



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 4, 2009**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1006600
09DRB-70316 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

BRASHER AND LORENZ, INC agent(s) for NEW LIFE HOMES, INC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 111C, **TOWN OF ATRISCO GRANT Unit(s) 6**, zoned SU-1 PRD, located on the south side of DELIA AVE SW between 69TH ST SW and BATAAN DR SW containing approximately 2.43 acre(s).
(K-10)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 19, 2009.

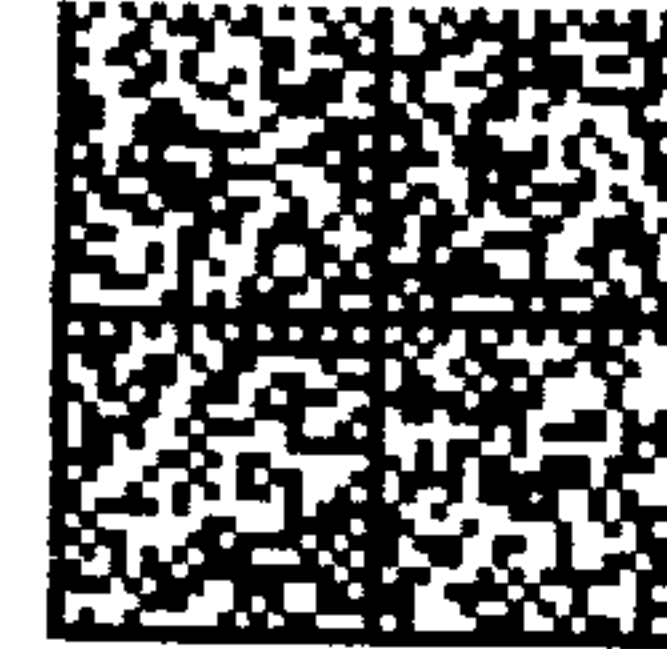
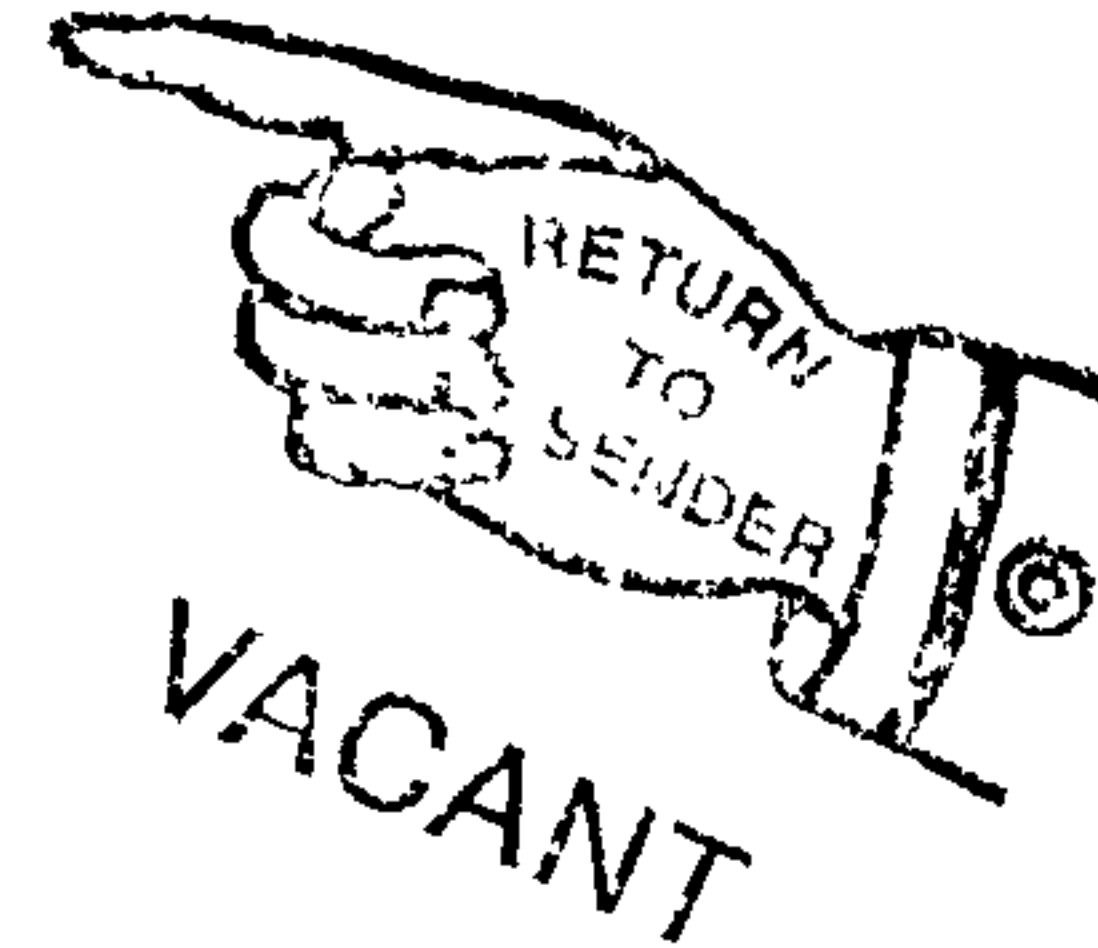
CITY OF ALBUQUERQUE



Planning Department

DRB

OR CURRENT RESIDENT
101005744009040621
NLH 2
PO BOX 90486
ALBUQUERQUE, NM 87199



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0004261639 OCT 19 2009
MAILED FROM ZIP CODE 87102

VAC

87153+0486





OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 4, 2009

Project# 1006600

09DRB-70316 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)

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At the November 4, 2009 Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by November 19, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Brasher & Lorenz – 2201 San Pedro NE – Albuquerque, NM 87110

Cc: New Life Homes, Inc. – P.O. Box 90486 – Albuquerque, NM 87199

Marilyn Maldonado

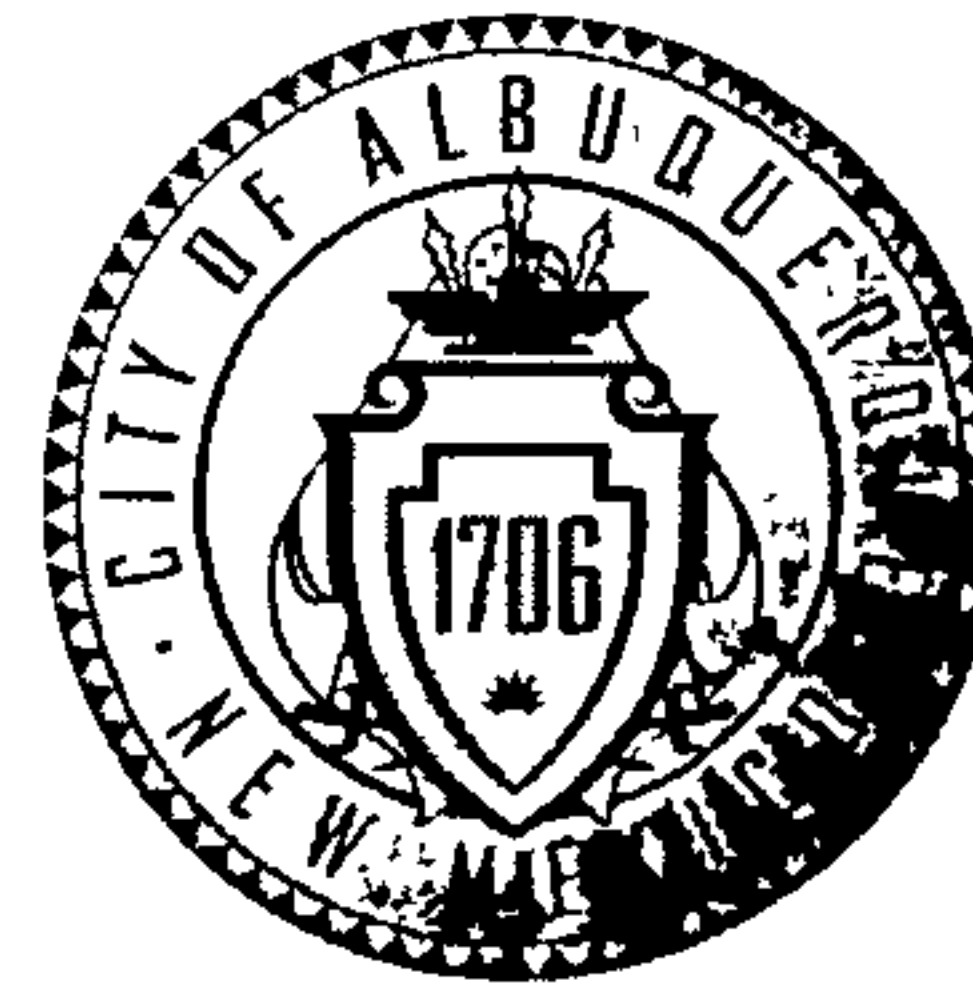
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1006600 AGENDA# 1 DATE: 11/4/09

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006600

AGENDA ITEM NO: 1

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED X ^{2-yr}; DENIED _____; DEFERRED _____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham, PE
City Engineer/AMAFCA Designee
924-3986

DATE: November 4, 2009



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

November 4, 2009

Project# 1006600

09DRB-70316 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
 AGREEMENT
 (2YR SIA)

BRASHER AND LORENZ, INC agent(s) for NEW LIFE HOMES, INC request(s) the referenced/
 above action(s) for all or a portion of Lot(s) 111C, **TOWN OF ATRISCO GRANT Unit(s) 6**, zoned
 SU-1 PRD, located on the south side of DELIA AVE SW between 69TH ST SW and BATAAN DR SW
 containing approximately 2.43 acre(s). (K-10)

<p>AMAFCA No comment.</p>
<p>COG MRCOG staff have no comment on the proposed development application.</p>
<p>TRANSIT Adjacent and nearby routes Route #155, Coors route, passes near the site on Coors. Adjacent bus stops Nearest Bus Stop is approximately 1000' south from the property on Coors, at the intersection of Coors & Gonzales. Site plan requirements None Large site TDM suggestions None. Other information None.</p>
<p>ZONING ENFORCEMENT No comment.</p>
<p>NEIGHBORHOOD COORDINATION Letters sent to: Alamosa NA (R) West Side Merchants Assoc. (R)</p>
<p>APS Town of Atrisco Grant Unit 6, Lot 111C, is located on the south side of Delia Ave SW between 69th St SW and Bataan Dr SW. The owner of the above property requests a Major 2 Year Extension of Subdivision Improvements Agreement (2 YR SIA) for a development that will consist of 48 multi-family units. This will impact Alamosa Elementary School, Truman Middle School, and West Mesa High School. Currently, Alamosa Elementary and Truman Middle School are exceeding capacity; West Mesa High School</p>

has excess capacity.

Loc No	School	2009-10 40th Day	2009-10 Capacity	Space Available
210	Alamosa	698	647	-51
475	Truman	1,197	1,152	-45
570	West Mesa	1,974	2,632	658

Residential Units: 48

Est. Elementary School Students: 13

Est. Middle School Students: 6

Est. High School Students: 6

Est. Total # of Students from Project: 25

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - utilized Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

POLICE DEPARTMENT

See file for informational comments.

FIRE DEPARTMENT

No comment.

PNM ELECTRIC & GAS

No comment.

COMCAST

No comment.

QWEST

Concerning the subject case number(s), Qwest has an aerial facility line on the east side of the property near Bataan Dr SW and Delia Ln SW. Qwest will require payment for the relocation of the aerial line, and also will need additional easements; a pocket easement will be requested in the southern portion of the property line for an anchor and down guy, and a PUE will be requested along the southern, eastern and northern portions of the

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: November 4, 2009
Zone Atlas Page: K-10
Notification Radius: 100 Ft.

Project# 1006600
App# 09DRB-70316

Cross Reference and Location: DELIA AVE SW BETWEEN 69TH ST SW AND
BATAAN DR SW

Applicant: NEW LIFE HOMES INC
PO BOX 90486
ALBUQUERQUE, NM 87199

Agent: BRASHER & LORENZ
2201 SAN PEDRO NE
ALBUQUERQUE, NM 87110

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: OCTOBER 16, 2009
Signature: ERIN TREMLIN

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OWN ER ST ATE	OWN ER ZIP CODE	PR OP ER TY CL AS S	TA X DI ST RI CT	LEGAL	AC RE S
1	101005 744009 040621	NLH 2	PO BOX 9 0486	ALBU QUE RQU E	N M	87 19 9	R	A1 A	TR 111-A PLAT OF TRACT 111- A UNIT NO 6 TOWN OF ATRISCOGRANT CO NT 9997 AC	1.0 014 849 8
2	101005 744308 040620	LOVATO DANIEL P & YVONNE M	401 69TH ST SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 011 00QCARLOS REY	0.1 614 029 9
3	101005 750313 741411	J & S DEVEL INC % U RRUTIA FRANCISCO D & GARCES- TAMAYO ODALYS	6604 CHU RCHILL R D SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	LT B-2P1 BLK T-1 PLAT OF LOTS A-1, A-2, B- 1, B-2, C-1, C-2BLOCK T- 1 CARLOS REY SUBDIVISION CONT 0711 AC	0.0 709 829 5
4	101005 750613 841410	URRUTIA FRANCISC O & ODALIS GARCE S TAMAYO	6604 CHU RCHILL R D SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	LT C-1P1 BLK T-1 PLAT OF LOTS A-1, A-2, B- 1, B-2, C-1, C-2BLOCK T- 1 CARLOS REY SUBDIVISION CONT .0711 A C	0 0 702 203 8
5	101005 751214 141408	ESPINO GERARDO	301 BATA AN DR S W	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 1 BLK T- 1 CARLOS REY SUBD CONT 6600 SF M/L	0.1 546 575 3
6	101005 749007 340413	MINNEAR DALPHEN E M	412 68TH ST SW	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 007 00SCARLOS REY	0.1 616 521 9
7	101105 701913 530921	AGUILAR CESAR A	306 BATA AN RD S W	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 034 F CARLOS REY SUB	0.1 492 347 9
8	101105 701511 730924	MEDINA ELOY M	316 BATA AN DR S W	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 031 F CARLOS REY SUB	0 1 401 958 3
9	101105 700914 330920	LUJAN JOSE O & MA RIA GUADALUPE	2913 ELD ER CT SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	*036 F CARLOS REY ADDN	0.2 025 122 6
10	101005 743207 640601	DELGADO GERARD O	400 AIRP ORT DR S W	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 010 00QCARLOS REY	0.1 856 785
11	101005 750913 941409	J & S DEVELOPMEN T INC	504 LOUIS IANA BLV D SE	ALBU QUE RQU E	N M	87 10 8	R	A1 A	LT C-2P1 BLK T-1 PLAT OF LOTS A-1, A-2, B- 1, B-2, C-1, C-2BLOCK T- 1 CARLOS REY SUBDIVISION CONT .0711 A C	0.0 685 550 4
12	101105 702610 430927	HERNANDEZ ROMA N A & STEPHANIE R	402 BATA AN DR S W	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 028 F CARLOS REY SUB	0.1 716 274 5
13	101005 752210 141309	JAMES WALKER CLA RENCE ETUX	401 BATA AN DR S W	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 11 BLK T CARLOS REY SUBD CONT 6600 S F M/L	0.1 521 170 5
14	101005 752309 641308	NOLAND JEAN	405 BATA AN DR S W	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 12 BLK T CARLOS REY SUBD CONT 6600 S F M/L	0 1 474 420 3
15	101105 701910	VALDEZ AGUSTIN JR & NELLIE D	404 BATA AN DR S	ALBU QUE RQU E	N M	87 12	R	A1 A	* 027 F CARLOS REY SUB	0.1 431

	030928		W	RQUE		1					2004
16	101105 702109 330929	PEREA MARY C	408 BATA AN DR S W	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 026 F CARLOS REY ADD		0 1 387 258 9
17	101005 751608 141305	NUNEZ ANTONIO G	412 67TH ST SW	ALBU QUE RQUE E	N M	87 10 5	R	A1 A	* 7 BLK T CARLOS REY SUBD CONT 6600 SF M/L		0.1 563 533 4
18	101005 747112 341402	SANCHEZ G E	1434 EL P RADO AV E	LEM ON G ROV E	C A	91 94 5	V	A1 A	THE WLY 366.08 FT OF ELY 678.08 FT OF TH E NLY 182.40 FT OF TR 110 TOWN OF ATRIS CO GRANT UNIT 6 CONT 66,777 SF M/L		1.5 205 381 2
19	101005 747108 140310	LUCERO ORLANDO J & JULIA	405 68TH ST SW	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 010 R CARLOS REY		0.1 595 890 7
20	101105 702611 130926	CASAREZ IDELIA E	400 BATA AN DR S W	ALBU QUE RQUE E	N M	87 10 5	R	A1 A	* 029 F CARLOS REY SUB		0.1 446 453 8
21	101105 700308 030808	MELENDEZ TITO	413 BATA AN DR S W	ALBU QUE RQUE E	N M	87 10 5	R	A1 A	* 014 T CARLOS REY SUB		0.1 476 297 9
22	101005 744911 241401	SANCHEZ GUILLER MO E ETUX	1434 EL P RADO AV E	LEM ON G ROV E	C A	91 94 5	V	A1 A	THE EAST POR OF THE WEST 366.08 SF OF THE N 182.40 FT OF TR110 TOWN OF ATRIS CO GRANT UNIT 6 CONT 37,688 SF M/L		0.8 813 522
23	101105 700108 630809	HALL ROBERT M ET UX	409 BATA AN DR S W	ALBU QUE RQUE E	N M	87 10 5	R	A1 A	* 013 T CARLOS REY SUB		0.1 497 244 4
24	101005 749808 940410	BUCKNER HENRY W & LINDA	2019 JUS TO RD S W	ALBU QUE RQUE E	N M	87 10 5	R	A1 A	* 010 00SCARLOS REY		0.1 588 847 5
25	101005 750212 441404	J & S DEVELOPMEN T INC	504 LOUIS IANA BLV D SE	ALBU QUE RQUE E	N M	87 10 8	V	A1 A	*D2 OF REPL OF LT D BLK T- 1 CARLOS REY SUBD CONT 6194 SF M/L		0
26	101005 748908 040412	BARTH JAMES A & K ARLA A	408 68TH ST SW	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 008 00SCARLOS REY		0.1 604 373 5
27	101105 702311 730925	SEDILLO ANTHONY R & CHANTELL J CH AVEZ-SEDILLO	320 BATA AN DR S W	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 030 F CARLOS REY SUB		0.1 656 809 3
28	101005 751508 641306	MUNOZ GENOVENA	408 67TH ST SW	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 8 BLK T CARLOS REY SUBD CONT 6600 SF M/L		0.1 604 423 3
29	101005 747307 640309	GOMEZ MANUEL G & NORY ORDONEZ	409 68TH ST SW	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 011 R CARLOS REY		0 1 448 390 5
30	101005 749512 241403	J & S DEVELOPMEN T INC	504 LOUIS IANA SE	ALBU QUE RQUE E	N M	87 10 8	V	A1 A	*D-3 OF REPL OF LT D BLK T- 1 CARLOS REY SUBD CNT 6194 SF M/L		0.1 447 466 1
31	101105 702012 730922	AGUILAR HECTOR M & ANDREITA M	308 BATA AN DR S W	ALBU QUE RQUE E	N M	87 12 1	R	A1 A	* 033 F CARLOS REY SUB		0.1 690 104 7

