

PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
SIGNATURE & DATE

THE SITE IS LOCATED ON THE SOUTHWEST CORNER OF PASEO DEL NORTE AND VENTURA. THE SITE IS 5.44 ACRES AND WILL BE SUBDIVIDED FROM ITS CURRENT THREE LOT CONFIGURATION TO A NEW THREE LOT CONFIGURATION. THE USES INCLUDE RETAIL IN COMPLIANCE WITH THE SU-2/C-1 ZONING, OFFICE, A BANK AND A PHARMACY. THE BANK AND THE PHARMACY EACH HAVE DRIVE-THRU SERVICE WINDOWS.

VEHICULAR INGRESS AND EGRESS IS OFF OF VENTURA WHERE THERE ARE TWO DRIVEWAYS. THE NORTHERN DRIVE IS A RIGHT-IN ONLY, THAT HAS BEEN DESIGNED TO INHIBIT RIGHT-OUT MOVEMENT AND THE SOUTHERN ONE IS FULL ACCESS. THERE IS A SERVICE ACCESS THAT RUNS TO THE SOUTH OF THE SITE. CROSS PARKING SHALL BE PERMITTED IN THIS SHOPPING CENTER.

PEDESTRIAN INGRESS AND EGRESS IS PROVIDED FROM VENTURA AT SEVERAL LOCATIONS. ACCESS FROM THE NEIGHBORHOOD TO THE WEST WILL BE PROVIDED. WITHIN THE SITE, ALL BUILDINGS CAN BE ACCESSED VIA A NETWORK OF SIDEWALKS AND CROSSWALKS.

THE MAXIMUM BUILDING HEIGHT IS 26'-0" MAX. TALLER ARCHITECTURAL ELEMENTS ARE PERMITTED. ARCHITECTURAL ELEMENTS OVER 26 FEET TALL ARE PERMITTED PURSUANT TO THE LA CUEVA SECTOR DEVELOPMENT PLAN AND THE ZONING CODE.

THE MINIMUM BUILDING SET BACKS ARE 5'-0" FOR THE FRONT AND CORNER SIDE YARD, AND NOT LESS THAN 5'-0" WHERE THE SITE ABUTS THE SIDE OF A RESIDENTIAL ZONE AND 15'-0" WHERE THE SITE ABUTS THE REAR OF A RESIDENTIAL ZONE. ALL BUILDING SETBACKS SHALL COMPLY WITH THE LA CUEVA SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING CODE.

PARCEL B	1.00 AC	PARCEL C	1.61 AC
	.12 FAR		.21 FAR
PARCEL A	2.83 AC		
	.23 FAR		

PROJECT NUMBER: 1006602  
APPLICATION NUMBER: 08088-70036

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

<i>Michael Holton</i>	Date	4/25/08
Traffic Engineering, Transportation Division		
<i>Royce</i>	Date	2-27-08
Water Utility Department		
<i>Christina Sandoral</i>	Date	2/27/08
Parks and Recreation, Department		
<i>Chris</i>	Date	4-20-08
City Engineer		
Environmental Health Department	Date	
<i>Michael Holton</i>	Date	4/25/08
Solid Waste Management		
<i>Paul</i>	Date	2/27/08
DRG Chairperson, Planning Department		

\* Environmental Health, if necessary

DRB SUBMITTAL  
SITEPLAN  
SCALE: 1" = 30'-0"  
15' 30' 90'

REV	DATE	BY	REVISION
1	3.20.08	JS	DRB COMMENTS
2	2.14.08	JS	DRB COMMENTS
3	12.20.07	JS	EPC COMMENTS
4	11.1.07	JS	PLANNER COMMENTS
5	9.28.07	JS	PLANNER COMMENTS
6	7.20.07	JCS	PLANNER COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: PASEO DEL NORTE AND VENTURA, ALBUQUERQUE, NM

PROJECT MANAGER: [Signature]

JOB NO. [Blank]

DRAWN BY: JCS

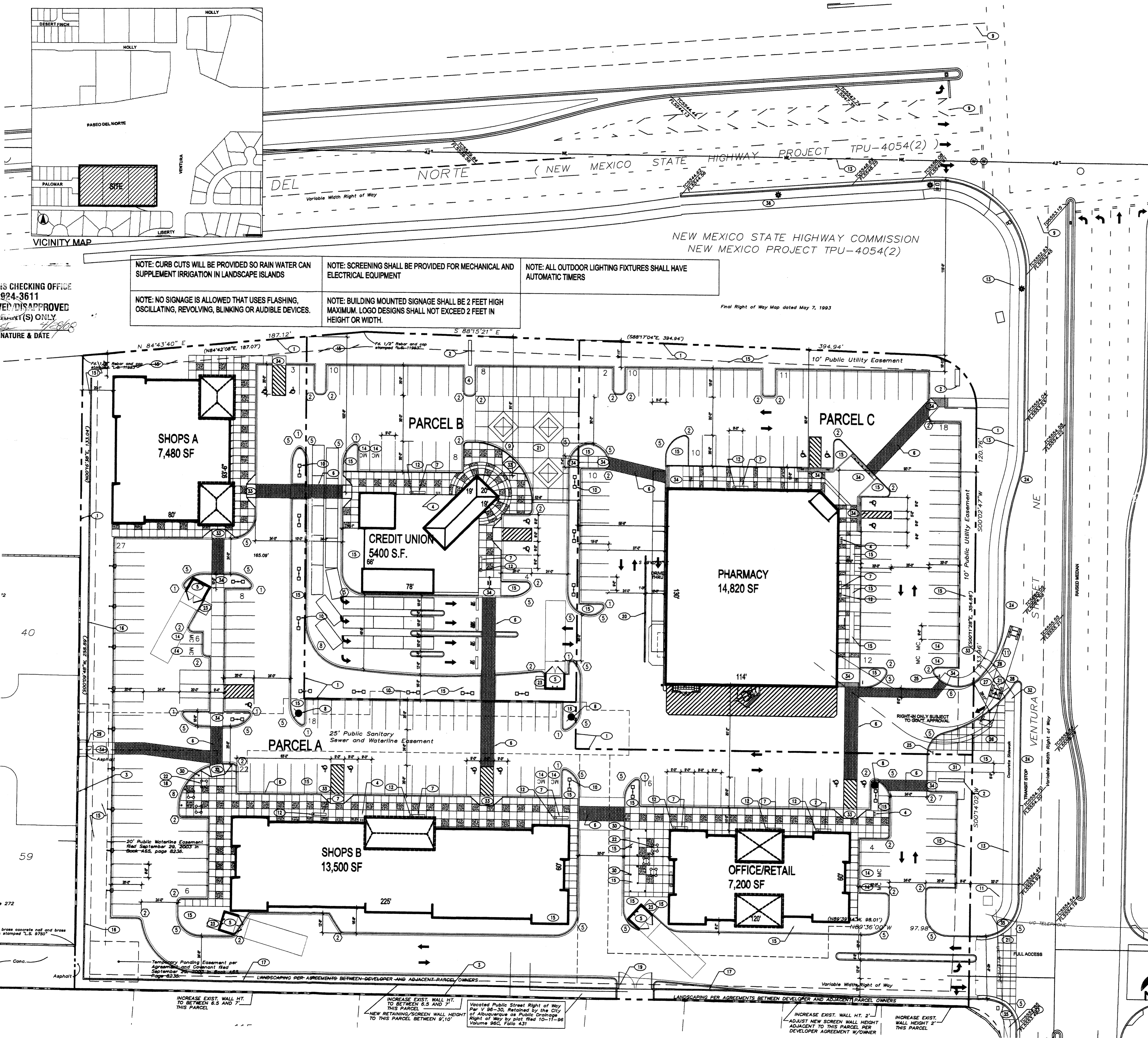
SHEET TITLE: SITE PLAN FOR SUBDIVISION

DATE: 6.22.07

SCALE: AS NOTED

SHEET: AS1

2009001



NOTE: CURB CUTS WILL BE PROVIDED SO RAIN WATER CAN SUPPLEMENT IRRIGATION IN LANDSCAPE ISLANDS

NOTE: SCREENING SHALL BE PROVIDED FOR MECHANICAL AND ELECTRICAL EQUIPMENT

NOTE: ALL OUTDOOR LIGHTING FIXTURES SHALL HAVE AUTOMATIC TIMERS

NOTE: NO SIGNAGE IS ALLOWED THAT USES FLASHING, OSCILLATING, REVOLVING, BLINKING OR AUDIBLE DEVICES.

NOTE: BUILDING MOUNTED SIGNAGE SHALL BE 2 FEET HIGH MAXIMUM. LOGO DESIGNS SHALL NOT EXCEED 2 FEET IN HEIGHT OR WIDTH.

**KEYED NOTES**

1. PROPERTY LINE
2. MONUMENT SIGN.
3. EXISTING CMU WALL.
4. BICYCLE RACKS
5. DUMPSTER ENCLOSURE
6. CROSSWALK BRICK PAVERS
7. 6'-0" X 1'-0" BENCH LOCATION NOT TO CONFLICT WITH DOORS OR TREES.
8. PROPOSED FIRE HYDRANT.
9. EXISTING TRAFFIC SIGNAL.
10. SITE LIGHTING
11. EXISTING BUS STOP.
12. TRASH RECEPTACLES.
13. EXISTING SIDEWALK.
14. MOTORCYCLE PARKING, WITH UPRIGHT SIGNAGE.
15. LANDSCAPE AREA
16. 6' TALL DECORATIVE SPLIT FACE CMU SCREEN WALL
17. 6' TALL DECORATIVE SPLIT FACE CMU SCREEN WALL, ON RETAINING WALL.
18. UMBRELLAS
19. NEW GATE IN 6' SCREEN WALL
20. BOLLARDS
21. COLORED, TEXTURED CONCRETE.
22. TABLES AND CHAIRS
23. RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
24. FULL HEIGHT CURB
25. "NO EXIT" SIGNAGE
26. COLORED, TEXTURED CONCRETE WITH ROLLER CURB TO ACCOMMODATE TRUCK ENTRY
27. NEW DRIVEWAY PER COA STD. DWG 2425
28. NEW HC RAMP PER COA STD. DWG 2441
29. GATED PEDESTRIAN ACCESS
30. PEDESTRIAN LIGHTING 2' HIGH MAX.
31. NEW CONCRETE SIDEWALK
32. CURB RAMP PER COA STD DETAIL 2426
33. HC RAMP PER COA STD DETAIL 2441
34. DEPRESSED CURB & HC RAMP
35. REBUILD EXISTING RAMP PER COA STD DETAIL 2441 IF IT DOESN'T COMPLY WITH CURRENT ADA STANDARDS
36. NEW SIDEWALK PER COA AND NMDOT STD

**RADIUS INFORMATION:**

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 6'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

NOTE: WHEELCHAIR RAMP AT PASEO DEL NORTE & VENTURA TO BE REBUILT IF IT DOES NOT MEET CURRENT ADA STANDARDS

NOTE: UPLIGHTING OF ANY KIND IS PROHIBITED

NOTE: THERE IS AN EXISTING BUS ROUTE AND STOP ON VENTURA. THERE IS AN EXISTING BIKE TRAIL ALONG PASEO DEL NORTE.

NOTE: CHAIN LINK FENCING, BARBED WIRE & CONCERTINA WIRE SHALL BE PROHIBITED

NOTE: OWNER SHALL MAINTAIN LANDSCAPING IN THE SOUTHERN LANDSCAPE BUFFER

PROJECT NUMBER: 1006602

APPLICATION NUMBER: 080RB-70036

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	4/28/08
<i>[Signature]</i>	Date
Water Utility Department	2-27-08
<i>[Signature]</i>	Date
Parks and Recreation Department	2/27/08
<i>[Signature]</i>	Date
City Engineer	4-28-08
<i>[Signature]</i>	Date
Environmental Health Department	
<i>[Signature]</i>	Date
Solid Waste Management	4/28/08
<i>[Signature]</i>	Date
DRB Chairperson, Planning Department	2/27/08
<i>[Signature]</i>	Date

\* Environmental Health, if necessary

DRB SUBMITTAL

**SITEPLAN**

SCALE: 1"= 30'-0"

REV	DATE	BY	REVISION
1	7.30.07	JCS	EPC SUBMITTAL
2	5.16.07	NAH	NON LIQUOR PROTOTYPE
3	3.27.07	JS	DECELANE
4	2.18.07	JS	SERVICE DRIVE ADDED
5	2.18.07	JS	SURVEY IMPORTED
6	2.18.07	MS	INITIAL SITE PLANNING

