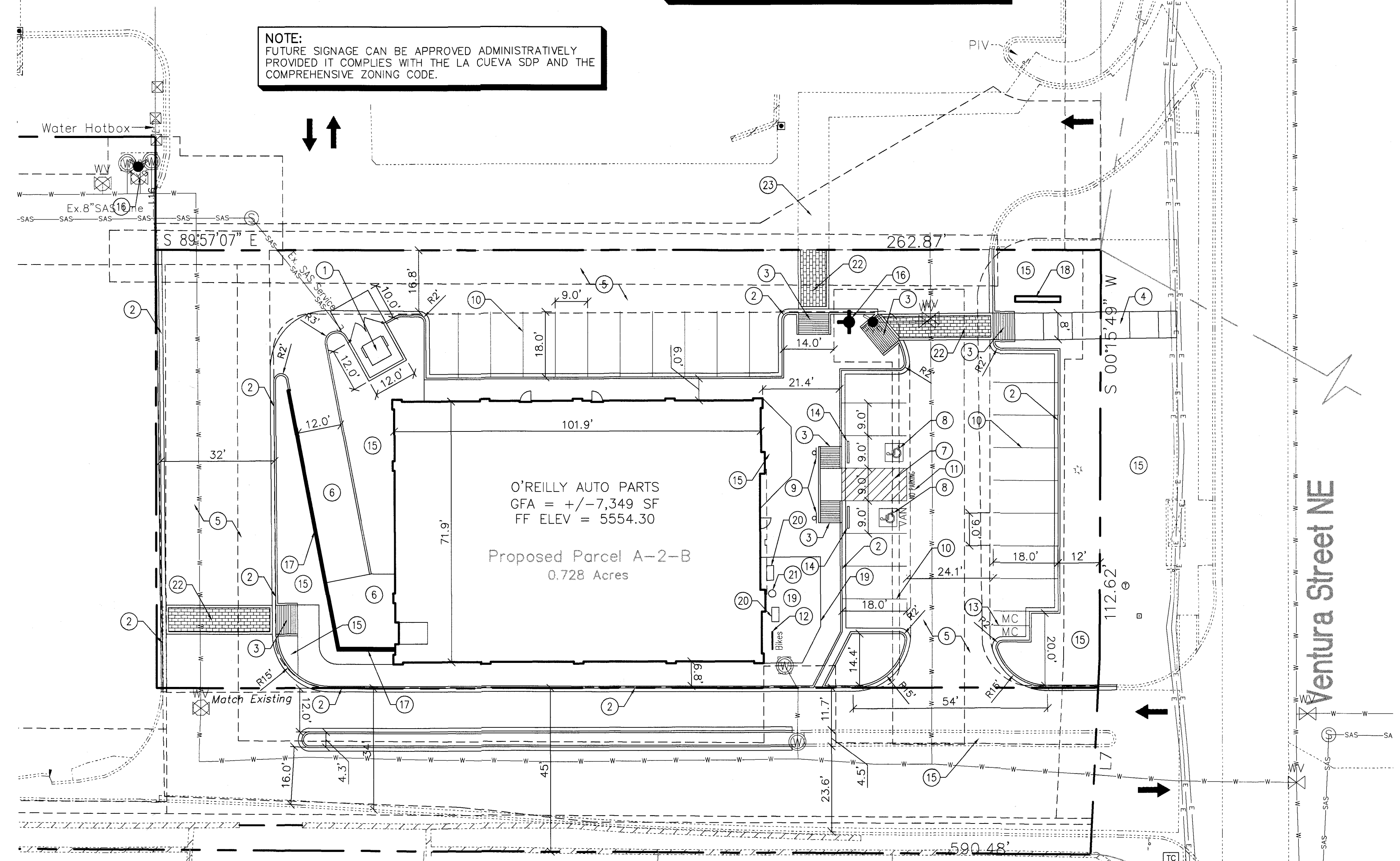


CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTE:
 FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY PROVIDED IT COMPLIES WITH THE LA CUEVA SDP AND THE COMPREHENSIVE ZONING CODE.