3 2	101005 744507 340619	AGUILAR JR JESUS G ETUX	405 69TH ST SW	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 012 00QCARLOS REY	0.1 628 915 2
3 3	101005 751513 041406	CERECERES NORM A E	616 PITTA RD DR S W	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 3 BLK T- 1 CARLOS REY SUBD CONT 6600 SF M/L	0.1 448 566 8
3 4	101005 750013 641412	PACHECO JUDITH A	6612 CUR CHILL RD SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	LT B-1P1 BLK T-1 PLAT OF LOTS A-1, A-2, B- 1, B-2, C-1, C-2BLOCK T- 1 CARLOS REY SUBDIVISION CONT 0711 A C	0.0 706 137 6
3 5	101005 747009 541312	NLH 3 % NEW LIFE H OMES INC	7408 YAR WOOD NE	ALBU QUE RQU E	N M	87 10 9	R	A1 A	TR 111-B BULK LAND PLAT OF TRACTS 111- B & 111- C TOWN OFATRISCO GRANT CONT 7500 A C	0.7 000 700 9
3 6	101005 750912 641405	J & S DEVELOPMEN T INC	504 LOUIS IANA BLV D SE	ALBU QUE RQU E	N M	87 10 8	V	A1 A	* D-1 OF REPL OF LT D BLK T- 1 CARLOS REY SUBD CONT 6194 SF M/L	0.1 436 871 9
3 7	101005 749410 541311	NEWLIFE HOMES 4 L IMITED PARTNERSHI P	7408 YAR WOOD NE	ALBU QUE RQU E	N M	87 10 9	V	A1 A	TR 111-C BULK LAND PLAT OF TRACTS 111- B & 111- C TOWN OFATRISCO GRANT CONT 2.4231 AC	2.4 754 488 5
3 8	101005 749713 541413	RODRIGUEZ JOSE L & SANDRA M	12704 PIR U BLVD S E	ALBU QUE RQU E	N M	87 12 3	R	A1 A	LT A-2P1 BLK T-1 PLAT OF LOTS A-1, A-2, B- 1, B-2, C-1, C-2BLOCK T- 1 CARLOS REY SUBDIVISION CONT .0711 A C	0.0 717 468
3 9	101005 751313 641407	CERECERES NORM A E	616 PITTA RD DR S W	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 2 BLK T- 1 CARLOS REY SUBD CONT 6600 SF M/L	0.1 493 873 3
4 0	101005 749908 240409	SAN MIGUEL CARLO S & ROSA MARIA	409 67TH ST SW	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 011 00SCARLOS REY	0.1 430 242 8
4 1	101005 751209 841310	CHAVEZ MANUEL R ETUX	400 67TH ST SW	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 10 BLK T CARLOS REY SUBD CONT 6600 S F M/L	0.1 673 662
4 2	101105 701312 530923	GALLEGOS FELIX J & LORETTA	312 BATA AN DR S W	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 032 F CARLOS REY SUB	0.1 441 263 9
4 3	101005 751309 241307	SECRETARY HOUSI NG URBAN DEV C/O GEORGE H MAHON	1205 TEX AS AVE	LUBB OCK	TX	79 40 1	R	A1 A	* 9 BLK T CARLOS REY SUBD CONT 6600 SF M/L	0.1 598 119 5
4 4	101005 749413 441414	RODRIGUEZ JOSE L & SANDRA M	12704 PIR U BLVD S E	ALBU QUE RQU E	N M	87 12 3	R	A1 A	LT A-1P1 BLK T-1 PLAT OF LOTS A-1, A-2, B- 1, B-2, C-1, C-2BLOCK T- 1 CARLOS REY SUBDIVISION CONT .0711 A C	0.0 704 485 3
4 5	101005 750007 640408	FRESCAS GARCIA	413 67TH ST SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 012 00SCARLOS REY	0.1 459 047 1
4 6	101005 748708 640411	ROMERO JOHN M E TUX	1404 SEC RET VALL EY DR SW	ALBU QUE RQU E	N M	87 12 1	R	A1 A	* 009 S CARLOS REY	0 1 776 974 7
4 7	101005 746107 940311	MOYA ALFRED O ET UX	404 69TH ST SW	ALBU QUE RQU E	N M	87 10 5	R	A1 A	* 009 00RCARLOS REY	0.1 830 275 7

OR CURRENT RESIDENT
101105701913530921
AGUILAR CESAR A
306 BATAAN RD SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005748908040412
BARTH JAMES A & KARLA A
408 68TH ST SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005751513041406
CERECERES NORMA E
616 PITTARD DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005751214141408
ESPINO GERARDO
301 BATAAN DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005747307640309
GOMEZ MANUEL G & NORLY
ORDONEZ
409 68TH ST SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005750913941409
J & S DEVELOPMENT INC
504 LOUISIANA BLVD SE
ALBUQUERQUE, NM 87108

OR CURRENT RESIDENT
101005747108140310
LUCERO ORLANDO J & JULIA
405 68TH ST SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101105700308030808
MELENDEZ TITO
413 BATAAN DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005751508641306
MUNOZ GENOVENA
408 67TH ST SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005747009541312
NLH 3 % NEW LIFE HOMES INC
7408 YARWOOD NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101105702012730922
AGUILAR HECTOR M & ANDREITA M
308 BATAAN DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005749808940410
BUCKNER HENRY W & LINDA
2019 JUSTO RD SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005751209841310
CHAVEZ MANUEL R ETUX
400 67TH ST SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005750007640408
FRESCAS GARCIA
413 67TH ST SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101105700108630809
HALL ROBERT M ETUX
409 BATAAN DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005752210141309
JAMES WALKER CLARENCE ETUX
401 BATAAN DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101105700914330920
LUJAN JOSE O & MARIA GUADALUPE
2913 ELDER CT SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005749007340413
MINNEAR DALPHENE M
412 68TH ST SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005749410541311
NEWLIFE HOMES 4 LIMITED
PARTNERSHIP
7408 YARWOOD NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101005752309641308
NOLAND JEAN
405 BATAAN DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005744507340619
AGUILAR JR JESUS G ETUX
405 69TH ST SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101105702611130926
CASAREZ IDELIA E
400 BATAAN DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005743207640601
DELGADO GERARDO
400 AIRPORT DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101105701312530923
GALLEGOS FELIX J & LORETTA
312 BATAAN DR SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101105702610430927
HERNANDEZ ROMAN A & STEPHANIE
R
402 BATAAN DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005744308040620
LOVATO DANIEL P & YVONNE M
401 69TH ST SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101105701511730924
MEDINA ELOY M
316 BATAAN DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005746107940311
MOYA ALFRED O ETUX
404 69TH ST SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005744009040621
NLH 2
PO BOX 90486
ALBUQUERQUE, NM 87199

OR CURRENT RESIDENT
101005751608141305
NUNEZ ANTONIO G
412 67TH ST SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101005750013641412
PACHECO JUDITH A
6612 CURCHILL RD SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005748708640411
ROMERO JOHN M ETUX
1404 SECRET VALLEY DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005751309241307
SECRETARY HOUSING URBAN DEV
C/O GEORGE H MAHON
1205 TEXAS AVE
LUBBOCK, TX 79401

OR CURRENT RESIDENT
101105701910030928
VALDEZ AGUSTIN JR & NELLIE D
404 BATAAN DR SW
ALBUQUERQUE, NM 87121

Project# 1006600
JEANETEE BACA
Alamosa MA
901 FIELD SW
ALBUQUERQUE, NM 87121

Project# 1006600
HUMBERTO PEREZ
West Side Merchants Assoc.
701B OLD COORS SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101105702109330929
PEREA MARY C
408 BATAAN DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005749908240409
SAN MIGUEL CARLOS & ROSA
MARIA
409 67TH ST SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101105702311730925
SEDILLO ANTHONY R & CHANTELL J
CHAVEZ-SEDILLO
320 BATAAN DR SW
ALBUQUERQUE, NM 87121

Project# 1006600
BRASHER & LORENZ
2201 SAN PEDRO NE
ALBUQUERQUE, NM 87110

Project# 1006600
JERRY GALLEGOS
Alamosa MA
417 65TH ST SW
ALBUQUERQUE, NM 87121

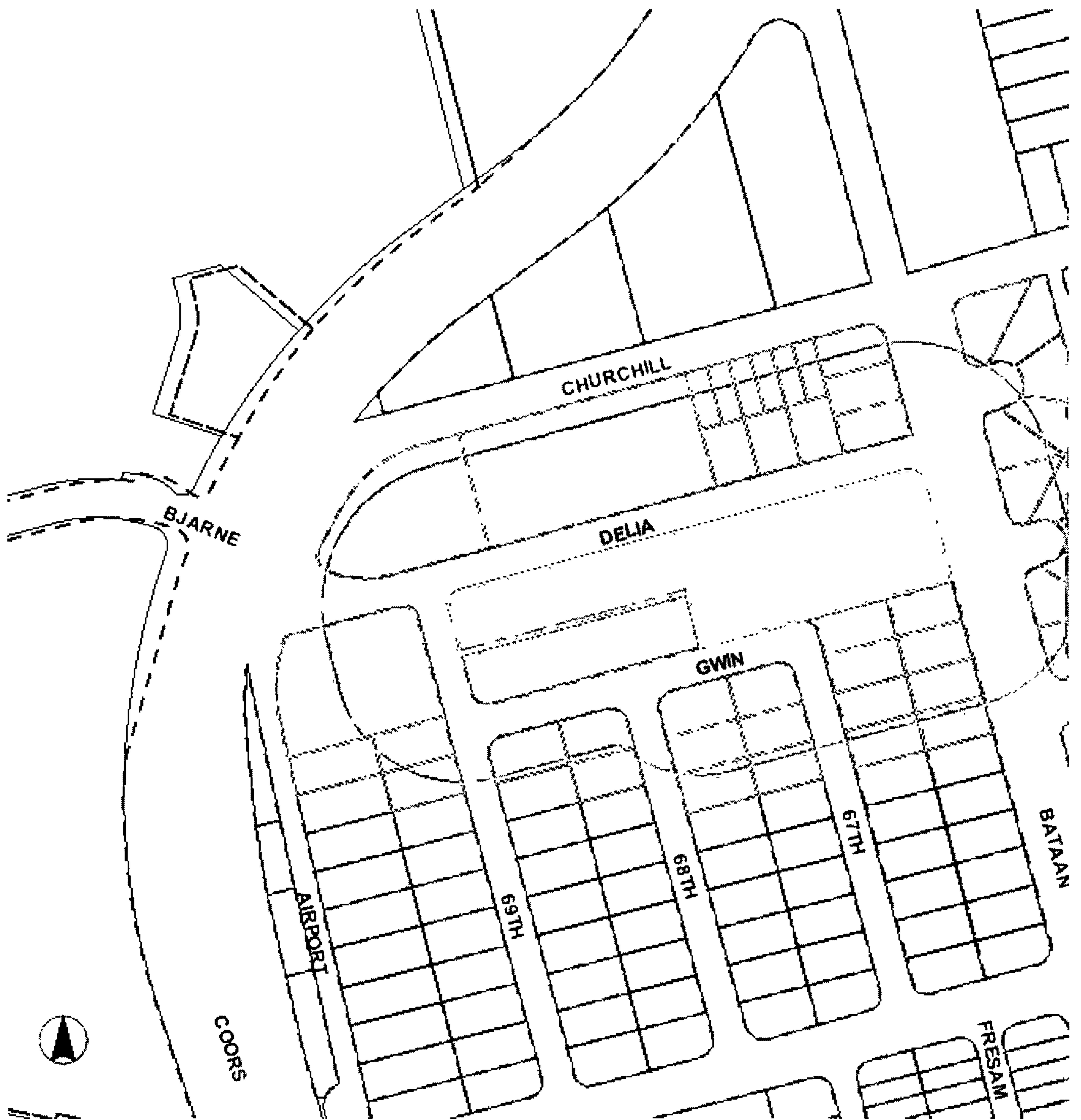
OR CURRENT RESIDENT
101005749713541413
RODRIGUEZ JOSE L & SANDRA M
12704 PIRU BLVD SE
ALBUQUERQUE, NM 87123

OR CURRENT RESIDENT
101005747112341402
SANCHEZ G E
1434 EL PRADO AVE
LEMON GROVE, CA 91945

OR CURRENT RESIDENT
101005750613841410
URRUTIA FRANCISCO & ODALIS
GARCES TAMAYO
6604 CHURCHILL RD SW
ALBUQUERQUE, NM 87121

Project# 1006600
NEW LIFE HOMES INC
PO BOX 90486
ALBUQUERQUE, NM 87199

Project# 1006600
LARRY NELSON
West Side Merchants Assoc.
929 OLD COORS SW
ALBUQUERQUE, NM 87105



ROUTING SHEET FOR DRB & EPC REVIEWS

Date: 10/20/09

The following case or applications are being sent to your command and/or office for review:

DRB: 1006600

EPC: _____

Please return originals to Lupe Gallegos @ 768-2175, APD/Planning Division, by: 10/28/09 (to expedite fax comments forms to 768-2324 on/before date).

_____ **VALLEY AREA COMMAND**
Yvette Garcia

_____ **NORTHWEST AREA COMMAND (Cottonwood Sub)**
Pete Gelabert

_____ **SOUTHEAST AREA COMMAND**
Laura Kuehn

✓ _____ **SOUTHWEST AREA COMMAND**
Bill Jackson

_____ **CRIME PREVENTION**
(FH and NE) Steve Sink

REVIEWED BY: Bill Jackson PHONE: 839-6443

DATE: 10/21/09

DRB/EPC/LUCC APPLICATION CHECKLIST

A review of DRB Case 1006600 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/Explain:
- Traffic control devices/Explain:
- Burglaries/Explain: *more potential targets*
- Speeding violations/Explain:
- Lighting issues/Explain: *need for security lighting for residents*
- Maintenance of landscaping/Explain: *need for proper maintenance with other properties - this has not been a problem*
- Robbery/Explain:
- Assault/Explain:
- Shoplifting/Explain:
- Accidents in the parking lot/Explain:
- A higher probability of crimes during evening/weekend hours/Explain:
- Commercial burglary/Explain:
- Rape/Explain:
- Adequate security/Explain:
- Alarm security/Explain:
- Alarm response i.e. false alarms, etc/Explain:
- Transients/Explain:
- Need for neighborhood association/Explain:
- Other: *Minimal impact in area due to other development already in place for past several years.*



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 4, 2009**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1006600
09DRB-70316 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

BRASHER AND LORENZ, INC agent(s) for NEW LIFE HOMES, INC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 111C, **TOWN OF ATRISCO GRANT Unit(s) 6**, zoned SU-1 PRD, located on the south side of DELIA AVE SW between 69TH ST SW and BATAAN DR SW containing approximately 2.43 acre(s). (K-10)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 19, 2009.



COMPLETED 01/03/08 SH
DRB CASE ACTION LOG (EPC SDP - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70365 Project # 1006600
Project Name: TOWN OF ATRISCO GRANT UNIT 6
Agent: GARRETT SMITH LTD Phone No.: 714-6968

Your request was approved on 11/21/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: transp. comments
- UTILITIES: _____
- CITY ENGINEER / AMAFCA: SIA. 3 Copies
- PARKS / CIP: _____
- PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On: 11/21/07



DRB CASE ACTION LOG (EPC SDP – BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70365 Project # 1006600
 Project Name: TOWN OF ATRISCO GRANT UNIT 6
 Agent: GARRETT SMITH LTD Phone No.: 714-6-10968

Your request was approved on 11/21/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: transp. comments
- UTILITIES: _____
- CITY ENGINEER / AMAFCA: SIA.
3 Copies
- PARKS / CIP: _____
- PLANNING (Last to sign): _____



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Created On: 11/21/07



**DEVELOPMENT REVIEW BOARD
Action Sheet**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 21, 2007 9:00 AM
MEMBERS:

Sheran Matson, AICP, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1005536**
07DRB-70344 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70345 MINOR - TEMP DEFR
SWDK CONST

ISAACSON & ARFMAN PA agent(s) for BCR
CONSTRUCTION request(s) the above action(s) for all or
a portion of Lot(s) 57-59, **ROSSITER ADDITION (to be
known as 12TH STREET VILLAS)** zoned R-2, located
on 12TH ST NW BETWEEN CANDELARIA RD NW
AND GRIEGOS RD NW containing approximately 1.1
acre(s). (G-14) **WITH THE SIGNING OF THE
INFRASTRUCTURE LIST DATED 11/21/07 AND WITH
AN APPROVED GRADING AND DRAINAGE PLAN
ENGINEER STAMP DATED 10/25/07 THE
PRELIMINARY PLAT WAS APPROVED. THE
TEMPORARY DEFERRAL OF CONSTRUCTION OF
SIDEWALKS ON THE INTERIOR STREETS WAS
APPROVED AS SHOWN ON EXHIBIT C IN THE
PLANNING FILE.**

2. **Project# 1003520**
07DRB-70337 MAJOR - SUBD IMP
AGMT (SIA)

MARK GOODWIN & ASSOCIATES agent(s) for WASHINGTON STREET INVESTORS, LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, **NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as BENJAMIN PLACE SUBD)**, zoned RD/3 DU/AC, located on GLENDALE AVE NE BETWEEN BARSTOW NE AND VENTURA NE containing approximately 2 acre(s). (B-20) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

3. **Project# 1006854**
07DRB-70340 VACATION OF PUBLIC
EASEMENT
07DRB-70341 VACATION OF PUBLIC
RIGHT-OF-WAY
07DRB-70342 BULK LAND VARIANCE
07DRB-70343 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **UNPLATTED LAND SECTION 15 (to be known as THE TRAILS UNIT 4)**, zoned SU2-UR35, SU2-SRLL18, SU-1 FOR OPEN SPACE, SU2-TC65 & SU2-NMU35, located on UNIVERSE BLVD NW BETWEEN AVENIDA DE JAIMITO NW AND WOODMONT AVE NW containing approximately 34.85 acre(s). (C-10) **DEFERRED TO 12/5/07 AT THE AGENT'S REQUEST.**

4. **Project# 1003703**
07DRB-70338 VACATION OF PUBLIC
RIGHT-OF-WAY

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 1-P1 & 15-P1, Block(s) 2, **NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as EAGLE'S VIEW ESTATE)**, zoned RD/3du/a, located on VENTURA ST NE BETWEEN EAGLE ROCK AVE NE AND OAKLAND AVE NE containing approximately 6 acre(s). (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

5. **Project# 1003655**
07DRB-70339 VACATION OF PUBLIC
RIGHT-OF-WAY

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15-17 & a portion of Lot 18, Block 1, **NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as LA VISTA @ DESERT RIDGE TRAILS)**, zoned RD/5 & 7du/a, located on WYOMING BLVD NE BETWEEN EAGLE ROCK NW AND MODESTO NE containing approximately 2.5 acre(s). (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

6. **Project# 1006868**
07DRB-70302 MAJOR - PRELIMINARY
PLAT APPROVAL
- TIERRA WEST LLC agent(s) for PACIFIC PASEO DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 1A, Block(s) 35, **NORTH ALBUQUERQUE ACRES Unit(s) B to be known as DEL NORTE PLAZA**, zoned SU-2 FOR C-2 & IP, located on PASEO DEL NORTE NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE containing approximately 6.7402 acre(s). (C-18) *[Deferred from 10-31-07]* **DEFERRED TO 11/28/07 AT THE AGENT'S REQUEST.**

07DRB-70389 MINOR - SDP FOR
SUBDIVISION

07DRB-70390 MINOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for PACIFIC PASEO DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 1A, Block(s) 35, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2 FOR C2 & IP, located on SAN PEDRO DR NE BETWEEN PASEO DEL NORTE NE AND HOLLY AVE NE containing approximately 8.6 acre(s). (C-18) **DEFERRED TO 11/28/07 AT THE AGENT'S REQUEST.**

7. **Project# 1004404**
07DRB-70296 VACATION OF PUBLIC
EASEMENT
07DRB-70297 BULK LAND VARIANCE
07DRB-70298 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 1-8, OS-1 & OS-2, 12, **THE TRAILS Unit 3A**, zoned SU-2 UR, SU-2 S RLL, SU-2SRSL, SU-2, SU-1, SU-VC, located on PASEO DEL NORTE NW BETWEEN WOODMONT AVE NW AND RAINBOW BLVD NW containing approximately 158.67 acre(s). (C-8 & C-9) *[Deferred from 10/31/07 & 11/14/07]* **DEFERRED TO 11/28/07 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

8. **Project# 1004875**
07DRB-70382 EPC/ SDP FOR
BUILDING PERMIT
07DRB-70383 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- ALBUQUERQUE MONTHLY MEETING OF THE RELIGIOUS SOCIETY OF FRIENDS request(s) the above action(s) for all or a portion of Lot(s) 19-25, Block(s) 2, **IVES ADDITION** zoned SU2 FOR S-R, located on 5TH ST NW BETWEEN BELLAMAH NW AND ASPEN AVE NW containing approximately 0.57 acre(s). [REF: 06EPC00627/00628] (J-14) *[Catalina Lehner – EPC Planner]* **DEFERRED TO 12/5/07 AT THE AGENT'S REQUEST.**

9. **Project# 1003714**
07DRB-70364 EPC/SDP FOR BUILDING PERMIT
- ALEXANDER FINALE agent(s) for ASSOCIATED HOME & RV SALES, INC request(s) the above action(s) for all or a portion of Tract(s) C-3-A, **ADOBE WELLS SUBDIVISION**, zoned SU1 FOR IPC-2/R-2, located on EAGLE RANCH NE BETWEEN WESTSIDE NE AND COORS BYPASS BLVD NE containing approximately 2.29 acre(s). (B-13) *[EPC Planner - Carol Toffaleti][Deferred from 11/14/07]*. **INDEFINITELY DEFERRED ON A NO SHOW.**

- ~~10. Project# 1006600~~
07DRB-70365 EPC/ SDP FOR BUILDING PERMIT

GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-C, **TOWN OF ATRISCO GRANT Unit 6**, zoned SU-1 PRD /20 DU-A, located on BATAAN DR SW BETWEEN DELIA AVE SW AND GWIN ST SW containing approximately 3.2 acre(s). (K-10) *[EPC Planner - Anna DiMambro]* *[[Deferred from 11/14/07]*. **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/21/07 THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND FOR 3 COPIES OF THE SITE PLAN AND TO TRANSPORTATION FOR INDICATION OF ADDITIONAL RAMPS AND FOR ALL BUILD-NOTES TO REFER TO CITY STANDARDS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1000512**
07DRB-70388 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for SANDRA L. FENKETICH request(s) the above action(s) for all or a portion of Lot(s) 16-A, **WEST HIGHLANDS AT HIGH DESERT**, zoned R-1, located on SAND CHERRY NE BETWEEN ELATA CT NE AND PINO ARROYO CT NE containing approximately 0.503 acre(s). (E-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE, TO RECORD, AGIS DXF FILE, AND FOR ADROA SIGNATURE.**
12. **Project# 1006751**
07DRB-70385 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BARELAS CDC/CITY OF ALBUQUERQUE agent(s) for MRS. IRMA V. LOPEZ request(s) the above action(s) for all or a portion of Tract(s) 4, zoned SU2-R1, located on PACIFIC AVE SW BETWEEN 4TH ST SW AND BARELAS RD SW containing approximately 0.215 acre(s). (K-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND TO RECORD THE PLAT AND TO TRANSPORTATION FOR ADDITIONAL RIGHT-OF-WAY FOR SIDEWALK IF UNEXISTING.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project# 1006936**
07DRB-70377 SKETCH PLAT REVIEW
AND COMMENT
- RIO GRANDE SURVEYING CO. agent(s) for CITY OF ALBUQUERQUE REAL ESTATE OFFICE request(s) the above action(s) for all or a portion of Block(s) 29 **TRANSPORTATION CENTER**, zoned SU3, located on 2ND ST SW BETWEEN LEAD SW AND GOLD SW containing approximately 3.3 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
14. **Project# 1006939**
07DRB-70381 SKETCH PLAT REVIEW
AND COMMENT
- WAYJOHN SURVEYING INC. agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit(s) 3**, zoned M1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.91 acre(s). (H-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
15. **Project# 1006940**
07DRB-70384 SKETCH PLAT REVIEW
AND COMMENT
- COMMUNITY SCIENCES CORPORATION agent(s) for FABIAN IVARRA request(s) the above action(s) for all or a portion of Lot(s) 17-20 Block(s) 12, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C2, located on 90TH ST SW BETWEEN BRIDGE SW AND VIA DEL ORO SW containing approximately 1.2 acre(s). (K-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
16. Other Matters: None

ADJOURNED: 11:10

November 9, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair

FROM: Anna DiMambro, Planner ^{AD}

SUBJECT: Project # 1006600

On September 20, 2007, the Environmental Planning Commission approved Project # 1006600, case number 07EPC 40037, a request to amend a site development plan for subdivision for Lots 111B and 111C, Town of Atrisco Grant, Unit 6, located on Bataan SW between Delia Ave SW and Gwin St SW.

