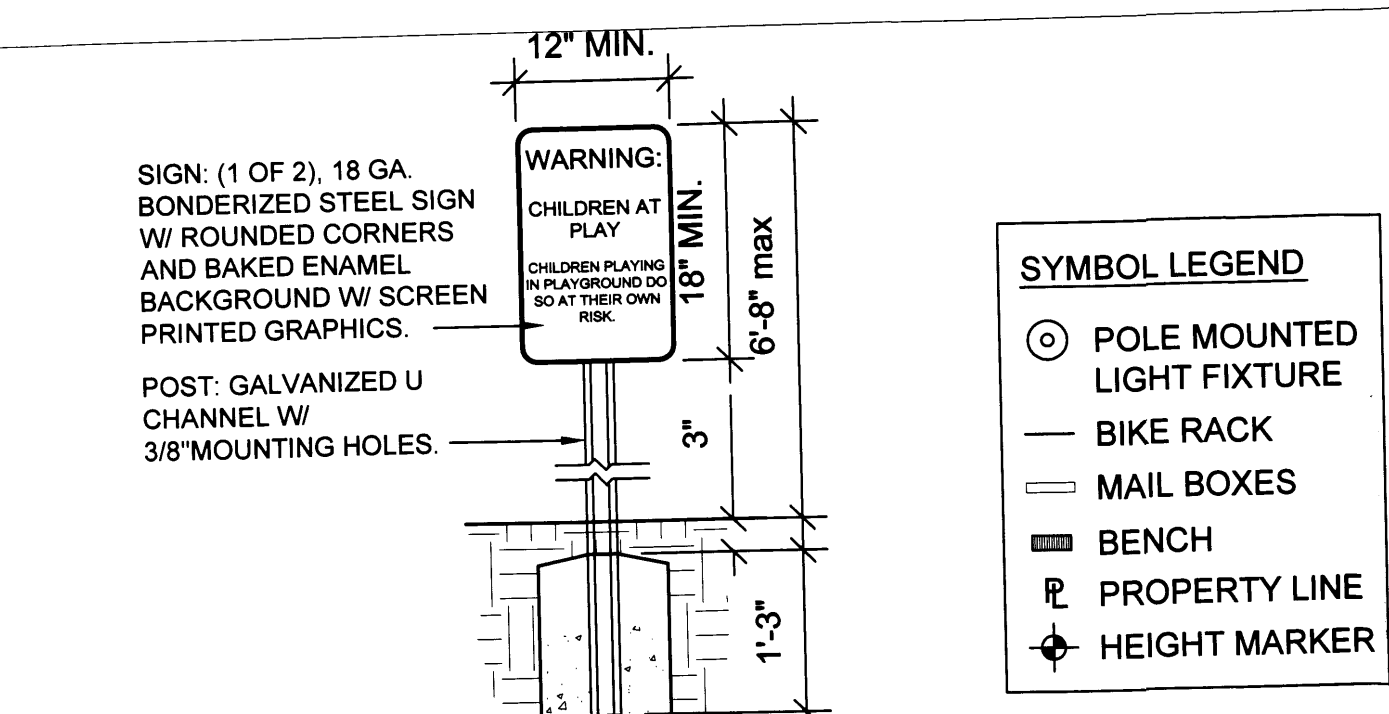
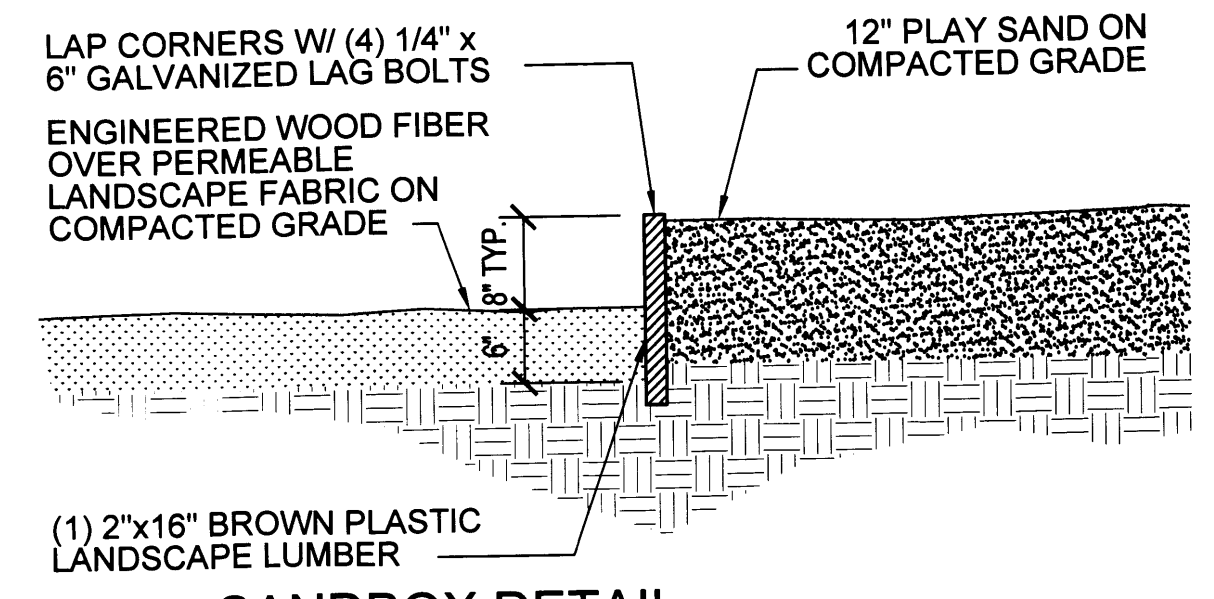


MARK	DATE	DESCRIPTION
1	9.17.09	
2	12.16.09	AA 10-10102
3		

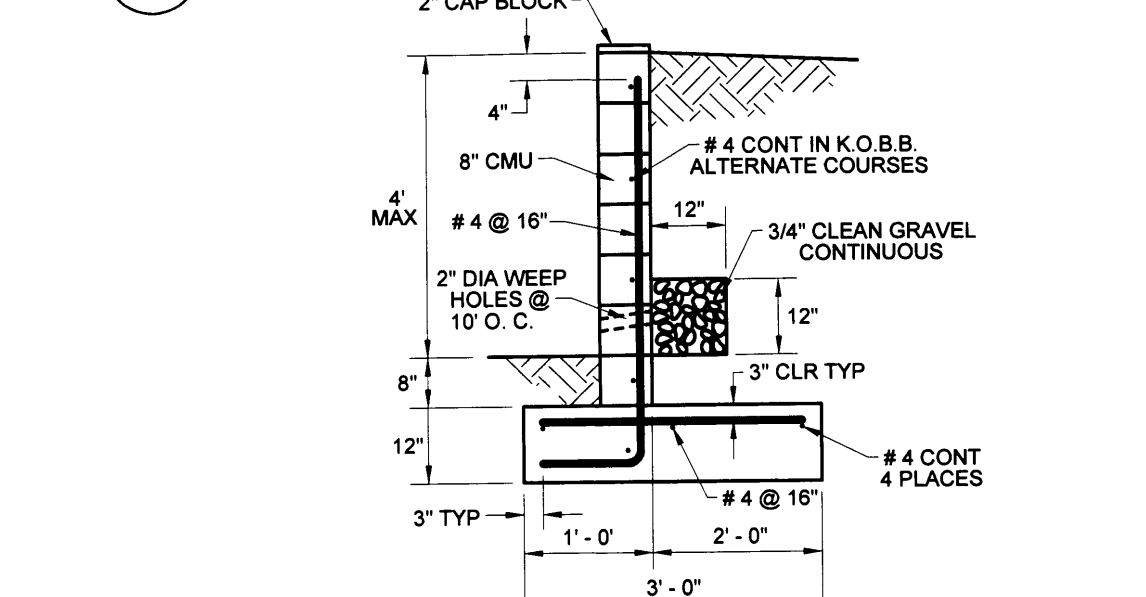
ISSUE:
PROJECT NUMBER: 07-11
FILE: AS1.01-071126.DWG
DRWN. BY: BF
CHKD BY: GS
DATE: NOVEMBER 27, 2007



1D CHILDREN @ PLAY WARNING SIGN
SCALE: 3/4"=1'-0"



1C SANDBOX DETAIL
SCALE: 3/4"=1'-0"



A RETAINING WALL SECTION
SCALE: NTS

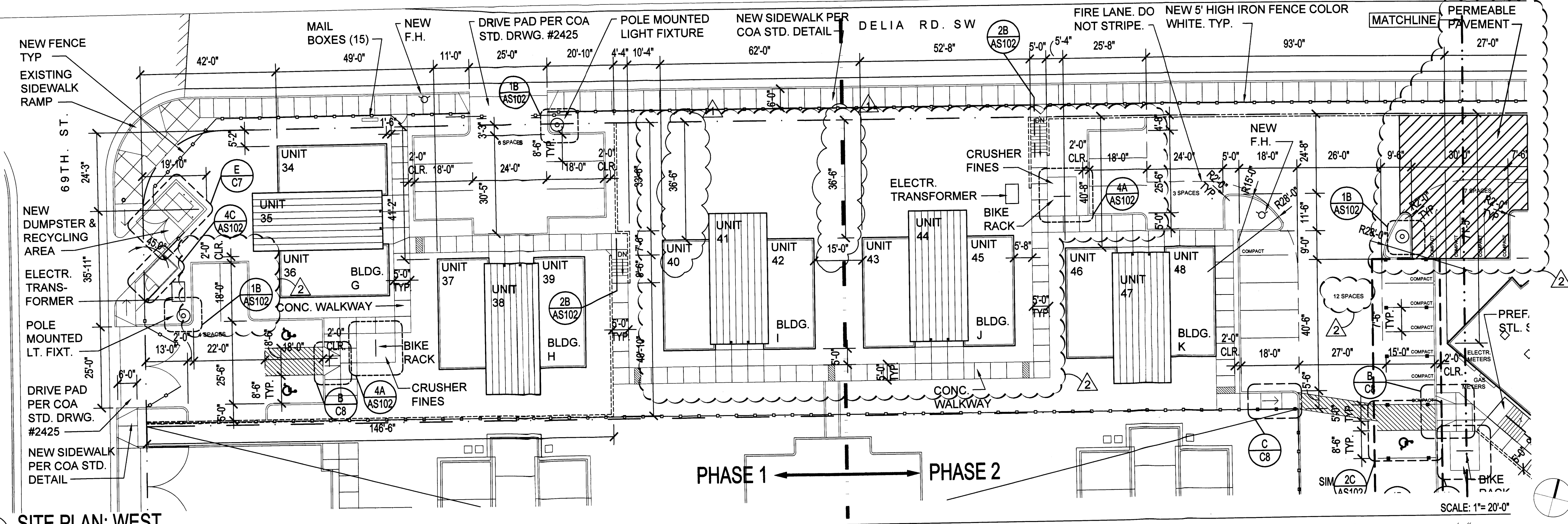
PARKING PROVIDED

- PHASE 1**
PHASE 1 CONTAINS 3 TRIPLEXES, OR 9 UNITS, IDENTIFIED AS UNITS 34-42.
PARKING REQUIRED: 10 SPACES, INCLUDING 1 HC SPACE
PARKING PROVIDED: 10 SPACES, INCLUDING 2 HC SPACES
- PHASE 2**
PHASE 2 CONTAINS 2 TRIPLEXES, OR 6 UNITS, IDENTIFIED AS UNITS 43-48.
PARKING REQUIRED: 8 SPACES, INCLUDING 1 HC SPACE
PARKING PROVIDED: 32 SPACES, INCLUDING 1 HC SPACE AND 11 COMPACT SPACES
EXCESS PARKING PROVIDED: 24 SPACES
- PHASE 3**
PHASE 3 CONTAINS 33 UNITS, IDENTIFIED AS UNITS 1-33, AND THE COMMUNITY BUILDING.
PARKING REQUIRED: 38 SPACES, INCLUDING 1 HC SPACE
PARKING PROVIDED: 14 SPACES, INCLUDING 1 HC SPACE
EXCESS PARKING FROM PHASE 2: 24 SPACES
TOTAL PROVIDED: 38 SPACES, INCLUDING 1 HC SPACE
- TOTAL PARKING PROVIDED**
- | | |
|----------|----|
| REGULAR | 41 |
| COMPACT | 11 |
| HANDICAP | 4 |
| TOTAL | 56 |
- BICYCLE 24
MOTORCYCLE 3

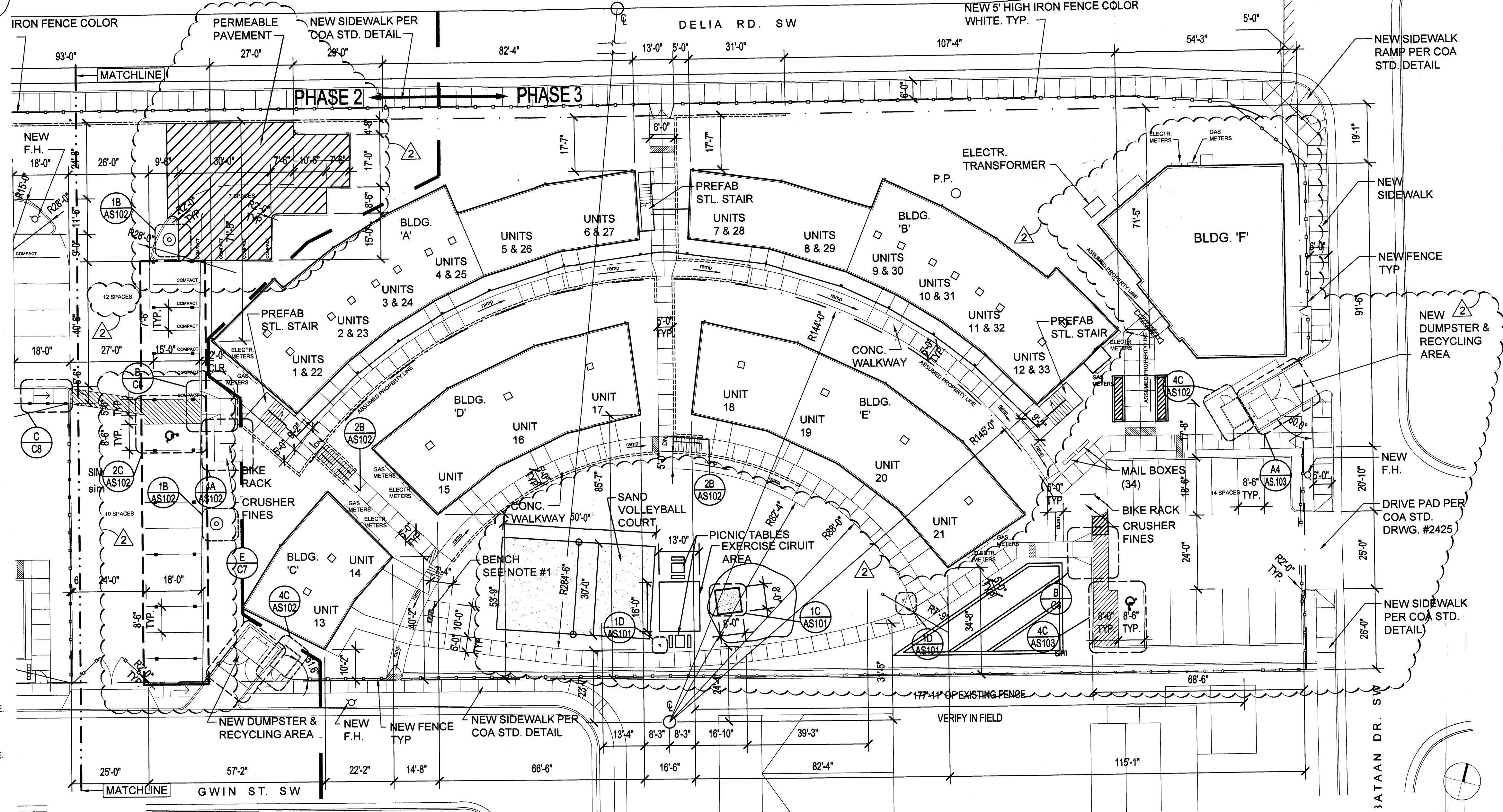
SHEET NOTES:

- BENCH: WELDED STEEL STRAP BENCH W/ TUBULAR STEEL BASE; MODEL PL-1 AS MANUFACTURED BY FAIRWEATHER SITE FURNISHINGS AND ACCESSORIES. PORT ORCHARD, WASHINGTON; 1-800-323-1798; WWW.FAIRWEATHER.COM
- A. SIZE: 18-1/2" WIDE BY 16-1/2" HIGH BY 6'-0" LONG
B. SEAT: FABRICATED FROM 1/4" x 1-1/2" STEEL STRAPS
C. SUPPORTS: PROVIDE THREE 2-1/2" x 2-1/2" STEEL TUBE LEGS W/ BASE PLATES FOR EMBEDDED INSTALLATION.
D. COLOR: WHITE
- TOT LOT: 6" MIN. ENGINEERED WOOD FIBER OVER PERMEABLE LANDSCAPE FABRIC ON COMPACTED GRADE. PROVIDE 6" HIGH x STANDARD LENGTHS PLASTIC PERIMETER BANDING ALL AROUND TOT LOT. EXCAVATE TOT LOT 6" TO ALIGN FINISHED ENGINEERED WOOD FIBER WITH SURROUNDING FINISH SURFACE OR FINISH GRADE SURFACE.
- SAND VOLLEYBALL COURT: 10" CLEAN SAND OVER 15ML VAPOR BARRIER OVER 5" ENGINEERED SUBGRADE. INSTALL FINISHED SURFACE FLUSH W/ SURROUNDING FINISHED SURFACE OR FINISHED GRADE.
 - SIZE: 30'-0" x 50'-0"
 - EDGE TREATMENT: PROVIDE 2x4 PLASTIC LUMBER PERIMETER BANDING ALL AROUND.
 - SAND VOLLEYBALL COURT: PROVIDE ONE (1) NET W/POLES FOR PERMANENT INSTALLATION.

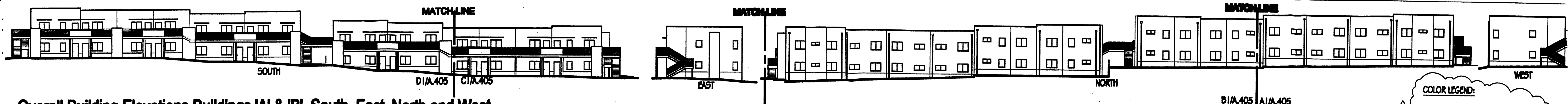
DBB FILE



2 SITE PLAN: WEST
SCALE: 1"=20'-0"



1 SITE PLAN: EAST
SCALE: 1"=20'-0"



Overall Building Elevations Buildings 'A' & 'B'. South, East, North and West

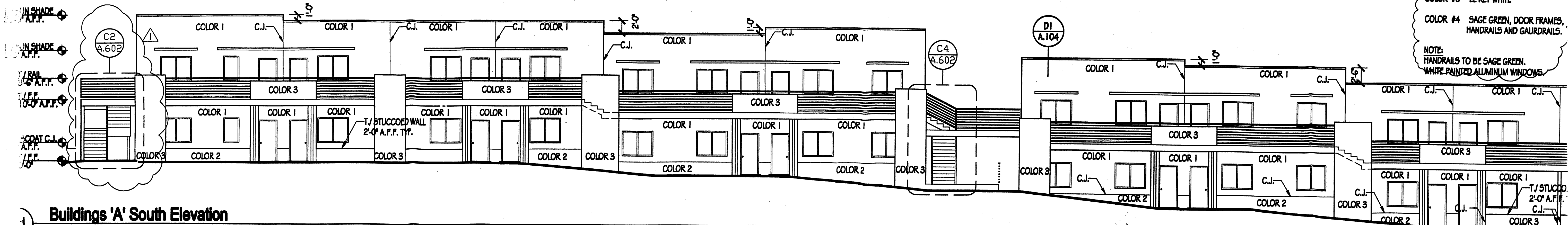
SCALE: N.T.S.

COLOR LEGEND:

- COLOR #1 EL REY IVORY
- COLOR #2 EL REY FAWN
- COLOR #3 EL REY WHITE

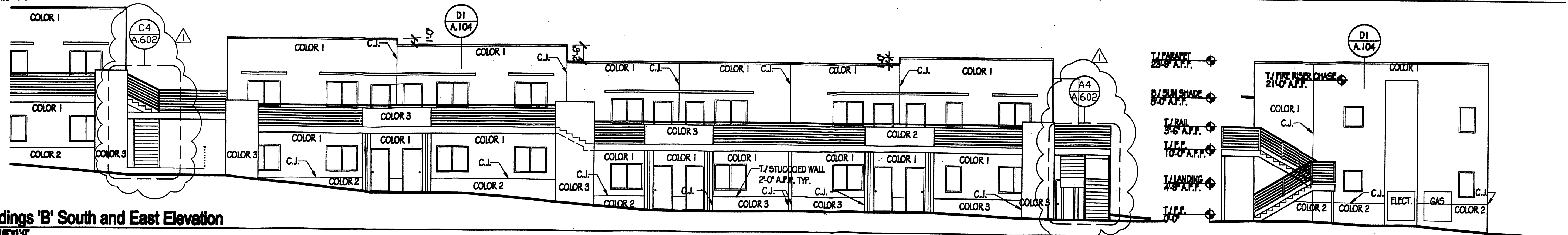
- COLOR #4 SAGE GREEN, DOOR FRAMES, HANDRAILS AND GAURDRAILS.

NOTE: HANDRAILS TO BE SAGE GREEN. WHITE PAINTED ALUMINUM WINDOWS.



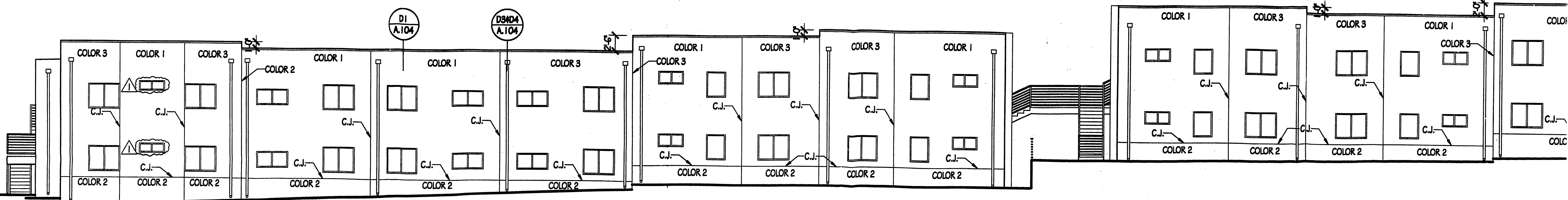
Buildings 'A' South Elevation

SCALE: 1/8"=1'-0"



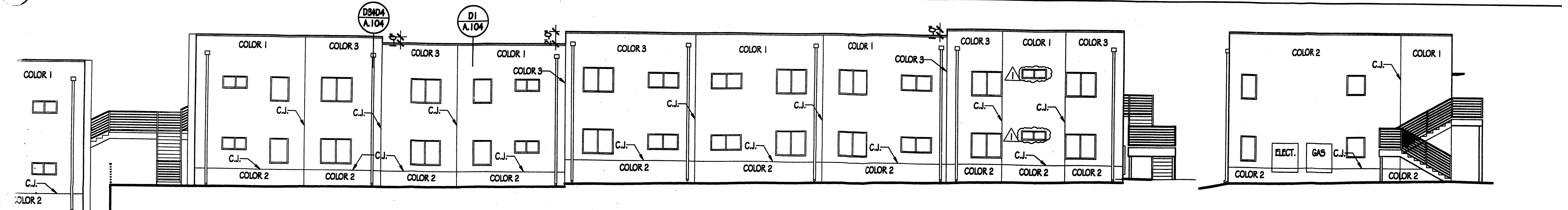
Buildings 'B' South and East Elevation

SCALE: 1/8"=1'-0"



Buildings 'B' North Elevation

SCALE: 1/8"=1'-0"

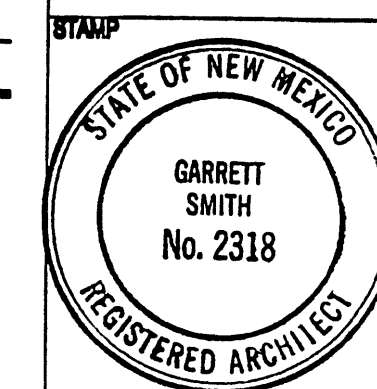


Buildings 'B' North and West Elevation

SCALE: 1/8"=1'-0"

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FAX 505-766-1108

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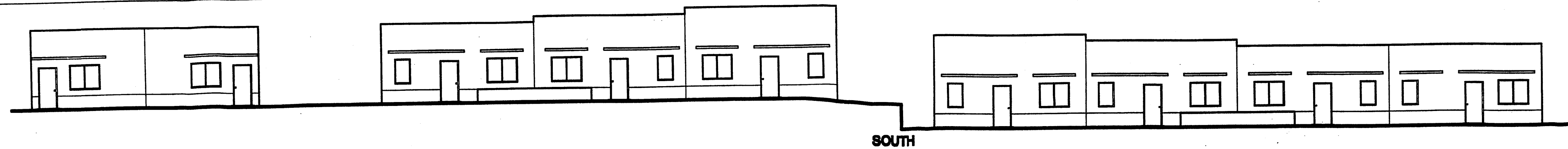
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**New Life Homes 4
Exterior Building
Elevations**

MARK	DATE	DESCRIPTION
A	9.17.09	AA 10-10192

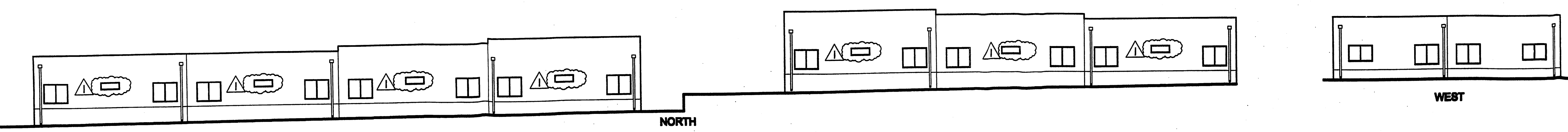
ISSUE: CD
PROJECT NUMBER: 07-11
FILE: A.403.dwg
DRWN BY: CM
CHKD BY: GS
DATE: November 27, 2007

A.403



SOUTH

E1 South, East Elevations Buildings 'C', 'D' & 'E'.
SCALE: N.T.S.

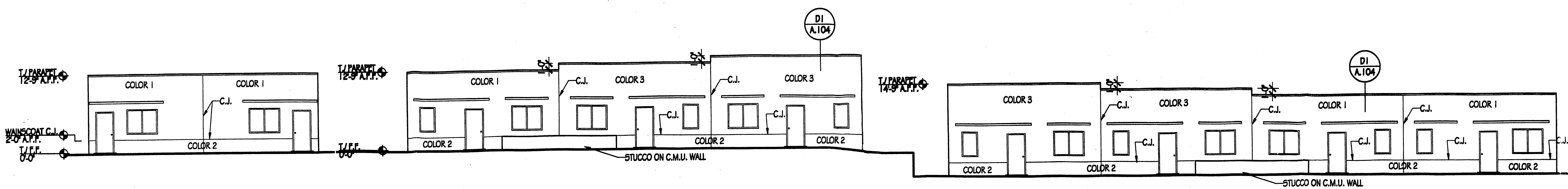


NORTH

WEST

COLOR LEGEND:
 COLOR #1 EL REY IVORY
 COLOR #2 EL REY FAWN
 COLOR #3 SAGE GREEN, DOOR FRAMES, HANDRAILS AND GAUDDRAILS.
 COLOR #4 EL REY WHITE
NOTE:
 HANDRAILS TO BE SAGE GREEN.
 WHITE PAINTED ALUMINUM WINDOWS.

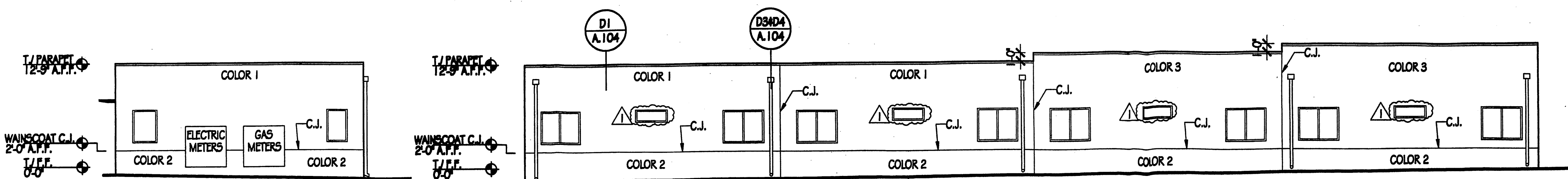
D1 North and West Elevations Buildings 'C', 'D' & 'E'.
SCALE: N.T.S.