**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
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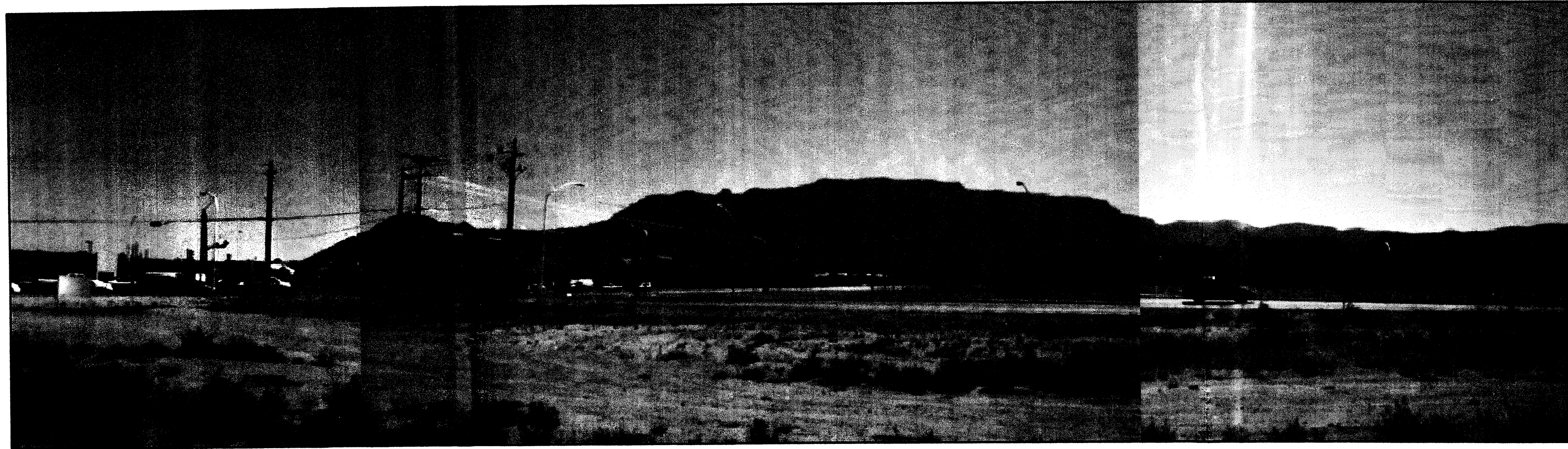
**PASEO DEL NORTE & VENTURA**  
 PASEO DEL NORTE AND VENTURA  
 ALBUQUERQUE, NM

**SITE PLAN FOR BUILDING PERMIT**

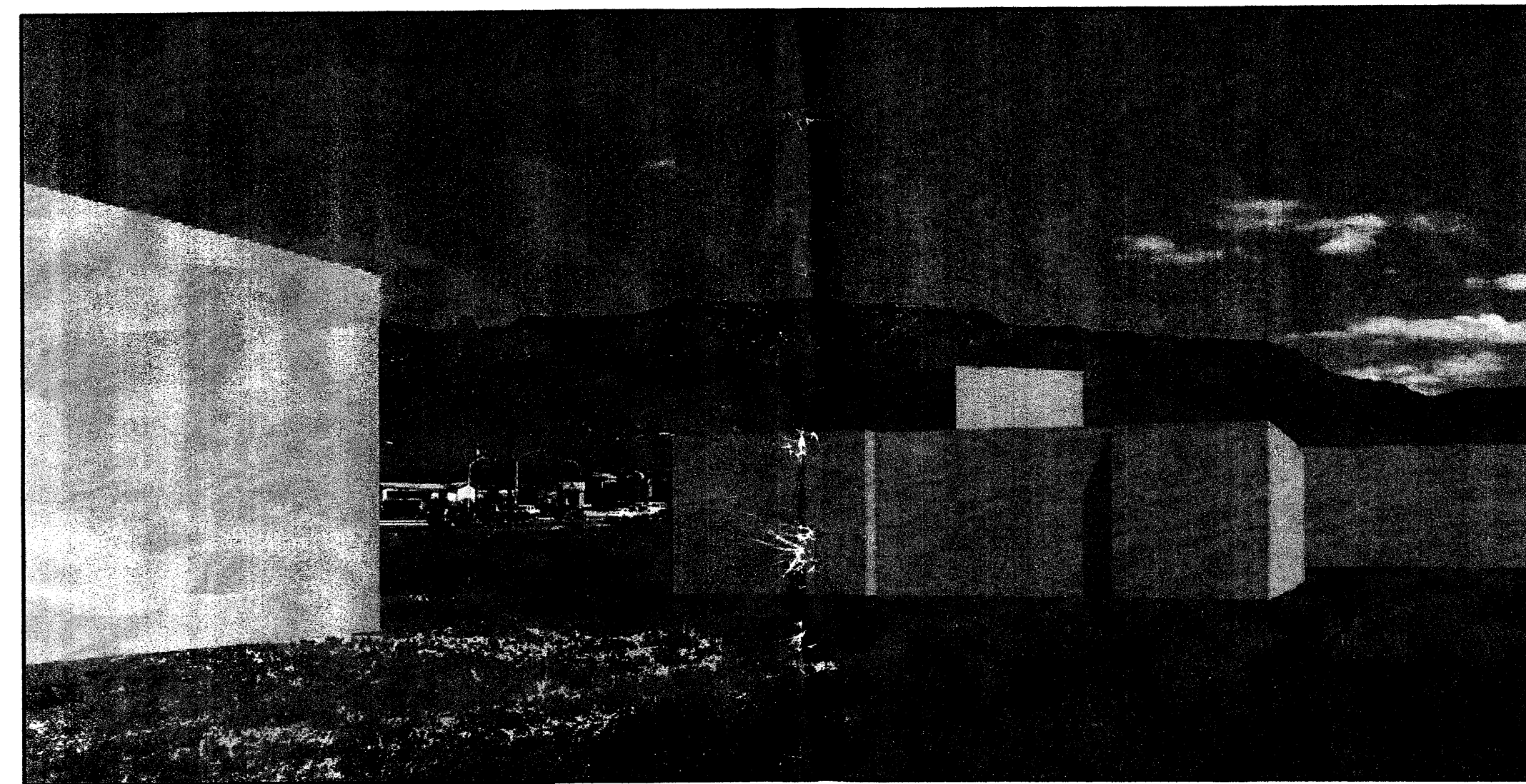
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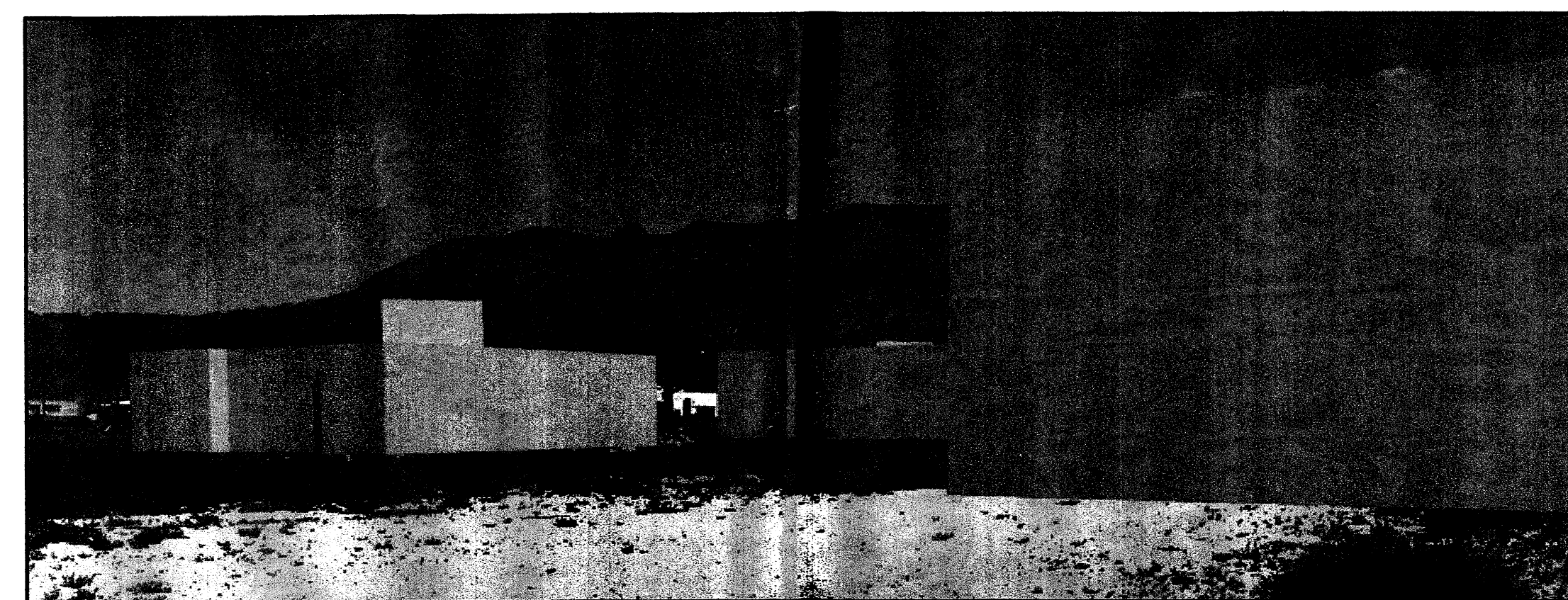
SHEET: AS2



VIEW EAST FROM SITE



VIEW A  
FROM EAST OF LOT 40 LOOKING NORTHEAST.



VIEW B  
FROM EAST OF LOT 59 LOOKING NORTHEAST

PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING*	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING
A	123,237 S.F.	SU-2/C1	26'	.3	SHOPS A	7480	SEE CALC BELOW	111	9	6
					SHOPS B	13500				
					OFFICER/RETAIL	7200				
B	43,643 S.F.	SU-2/C1	26'	.3	CREDIT UNION	5400		28	2	2
C	70,028 S.F.	SU-2/C1	26'	.3	PHARMACY	14820		70	4	3
TOTALS						48400	209 MIN.	209	-	-

\*PROVIDED PARKING\* NUMBERS INCLUDE HANDICAPPED PARKING / MOTORCYCLE PARKING IS PROVIDED IN ADDITION TO "PROVIDED PARKING" TOTALS

**PARKING CALCULATIONS:**  
PER CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-1 OFF-STREET PARKING REGULATIONS.  
(27) RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION: ONE SPACE PER 200 SQUARE FEET FOR THE FIRST 15,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE SPACE PER 250 SQUARE FEET FOR THE NEXT 45,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE PER 300 SQUARE FEET FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 SQUARE FEET.  
**REQUIRED PARKING CALC:**

48,400 TOTAL BUILDING SQUARE FOOTAGE

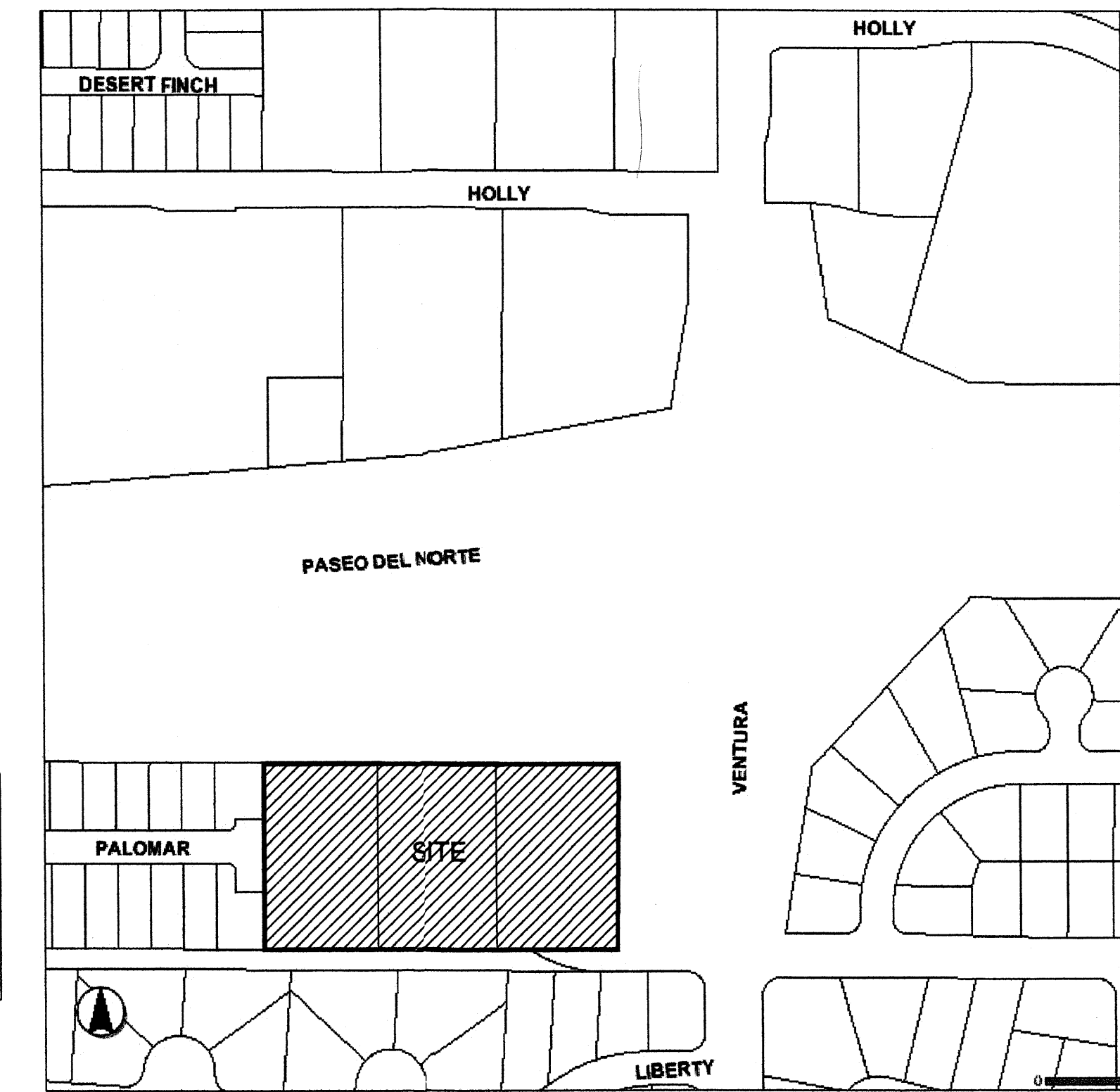
1ST 15000 SF @ 1 SPACE PER 200 SF = 15000/200 = 75 SPACES REQ'D.