Upon DRB approval of the site development plan for subdivision, the applicant will have satisfied all of the EPC conditions of approval. Fulfillment of City Engineer conditions should be verified with the City Engineer.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3924.

Thank you.



Item# 10
Project# 1006600
Hearing Date: Nov. 14, 2007

110
SU-1

DEJA

111C

SU-1

111B

10

11

12

13

8

9

0

D2
R-2

D1

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

10/06/2009 Issued By: PLNSDH

10/06/2009
10/06/2009
10/06/2009

Permit Number: 2009 070 316 **Category Code 910**

Application Number: 09DRB-70316, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: DELIA AVE SW BETWEEN 69TH ST SW AND BATAAN DR SW

Project Number: 1008800

Applicant
New Life Homes, Inc

Po Box 90486
Albuquerque NM 87199
293-7553

Agent / Contact
Brasher And Lorenz Inc
Dennis Lorenz
2201 San Pedro Ne- Bld #1- Ste 220
Albuquerque NM 87110

dennisl@brasherlorenz.com

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

10/6/2009 10:44AM LOC: ANN
WSH 007 TRANS# 0008
RECEIPT# 00121520-00121520
PERMIT# 2009070316 TRSCXG
Trans Amt \$145.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$145.00
CHANGE



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): BRASHER + LORENZ PHONE: 888 6088
 ADDRESS: 2201 SAN PEDRO NE FAX: 888-6088
 CITY: ALBU STATE NM ZIP 87110 E-MAIL: BENNISL@BRASHERLORENZ.COM
 APPLICANT: NEW LIFE HOMES, INC PHONE: 293-7553
 ADDRESS: PO BOX 90486 FAX: 293-7049
 CITY: ALBU STATE NM ZIP 87199 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 DESCRIPTION OF REQUEST: SIA EXTENSION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: 111-C Block: - Unit: 6
 Subdiv/Addn/TBKA: TOWN OF ATRISCO GRANT
 Existing Zoning: SU-1 PRD 2000 AC Proposed zoning: NA MRGCD Map No NA
 Zone Atlas page(s): 1210 UPC Code: 101005749410541311

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
07 DRB 70365 07 DRB 70367 PROJ 1006600 07 EPC 40023

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: NA Total area of site (acres): 2.43
 LOCATION OF PROPERTY BY STREETS: On or Near: DELIA AVE SW
 Between: 69TH ST SW and BATAAN DR SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 10.2.09
 (Print) DENNIS LORENZ Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07 DRB - 70316</u>	<u>SIAE</u>		<u>\$ 50.00</u>
	<u>ADV</u>		<u>\$ 75.00</u>
	<u>LMF</u>		<u>\$ 20.00</u>
			\$ _____
			\$ _____
			\$ _____
			Total
			<u>\$ 145.00</u>

Hearing date November 4, 2009

[Signature] 10.6.09
 Planner signature / date

Project # 1006600

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DENNIS LORENZ

Applicant name (print)

Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB - _____ - 70316

Planner signature / date
Project # 10016600

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from October 20, 2009 To November 4, 2009

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 10/6/09
(Applicant or Agent) (Date)

I issued 3 signs for this application, 10.6.09 [Signature]
(Date) (Staff Member)

DRB PROJECT NUMBER: 1006600



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

October 2, 2009

Jack Cloud, Chair
Development Review Board
City of Albuquerque
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: NEW LIFE HOMES 4
Tract 110-C, Town of Atrisco Grant, Unit 6
07 DRB 70365, Project 10066600
ZAP K-10

Dear Mr. Cloud:

On behalf of New Life Homes, Inc, we hereby request approval of a 24 month extension the Subdivision Improvements Agreement for the subject project. The project, zoned SU-1 for PRD 20 DU/Acre, proposes construction of a 48 unit multi-family residential development. The project site is located on Delia Avenue SW, between 69th Street SW and Bataan Drive SW. The project was granted Site Plan for Building Permit approval by the Environmental Planning Commission on September 20, 2007, and by the Development Review Board (DRB) on November 21, 2007. The Developer subsequently obtained building permit, and recorded a Subdivision Improvements Agreement (SIA), Figure 12, financially guaranteeing the off-site public infrastructure supporting the project. The current SIA expires December 21, 2009. Due to a failing construction economy the project was unable to obtain funding and was placed on hold.

The project has since secured funding and is proceeding to construction. Since the construction period will extend beyond the construction deadline of December 21, 2009 established by the current SIA we are making application to DRB to extend the construction deadline for an additional 24 months.

Attached are the DRB application and all required documentation. If you need additional information, or if I can be of any assistance, please feel free to call me at 888-6088.

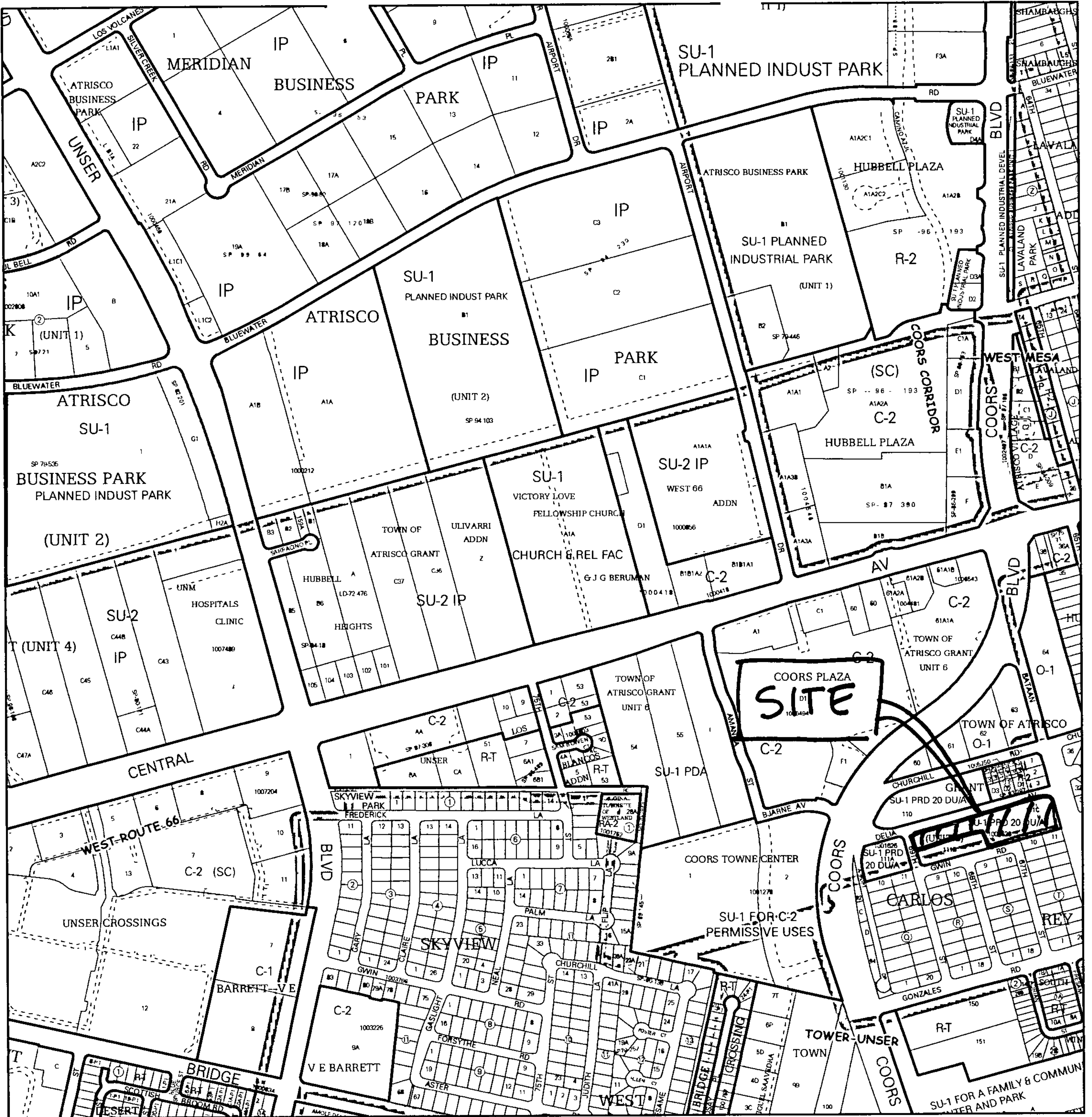
Sincerely,

BRASHER & LORENZ, INC.

Dennis A. Lorenz, PE

/dl/07522

encl



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500
Feet

ORIGINAL DRAWING IS 24 X 36

REVISIONS

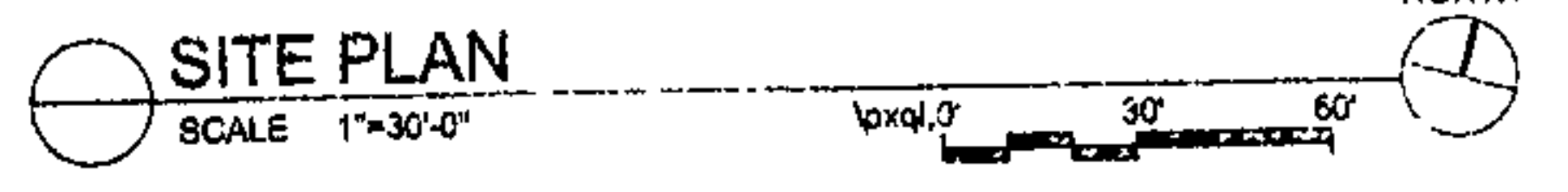
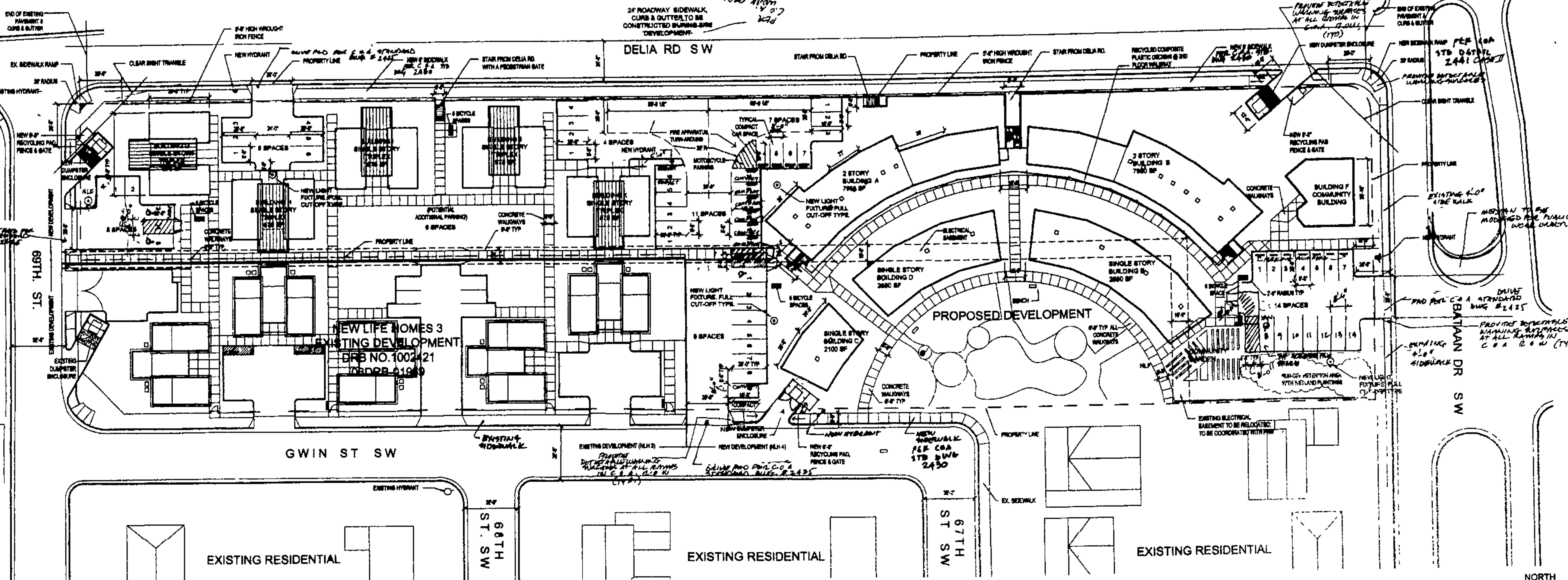
1	OCTOBER 8, 2007
2	NOVEMBER 8, 2007

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
87102
505/786-6988
FAX/243-4508

GARRETT SMITH LTD
ARCHITECTS & PLANNERS

NEW LIFE HOMES IV
DRB SUBMITTAL FOR BUILDING PERMIT
SITE PLAN

DRWN BY ALAM, B
DATE Nov 18, 2007



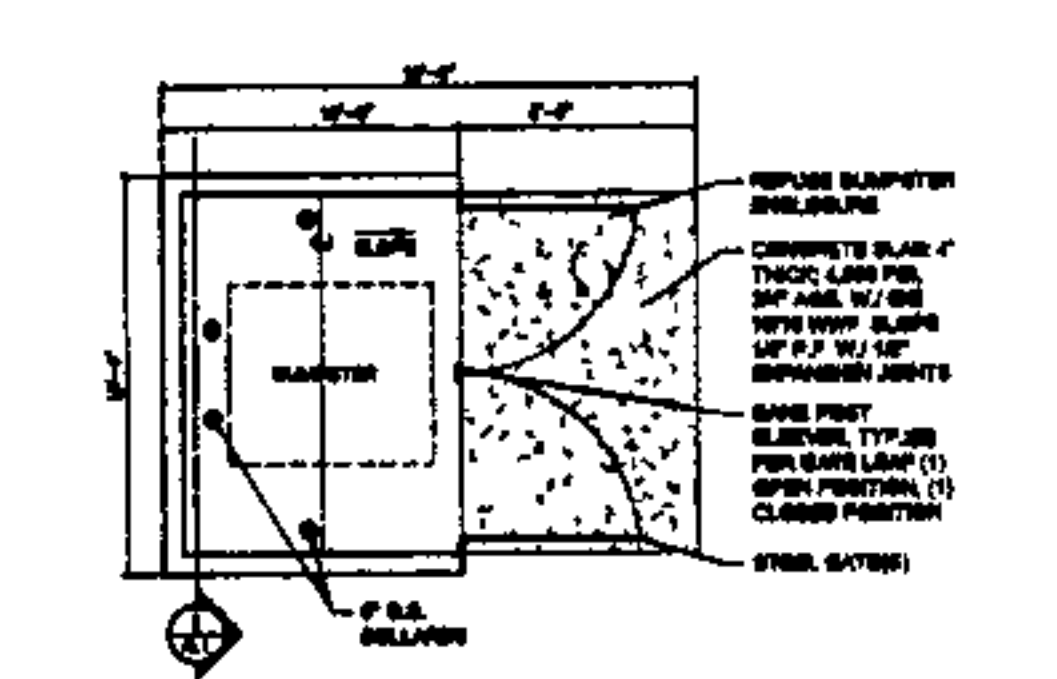
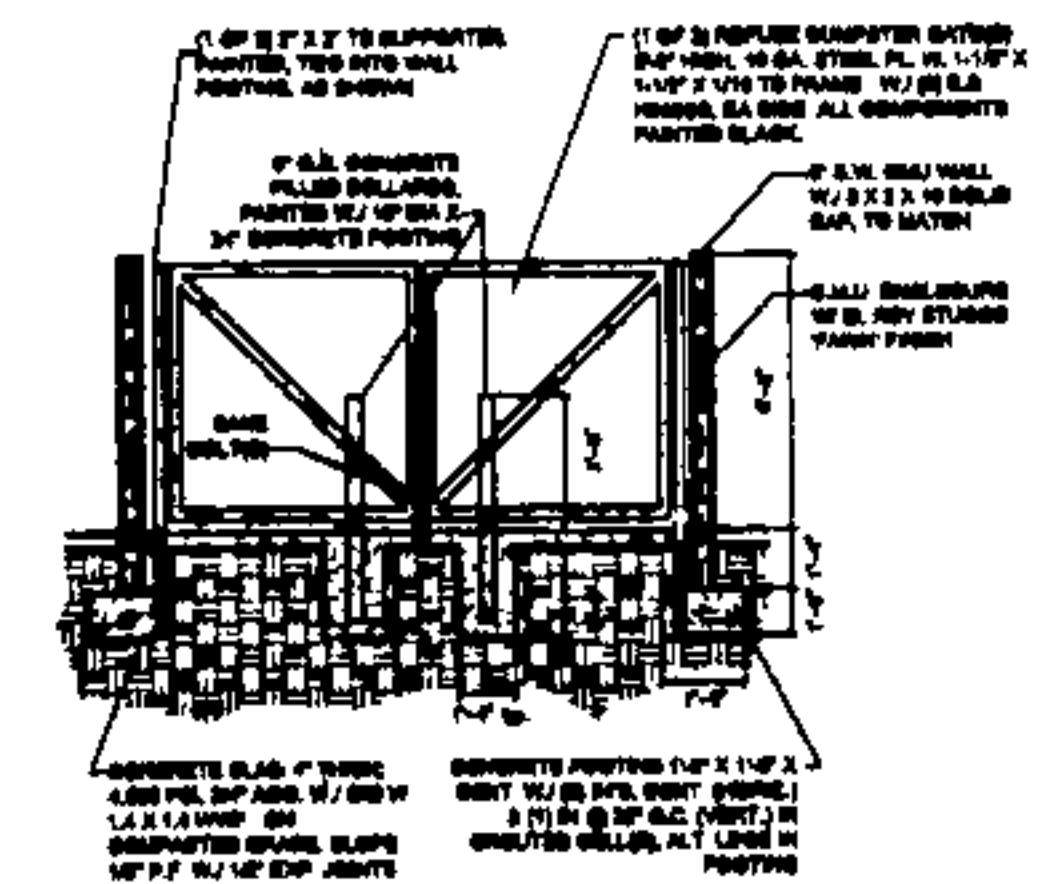
PROJECT NUMBER 10016602
Application Number 07 DRB-70365

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 4-20-07 and the Findings and Conclusions in the Official Notice of Decision are satisfied.

