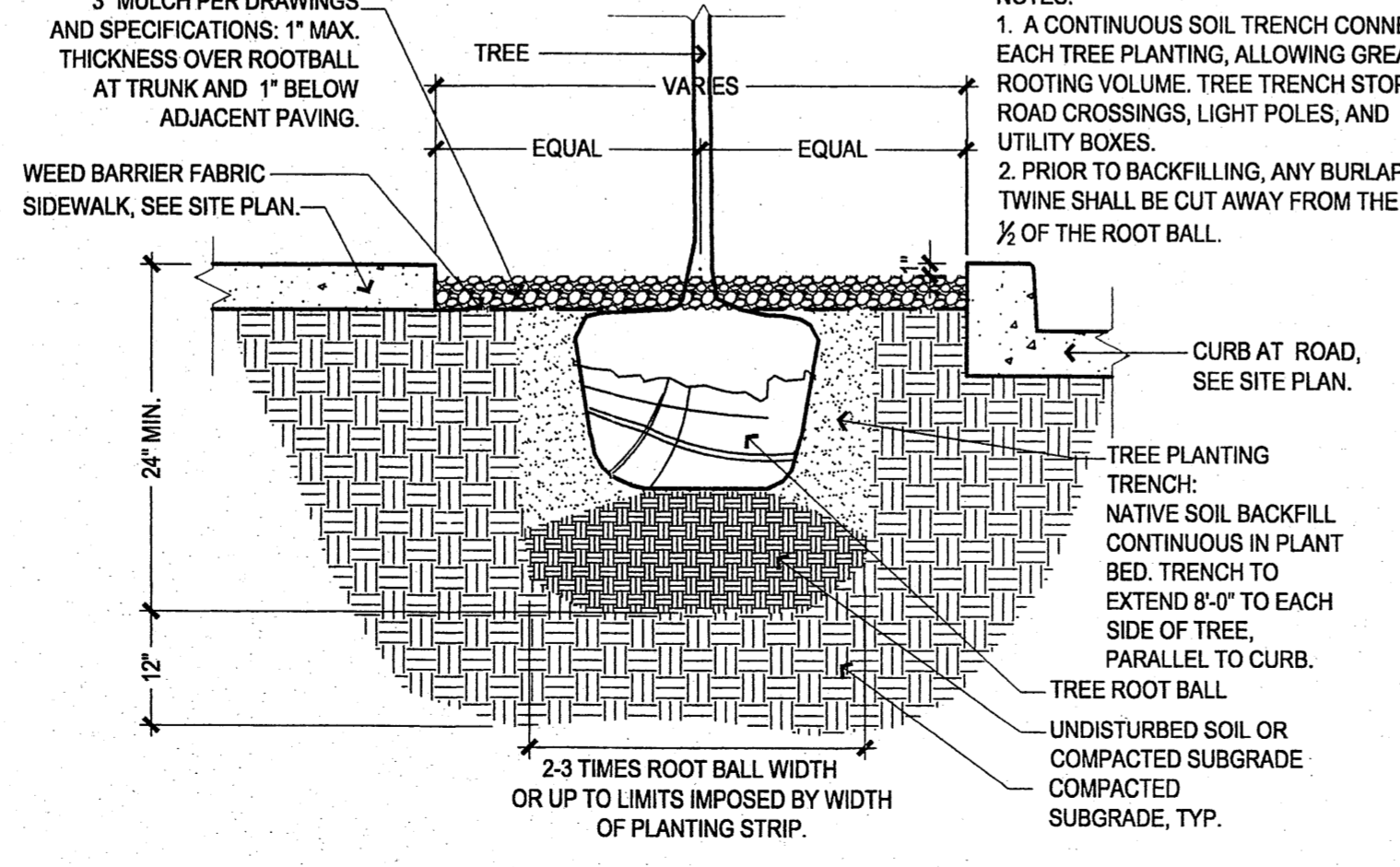
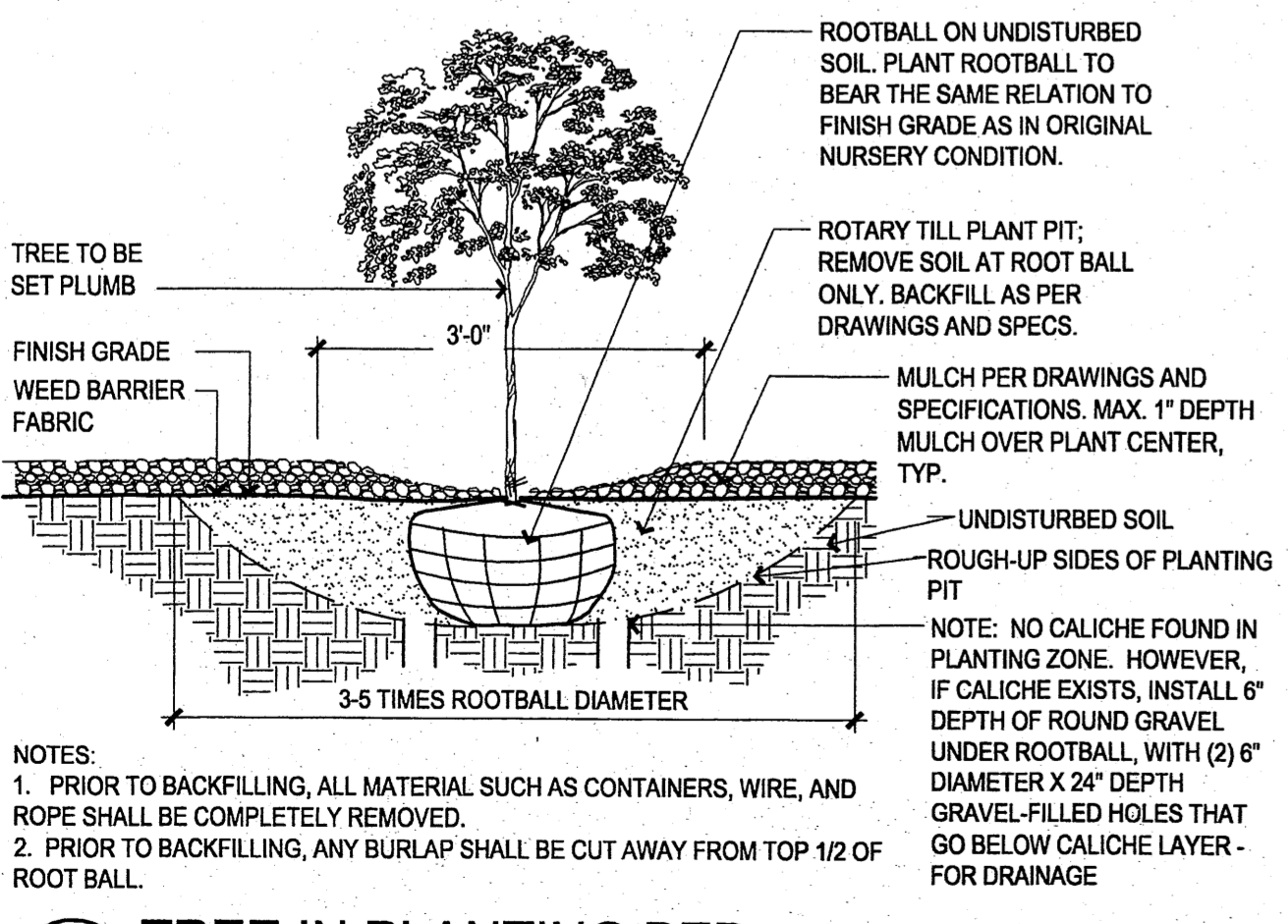
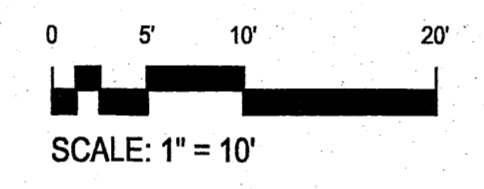
TOTAL SITE AREA: 323,946 SF = 7.44 ACRES
 TOTAL GROSS BUILDING AREA: 100,000 SF
 TOTAL UTILITY YARD AREA: 14,388 SF
 NET LOT AREA: 209,558 SF / 4.81 ACRES
 REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 31,434 SF / 0.72 ACRES
 PROVIDED LANDSCAPE AREA: (32% OF NET LOT AREA) 66,525 SF / 1.5 ACRES
 TOTAL ALLOWED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 13,305 SF / .3 ACRES
 TOTAL PROVIDED TURF GRASS: (2.5% OF OVERALL LANDSCAPE AREA): 1,631 SF / .04 ACRES



KEYED NOTES (X)

1. PROPERTY LINE
2. CONCRETE WALK
3. ASPHALT PAVING
4. INTEGRAL COLOR CONCRETE. SEE SHEET L003
5. STEEL EDGING
6. FIRE PIT. SEE 8/A002
7. 6" CONCRETE CURB
8. SEATWALL
9. TRUCK LOADING AREA
10. CONCRETE BOLLARD
11. BIKE RACK, SEE SITE FURNISHINGS LEGEND
12. BENCH
13. 6"-8" CMU WALL WITH STUCCO FINISH
14. LIGHT POLE, SEE LEGEND
15. SECURITY GATE
16. DUMPSTER ENCLOSURE, SEE 1 & 2 A003
17. 6"-8" SECURITY FENCE, SEE 3/A003
18. TRASH RECEPTACLE
19. WATER HARVESTING AREA
20. PING PONG TABLE, N.I.C.
21. PICNIC TABLE
22. CLEAR SIGHT TRIANGLE
23. 6" CONCRETE CURB

1 COURTYARD LANDSCAPE PLAN
1" = 10'



ARCHITECT

**ARC
SUBMITTAL**

ENGINEER

PROJECT

SONY IMAGEWORKS
@ Mesa del Sol
Albuquerque, NM



REVISIONS

△	01.28.08 - ARC Preliminary Review
△	02.14.08 - ARC Secondary Review
△	
△	

DRAWN BY	CM / SY
REVIEWED BY	MB / CG
DATE	02/15/08
PROJECT NO.	07-0116
DRAWING NAME	

**COURTYARD
LANDSCAPE PLAN &
TREE DETAILS**

SHEET NO.



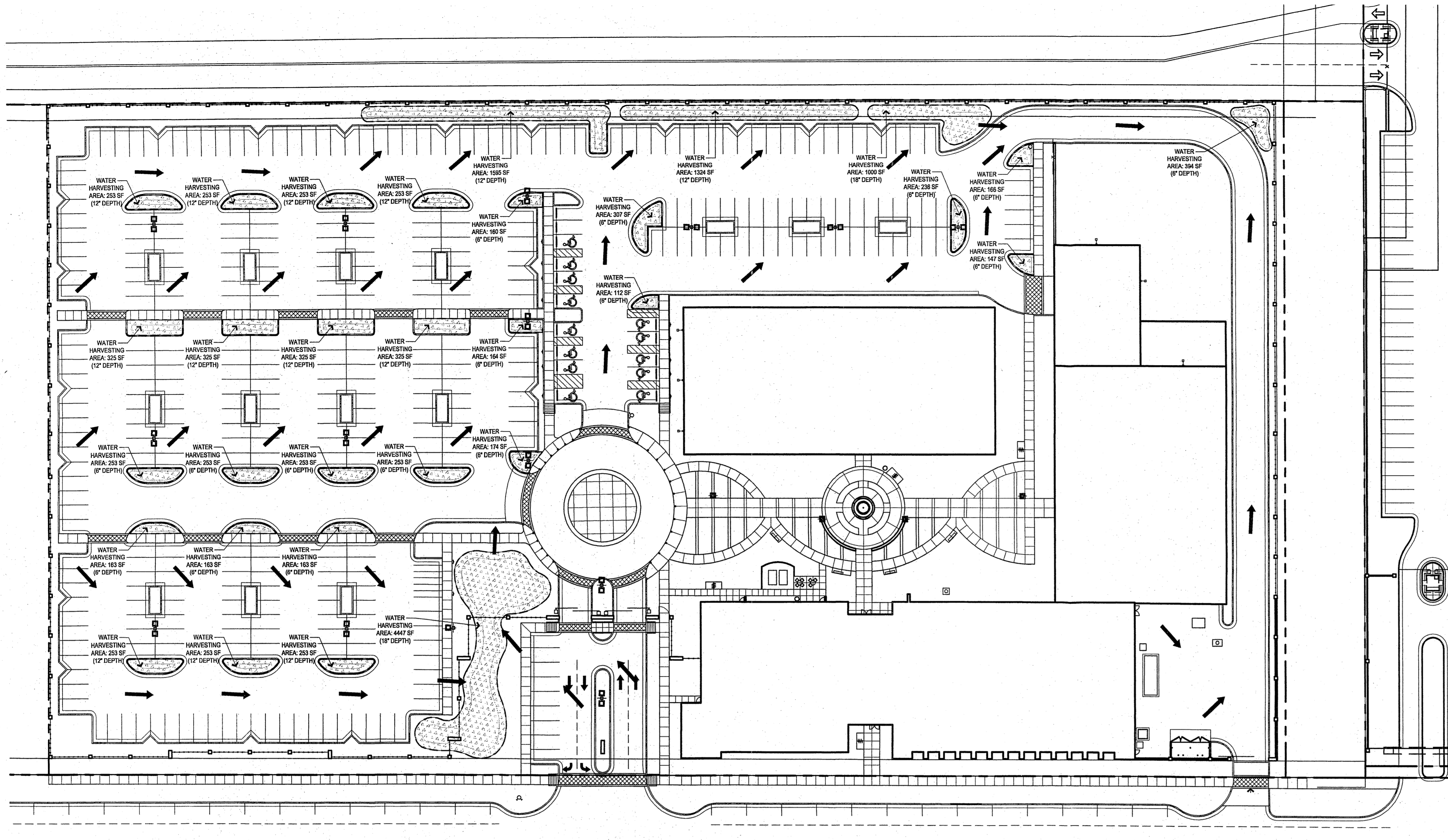
- △ 01.28.08 - ARC Preliminary Review
- △ 02.14.08 - ARC Secondary Review

DRAWN BY CM / SY
REVIEWED BY MB / CG
DATE 02/15/08
PROJECT NO. 07-0116
DRAWING NAME

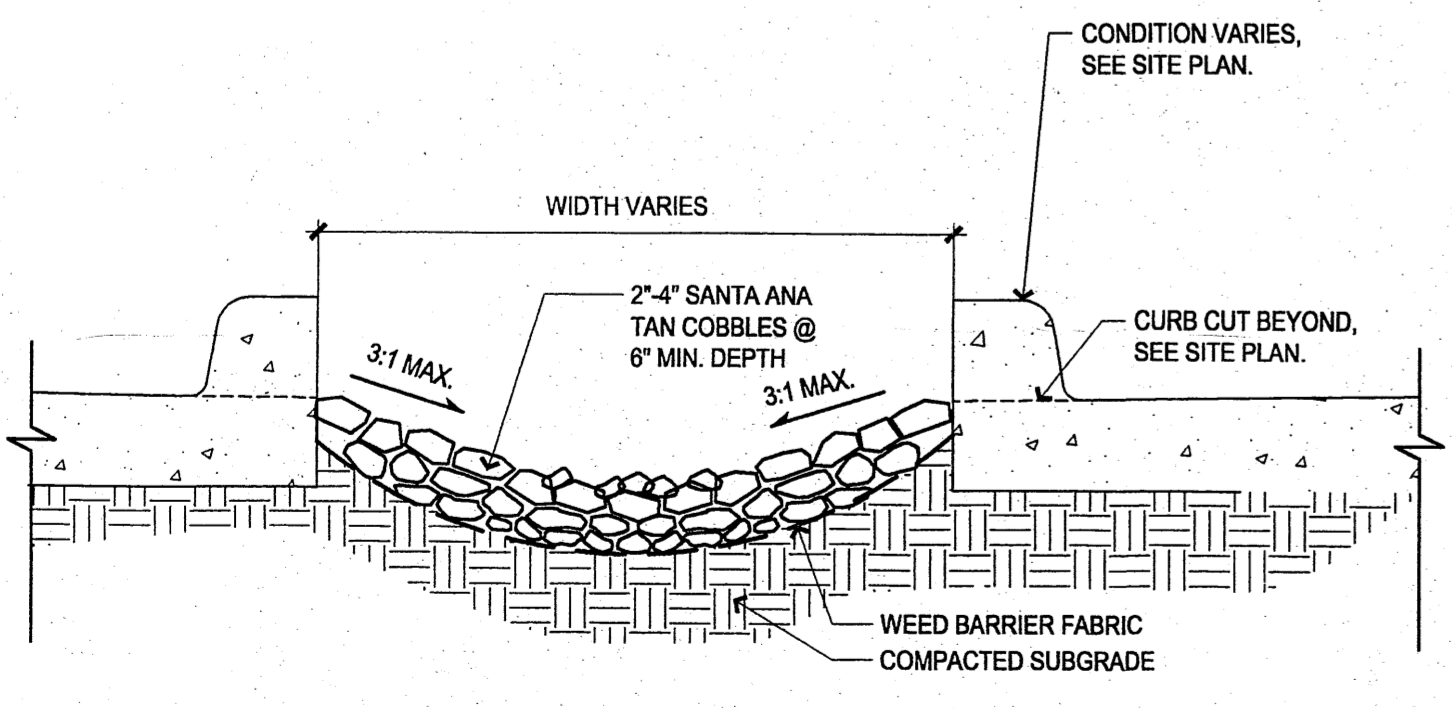
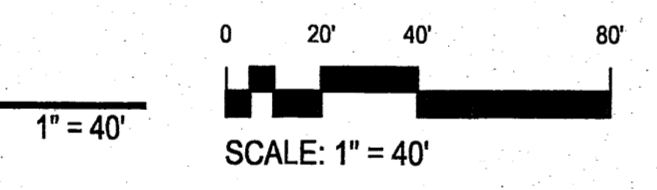
**WATER HARVESTING
PLAN**