C1 Building 'C' South Elevation
SCALE: 1/8"=1'-0"

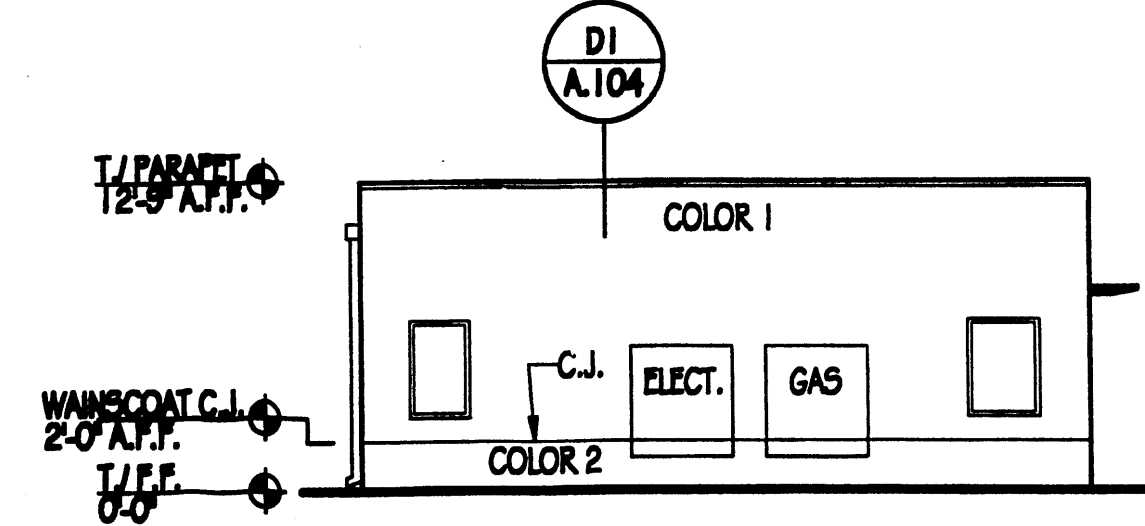
C2 Building 'D' South Elevation
SCALE: 1/8"=1'-0"

C3 Building 'E' South Elevation
SCALE: 1/8"=1'-0"

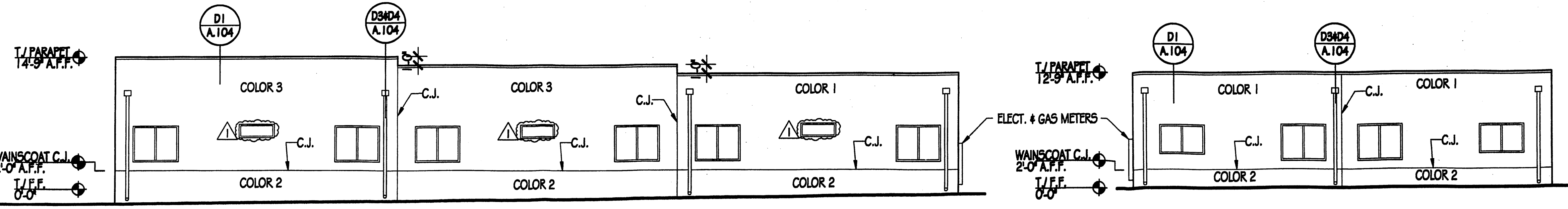


B1 Building 'E' East Elevation
SCALE: 1/8"=1'-0"

B2 Building 'E' North Elevation
SCALE: 1/8"=1'-0"



B4 Buildings 'D' West Elevation
SCALE: 1/8"=1'-0"



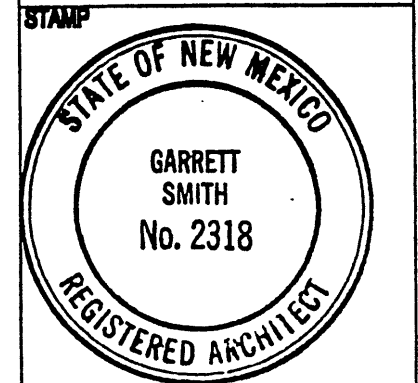
A1 Buildings 'D' North Elevation
SCALE: 1/8"=1'-0"

A3 Buildings 'C' North Elevation
SCALE: 1/8"=1'-0"

A4 Buildings 'C' West Elevation
SCALE: 1/8"=1'-0"

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 NEW MEXICO
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 FAX 243 4008

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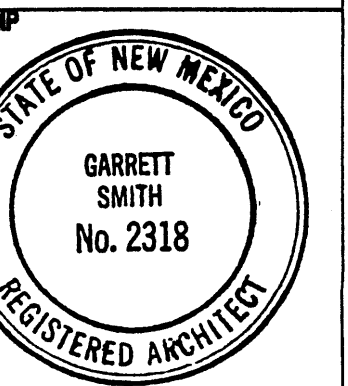
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New Life Homes 4
Exterior Building
Elevations

MARK	DATE	DESCRIPTION
A	9.17.09	AA 10-10 107

ISSUE: **CD**
 PROJECT NUMBER: 07-11
 FILE: A.404.dwg
 DRWN. BY: **CM**
 CHKD BY: **GS**
 DATE: November 27, 2007

A.404



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New Life Homes 4
Buildings G, H, I, J & K
Building Elevations
Building Sections
Schedules

MARK	DATE	DESCRIPTION
AA	10-11-02	
AB	9-17-09	

ISSUE: CD
PROJECT NUMBER: 07-11
FILE: A405.dwg
DRWN. BY: ME/LM
CHKD BY: CM
DATE: November 27, 2007

A.405

NAME	FLOOR	BASE	WALL	CEILING	HEIGHT
LIVING ROOM	CPT	WD	PGB	PGB	8'-0"
KITCHEN	VCT	WD	PGB	PGB	8'-0"
BEDROOM	CPT	WD	PGB	PGB	8'-0"
BATH	VCT	WD	PGB	PGB	8'-0"
CLOSET	CPT	WD	PGB	PGB	8'-0"

ROOM FINISH SCHEDULE LEGEND			
VCT	VINYL COMPOSITION TILE	WD	WOOD
CPT	CARPET	PGB	PAINTED GYPSUM BOARD

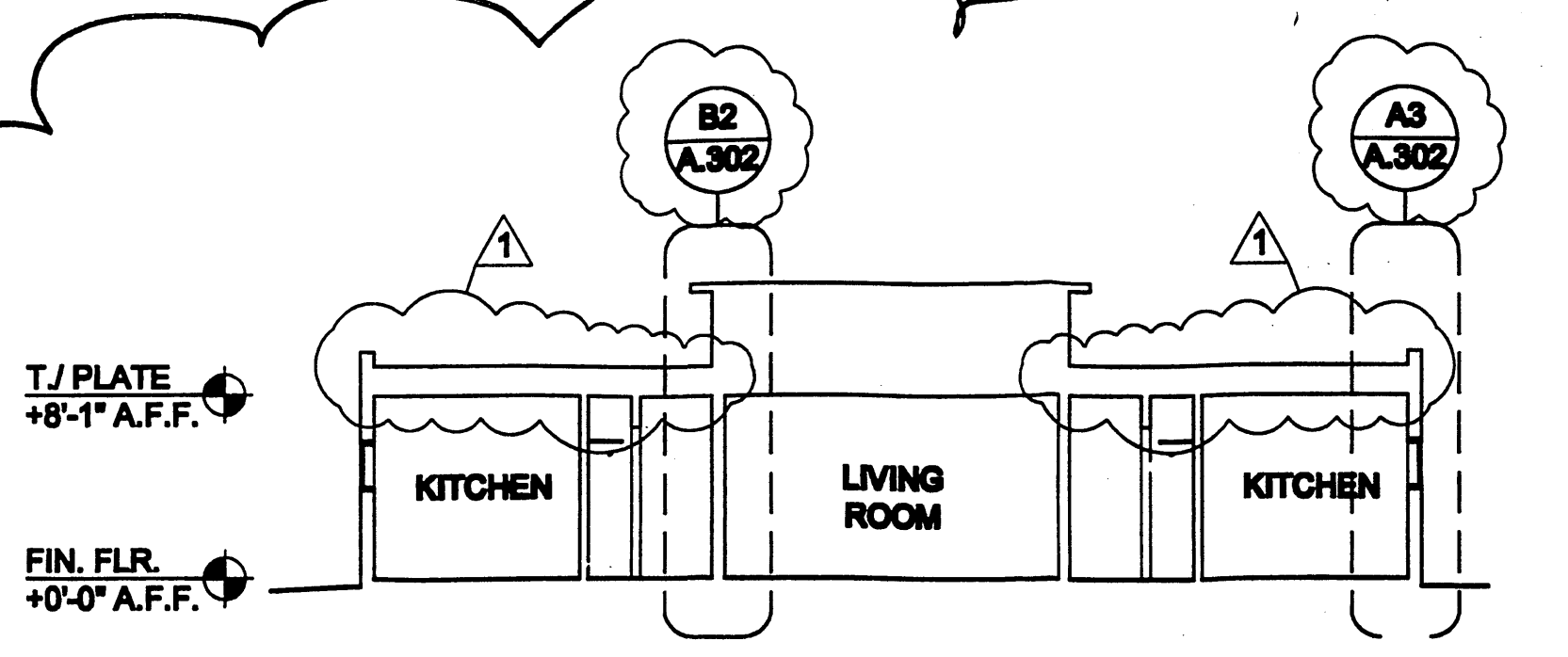
WINDOW NUMBER	FRAME MATERIAL	OPENING SIZE	TYPE	QUANTITY	REMARKS
A	VINYL	3'-0" X 3'-0"	HS	10	
B	VINYL	3'-0" X 5'-0"	SH	25	
C	VINYL	2'-6" X 5'-0"	SH	15	
D	VINYL	4'-0" X 4'-0"	HS	10	
F	VINYL	6'-0" X 4'-0"	HS	5	TEMPERED GLASS
G	VINYL	4'-0" X 1'-0"	HS	15	SILL @ 5'-8" AFF

HS	HORIZONTAL SLIDER
SH	SINGLE HUNG

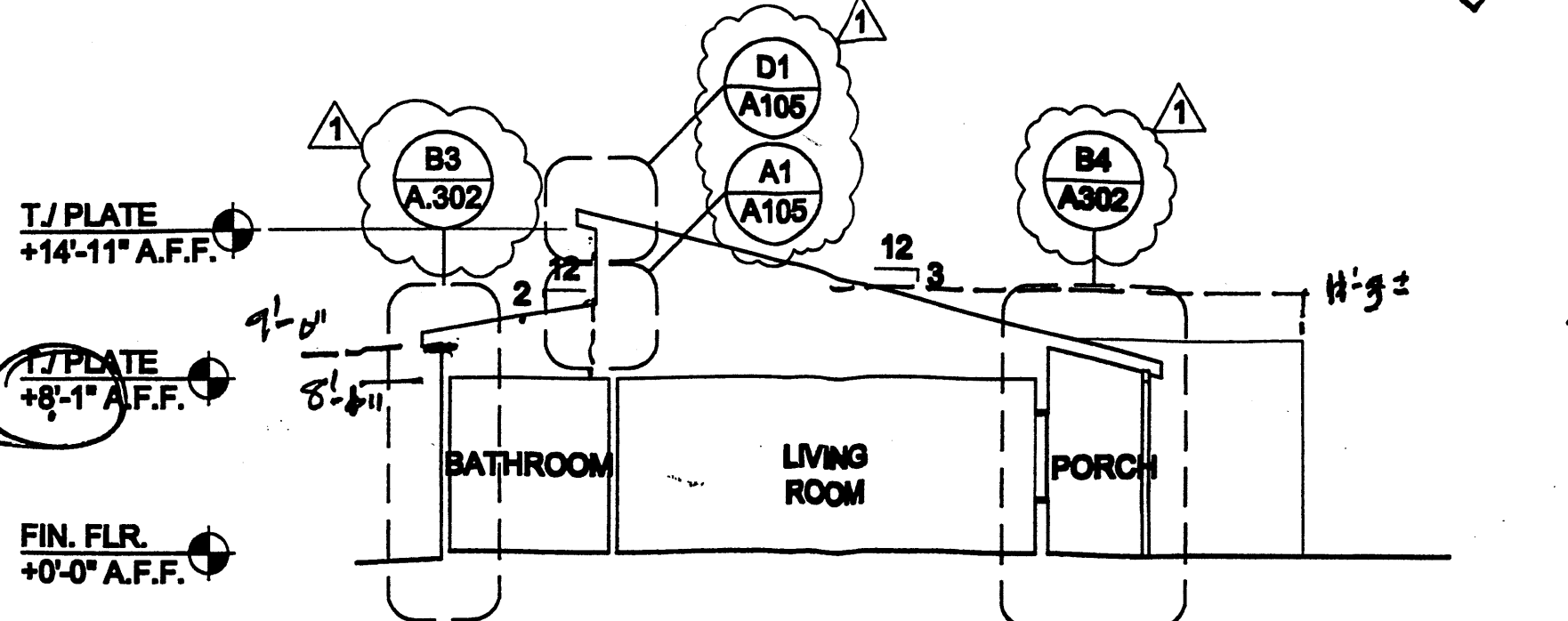
DOOR NUMBER	FRAME MATERIAL	DOOR MATERIAL	DOOR SIZE	HARDWARE
1	WD	METAL	3'-0" X 6'-8"	LOCKSET AND DEADBOLT
2	WD	HC/WD	2'-6" X 6'-8"	PASSAGE
3	WD	HC/WD	PR. 3'-0" X 6'-8"	PER ANSI A117.1 1997
5	WD	HC/WD	3'-0" X 6'-8"	PASSAGE
6	WD	HC/WD	2'-6" X 6'-8"	PRIVACY/PASSAGE

WD	WOOD	NOTE: DOOR #1 TO INCLUDE: INTEGRATED THRESHOLD, WEATHERSTRIPPING AND PRIVACY VIEWER. ALL LATCH SETS TO BE LEVER TYPE PER ANSI A117.1 1997. GC TO PROVIDE HARDWARE SUBMITTAL FOR ARCHITECTURAL REVIEW
HC	HOLLOW CORE	
SC	SOLID CORE	

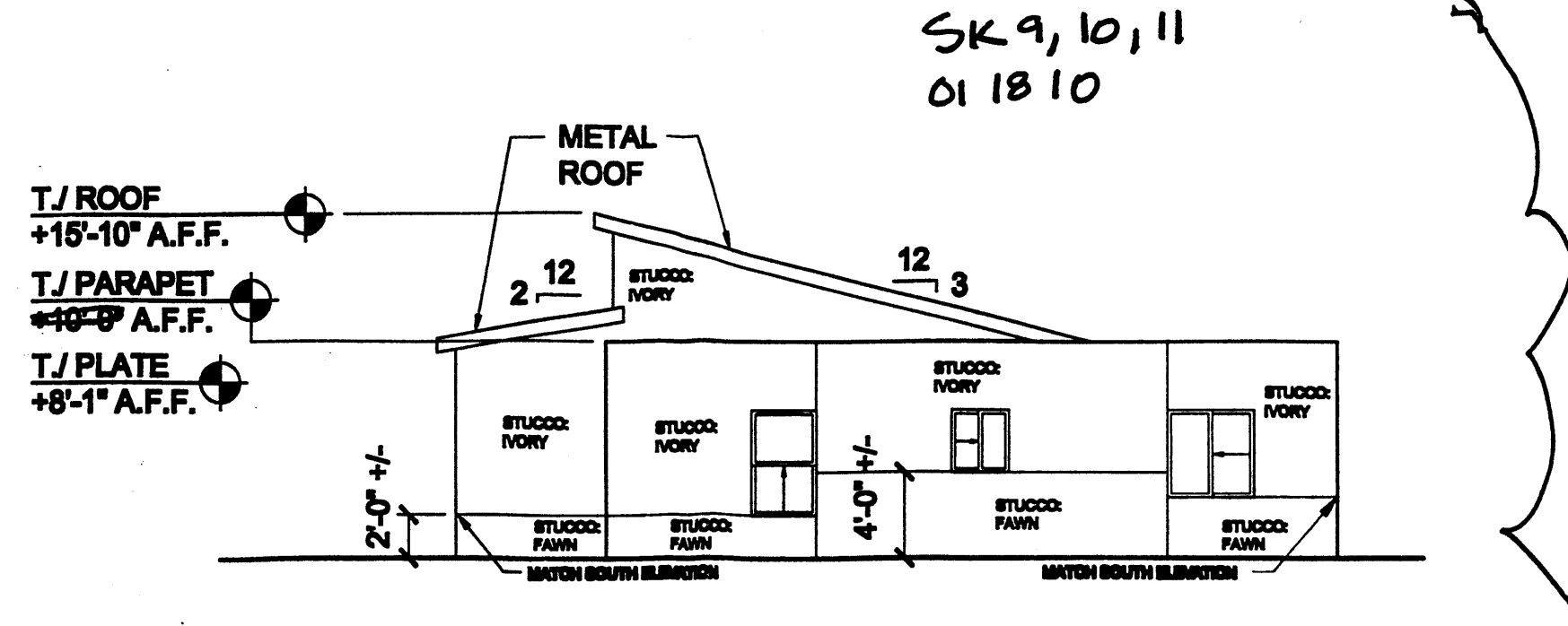
C1 FINISH SCHEDULE BUILDINGS G, H, I, J & K



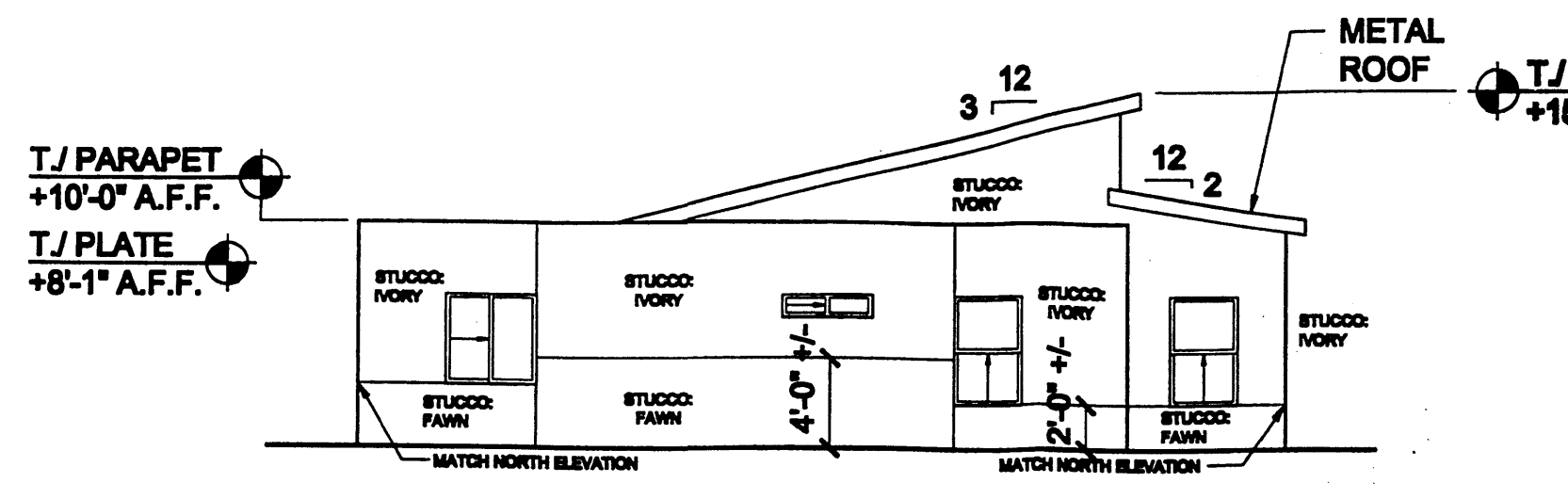
C2 WINDOW SCHEDULE BUILDINGS G, H, I, J & K



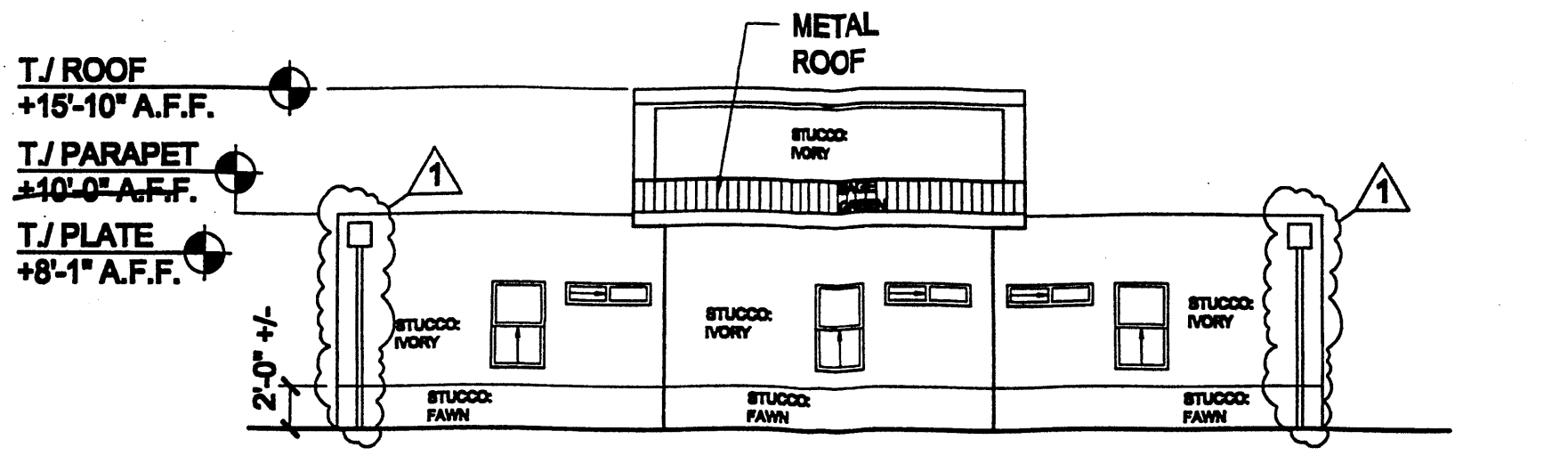
C3 DOOR SCHEDULE BUILDINGS G, H, I, J & K



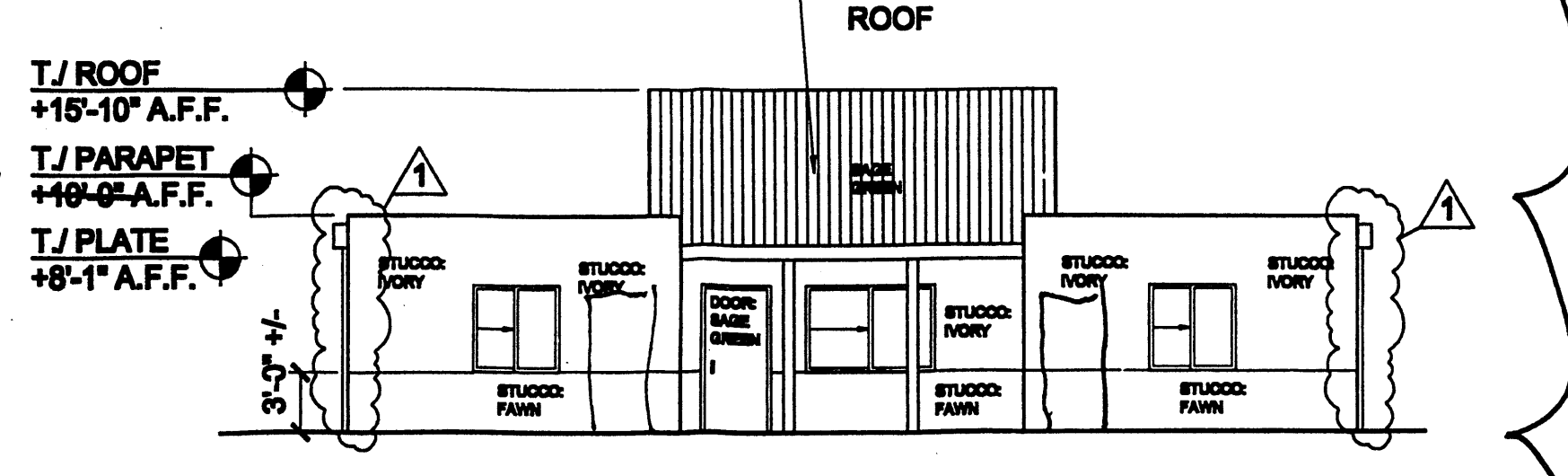
B1 BUILDING SECTION
SCALE: 1/8"=1'-0"



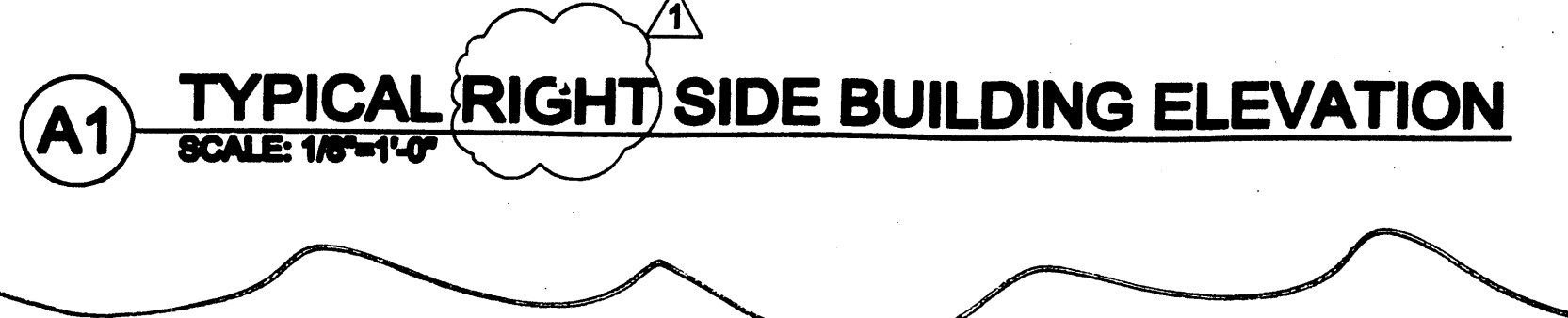
B2 BUILDING SECTION
SCALE: 1/8"=1'-0"



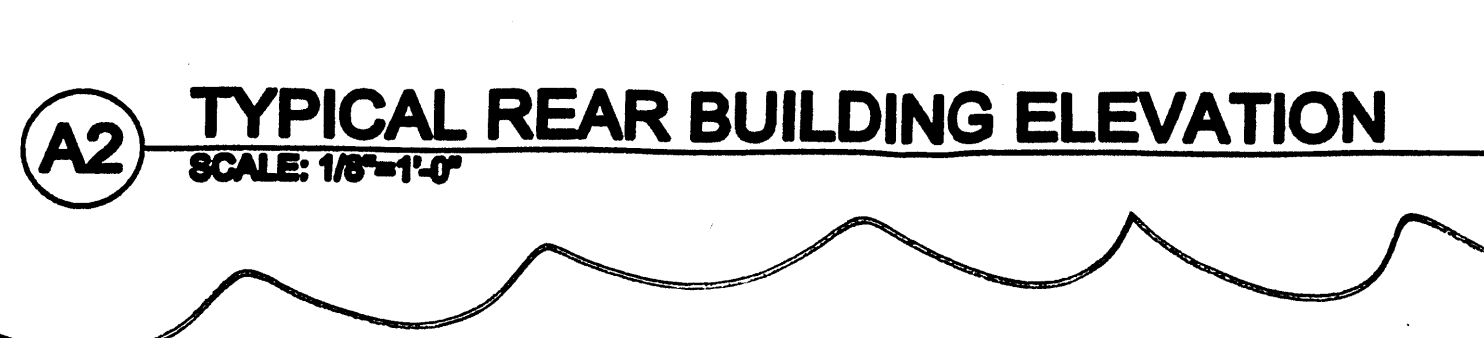
B3 TYPICAL LEFT SIDE BUILDING ELEVATION
SCALE: 1/8"=1'-0"



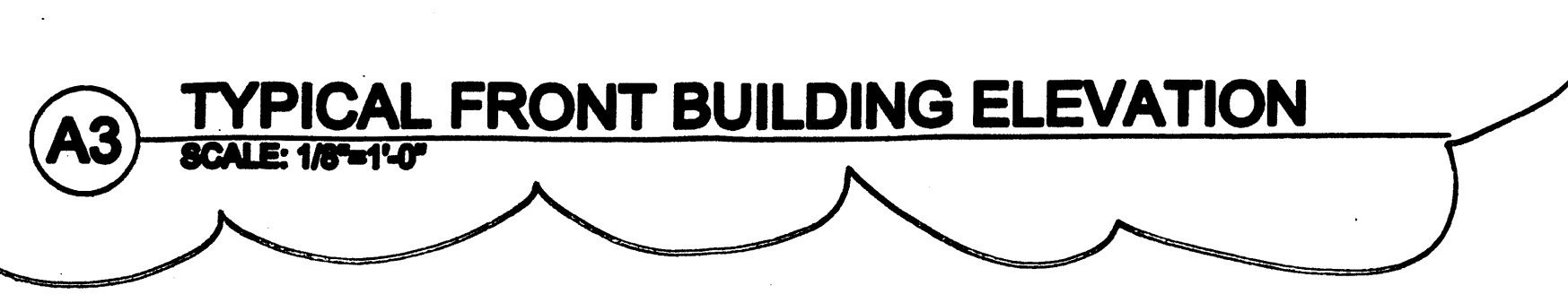
A1 TYPICAL RIGHT SIDE BUILDING ELEVATION
SCALE: 1/8"=1'-0"