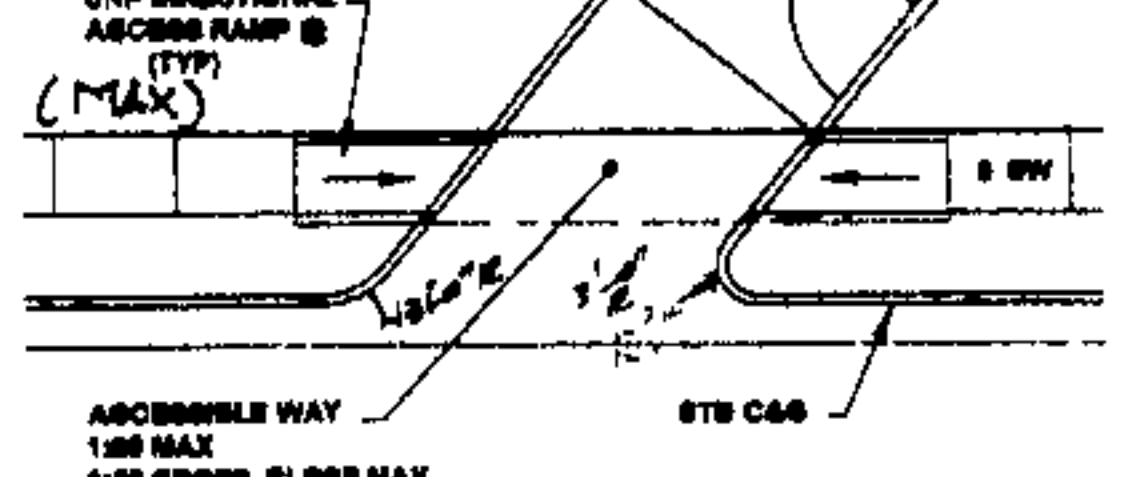
Is an Infrastructure List required? (Yes () No (X) If yes, then a set of approved DRB plans with a work order is required for any construction within a Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

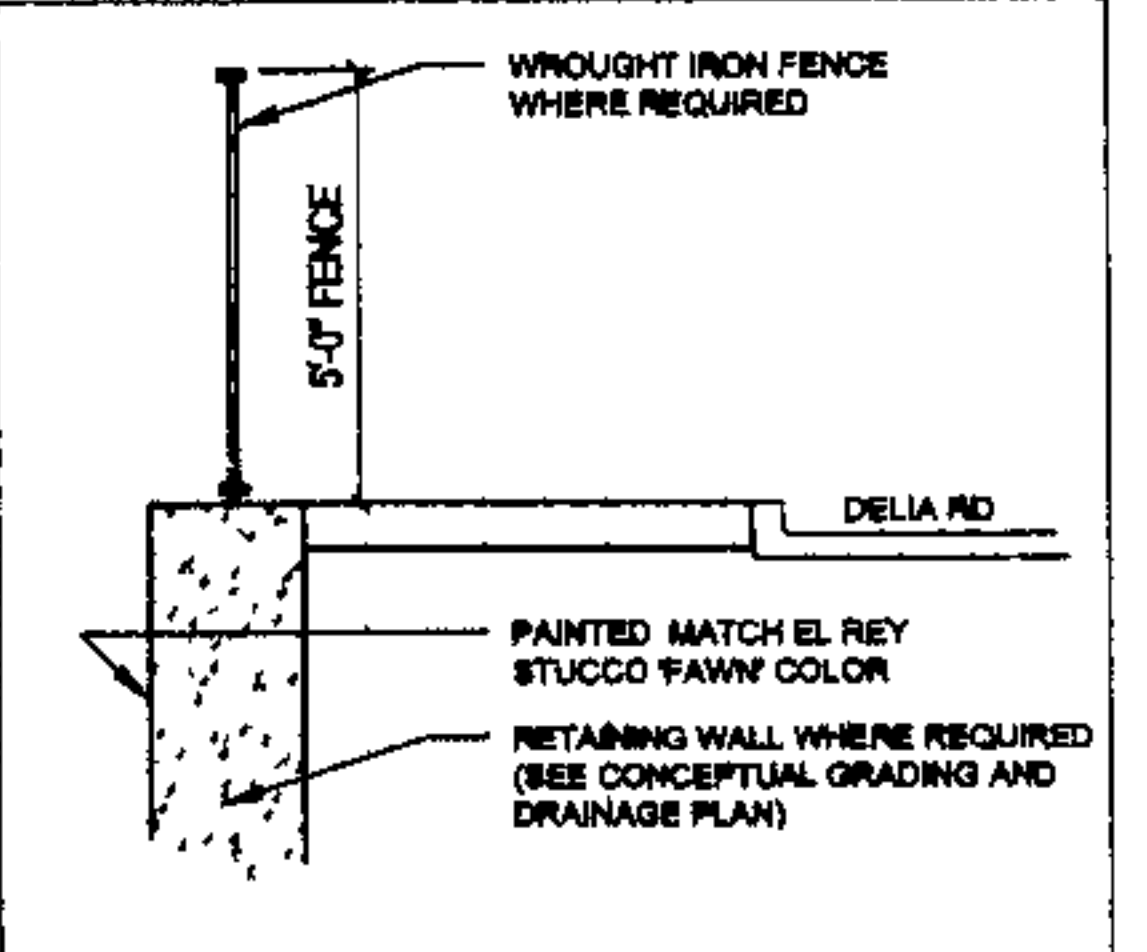
<i>[Signature]</i>	12/15/07
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	11/21/07
ABOWIA	Date
<i>[Signature]</i>	11/21/07
Christina Santora	Date
Public and Recreation Department	
<i>[Signature]</i>	11/3/08
Buddy J. Bingham	Date
City Engineer	
<i>[Signature]</i>	11/14/07
Michael Heltzer	Date
Solid Waste Management	
<i>[Signature]</i>	11/21/07
DRB Chairperson, Planning Department	Date



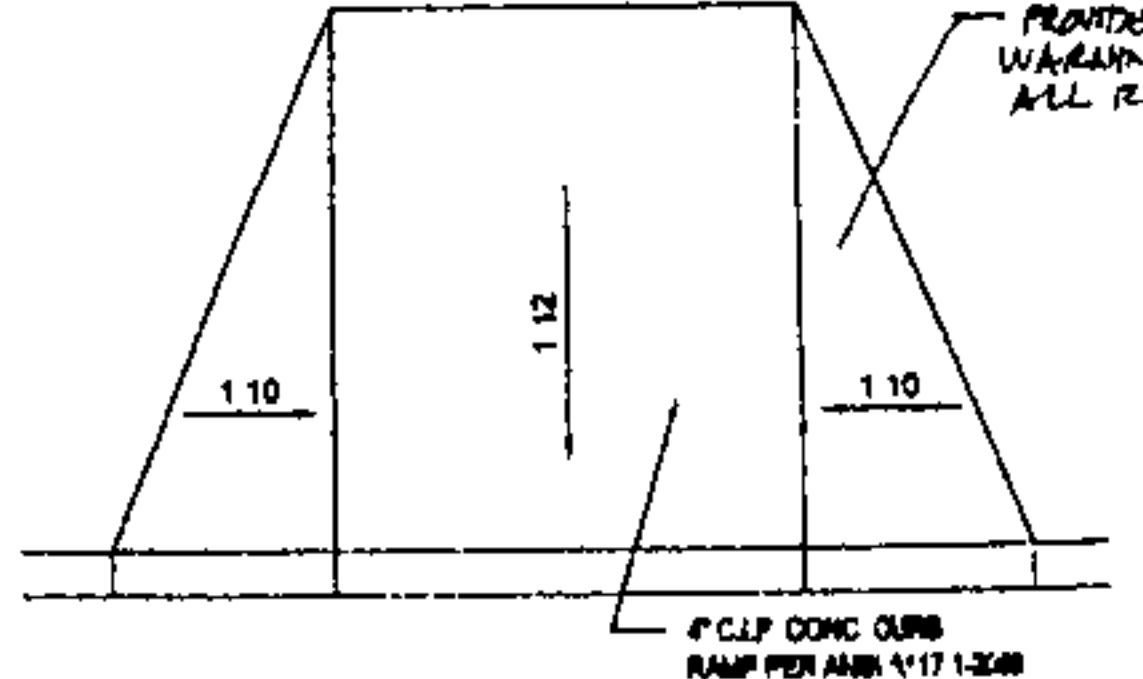
TRASH ENCLOSURE SECTION AND PLAN
SCALE 1/8"=1'-0"



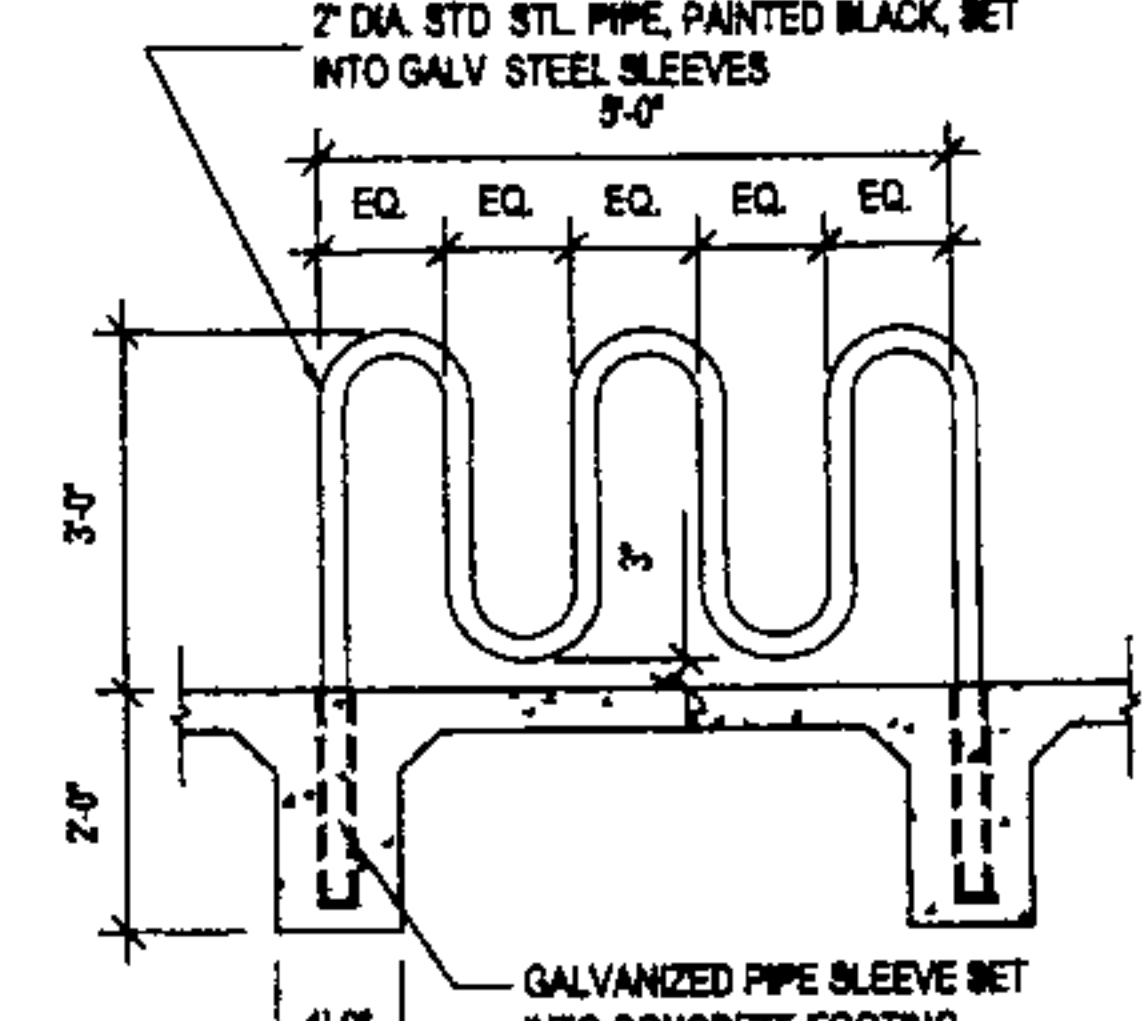
ACCESS RAMP @ REFUSE ENCLOSURE
SCALE: 1/2"=1'-0"



TYP NORTH PROP LINE RETAINING WALL TOP
NOT TO SCALE



ACCESS RAMP @ CURBS
SCALE NTS



BICYCLE RACK DETAIL
SCALE 3/4"=1'-0"

ALL COMPACT SPACES SHALL BE LABELLED 'COMPACT' OR 'OVERNIGHT'

ABBREVIATIONS

HYD AND FIRE HYDRANT
N.L.F. NEW LIGHT FIXTURE

BLDG USE	SQUARE FOOTAGE
A - RESIDENCE	7850 SF
B - RESIDENCE	7850 SF
C - RESIDENCE	2100 SF
D - RESIDENCE	2550 SF
E - RESIDENCE	2550 SF
F - COMMUNITY CENTER	1375 SF
TRIPLEX UNITS (5 @ 575 SF)	2875 SF
TOTAL	38,975 SF

PARKING REQUIREMENTS (PER CITY OF ALBUQUERQUE BUILDING CODE)

USE SPACES REQUIRED CALCULATIONS TOTALS
RESIDENCE (BLDG A,B,C,D,E, TRIPLEX) 1 1/2 SPACE PER BATH BATHS = 48 (15) 72 (TRANSIT REDUCTIONS, TRANSIT STOP WITHIN 300' = 10%
OWNER PROVIDED TRANSIT SHELTER WITHIN 300' = 5%) 72 (15%) -11
REQUIRED = 61

BICYCLE REQUIREMENTS

USE SPACES REQUIRED CALCULATIONS TOTALS
RESIDENCE 1 PER 2 D.U. 48 D.U./2 = 24
(BLDG A-E & TRIPLEXES) **24 REQUIRED & PROVIDED**

DRB SUBMITTING OFFICE
028-0811
PREPARED BY
GARY W. HARRIS
DATE

PARKING PROVIDED

(41 REG + 11 COMPACT + 4 H/C)	PROVIDED = 56
MOTORCYCLE	PROVIDED = 3
BICYCLES	PROVIDED = 24

ALL PARKING SPACES MEET COA DPM STANDARDS

DRB RESUBMITTAL ORIG'S.



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

September 30, 2009

Dennis Lorenz
Brasher + Lorenz
2201 San Pedro Dr. NE/87110
Phone: 505-888-6088/Fax: 505-888-6188

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Dennis:

Thank you for your inquiry of September 30, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) TRACT 111-C, TOWN OF ATRISCO GRANT, UNIT 6, LOCATED ON DELIA AVENUE SW BETWEEN 69TH STREET SW AND BATAAN DRIVE SW** Zone Map: **K-10**.

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this proposal and the contact names are as follows:

ALAMOSA N.A. (ALM) "R"

Jeanette Baca, 901 Field SW/87121 836-3281 (h)
Jerry Gallegos, 417 65th St. SW/87121 836-0668 (h)

WEST SIDE MERCHANTS ASSOC. (WSM) "R"

Larry Nelson, 929 Old Coors SW/87105 836-3330 (w)
Humberto Perez, 701B Old Coors SW/87105 489-2104 (c)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningnaform(05/22/08)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.**
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

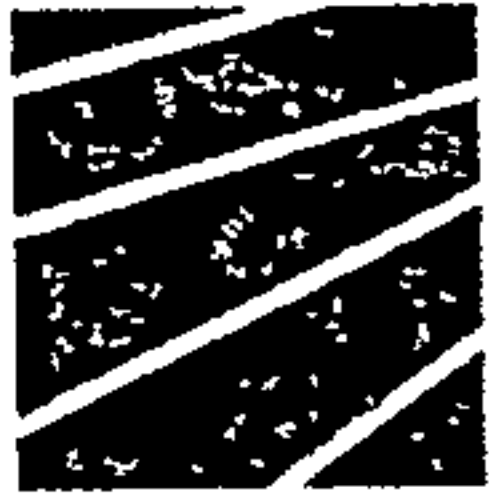
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

.....
(below this line for ONC use only)

Date of Inquiry: **09/30/09** Time Entered: **1:30 a.m.** ONC Rep. Initials: **siw**



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

October 1, 2009

Humberto Perez
West Side Merchants Association
701-B Old Coors SW
Albuquerque, New Mexico 87105

SUBJECT: NEW LIFE HOMES 4
Tract 111-C, Town of Atrisco Grant, Unit 6

Dear Mr. Perez:

Enclosed please find one copy of the Site Plan for Building Permit for the subject project. The project, zoned SU-1 for PRD 20 DU/Acre, proposes construction of a 48 unit multi-family residential development. The project site is located on Delia Avenue SW, between 69th Street SW and Bataan Drive SW. The project was granted Site Plan for Building Permit approval by the Environmental Planning Commission on September 20, 2007, and by the Development Review Board (DRB) on November 21, 2007. The Developer subsequently obtained building permit, and recorded a Subdivision Improvements Agreement (SIA), Figure 12, financially guaranteeing the off-site public infrastructure supporting the project. The current SIA expires December 21, 2009. Due to a failing construction economy the project was unable to obtain funding and was placed on hold.

The project has since secured funding and is proceeding to construction. Since the construction period will extend beyond the construction deadline of December 21, 2009 established by the current SIA we are making application to DRB to extend the construction deadline for an additional 12 months.

You are encouraged to attend the public hearing scheduled in approximately 30 days. The hearing date will be advertised in the Albuquerque Journal, and signs will be posted on the property. The hearing will be held in the DRB meeting room, basement level, Plaza Del Sol, 600 Second St. NW. The DRB application may be reviewed at Development Services Division at Plaza del Sol. If you need additional information, or if I can be of any assistance, please feel free to call me at 888-6088.

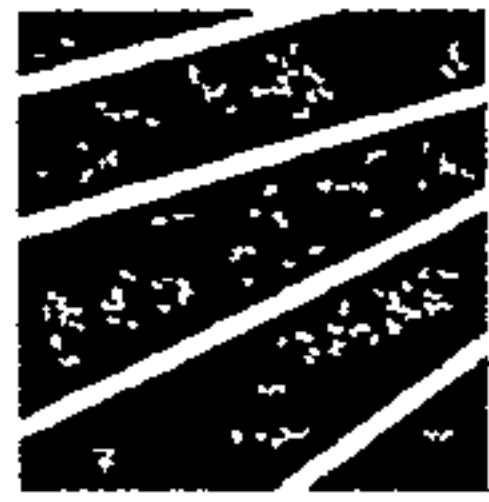
Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE

/dl/07522

encl



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

October 1, 2009

Larry Nelson
West Side Merchants Association
929 Old Coors SW
Albuquerque, New Mexico 87105

SUBJECT: NEW LIFE HOMES 4
Tract 111-C, Town of Atrisco Grant, Unit 6

Dear Mr. Nelson:

Enclosed please find one copy of the Site Plan for Building Permit for the subject project. The project, zoned SU-1 for PRD 20 DU/Acre, proposes construction of a 48 unit multi-family residential development. The project site is located on Delia Avenue SW, between 69th Street SW and Bataan Drive SW. The project was granted Site Plan for Building Permit approval by the Environmental Planning Commission on September 20, 2007, and by the Development Review Board (DRB) on November 21, 2007. The Developer subsequently obtained building permit, and recorded a Subdivision Improvements Agreement (SIA), Figure 12, financially guaranteeing the off-site public infrastructure supporting the project. The current SIA expires December 21, 2009. Due to a failing construction economy the project was unable to obtain funding and was placed on hold.

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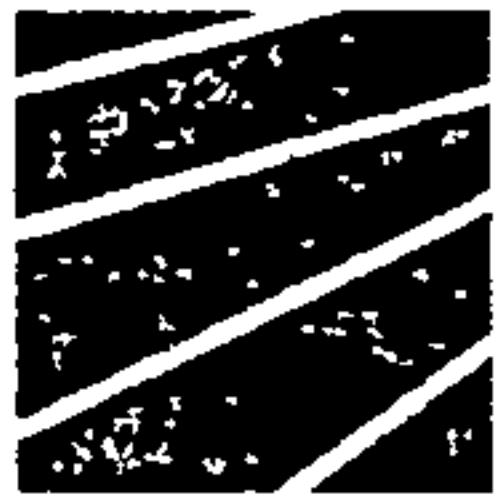
Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE

/dl/07522

encl



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CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

October 1, 2009

Jerry Gallegos
Alamosa Neighborhood Association
417 65th Street SW
Albuquerque, New Mexico 87121

SUBJECT: NEW LIFE HOMES 4
Tract 111-C, Town of Atrisco Grant, Unit 6

Dear Mr. Gallegos:

Enclosed please find one copy of the Site Plan for Building Permit for the subject project. The project, zoned SU-1 for PRD 20 DU/Acre, proposes construction of a 48 unit multi-family residential development. The project site is located on Delia Avenue SW, between 69th Street SW and Bataan Drive SW. The project was granted Site Plan for Building Permit approval by the Environmental Planning Commission on September 20, 2007, and by the Development Review Board (DRB) on November 21, 2007. The Developer subsequently obtained building permit, and recorded a Subdivision Improvements Agreement (SIA), Figure 12, financially guaranteeing the off-site public infrastructure supporting the project. The current SIA expires December 21, 2009. Due to a failing construction economy the project was unable to obtain funding and was placed on hold.