WATER HARVESTING NOTES

1. WATER HARVESTING SWALES AS SHOWN ON THE PLAN WILL HELP CAPTURE THE SURFACE RUNOFF WATER FROM THE SITE, AND WILL PROVIDE SUPPLEMENTAL WATER FOR PLANTS WITHIN THE WATER HARVESTING ZONES.
2. THESE WATER HARVESTING AREAS ARE SHOWN AS THE HATCHED AREAS NOTED ON THE PLAN. SQUARE FOOTAGE OF TOP RIM OF EACH WATER HARVESTING AREA IS LISTED, AS WELL AS THE DEPTH OF EACH AREA.
3. THIS SITE PLAN WILL UTILIZE CURB CUTS IN NECESSARY LOCATIONS ACROSS THE SITE TO ALLOW THE WATER TO ENTER WATER HARVESTING AREAS AT THE LOCATION CLOSEST TO WHERE THE WATER FALLS.



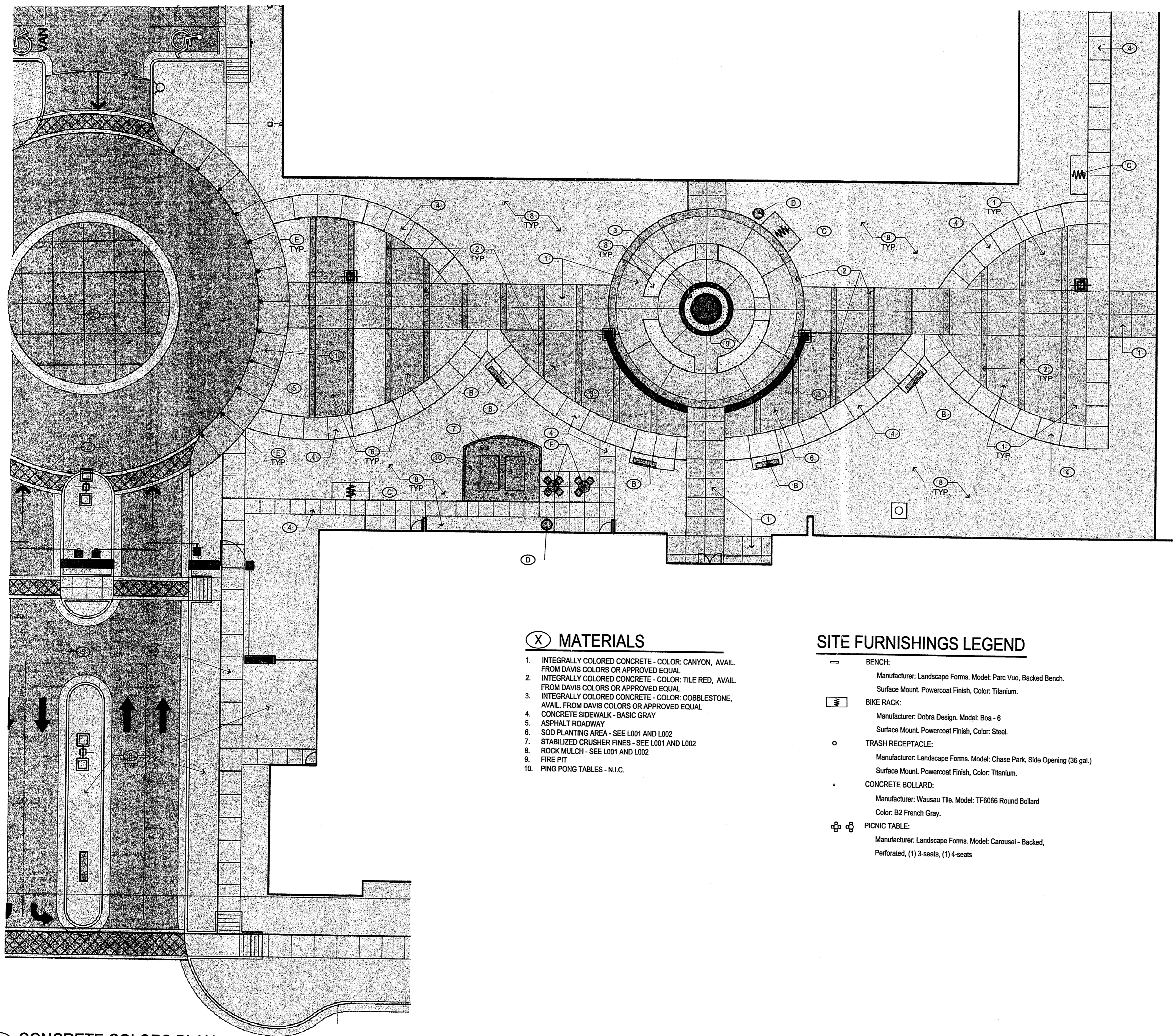
WATER HARVESTING PLAN



**A1 WATER HARVESTING SWALE
AREAS C-S**

1" = 1'-0"

Sony Imageworks Water Harvesting Calcs						
Site Acreage				7.44		
Site Area (square feet)				324,086.40		
1/2" Rainfall				13,503.60 cubic feet		
Site Features				Area (SF)	Run-off Co-efficient	Impervious Area (SF)
Building Footprint (SF)				100,000.00	0.95	95,000.00
Landscaped Area (SF)				66,525.00	0.2	13,305.00
Asphalt (SF)				157,561.40	0.95	149,683.33
Subtotal						257,988.33
Percentage Impervious Surfaces (Site Area - Bldg. Footprint - Landscape Area)						0.80
Water Harvesting Calculations:						
Total Impervious Area:						257,988.33
Cubic Volume of 1/2" rainfall event:						10,749.51 cubic feet
Average depth in inches required to harvest:						1.94 inches
Water Harvesting Areas	Slope of Pond Area	Top Rim SF	Bottom Rim SF	Average SF	Depth (feet)	Volume Harvested
	3 to 1	4447	2742	3594.5	1.50	5,391.75
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	163	72	117.5	0.50	58.75
	3 to 1	163	72	117.5	0.50	58.75
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	253	56	154.5	1.00	154.50
	3 to 1	174	100	137	0.50	68.50
	3 to 1	164	87	125.5	0.50	62.75
	3 to 1	325	97	211	1.00	211.00
	3 to 1	325	97	211	1.00	211.00
	3 to 1	325	97	211	1.00	211.00
	3 to 1	325	97	211	1.00	211.00
	3 to 1	253	145	199	0.50	99.50
	3 to 1	253	145	199	0.50	99.50
	3 to 1	253	145	199	0.50	99.50
	3 to 1	253	145	199	0.50	99.50
	3 to 1	160	86	123	0.50	61.50
	3 to 1	1595	544	1069.5	1.00	1,069.50
	3 to 1	1324	427	875.5	1.00	875.50
	3 to 1	1000	231	615.5	1.50	923.25
	3 to 1	307	187	247	0.50	123.50
	3 to 1	112	53	82.5	0.50	41.25
	3 to 1	236	134	185	0.50	92.50
	3 to 1	166	96	131	0.50	65.50
	3 to 1	147	80	113.5	0.50	56.75
	3 to 1	394	270	332	0.50	166.00
		14798				11,498.00 cubic feet



(X) MATERIALS

1. INTEGRALLY COLORED CONCRETE - COLOR: CANYON, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL
2. INTEGRALLY COLORED CONCRETE - COLOR: TILE RED, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL
3. INTEGRALLY COLORED CONCRETE - COLOR: COBBLESTONE, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL
4. CONCRETE SIDEWALK - BASIC GRAY
5. ASPHALT ROADWAY
6. SOD PLANTING AREA - SEE L001 AND L002
7. STABILIZED CRUSHER FINES - SEE L001 AND L002
8. ROCK MULCH - SEE L001 AND L002
9. FIRE PIT
10. PING PONG TABLES - N.I.C.

SITE FURNISHINGS LEGEND

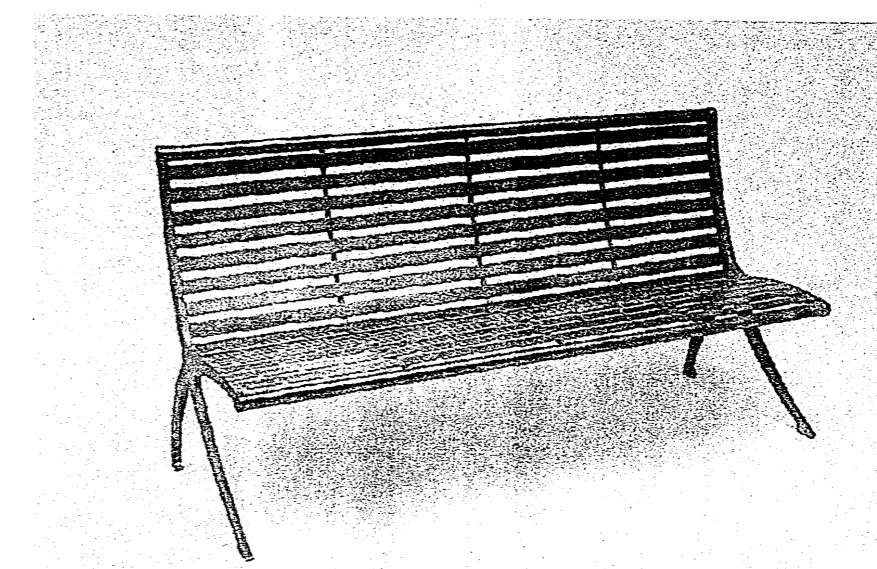
- BENCH:
Manufacturer: Landscape Forms. Model: Parc Vue, Backed Bench.
Surface Mount. Powercoat Finish, Color: Titanium.
- BIKE RACK:
Manufacturer: Dobra Design. Model: Boa - 6
Surface Mount. Powercoat Finish, Color: Steel.
- TRASH RECEPTACLE:
Manufacturer: Landscape Forms. Model: Chase Park, Side Opening (36 gal.)
Surface Mount. Powercoat Finish, Color: Titanium.
- CONCRETE BOLLARD:
Manufacturer: Wausau Tile. Model: TF6066 Round Bollard
Color: B2 French Gray.
- PICNIC TABLE:
Manufacturer: Landscape Forms. Model: Carousel - Backed, Perforated, (1) 3-seats, (1) 4-seats

A CONCRETE COLORS PLAN

N.T.S.

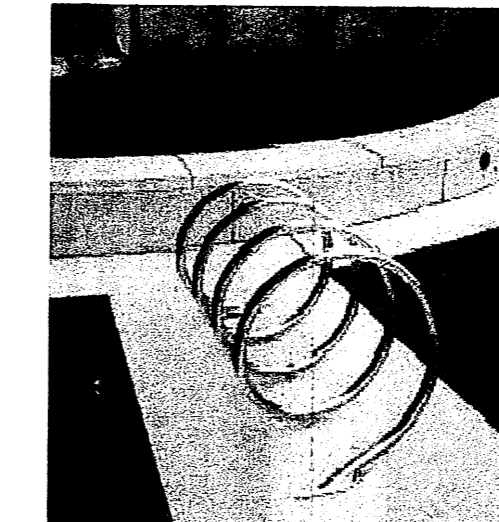
B PARC VUE BENCH

N.T.S.



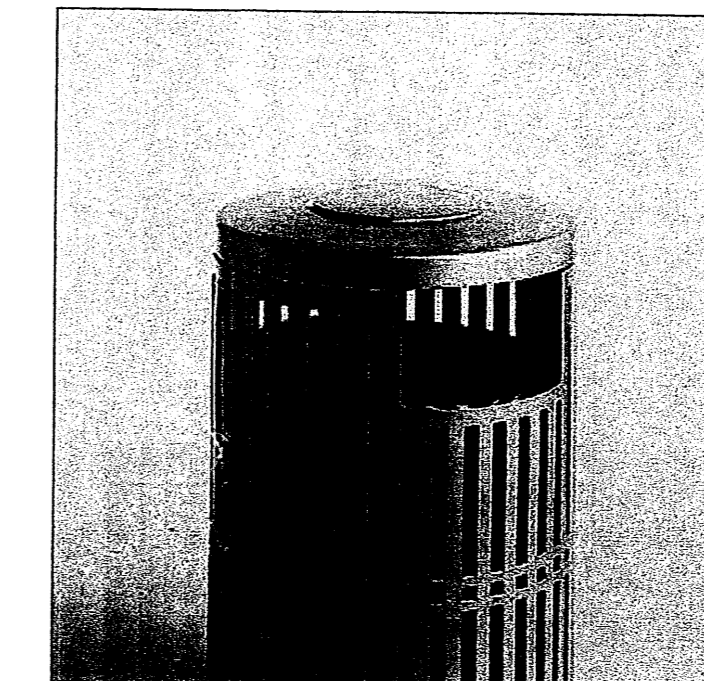
C BIKE RACK

N.T.S.



D CHASE PARK TRASH RECEPTACLE

N.T.S.



E ROUND CONCRETE BOLLARD

N.T.S.



F CAROUSEL PICNIC TABLE

N.T.S.



REVISIONS

1	01.28.08 - ARC Preliminary Review
2	02.14.08 - ARC Secondary Review

DRAWN BY	CM / SY
REVIEWED BY	MB / CG
DATE	02/15/08
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SITE FURNISHINGS
& FINISHES

ARCHITECT

ARC
SUBMITTAL

ENGINEER

PROJECT

SONY IMAGEWORKS
@ Mesa del Sol
Albuquerque, NM



REVISIONS

- 01-28-08 - ARC Preliminary Review
- 02-14-08 - ARC Secondary Review

DRAWN BY CM / SY

REVIEWED BY MB / CG

DATE 02/15/08

PROJECT NO. 07-0116

DRAWING NAME

PHASE I
LANDSCAPE PLAN

SHEET NO.