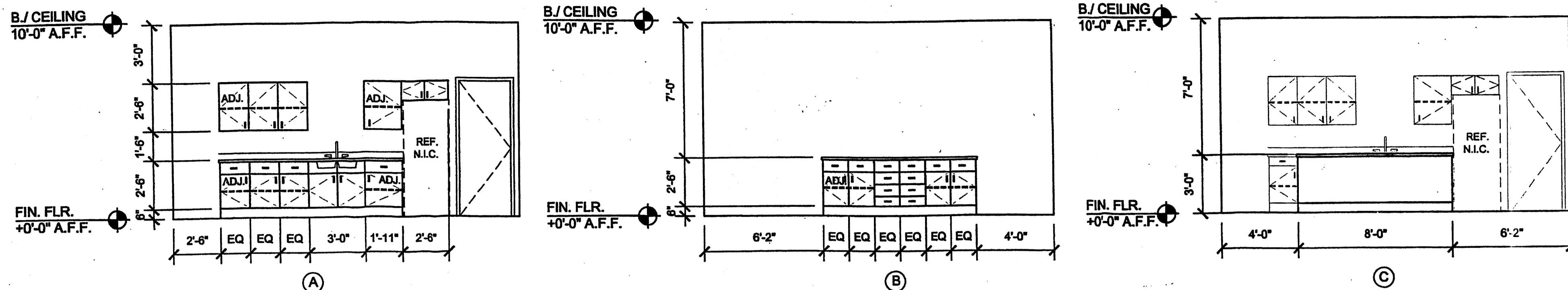
A2 TYPICAL REAR BUILDING ELEVATION
SCALE: 1/8"=1'-0"



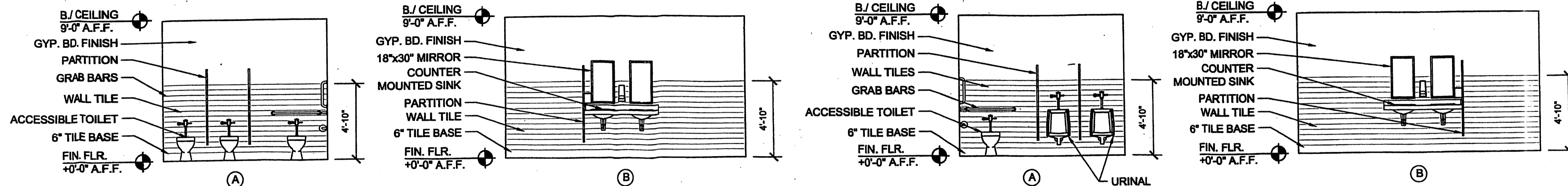
A3 TYPICAL FRONT BUILDING ELEVATION
SCALE: 1/8"=1'-0"



COLOR LEGEND
 COLOR #1 FLEECY GREEN
 COLOR #2 TRANQUIL
 COLOR #3 LAKE ROCHON



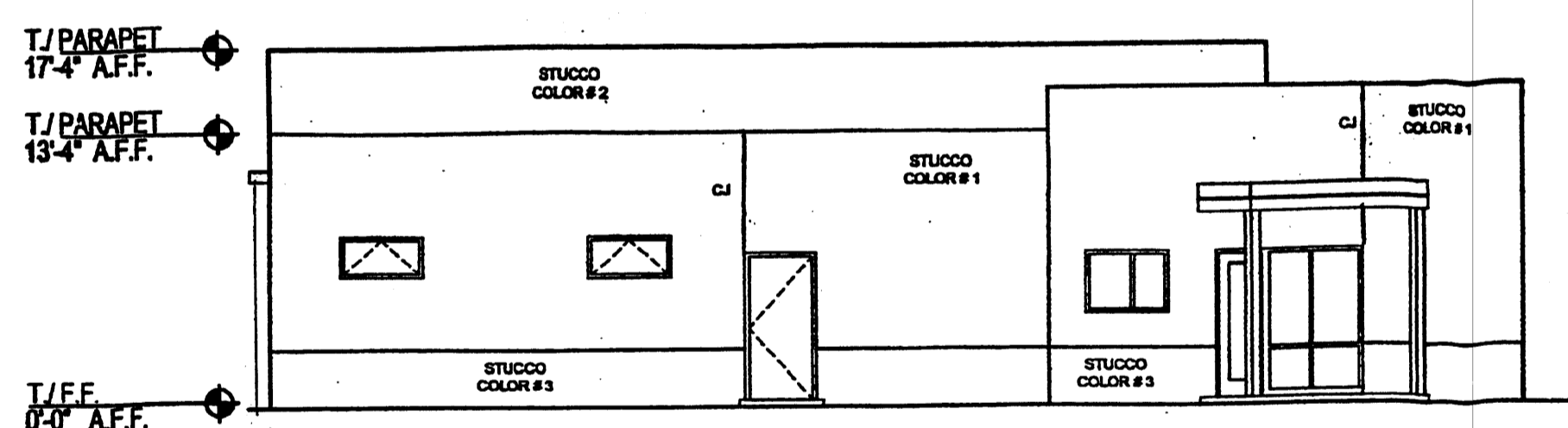
D3 Building F- Group Room Elevations
 1/4" - 1'-0"



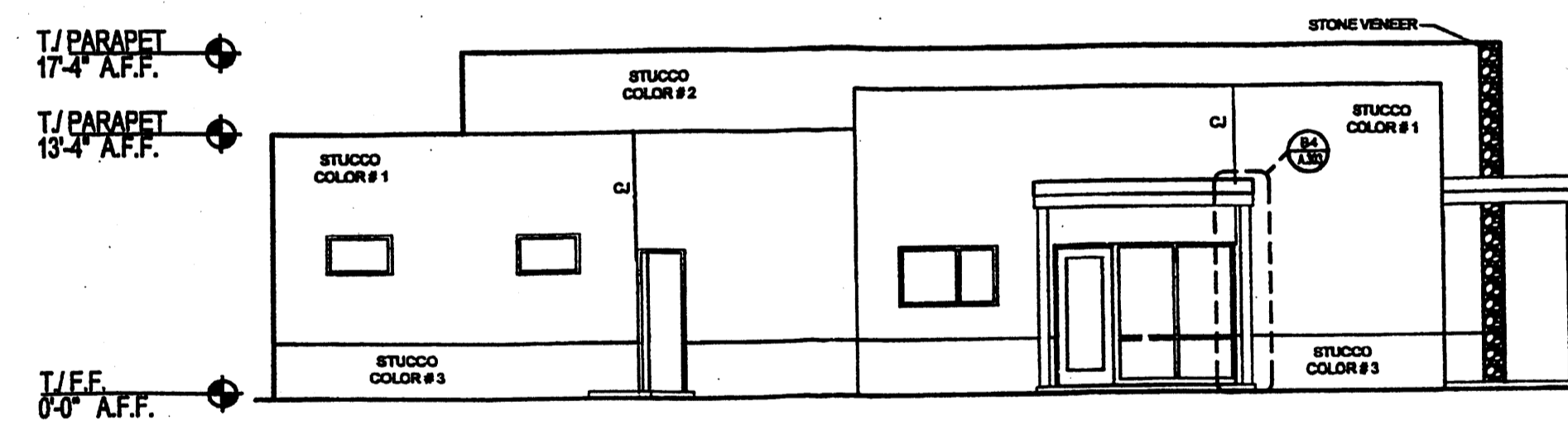
C2 Building F- Womens Room Elevation
 1/4" - 1'-0"

NOTE:
 SEE D5/A.401 IN THE CONSTRUCTION SET FOR
 MOUNTING HEIGHTS.

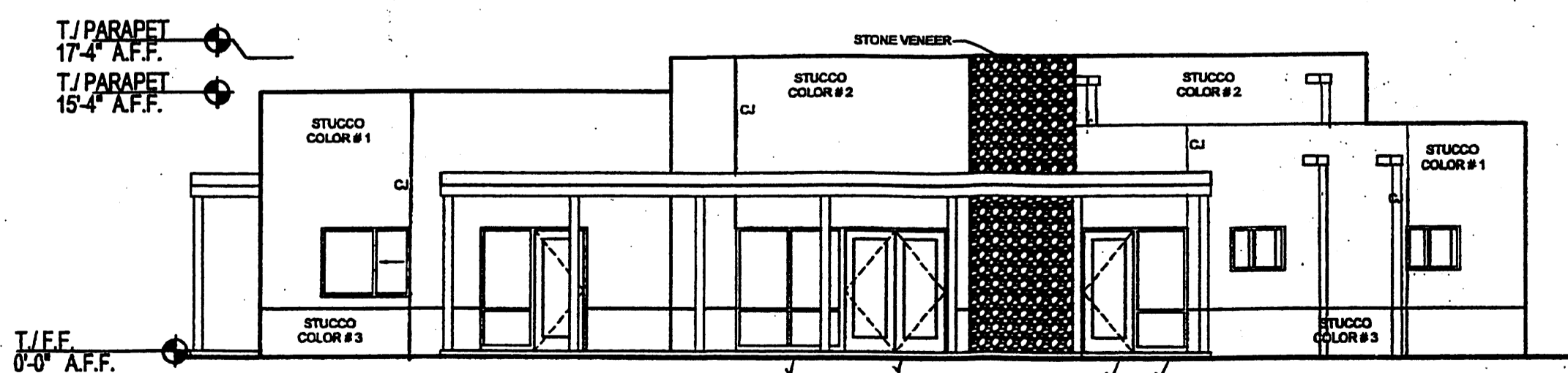
C4 Building F- Mens Room Elevation
 1/4" - 1'-0"



B2 Building F - North Exterior Elevation
 1/8" - 1'-0"



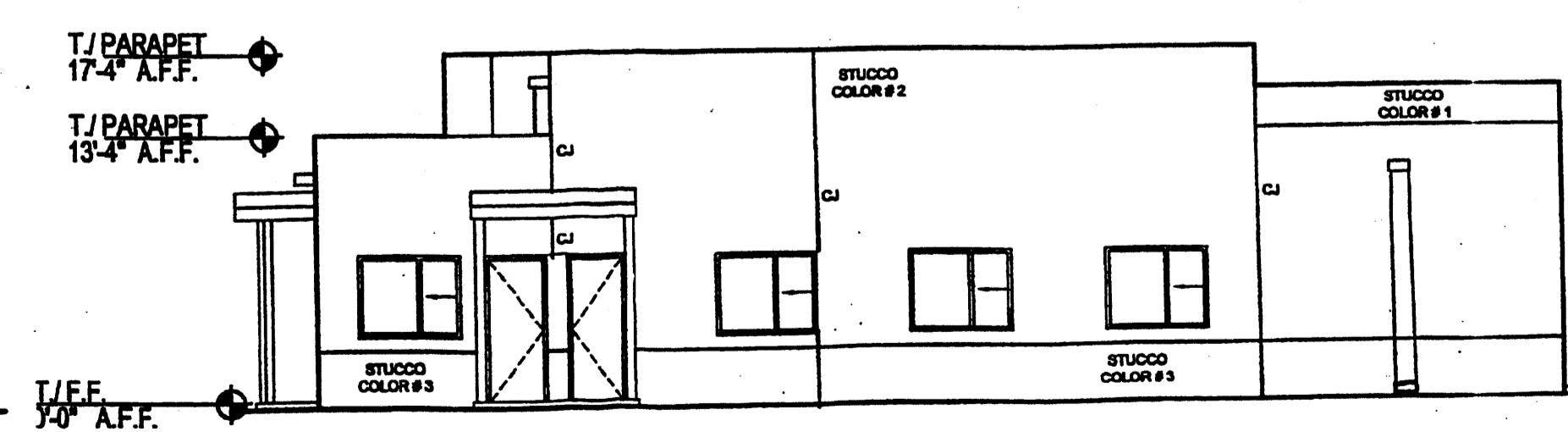
B4 Building F - Northwest Exterior Elevation
 1/8" - 1'-0"



A1 Building F - Southwest Exterior Elevation
 1/8" - 1'-0"

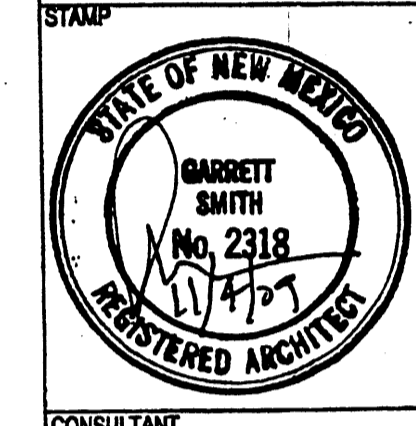


A3 Building F - South Exterior Elevation
 1/8" - 1'-0"



A4 Building F - East Exterior Elevation
 1/8" - 1'-0"

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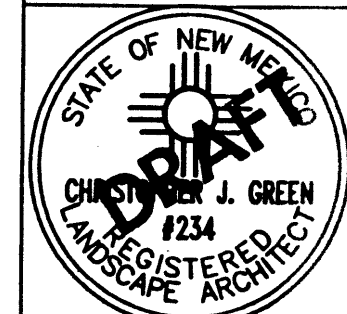
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New Life Homes 4
 Building F
 Exterior Elevations,
 Interior Elevations

MARK	DATE	DESCRIPTION
A	9-17-09	AA 10-1010 L

ISSUE:
 PROJECT NUMBER: 07-11
 FILE: A.403.dwg
 DRWN BY: BF/JLM
 CHKD BY: CM
 DATE: November 3, 2009

A.403



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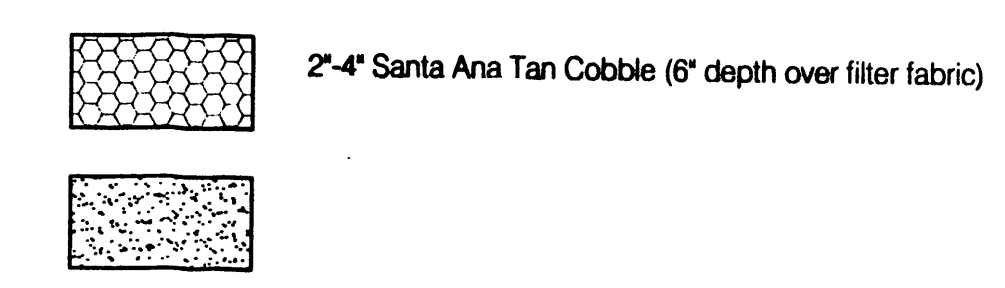
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NEW LIFE HOMES IV
LANDSCAPE PLAN

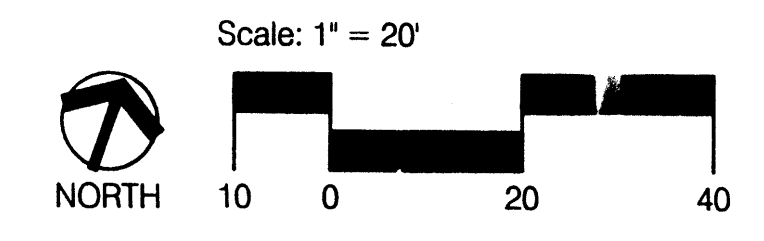
DRWN. BY: CG
DATE: 12-07

PLANT LEGEND

Quantity	Symbol	Scientific Name (Water Use) Common Name	Size	Initial Size or Spacing Ultimate Size
22		Chitalpa tashkentensis Chitalpa	2" B&B	3' ht. x 4' spr. 20' ht. x 20' spr.
15		Fraxinus velutina 'Modesto' (M) Modesto Ash (female)	2" B&B	14' ht. x 6' spr. 40' ht. x 35' spr.
9		Platanus acerifolia London Planetree	2" B&B	14' ht. x 8' spr. 50' ht. x 40' spr.
9		Pinus nigra (M) Austrian Pine	B&B	6' min. ht. 35' ht. x 25' spr.
10		Pyrus calleryana 'Aristocrat' (M) Flowering Pear	2" B&B	16' ht. x 6' spr. 35' ht. x 25' spr.
7		Robinia 'Purple Robe' (M) Purple Robe Locust	2" B&B	16' ht. x 6' spr. 30' ht. x 30' spr.
11		Vitex agnus-castus (M) Chaste tree	15-Gal	6'-8' ht. x 4' spr. 20' ht. x 20' spr.
45		Artemisia 'Powis Castle' (L) 'Powis Castle' Sage	1-Gal	4' c.c. 3' ht. x 4' spr.
51		Caryopteris clandonensis (M) Blue Mist	1-Gal	4' c.c. 4' ht. x 4' spr.
21		Caesalpinia gillesii (L) Bird of Paradise	5-Gal	6' c.c. 5' ht. x 5' spr.
45		Ericameria laricifolia (L) Turpentine Bush	1-Gal	3' c.c. 2' ht. x 2' spread
50		Fallugia paradoxa (L) Apache Plume	1-Gal	6' c.c. 5' ht. x 5' spread
45		Hesperaloe parviflora (M) Red Yucca	1-Gal	3' c.c. 3' ht. x 3' spr.
64		Juniperus sabina 'Buffalo' (M) Buffalo Juniper (female)	5-Gal	6' c.c. 5' ht. x 3' spr.
68		Chrysothamnus nauseosus (L) Chamisa	1-Gal	6' c.c. 3' ht. x 2' spr.
55		Perovskia atriplicifolia (M) Russian Sage	1-Gal	6' c.c. 5' ht. x 5' spr.
67		Potentilla fruticosa (L+) Shrubby Cinquefoil	1-Gal	3' c.c. 3' ht. x 3' spr.
80		Salvia greggii (M) Cherry Sage	1-Gal	4' c.c. 3' ht. x 3' spr.
59		Sedum telephium (M) Autumn joy sedum	1-Gal	3' c.c. 2' ht. x 2' spr.
53		Rosmarinus officinalis (M) Rosemary	5-Gal	4' c.c. 3' ht. x 3' spr.
55		Moss Rock Boulders (3' x 3' min.)		

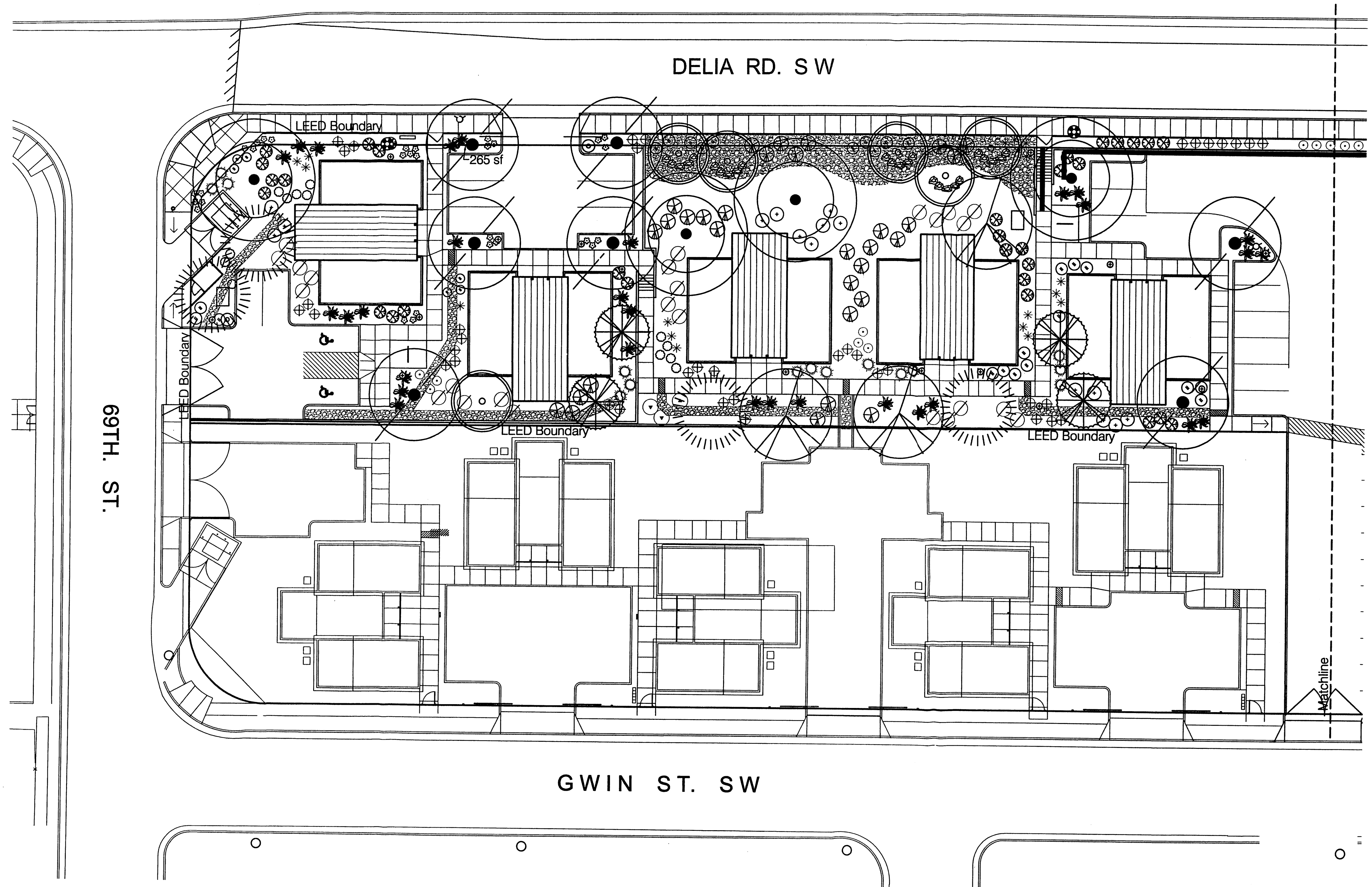


- GENERAL LANDSCAPE NOTES
- Prior to beginning work on the project, the Contractor shall review the project in the field with the Owner's Representative. If discrepancies occur between the drawings and the site, the Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work.
 - All planting areas are to have weeds and competitive vegetation removed prior to preparation for planting.
 - All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense.
 - Plant quantities are provided for Contractor's convenience only - plans shall take precedence.
 - The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable. The Owner's Representative is to approve any and all substitutions.
 - It is the Contractor's responsibility to locate all underground utilities prior to commencement of planting operations.
 - Planting areas shall be top dressed with 3" layer of 3/4" Santa Fe Brown gravel mulch over filter fabric, unless noted otherwise.

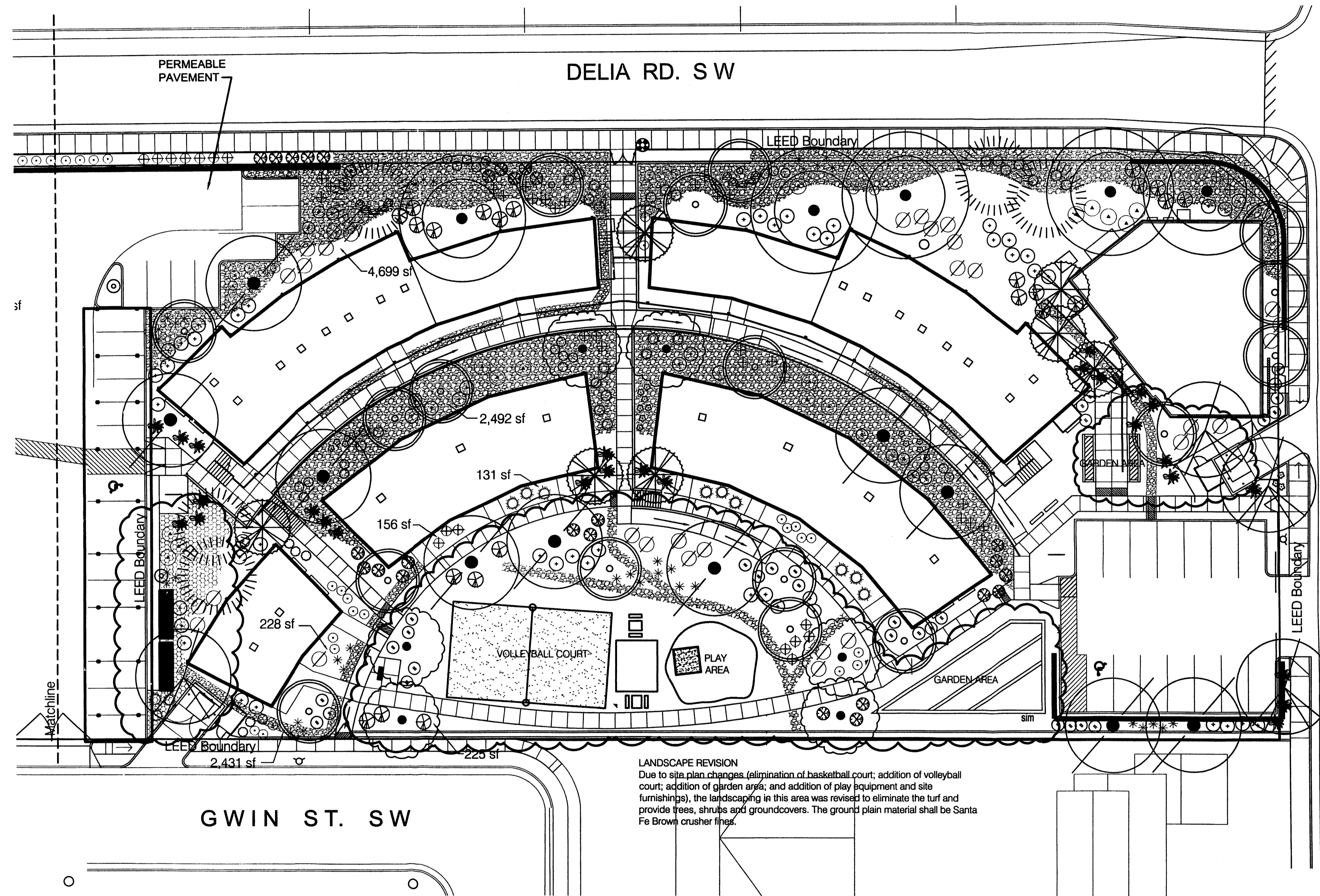


LANDSCAPE CALCULATIONS

Site Area: (2.43 ac.)	105,850 SF
Building Area:	-26,775 SF
Total:	79,075 SF
Required Landscape: (15%)	11,861 SF
Provided Landscape: (56%)	44,645 SF
Turf Area Allowed: (20%)	15,815 SF
Turf Area Provided: (0%)	0 SF



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e-mail: cp@consensusplanning.com



LANDSCAPE REVISION
 Due to site plan changes (elimination of basketball court; addition of volleyball court; addition of garden area; and addition of play equipment and site furnishings), the landscaping in this area was revised to eliminate the turf and provide trees, shrubs and groundcovers. The ground plain material shall be Santa Fe Brown crusher fines.

PLANT LEGEND

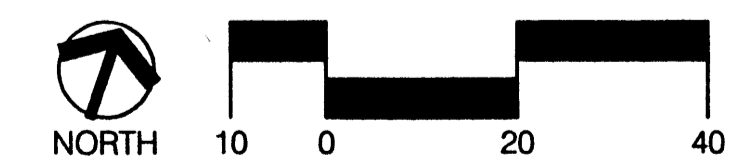
Symbol	Scientific Name (Water Use) Common Name	Size	Initial Size or Spacing Ultimate Size
	<i>Chitalpa tashkentensis</i> Chitalpa	2" B&B	6' ht. x 4' spr. 20' ht. x 20' spr.
	<i>Fraxinus velutina</i> 'Modesto' (M) Modesto Ash (female)	2" B&B	14' ht. x 6' spr. 40' ht. x 35' spr.
	<i>Platanus acerifolia</i> London Planetree	2" B&B	14' ht. x 8' spr. 50' ht. x 40' spr.
	<i>Pinus nigra</i> (M) Austrian Pine	B&B	6' min. ht. 35' ht. x 25' spr.
	<i>Pyrus calleryana</i> 'Aristocrat' (M) Flowering Pear	2" B&B	16' ht. x 6' spr. 35' ht. x 25' spr.
	<i>Robinia</i> 'Purple Robe' (M) Purple Robe Locust	2" B&B	16' ht. x 6' spr. 30' ht. x 30' spr.
	<i>Vitex agnus-castus</i> (M) Chaste tree	15-Gal	6'-8' ht. x 4' spr. 20' ht. x 20' spr.
	<i>Artemisia</i> 'Powis Castle' (L) 'Powis Castle' Sage	1-Gal	4' o.c. 3' ht. x 4' spr.
	<i>Caryopteris clandonensis</i> (M) Blue Mist	1-Gal	4' o.c. 4' ht. x 4' spr.
	<i>Caesalpinia gilliesii</i> (L) Bird of Paradise	5-Gal	6' o.c. 5' ht. x 5' spr.
	<i>Ericameria laricifolia</i> (L) Turpentine Bush	1-Gal	3' o.c. 2' ht. x 3' spread
	<i>Fallugia paradoxa</i> (L) Apache Plume	1-Gal	6' o.c. 5' ht. x 5' spread
	<i>Hesperaloe parviflora</i> (M) Red Yucca	1-Gal	3' o.c. 3' ht. x 3' spr.
	<i>Juniperus sabina</i> 'Buffalo' (M) Buffalo Juniper (female)	5-Gal	6' o.c. 5' ht. x 5' spr.
	<i>Chrysothamnus nauseosus</i> (L) Chamisa	1-Gal	6' o.c. 3' ht. x 2' spr.
	<i>Perovskia atriplicifolia</i> (M) Russian Sage	1-Gal	6' o.c. 5' ht. x 5' spr.
	<i>Potentilla fruticosa</i> (L+) Shrubby Cinquefoil	1-Gal	3' o.c. 3' ht. x 3' spr.
	<i>Salvia greggii</i> (M) Cherry Sage	1-Gal	4' o.c. 3' ht. x 3' spr.
	<i>Sedum telephium</i> (M) Autumn joy sedum	1-Gal	3' o.c. 2' ht. x 2' spr.
	<i>Rosmarinus officinalis</i> (M) Rosemary	5-Gal	4' o.c. 3' ht. x 3' spr.
	Moss Rock Boulders (3' x 3' min.)		