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Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE

/dl/07522

encl

7005 0390 0006 3702 2431

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.78	
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.88	

10/02/2009

Sent To Jerry Gallegos
 Alamosa Neighborhood Assoc.
 417 65th Street SW.
 Albuquerque, NM 87121

PS Form 3800

7005 0390 0006 3702 2424

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.78	
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.88	

10/02/2009

Sent To Jeanette Baca
 Alamosa Neighborhood Assoc.
 901 Field SW
 Albuquerque, NM 87121

PS Form 3800

7005 0390 0006 3702 2455

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.78	
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.88	

10/02/2009

Sent To Humberto Perez
 West Side Merchants Association
 701-B Old Coors SW
 Albuquerque, NM 87105

PS Form 3800

7005 0390 0006 3702 2448

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

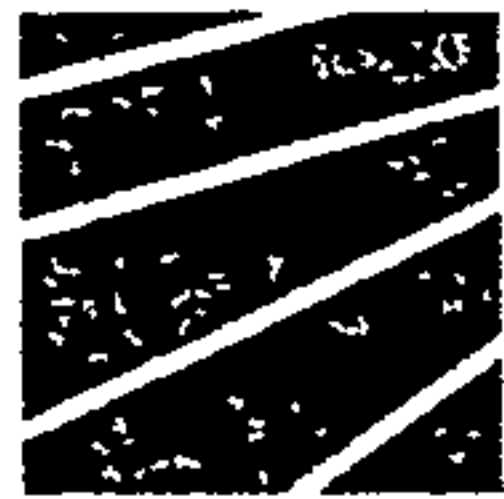
OFFICIAL USE

Postage	\$ 0.78	
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.88	

10/02/2009

Sent To Larry Nelson
 West Side Merchants Association
 929 Old Coors SW
 Albuquerque, NM 87105

PS Form 3800



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

October 1, 2009

Jeanette Baca
Alamosa Neighborhood Association
901 Field SW
Albuquerque, New Mexico 87121

SUBJECT: NEW LIFE HOMES 4
Tract 111-C, Town of Atrisco Grant, Unit 6

Dear Ms. Baca:

Enclosed please find one copy of the Site Plan for Building Permit for the subject project. The project, zoned SU-1 for PRD 20 DU/Acre, proposes construction of a 48 unit multi-family residential development. The project site is located on Delia Avenue SW, between 69th Street SW and Bataan Drive SW. The project was granted Site Plan for Building Permit approval by the Environmental Planning Commission on September 20, 2007, and by the Development Review Board (DRB) on November 21, 2007. The Developer subsequently obtained building permit, and recorded a Subdivision Improvements Agreement (SIA), Figure 12, financially guaranteeing the off-site public infrastructure supporting the project. The current SIA expires December 21, 2009. Due to a failing construction economy the project was unable to obtain funding and was placed on hold.

The project has since secured funding and is proceeding to construction. Since the construction period will extend beyond the construction deadline of December 21, 2009 established by the current SIA we are making application to DRB to extend the construction deadline for an additional 12 months.

You are encouraged to attend the public hearing scheduled in approximately 30 days. The hearing date will be advertised in the Albuquerque Journal, and signs will be posted on the property. The hearing will be held in the DRB meeting room, basement level, Plaza Del Sol, 600 Second St. NW. The DRB application may be reviewed at Development Services Division at Plaza del Sol. If you need additional information, or if I can be of any assistance, please feel free to call me at 888-6088.

Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE

/dl/07522

encl

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 11-15-2007
 Date Site Plan Approved: 11/21/07
 Date Preliminary Plat Approved: N/A
 Date Preliminary Plat Expires: N/A
 DRB Project No.: 1006600
 DRB Application No.: 07DRB70967 07DRB-70365

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

ORIGINAL

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW LIFE HOMES 4

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 111-C, TOWN OF ATRISCO GRANT, UNIT 6

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial-guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		24' F-E	RESIDENTIAL STREET 1/2 WIDTH	DELIA ROAD SW	BATAAN DRIVE SW	69TH STREET SW	/	/	/
		6 INCH	WATERLINE	DELIA ROAD SW	BATAAN DRIVE SW	69TH STREET SW	/	/	/
		8 INCH	SANITARY SEWER	DELIA ROAD SW	BATTAN DRIVE SW	400 FEET WEST	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 DELIA ROAD SW TO INCLUDE CURB & GETTER, ~~1 SIDEWALK~~, 22' ASPHALTIC PAVEMENT (24' FACE TO EDGE), SOUTH ONE-HALF ONLY.
- 2
- 3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
DENNIS A. LORENZ NAME (print)	DEN <i>[Signature]</i> 11/21/07 DRB CHAIR - date	<i>[Signature]</i> Christina Sandoval 11/21/07 PARKS & RECREATION - date
BRASHER + LORENZ FIRM	<i>[Signature]</i> 11/21/07 TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
<i>[Signature]</i> 11.13.07 SIGNATURE date	<i>[Signature]</i> 11/21/07 UTILITY DEVELOPMENT - date	- date
	<i>[Signature]</i> Bradley D. Bingham 11/21/07 CITY ENGINEER - date	- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

1304

FIGURE 18

EXTENSION AGREEMENT
Procedure "B"
PROJECT NO. 700183

This Agreement made this 22nd day of December, 2008, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) GERALD A. MARTIN Ltd. ("Developer"), whose address is 850 JEFFERSON, NE and whose telephone number is 828-1144 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

27th WHEREAS, the City and the Developer entered into an Agreement on the 27th day of December, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on 12/28/07, at Book Misc. 2007172692 pages 1 through 7, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 21st day of December 08; and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated _____ recorded _____, in Book Misc. _____, pages _____ through _____, records of Bernalillo County, New Mexico, extending the construction deadline to _____; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

A. for all improvements, the 21st day of December, 2009.

B. on portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____



2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: SUBDIVISION IMPROVEMENT BOND #929445133
Amount: \$ 247,600.51 Name of Financial Institution or Surety
providing Guaranty: Continental Casualty Company
Date City first able to call Guaranty (Construction Completion
Deadline): 21st December, 2009.
If Guaranty other than a Bond, last day City able to call Guaranty
is: _____
Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

By (Signature): Gerald A. Martin
Name: GERALD A. MARTIN
Title: CEO
Dated: 12/12/08

CITY OF ALBUQUERQUE:

[Signature]
City Engineer
Dated: 12-22-08

12/18/08

DEVELOPER'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 12th day of December
2008 by (name of person:) Gerald A. Martin, (title or
capacity, for instance, "President" or "Owner") CEO
of (Developer:) Gerald A. Martin, LTD

Douglas M. Lowery
Notary Public

My Commission Expires:

6/30/12

CITY'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 22nd day of December
2008 by Richard Douste, City Engineer of the City of
Albuquerque, a municipal corporation, on behalf of said corporation.

Linda C. Evans
Notary Public

My Commission Expires:

10-07-12



For All the Commitments You Make[®]

GENERAL PURPOSE RIDER

To be attached to and form part of Bond Number 929445133 effective DECEMBER 21, 2008
 issued by the CONTINENTAL CASUALTY COMPANY in the amount of
 \$247,600.51 DOLLARS, on behalf of GERALD A. MARTIN, LTD
 as Principal and in favor of CITY OF ALBUQUERQUE as obligee:

Now, Therefore, it is agreed that:

Revised to extend construction completion time from 12/21/2008 to 12/21/2009.

It is further understood and agreed that all other terms and conditions of this bond shall remain unchanged.

This rider is to be effective the 15TH day of DECEMBER 2008
 Signed, sealed and dated this 15TH day of DECEMBER 2008

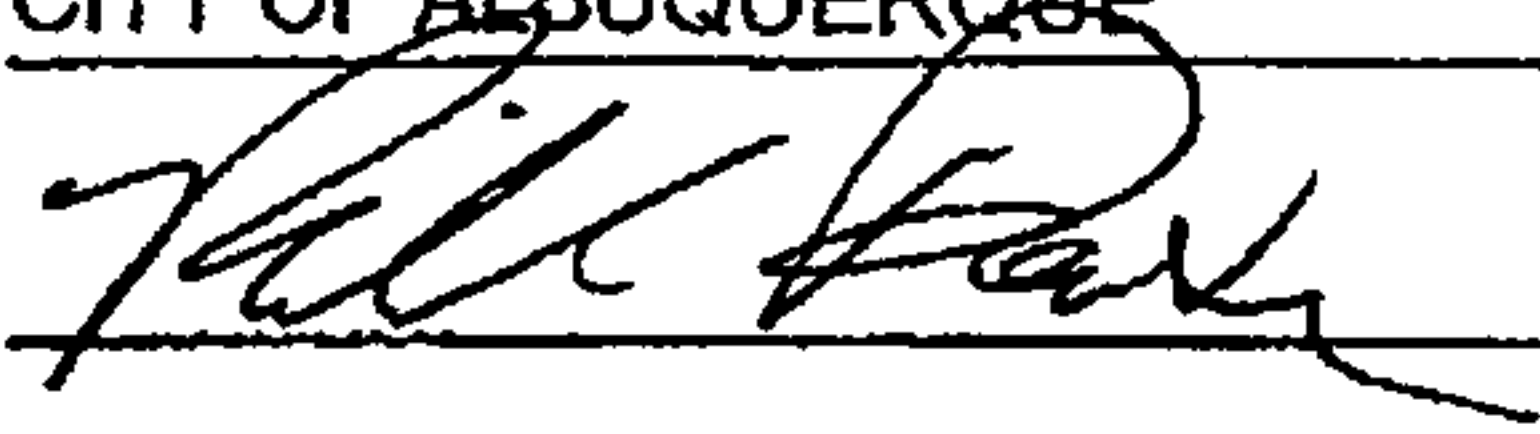
GERALD A. MARTIN, LTD (Principal)

By: _____

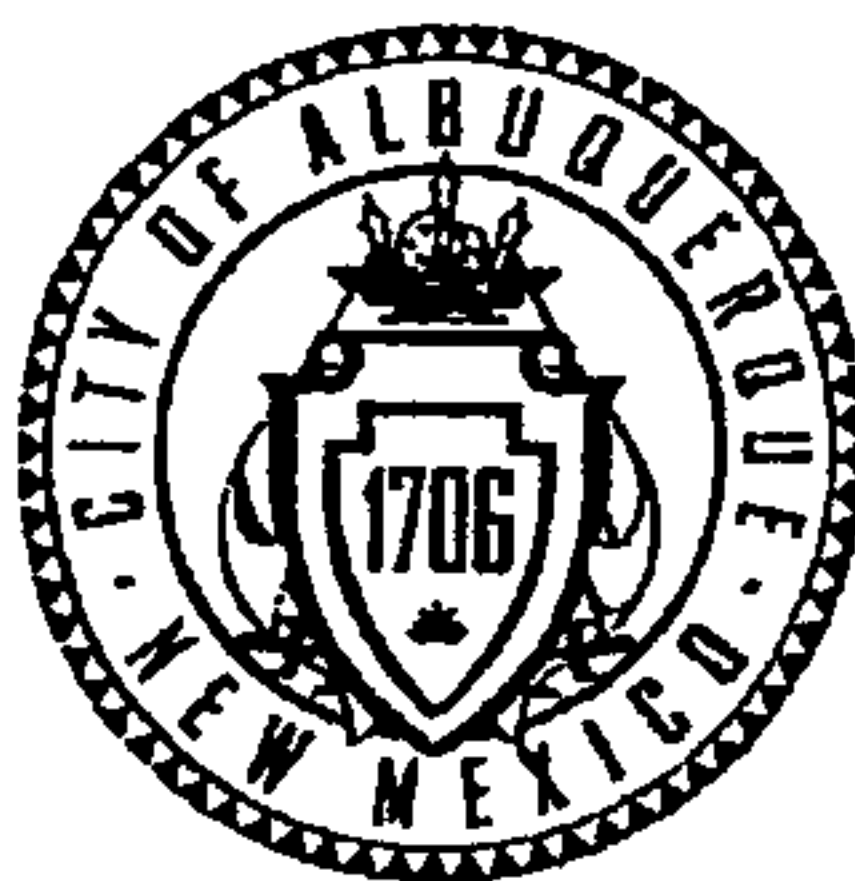
CONTINENTAL CASUALTY COMPANY (Surety)

By: 
 ROBERT L. BROOKS Attorney-in-Fact

Accepted By:

CITY OF ALBUQUERQUE


12/21/08



WEN-AD

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 21, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1006600
07EPC-40023 SITE DEVELOPMENT -
BUILDG PRMT

Newlife Homes Inc.
P.O. Box 90486
Albuq. NM 87199

LEGAL DESCRIPTION: for all or a portion of lot 111-C, TOWN OF ATRISCO GRANT Unit 6, zoned SU-1 PRD 20 DU-A located on DELIA RD. AVE SW BETWEEN BATAAN DR SW AND 69th ST SW containing approximately 2.4262 acres. (K-10) Anna DiMambro, Staff Planner (DEFERRED FROM AUGUST 16, 2007)

On September 20, 2007 the Environmental Planning Commission voted to approve Project 1006600/07EPC 40023, a request for a site development plan for building permit, for Lot 111C, Town of Atrisco Grant, Unit 6, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Lot 111C, Town of Atrisco Grant, Unit 6, an approximately 2.43 acre site located on Delia Road SW between 69th Street and Bataan Drive SW. The site is zoned SU-1 for PRD 20 DU/A, and the applicant is proposing to construct a 48-unit multi-family residential development – a permissive use under the current zoning.
2. This request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:
 - a. The location, intensity, and design of the proposed development respects existing neighborhood values, natural environmental conditions and carrying capacities, and scenic and other resources (II.B.5.d).
 - b. The applicant is proposing new growth on vacant land contiguous to existing urban facilities and services. The integrity of existing neighborhoods can be ensured through the site plan review process (II.B.5.e).

- c. The submittal shows homes clustered around a pedestrian way and facing a community area (II.B.5.f).
 - d. The proposed site design is innovative and is appropriate to the Plan area (II.B.5.1).
3. This request is in conflict with policy II.B.5.g for Developing and Established Urban Areas because the applicant proposes to cut into a steep slope and construct a retaining wall rather than designing the development to conform to topographical features.
4. This request furthers the following Comprehensive Plan policies for Housing:
 - a. The applicant proposes to increase the supply of affordable housing (II.D.5.a) for households that earn less than 80% of the medium income.
 - b. Approval of this request would encourage efficiency in the development review process and reduce unnecessary construction costs while balancing short-term benefits of delivering less costly housing with long-term benefits of preserving investment in homes and protection of quality of life (II.D.5.e).
5. This request partially furthers Comprehensive Plan policy II.D.5.d for Housing because it proposes decent housing available to people with physical and developmental handicaps and low-to-moderate income people. This policy encourages a wide distribution of this type of housing.
6. The applicant is proposing several water conservation methods and green principles for this development.
7. This request furthers the following objectives and policies of the West Side Strategic Plan:
 - a. The applicant has proposed a creative and innovative housing development for the West Side. This moderate density project is located close to the services offered at the Alamosa Multi-Service Center and is also conveniently located for access to transit (Objective 2).
 - b. The subject site is located within a designated Neighborhood Activity Center. The use proposed for this development is part of a full range of land uses appropriate in a Neighborhood Activity Center (Policy 3.30).
 - c. The proposed development will provide housing within the price range of citizens with low-to-moderate incomes on the West Side (Policy 4.18).
8. This request is in accordance with the zoning and land use proposed for the site by the West Route 66 Sector Development Plan.
9. This request conforms to most regulations of the Zoning Code, the West Side Strategic Plan, and the West Route 66 Sector Development Plan. This request does not conform to height, floor area ratio, and setback regulations of the governing site development plan for subdivision. However, the applicant has submitted a concurrent request for an amendment to the site development plan for subdivision.

**OFFICIAL NOTICE OF DECISION
SEPTEMBER 20, 2007
PROJECT #1006600
PAGE 3 OF 5**

10. The applicant is requesting to provide 6 parking spaces fewer than normally required. The Environmental Planning Commission is allowed the discretion to grant this request. The applicant has adequately justified the parking shortage.
11. There is neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The unit count on the Grading and Drainage Plan shall be corrected.
4. Substitute Kentucky Bluegrass with a lower water usage turf.
5. Detail drawings:
 - a. Indicate materials and colors for trash enclosure.
 - b. Light fixtures shall be full-cutoff type fixtures.
 - c. Materials and colors for proposed retaining walls shall be indicated. The wall must be in conformance with the West Route 66 Sector Development Plan Design Overlay Zone.
 - d. Provide dimensions of handicap parking space signage.
6. Elevations:
 - a. Additional articulation including windows shall be provided on the east side of Bldg D.
 - b. East and west elevations of Building E shall be provided.
 - c. All roof-mounted mechanical equipment shall be screened.
7. 5' wrought iron perimeter fence shall be removed except on Delia Road and around the play area.
8. City Engineer conditions:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. All parking spaces to meet DPM requirements (i.e. standard space 8.5' x 20' or 8.5' x 18' w/ 2' overhang provided, compact space 8' x 15').
 - d. Provide more information on gated parking lots (i.e. hours open, lots are used by whom, emergency access, etc.). Gates will need to be set back 20' minimum.
 - e. Site plan shall comply and be designed per DPM Standards.
9. Transit shelters shall be of a type and location acceptable to the City Transit Department.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY OCTOBER 5, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
SEPTEMBER 20, 2007
PROJECT #1002424 ~~6600~~
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

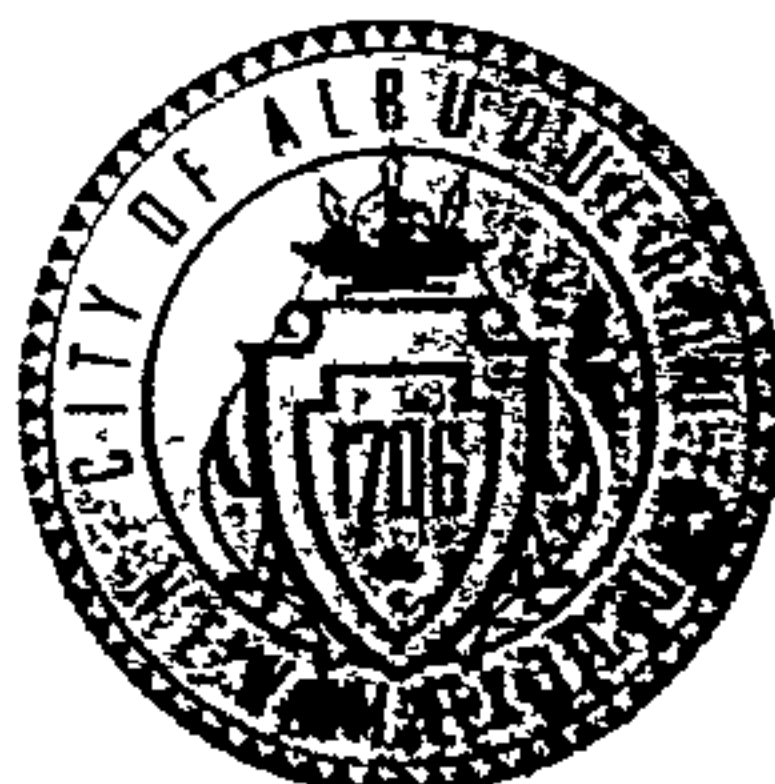
Sincerely,



Richard Dineen
Planning Director

RD/AD/ac

Cc: Garrett Smith Ltd., 514 Central SW, Albuquerque, NM 87102
Jeanette Baca, Alamosa NA, 901 Field SW, Albuquerque, NM 87121
Miguel Maestas, Alamosa NA, 6013 Sunset Gardens SW, Albuquerque, NM 87121
Klarisa Pena, 6525 Sunset Gardens SW, Albuquerque, NM 87121
Robert Hall, 409 Bataan SW, Albuquerque, NM 87121
Mark & Katrina Owensby, 424 Broadway SE, #6, Albuquerque, NM 87102
Dana Lowrie, 330 Airport Dr. SW, #9 Albuquerque, NM 87121
Mary Arenas, 330 Airport Dr. SW, #8, Albuquerque, NM 87121
Margaret Dawdy, 330 Airport Dr. SW, #18, Albuquerque, NM 87121
Naomi Garcia, 6801 Gwin SW, #29, Albuquerque, NM 87121
Ted Gallegos, 6317 Dennison Rd. SW, Albuquerque, NM 87121
Maria MacLennan, 139 Madison NE, Albuquerque, NM 87108
Pat Parkison, 139 Madison NE, Albuquerque, NM 87018
Jeanette & Chris Baca, 901 Field SW, Albuquerque, NM 87121
Gregory Cozart, 6801 Gwin Rd. SW, #20, Albuquerque, NM 87121
Denise Hicks, 6801 Gwin Rd. SW, #31, Albuquerque, NM 87121
David Dufrane, 139 Madison NE, Albuquerque, NM 87108