L005
OF

KEYED NOTES (X)

1. PROPERTY LINE
2. CONCRETE WALK
3. ASPHALT PAVING
4. INTEGRAL COLOR CONCRETE. SEE SHEET L003
5. STEEL EDGING
6. FIRE PIT. SEE 8/A002
7. 6" CONCRETE CURB
8. SEATWALL
9. TRUCK LOADING AREA
10. CONCRETE BOLLARD
11. BIKE RACK. SEE SITE FURNISHINGS LEGEND
12. BENCH
13. 8'-8" CMU WALL WITH STUCCO FINISH
14. LIGHT POLE. SEE LEGEND
15. SECURITY GATE
16. DUMPSTER ENCLOSURE. SEE 1 & 2 A003
17. 6'-8" SECURITY FENCE. SEE 3/A003
18. TRASH RECEPTACLE
19. WATER HARVESTING AREA
20. PING PONG TABLE, N.I.C.
21. PICNIC TABLE
22. CLEAR SIGHT TRIANGLE
23. 6" CONCRETE CURB

PLANTING LEGEND - MDS STREETScape - PHASE I

TREES	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	13	3" Cal. or 40" Box	CHINESE PISTACHE	<i>Platanus chinensis</i>	35.00	30.00	Low Water Use

SHRUB	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	116	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
	(Symbol)	12	1 Gal.	NASHVILLE MIMBLEY	<i>Muhlenbergia rigida 'Nashville'</i>	2.00	3.00	Medium Water Use

SHRUB	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	23	5 Gal.	TRAILING INDIGO BUSH	<i>Dalea greggii</i>	1.50	8.00	Drought Tolerant
	(Symbol)	41	1 Gal.	PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	3.00	1.50	Moist All All Times
	(Symbol)	3	5 Gal.	TURPENTINE BUSH	<i>Eriocaulon latifolium</i>	3.00	4.00	Drought Tolerant
	(Symbol)	61	5 Gal.	GREEN CLOUD RANGER	<i>Leucophyllum frutescens 'Green Cloud'</i>	5.00	5.00	Drought Tolerant
	(Symbol)	37	1 Gal.	SCARLET BUGLER PENSTEMON	<i>Penstemon barbatus</i>	5.00	3.00	Low Water Use
	(Symbol)	29	3 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use

SUCCULENT	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	22	3 Gal.	MESCAL AGAVE	<i>Agave neomexicana</i>	2.00	2.00	Drought Tolerant

SEED / SOD / MULCH	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	5,768 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lafarge Materials			For use in designated landscape areas with wood barrier fabric.

PLANTING LEGEND - PHASE I

TREES	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	10	2" Cal. or 24" Box	DESERT WILLOW (Multi-Trunk)	<i>Chilopsis linearis</i>	20.00	25.00	Low Water Use
	(Symbol)	2	2" Cal. or 24" Box	DESERT OLIVE (Multi-Trunk)	<i>Forestiera neomexicana</i>	12.00	12.00	Medium Water Use
	(Symbol)	40	2.5" Cal. or 40" Box	RAYWOOD ASH	<i>Fraxinus oxycarpa 'Raywood'</i>	35.00	30.00	Medium Water Use
	(Symbol)	3	2.5" Cal. or 40" Box	VALLEY COTTONWOOD	<i>Populus wislizeni</i>	35.00	45.00	Heavy Water Use
	(Symbol)	10	2.5" Cal. or 40" Box	IDAHO LOCUST	<i>Robinia ambigua 'Idahoensis'</i>	35.00	30.00	Low Water Use
	(Symbol)	6	2.5" Cal. min.	CHASTE TREE	<i>Vilax agnus-castus</i>	35.00	20.00	Medium Water Use

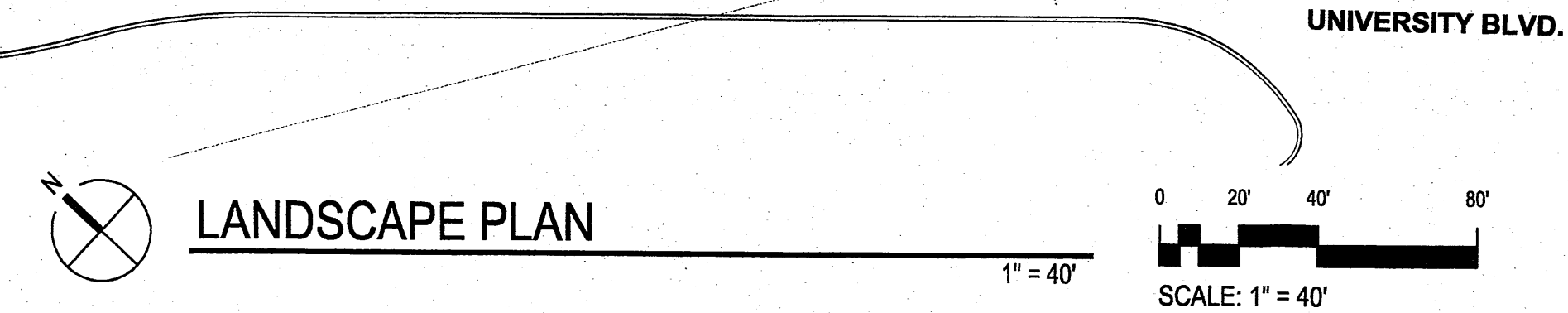
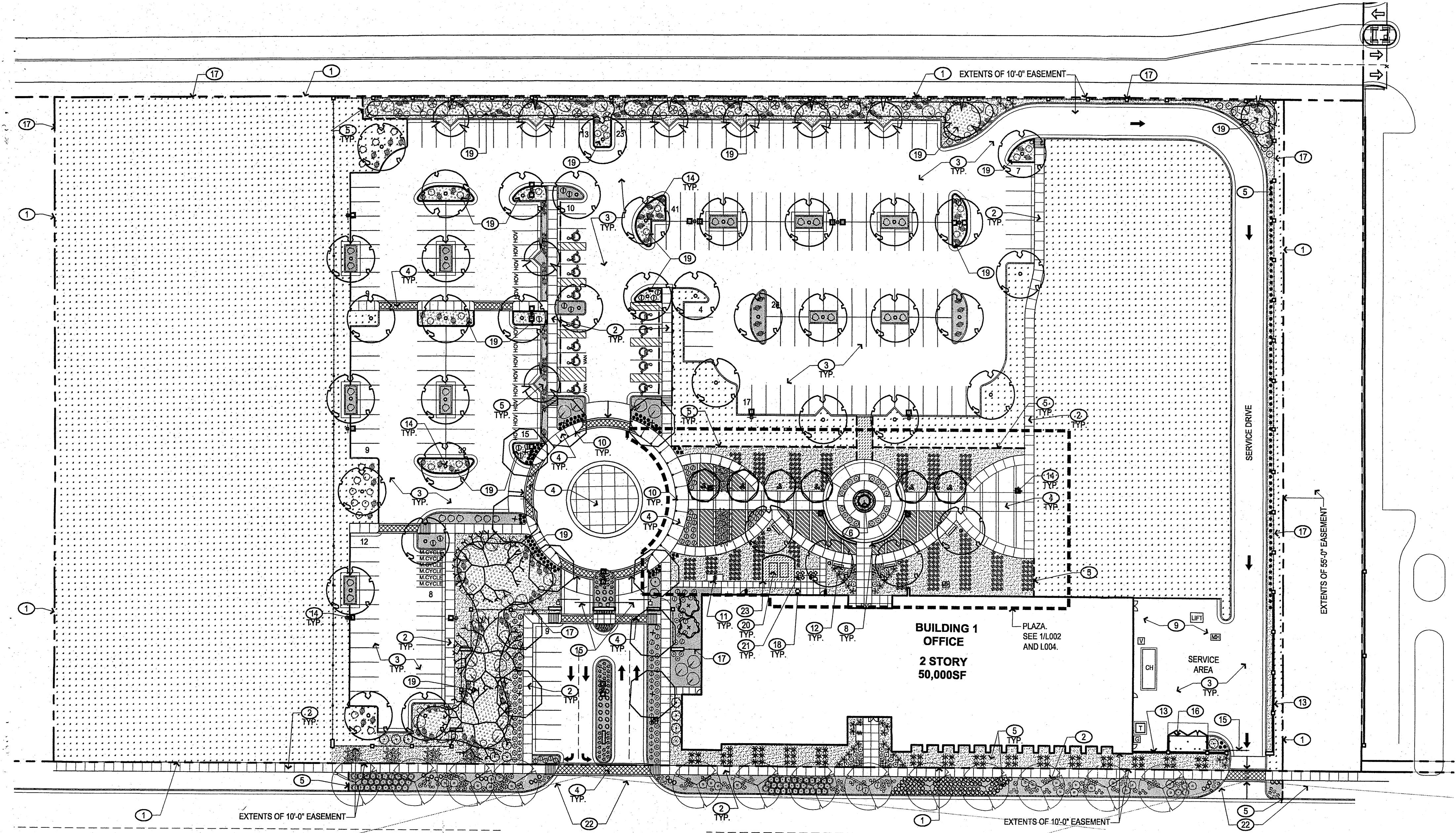
GRASS	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	355	1 Gal.	KARL FORESTER REED GRASS	<i>Calamagrostis x exaltata 'Karl Forester'</i>	5.00	2.00	Drought Tolerant
	(Symbol)	66	1 Gal.	BLUE FESCUE	<i>Festuca ovina glauca</i>	1.00	1.00	Medium Water Use
	(Symbol)	18	5 Gal.	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>	3.50	3.00	Medium Water Use
	(Symbol)	154	5 Gal.	EL TORO MIMBLEY	<i>Muhlenbergia emersleyi 'El Toro'</i>	3.00	3.00	Low Water Use
	(Symbol)	154	1 Gal.	THREADGRASS	<i>Nassella tenuissima</i>	2.00	2.00	Drought Tolerant
	(Symbol)	43	1 Gal.	DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i>	3.00	3.00	Medium Water Use

GROUND COVER	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	37	1 Gal.	WINECUPS	<i>Callitriche involucrata</i>	1.00	2.50	Drought Tolerant
	(Symbol)	57	1 Gal.	GAURA	<i>Gaura lindheimeri</i>	3.00	4.00	Medium Water Use
	(Symbol)	10	1 Gal.	DESERT FOUR O'CLOCK	<i>Mirabilis multiflora</i>	1.50	4.00	Low Water Use
	(Symbol)	14	1 Gal.	SANDPAPER VERBENA	<i>Verbena rigida</i>	1.50	3.50	Drought Tolerant

SHRUB	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	14	5 Gal.	FOURRING BALTRUSH	<i>Atriplex canescens</i>	6.00	6.00	Drought Resistant
	(Symbol)	13	5 Gal.	THOMPSON BROOM	<i>Baccharis x Stans</i>	2.00	6.00	Low Water Use
	(Symbol)	8	5 Gal.	BLACK DALEA	<i>Dalea taylorana 'Sierra Negra'</i>	3.00	4.00	Drought Tolerant
	(Symbol)	32	9 Gal.	ENCHANTRESS INDIA HAWTHORNE	<i>Raphtoelepis indica 'Enchantress'</i>	3.00	3.00	Medium Water Use
	(Symbol)	47	5 Gal.	THREELAF BUMAC	<i>Rhus trilobata</i>	6.00	6.00	Drought Tolerant
	(Symbol)	39	5 Gal.	SEMI-PROSTRATE ROSEMARY	<i>Rosmarinus officinalis 'Cottingwood Ingram'</i>	2.50	4.00	Medium Water Use
	(Symbol)	15	3 Gal.	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>	1.50	2.00	Low Water Use
	(Symbol)	49	3 Gal.	PINK AUTUMN SAGE	<i>Salvia greggii</i>	2.50	3.00	Medium Water Use

SUCCULENT	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	46	3 Gal.	MESCAL AGAVE	<i>Agave neomexicana</i>	2.00	2.00	Drought Tolerant
	(Symbol)	37	6 Gal.	BLUE SOTOL	<i>Dasylirion wheeleri</i>	5.00	6.00	Drought Tolerant
	(Symbol)	63	6 Gal.	RED HESPERALOE	<i>Hesperaloe parviflora</i>	4.00	4.00	Drought Tolerant
	(Symbol)	38	5 Gal.	BANANA YUCCA	<i>Yucca baccata</i>	3.00	4.00	Low Water Use

SEED / SOD / MULCH	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	(Symbol)	1,631 SF		SOD	Rivella Sod Turfgrass GardierTurfgrass, Inc.			NA
	(Symbol)	124,039 SF		NATIVE SEEDING	East Side Mix Curbs & Curbs			Seed Rate: 2lbs / 1000 SF, Drill seed.
	(Symbol)	22,574 SF		ROCK MULCH	3" Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lafarge Materials			For use in designated landscape areas with wood barrier fabric.
	(Symbol)	7,779 SF		CRUSHER FINES MULCH	Crusher Fines Rock Mulch, 3" min. Depth, Color: Santa Fe Brown - Lafarge Materials			For use in designated landscape areas with wood barrier fabric.
	(Symbol)	577 SF		STABILIZED CRUSHER FINES MULCH	Stabilized Crusher Fines Rock Mulch 3" min. Depth, Color: Dark Gray - South Valley Materials			For use on designated walkways with wood barrier fabric.
	(Symbol)	10,868 SF		COBBLE	2" x 4" Cobble Rock Mulch, 3" min. Depth, Color: Santa Fe Tan - Lafarge Materials			For soil stabilization in water harvesting area with wood barrier fabric.