REMAINING 33,400 SF @ 1 SPACE PER 250 SF = 33,400/250 = 134 SPACES REQ'D.

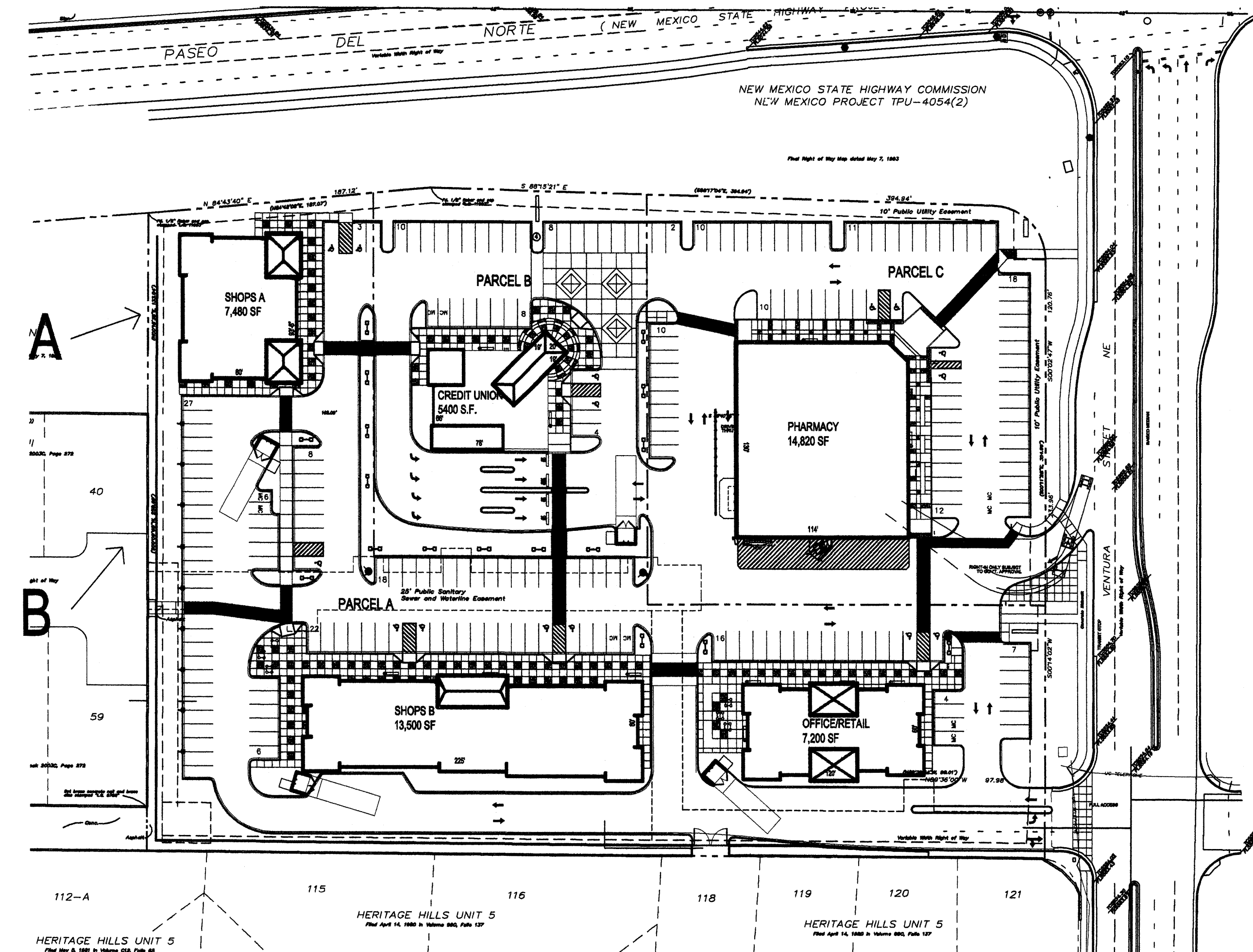
TOTAL SPACES REQ'D. = 75 + 134 = 209 MINIMUM\*\*

\*\*10% ADDITIONAL, OR 230 MAXIMUM ALLOWED

VIEWS FROM WITHIN THE SITE WILL BE PROTECTED BY CONTROLLING BUILDING HEIGHT AND MAINTAINING BREAKS BETWEEN BUILDINGS



VICINITY MAP



VIEW KEY PLAN

REV	DATE	BY	REVISION
1	4.15.06	JS	DRB COMMENTS
2	12.20.07	JS	EPC CONDITIONS
3	11.1.07	JS	PLANNER COMMENTS

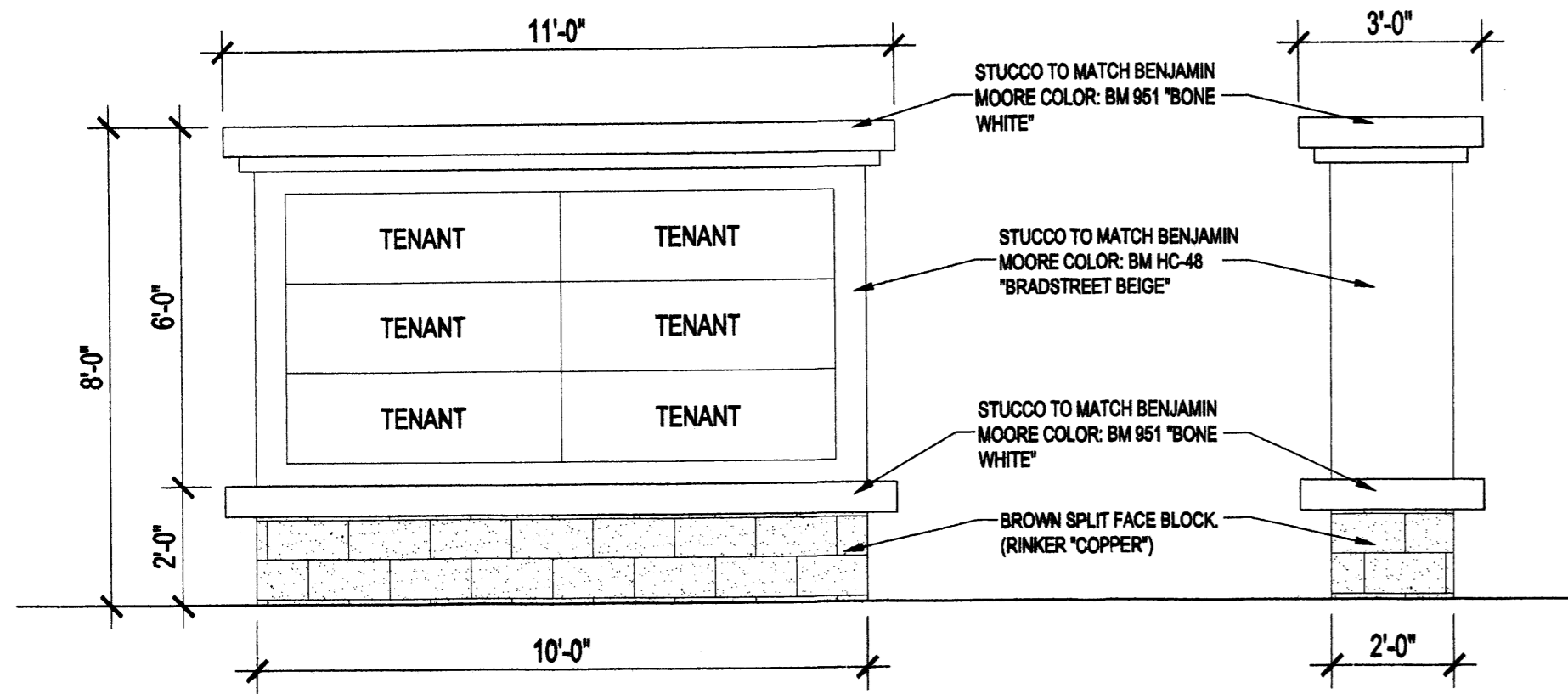
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
PASEO DEL NORTE AND VENTURA  
ALBUQUERQUE, NM

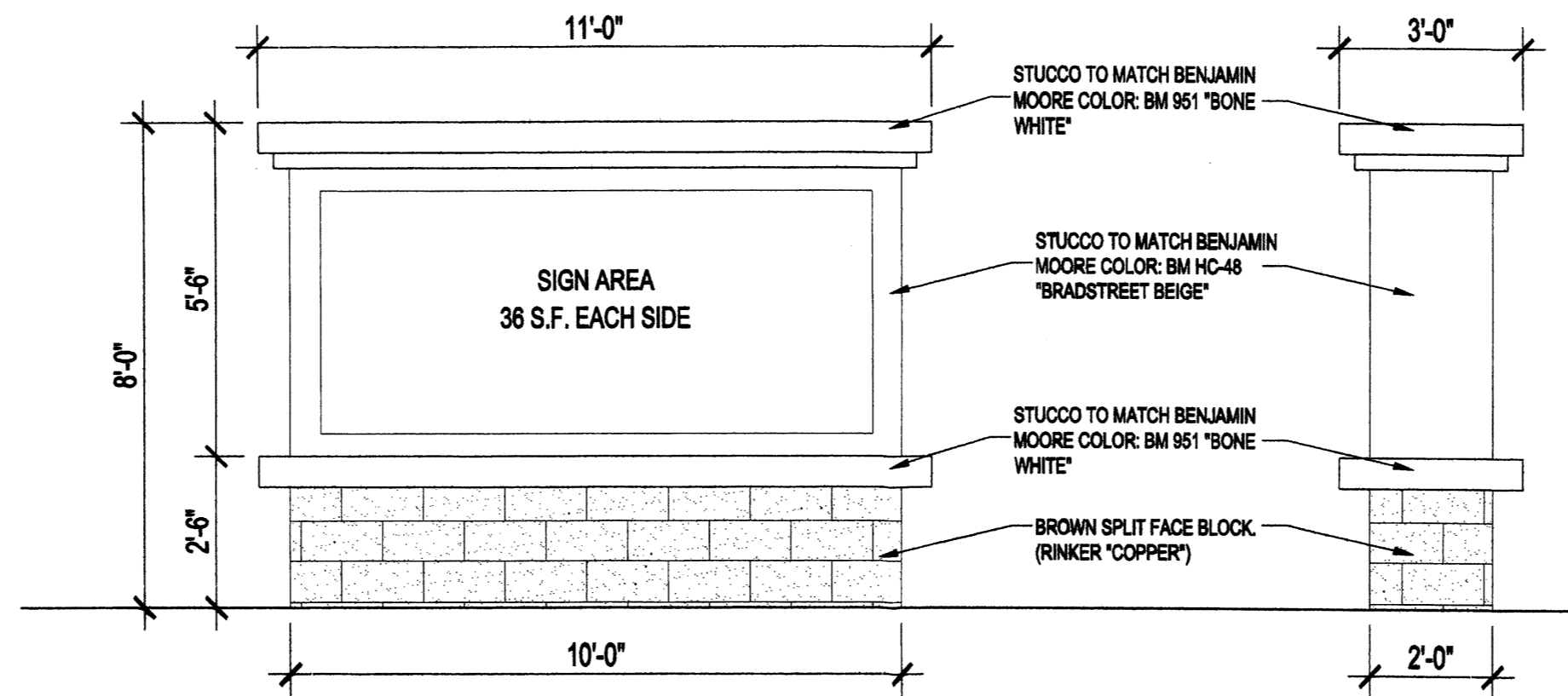
PROJECT MANAGER  
JOB NO.  
DRAWN BY:  
JCS

DATE:  
6.22.07  
SCALE:  
AS NOTED

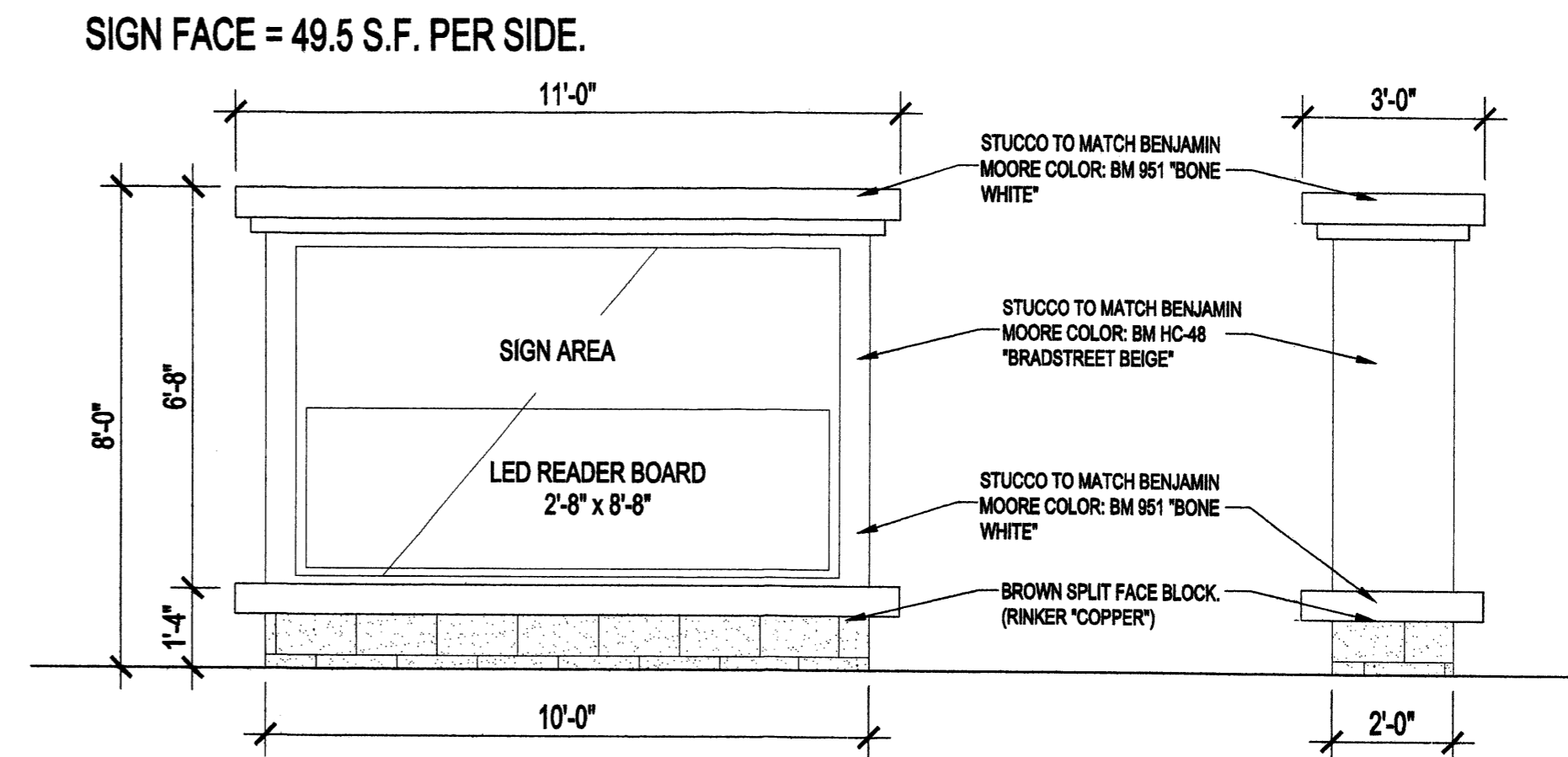
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SITE DATA  
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AS3  
of