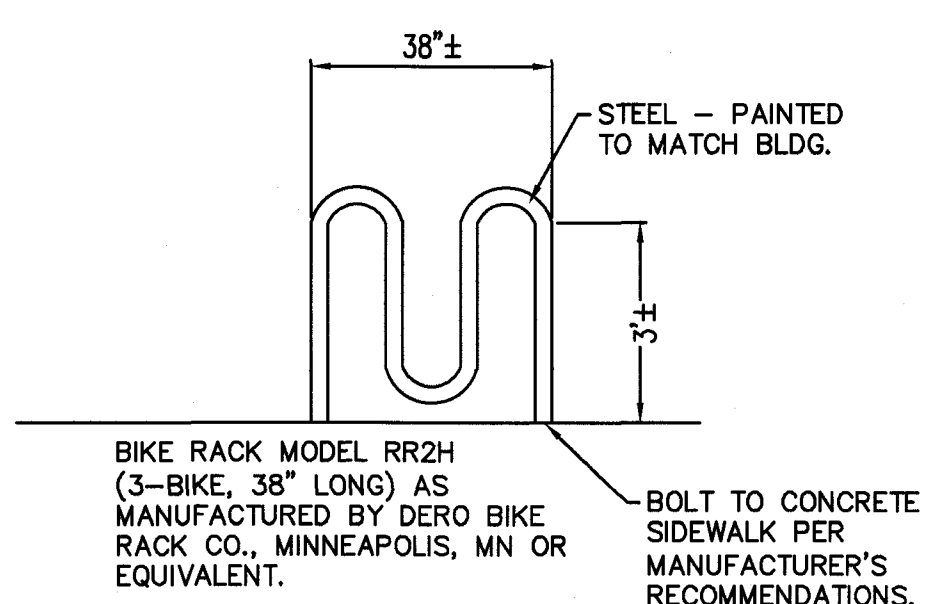
NOTE:
 ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.



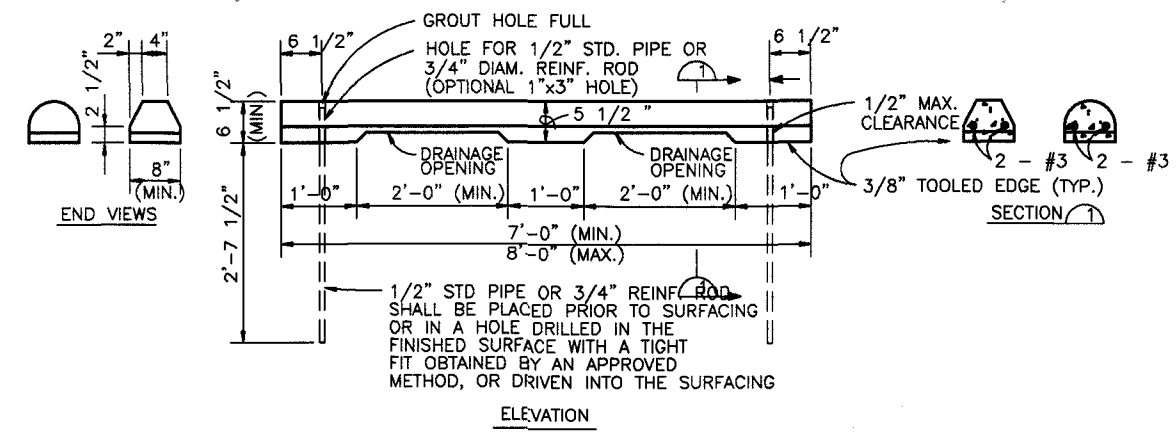
Lot 118 Owners: Cathy L. Good
 Lot 119 Owners: Carolyn E. Garcia
 Lot 120 Owners: Nancy M. Chavez and Alicia Miller
 Lot 121 Owners: Joseph A. and Anne J. Rose, Trustees

Heritage Hills Unit 5 (4/14/80, C16-137)