PLANTING NOTES

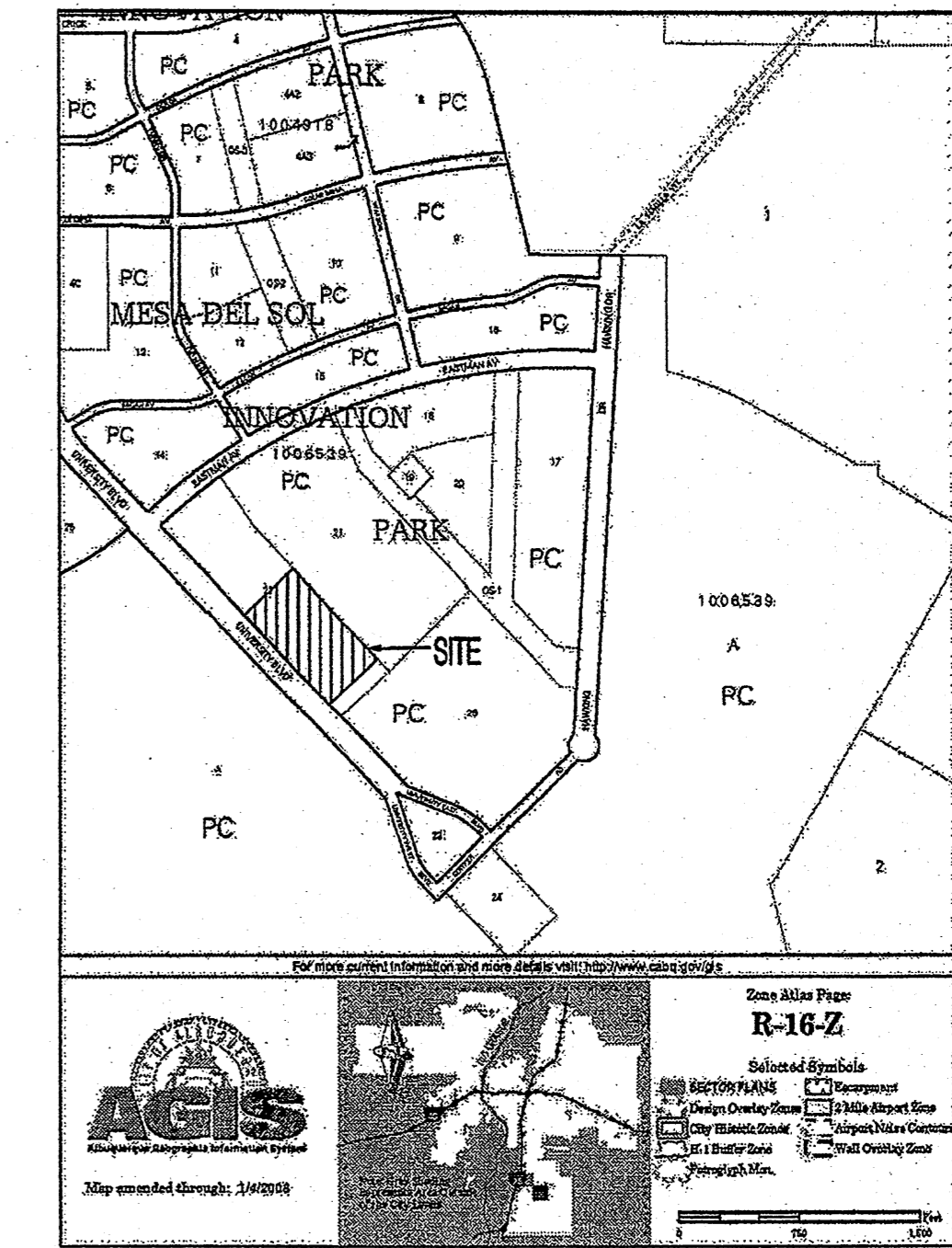
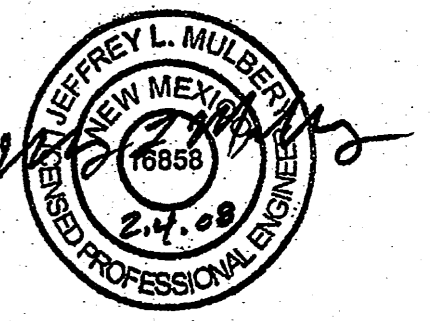
1. LANDSCAPE DESCRIPTION: THE LANDSCAPE DESIGN UTILIZES NATIVE PLANTS AND OTHER LOW-WATER-USE PLANTS THAT WILL REINFORCE THE SPECIAL LOCATION OF THE PROJECT - ON A HIGH DESERT GRASSLAND MESA. THE SELECTED SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT, FOLLOW THE MESA DEL SOL DESIGN GUIDELINES, AND ESTABLISH AREAS OF WILDLIFE HABITAT.
2. EXISTING PLANT MATERIAL: THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.
3. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. THE OWNER IS RESPONSIBLE FOR MAINTAINING APPROPRIATE BRANCH CLEARANCES OVER WALKS AND STREETS WHERE MULTI-TRUNK TREES ARE USED.
5. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
6. WATER USE DESCRIPTION: PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES. A MINIMAL AMOUNT OF TURF IS USED IN THIS DESIGN.
7. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
8. SOIL AMENDMENTS SHALL BE ADDED AT INSTALLATION AND AGAIN DURING THE WARRANTY PERIOD.
9. LANDSCAPE AREAS SHALL BE COVERED WITH 3" DEPTH MULCH, SEE PLAN FOR MATERIAL.
10. TREE AND SHRUB PITS ARE TO BE 3 TO 5 TIMES THE ROOT BALL OR CONTAINER DIAMETER.
11. SOIL PREPARATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
12. NATIVE SOILS SHALL BE USED FOR LANDSCAPE INSTALLATION. IMPORT OF PLANTING MIX OR HIGH QUALITY TOPSOIL IS NOT REQUIRED UNLESS THE SOILS HAVE BEEN CONTAMINATED IN THE CONSTRUCTION PROCESS.
13. PASSIVE WATER HARVESTING: PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE.
14. THIS LANDSCAPE PLAN IS COMPLIANT WITH THE REQUIREMENTS SET FORTH BY THE THE MESA DEL SOL DESIGN GUIDELINES BOOK.
15. STREETScape PLANTING WAS DESIGNED BY EDWA AND IS SHOWN WITH A SEPARATE PLANTING LEGEND TO CLARIFY THAT THIS AREA WAS DESIGNED BY THEM.

IRRIGATION NOTES

1. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE NON-POTABLE WATER. IRRIGATION SHALL BE PROVIDED TO ALL CONTAINER PLANTS, AND POTENTIALLY TO SEEDED AREAS.
2. IRRIGATION: WE ARE NOT SHOWING AN IRRIGATION PLAN FOR THE FOLLOWING REASONS:
 - 1) AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL SUPPLY THE IRRIGATION PLAN.
 - 2) THE CITY OF ALBUQUERQUE DOES NOT REQUIRE AN IRRIGATION PLAN AT THIS LEVEL OF DOCUMENTATION.
3. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.
4. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL OTHER THAN SEEDED AREAS.

LANDSCAPE CALCULATIONS - PHASE I

TOTAL SITE AREA: 323,946 SF = 7.44 ACRES
 TOTAL GROSS BUILDING AREA: 50,000 SF
 NET LOT AREA: 273,946 SF / 6.28 ACRES
 REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA): 41,092 SF / 0.94 ACRES
 PROVIDED LANDSCAPE AREA: (61% OF NET LOT AREA) 167,506 SF / 3.85 ACRES
 TOTAL ALLOWED TURF GRASS: (20% OF OVERALL LANDSCAPE AREA): 33,501 SF
 TOTAL PROVIDED TURF GRASS: (1% OF OVERALL LANDSCAPE AREA): 1,631 SF



GRADING NOTES

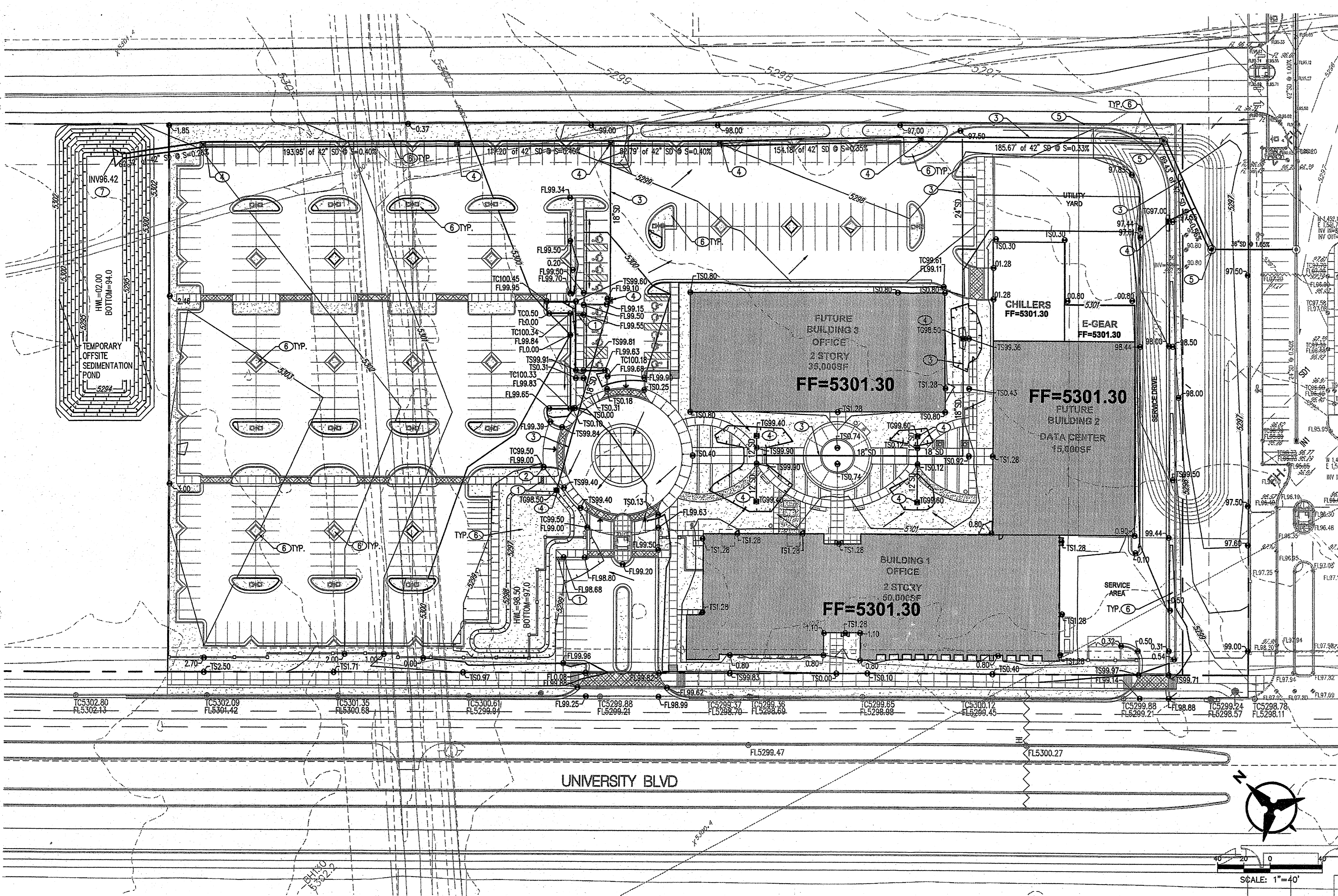
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GRADING KEY NOTES

- NEW SIDEWALK CULTURT
- CURB OPENING
- NEW STORM DRAIN
- NEW STORM DRAIN INLET w/ GRATE INLET
- NEW STORM DRAIN MANHOLE
- WATER HARVESTING AREA
- INSTALL END SECTION

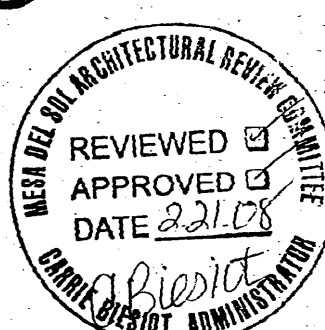
LEGEND

- PROPERTY LINE
- - - - - 5.301 --- EXISTING CONTOURS
- - - - - X 5.301.15 --- EXISTING GROUND SPOT ELEVATION
- 65.23 --- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TO=TOP OF GRADE, FGH=FINISH GROUND HIGH SIDE, FGL=FINISH GROUND LOW SIDE
- S=2.0% --- PROPOSED DIRECTION OF FLOW
- WATER BLOCK ---
- - - - - 5.305 --- PROPOSED INDEX CONTOURS
- - - - - PROPOSED INTER CONTOURS
- - - - - PROPOSED CURB & GUTTER
- EASEMENT ---
- PROPOSED STORM DRAIN INLET ---
- EXISTING MONUMENT
- PROPOSED RETAINING WALL ---
- PROPOSED CURB OPENING



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

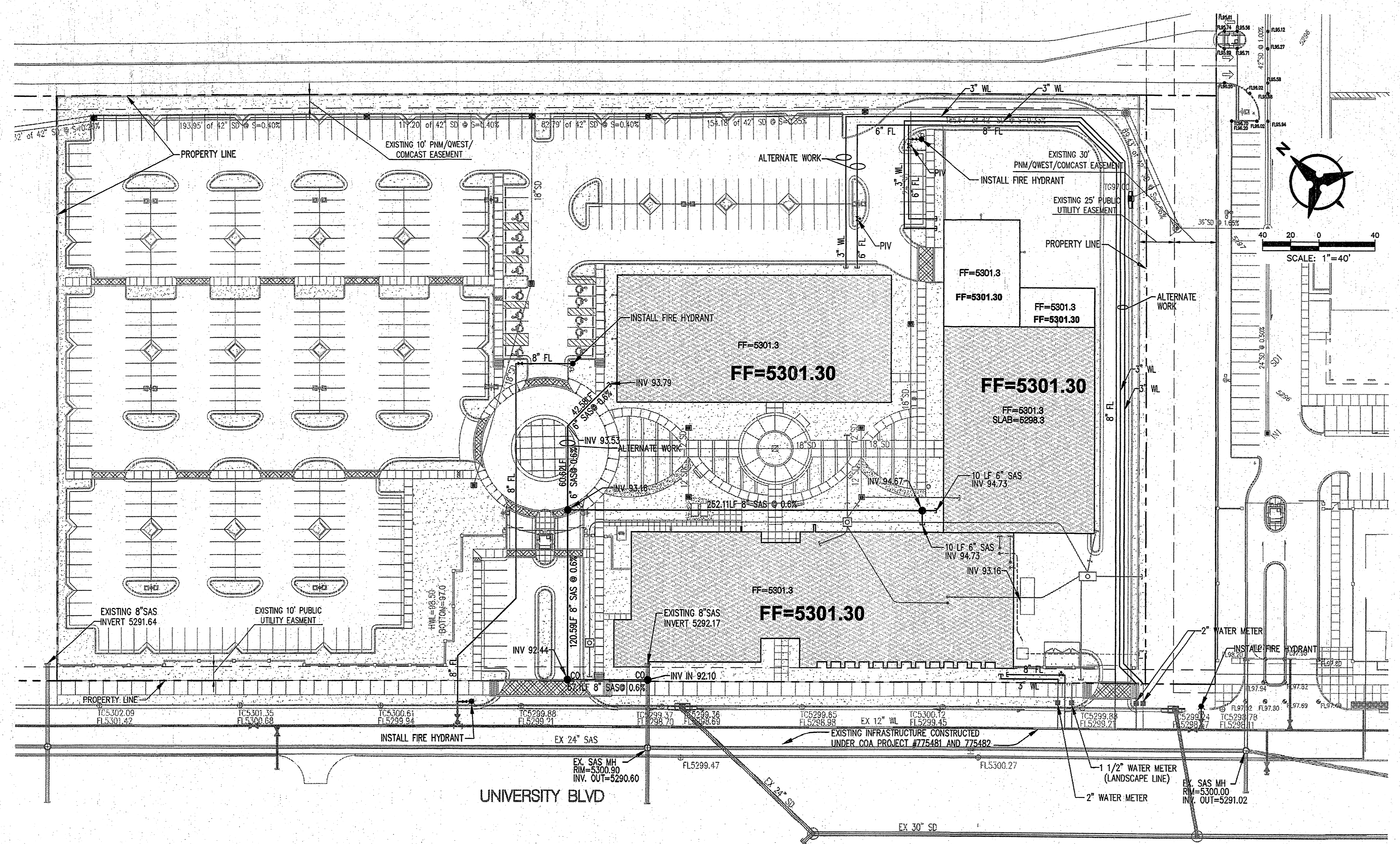


REVISIONS

△	2.15.08	ARC FINAL SUBMITTAL
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DRAWN BY	CP
REVIEWED BY	JM
DATE	01/31/08
PROJECT NO.	07-0116
DRAWING NAME	

**CONCEPTUAL
UTILITY PLAN**



UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING WATER METER
---	EXISTING CAP
---	EXISTING VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM DRAIN MANHOLE
---	EXISTING INLET
---	PROPOSED EASEMENT
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
---	PROPOSED VALVE
---	PROPOSED FIRE LINE
---	PROPOSED HYDRANT
---	PROPOSED CAP
---	PROPOSED WATER METER

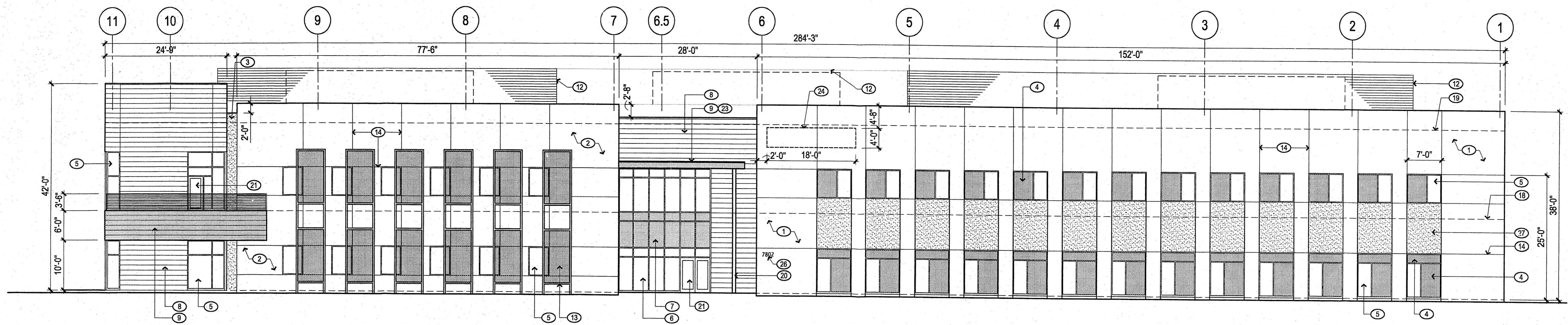
NOTE: CONTRACTOR SHALL VERIFY DEPTH AND LOCATIONS OF ALL EXISTING UTILITIES AND CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.