2"-4" Santa Ana Tan Cobble (6" depth over filter fabric)

GENERAL LANDSCAPE NOTES

- Prior to beginning work on the project, the Contractor shall review the project in the field with the Owner's Representative. If discrepancies occur between the drawings and the site, the Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work. All planting areas are to have weeds and competitive vegetation removed prior to preparation for planting.
- All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense. Plant quantities are provided for Contractor's convenience only - plans shall take precedence.
- The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable. The Owner's Representative is to approve any and all substitutions.
- It is the Contractor's responsibility to locate all underground utilities prior to commencement of planting operations.
- Planting areas shall be top dressed with 3" layer of 3/8" Santa Fe Brown gravel mulch over filter fabric, unless noted otherwise.

Scale: 1" = 20'



CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

REVISIONS

AA 10102
 9-23-10

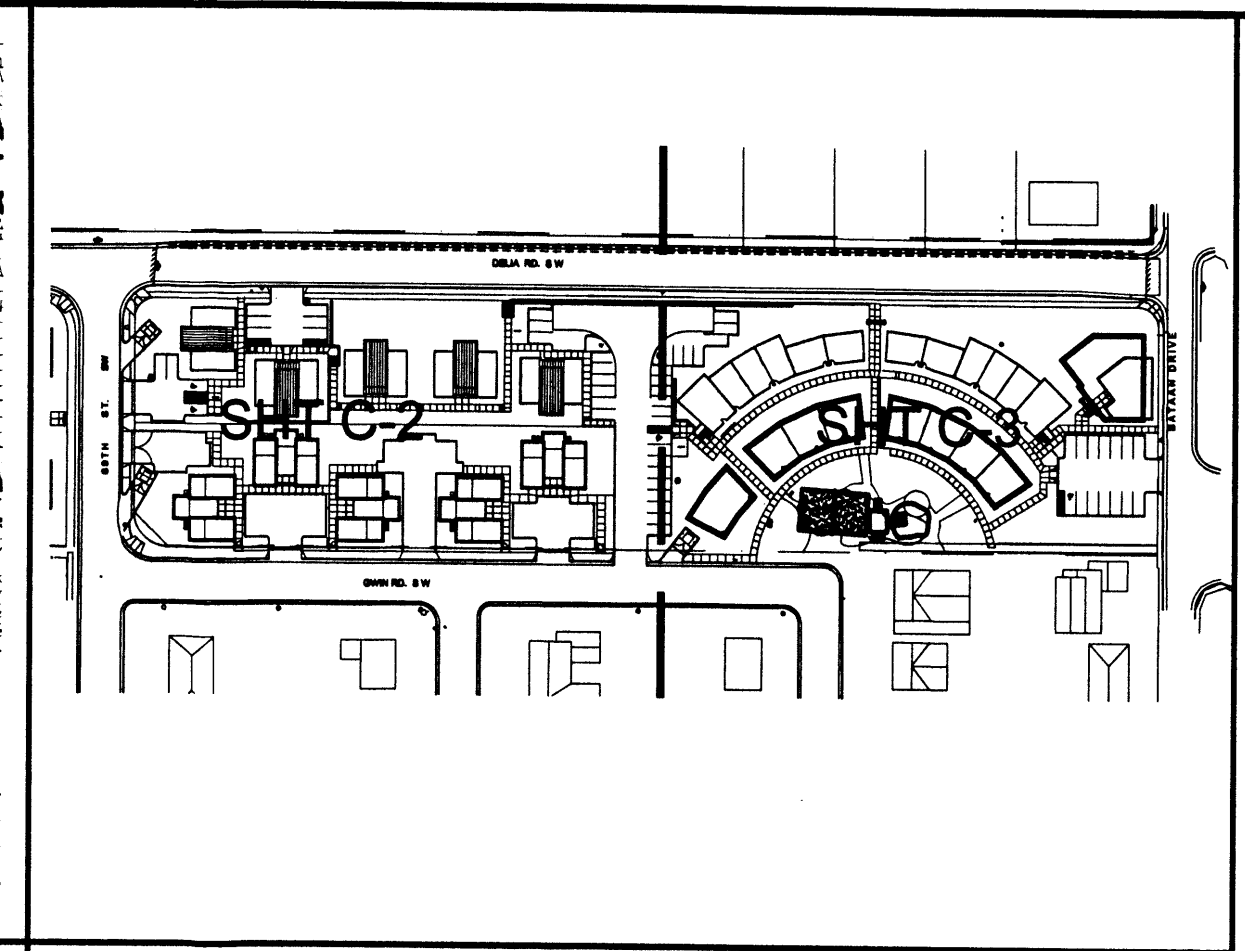
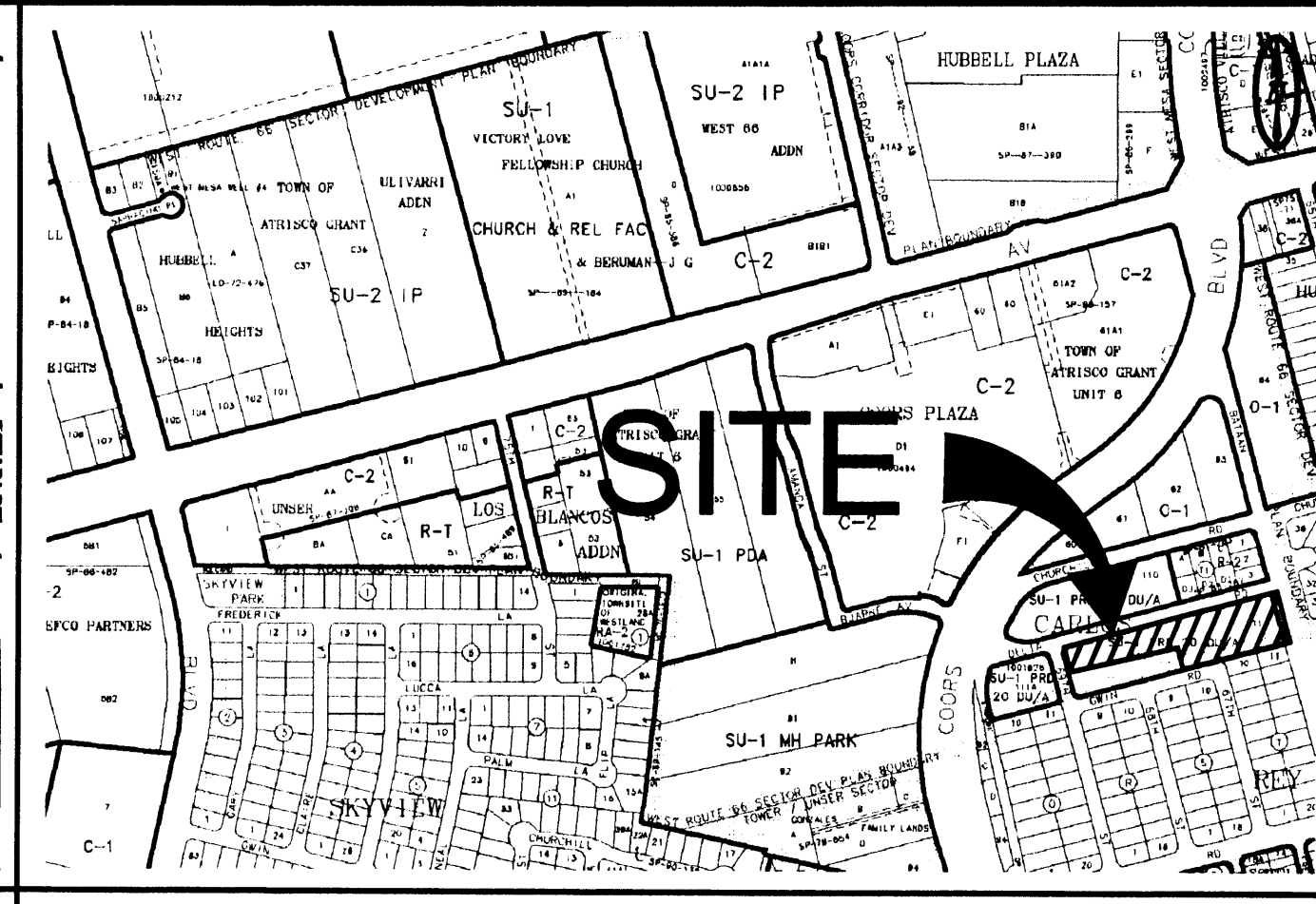
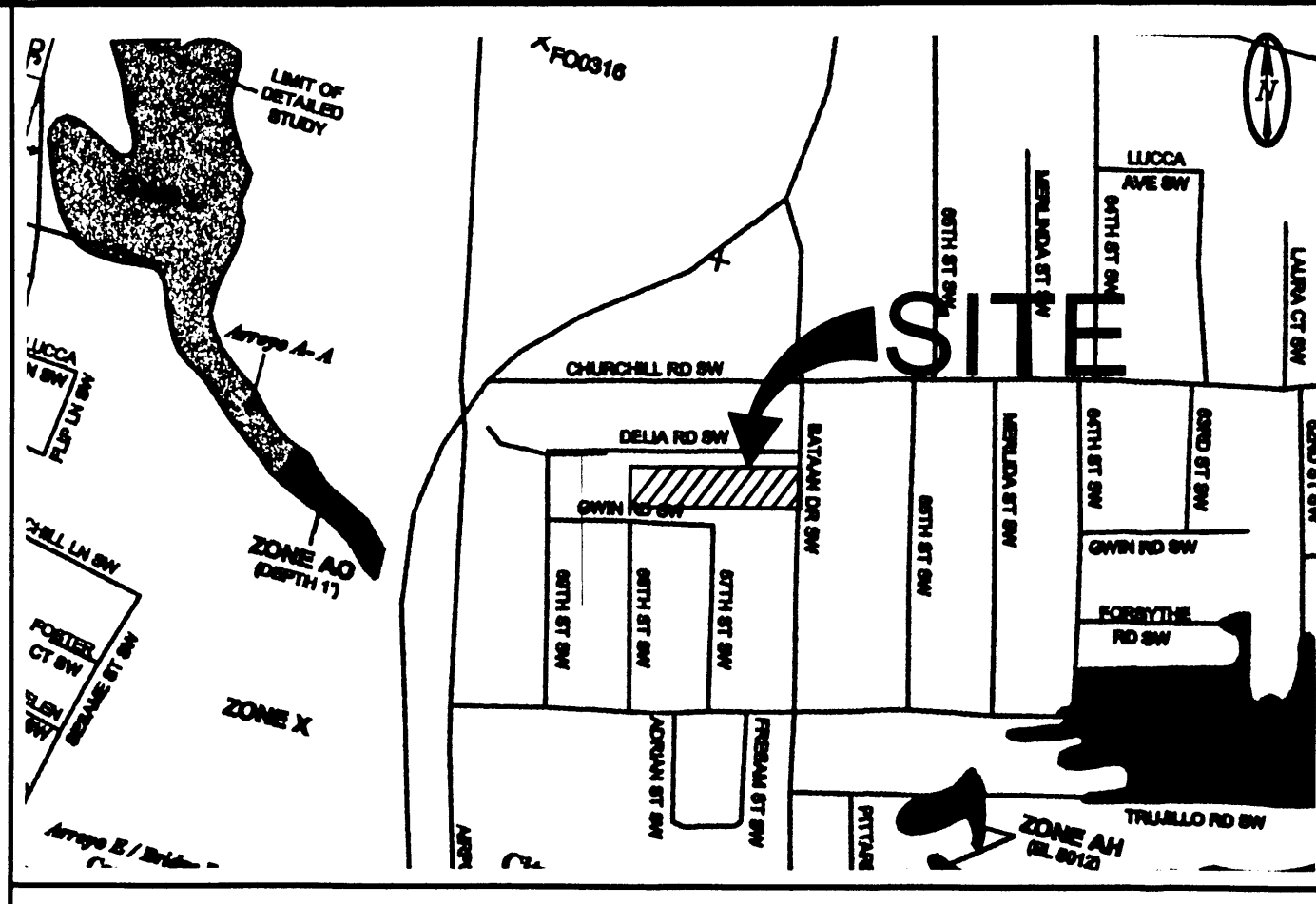
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 FA X /243-4508

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NEW LIFE HOMES IV
 LANDSCAPE PLAN

DRWN. BY: CG
 DATE: 9-24-10

L-4



LEGEND

- 02.5 x EXISTING SPOT ELEVATION
- 01.5 • PROPOSED SPOT ELEVATION
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- EXISTING STRUCTURE
- - - EXISTING OVERHANG
- - - PROPOSED STRUCTURE
- ▨ PROPOSED DELIA PAVEMENT
- ▨ EXISTING ASPHALT TO BE REMOVED AND REPLACED
- x - x EXISTING CHAIN LINK FENCE
- - ○ PROPOSED POST AND CABLE FENCE
- EXISTING BOLLARD
- EXISTING STREET LIGHT
- ▬ DRAINAGE BASIN DIVIDE
- ▬ PROPOSED RETAINING WALL

PROPERTY ADDRESS
DELIA RD SW

PROJECT BENCHMARK
BENCH MARK: ACS 3 1/4" ALUM. CAP
DISK "5-K10, 1989"
ELEVATION = 5096.432 NAVD 88

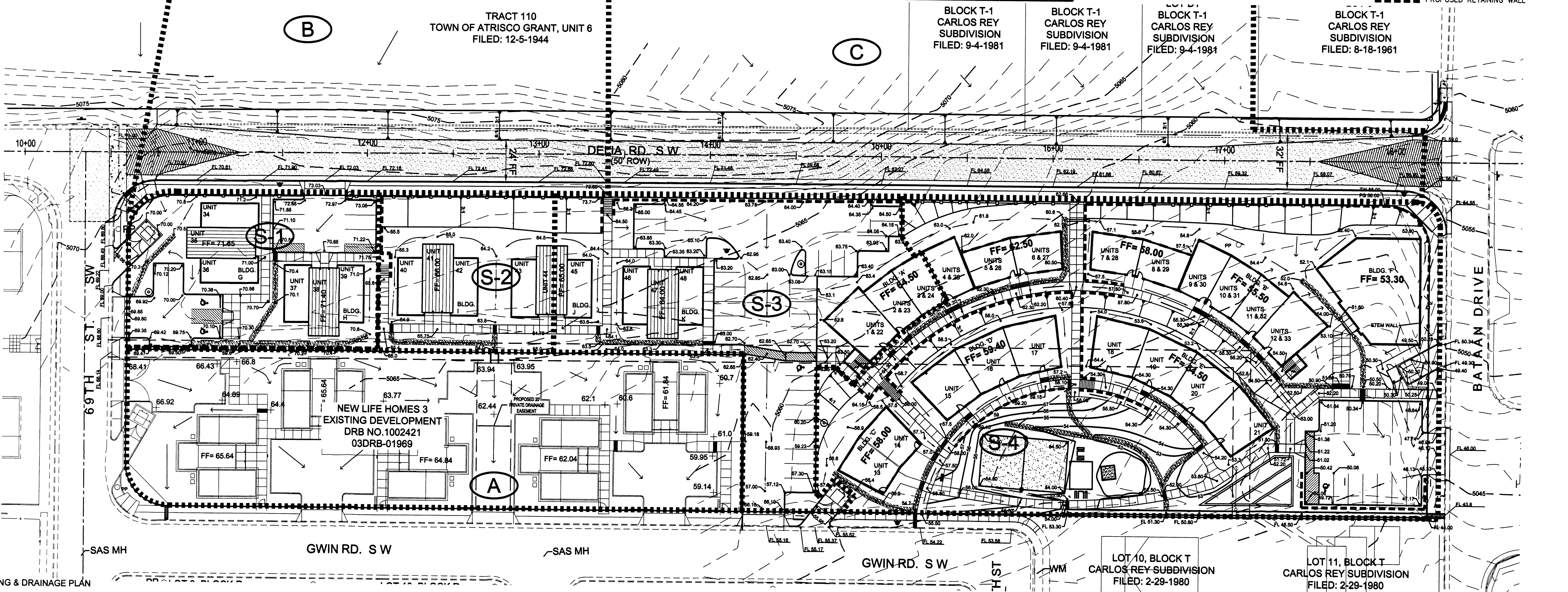
LEGAL DESCRIPTION
TRACT 111-C
TOWN OF ATRISCO GRANT
UNIT 6

BENCHMARK
BENCH MARK: ACS 1 3/4" ALUM. CAP
DISK "ACS 11-K10"
ELEVATION = 5046.03 NAVD 88

SURVEY
SITE MAPPING BY
BRASHER AND LORENZ SEPT. 2007
AMENDED NOVEMBER 2009

REVISIONS
AA 10-10102
9-23-10

BRASHER & LORENZ
CONSULTING ENGINEERS
2000 Central Ave. N.E. Suite 200
Albuquerque, New Mexico 87110
Phone: (505) 886-0088 Fax: (505) 886-9188



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 48-UNIT MULTI-FAMILY DEVELOPMENT ON THE 2.4-ACRE SITE. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

THE PROJECT SITE IS PRESENTLY UNDEVELOPED. THE SITE CONTAINS APPROXIMATELY 2.4-ACRES AND IS DESCRIBED AS TRACT 111-C, TOWN OF ATRISCO GRANT, UNIT 6. THE SITE IS BOUNDED BY 69TH STREET ON THE WEST, BATAAN DRIVE ON THE EAST, DELIA ROAD ON THE NORTH AND GWIN ROAD ON THE SOUTH. THE PROPERTY HAS BEEN DISTURBED BY VEHICLES AND RANDOM TRASH DUMPING. PRESENTLY ALL EXCESS RUNOFF DRAINS SOUTH AND EAST TO GWIN ROAD AND BATAAN DRIVE. FLOWS DRAIN TO EXISTING PUBLIC STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. AN EXISTING 15-UNIT DEVELOPMENT (NEW LIFE HOMES 3) IS LOCATED ADJACENT TO THE SITE. TEMPORARY EROSION CONTROL IMPROVEMENTS ARE PRESENT ON THE SITE CONSTRUCTED TO SUPPORT NEW LIFE HOMES 3.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED AS A 48-UNIT MULTI-FAMILY COMPLEX, WITH ASSOCIATED ACCESS, DRAINAGE, GRADING, UTILITY AND LANDSCAPING IMPROVEMENTS. ALL RUNOFF FROM THE SITE WILL DRAIN TO GWIN ROAD AND BATAAN DRIVE, CONTINUING SOUTH TO EXISTING STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. DUE TO THE INFILL NATURE OF THIS PROJECT, FREE DISCHARGE OF EXCESS RUNOFF IS APPROPRIATE. NEW LIFE HOMES 4 WILL BE INTEGRATED INTO NEW LIFE HOMES 3, SHARING ACCESS, DRAINAGE AND UTILITY IMPROVEMENTS. ACCESS, DRAINAGE AND UTILITY EASEMENTS WILL BE GRANTED AS REQUIRED. DELIA ROAD WILL BE IMPROVED ALONG THE PROJECT FRONTAGE FROM 69TH STREET TO BATAAN DRIVE.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. A COMPREHENSIVE STORM WATER POLLUTION PREVENTION PLAN WILL BE PREPARED PRIOR TO CONSTRUCTION.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONDUITS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS:
INSPECTOR _____ DATE _____

NOTE:
THIS SHEET IS PRESENTED FOR OVERALL GRADING AND DRAINAGE INFORMATION. FOR SPECIFIC GRADING AND DRAINAGE DETAIL SEE SHEETS C-2 AND C-3.

PROJECT HYDROLOGY
AHYMO

NEW LIFE HOMES 4

ZONE:	1							
P1 HOUR:	2.20"							
P10 DAY:	3.67"							
EXISTING:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	2.43	0.00	0.00	2.43	0.00	0.99	7.0	0.200
A	0.74	0.00	0.15	0.15	0.44	1.50	2.6	0.092
B	1.58	0.00	0.00	1.58	0.00	0.99	4.5	0.130
C	1.96	0.00	0.00	1.96	0.00	0.99	5.6	0.162
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
S-1	0.30	0.00	0.00	0.09	0.21	1.67	1.1	0.041
S-2	0.21	0.00	0.00	0.11	0.10	1.45	0.7	0.025
S-3	0.52	0.00	0.00	0.05	0.47	1.87	2.1	0.081
S-4	1.40	0.00	0.00	0.56	0.84	1.57	5.2	0.184
SITE	2.43	0.00	0.00	0.81	1.62	1.64	9.4	0.332
A	0.74	0.00	0.15	0.15	0.44	1.50	2.6	0.092
B	1.58	0.00	0.00	0.63	0.95	1.57	5.9	0.207
C	1.96	0.00	0.00	0.78	1.18	1.58	7.3	0.258

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

NEW LIFE HOMES - 4
ALBUQUERQUE NEW MEXICO

GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'

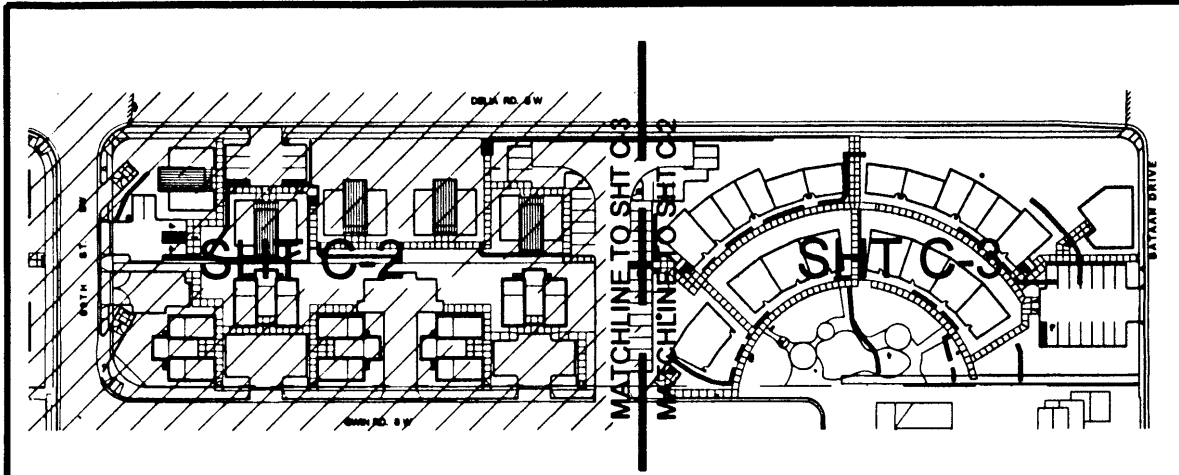
PROJECT NO.: 07522

DATE: 12-09-2009

SHT: C-1

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DESIGN, ARCHITECTURE & DEVELOPMENT

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SHEET LEGEND

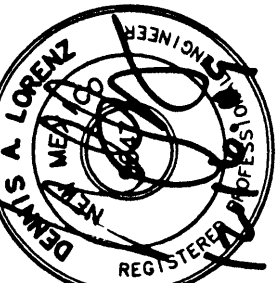
LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	8" WL	8" W
SANITARY SEWER	8" SAS	8" SAS
UNDERGROUND ELEC. GAS, TEL, TV	GAS	GAS
CENTERLINE	---	---
RIGHT OF WAY	---	---
EASEMENT	---	---
RETAINING WALL	---	---
SINGLE WATER SERVICE	---	---
FIRE HYDRANT	⊕	⊕
MANHOLE	○	●
WATER VALVE	⊗	⊗
WATER ZONE DIVISION	---	---
POWER POLE	○PP	⚡PP
SINGAL CLEANOUT	---	---
DOUBLE CLEANOUT	---	---
PUBLIC UTILITY EASEMENTS	---	---

REVISIONS

Ak 10/01/02

BRASHER & LORENZ
CONSULTING ENGINEERS
2400 University Blvd. N.E. Suite 1000
Albuquerque, New Mexico 87111
Phone: (505) 886-0888 Fax: (505) 886-6188

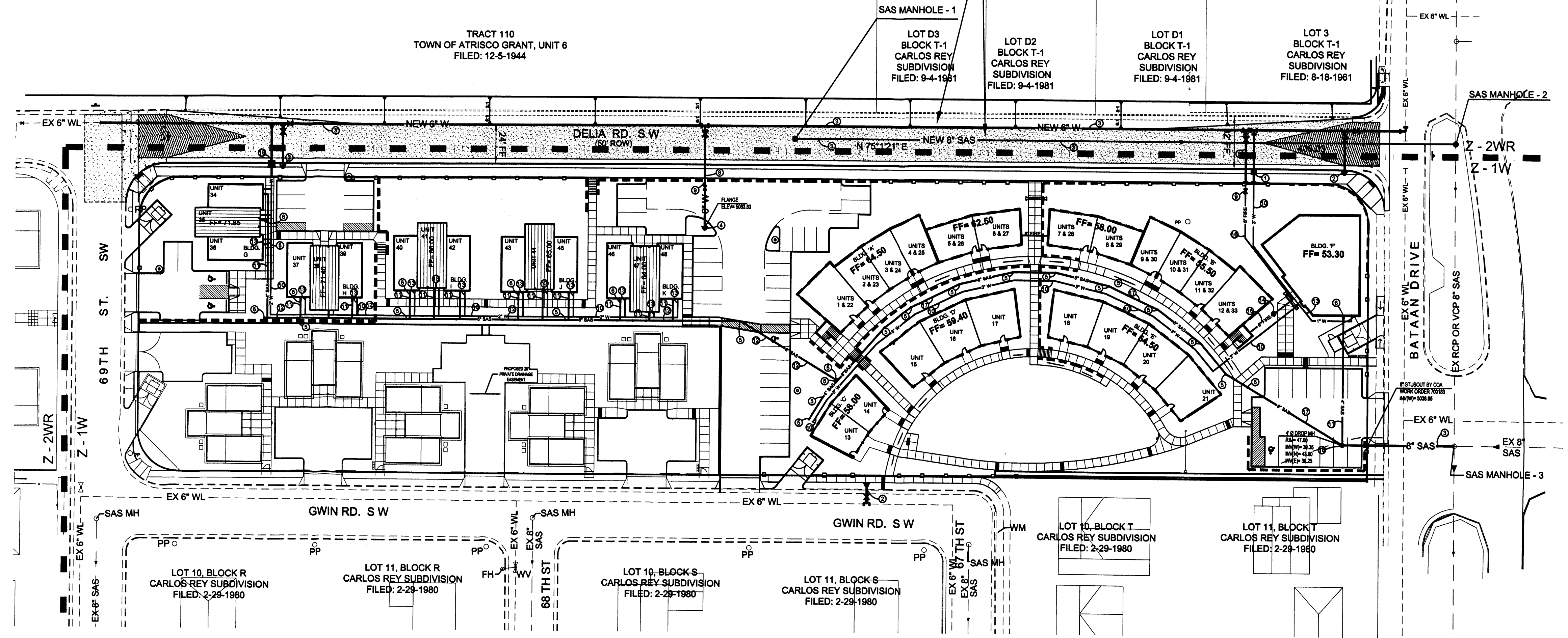


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NEW LIFE HOMES - 4
ALBUQUERQUE NEW MEXICO
UTILITY LAYOUT

PUBLIC WATER AND SANITARY SEWER IMPROVEMENTS BY WORK ORDER. NOT IN THIS CONTRACT



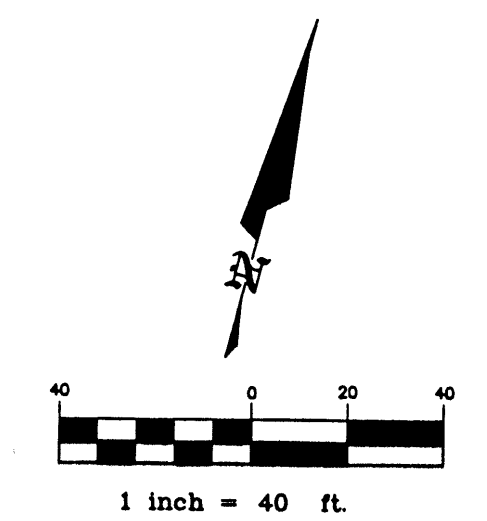
KEYED NOTES

1. NEW 2" WATER SERVICE BY PUBLIC WORK ORDER 700183.
2. NEW FIRE HYDRANT BY PUBLIC WORK ORDER 700183.
3. NEW PUBLIC WATER AND SANITARY SEWER BY PUBLIC WORK ORDER 700183.
4. CONSTRUCT PRIVATE FIRE HYDRANT.
5. CONSTRUCT SINGLE CLEAN OUT - TYP.
6. CONSTRUCT DOUBLE CLEAN OUT - TYP.
7. CONSTRUCT 4" DIA MANHOLE PER COA STD DWG 2101.
8. NEW 8" WATER STUB BY PUBLIC WORK ORDER 700183.
9. CONNECT TO 6" STUB INSTALL 6" GATE VALVE.
10. CONSTRUCT 2" PVC WATER LINE PER CODE.
11. CONSTRUCT 4" PVC SANITARY SEWER PER CODE.
12. CONSTRUCT 6" PVC SANITARY SEWER PER CODE.
13. CONSTRUCT 1" WATER LINE PER CODE - TYP.
14. INSTALL ELECTRONICALLY MONITORED POST INDICATOR VALVE SEE DETAIL.
15. INSTALL FREE STANDING SIAMESE CONNECTION.
16. INSTALL 6" PVC FIRELINE.
17. CONSTRUCT 8" PVC SANITARY SEWER PER CODE.
18. CONSTRUCT 4" DIAMETER DROP MANHOLE PER COA STD. DWG. 2116
19. NEW 1-1/2" WATER METER PER PUBLIC WORK ORDER 700183.