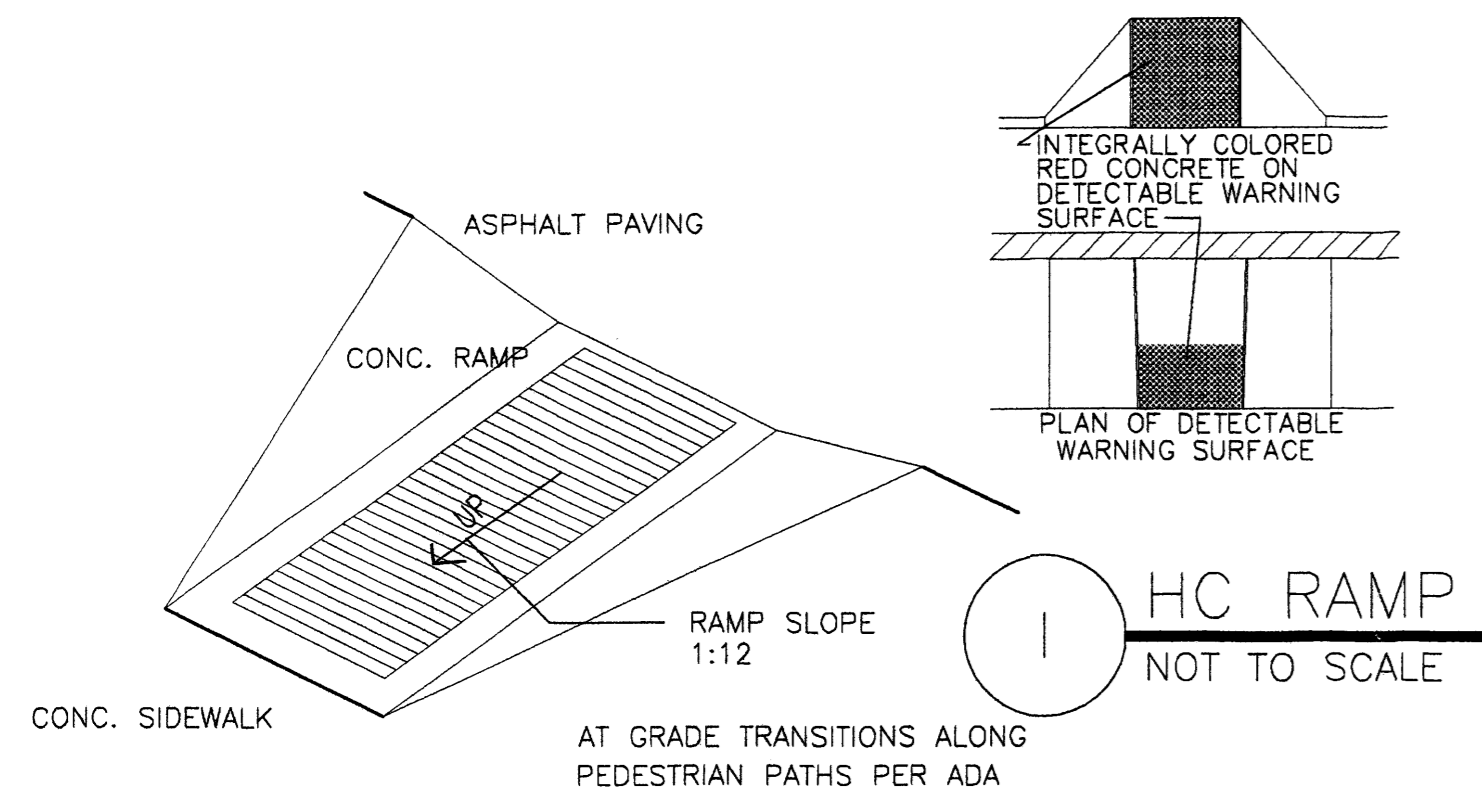
**F** RETAIL/OFFICE MONUMENT SIGN  
1/4" = 1'-0"



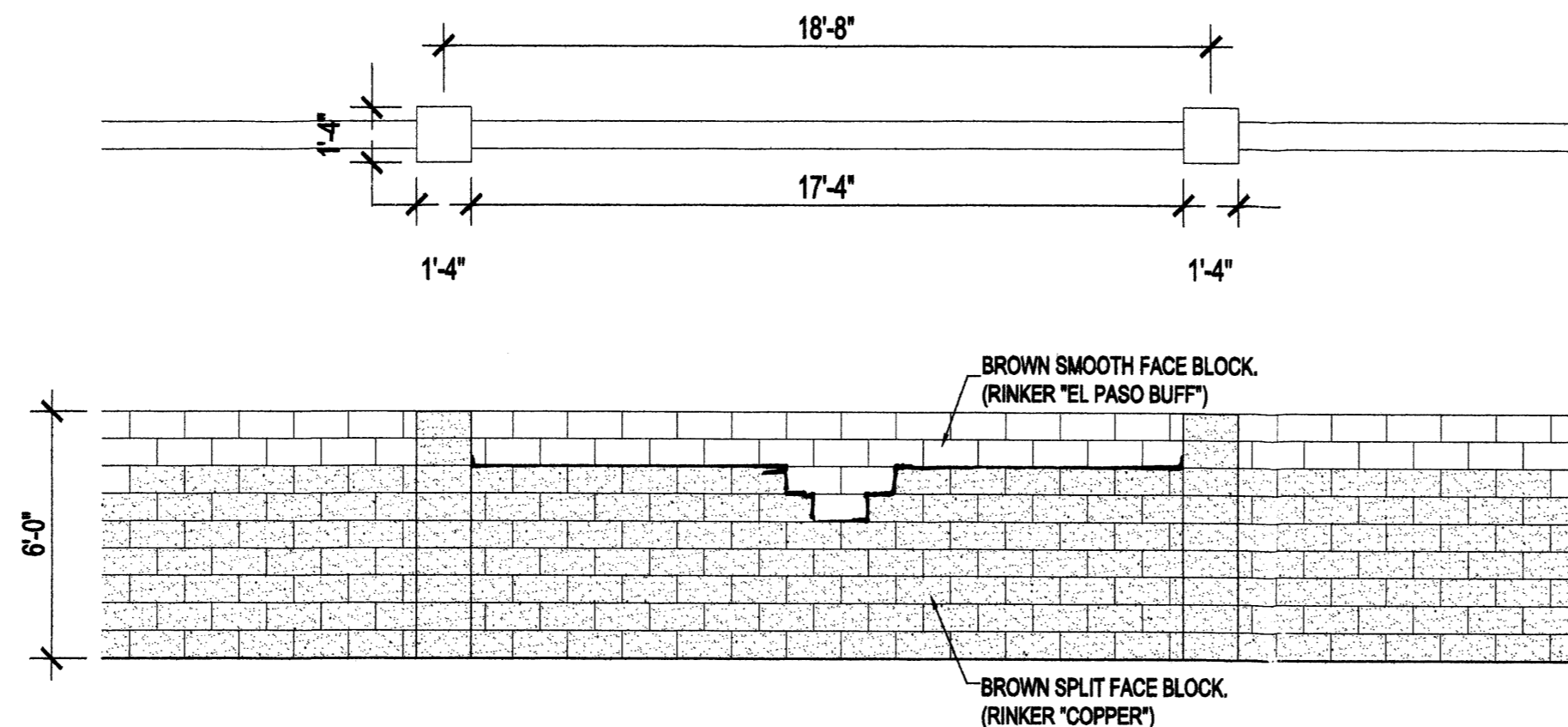
**E** BANK MONUMENT SIGN  
1/4" = 1'-0"



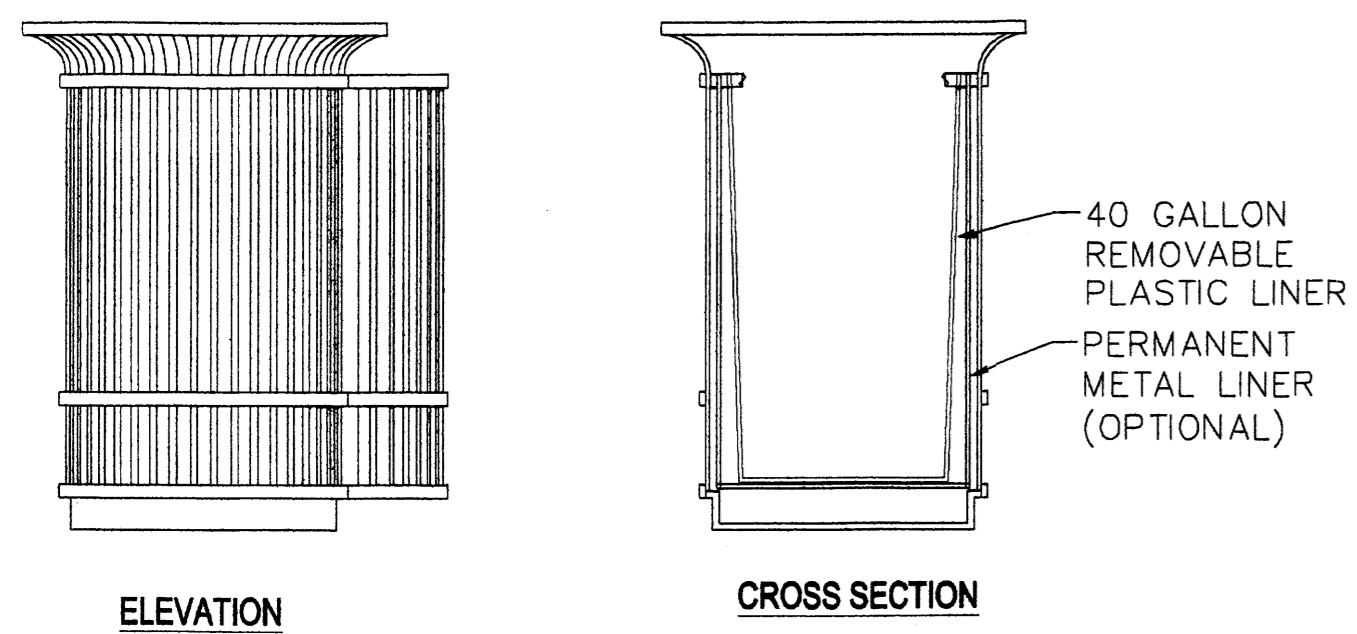
**D** PHARMACY MONUMENT SIGN  
3/8" = 1'-0"