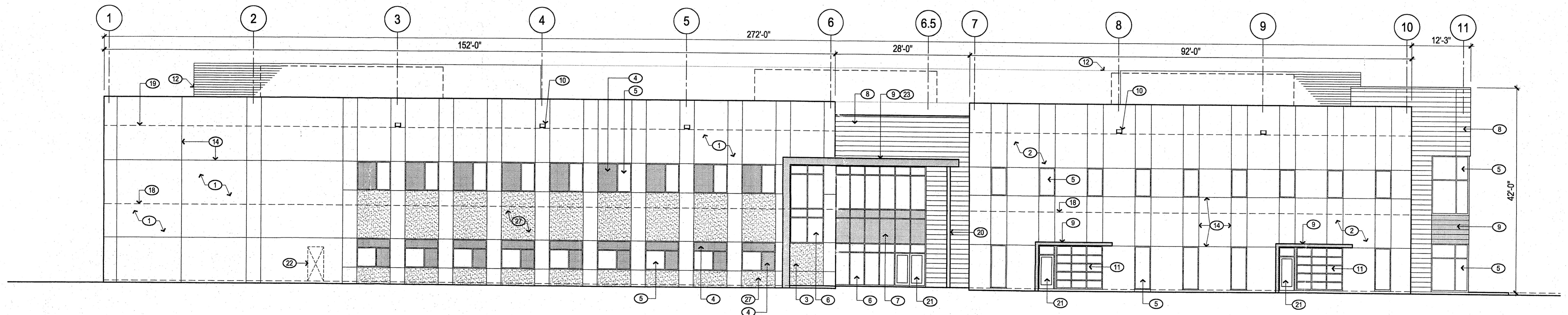
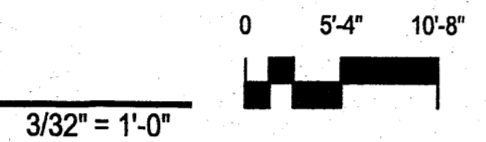
REVISIONS	
▲ 01.28.08	ARC Preliminary Review
▲ 02.15.08	ARC Final Review
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DRAWN BY	TV
REVIEWED BY	CG
DATE	02/15/08
PROJECT NO.	07-0116
DRAWING NAME	

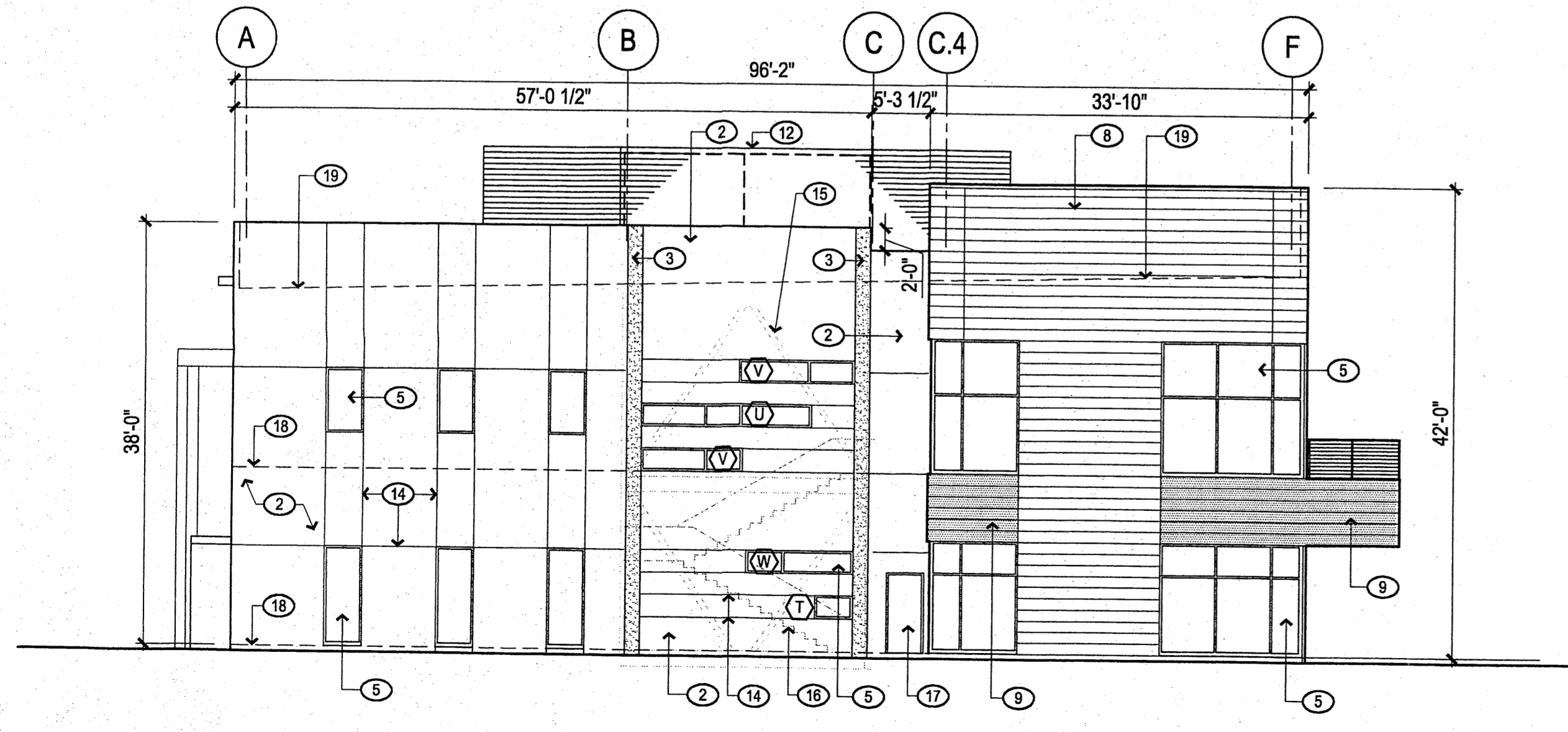
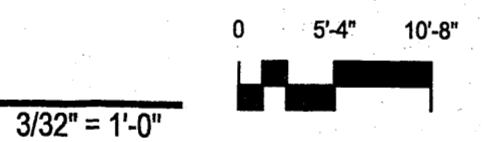
**BUILDING EXTERIOR
ELEVATIONS**



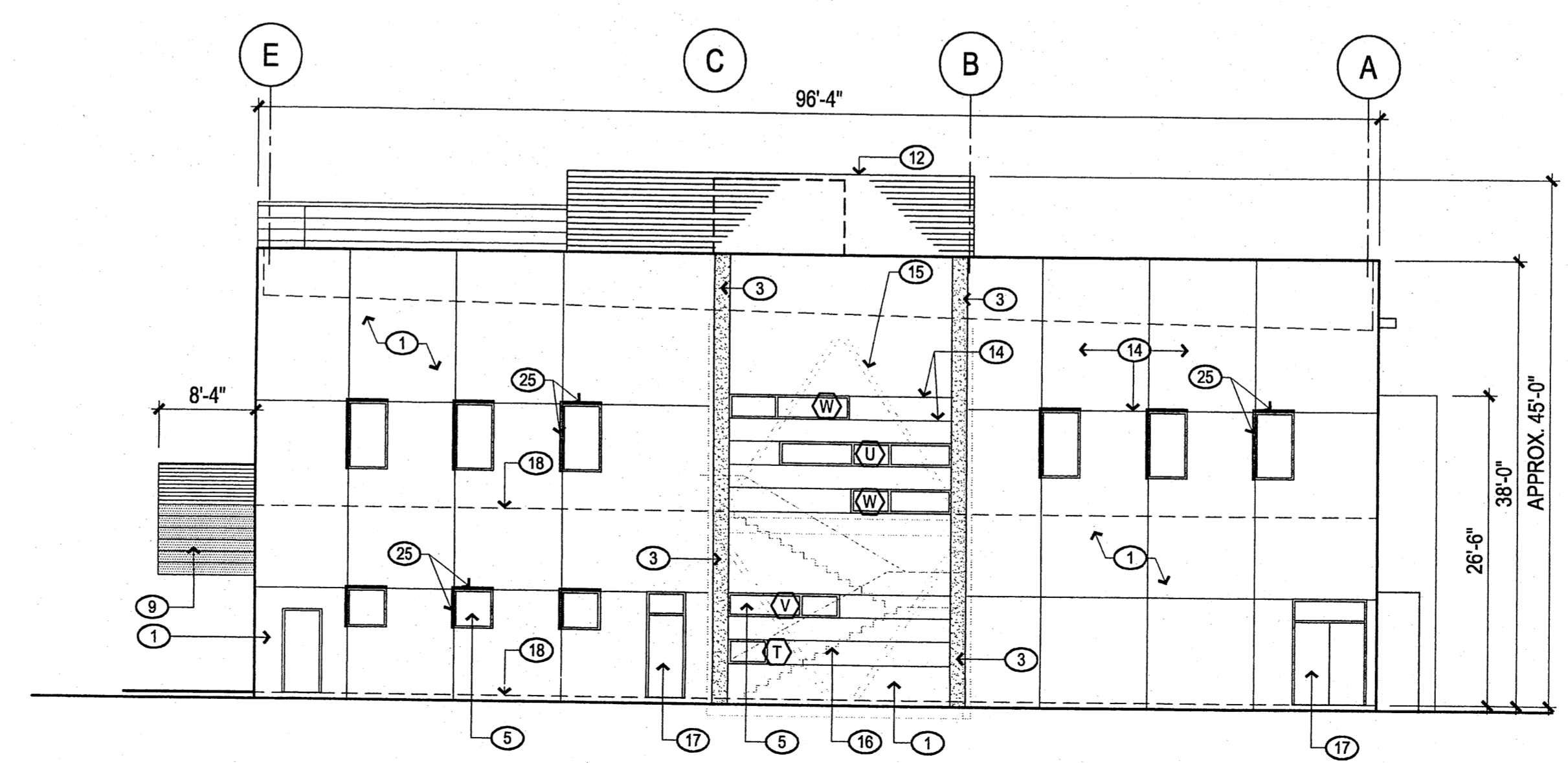
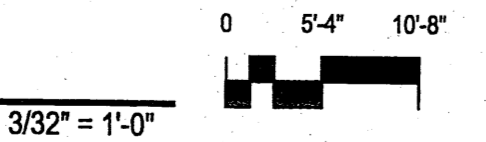
WEST ELEVATION



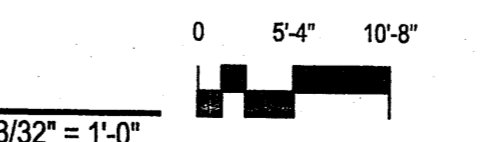
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



KEYED NOTES

1. STUCCO FINISH - COLOR #1.
2. STUCCO FINISH - COLOR #2.
3. STUCCO FINISH - COLOR #3.
4. LAMINATORS INC. "THERMOLITE" ALUMINUM COMPOSITE PANEL, OR EQUAL.
5. INSULATED, CLEAR GLAZING IN ALUMINUM STOREFRONT.
6. INSULATED, CLEAR GLAZING IN ALUMINUM CURTAINWALL SYSTEM.
7. INSULATED SPANDREL GLASS.
8. CENTRA "PROFILE SERIES IW-10A" CONCEALED FASTENER METAL WALL PANEL SYSTEM - COLOR #1.
9. CENTRA "PROFILE SERIES IW-10A" CONCEALED FASTENER METAL WALL PANEL SYSTEM - COLOR #2.
10. OVERFLOW SCUPPER.
11. GLAZED OVERHEAD SECTIONAL DOOR.
12. SCREEN WALL FOR MECHANICAL ROOF TOP UNITS.
13. PAINTED TUBE STEEL SHADING DEVICE WITH >50% OPEN WIRE MESH PANELS.
14. STUCCO CONTROL JOINT, TYP.
15. LINE OF STRUCTURAL BRACE FRAME IN WALL.
16. LINE OF STAIRS BEYOND.
17. HOLLOW METAL DOOR AND FRAME, PAINTED.
18. LINE OF FINISH FLOOR BEYOND.
19. LINE OF ROOF BEYOND. ROOFING MATERIALS SHALL MEET ENERGY STAR OR COMPARABLE APPROVED STANDARDS.
20. STEEL POST, PAINTED.
21. ALUMINUM STOREFRONT/CURTAINWALL ENTRANCE DOOR.
22. FRAME WALL FOR FUTURE DOOR OPENING TO BE CUT OUT.
23. ENTRY CANOPY.
24. BUILDING SIGNAGE LOCATION, NOT TO EXCEED 75 SQ. FT.
25. SUNSHADE DEVICE, PROJECTS 12" FROM FACE OF BUILDING.
26. 8" HIGH RAISED BUILDING ADDRESS NUMBERS, ANODIZED ALUMINUM FINISH, LUCINDA SANS UNICODE FONT STYLE.
27. STUCCO FINISH - COLOR #4.