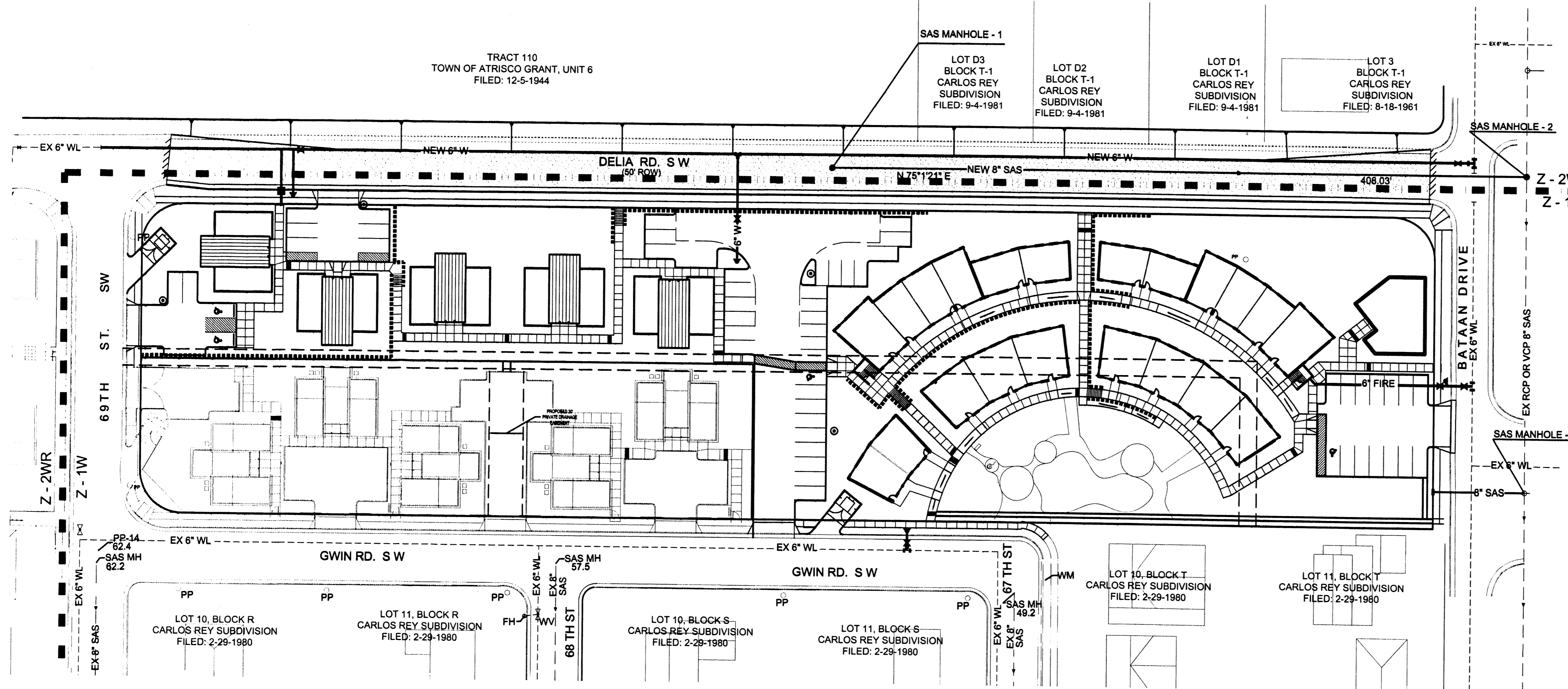
NOTE:
THIS SHEET IS PRESENTED FOR OVERALL UTILITY INFORMATION. FOR SPECIFIC UTILITY DETAIL SEE SHEETS C-5 AND C-6.

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
FILED 8/26/10
SIGNATURE: [Signature]

SPRINKLER SYSTEM NOTES:
1. SPRINKLER SYSTEM WILL BE ELECTRONICALLY MONITORED.
2. SPRINKLER SHOP DRAWINGS WILL BE PROVIDED UPON SUBMISSION TO ARCHITECT.



SCALE:
1" = 40'
PROJECT NO.:
07522
DATE:
12-09-2009
SHT:
C-2

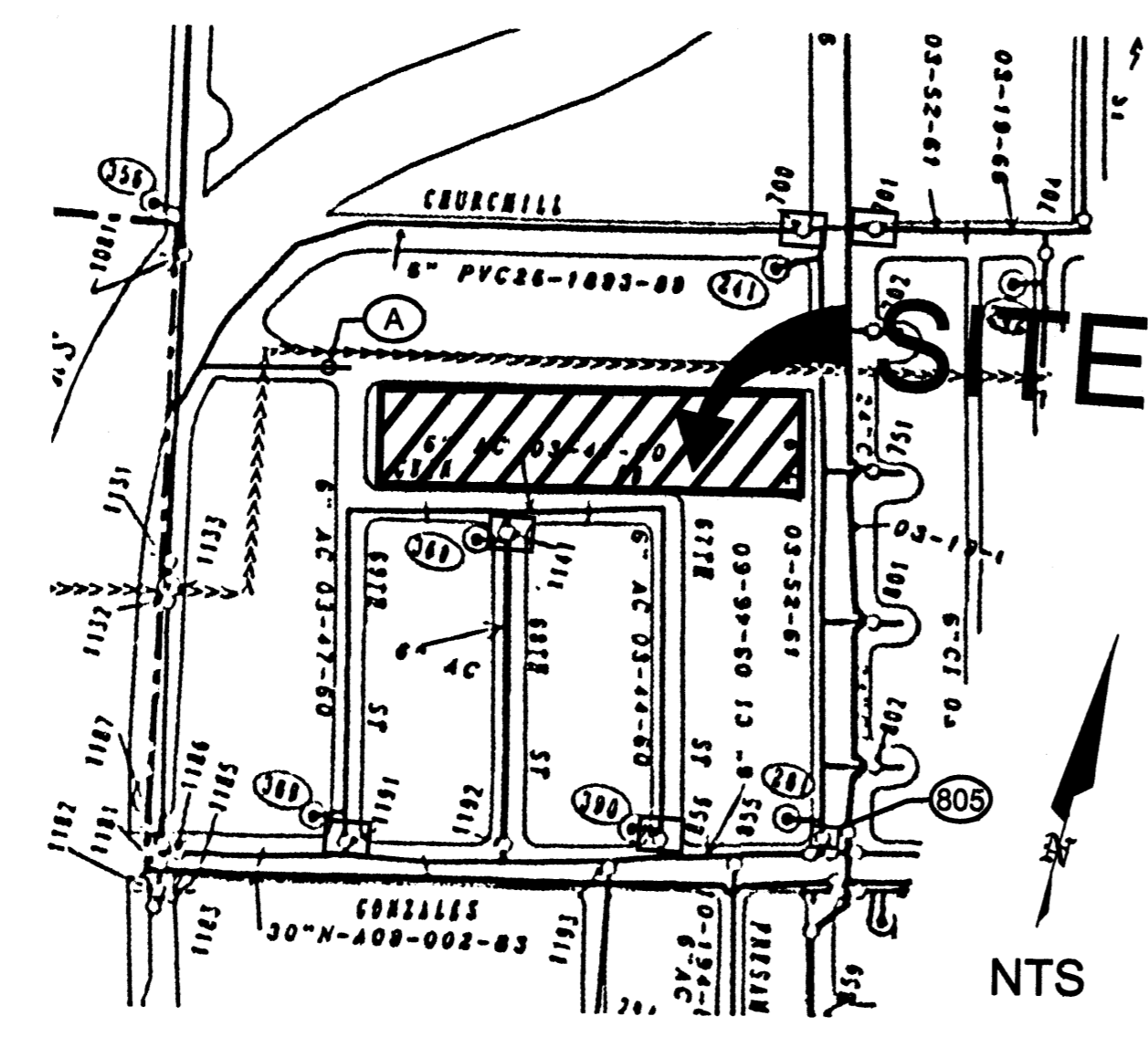


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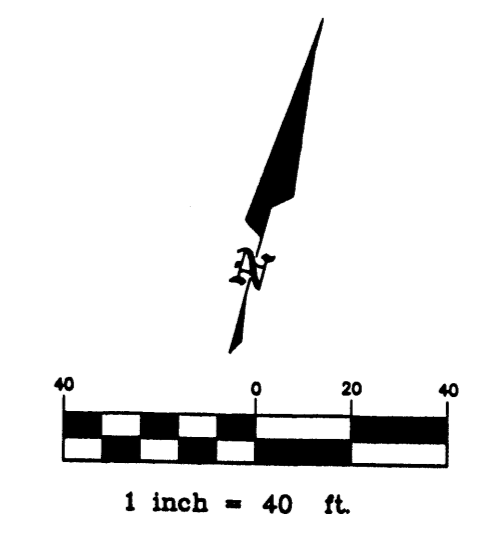
ITEM	EXISTING	PROPOSED
WATERLINE	--- 6" WL ---	--- 6" W ---
SANITARY SEWER	--- 8" SAS ---	--- 8" SAS ---
UNDERGROUND ELEC. GAS, TEL, TV	--- GAS ---	--- GAS ---
CENTERLINE	---	---
RIGHT OF WAY	---	---
EASEMENT	---	---
BLOCK WALL	---	---
ASPHALT PAVING	[Symbol]	[Symbol]
CHAIN LINK FENCE	---	---
SINGLE WATER SERVICE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
WATER ZONE DIVISION	---	---

WATER AND SEWER PLAN KEY

STREET	SHEET NO.
DELIA RD SW	7
BATAAN DR	8
GWIN RD SW	8



- ### WATER SHUT OFF PLAN
1. ALL VALVES HYDRANTS AND APPURTENANCES OF THE CITY WATER SYSTEM SHALL BE OPERATED BY CITY PERSONNEL ONLY.
 2. THE CONTRACTOR SHALL PROVIDE THE CITY 7 WORKING DAYS PRIOR NOTICE OF THE NEED FOR SYSTEM SHUTDOWN. CALL 857-8200.
 3. NON-PRESSURIZED CONNECTION TO THE 6 - INCH LINE IN DELIA ROAD S.W. REQUIRES CLOSING VALVE No 'A' AS SHOWN ON PLAN.
 4. NON-PRESSURIZED CONNECTION TO THE 6" LINE IN BATAAN DRIVE AT DELIA REQUIRES CLOSING VALVE No's 700 & 701 ON CHURCH HILL ROAD AS SHOWN ON PLAN.
 5. NON-PRESSURIZED CONNECTION TO 6" LINE IN GWIN REQUIRES CLOSING VALVE No's 1191, 1141 & 856 AS SHOWN ON PLAN.
 6. NON PRESSURIZED CONNECTION TO 6" LINE IN BATAAN DRIVE (FIRE LINE CONNECTION) REQUIRES CLOSING VALVE No 805 AS SHOWN ON PLAN
 7. ANTICIPATED SHUTDOWN DURATION FOR EACH INSTALLATION IS 8 HOURS.



DATUM NAVD 1988

BRASHER & LORENZ
CONSULTING ENGINEERS

2201 San Pedro Blvd. NE Bldg. 1, Suite 1300
Albuquerque, New Mexico 87110
Phone: (505) 888-6088 Fax: (505) 888-6188

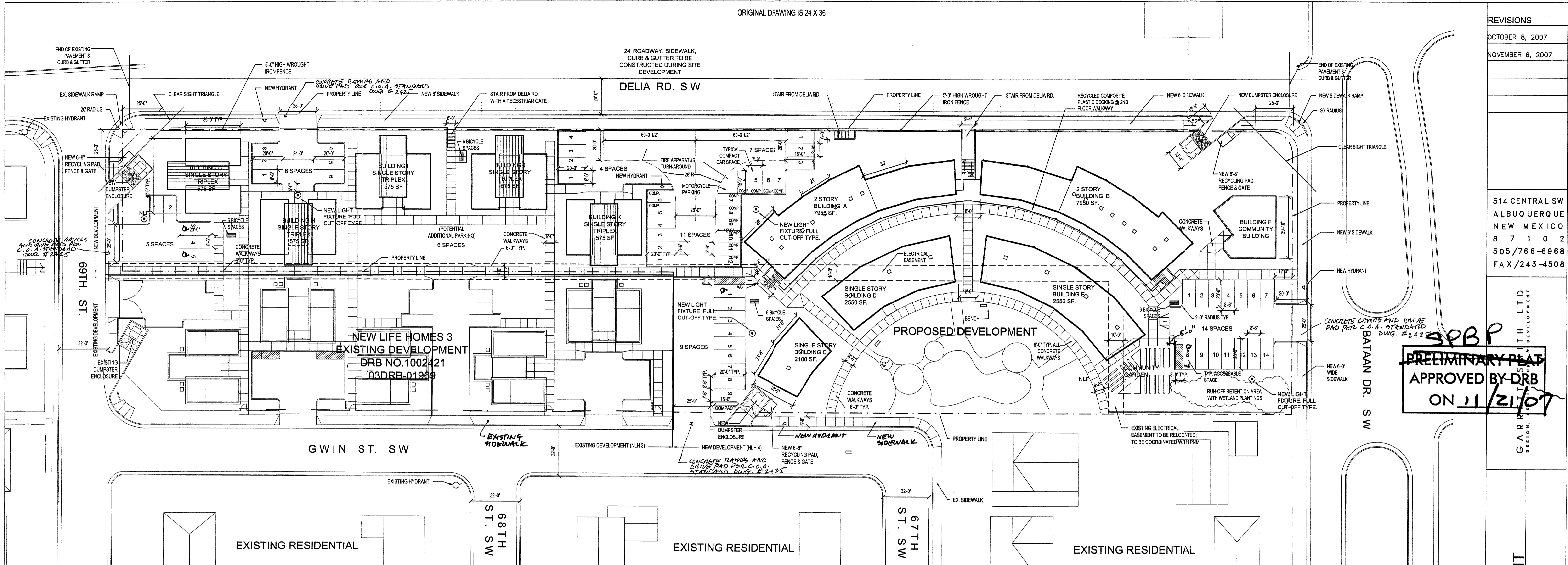
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

**NEW LIFE HOMES - 4
WATER AND SEWER LAYOUT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

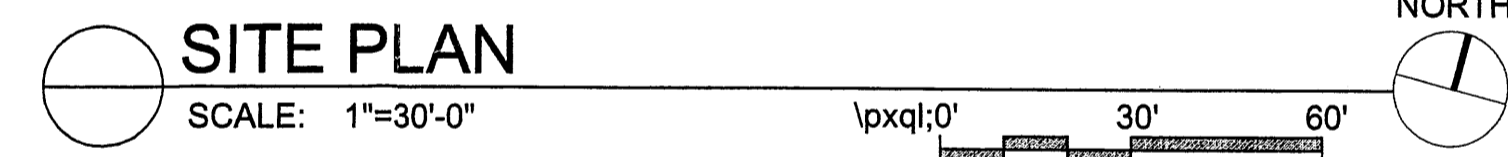
City Project No. **123456** Zone Map No. **K-10** Sheet **5** of **9**

AS-BUILT INFORMATION		BENCHMARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS MONUMENT '95 - K10P EL. = 5096.432	DATE	NO.	BY		
WORK BY	DATE	ACS MONUMENT '11 - K10P EL. = 5046.03	DATE	NO.	BY		
INSPECTORS	DATE		DATE			REVISIONS DESIGN	DESIGNED BY: D.A.L. DRAWN BY: KRH CHECKED BY: D.A.L.
ACCEPTANCE BY	DATE		DATE				
VERIFY BY	DATE		DATE				
DRAWN BY	DATE		DATE				
CORRECTED BY	DATE		DATE				
MICRO-FILM INFORMATION							



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NEW MEXICO
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505/766-6968
FAX /243-4508

GARRISON DEVELOPMENT
DESIGN, INC.
PRELIMINARY PLAN
APPROVED BY DRB
ON 11/21/07



PROJECT NUMBER: _____
Application Number: _____

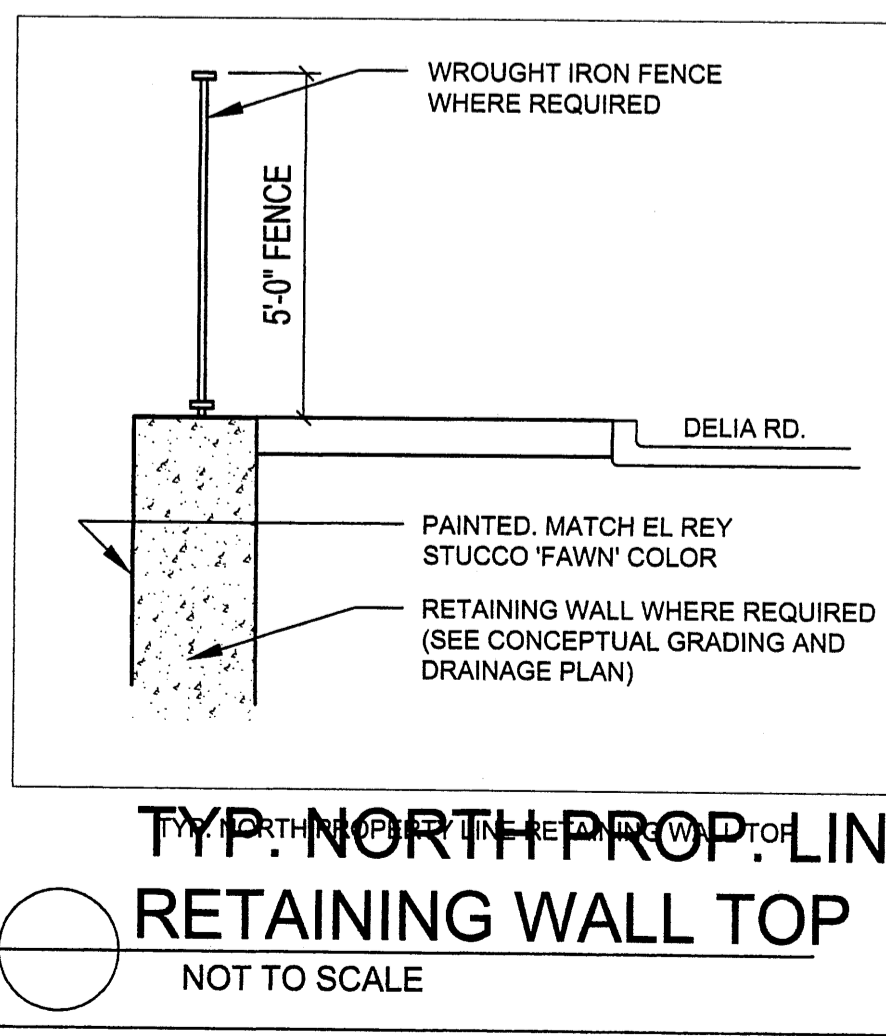
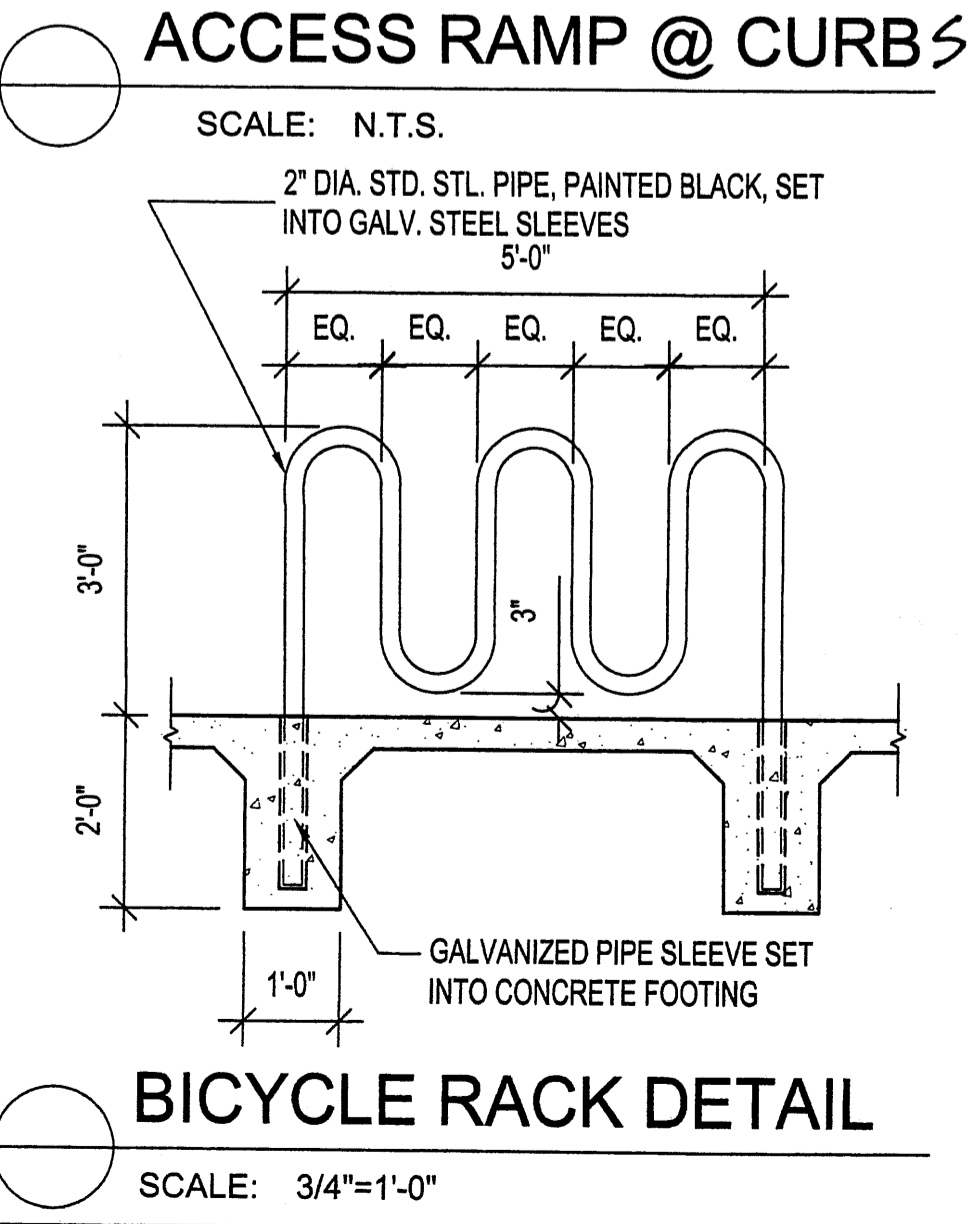
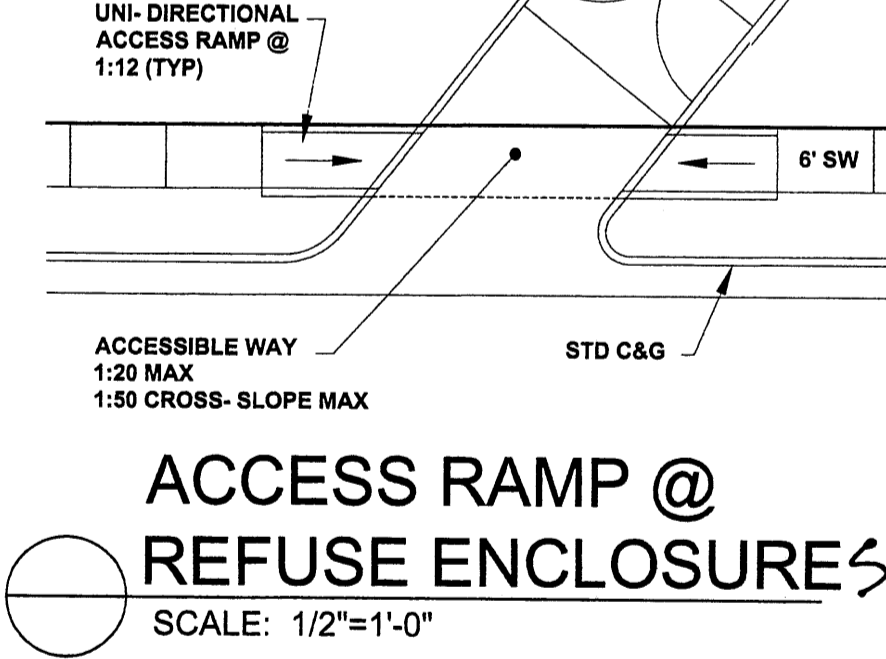
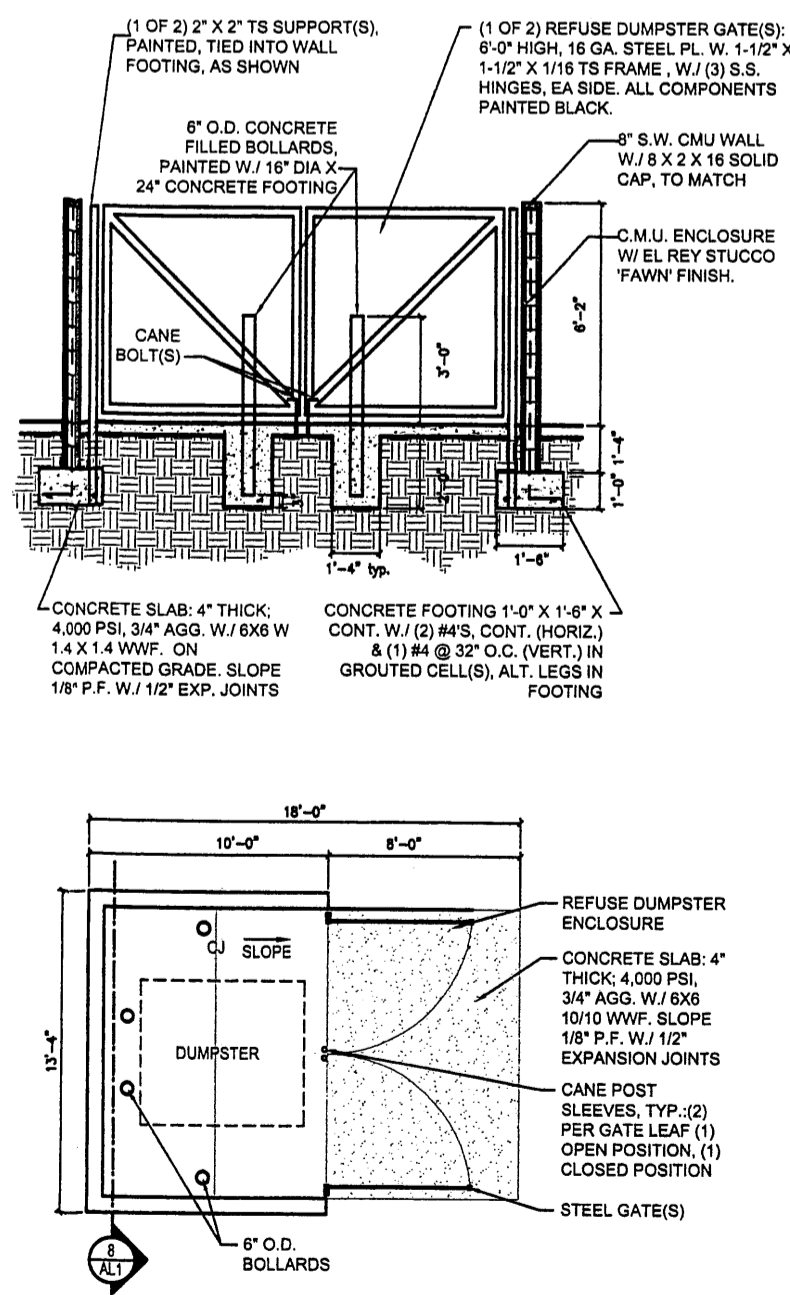
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
<i>Michael Holton</i> Solid Waste Management	11/19/07 Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
6/26/07



ABBREVIATIONS

ABBREVIATION WORD	& AND
HYD.	FIRE HYDRANT
N.L.F.	NEW LIGHT FIXTURE

BLDG USE SQUARE FOOTAGE

A - RESIDENCE	7950 SF
B - RESIDENCE	7950 SF
C - RESIDENCE	2100 SF
D - RESIDENCE	2550 SF
E - RESIDENCE	2550 SF
F - COMMUNITY CENTER	1375 SF
TRIPLEX UNITS (5 @ 575 SF)	2875 SF
35,975 SF TOTAL	

PARKING PROVIDED

(41 REG + 11 COMPACT + 4 H/C)
PROVIDED = 56

MOTORCYCLE	PROVIDED = 3
BICYCLES	PROVIDED = 24

PARKING REQUIREMENTS (PER CITY OF ALBUQUERQUE BUILDING CODE)