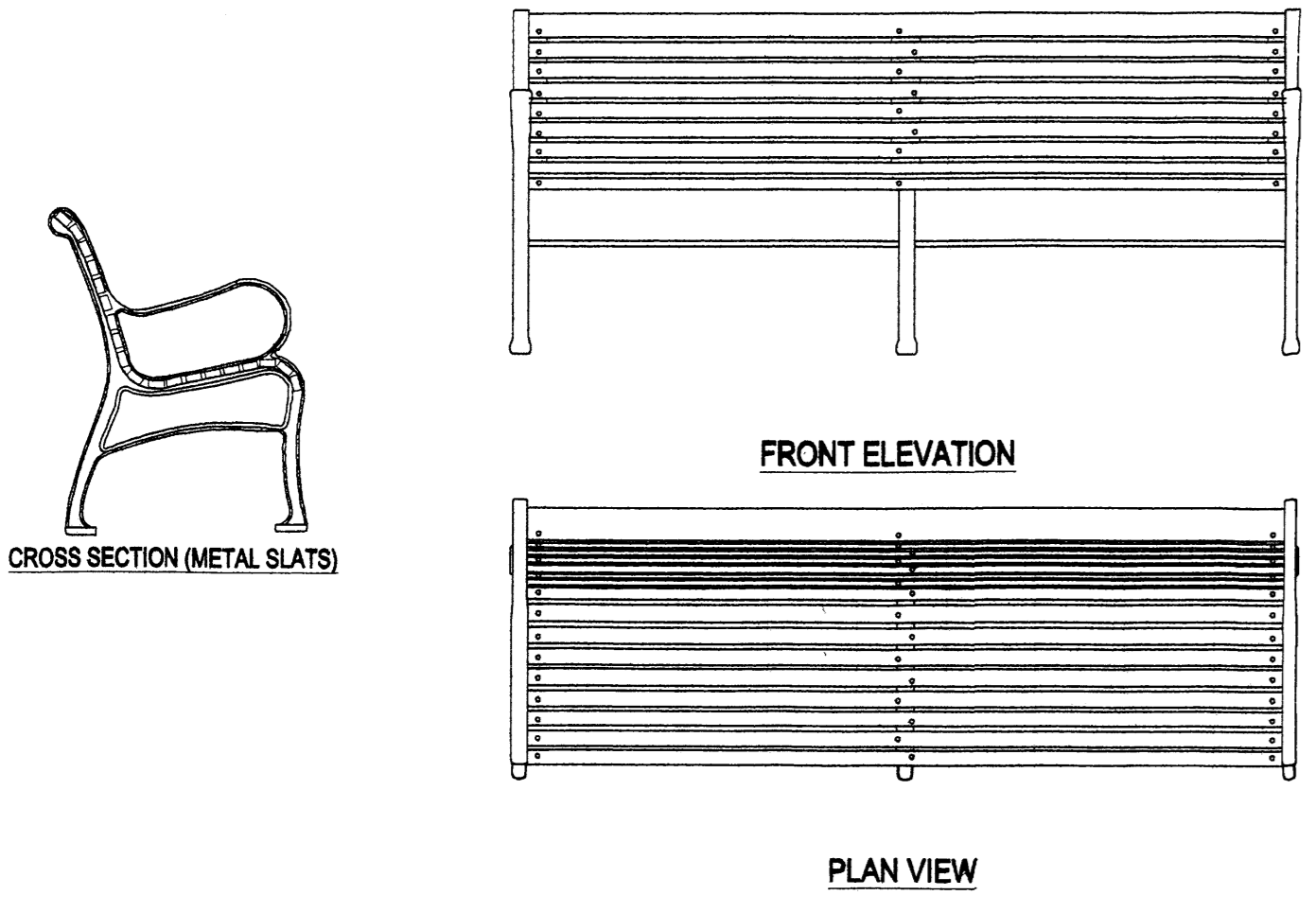
**I** HC RAMP  
NOT TO SCALE



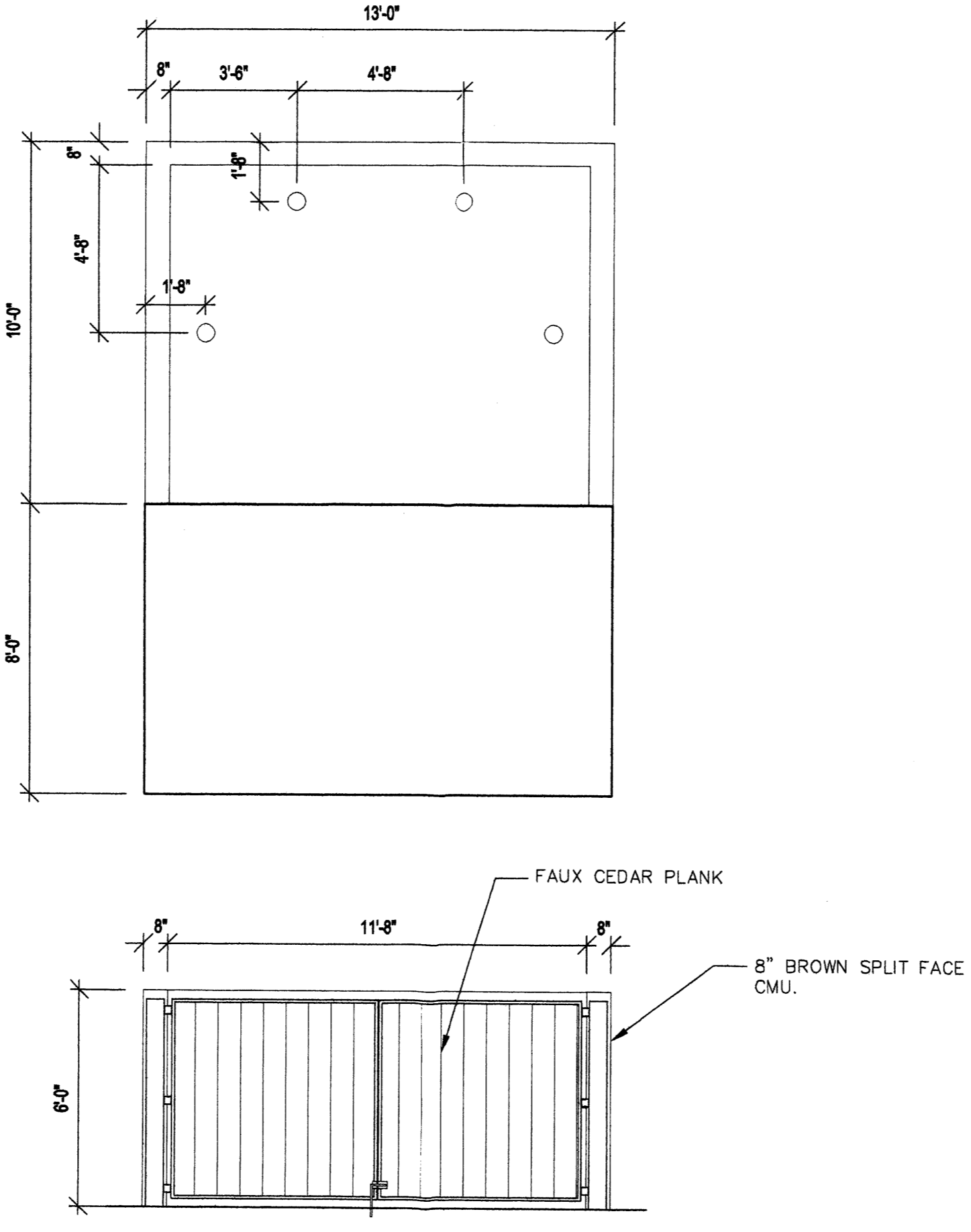
**H** SCREEN WALL  
NOT TO SCALE



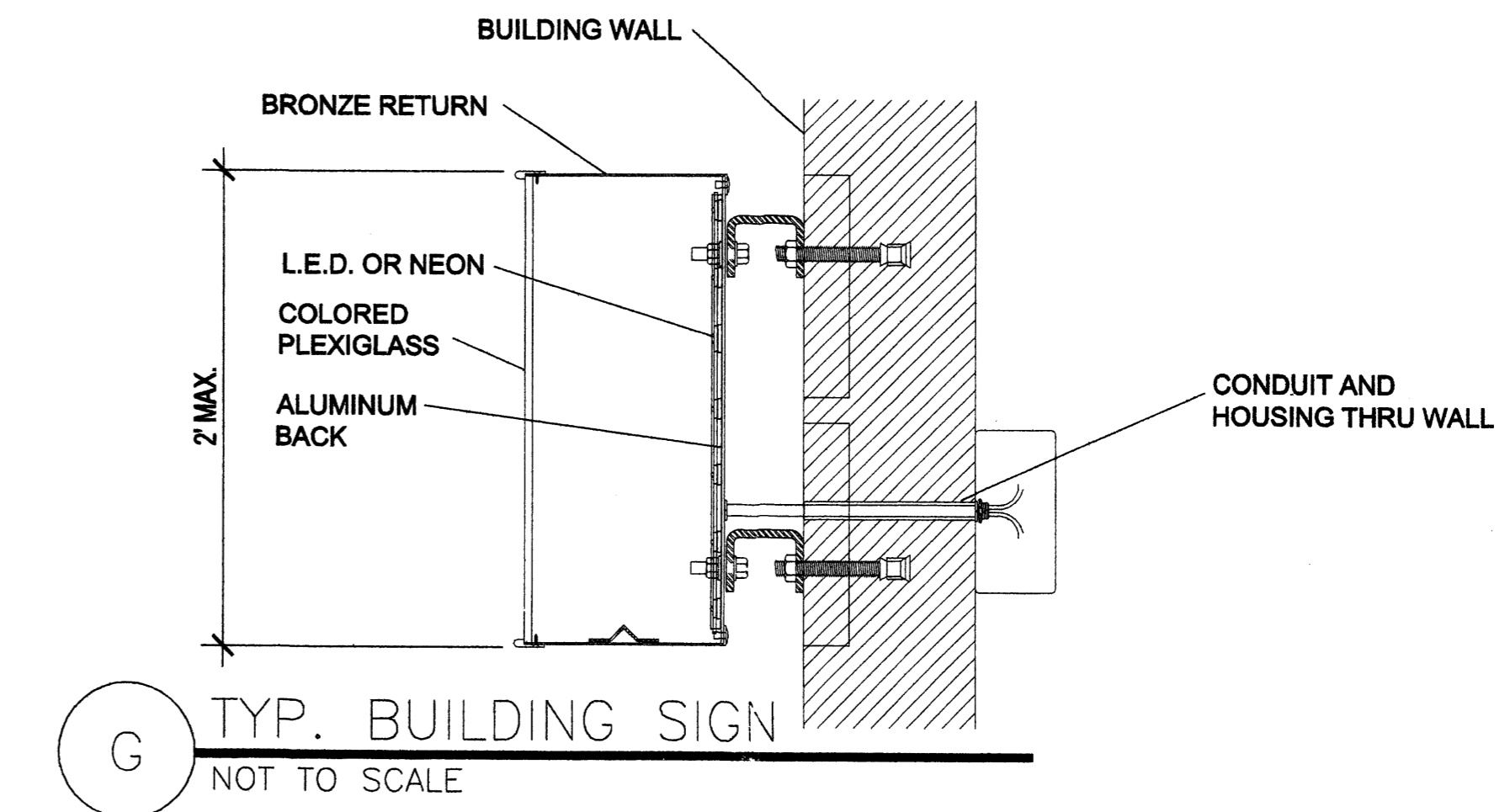
**D** TYPICAL TRASHCAN ENCLOSURE  
N.T.S.



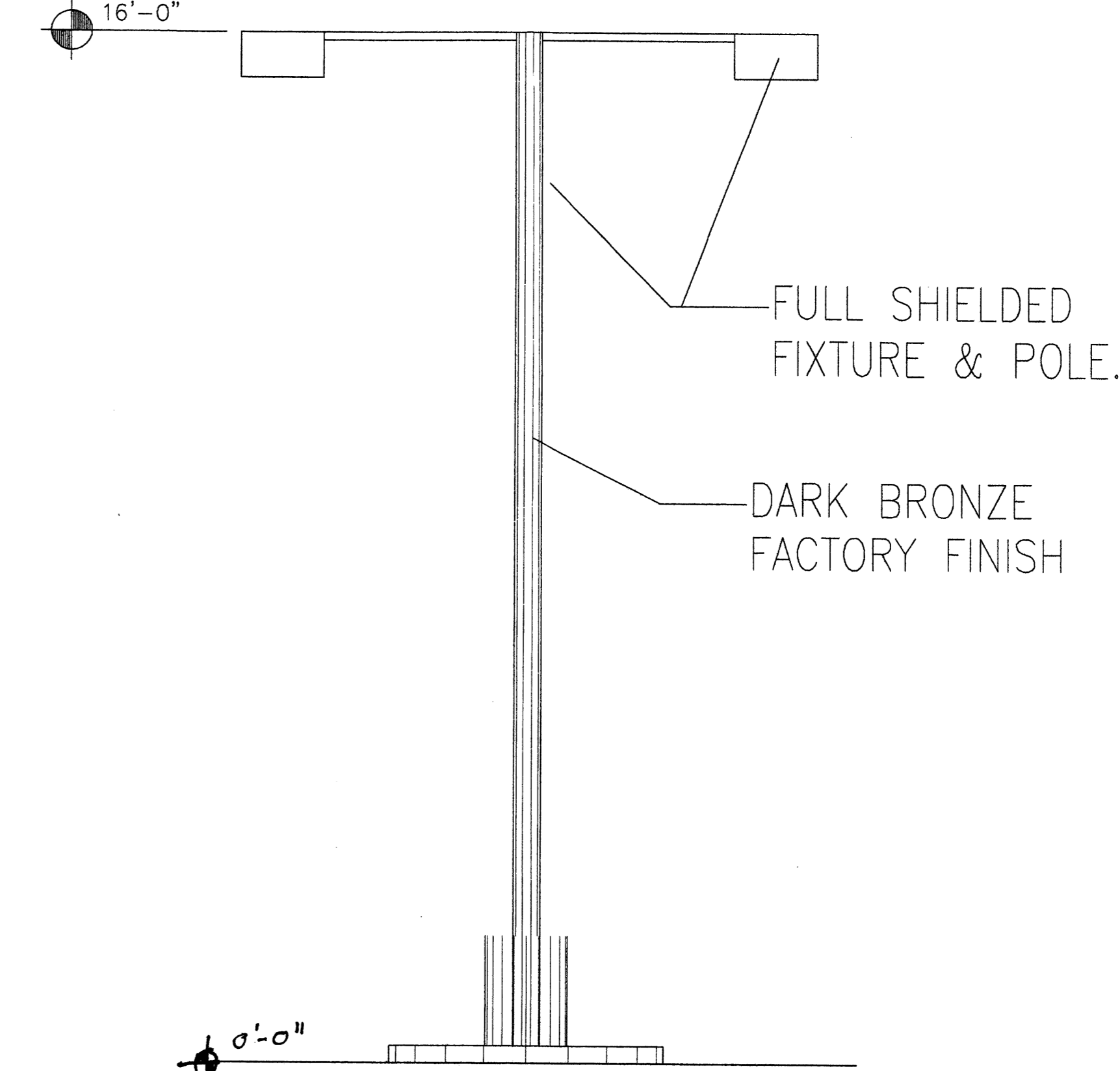
**C** TYPICAL BENCH  
N.T.S.