ARCHITECT

ARC
SUBMITTAL

ENGINEER

PROJECT

SONY IMAGEWORKS
@ Mesa del Sol
Albuquerque, NM



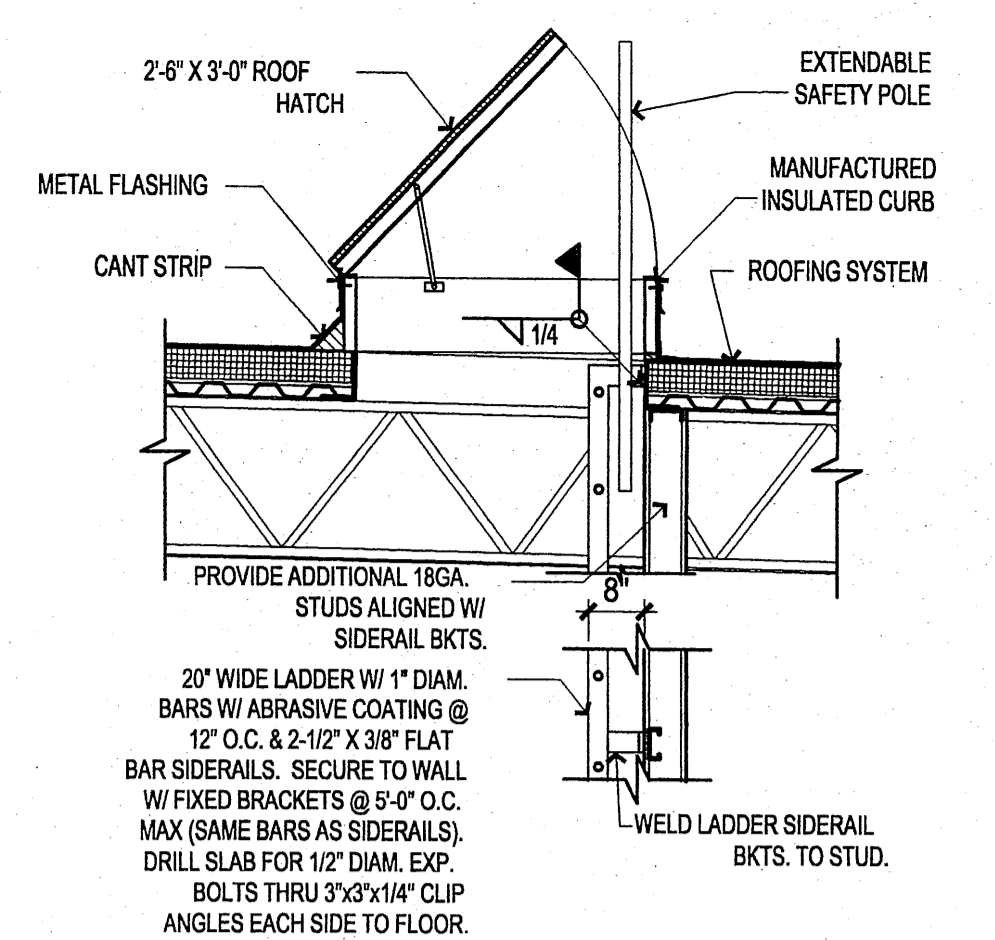
REVISIONS	
△ 01.28.08	ARC Preliminary Review
△ 02.15.08	ARC Final Review
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REVIEWED BY	CG
DATE	02/15/08
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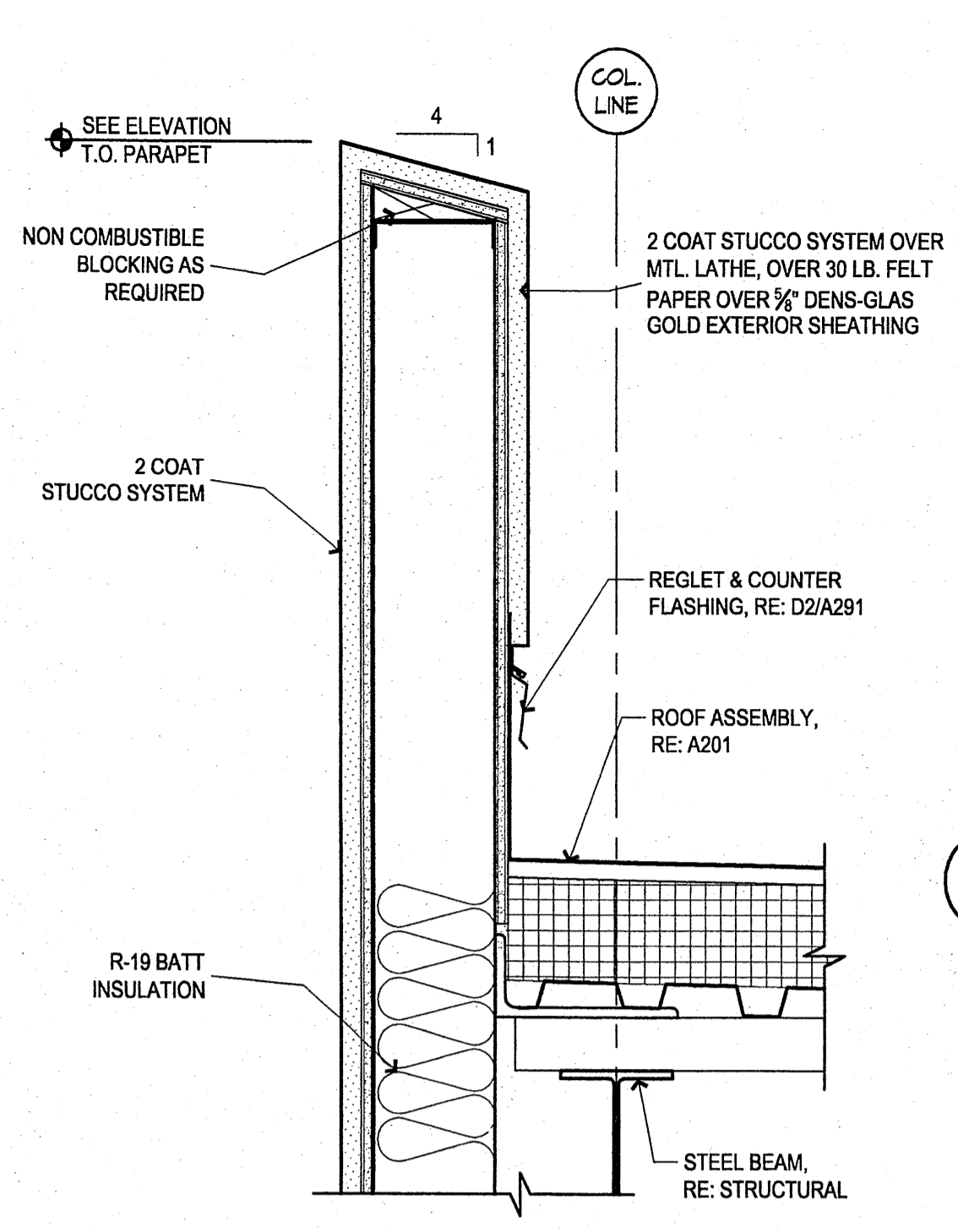
ROOF DETAILS

SHEET NO.

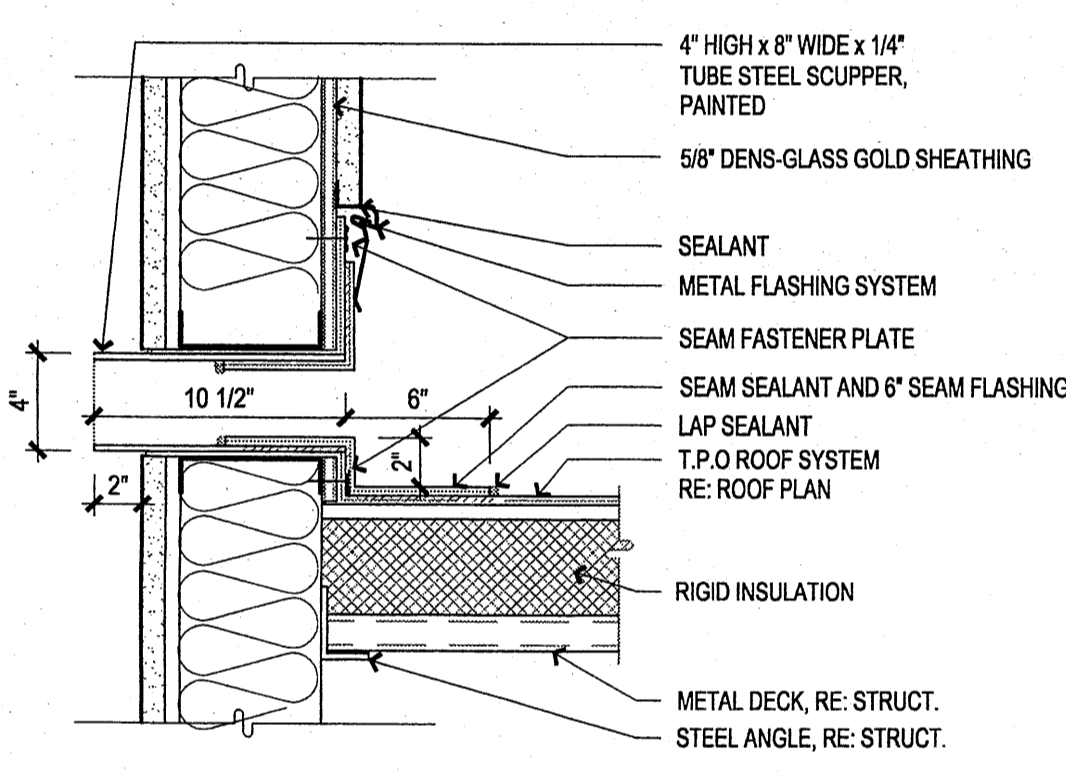
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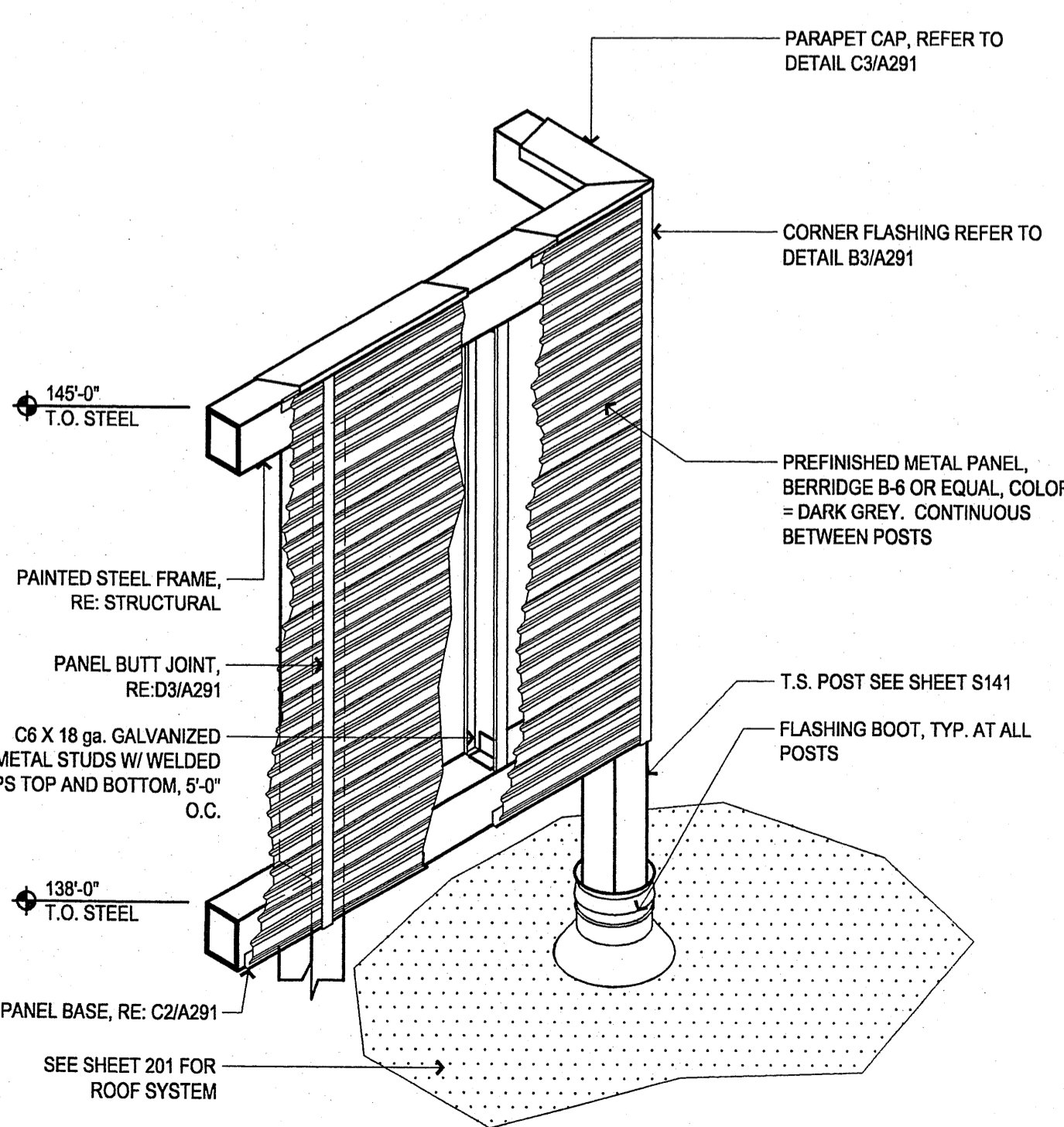
A5 ROOF ACCESS HATCH 1/2" = 1'-0"



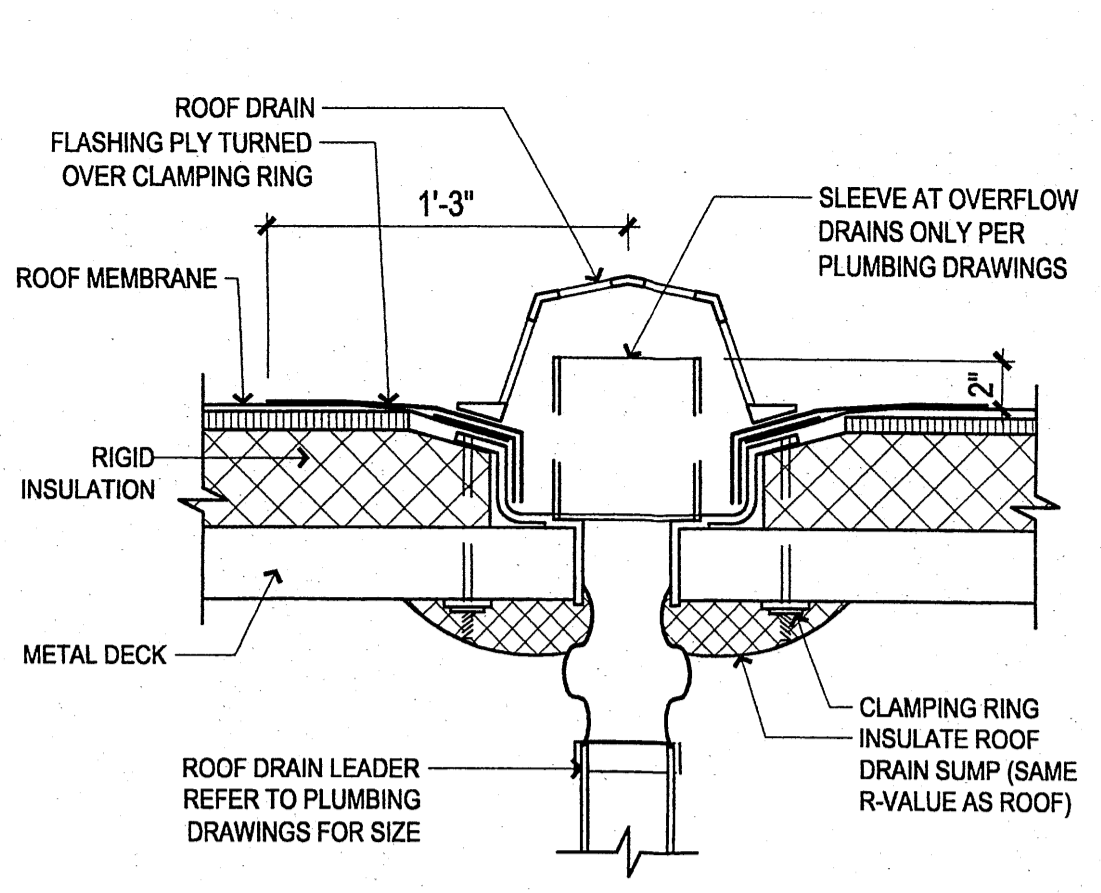
A4 PARAPET DETAIL 1 1/2" = 1'-0"



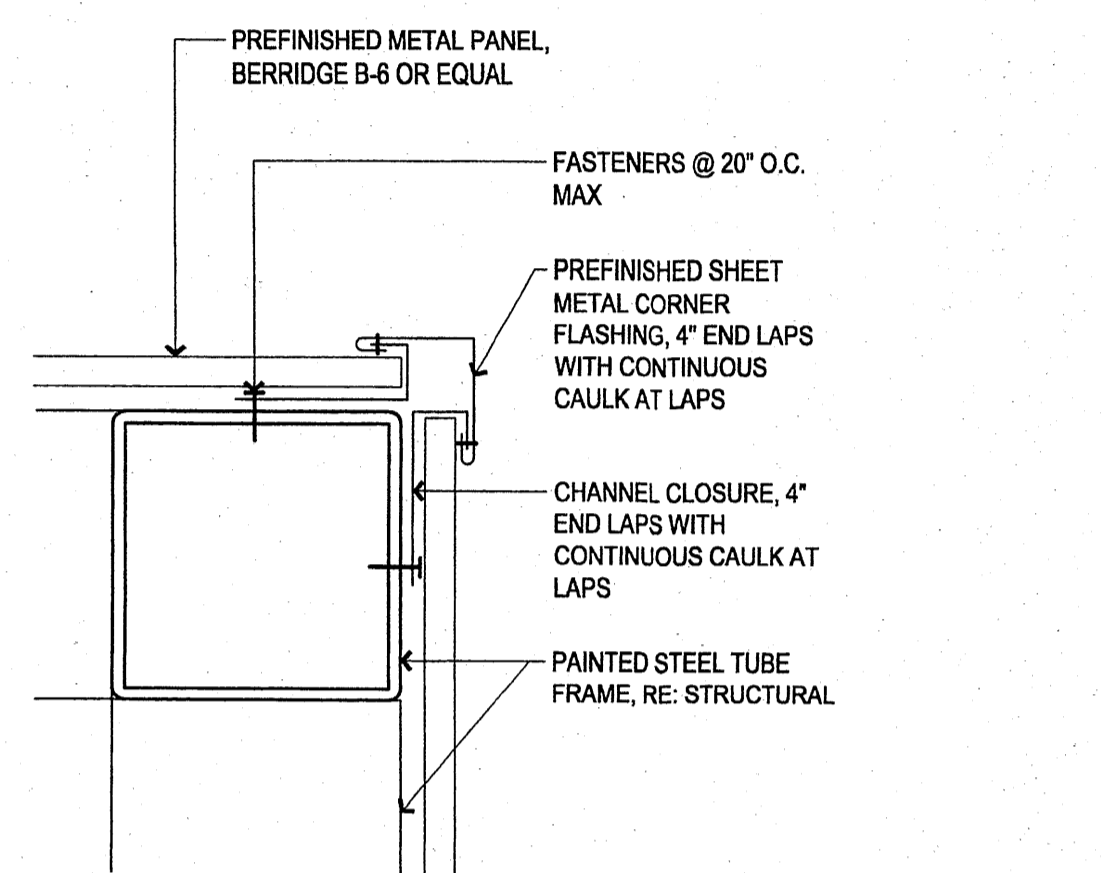
B4 OVERFLOW SCUPPER SECTION 1 1/2" = 1'-0"