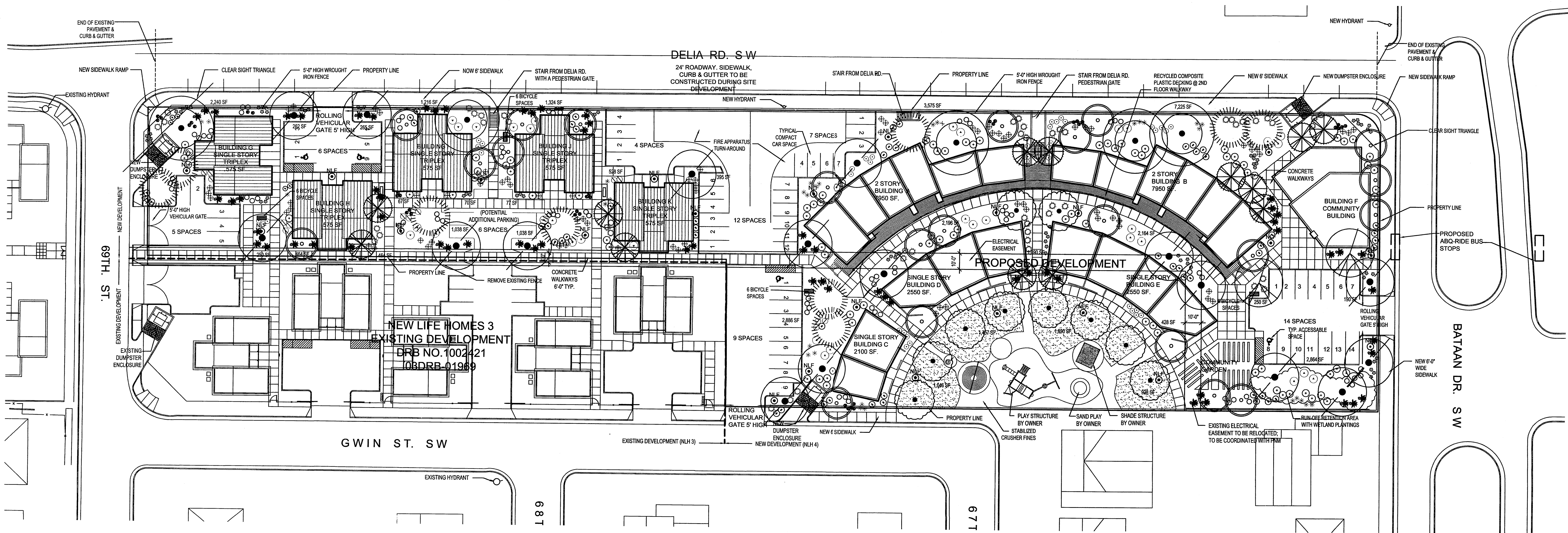
USE SPACES REQUIRED CALCULATIONS TOTALS
RESIDENCE (BLDG A,B,C,D,E, TRIPLEX) 1 1/2 SPACE PER BATH BATHS = 48 (1.5) 72 (TRANSIT REDUCTIONS; TRANSIT STOP WITHIN 300' = 10%
OWNER PROVIDED TRANSIT SHELTER WITHIN 300' = 5%) 72 (15%) -11
REQUIRED = 61

BICYCLE REQUIREMENTS

USE SPACES REQUIRED CALCULATIONS TOTALS
RESIDENCE 1 PER 2 D.U. 48 D.U./2 = 24
(BLDGS A-E & TRIPLEXES) 24 REQUIRED & PROVIDED

NEW LIFE HOMES IV
DRB SUBMITTAL FOR BUILDING PERMIT
SITE PLAN

DRWN. BY: AL,AM,BF
DATE: Nov. 19, 2007



PLANT LEGEND

Quantity	Symbol	Scientific Name (Water Use) Common Name	Size	Initial Size or Spacing Ultimate Size
16		Chitalpa tashkentensis Chitalpa	2' B&B	6' ht. x 4' spr. 20' ht. x 20' spr.
18		Fraxinus velutina 'Modesto' (M) Modesto Ash (female)	2' B&B	14' ht. x 6' spr. 40' ht. x 35' spr.
4		Platanus acerifolia London Planetree	2' B&B	14' ht. x 8' spr. 50' ht. x 40' spr.
8		Pinus nigra (M) Austrian Pine	B&B	6' min. ht. 35' ht. x 25' spr.
8		Pyrus calleryana 'Aristocrat' (M) Flowering Pear	2' B&B	16' ht. x 6' spr. 35' ht. x 25' spr.
6		Robinia 'Purple Robe' (M) Purple Robe Locust	2' B&B	16' ht. x 6' spr. 30' ht. x 30' spr.
8		Vitex agnus-castus (M) Chaste tree	15-Gal	6'-8' ht. x 4' spr. 20' ht. x 20' spr.
17		Artemisia 'Powis Castle' (L) 'Powis Castle' Sage	1-Gal	4' o.c. 3' ht. x 4' spr.
51		Caryopteris clandonensis (M) Blue Mist	1-Gal	3' o.c. 3' ht. x 3' spr.
44		Caesalpinia gillesii (L) Bird of Paradise	5-Gal	6' o.c. 5' ht. x 5' spr.
82		Ericameria laricifolia (L) Turpentine Bush	1-Gal	2' o.c. 2' ht. x 2' spread
42		Hesperaloe parviflora (M) Red Yucca	1-Gal	3' o.c. 3' ht. x 4' spr.
82		Juniperus sabina 'Buffalo' (M) Buffalo Juniper (female)	5-Gal	6' o.c. 2' ht. x 6' spr.
57		Liatris punctata (L+) Spotted Gayfeather	1-Gal	2' o.c. 3' ht. x 2' spr.
86		Perovskia atriplicifolia (M) Russian Sage	1-Gal	5' o.c. 4' ht. x 5' spr.
80		Potentilla fruticosa (L+) Shrubby Cinquefoil	1-Gal	3' o.c. 3' ht. x 3' spr.
74		Salvia greggii (M) Cherry Sage	1-Gal	3' o.c. 3' ht. x 3' spr.
20		Sedum telephium (M) Autumn joy sedum	1-Gal	3' o.c. 2' ht. x 2' spr.
58		Rosmarinus officinalis (M) Rosemary	5-Gal	4' o.c. 3' ht. x 3' spr.

Buffalo/Blue Grama Seed Mix
5,648 SF

MULCHES
All shrub planting areas shall be top dressed with 7/8" Santa Ana Tan Rock Mulch. 2" - 4" Santa Ana Tan Cobble will be used as an accent mulch in certain areas.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated underground irrigation system will be used to irrigate turf areas and tree, shrub, and groundcover planting areas. Pop-up spray or rotary sprinklers will be used to irrigate the turf areas. Trees shall receive (5) 2.0 GPH drip emitters and shrubs shall receive (2) 1.0 GPH drip emitters.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Homeowner's Association.

STATEMENT OF WATER WASTE
The Landscape Plan for New Life Homes IV shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area. All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

LANDSCAPE COVERAGE
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area.

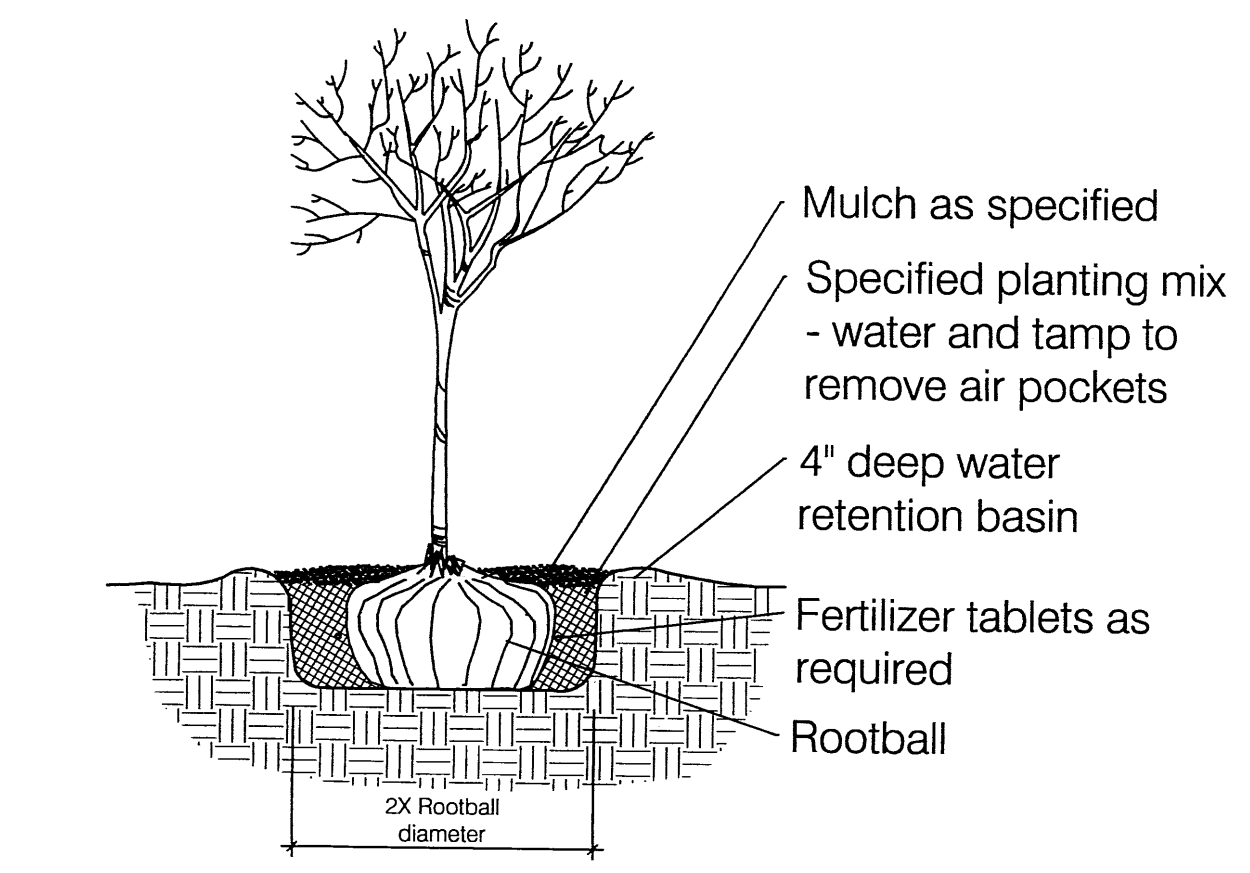
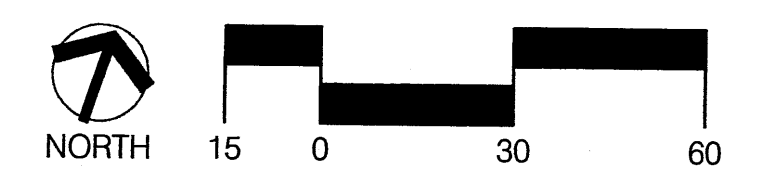
PLAYGROUND AREA
The playground area shall be enclosed by a concrete header, and the surface shall be a 12" layer of engineered wood fibers. The surfacing shall provide required accessibility and safety resiliency.

LANDSCAPE CALCULATIONS

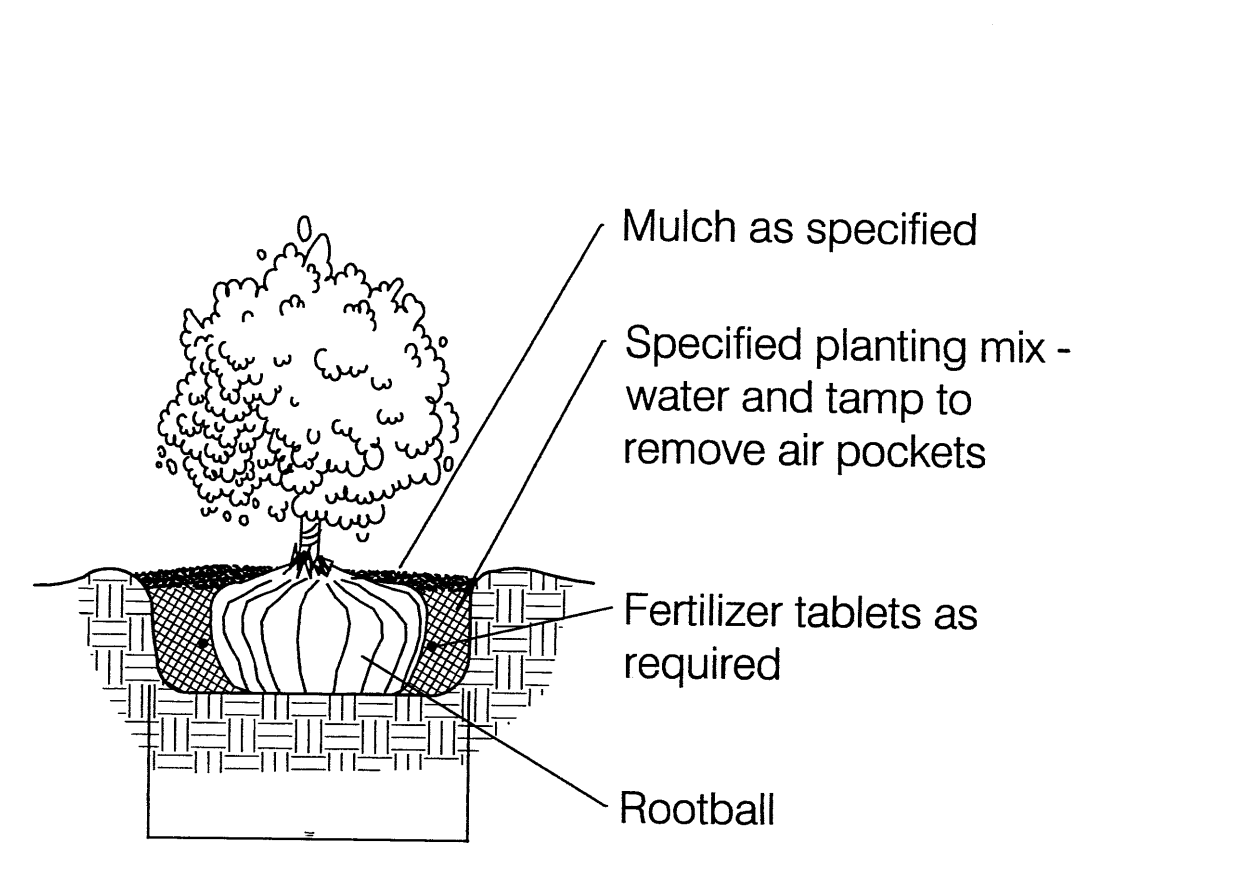
Site Area: (2.43 ac.)	105,850 S.F.
Building Area:	-26,775 S.F.
Total	79,075 S.F.

Require Landscape: (15%)	11,861 S.F.
Provided Landscape: (48%)	37,833 S.F.

Turf Area Allowed: (20%)	7,567 S.F.
Turf Area Provided: (15%)	5,321 S.F.



1 TREE PLANTING DETAIL
nts



2 SHRUB PLANTING DETAIL
nts

REVISIONS

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505/766-6968
FAX/243-4508

GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

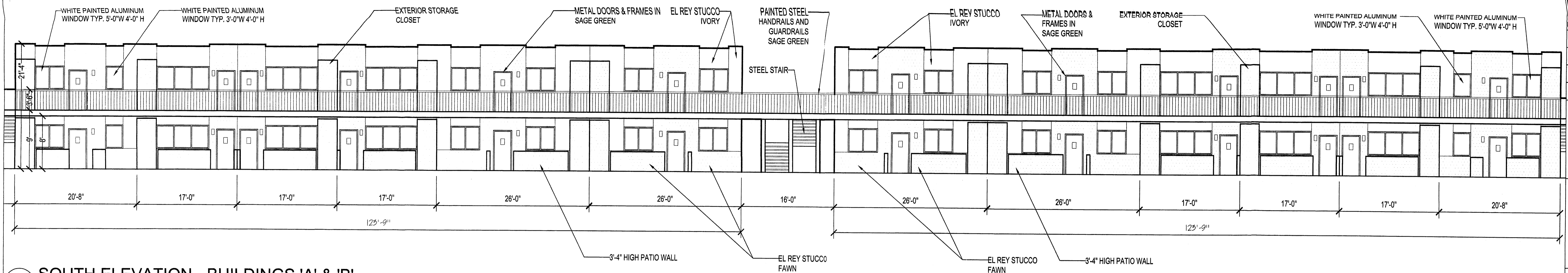
**NEW LIFE HOMES IV
LANDSCAPE PLAN**

DRWN. BY: CG
DATE: 8-07-07

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

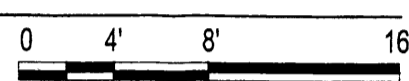
REVISIONS

NOVEMBER 6, 2007



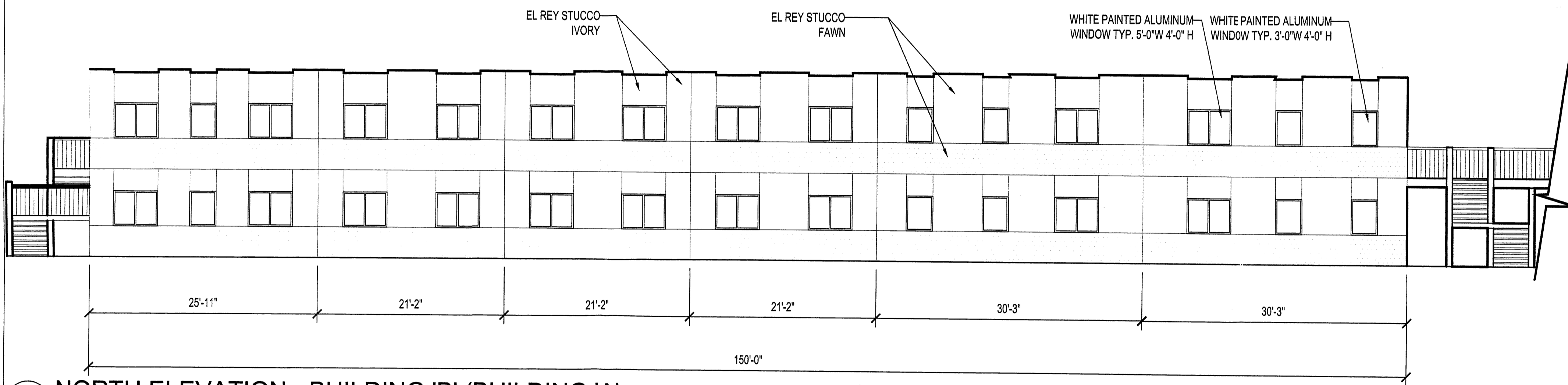
SOUTH ELEVATION - BUILDINGS 'A' & 'B'

SCALE: 1/8"=1'-0"



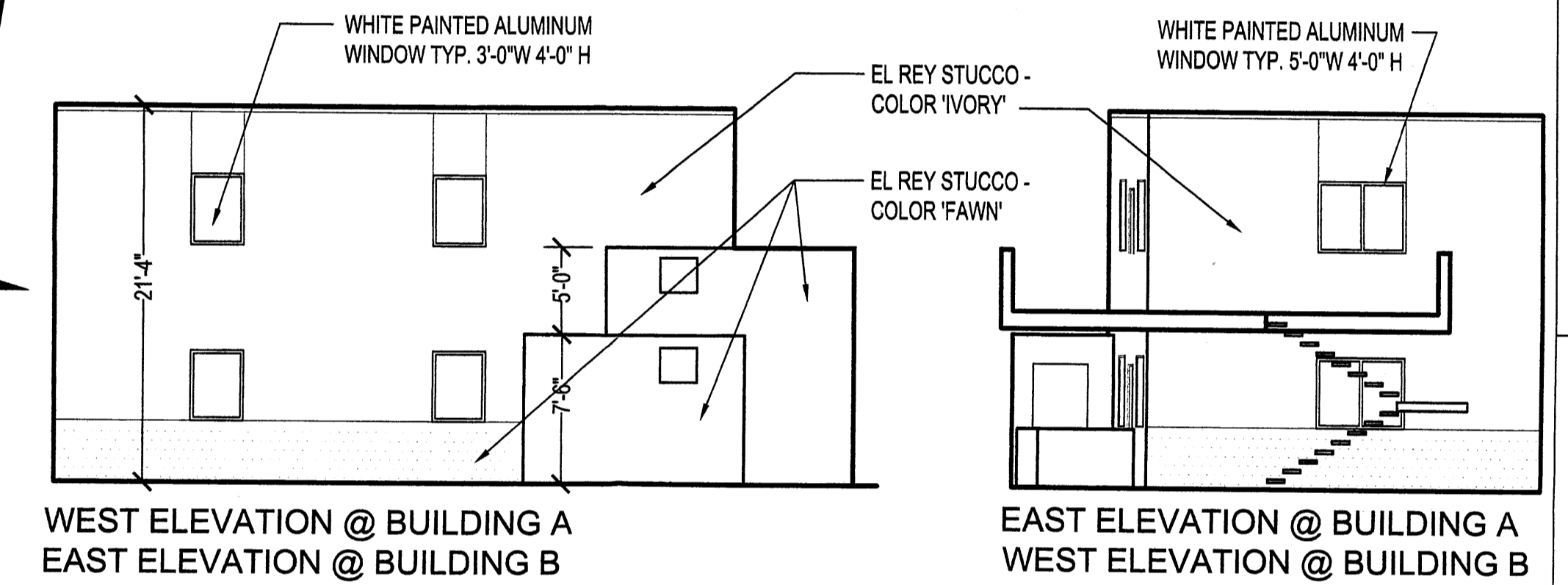
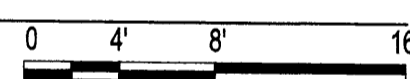
514 CENTRAL SW
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8 7 1 0 2
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GARRETT SMITH LTD.
DESIGN, ARCHITECTURE & DEVELOPMENT



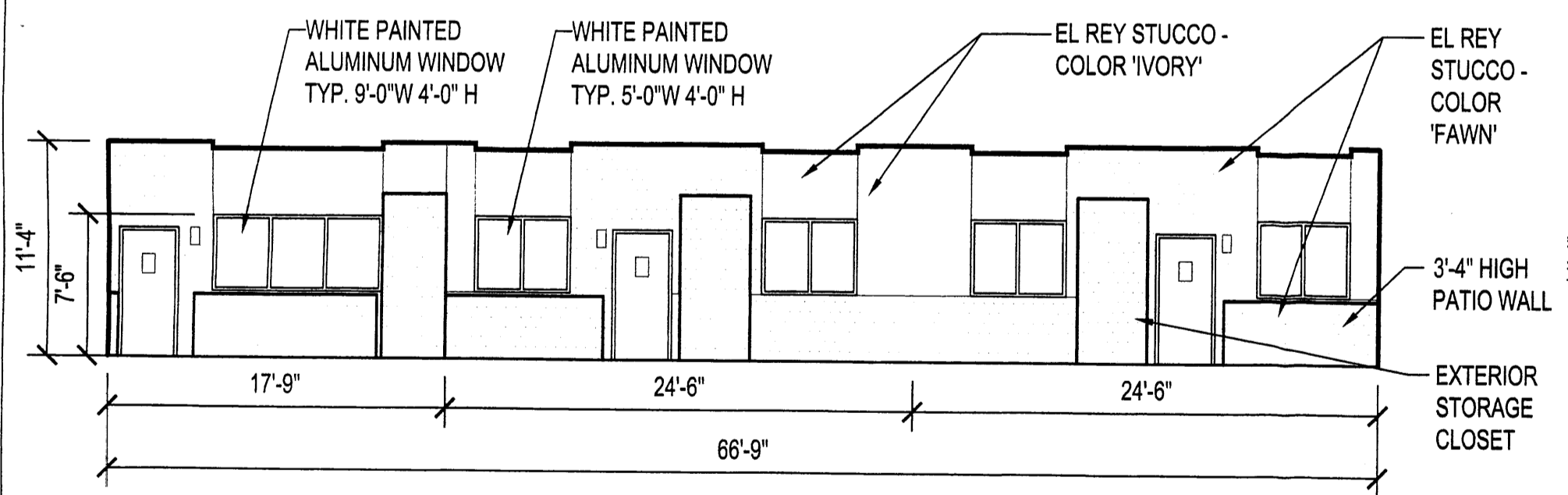
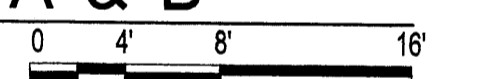
NORTH ELEVATION - BUILDING 'B' (BUILDING 'A'-OPPOSITE HAND SIMILAR)

SCALE: 1/8"=1'-0"



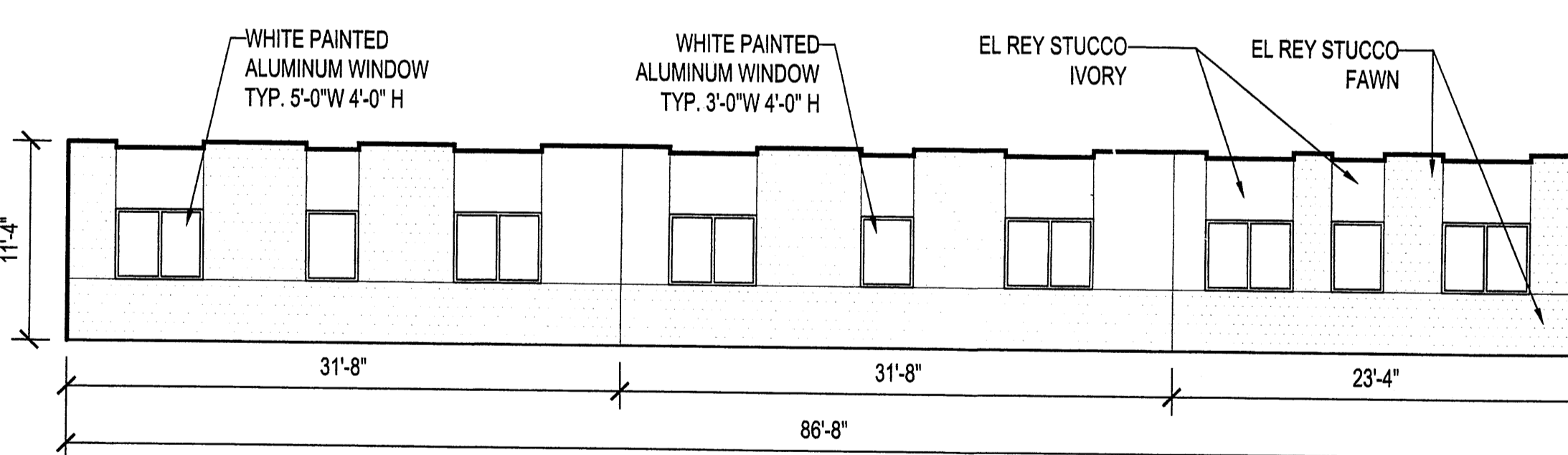
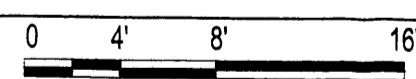
EAST / WEST ELEVATIONS - BUILDINGS 'A' & 'B'

SCALE: 1/8"=1'-0"



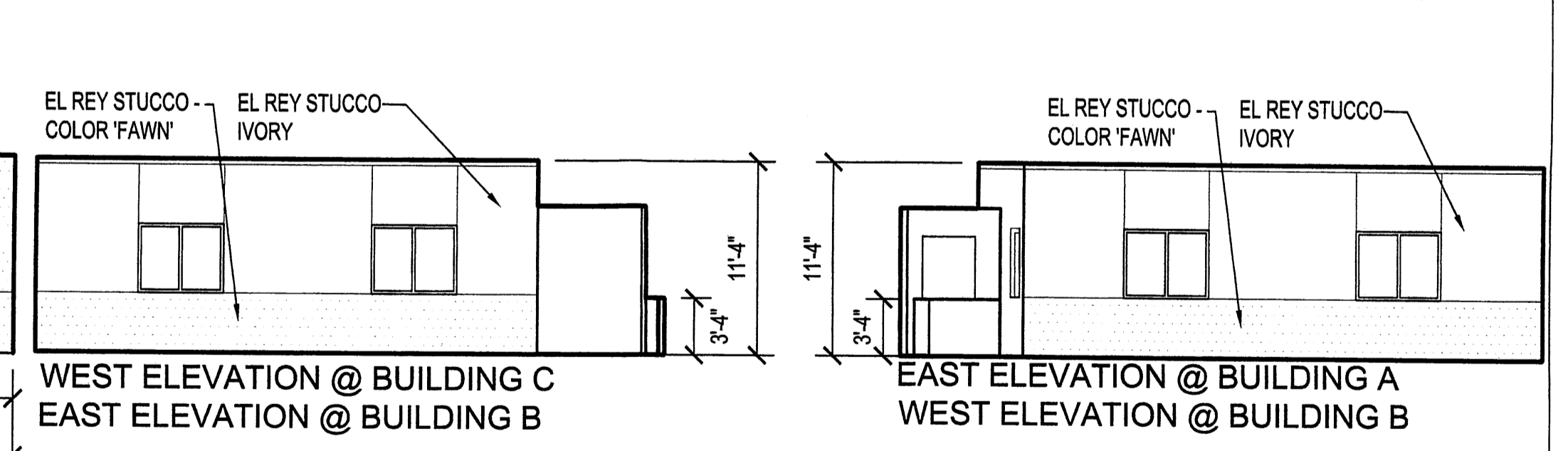
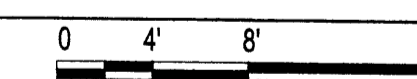
SOUTH ELEVATION - BUILDING 'C'

SCALE: 1/8"=1'-0"