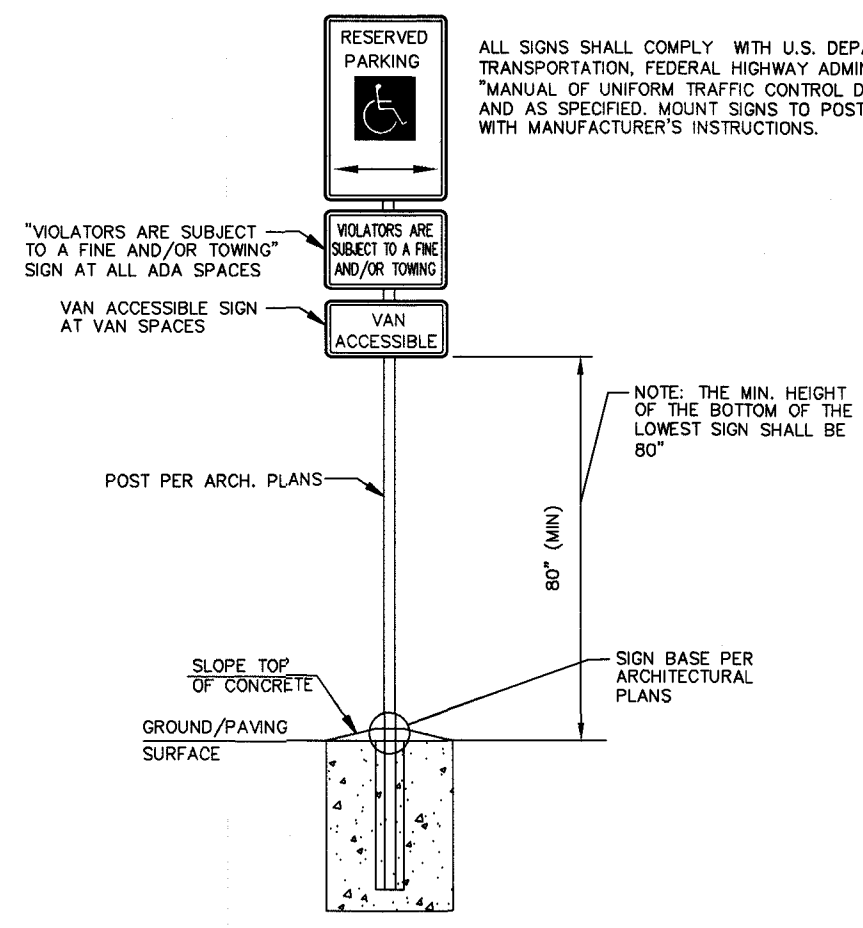
Line #	Direction	Length (ft)
L1	S 00°03'24" W (S 00°00'00" W)	31.30' (31.33')
L2	N 84°44'12" E (N 84°43'40" E)	38.25' (38.17')
L3	N 36°13'45" E	5391.11'
L4	S 54°17'09" E	3431.82'
L5	N 74°15'57" E	535.69'
L7	S 02°51'19" W (S 02°47'51" W)	54.07' (54.07')
L8	N 09°48'06" E	423.08'