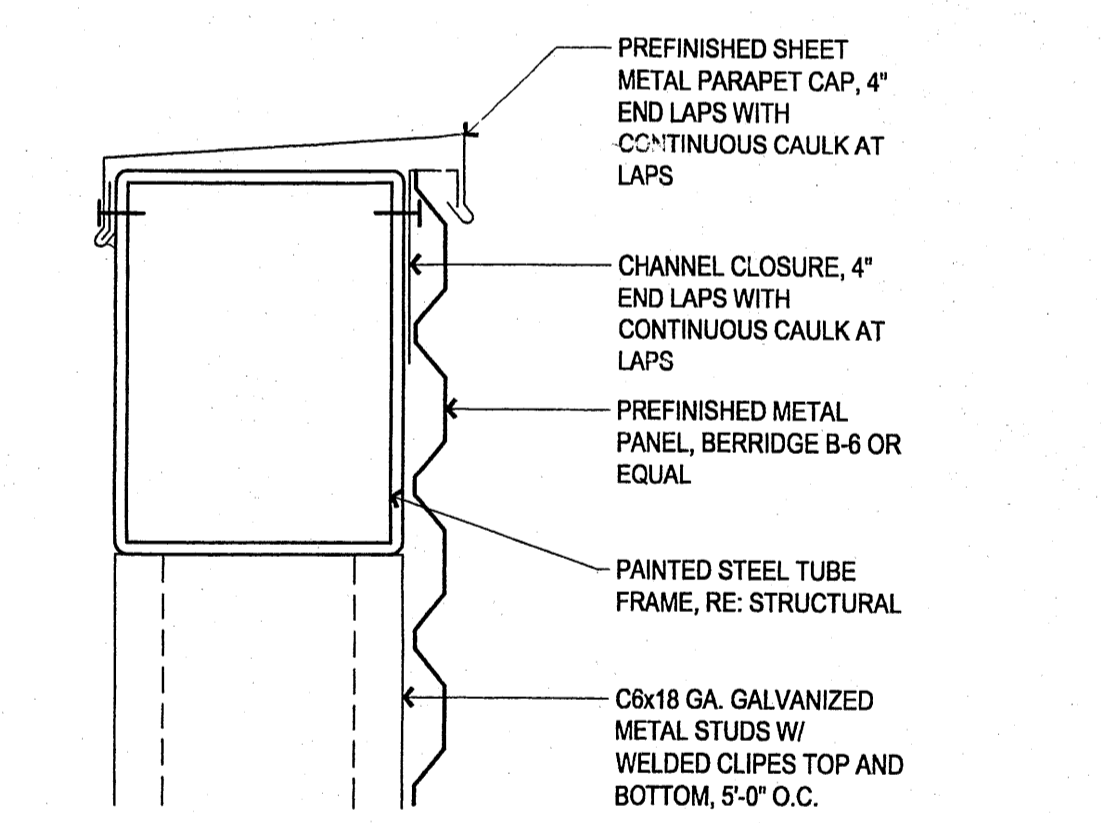
D4 SCREEN WALL DETAIL 1/2" = 1'-0"



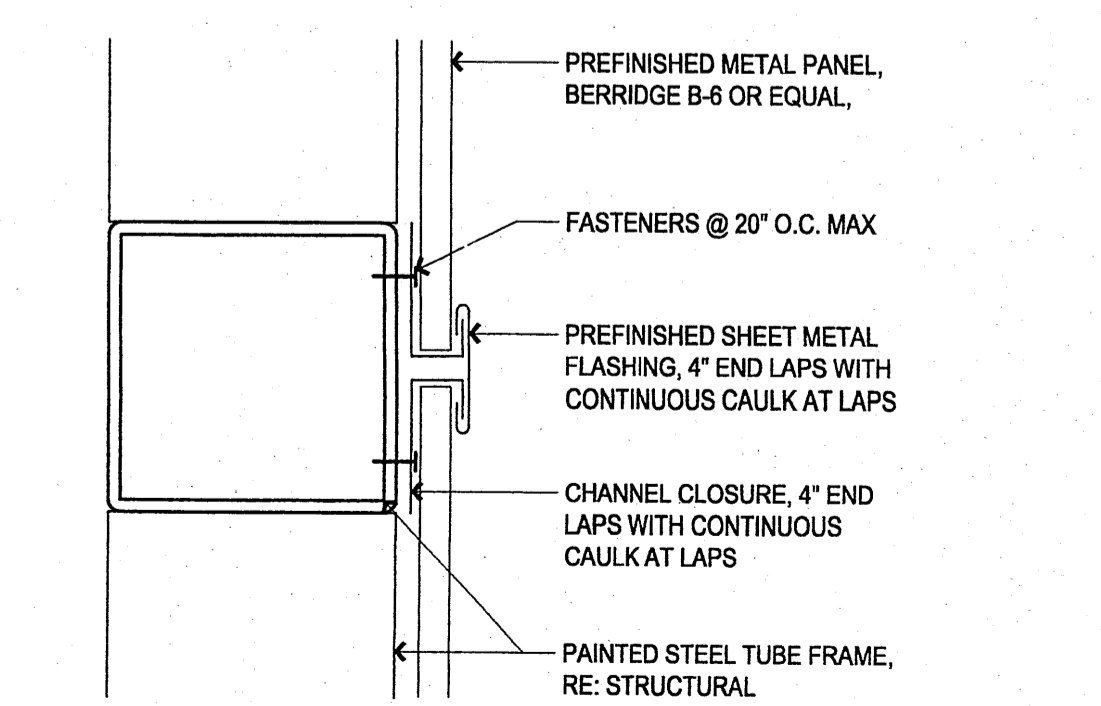
A3 ROOF DRAIN 1 1/2" = 1'-0"



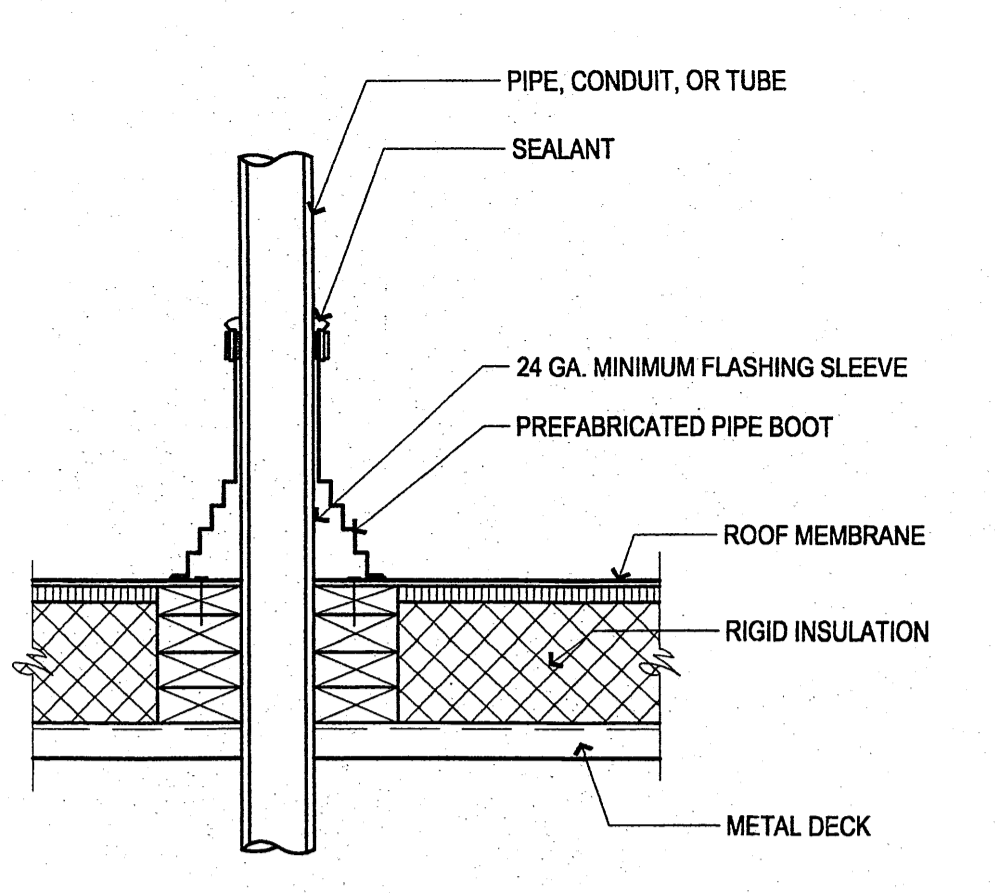
B3 SCREEN WALL PLAN OUTSIDE CORNER 3" = 1'-0"



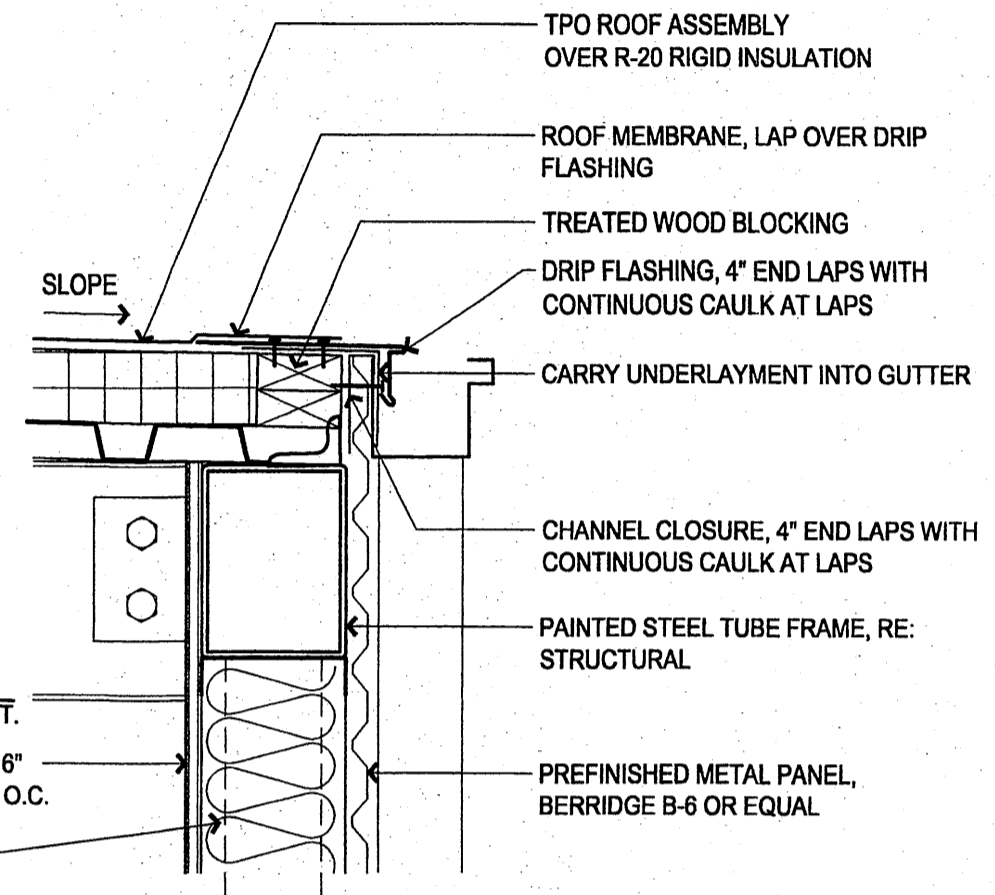
C3 SCREEN WALL SECTION PARAPET CAP 3" = 1'-0"



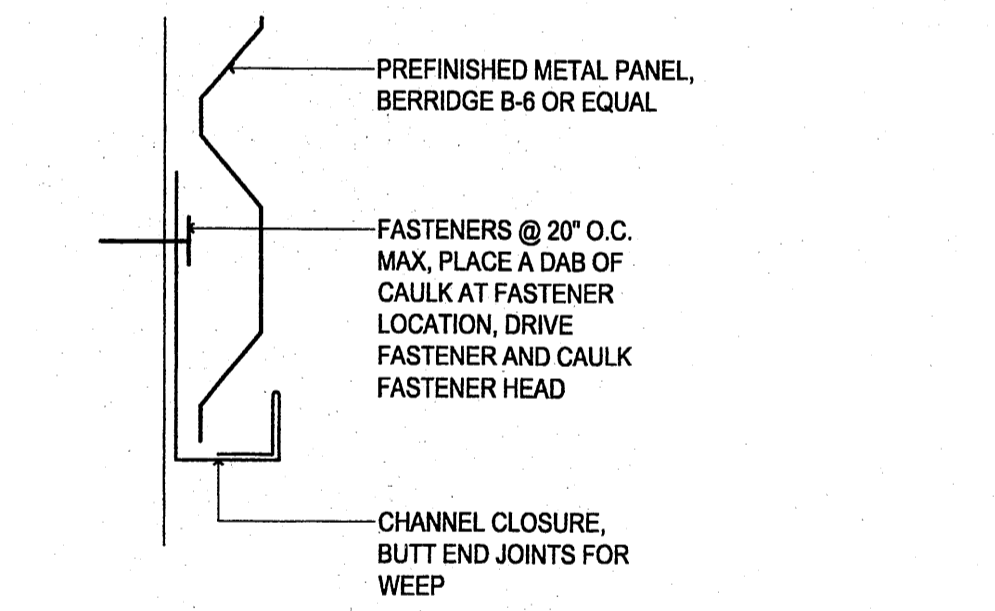
D3 SCREEN WALL PLAN BUTT JOINT 3" = 1'-0"



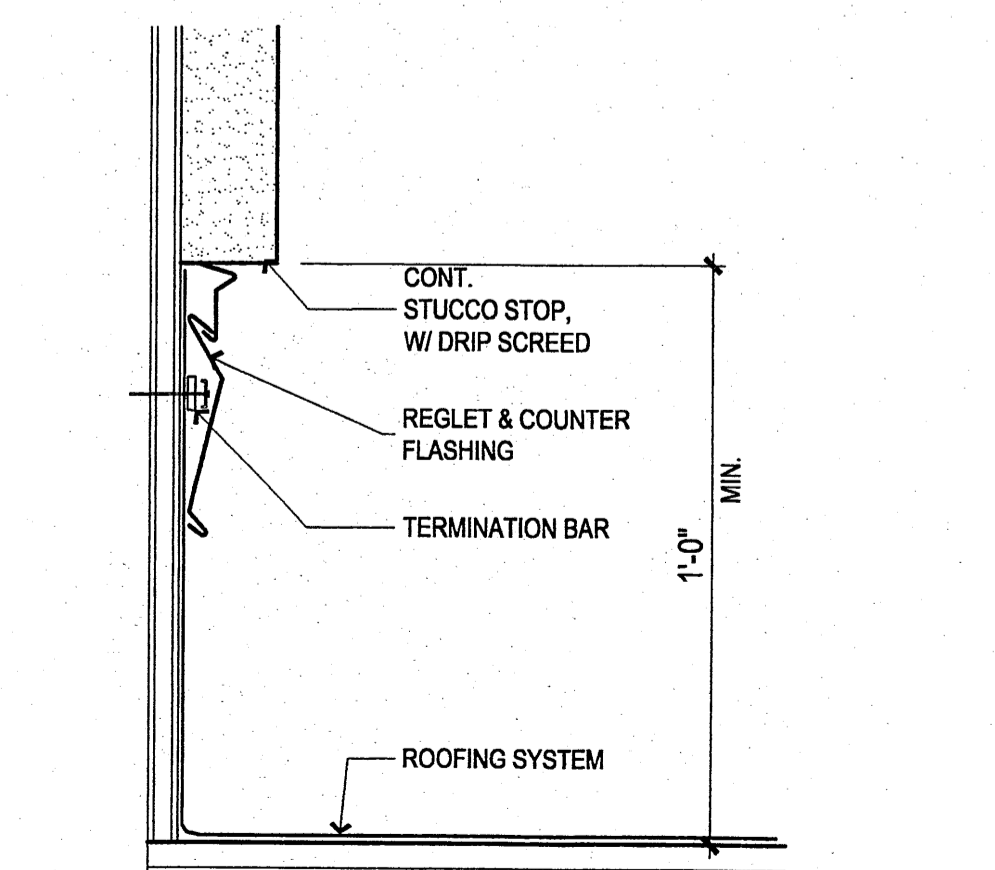
A2 HOT PIPE PENETRATION 1 1/2" = 1'-0"