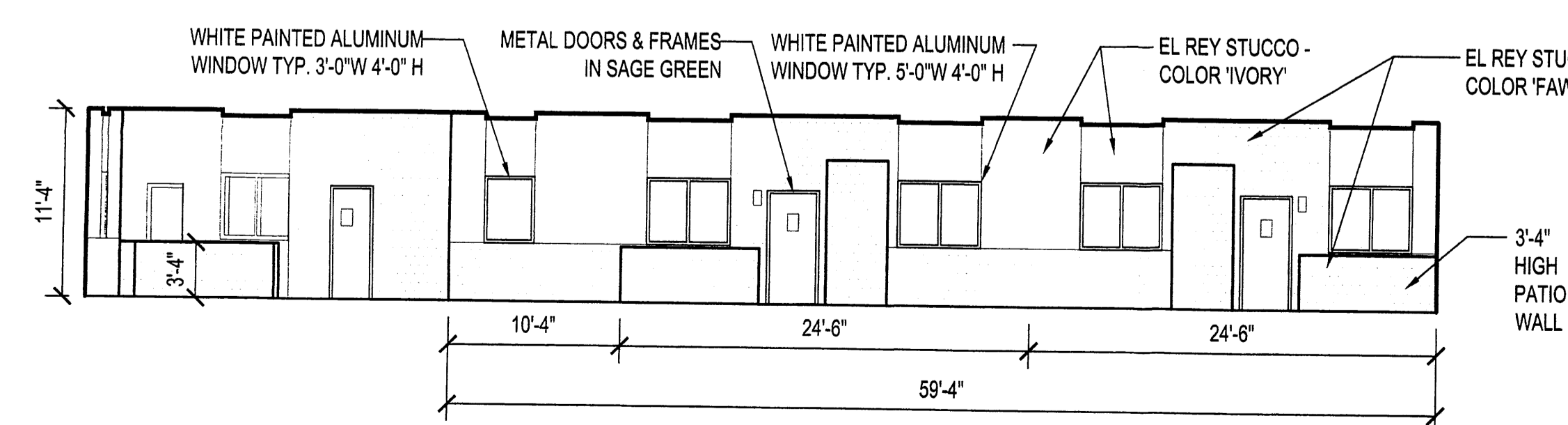
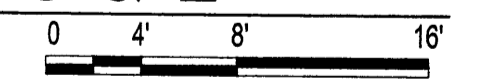
NORTH ELEVATION - BUILDING 'C'

SCALE: 1/8"=1'-0"



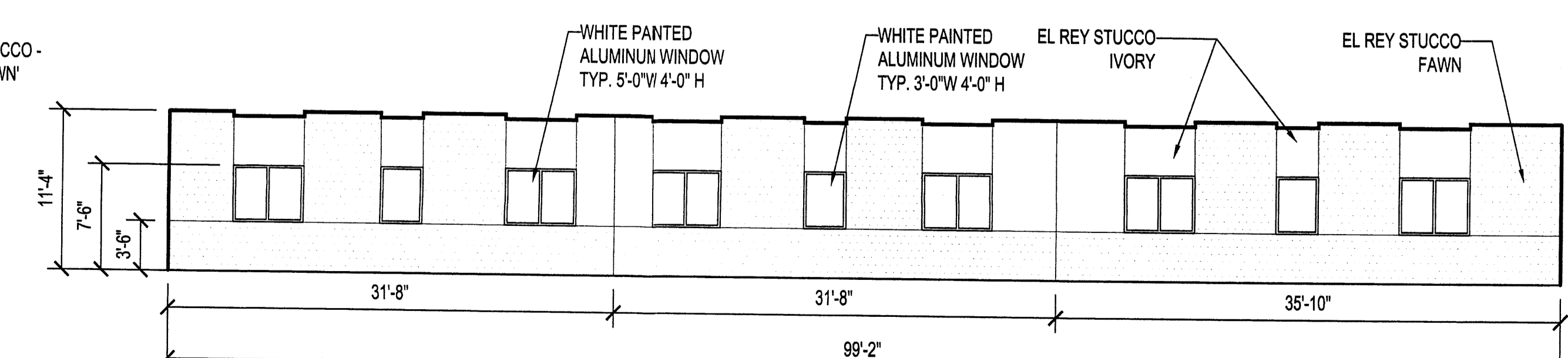
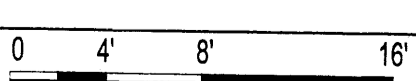
EAST / WEST ELEVATIONS - BUILDINGS 'C' & 'E'

SCALE: 1/8"=1'-0"



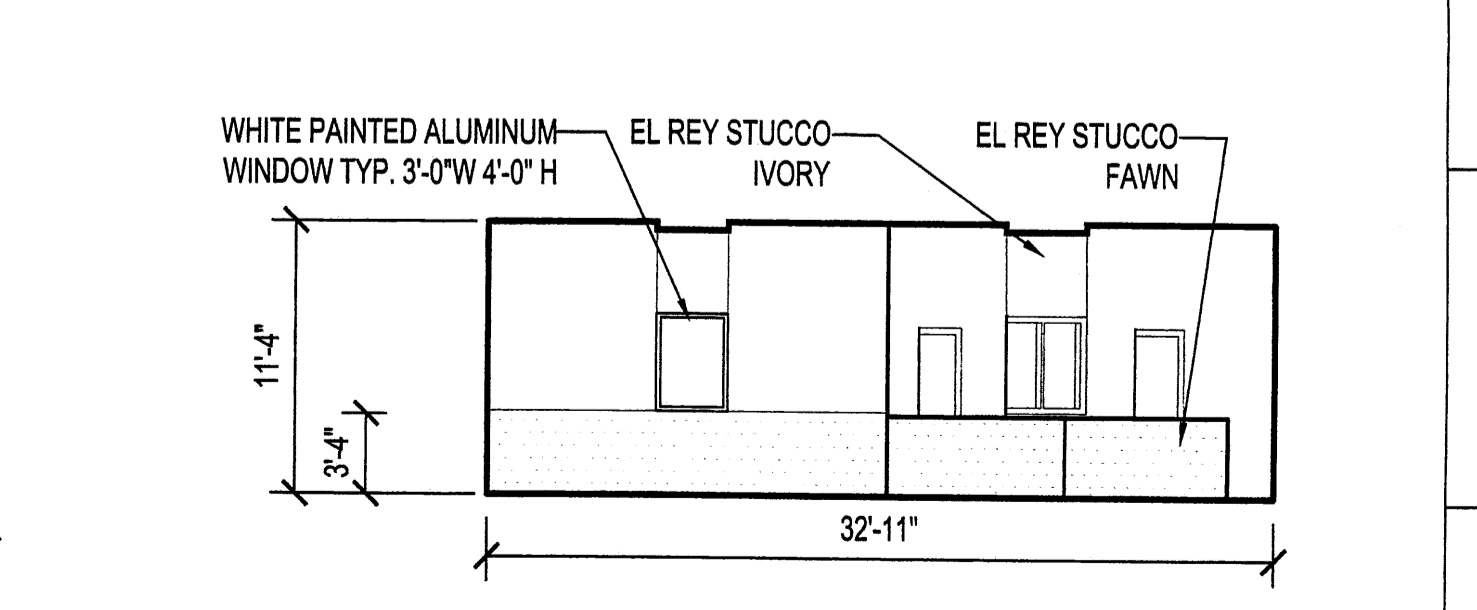
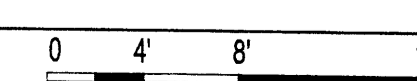
SOUTH ELEVATION - BUILDING 'D'

SCALE: 1/8"=1'-0"



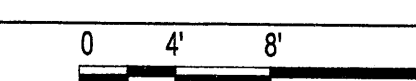
NORTH ELEVATION - BUILDING 'D'

SCALE: 1/8"=1'-0"



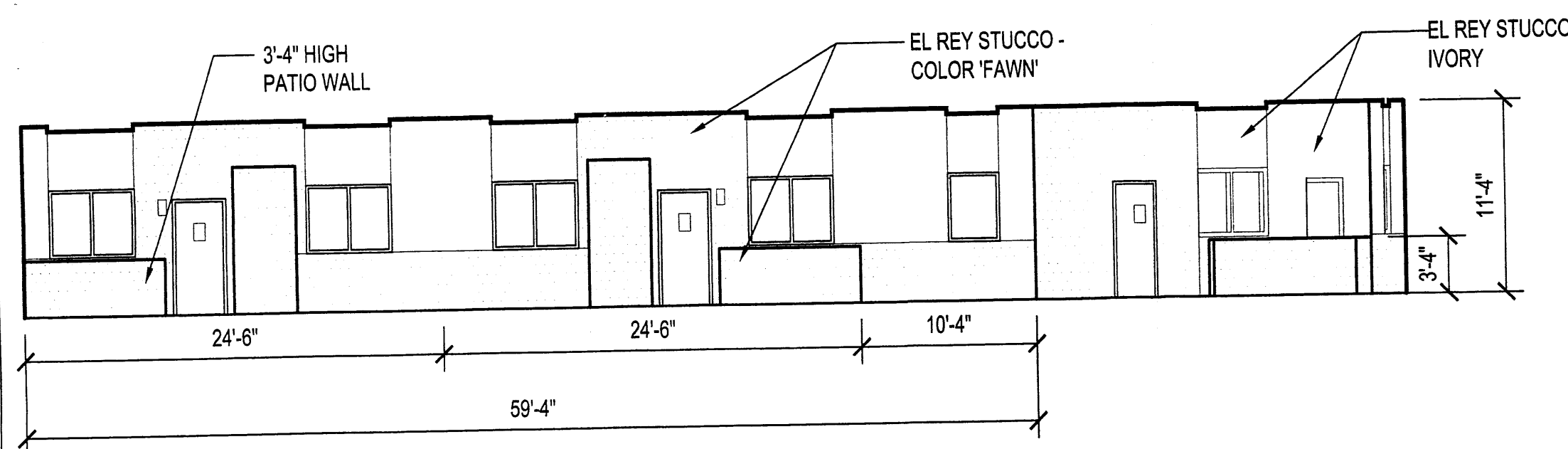
WEST ELEVATION - BUILDING 'D'

SCALE: 1/8"=1'-0"



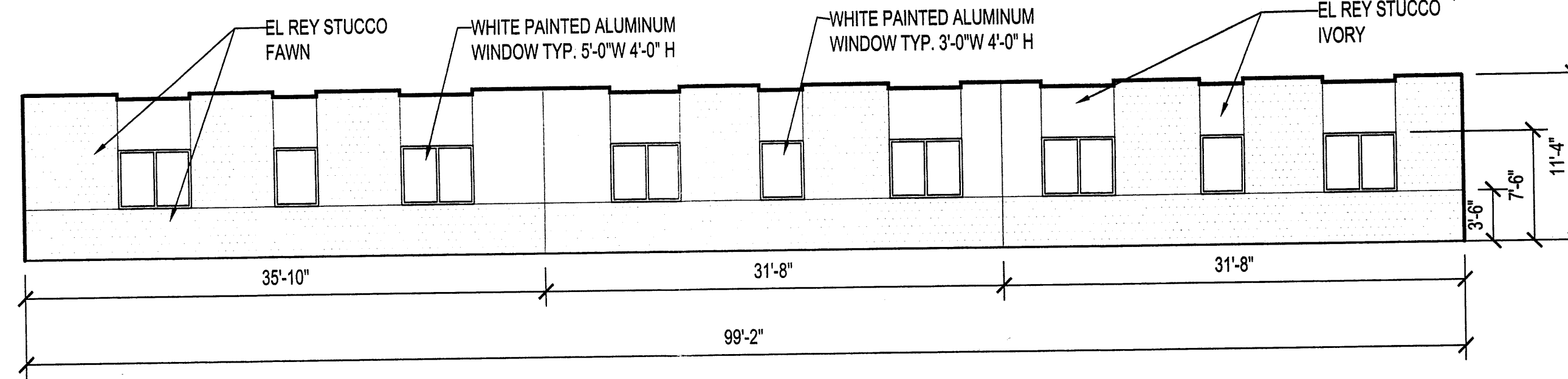
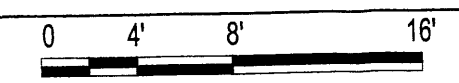
NEW LIFE HOMES IV
DRB SUBMITTAL FOR BUILDING PERMIT
ELEVATIONS 1

DRWN. BY: NR, BF
DATE: Nov. 6, 2007



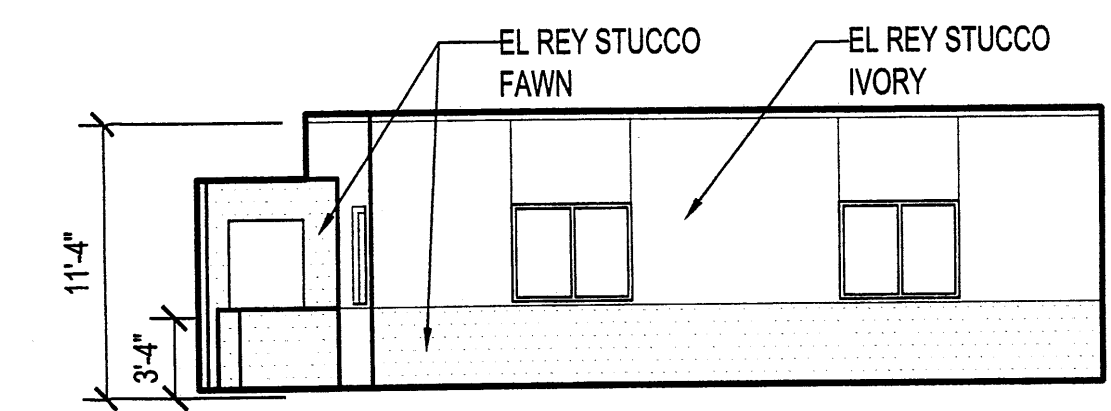
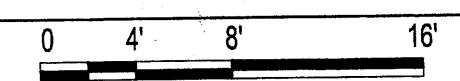
SOUTH ELEVATION - BUILDING 'E'

SCALE: 1/8"=1'-0"



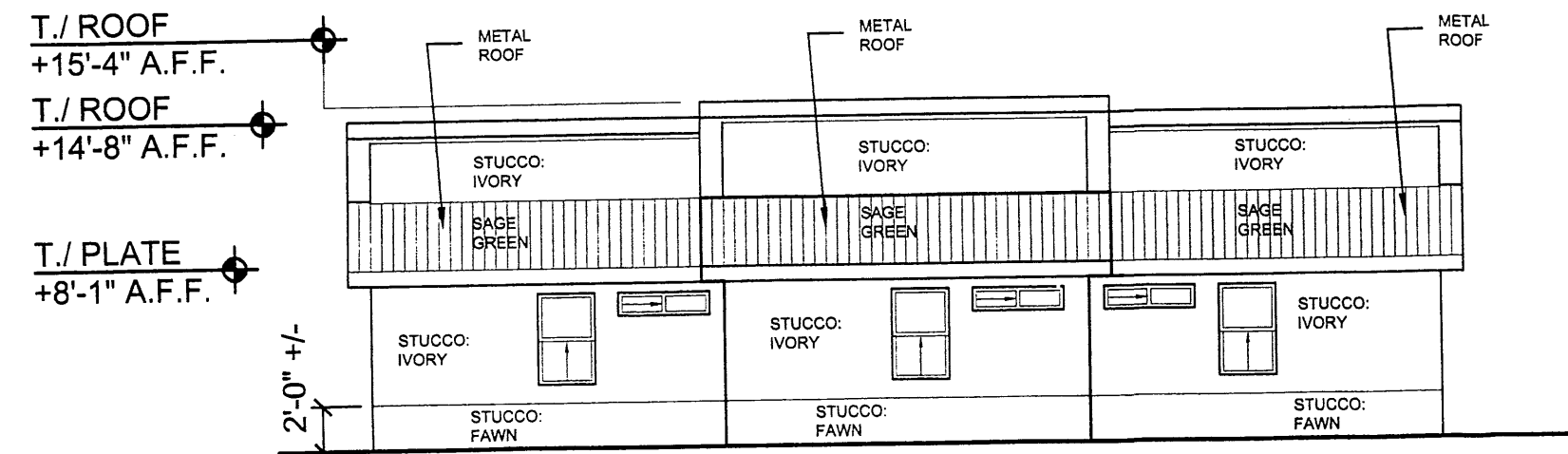
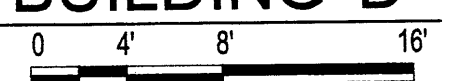
NORTH ELEVATION - BUILDING 'E'

SCALE: 1/8"=1'-0"



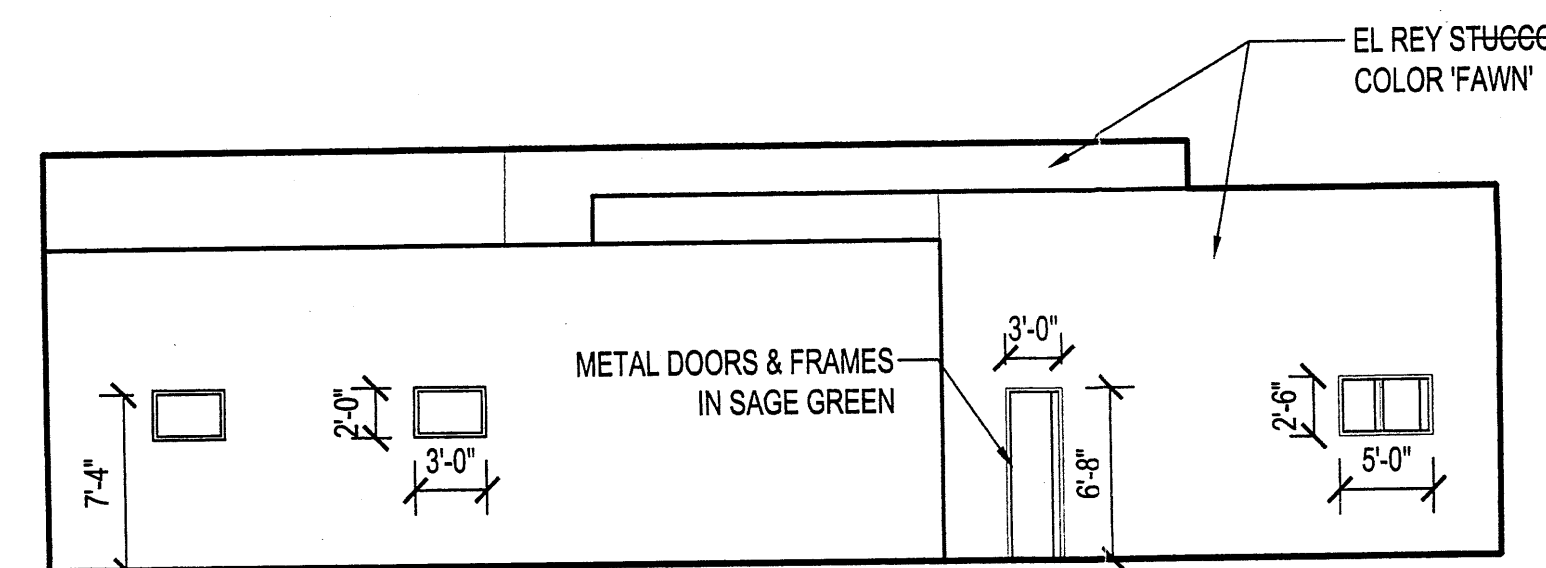
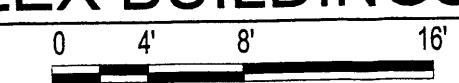
EAST ELEVATION - BUILDING 'D'

SCALE: 1/8"=1'-0"



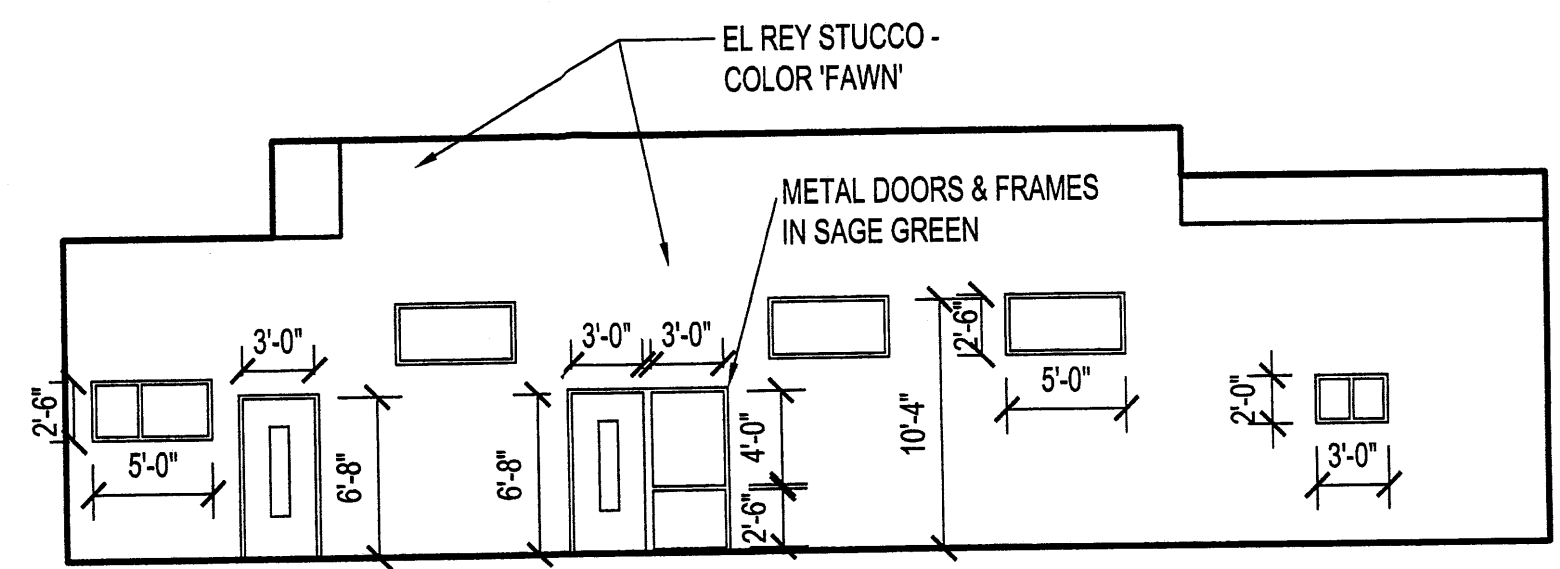
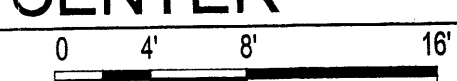
TYPICAL REAR ELEVATION - TRIPLEX BUILDINGS

SCALE: 1/8"=1'-0"



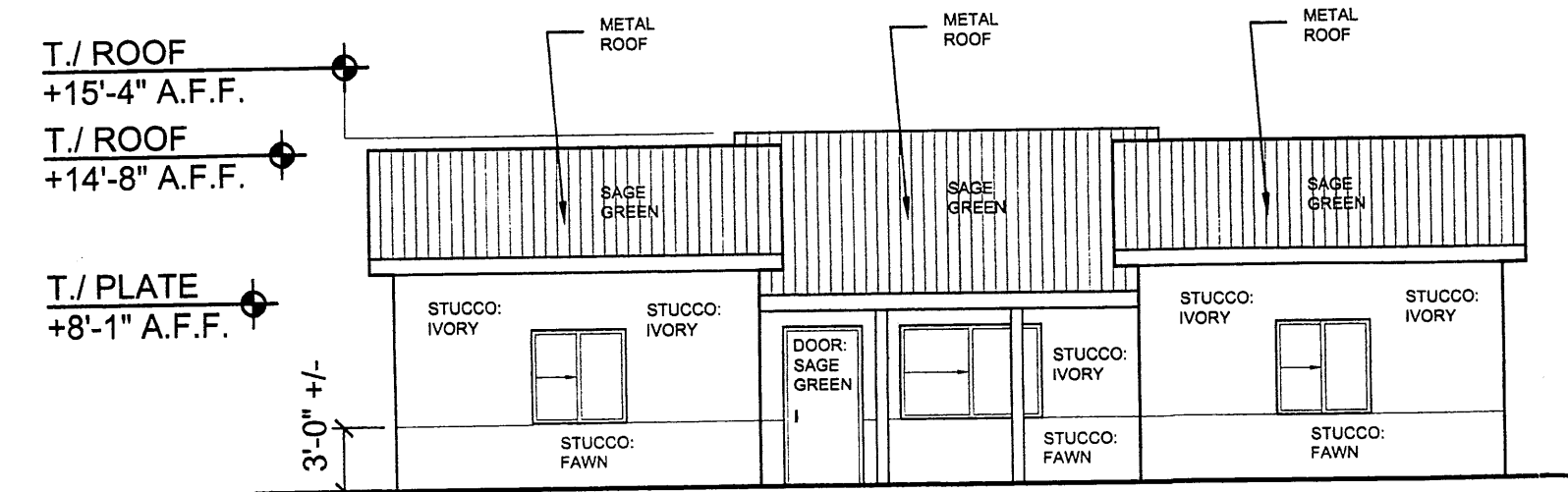
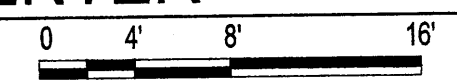
NORTH ELEVATION - COMMUNITY CENTER

SCALE: 1/8"=1'-0"



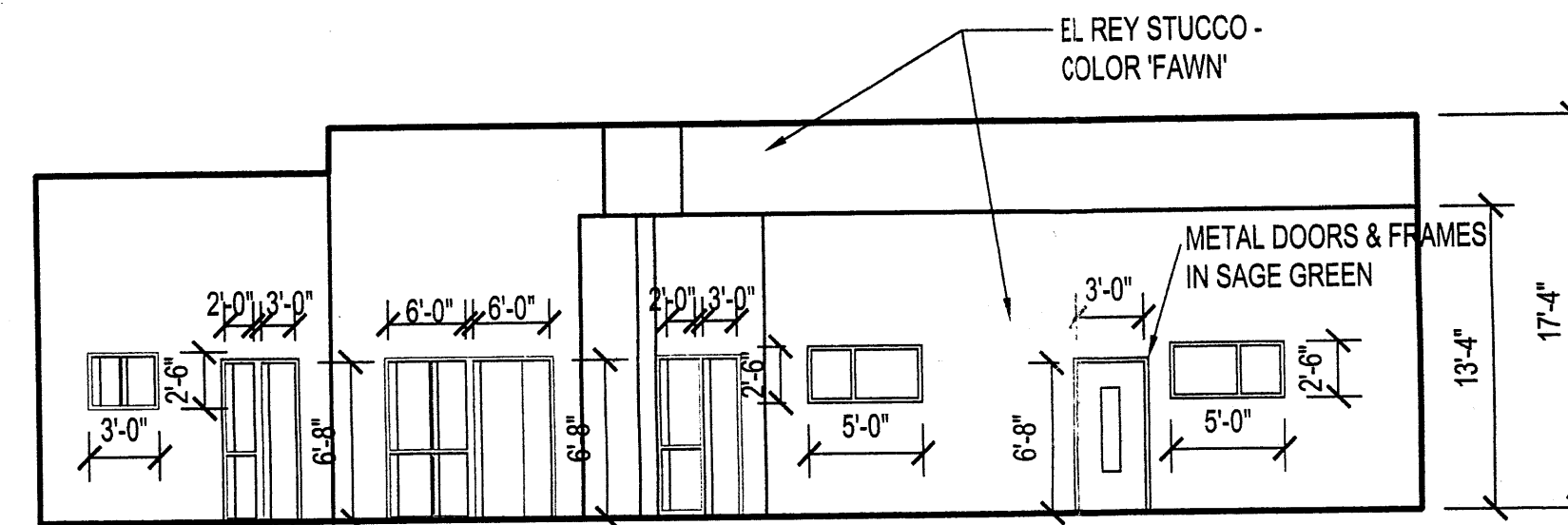
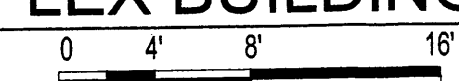
EAST ELEVATION - COMMUNITY CENTER

SCALE: 1/8"=1'-0"



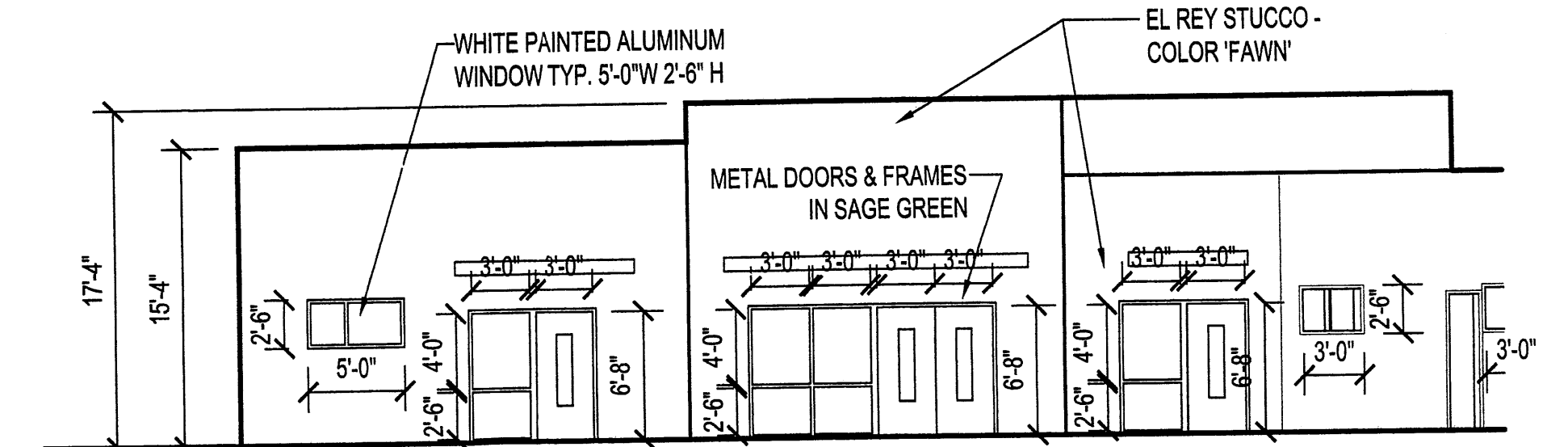
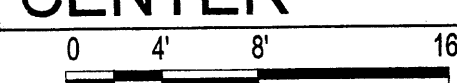
TYPICAL FRONT ELEVATION - TRIPLEX BUILDINGS