**B** DUMPSTER ENCLOSURE  
N.T.S.



**G** TYP. BUILDING SIGN  
NOT TO SCALE



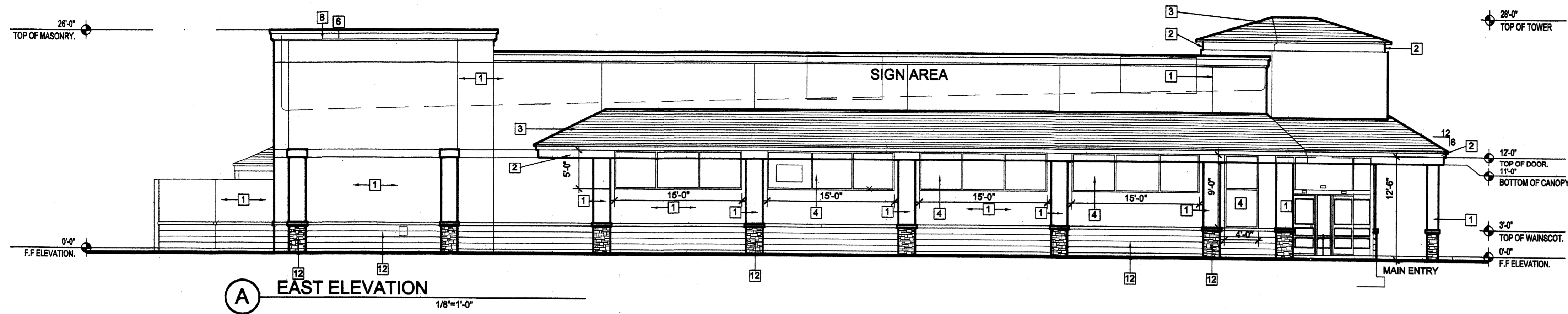
**A** SITE LIGHTING  
N.T.S.

REV	DATE	BY	REVISION
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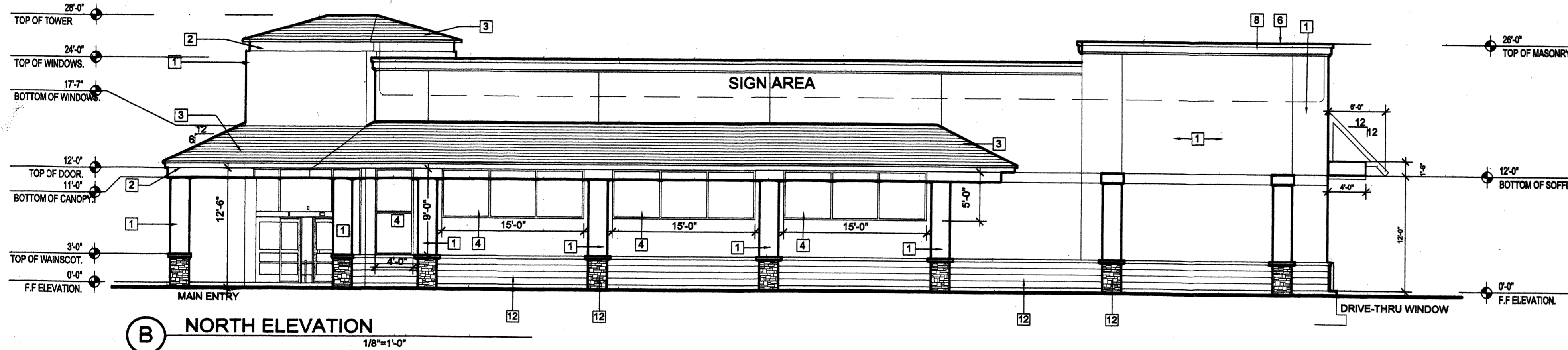
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
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PROJECT TITLE  
**PASEO DEL NORTE & VENTURA**  
PASEO DEL NORTE AND VENTURA  
ALBUQUERQUE, NM  
PROJECT MANAGER  
JOB NO.  
DRAWN BY  
JCS  
SHEET TITLE  
**SITE PLAN DETAILS**

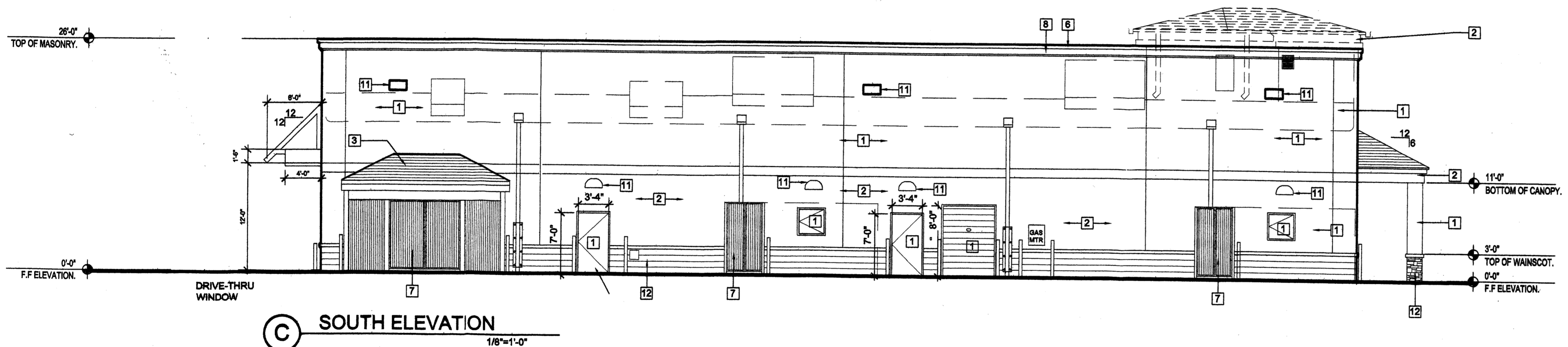
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of:



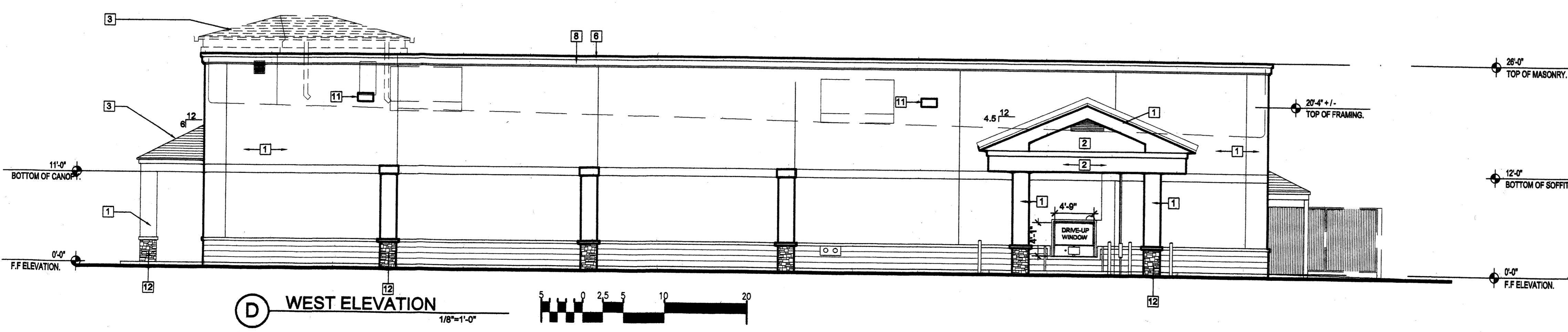
**A EAST ELEVATION**  
1/8"=1'-0"



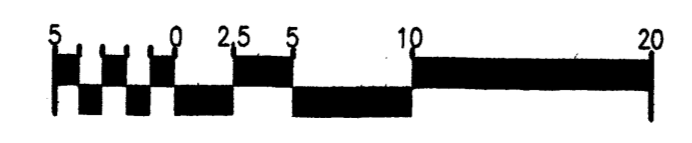
**B NORTH ELEVATION**  
1/8"=1'-0"



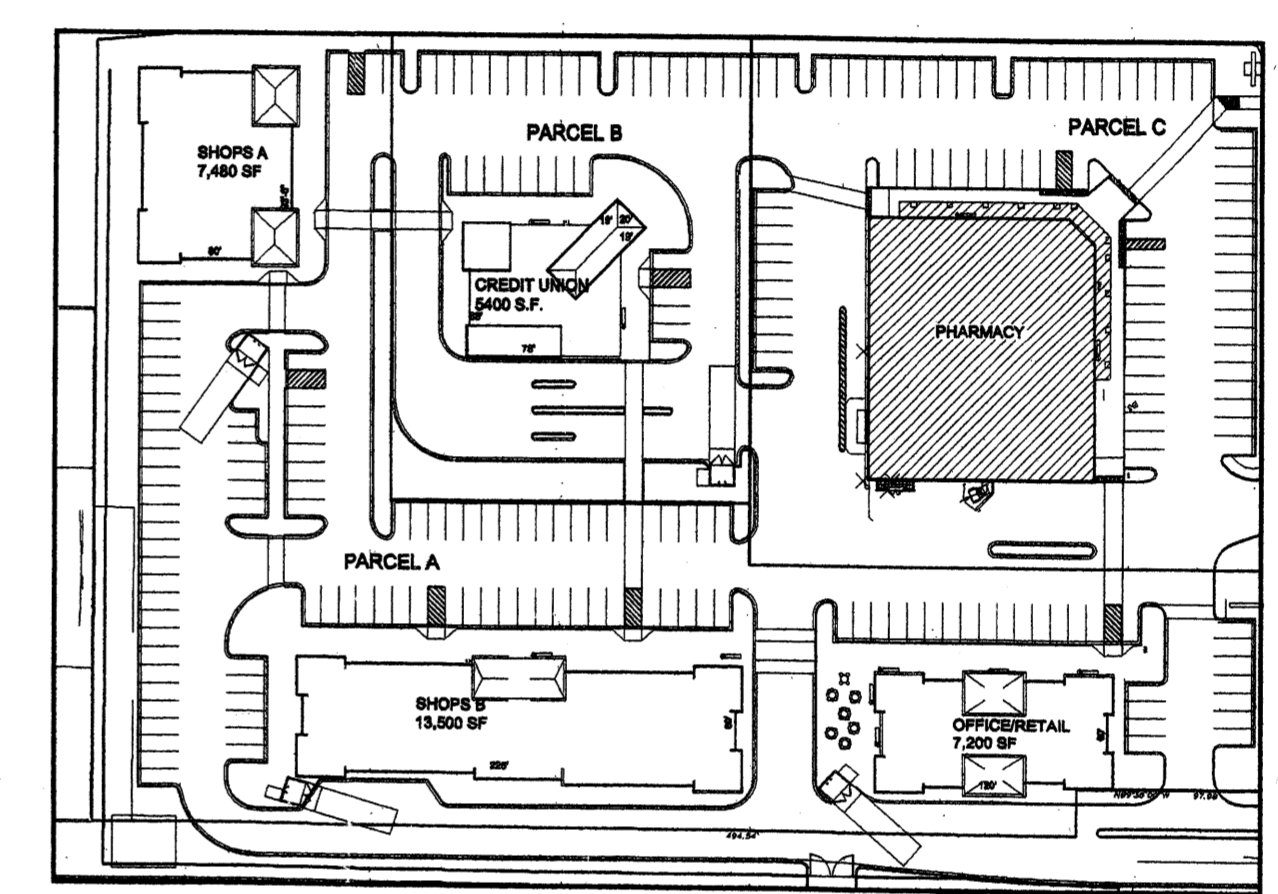
**C SOUTH ELEVATION**  
1/8"=1'-0"



**D WEST ELEVATION**  
1/8"=1'-0"



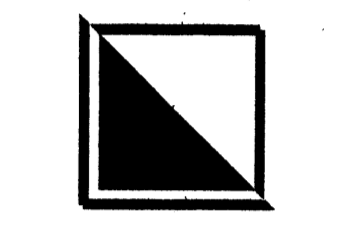
Keyed Color	Material Schedule	Common Name
1	STUCCO	BM 851 "BONE WHITE"
2	STUCCO	BM HC-48 "BRADSTREET BEIGE"
3	TILE ROOF	LIGHT GRAY FLAT CONCRETE TILE
4	GLASS	1" INSUL. LOW E GLASS W/ CLEAR ANOD. FRAME
5	GLASS	1/4" CLEAR
6	PARAPET CAP	UNA-CLAD "ALMOND"
7	STORAGE GATES	BM HC-48 "BRADSTREET BEIGE"
8	CORNICE	BM HC-48 "BRADSTREET BEIGE"
9	NOT USED	
10	BLOCK CAP	INTEGRAL COLOR
11	LIGHT FIXTURE	DARK BRONZE
12	CULTURED STONE VENEER	BROWN



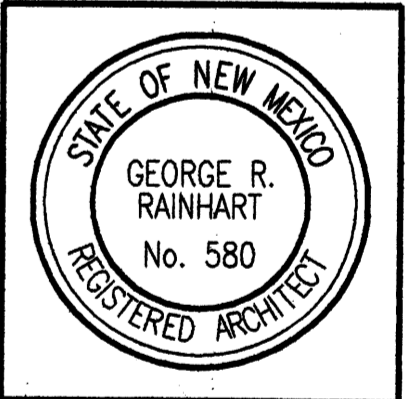
**E KEY PLAN**  
NTS

**NOTES:**  
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS A, CREDIT UNION AND PHARMACY.  
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.  
 SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.