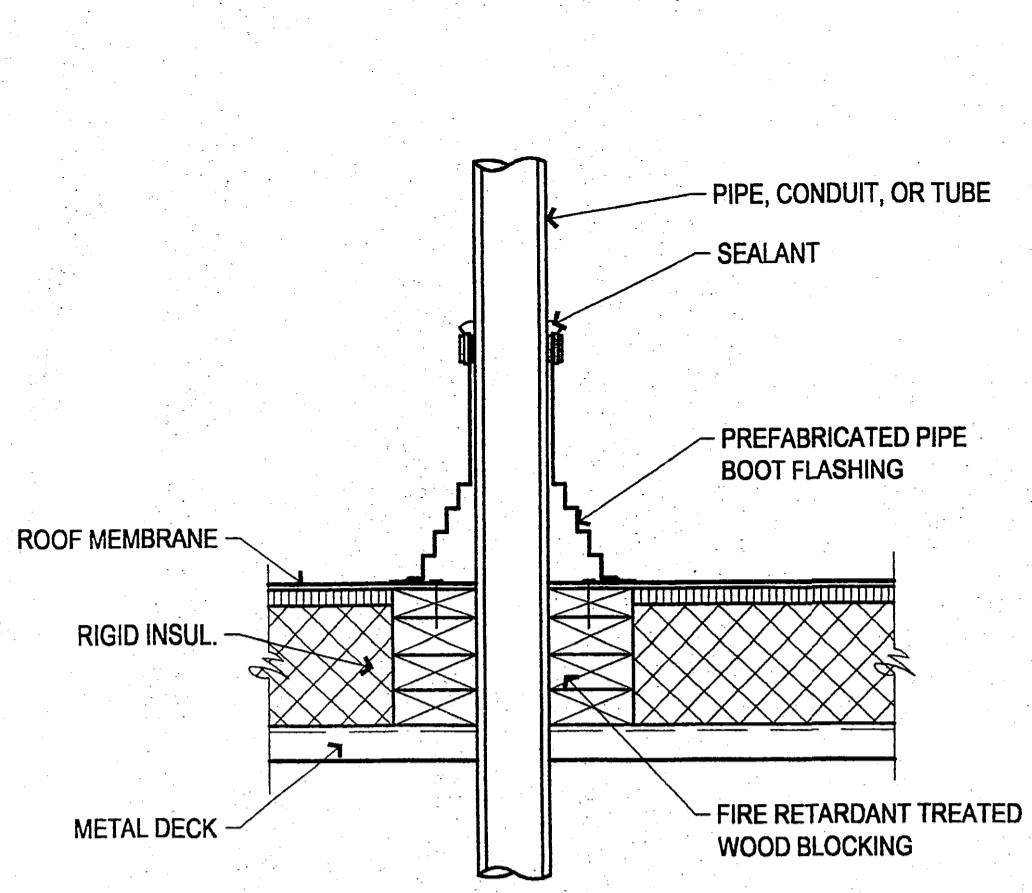
B2 PENTHOUSE SECTION ROOF GUTTER 1-1/2" = 1'-0"



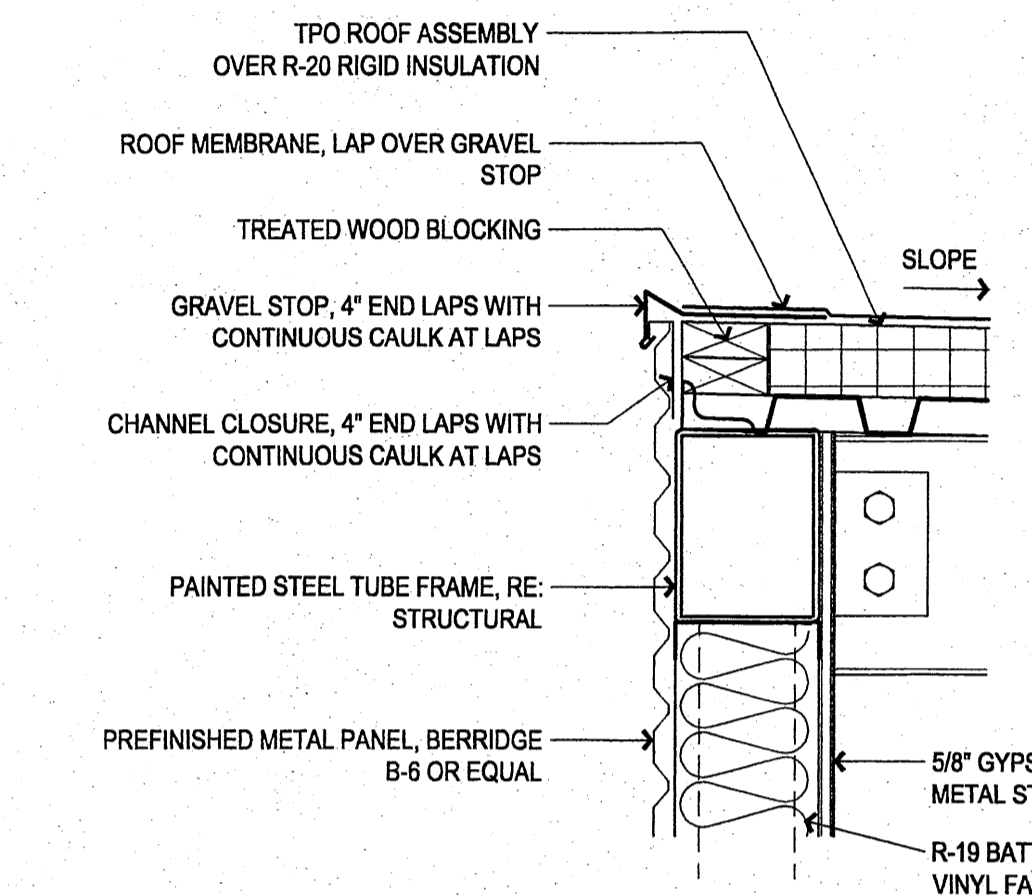
C2 SCREEN WALL SECTION BASE 3" = 1'-0"



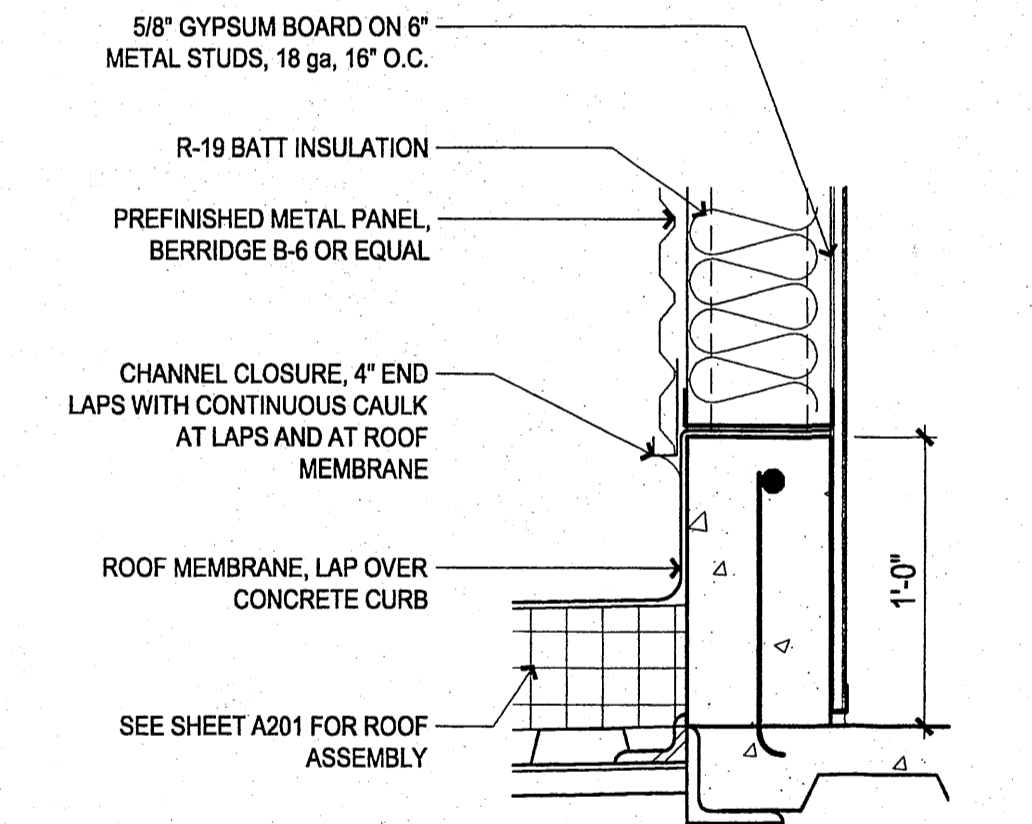
D2 ROOF TERMINATION 3" = 1'-0"



A1 COLD PIPE PENETRATION 1 1/2" = 1'-0"



B1 PENTHOUSE SECTION WALL TO ROOF 1-1/2" = 1'-0"



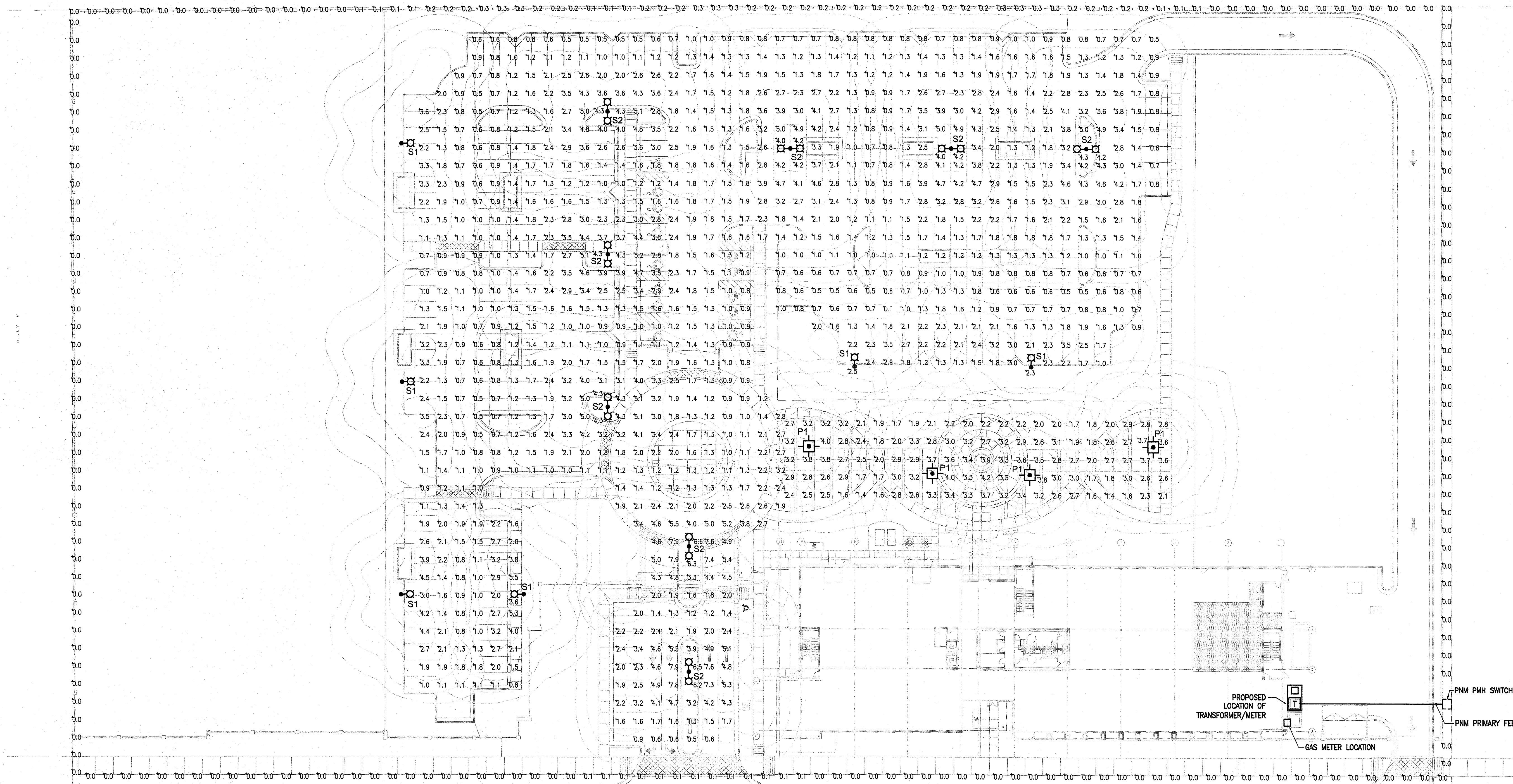
C1 PENTHOUSE SECTION ROOF TO WALL BASE 1-1/2" = 1'-0"

NOTES

- 1. ALL SITE FIXTURES WITHIN 200' OF UNIVERSITY BLVD MOUNTED AT 20' AFG. ALL OTHER SITE FIXTURES MOUNTED AT 25' AFG.
- 3. WALKWAY FIXTURES MOUNTED AT 14' AFG.

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FRONT PATIO	+	2.8 fc	4.2 fc	1.4 fc	3.0:1	2.0:1
PERIMETER	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
SITE	+	2.0 fc	7.9 fc	0.5 fc	15.8:1	4.0:1

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
⊙	S1	6	KAD 250M SR3	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICS, CLEAR FLAT GLASS.	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	H9485.ies	20000	0.72	297
⊙	S2	6	KAD 250M SR3	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICS, CLEAR FLAT GLASS.	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	H9485.ies	20000	0.72	594
⊕	P1	4	KVE2 250M SYMC PT4 GFL	PREMIUM SQUARE AREA LIGHT WITH SYMMETRIC CUTOFF DISTRIBUTION.	ONE 250-WATT CLEAR BT-28 METAL HALIDE, VERTICAL BASE-UP POS.	98061013.ies	22000	0.72	310



architect
interior
planning
engineering

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ARCHITECT

DESIGN
DEVELOPMENT
SUBMITTAL

ENGINEER

08089

PROJECT

SONY IMAGEWORKS
@ Mesa del Sol
BUILDING SHELL
Albuquerque, NM

REVIEWED & APPROVED
DATE: 2-21-08
CLARENCE UNIVERSITY, ADMINISTRATION

REVISIONS

△	02-04-08	Response To Mesa Del Sol Comments 01-28-08
△	2.15.08	ARC FINISH SUBMITTAL
△		
△		

DRAWN BY: TRG
REVIEWED BY: DDR
DATE: 01/31/08
PROJECT NO.: 07-0116
DRAWING NAME:

ELECTRICAL
SITE LIGHTING

SHEET NO. **E002**
OF

ELECTRICAL SITE LIGHTING
SCALE: 1" = 30'-0"

Chaparral
electric contractors, inc.

THE RESPONSE GROUP, INC.
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