SCALE: 1/8"=1'-0"



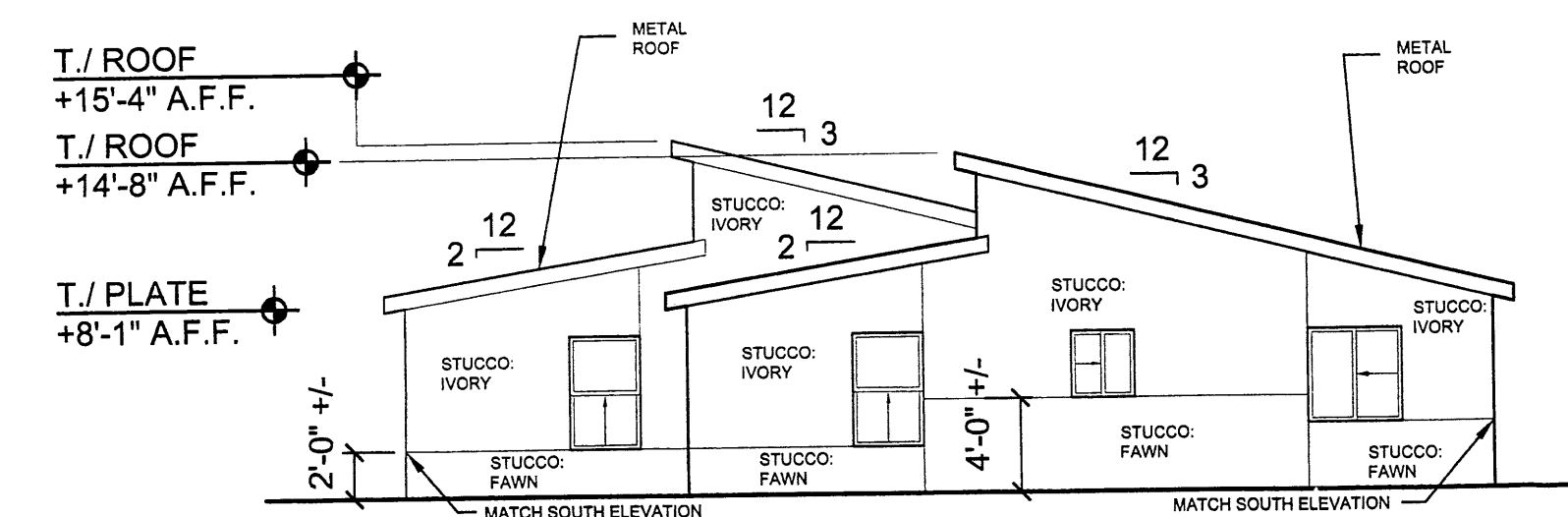
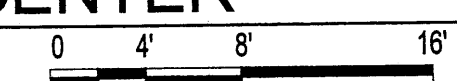
SOUTH ELEVATION - COMMUNITY CENTER

SCALE: 1/8"=1'-0"



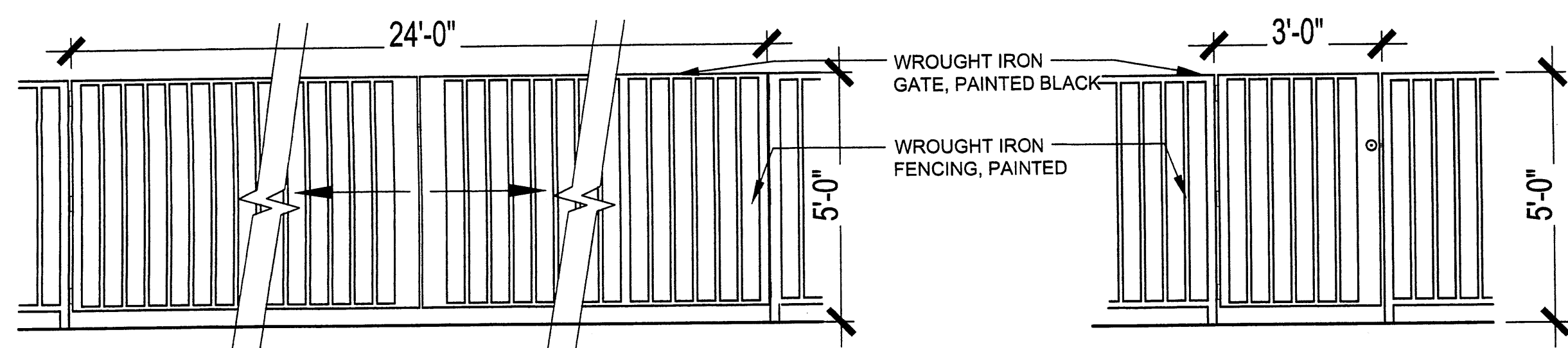
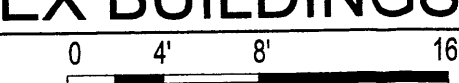
WEST ELEVATION - COMMUNITY CENTER

SCALE: 1/8"=1'-0"



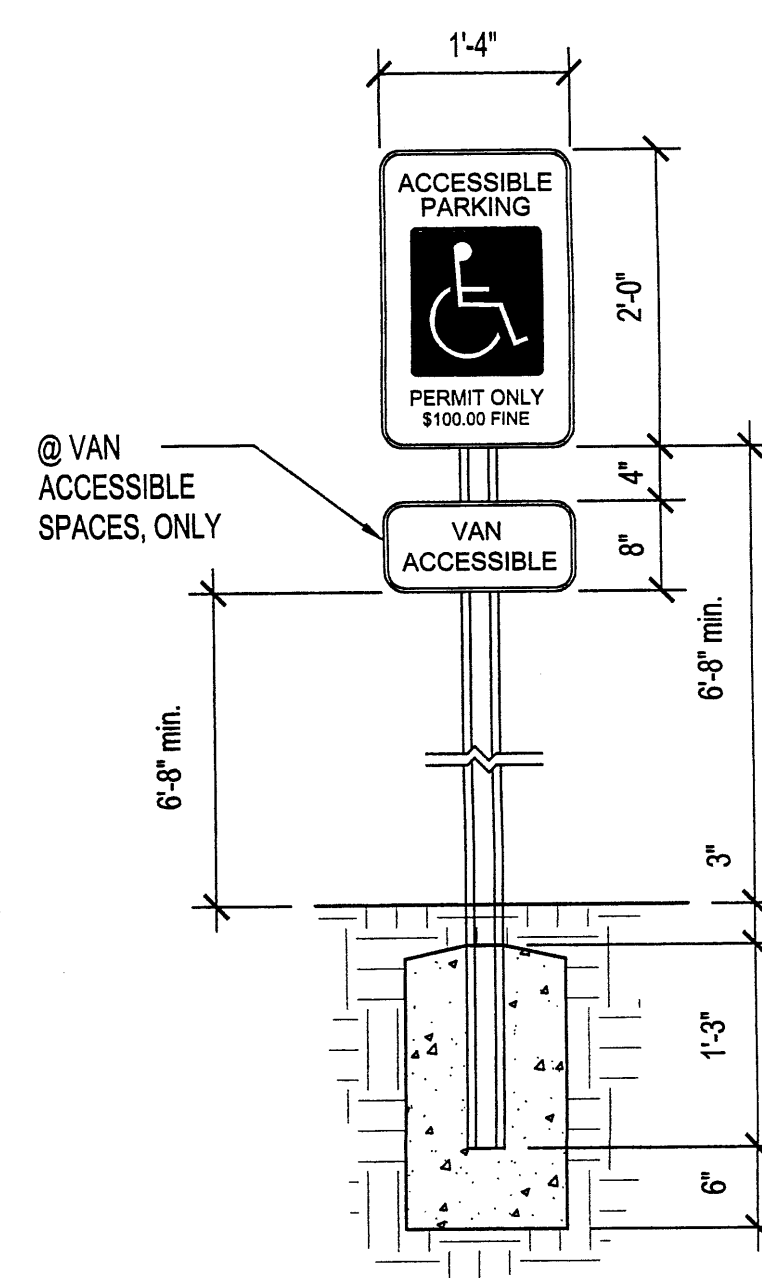
TYPICAL SIDE ELEVATION - TRIPLEX BUILDINGS

SCALE: 1/8"=1'-0"



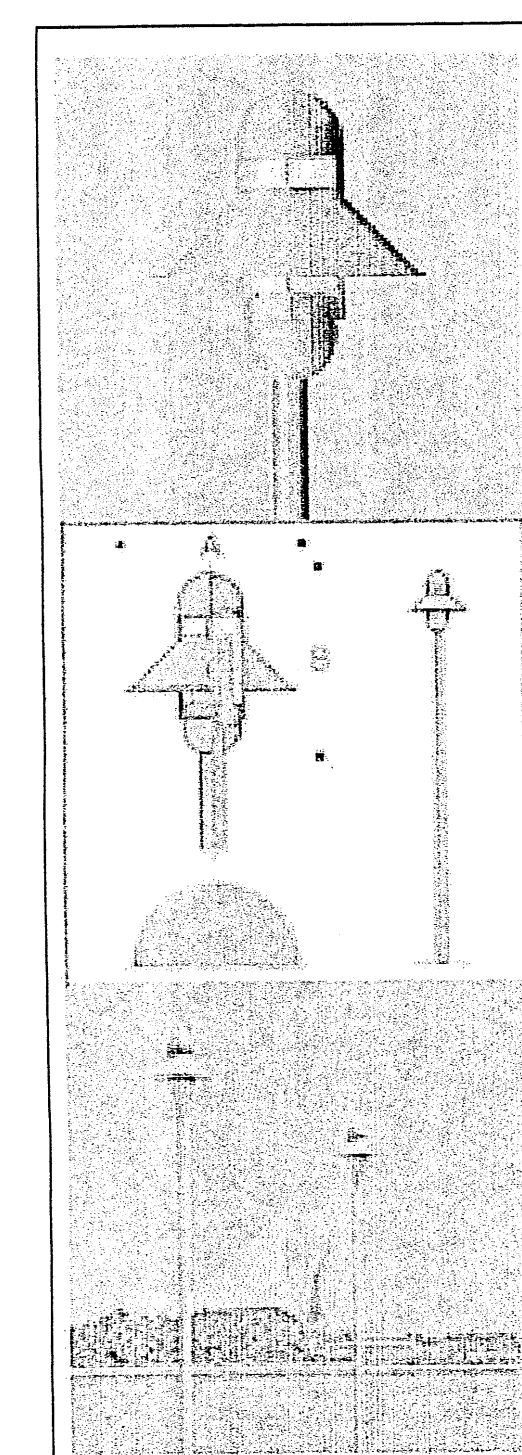
WROUGHT IRON GATE

NOT TO SCALE



HANDICAPPED PARKING SIGN DETAIL

SCALE: 3/4"=1'-0"



Pole top with additional uplight

Designed for the illumination of walkways, open pedestrian scale landscape areas, parking areas, and roadways.

Pole top luminaires with glare-free louver system and additional top light output. Clear crystal glass with vertical structure.

U.L. listed, suitable for wet locations.

Protection class: IP 44

Finish: Standard BEGA color: BLACK

NOTE: ALL POLE MOUNTED LIGHT FIXTURES TO BE FULL CUT-OFF TYPE.

Select product No. for details	Lamp	Lumen	A	B
9954S	(1) 70W E-17 HPS	6300	21 5/8	22 7/8
9991MH	(1) 70W ED-17 MH	5800	21 5/8	22 7/8

BEGA POLE TOP LUMINAIRE 9954S
NOT TO SCALE

REVISIONS

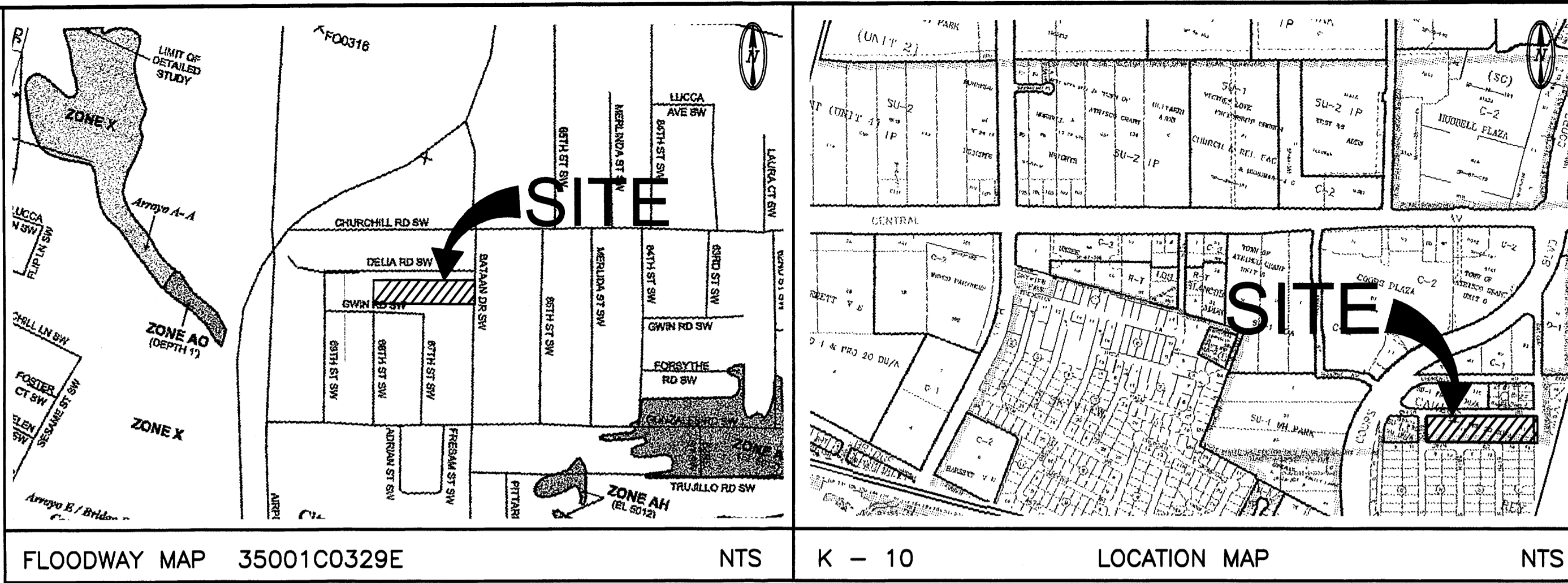
NOVEMBER 6, 2007

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
5 0 5 / 7 6 6 - 6 9 6 8
F A X / 2 4 3 - 4 5 0 8

GARRETT SMITH, L.L.D.
DESIGN, ARCHITECTURE & DEVELOPMENT

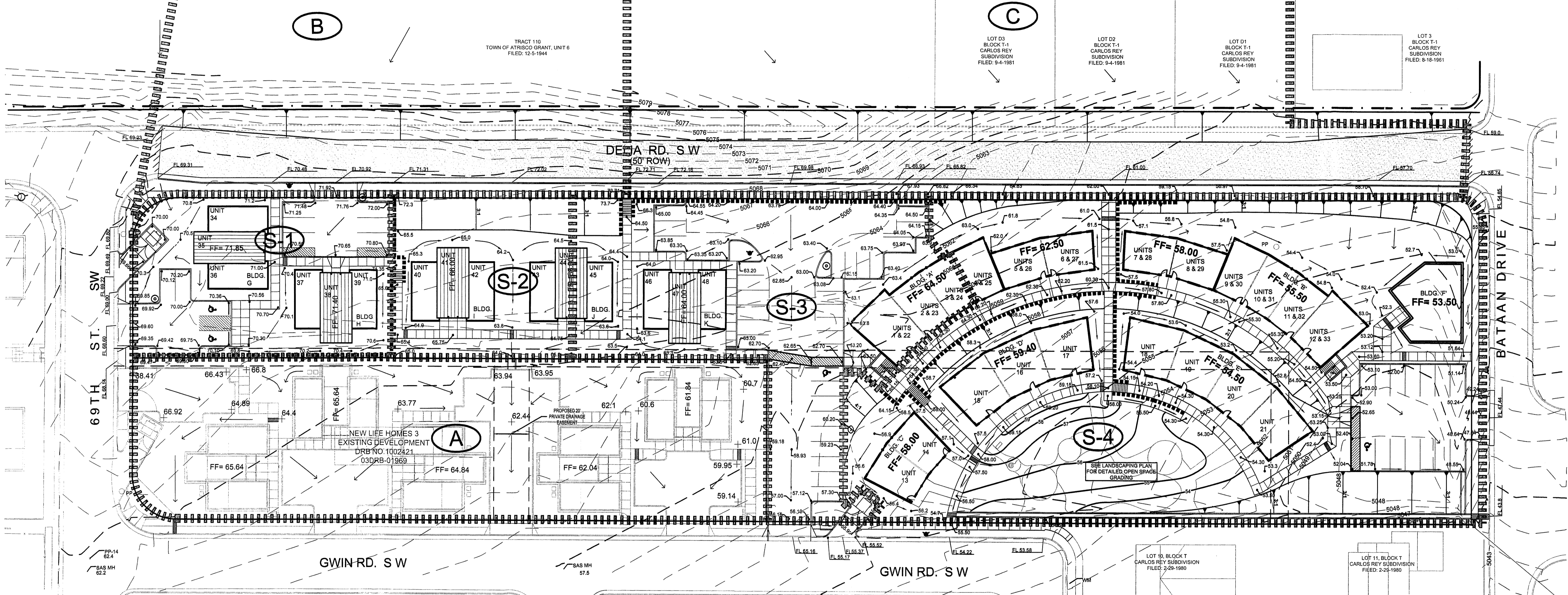
NEW LIFE HOMES IV
DRB SUBMITTAL FOR BUILDING PERMIT
ELEVATIONS 2

DRWN. BY: NR, BF
DATE: Nov. 6, 2007



PROPERTY ADDRESS DELIA RD SW
LEGAL DESCRIPTION TRACT 111-C TOWN OF ATRISCO GRANT UNIT 6
PROJECT BENCHMARK BENCH MARK: ACS 3 1/4" ALUM. CAP DISK "S-K10, 1989" ELEVATION = 5096.432 NAVD 88
BENCHMARK BENCH MARK: ACS 3 1/4" ALUM. CAP DISK "ACS 11-K10" ELEVATION = 5046.03 NAVD 88
SURVEY SITE MAPPING BY HARRIS SURVEYING SEPT 2007

- LEGEND**
- 02.5 x EXISTING SPOT ELEVATION
 - 01.5 • PROPOSED SPOT ELEVATION
 - DIRECTION OF FLOW
 - DRAINAGE SWALE
 - EXISTING STRUCTURE
 - EXISTING OVERHANG
 - PROPOSED STRUCTURE
 - ▨ PROPOSED DELIA PAVEMENT
 - ▨ EXISTING ASPHALT TO BE REMOVED AND REPLACED
 - - - EXISTING CHAIN LINK FENCE
 - PROPOSED POST AND CABLE FENCE
 - EXISTING BOLLARD
 - EXISTING STREET LIGHT
 - DRAINAGE BASIN DIVIDE
 - ▬ PROPOSED RETAINING WALL



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE
 PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 48-UNIT MULTI-FAMILY DEVELOPMENT ON THE 2.4-ACRE SITE. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS
 THE PROJECT SITE IS PRESENTLY UNDEVELOPED. THE SITE CONTAINS APPROXIMATELY 2.4-ACRES AND IS DESCRIBED AS TRACT 111-C, TOWN OF ATRISCO GRANT, UNIT 6. THE SITE IS BOUNDED BY 69TH STREET ON THE WEST, BATAAN DRIVE ON THE EAST, DELIA ROAD ON THE NORTH AND GWIN ROAD ON THE SOUTH. THE PROPERTY HAS BEEN DISTURBED BY VEHICLES AND RANDOM TRASH DUMPING. GWIN, 69TH AND BATAAN ROADS ARE IMPROVED PUBLIC ROADWAYS. DELIA ROAD IS UNIMPROVED. PRESENTLY ALL EXCESS RUNOFF DRAINS SOUTH AND EAST TO GWIN ROAD AND BATAAN DRIVE. FLOWS DRAIN TO EXISTING PUBLIC STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. AN EXISTING 15-UNIT DEVELOPMENT (NEW LIFE HOMES 3) IS LOCATED ADJACENT TO THE SITE. TEMPORARY EROSION CONTROL IMPROVEMENTS ARE PRESENT ON THE SITE CONSTRUCTED TO SUPPORT NEW LIFE HOMES 3.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS
 AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED AS A 48-UNIT MULTI-FAMILY COMPLEX, WITH ASSOCIATED ACCESS, DRAINAGE, GRADING, UTILITY AND LANDSCAPING IMPROVEMENTS. ALL RUNOFF FROM THE SITE WILL DRAIN TO GWIN ROAD AND BATAAN DRIVE, CONTINUING SOUTH TO EXISTING STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. DUE TO THE INFILL NATURE OF THIS PROJECT, FREE DISCHARGE OF EXCESS RUNOFF IS APPROPRIATE. NEW LIFE HOMES 4 WILL BE INTEGRATED INTO NEW LIFE HOMES 3, SHARING ACCESS, DRAINAGE AND UTILITY IMPROVEMENTS. ACCESS, DRAINAGE AND UTILITY EASEMENTS WILL BE GRANTED AS REQUIRED. DELIA ROAD WILL BE IMPROVED ALONG THE PROJECT FRONTAGE FROM 69TH STREET TO BATAAN DRIVE.

TEMPORARY EROSION CONTROL
 TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. A COMPREHENSIVE STORM WATER POLLUTION PREVENTION PLAN WILL BE PREPARED PRIOR TO CONSTRUCTION.

CALCULATIONS
 THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

PROJECT HYDROLOGY
 AHYMO

NEW LIFE HOMES 4

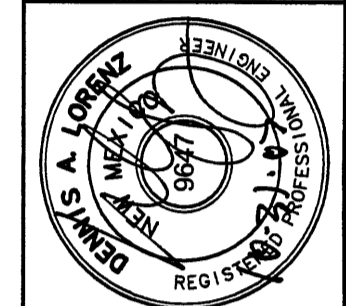
ZONE:	1							
PEAK HOUR:	2.20"							
P 10 DAY:	3.67"							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	2.43	0.00	0.00	2.43	0.00	0.99	7.0	0.200
A	0.74	0.00	0.15	0.15	0.44	1.50	2.6	0.092
B	1.58	0.00	0.00	1.58	0.00	0.99	4.5	0.130
C	1.98	0.00	0.00	1.98	0.00	0.99	5.8	0.162
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
S-1	0.30	0.00	0.00	0.09	0.21	1.67	1.1	0.041
S-2	0.21	0.00	0.00	0.11	0.10	1.45	0.7	0.025
S-3	0.52	0.00	0.00	0.05	0.47	1.87	2.1	0.081
S-4	1.40	0.00	0.00	0.56	0.84	1.57	5.2	0.184
SITE	2.43	0.00	0.00	0.81	1.62	1.64	9.4	0.332
A	0.74	0.00	0.15	0.15	0.44	1.50	2.6	0.092
B	1.58	0.00	0.00	0.63	0.95	1.57	5.9	0.207
C	1.98	0.00	0.00	0.78	1.18	1.58	7.3	0.258

- DRAINAGE PLAN NOTES**
- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 - This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 - Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 - This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 - Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
 - BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 - The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
 - All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

REVISIONS

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NEW LIFE HOMES - 4
 ALBUQUERQUE NEW MEXICO

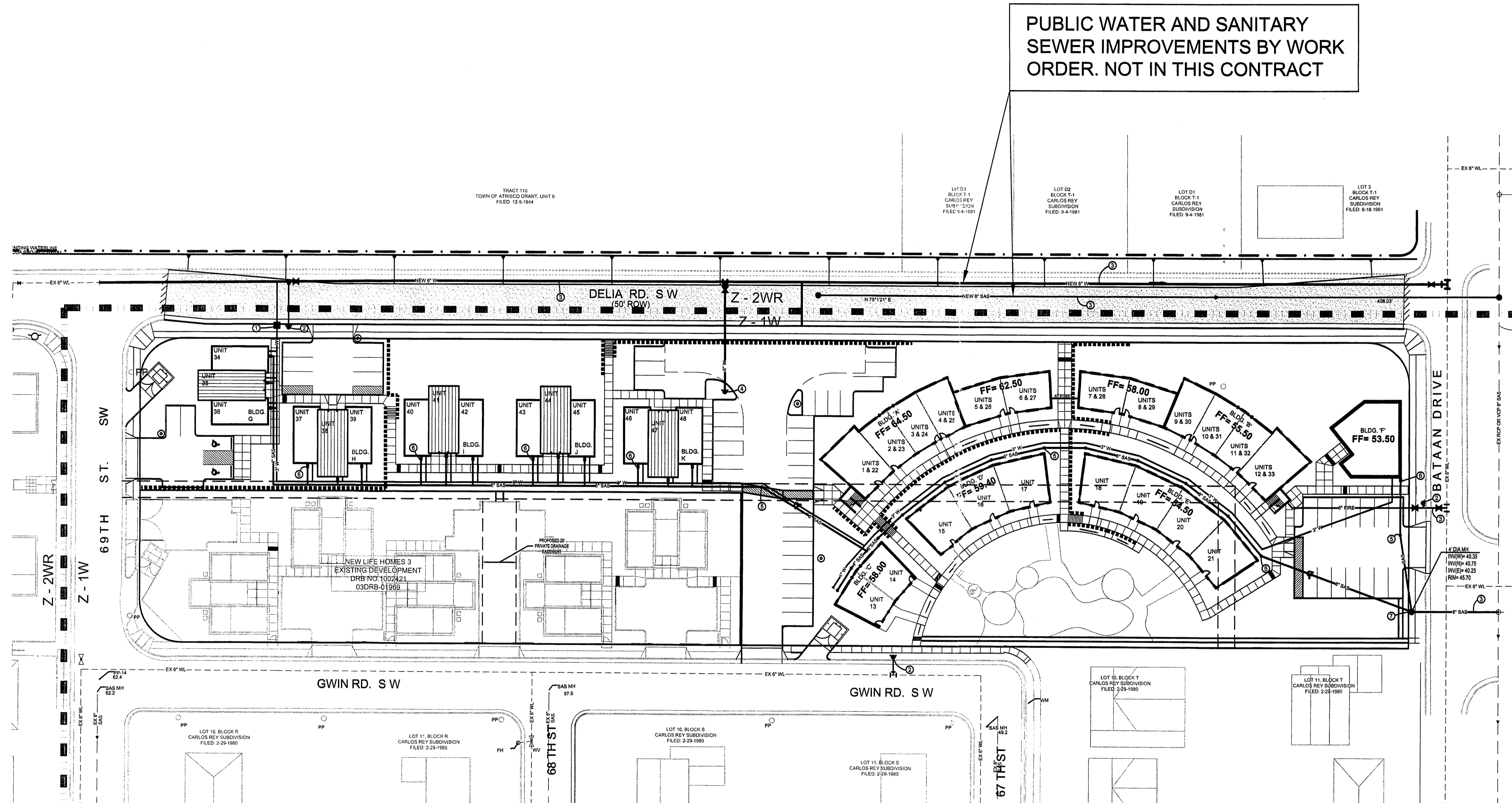
GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'

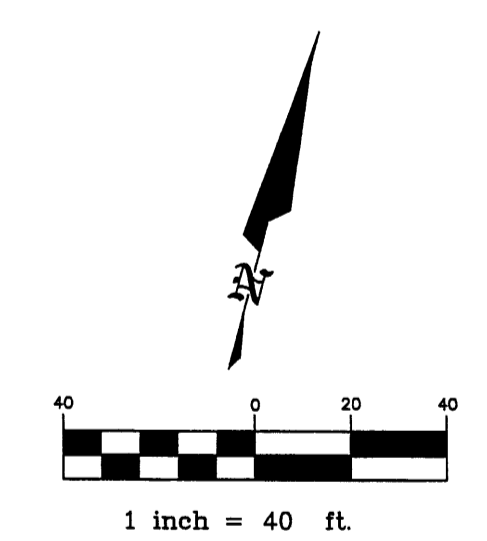
PROJECT NO.: 07522

DATE: 10-31-2007

SHT: C-1



LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	--- 6" WL ---	--- 6" W ---
SANITARY SEWER	--- 8" SAS ---	--- 8" SAS ---
UNDERGROUND ELEC., GAS, TEL, TV	--- GAS ---	--- GAS ---
CENTERLINE	---	---
RIGHT OF WAY	---	---
EASEMENT	---	---
RETAINING WALL	---	---
SINGLE WATER SERVICE	---	---
FIRE HYDRANT	⊕	⊕
MANHOLE	○	●
WATER VALVE	⊗	⊗
WATER ZONE DIVISION	---	---
POWER POLE	○PP	⬇PP
SINGAL CLEANOUT	---	---
DOUBLE CLEANOUT	---	---



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NEW LIFE HOMES - 4
 ALBUQUERQUE NEW MEXICO
 UTILITY LAYOUT

SCALE:
 1" = 40'

PROJECT NO.:

07522

DATE:

10-31-2007

SHT:

C-2