Bike Rack Detail
 NTS

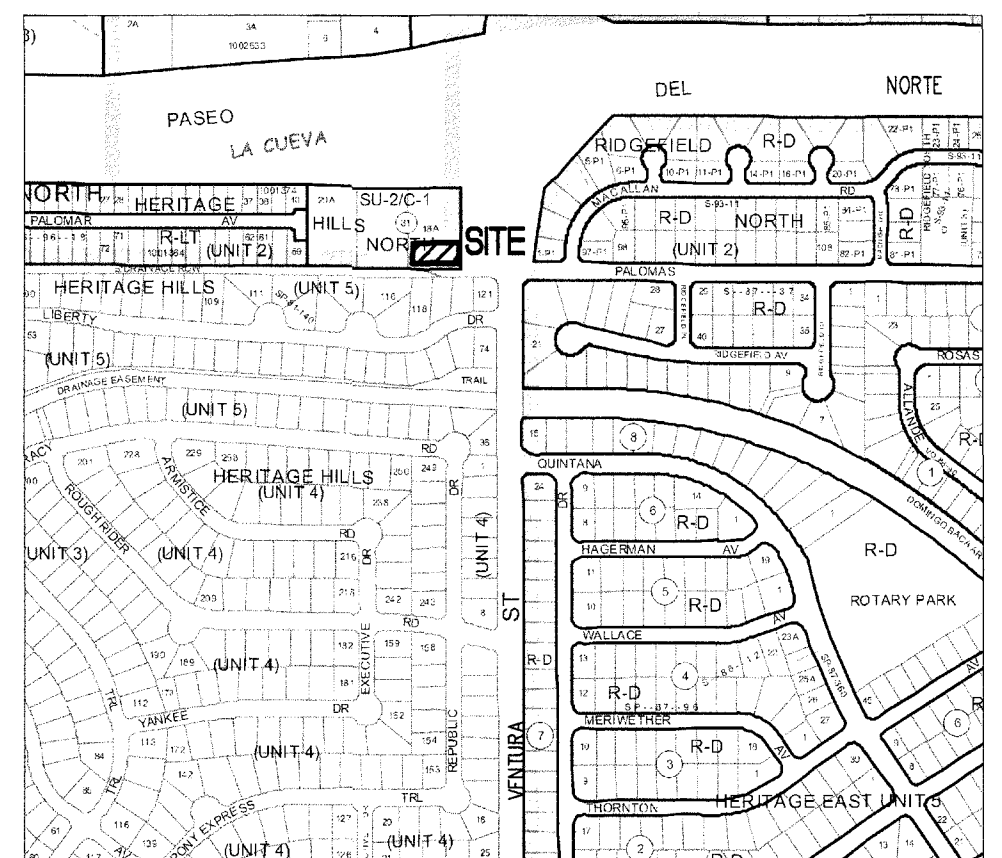


Precast Concrete Wheel Stop
 NTS

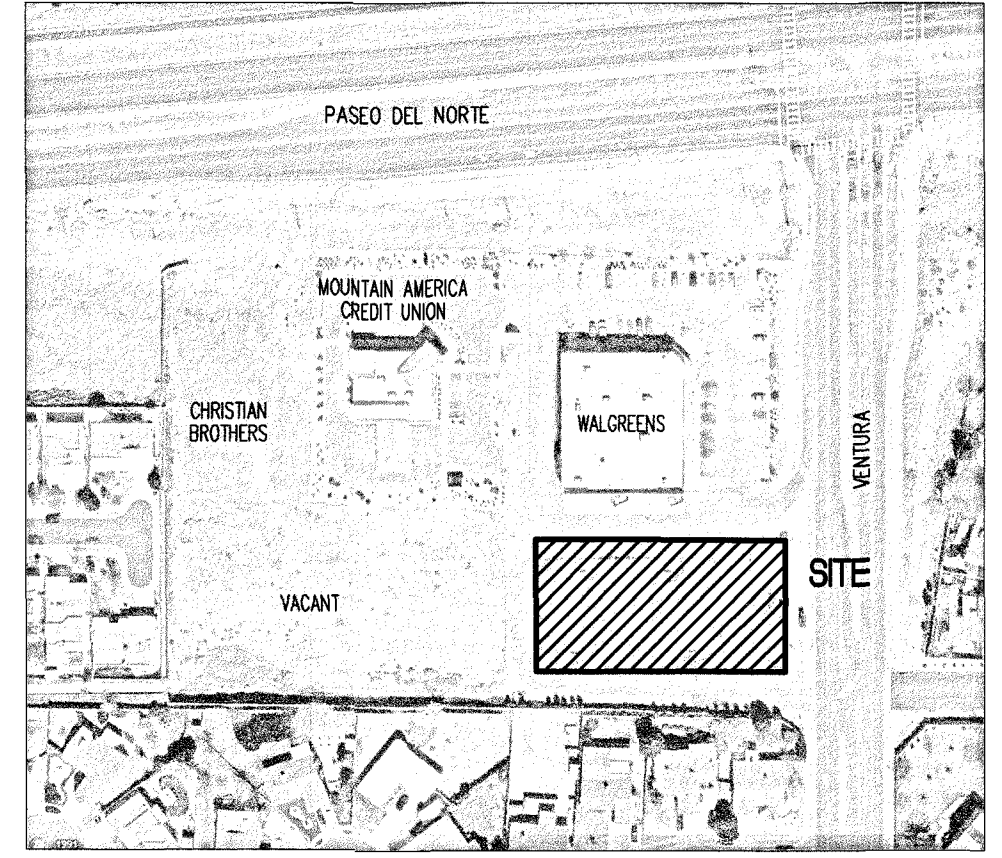


H/C Sign Detail
 NTS

- KEYED NOTES**
- PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS.
 - INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
 - INSTALL PARALLEL CURB RAMP PER NMDOT STD DWCS 608-001. SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED FOR PRIVATE RAMPS. MATCH ADJACENT SIDEWALK WIDTH.
 - INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
 - ASPHALT PAVEMENT PER GEOTECHNICAL REPORT.
 - CONCRETE PAVEMENT FOR LOADING ZONE.
 - INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
 - PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
 - INSTALL H/C SIGNAGE PER DETAIL THIS SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
 - INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
 - PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
 - INSTALL BIKE RACK PER DETAIL THIS SHEET. TWO (2) SPACES MINIMUM.
 - MOTORCYCLE PARKING; 2 SPACES. SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE.
 - INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
 - LANDSCAPED AREA. REF. LANDSCAPE PLAN.
 - EXISTING PUBLIC FIRE HYDRANT TO BE RELOCATED. REF. SHEET C2.1, UTILITY PLAN.
 - PROPOSED RETAINING WALL.
 - MONUMENT SIGN PER DETAIL 'E', SHEET AS4.
 - PLAZA AREA AS REQUIRED BY THE LCSDP. TOTAL AREA = 464.0 SF.
 - INSTALL BENCH PER DETAIL C ON SHEET AS4.
 - INSTALL TRASH CAN PER DETAIL D ON SHEET AS4.