**DEVELOPMENT REVIEW BOARD
Action Sheet**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 21, 2007 9:00 AM

MEMBERS:

**Sheran Matson, AICP, DRB Chair
Angela Gomez, Administrative Assistant**

**Kristal Metro, Transportation Development
Brad Bingham, Alternate City Engineer**

**Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1005536
07DRB-70344 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70345 MINOR - TEMP DEFR
SWDK CONST**

**ISAACSON & ARFMAN PA agent(s) for BCR
CONSTRUCTION request(s) the above action(s) for all or
a portion of Lot(s) 57-59, ROSSITER ADDITION (to be
known as 12TH STREET VILLAS) zoned R-2, located
on 12TH ST NW BETWEEN CANDELARIA RD NW
AND GRIEGOS RD NW containing approximately 1.1
acre(s). (G-14) WITH THE SIGNING OF THE
INFRASTRUCTURE LIST DATED 11/21/07 AND WITH
AN APPROVED GRADING AND DRAINAGE PLAN
ENGINEER STAMP DATED 10/25/07 THE
PRELIMINARY PLAT WAS APPROVED. THE
TEMPORARY DEFERRAL OF CONSTRUCTION OF
SIDEWALKS ON THE INTERIOR STREETS WAS
APPROVED AS SHOWN ON EXHIBIT C IN THE
PLANNING FILE.**

9. **Project# 1003714**
07DRB-70364 EPC/SDP FOR BUILDING PERMIT

ALEXANDER FINALE agent(s) for ASSOCIATED HOME & RV SALES, INC request(s) the above action(s) for all or a portion of Tract(s) C-3-A, **ADOBE WELLS SUBDIVISION**, zoned SU1 FOR IPC-2/R-2, located on EAGLE RANCH NE BETWEEN WESTSIDE NE AND COORS BYPASS BLVD NE containing approximately 2.29 acre(s). (B-13) *[EPC Planner – Carol Toffaleti][Deferred from 11/14/07]*. **INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project# 1006600**
07DRB-70365 EPC/ SDP FOR BUILDING PERMIT /

GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-C, **TOWN OF ATRISCO GRANT Unit 6**, zoned SU-1 PRD /20 DU-A, located on BATAAN DR SW BETWEEN DELIA AVE SW AND GWIN ST SW containing approximately 3.2 acre(s). (K-10) *[EPC Planner – Anna DiMambro] [Deferred from 11/14/07]*. **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/21/07 THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND FOR 3 COPIES OF THE SITE PLAN AND TO TRANSPORTATION FOR INDICATION OF ADDITIONAL RAMPS AND FOR ALL BUILD-NOTES TO REFER TO CITY STANDARDS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1000512**
07DRB-70388 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for SANDRA L. FENKETICH request(s) the above action(s) for all or a portion of Lot(s) 16-A, **WEST HIGHLANDS AT HIGH DESERT**, zoned R-1, located on SAND CHERRY NE BETWEEN ELATA CT NE AND PINO ARROYO CT NE containing approximately 0.503 acre(s). (E-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE, TO RECORD, AGIS DXF FILE, AND FOR ADROA SIGNATURE.**

12. **Project# 1006751**
07DRB-70385 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BARELAS CDC/CITY OF ALBUQUERQUE agent(s) for MRS. IRMA V. LOPEZ request(s) the above action(s) for all or a portion of Tract(s) 4, zoned SU2-R1, located on PACIFIC AVE SW BETWEEN 4TH ST SW AND BARELAS RD SW containing approximately 0.215 acre(s). (K-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND TO RECORD THE PLAT AND TO TRANSPORTATION FOR ADDITIONAL RIGHT-OF-WAY FOR SIDEWALK IF UNEXISTING.**

September 30, 2009

Jack Cloud, Chair
Development Review Board
City of Albuquerque
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: NEW LIFE HOME 4
Tract 110-C, Town of Atrisco Grant, Unit 6
07 DRB 70365, Project 10066600
ZAP K-10

Dear Mr. Cloud:

As owner of the subject property, I hereby authorize Brasher & Lorenz, Inc. to act as our agent with regard to the Planning and Engineering aspects of the above referenced project.

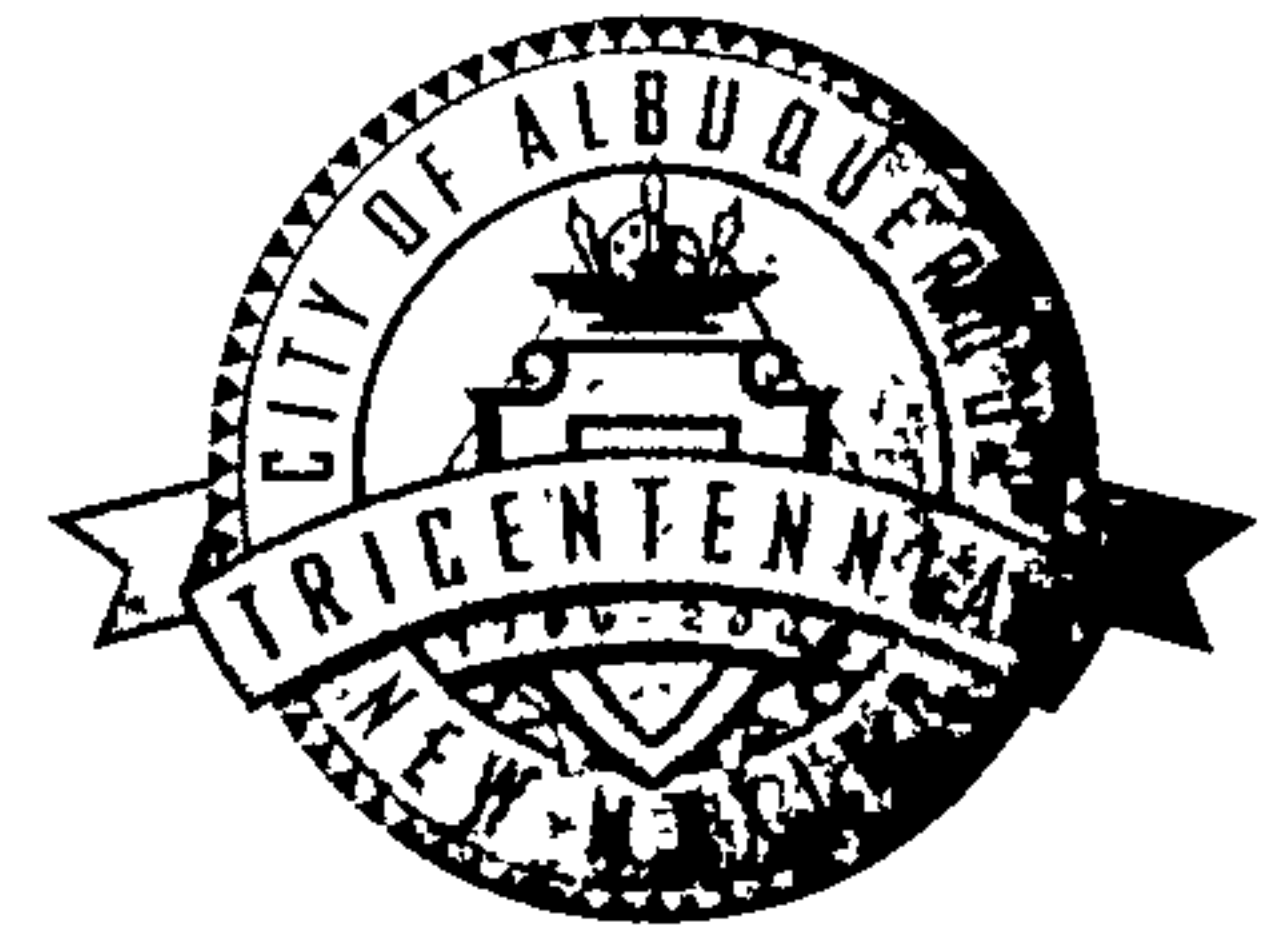
Please do not hesitate to call if you have any questions.

Sincerely,



John Bloomfield
New Life Homes, Inc.

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006600

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ¹¹⁻²¹⁻⁰⁷ X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: November 14, 2007

10

November 9, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair

FROM: Anna DiMambro, Planner AD

SUBJECT: Project # 1006600

On September 20, 2007, the Environmental Planning Commission approved Project # 1006600, case number 07EPC 40037, a request to amend a site development plan for subdivision for Lots 111B and 111C, Town of Atrisco Grant, Unit 6, located on Bataan SW between Delia Ave SW and Gwin St SW.

Upon DRB approval of the site development plan for subdivision, the applicant will have satisfied all of the EPC conditions of approval. Fulfillment of City Engineer conditions should be verified with the City Engineer.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3924.

Thank you.

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006600

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is required for Site Plan sign-off.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: November 21, 2007

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

11/19/2007 Issued By: PLNSDH

Permit Number: 2007 070 365

Category Code 910

Application Number: 07DRB-70365, Epc Approved Sdp For Build Permit

Address:

Location Description: BATAAN DR SW BETWEEN DELIA AVE SW AND GWIN ST SW

Project Number: 1008600

Applicant

New Life Homes Inc

514 Central Sw
Albuquerque NM 87102
766-6968

Agent / Contact

Garrett Smith Ltd

Garrett Smith

514 Central Sw
Albuquerque NM 87102

gsl@garrett-smith-ltd.com

Application Fees

441018/4971000	Public Notification	
441006/4983000	DRB Deferral Fee	\$50.00
TOTAL:		\$50.00

City Of Albuquerque
Treasury Division

11/19/2007 11:09AM LOC: ANN
WS# 007 TRANS# 0030
RECEIPT# 00090719-00090719
PERMIT# 2007070365 TKSMSF
Trans Amt \$50.00
DRB Actions \$50.00
CK \$50.00
CHANGE \$0.00
Thank You

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

11/06/2007 Issued By: PLNSDH

Permit Number: 2007 070 365. **Category Code 910**

Application Number: 07DRB-70365, Epc Approved Sdp For Build Permit

Address:

Location Description: BATAAN DR SW BETWEEN DELIA AVE SW AND GWIN ST SW

Project Number: 1008800

Applicant

New Life Homes Inc

514 Central Sw
Albuquerque NM 87102
766-6968

Agent / Contact

Garrett Smith Ltd

Garrett Smith

514 Central Sw
Albuquerque NM 87102

gsl@garrett-smith-ltd.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

11/6/2007 9:53AM LOC: ANN
WS# 007 TRANS# 0008
RECEIPT# 00090071-00090071
PERMIT# 2007070365 TRSMSP
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
CK \$20.00
CHANGE \$0.00

Thank You

*Recorded 11/19
11/20*

2102

No. of Lots:
Nearest Major Streets

FIGURE 12

SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 27th day of December, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Gerald A. Martin, Ltd. ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] NM Corporation, whose address is 8501 Jefferson NE Albuq, NM 87113 and whose telephone number is 505-828-1144, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

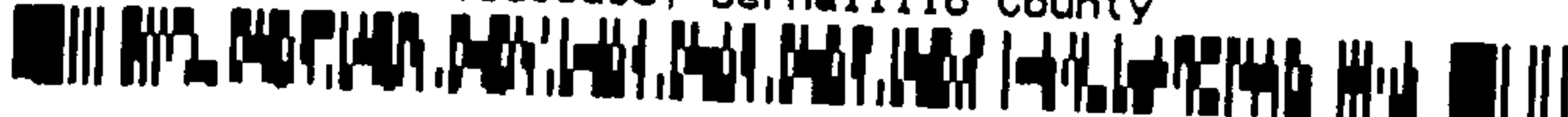
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tract LLC Town of Arisco Grant, Unit 6, recorded on 11/19/2003 in the records of the Bernalillo County Clerk at Book 2003C, pages 350 through 350 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] New Life Homes ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as New Life Homes 4, Phase I describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 21 day of December, 2008 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 700183.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by BRASHER & LORENZ, and construction surveying of the private Improvements shall be performed by BRASHER & LORENZ. If the construction surveying is performed by an entity other than the City; the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by BRASHER & LORENZ and inspection of the private Improvements shall be performed by BRASHER & LORENZ, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider

shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geotest, and field testing of the private Improvements shall be performed by Geotest, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

#929445733

Type of Financial Guaranty: Subdivisions Improvements Bond (CNA Surety)
Amount: \$ 247,600.51 Name of Financial Institution or Surety
Date City first able to call Guaranty: DECEMBER 21, 2008
[Construction Completion Deadline]: DECEMBER 21 2008
If Guaranty other than a Bond, last day City able to call Guaranty is:
Additional information: _____, 20 _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

POWER OF ATTORNEY

NOTE: Must be signed and notarized by the owner if the subdivider is not the owner of the Subdivision.

STATE OF New Mexico)
COUNTY OF Bernalillo) ss.

[State name of present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:]

New Life Homes ("Owner"), of [address:] P.O. Box 90480,
[city:] Albuquerque, [state:] NM, [zip code:] 87199

hereby makes, constitutes and appoints [name of subdivider:] ICCARD MARTIN LTD ("Subdivider") as my true and lawful attorney in fact, for me and in my name, place and stead, giving unto the Subdivider full power to do and perform all and every act that I may legally do through an attorney in fact, and every proper power necessary to meet the City of Albuquerque's ("City") subdivision requirements regarding the real estate owned by me and described in Section 1 of the Subdivision Improvements Agreement ("Agreement") above, including executing the Agreement and related documents required by the City, with full power of substitution and revocation, hereby ratifying and affirming what the Subdivider lawfully does or causes to be done by virtue of the power herein conferred upon the Subdivider.

This power of attorney can only be terminated: (1) by a sworn document signed and notarized by the Owner, which shall be promptly delivered to the City Planner in order to provide notice to City of the termination of this power of attorney; or (2) upon release of the Agreement by the City.

NOTE: Alternate wording may be acceptable, but must be submitted to the City Legal Department for review and approval before the final contract package is submitted to the City for review. The City may require evidence of ownership and/or authority to execute the Power of Attorney, if the Owner is not the Subdivider. If Owner is a corporation, the Power of Attorney must be signed by the president or by someone specifically empowered by the Board of Directors, in which case the corporate Secretary's certification and a copy of the Board's resolution empowering execution must accompany this document.

OWNER New Life Homes
By [signature:] [Signature]
Name: John Bloomfield
Title: Executive Director
Dated: 12.21.07

The foregoing Power of Attorney was acknowledged before me this day of December 21, 2007 by [name of person:] John Bloomfield, [title or capacity, for instance "President":] Executive Director of [Owner:] New Life Homes on behalf of the Owner.

My Commission Expires: 7-5-2010

[Signature]
Notary Public

D.R.B. Case No. 1006600
D.R.C. Project No. 702123



ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW LIFE HOMES 4

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 111-C, TOWN OF ATRISCO GRANT, UNIT 6

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		24' F-E	RESIDENTIAL STREET 1/2 WIDTH	DELIA ROAD SW	BATAAN DRIVE SW	69TH STREET SW	/	/	/
		6 INCH	WATERLINE	DELIA ROAD SW	BATAAN DRIVE SW	69TH STREET SW	/	/	/
		8 INCH	SANITARY SEWER	DELIA ROAD SW	BATTAN DRIVE SW	400 FEET WEST	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 DELIA ROAD SW TO INCLUDE CURB & GUTTER, ~~15' SIDEWALK~~, 22' ASPHALTIC PAVEMENT (24' FACE TO EDGE), SOUTH ONE-HALF ONLY.
- 2
- 3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
DENNIS A. LORENZ NAME (print)	DEN <i>B. Peterson</i> 11/21/07 DRB CHAIR - date	<i>Christina Sandoval</i> 11/21/07 PARKS & RECREATION - date
BRASHER + LORENZ FIRM	<i>W. A. 25</i> 11/21/07 TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
<i>[Signature]</i> 11-13-07 SIGNATURE date	<i>Robert Allen</i> 11/21/07 UTILITY DEVELOPMENT - date	_____ - date
	<i>Bradley d. Bingham</i> 11/21/07 CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINANCIAL GUARANTY AMOUNT

12/12/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

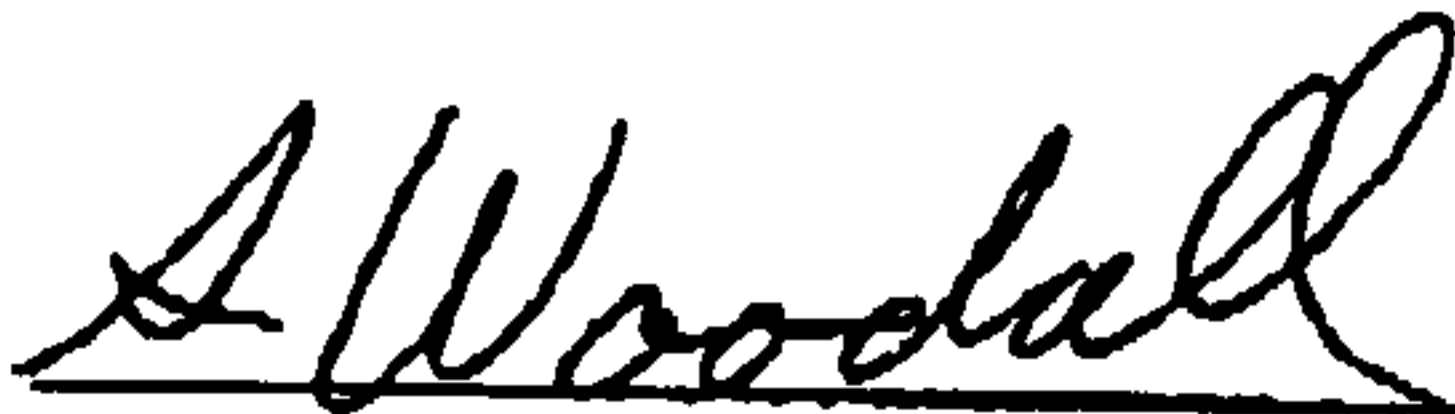
Project ID #: 700183, New Life Homes 4, Phase/Unit #: 1

Requested By: Dennis Lorenz

Approved estimate amount:		\$155,146.83
Contingency Amount:	10.00%	\$15,514.68
Subtotal:		\$170,661.51
NMGRT	6.875%	\$11,732.98
Subtotal:		\$182,394.49
Engineering Fee	6.60%	\$12,038.04
Testing Fee	2.00%	\$3,647.89
Subtotal:		\$198,080.41
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$247,600.51</u>

APPROVAL:

DATE:



12-12-07

Notes: 10% contingency, plans and eng est have not been approved.

FIGURE 16

CIRCLE ONE:
SUBDIVISION BOND FOR:
SIA, SW'S, SPCL. AGRMT.

BOND NO. (SURETYS NO.): 929445133
CONTACT PERSON'S NAME: Dean Vigil

SUBDIVISION IMPROVEMENTS BOND

KNOW ALL MEN BY THESE PRESENTS: That we GERALD A. MARTIN, LTD.
("SUBDIVIDER") a [state type of business entity, for
instance, "New Mexico corporation," "general partnership", "joint venture",
"individual", etc.:] NEW MEXICO CORPORATION as
"Principal", and CONTINENTAL CASUALTY COMPANY ("NAME OF SURETY"),
a corporation organized and existing under and by virtue of the laws of the
State of ILLINOIS and authorized to do business in the
State of New Mexico, as "Surety," whose address is 320 OSUNA NE, SUITE G-1,
ALBUQUERQUE, NM 87107 and whose telephone number is 505-262-2621,
are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of
(WRITTEN AMOUNT) TWO HUNDRED FORTY SEVEN THOUSAND SIX HUNDRED & 51/100--
Dollars, (AMOUNT OF FIGURES) \$ 247,600.51), as amended by change orders
approved by the Surety or changes to the infrastructure list approved by the
City Development Review Board, the payment of which is well and truly to be
made, and each of us bind ourselves, our and each of our heirs, executors,
administrators, successors and assigns, jointly and severally, and firmly by
these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is
developing land and premises known as NEW LIFE HOMES 4, PHASE 1
("NAME OF SUBDIVISION"), CITY PROJECT NO. 700183
; and

WHEREAS, said Subdivision is subject to the provisions and conditions of
the ordinance of the CITY OF ALBUQUERQUE known as the Subdivision Ordinance,
the requirements of which include the installation of various other
improvements by the Principal; and

WHEREAS, the Subdivision Ordinance also requires the Principal to
install and construct the following improvements at the Subdivision: [list the
improvements, e.g., water, sewer, pavement, sidewalks:] WATER, SEWER, PAVEMENT,
SIDEWALKS ("IMPROVEMENTS")

All construction shall be performed in accordance with the Agreement to
Construct Public and/or Private Subdivision Improvements Agreement entered
into between ("NAME OF SUBDIVIDER") GERALD A. MARTIN, LTD.
and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of
Bernalillo County, New Mexico, in Book Misc. (leave blank), pages _____
through _____, as amended by change orders or amendments to the Agreement.