REV	DATE	BY	REVISION
1	2.14.08	JS	DRG COMMENTS
2	12.10.07	JS	ERC CONDITIONS
3	11.01.07	JS	PLANNER COMMENTS



**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
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**PROJECT TITLE**  
**PASEO DEL NORTE & VENTURA**  
 PASEO DEL NORTE AND VENTURA  
 ALBUQUERQUE, NM

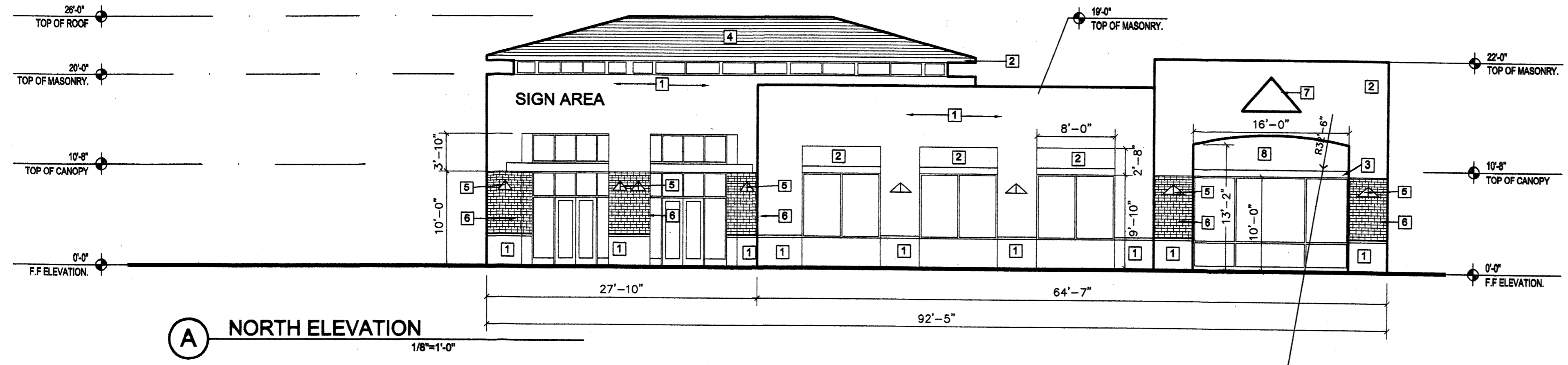
**PROJECT MANAGER**  
 JON STERN

**DRAWN BY**  
 NAH

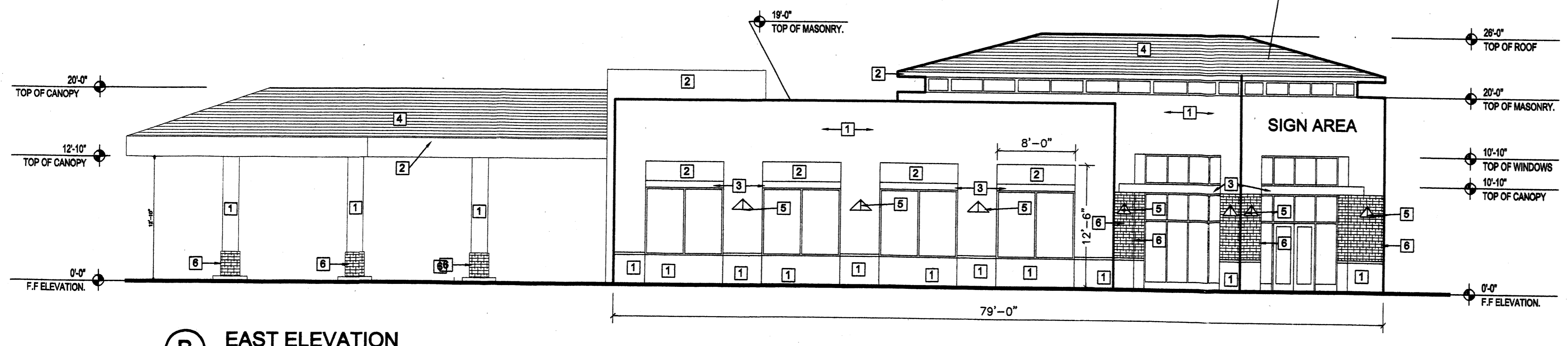
**JOB NO.**  
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**SHEET TITLE**  
**ELEVATIONS PHARMACY**

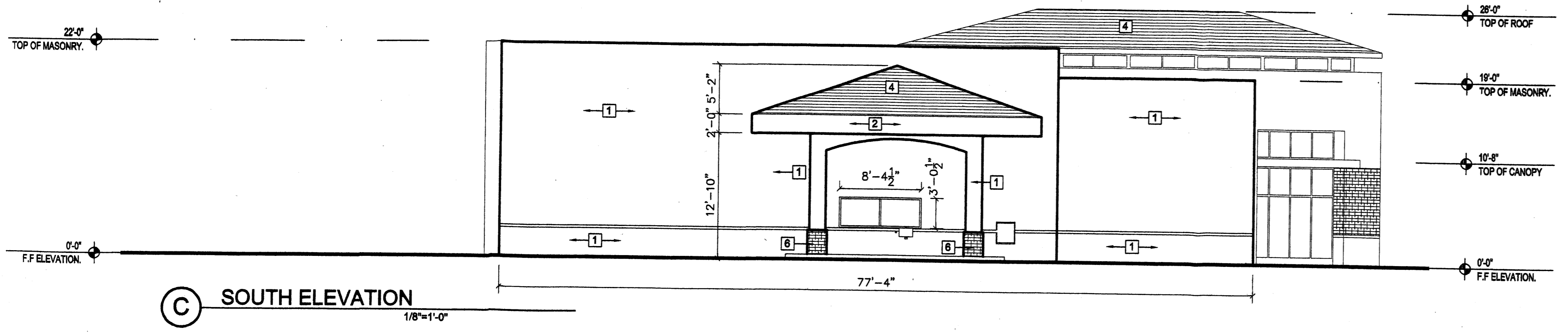
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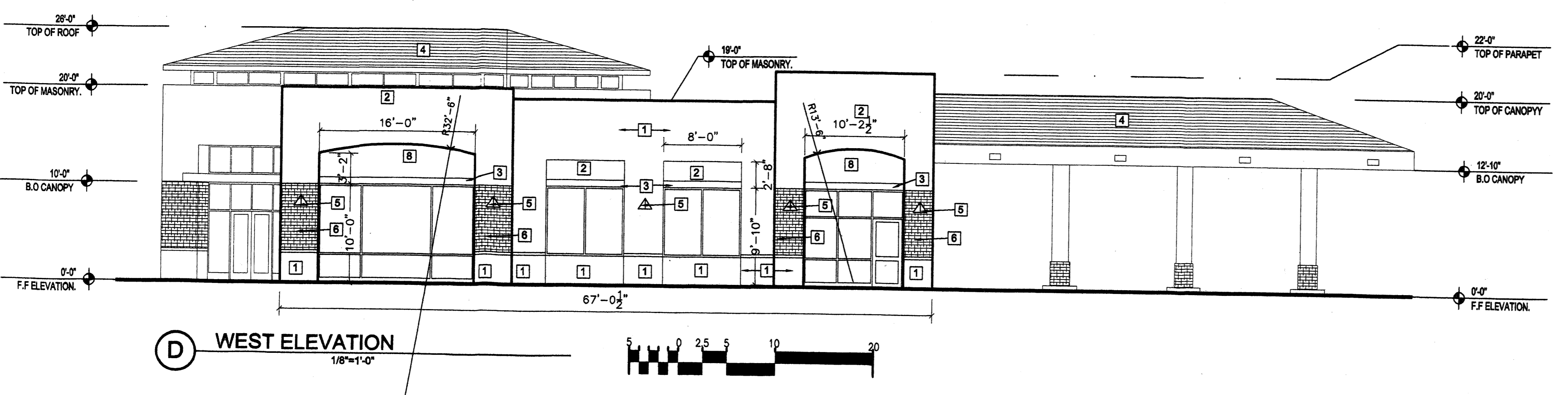
**A NORTH ELEVATION**  
1/8"=1'-0"



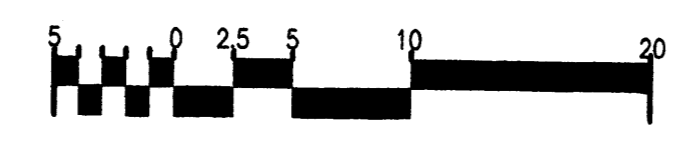
**B EAST ELEVATION**  
1/8"=1'-0"



**C SOUTH ELEVATION**  
1/8"=1'-0"

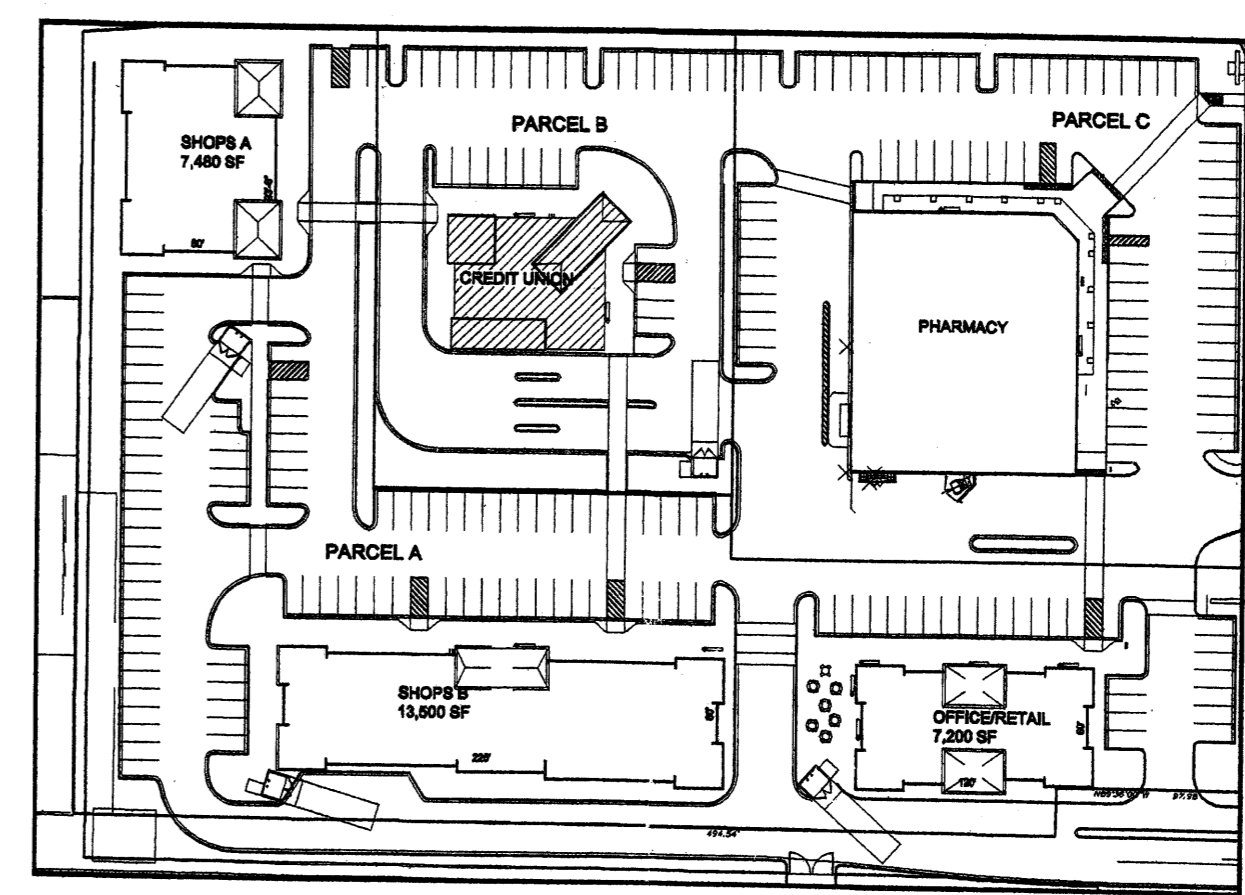


**D WEST ELEVATION**  
1/8"=1'-0"



Keyed Color	Material Schedule	Common Name	
1	STUCCO	LIGHT TAN BENJAMIN MOORE # 951	LIGHT TAN
2	STUCCO	MEDIUM DARK TAN SHERWIN WILLIAMS # 0040	MEDIUM DARK TAN
3	TUBE STEEL CANOPY	DARK BRONZE	DARK BRONZE
4	TILE ROOF	LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
5	LIGHT FIXTURE	BLACK	BLACK
6	CULTURED STONE VENEER	BROWN	BROWN
7	BANK LOGO		
8	STUCCO	SOLITUDE SW 8535	MEDIUM DARK GRAY

**NOTES:**  
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 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.  
 SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.