 - NEW STAMPED CONCRETE SIDEWALK CROSSING TO MATCH EXISTING CROSSINGS WITHIN DEVELOPMENT.
 - EXISTING STAMPED CONCRETE SIDEWALK CROSSING TO REMAIN.
- NOTE:** ALL SITE LIGHTING SHALL COMPLY WITH THE COMPREHENSIVE ZONING ORDINANCE AND THE LA CUEVA SECTOR DEVELOPMENT PLAN. LIGHT POLES SHALL MATCH THE EXISTING LIGHT POLES WITHIN THE DEVELOPMENT.



VICINITY MAP - Zone Map D-20-Z
 NTS
LEGAL DESCRIPTION:
 A Portion of Parcel A, Ventura Plaza. 0.86 Acres.
 ZONING: SU-2 FOR C-1 USES



KEYED MAP
 NTS

SITE INFORMATION

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.
 TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

PROJECT NUMBER: **1006602**
 APPLICATION NUMBER: **18 DRB-70078**

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

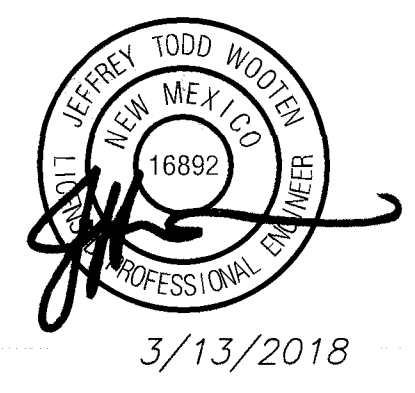
<i>Roguel M. Miel</i>	3/14/18
Traffic Engineering, Transportation Division	Date
<i>Don Entsaarad</i>	3/14/18
Water Utility Department	Date
<i>Joe O'Connell</i>	3/14/18
Parks and Recreation Department	Date
<i>Joe O'Connell</i>	3/14/18
City Engineer	Date
<i>N/A</i>	3/14/18
Code Enforcement	Date
<i>N/A</i>	Date
Environmental Health Department*	Date
<i>N/A</i>	03-15-18
Solid Waste Management	Date
<i>DRB Chairperson, Planning Department</i>	3.15.18
Date	Date

* Environmental Health, if necessary

Wooten Engineering
 1005 21st St SE, Suite 13
 Rio Rancho, N.M. 87124
 Phone: (505) 980-3560

WE

O'Reilly Auto Parts
 8001 Ventura St. NE
 Albuquerque, New Mexico 87109



3/13/2018

Project Number: 2017010
 Drawn By: OW
 Checked: JW
 Issue Date: March 13, 2018
 Site Plan for Building Permit