NOW, THEREFORE, if the Principal completes construction of the Improvements
and facilitates and performs the work herein above specified to be performed,
all on or before [Construction Completion Deadline established in Agreement or
as amended:] DECEMBER 21, 2008 ("the Construction
Completion Deadline"), then this obligation shall be null and void; if the
Principal does not complete construction by or before the Construction
Completion Deadline, the City may call on this obligation until released by
the City.

IN WITNESS WHEREOF, this bond has been executed this 21ST day of
DECEMBER, 2007.

Principal: GERALD A. MARTIN LTD.

By [signature:] [Signature]
Name: SCOTT HUBBARD
Title: SR VP/CFD
Dated: 12-21-07

SURETY: CONTINENTAL CASUALTY COMPANY

By [signature:] [Signature]
Name: DEAN E. VIGIL
Title: ATTORNEY-IN-FACT
Dated: DECEMBER 21, 2007

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

Subscribed and sworn to before me this 21ST day of DECEMBER,
2007.

[Signature]
Notary Public

My Commission Expires:

07/22/08

*NOTE: Power of Attorney for Surety must be attached.

Know All Men By These Present Continental Casualty Company, an Illinois corporation, National Fire Insurance Company of Hartford, an Illinois corporation, and American Casualty Company of Reading, Pennsylvania, a Pennsylvania corporation (herein called "the CNA Companies"), are duly organized and existing corporations having their principal offices in the City of Chicago, and State of Illinois, and that they do by virtue of the signatures and seals herein affixed hereby make, constitute and appoint

Robert L Brooks, Bart H Kinney III, Michael L Chrestman, Carl S Conlee III, Dean E Vigil, Sarah J Hamilton, David D Gebhardt, Sally L Nelson, Individually

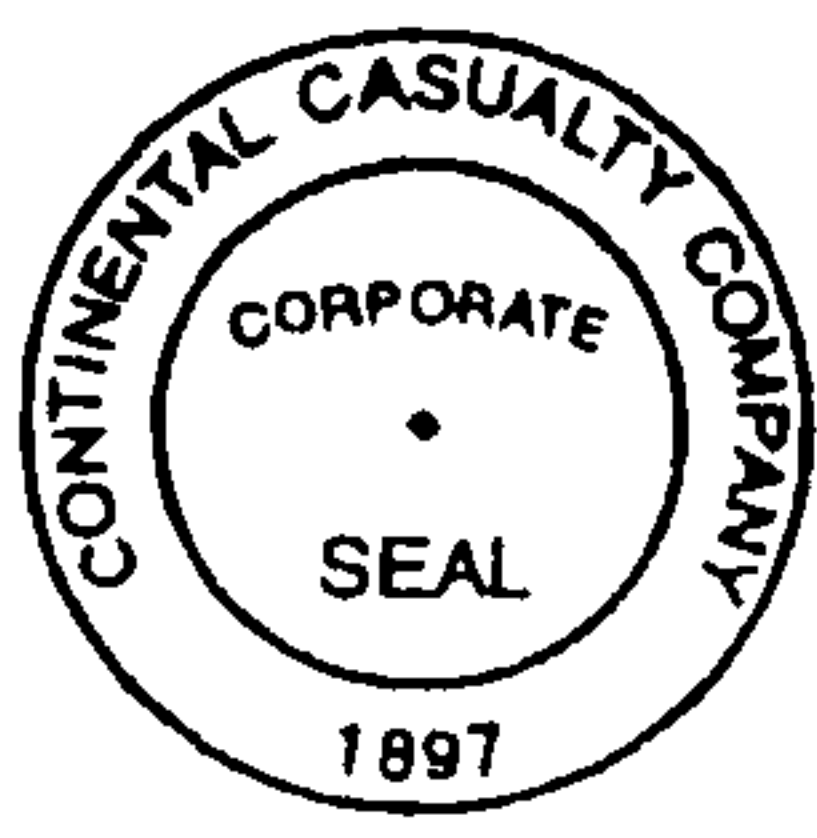
of Albuquerque, NM, their true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on their behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of their corporations and all the acts of said Attorney, pursuant to the authority hereby given is hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Boards of Directors of the corporations.

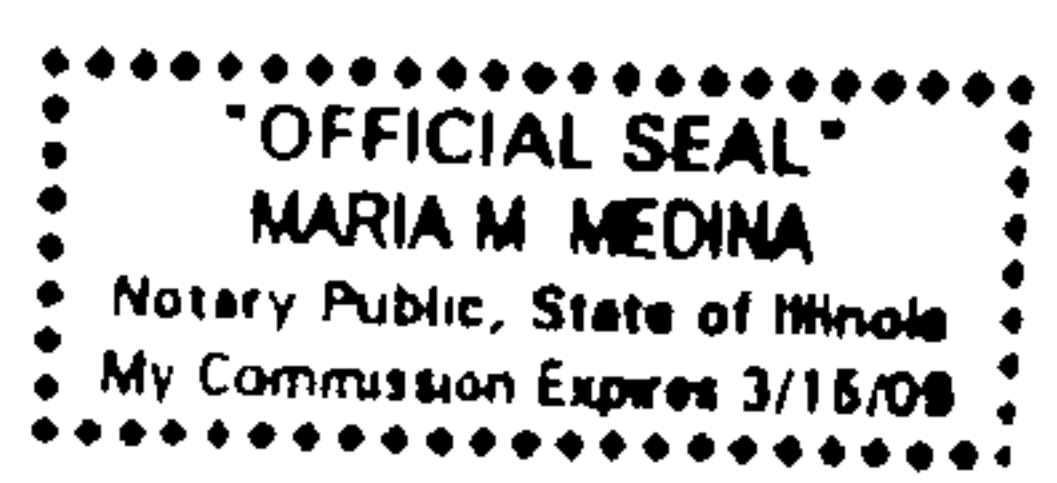
In Witness Whereof, the CNA Companies have caused these presents to be signed by their Senior Vice President and their corporate seals to be hereto affixed on this 9th day of January, 2007.



Continental Casualty Company
National Fire Insurance Company of Hartford
American Casualty Company of Reading, Pennsylvania

Thomas P. Stillman Senior Vice President

State of Illinois, County of Cook, ss
On this 9th day of January, 2007, before me personally came Thomas P. Stillman to me known, who, being by me duly sworn, did depose and say that he resides in the City of Chicago, State of Illinois; that he is a Senior Vice President of Continental Casualty Company, an Illinois corporation, National Fire Insurance Company of Hartford, an Illinois corporation, and American Casualty Company of Reading, Pennsylvania, a Pennsylvania corporation described in and which executed the above instrument; that he knows the seals of said corporations; that the seals affixed to the said instrument are such corporate seals; that they were so affixed pursuant to authority given by the Boards of Directors of said corporations and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporations.



My Commission Expires March 15, 2009

Maria M. Medina Notary Public

CERTIFICATE

I, Mary A. Ribikawskis, Assistant Secretary of Continental Casualty Company, an Illinois corporation, National Fire Insurance Company of Hartford, an Illinois corporation, and American Casualty Company of Reading, Pennsylvania, a Pennsylvania corporation do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of the corporations printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporations this 21st day of December, 2007.



Continental Casualty Company
National Fire Insurance Company of Hartford
American Casualty Company of Reading, Pennsylvania

Mary A. Ribikawskis Assistant Secretary

Authorizing By-Laws and Resolutions

ADOPTED BY THE BOARD OF DIRECTORS OF CONTINENTAL CASUALTY COMPANY:

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the Board of Directors of the Company.

"Article IX—Execution of Documents

Section 3. Appointment of Attorney-in-fact. The Chairman of the Board of Directors, the President or any Executive, Senior or Group Vice President may, from time to time, appoint by written certificates attorneys-in-fact to act in behalf of the Company in the execution of policies of insurance, bonds, undertakings and other obligatory instruments of like nature. Such attorneys-in-fact, subject to the limitations set forth in their respective certificates of authority, shall have full power to bind the Company by their signature and execution of any such instruments and to attach the seal of the Company thereto. The Chairman of the Board of Directors, the President or any Executive, Senior or Group Vice President or the Board of Directors, may, at any time, revoke all power and authority previously given to any attorney-in-fact."

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of the Company at a meeting duly called and held on the 17th day of February, 1993.

"Resolved, that the signature of the President or any Executive, Senior or Group Vice President and the seal of the Company may be affixed by facsimile on any power of attorney granted pursuant to Section 3 of Article IX of the By-Laws, and the signature of the Secretary or an Assistant Secretary and the seal of the Company may be affixed by facsimile to any certificate of any such power and any power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certified by certificate so executed and sealed shall, with respect to any bond or undertaking to which it is attached, continue to be valid and binding on the Company."

ADOPTED BY THE BOARD OF DIRECTORS OF AMERICAN CASUALTY COMPANY OF READING, PENNSYLVANIA:

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the Board of Directors of the Company.

"Article VI—Execution of Obligations and Appointment of Attorney-In-Fact

Section 2. Appointment of Attorney-in-fact. The Chairman of the Board of Directors, the President or any Executive, Senior or Group Vice President may, from time to time, appoint by written certificates attorneys-in-fact to act in behalf of the Company in the execution of policies of insurance, bonds, undertakings and other obligatory instruments of like nature. Such attorneys-in-fact, subject to the limitations set forth in their respective certificates of authority, shall have full power to bind the Company by their signature and execution of any such instruments and to attach the seal of the Company thereto. The President or any Executive, Senior or Group Vice President may at any time revoke all power and authority previously given to any attorney-in-fact."

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of the Company at a meeting duly called and held on the 17th day of February, 1993.

"Resolved, that the signature of the President or any Executive, Senior or Group Vice President and the seal of the Company may be affixed by facsimile on any power of attorney granted pursuant to Section 2 of Article VI of the By-Laws, and the signature of the Secretary or an Assistant Secretary and the seal of the Company may be affixed by facsimile to any certificate of any such power and any power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certified by certificate so executed and sealed shall, with respect to any bond or undertaking to which it is attached, continue to be valid and binding on the Company."

ADOPTED BY THE BOARD OF DIRECTORS OF NATIONAL FIRE INSURANCE COMPANY OF HARTFORD

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the Board of Directors of the Company.

"Article VII—Execution of Documents

Section 3. Appointment of Attorney-in-Fact. The Chairman of the Board of Directors, the President of any Executive or Senior Vice President may, from time to time, appoint by written certificates attorneys-in-fact to act in behalf of the Company in the execution of policies of insurance, bonds, undertakings and other obligatory instruments of like nature. Such attorneys-in-fact, subject to the limitations set forth in their respective certificates of authority shall have full power to bind the Company by their signature and execution of any such instruments and to attach the seal of the Company thereto. The Chairman of the Board of Directors, the President or any Executive, Senior Vice President or the Board of Directors, may, at any time, revoke all power and authority previously given to any attorney-in-fact."

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of the Company at a meeting duly called and held on the 17th day of February, 1993.

"RESOLVED: That the signature of the President, an Executive Vice President or any Senior or Group Vice President and the seal of the Corporation may be affixed by facsimile on any power of attorney granted pursuant to the Resolution adopted by this Board of Directors on February 17, 1993 and the signature of a Secretary or an Assistant Secretary and the seal of the Corporation may be affixed by facsimile to any certificate of any such power, and any power or certificate bearing such facsimile signature and seal shall be valid and binding on the Corporation. Any such power so executed and sealed and certified by certificate so executed and sealed, shall with respect to any bond or undertaking to which it is attached, continue to be valid and binding on the Corporation."

IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

#10

15 November 2007

Sheran Matson, DRB Chairperson
City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

RE: Site Development Plan for Building Permit - NewLife Homes 48 Unit Apartment
Development - EPC Project # 1006600 - EPC Case # 07EPC - 40023

Dear Ms. Matson:

This letter is to explain how the 'Engineering Comments' of the Development Review Board hearing of 14 November 2007 have been met.

Transportation Development:

1. Handicapped spaces have been changed to include an 8'-0" wide van access aisle.
2. Dead-end parking aisles have 5'-0" wide keyway.
3. All sidewalk has been removed from the 'Infrastructure List'.
4. ADA accessible ramps have been added to sidewalk areas crossing drivepads.
5. Locations and details of all wheelchair ramps have been shown.
6. Existing sidewalk along Gwin Street has been shown.
7. Compact car parking spaces will show the words 'COMPACT' on the pavement of each space.
8. There are no gated lots in the development.
9. Width and length of all parking spaces will be shown.
10. All local street 'drive pads' will be a minimum of 25'-0" in width.

City Engineer:

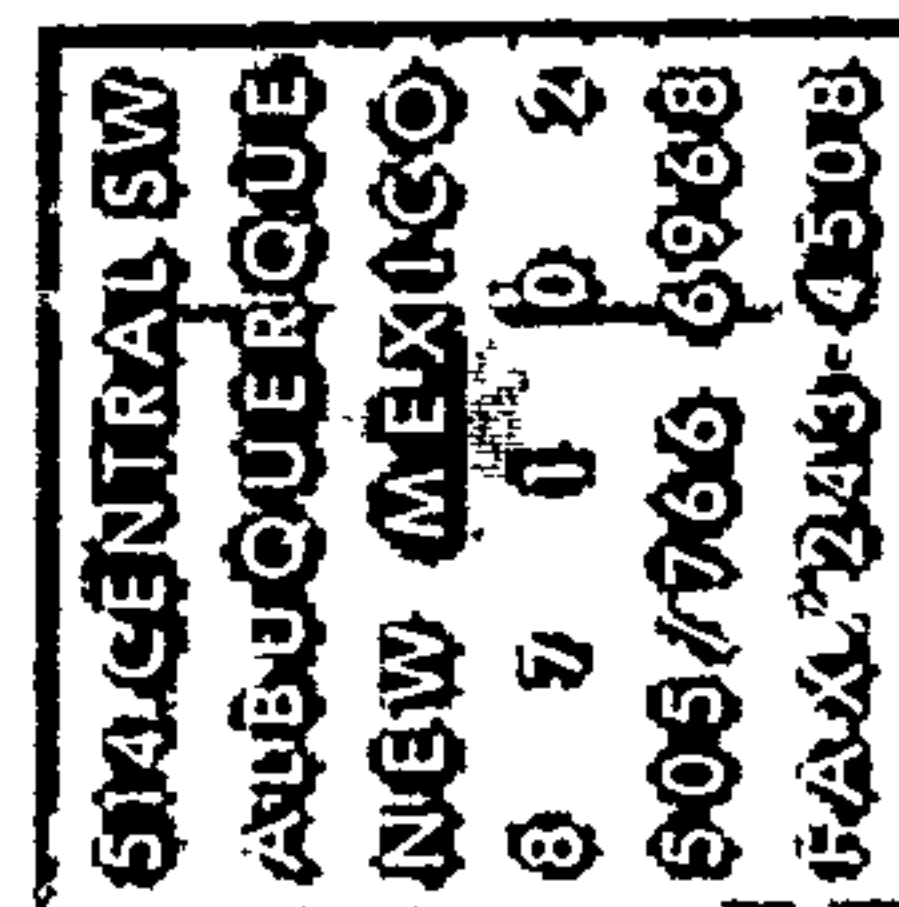
Updated Grading & Drainage and Utility Plans are included in this submittal.

If you have any questions, or if I can be of any assistance, please contact me at 766-6968.

Sincerely,



Ronald Jacob, Project Manager





BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

November 12, 2007

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: NEW LIFE HOMES 4
07 DRB 70367, Project 1006600
ZAP K-10

Dear Ms Matson:

Submitted herewith for review and approval by DRB are 5 copies and one original of the Infrastructure Listing and 5 copies of the Utility Plan for New Life Homes 4. Please distribute to the DRB members prior to the November 14, 2007 meeting.

If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.

Dennis A. Lorenz, PE
Principal

/dl/07522

encl



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental form

- | | | |
|--------------------------|--------------------------|---|
| S | Z | ZONING & PLANNING |
| <input type="checkbox"/> | <input type="checkbox"/> | Annexation |
| <input type="checkbox"/> | <input type="checkbox"/> | County Submittal |
| V | <input type="checkbox"/> | EPC Submittal |
| <input type="checkbox"/> | <input type="checkbox"/> | Zone Map Amendment (Establish or Change Zoning) |
| P | <input type="checkbox"/> | Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> | <input type="checkbox"/> | Amendment to Sector, Area, Facility or Comprehensive Plan |
| <input type="checkbox"/> | <input type="checkbox"/> | Text Amendment (Zoning Code/Sub Regs) |
| D | <input type="checkbox"/> | Street Name Change (Local & Collector) |
| L A | <input type="checkbox"/> | APPEAL / PROTEST of... |
| <input type="checkbox"/> | <input type="checkbox"/> | Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): GARRETT SMITH LTD. PHONE: 505.766.6968
 ADDRESS: 514 CENTRAL SW FAX: 505.293.4508
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: RJACOB@GARRETT-SMITH-LTD.COM
 APPLICANT: NEW LIFE HOMES, INC. PHONE: 505.293.7553
 ADDRESS: P.O. BOX 90486 FAX: 505.293-7049
 CITY: ALBUQUERQUE STATE NM ZIP 87199 E-MAIL: BOOG15@MSN.COM
 Proprietary interest in site: CONTRACT PURCHASED List all owners: _____

DESCRIPTION OF REQUEST: DRB REVIEW

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 111-C Block: _____ Unit: 6
 Subdiv/Addn/TBKA: TOWN OF ATLASCO GRANT
 Existing Zoning: SU-1 PRD 200U-A Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): K-10 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: N/A Total area of site (acres): 3.2

LOCATION OF PROPERTY BY STREETS: On or Near: BATAAN DR. SW
 Between: DELIA AVE. SW and GUIN ST. SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 11/06/07
 (Print) RONALD JACOB Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>OTDRB-70365</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>11/14/06</u>			Total <u>\$20.00</u>

[Signature] 11/06/07
 Planner signature / date

Project # 1006600

Form revised 4/07

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies ADD TITLE BLOCK
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD JACOBS
 Applicant name (print)
R. Jacobs 11/06/07
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB-10365
 07DRB-10367

Form revised October 2007
Sandy Handley 11/06/07
 Planner signature / date
 Project # 1006600

5 November 2007

Sheran Matson, DRB Chairperson
City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

RE: Site Development Plan for Building Permit - NewLife Homes 48 Unit Apartment
Development - EPC Project # 1006600 - EPC Case # 07EPC - 40023

Dear Ms. Matson:

This letter is to explain how the 'Conditions of Approval' of the 'Official Notification of Decision' have been met.

Condition #:

- #1 - Read and understood
- #2 - Meeting was held with Anna DiMambro, Staff Planner on 2 November 2007.
- #3 - Unit count has been corrected on the G&D plan
- #4 - Lower water use turf substitution has been made on landscape plan
- #5 - Details:
 - a. Trash enclosure will be CMU with stucco finish to match building color 'El Rey Stucco Fawn'
 - b. Pole and building mounted light fixtures will be 'full cut-off' type (see notation on drawings)
 - c. Retaining walls will be painted to match 'El Rey Stucco Fawn'
 - d. Dimensions have been indicated for accessible parking signs
- #6 - Elevations:
 - a. Windows and color break-up have been added to east side of Bldg. B.
 - b. East and west elevations of Bldg. E have been provided
 - c. HVAC systems being planned will have ground mounted condensers.
At this time no roof top equipment is expected.
- #7 - Fences and gates have been removed except those needed for protection against falling along the retaining walls at Delia will be required

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505/766-6968
FAX/243-4508

#8 - City Engineer conditions:

- a. All the requirements of previous actions taken by the EPC and / or the DRB will be completed and / or provided for, etc..
- b. Delia Rd. will be developed as shown on the Architectural Site Plan. This includes sidewalk, curb & gutter and 24' of road paving.
- c. All parking spaces will meet DPM standards.
- d. All DPM standards shall be met on the site plan.

#9 - The transit shelter required to be built for parking reduction shall be of type and location acceptable to the City Transit Department.

The project is in construction drawings. This process has necessitated changes to the EPC approved drawings. The overall concept and resulting esthetic have been maintained. Changes made are as follows:

Site Plan:

1. A number of pole light fixtures have been removed. Site lighting will be augmented by wall mounted lighting on the buildings.
2. The arc shaped buildings at the east portion of the site have been spaced from north to south to gain more solar insolation to the lower story of the double story buildings.
3. Units within the double story building have been shifted to the south to create similar uniform facades at single and double story arc shaped buildings.
4. The outer units of the triplex building have been changed to be flat roof. The center unit roof remains sloped as originally shown. This change was a concession to the concerns of the Alamosa Neighborhood Association, they suggesting that variation of roof lines would relate to the surrounding residential properties.
5. Retaining walls and stair as shown on the updated Grading & Drainage Plan are not shown at this time on the Site Plan. The stairs will be included in the construction drawing Site Plan.
6. The size of the Community Building has been reduced.

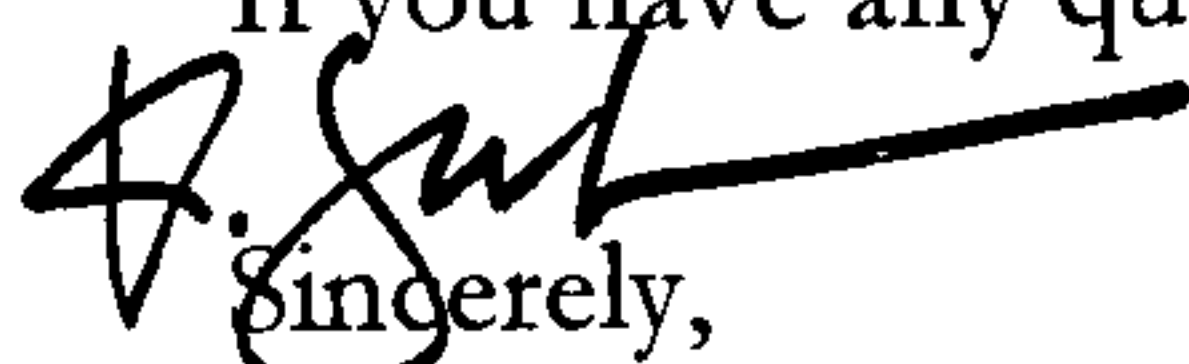
Grading & Drainage Plan:

1. The project is currently in construction drawings. The Conceptual Grading & Drainage Plan included in this submittal is being updated and refined as a result of the construction drawing process. Changes to building pad elevations and height and extent of required retaining walls are being engineered.
2. The above mentioned changes to building pad elevations will result in variation in the roof line of the buildings in the east portion of the site. This change in roof line along with the changes to the triplex building roof further address the Alamosa Neighborhood Associations concerns.

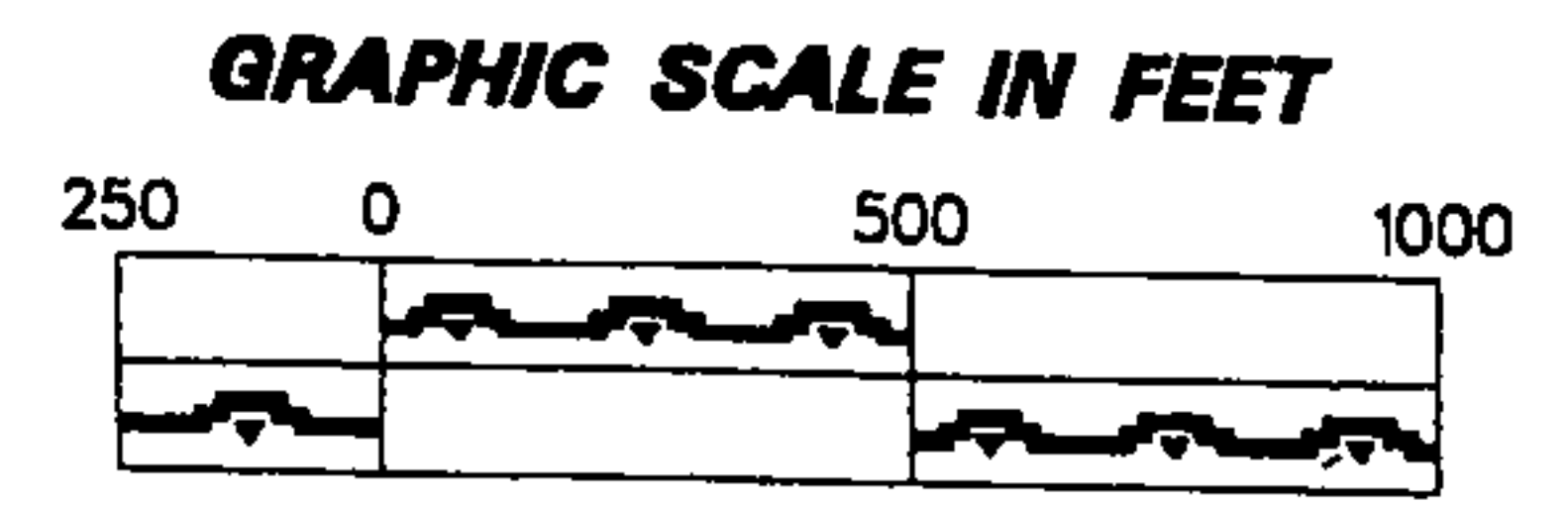
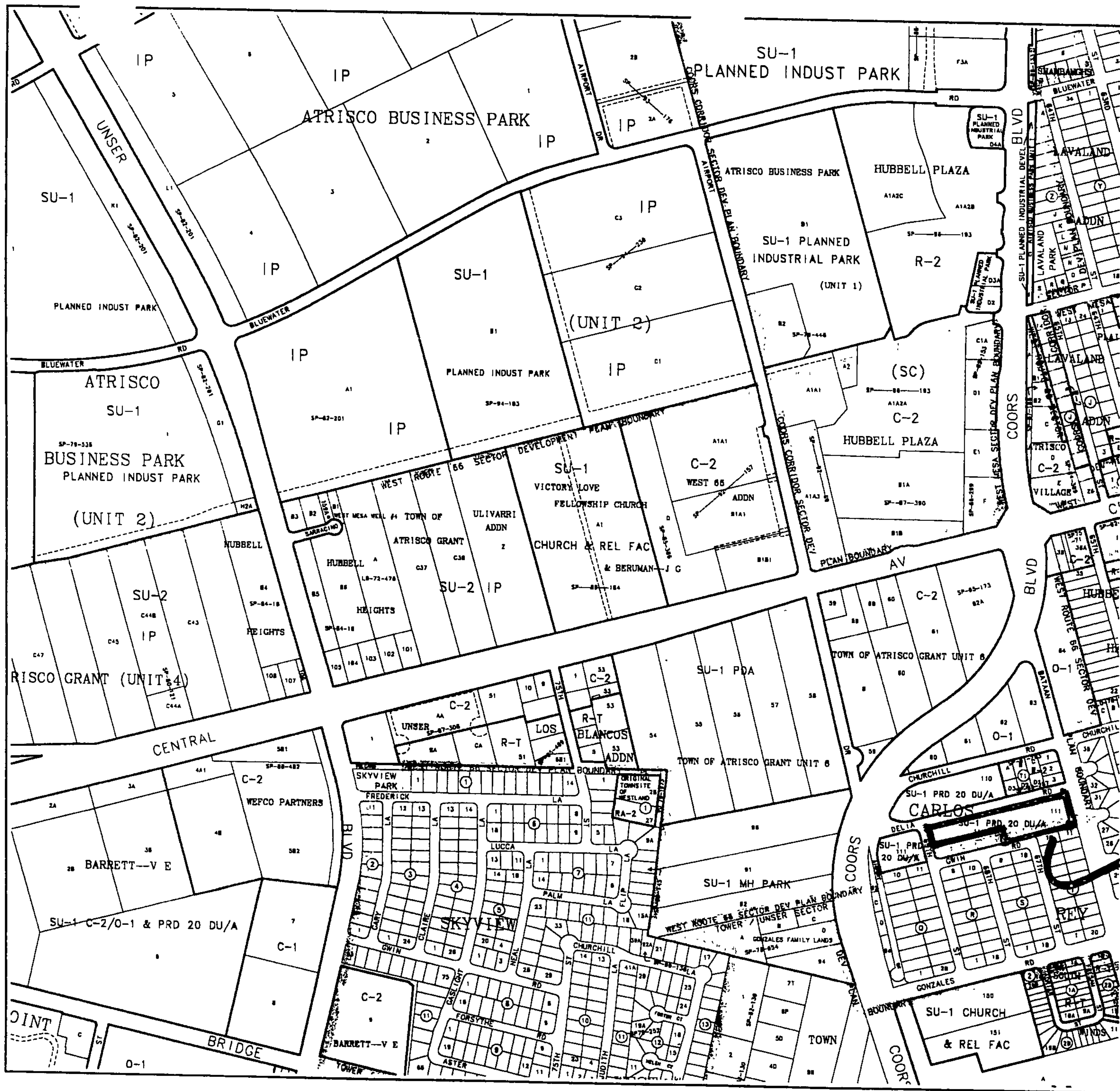
Landscape Plan:

1. The Landscape will be adjusted during the construction drawing process to conform to the necessities of the revised Grading & Drainage and Architectural Site Plan. All City of Albuquerque Landscape Ordinance requirements will continue to be met.

If you have any questions, or if I can be of any assistance, please contact me at 766-6968.

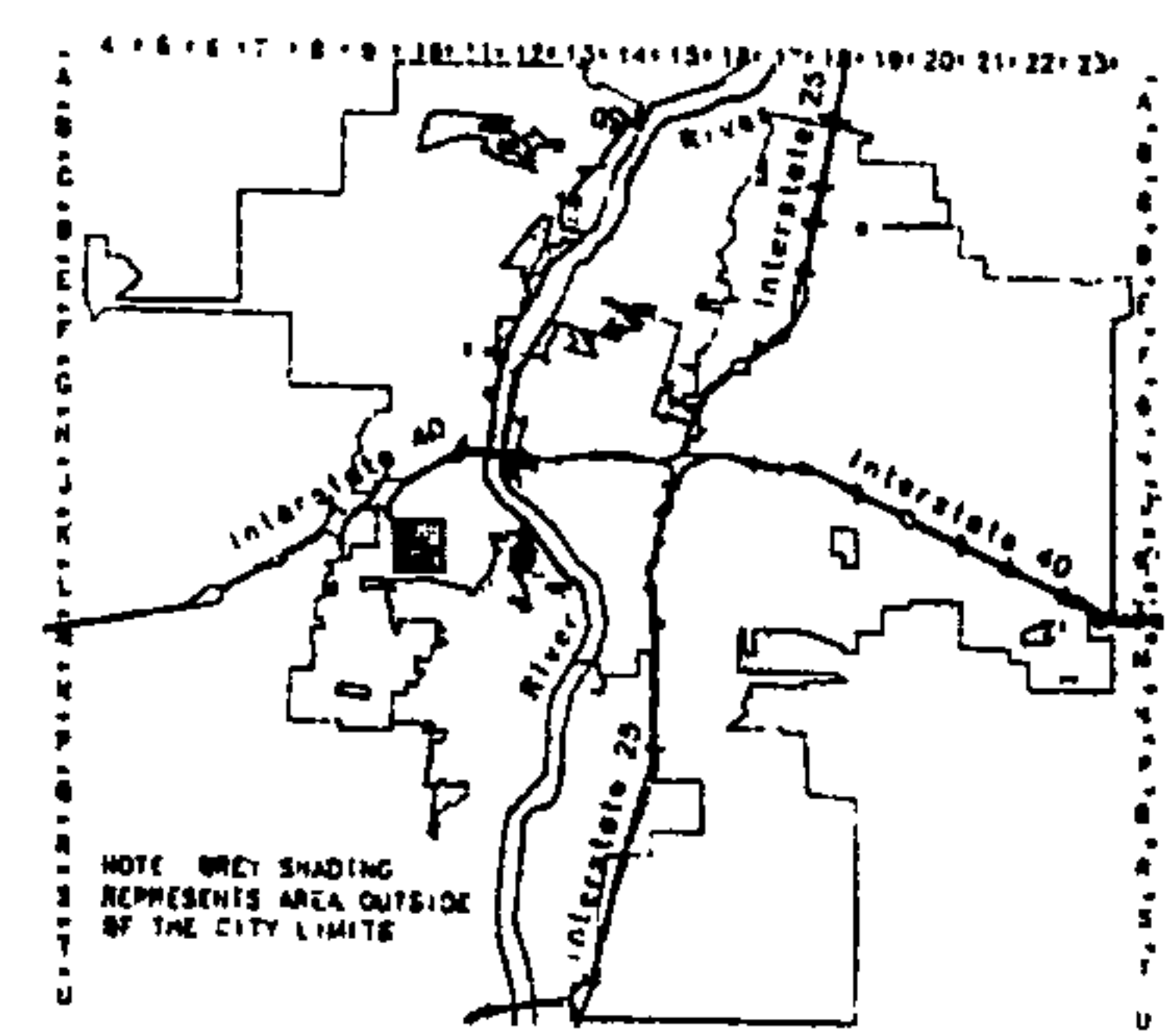


Sincerely,
Ronald Jacob, Project Manager



CITY OF Albuquerque
Geographic Information System
PLANNING DEPARTMENT
 © Copyright 1997

Map Amended through February 17, 1997

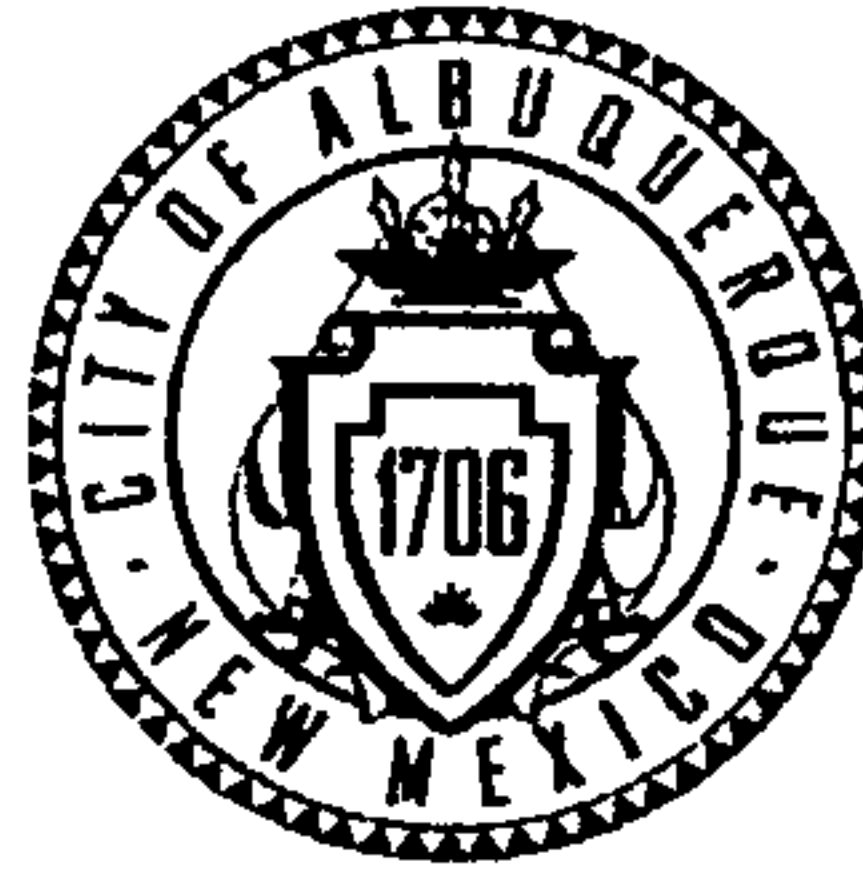


SITE

LEGAL DESCRIPTION
 TION
 R2E
 SEC 22

UNIFORM PROPERTY CODE
 1-010-057

K-10-Z



NON-AD

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 21, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1006600
07EPC-40023 SITE DEVELOPMENT -
BUILDG PRMT

Newlife Homes Inc.
P.O. Box 90486
Albuq. NM 87199

LEGAL DESCRIPTION: for all or a portion of lot 111-C, TOWN OF ATRISCO GRANT Unit 6, zoned SU-1 PRD 20 DU-A located on DELIA RD. AVE SW BETWEEN BATAAN DR SW AND 69th ST SW containing approximately 2.4262 acres. (K-10) Anna DiMambro, Staff Planner (DEFERRED FROM AUGUST 16, 2007)

On September 20, 2007 the Environmental Planning Commission voted to approve Project 1006600/07EPC 40023, a request for a site development plan for building permit, for Lot 111C, Town of Atrisco Grant, Unit 6, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Lot 111C, Town of Atrisco Grant, Unit 6, an approximately 2.43 acre site located on Delia Road SW between 69th Street and Bataan Drive SW. The site is zoned SU-1 for PRD 20 DU/A, and the applicant is proposing to construct a 48-unit multi-family residential development – a permissive use under the current zoning.
2. This request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:
 - a. The location, intensity, and design of the proposed development respects existing neighborhood values, natural environmental conditions and carrying capacities, and scenic and other resources (II.B.5.d).
 - b. The applicant is proposing new growth on vacant land contiguous to existing urban facilities and services. The integrity of existing neighborhoods can be ensured through the site plan review process (II.B.5.e).

- c. The submittal shows homes clustered around a pedestrian way and facing a community area (II.B.5.f).
 - d. The proposed site design is innovative and is appropriate to the Plan area (II.B.5.l).
3. This request is in conflict with policy II.B.5.g for Developing and Established Urban Areas because the applicant proposes to cut into a steep slope and construct a retaining wall rather than designing the development to conform to topographical features.
4. This request furthers the following Comprehensive Plan policies for Housing:
 - a. The applicant proposes to increase the supply of affordable housing (II.D.5.a) for households that earn less than 80% of the medium income.
 - b. Approval of this request would encourage efficiency in the development review process and reduce unnecessary construction costs while balancing short-term benefits of delivering less costly housing with long-term benefits of preserving investment in homes and protection of quality of life (II.D.5.e).
5. This request partially furthers Comprehensive Plan policy II.D.5.d for Housing because it proposes decent housing available to people with physical and developmental handicaps and low-to-moderate income people. This policy encourages a wide distribution of this type of housing.
6. The applicant is proposing several water conservation methods and green principles for this development.
7. This request furthers the following objectives and policies of the West Side Strategic Plan:
 - a. The applicant has proposed a creative and innovative housing development for the West Side. This moderate density project is located close to the services offered at the Alamosa Multi-Service Center and is also conveniently located for access to transit (Objective 2).
 - b. The subject site is located within a designated Neighborhood Activity Center. The use proposed for this development is part of a full range of land uses appropriate in a Neighborhood Activity Center (Policy 3.30).
 - c. The proposed development will provide housing within the price range of citizens with low-to-moderate incomes on the West Side (Policy 4.18).
8. This request is in accordance with the zoning and land use proposed for the site by the West Route 66 Sector Development Plan.
9. This request conforms to most regulations of the Zoning Code, the West Side Strategic Plan, and the West Route 66 Sector Development Plan. This request does not conform to height, floor area ratio, and setback regulations of the governing site development plan for subdivision. However, the applicant has submitted a concurrent request for an amendment to the site development plan for subdivision.

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10. The applicant is requesting to provide 6 parking spaces fewer than normally required. The Environmental Planning Commission is allowed the discretion to grant this request. The applicant has adequately justified the parking shortage.
11. There is neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The unit count on the Grading and Drainage Plan shall be corrected.
4. Substitute Kentucky Bluegrass with a lower water usage turf.
5. Detail drawings:
 - a. Indicate materials and colors for trash enclosure.
 - b. Light fixtures shall be full-cutoff type fixtures.
 - c. Materials and colors for proposed retaining walls shall be indicated. The wall must be in conformance with the West Route 66 Sector Development Plan Design Overlay Zone.
 - d. Provide dimensions of handicap parking space signage.
6. Elevations:
 - a. Additional articulation including windows shall be provided on the east side of Bldg D.
 - b. East and west elevations of Building E shall be provided.
 - c. All roof-mounted mechanical equipment shall be screened.
7. 5' wrought iron perimeter fence shall be removed except on Delia Road and around the play area.
8. City Engineer conditions:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. All parking spaces to meet DPM requirements (i.e. standard space 8.5' x 20' or 8.5' x 18' w/ 2' overhang provided, compact space 8' x 15').
 - d. Provide more information on gated parking lots (i.e. hours open, lots are used by whom, emergency access, etc.). Gates will need to be set back 20' minimum.
 - e. Site plan shall comply and be designed per DPM Standards.
9. Transit shelters shall be of a type and location acceptable to the City Transit Department.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY OCTOBER 5, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



Richard Dineen
Planning Director

RD/AD/ac

Cc: Garrett Smith Ltd., 514 Central SW, Albuquerque, NM 87102
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