**E KEY PLAN**  
NTS

REV	DATE	BY	REVISION
1			
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**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**PROJECT TITLE**  
**PASEO DEL NORTE & VENTURA**  
 PASEO DEL NORTE AND VENTURA  
 ALBUQUERQUE, NM

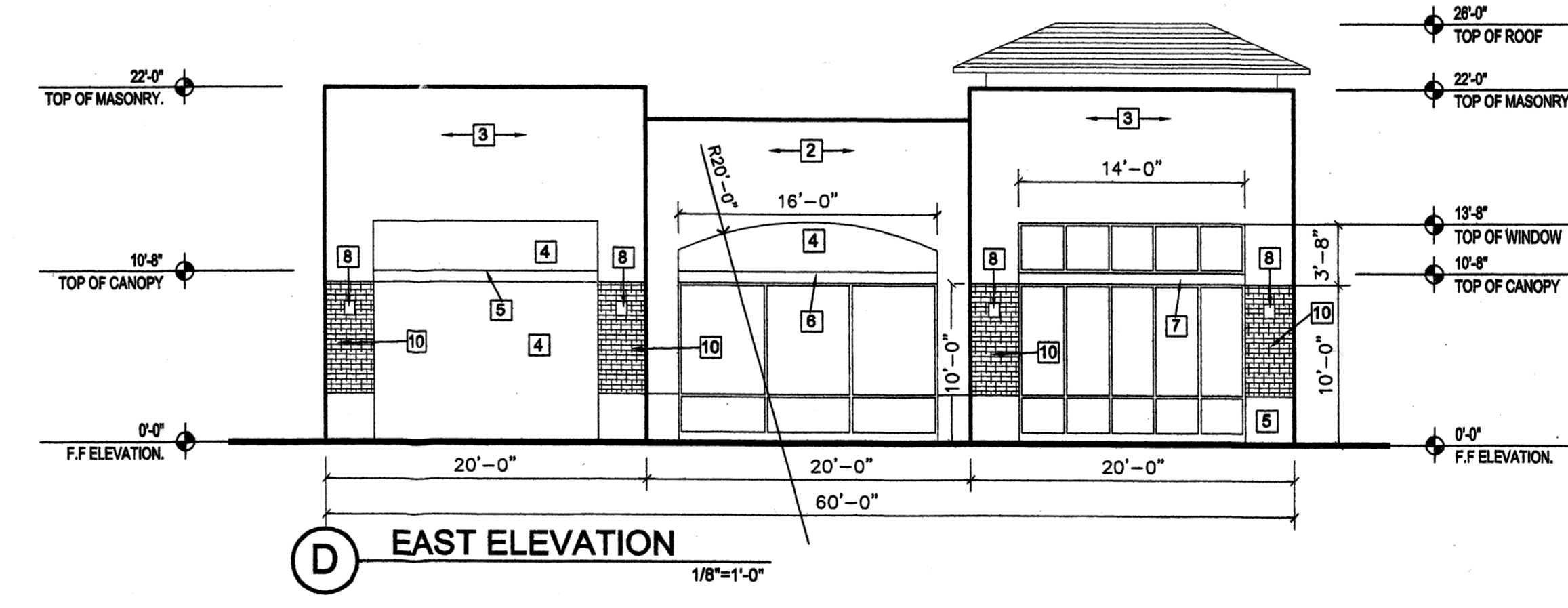
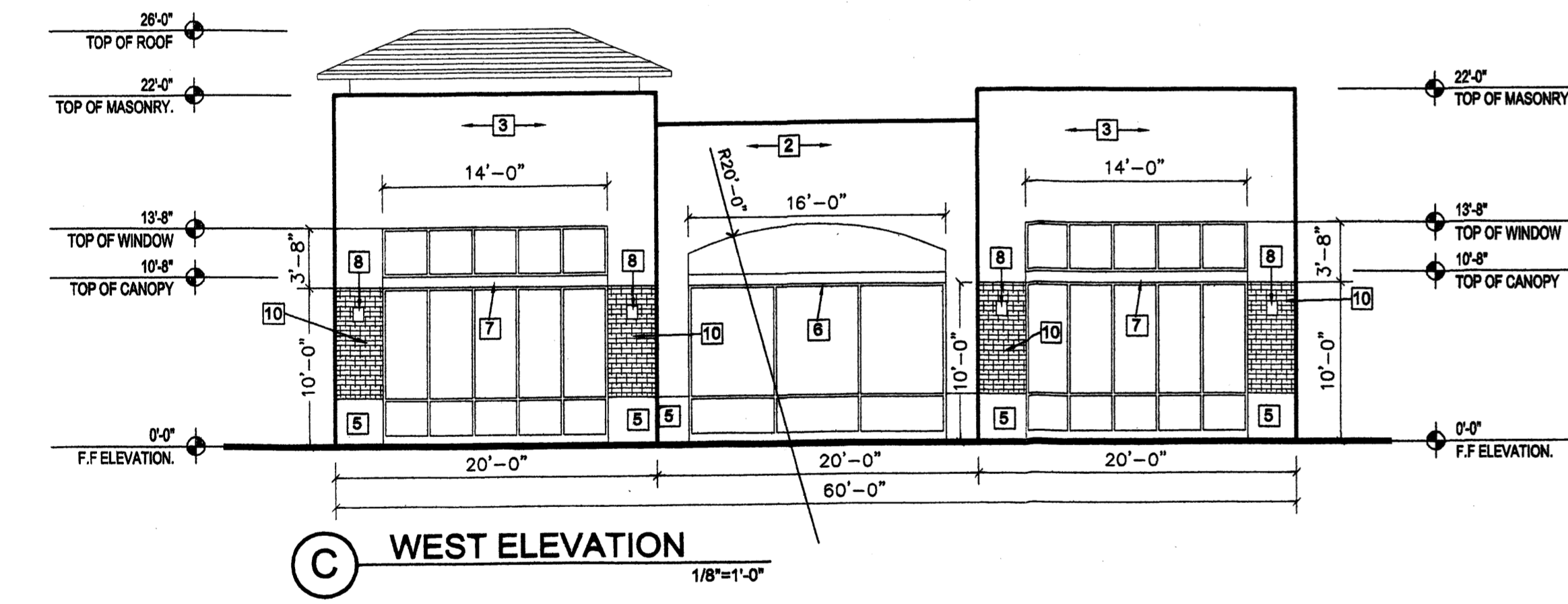
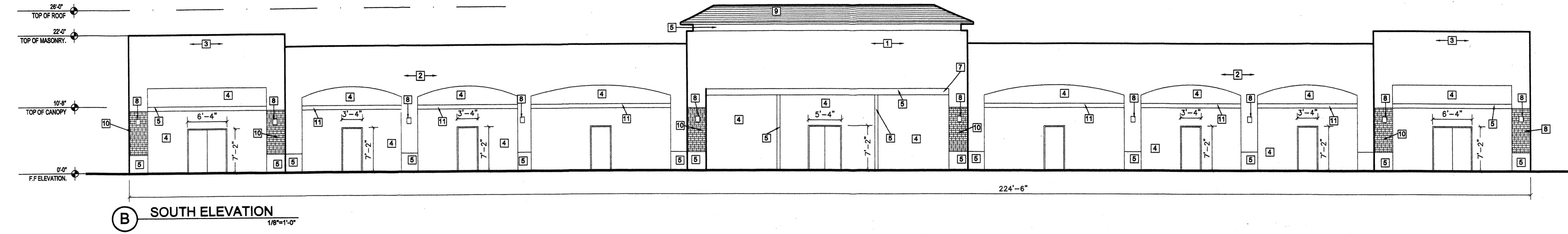
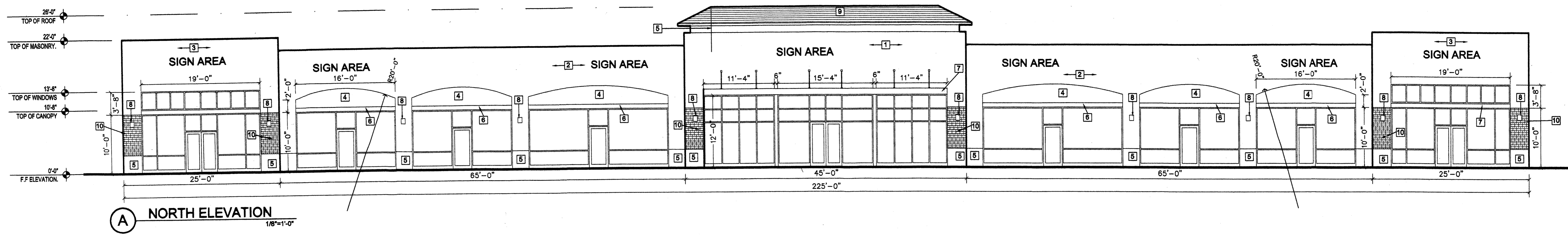
**PROJECT MANAGER**  
 JON STERN

**DRAWN BY**  
 NAH

**JOB NO.**  
 0717

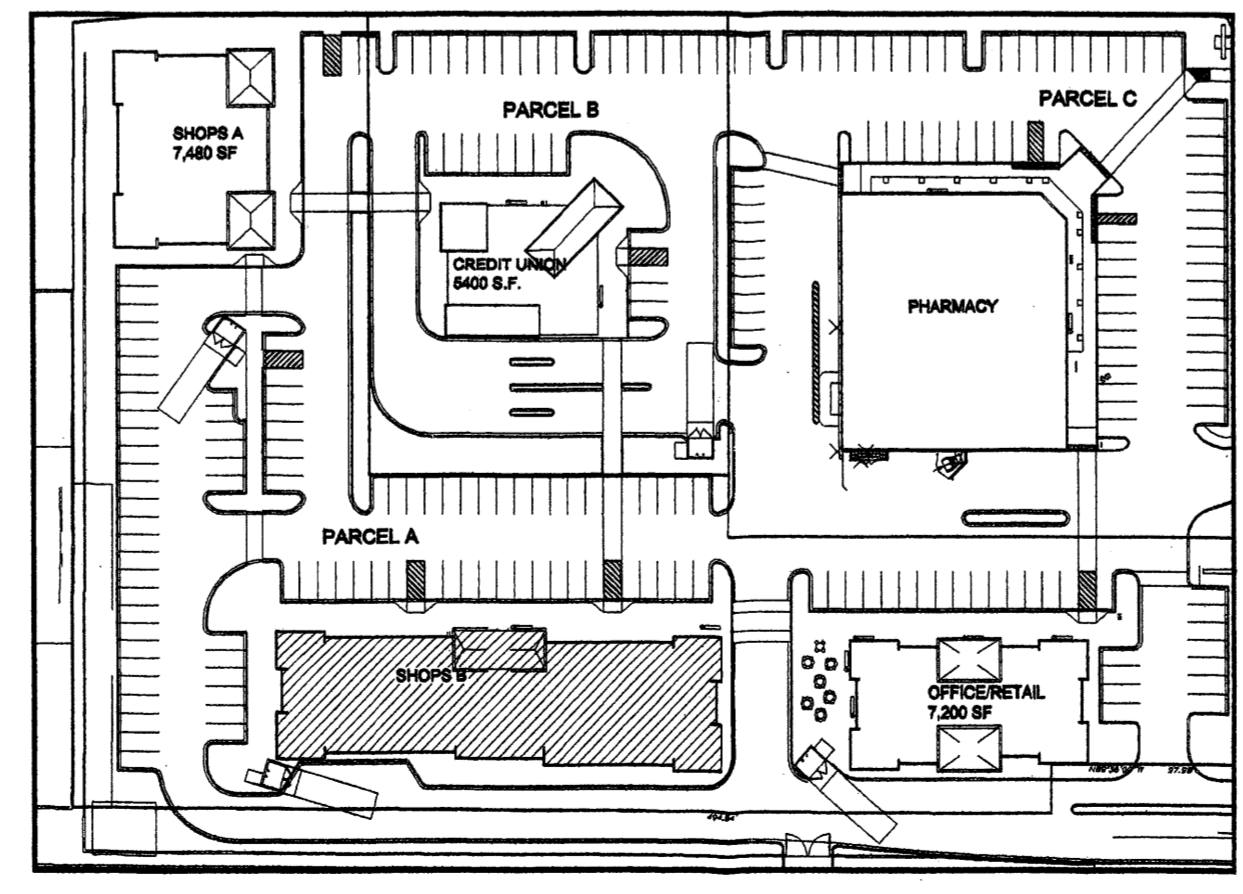
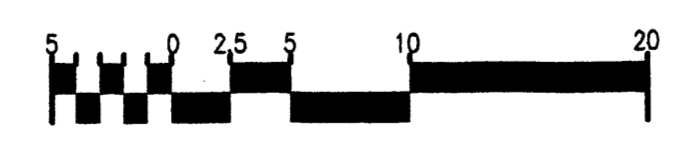
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**ELEVATIONS BANK**

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**SCALE:** 1/8"=1'  
**sheet:** A3.2  
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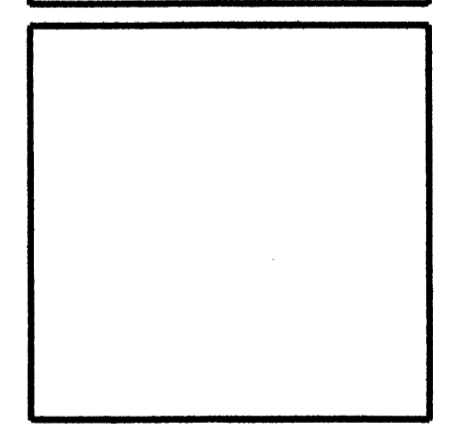
Keyed Color	Material Schedule	Common Name
1	STUCCO MODERATE WHITE LRV 76% SW 8140	LIGHT CREAM
2	STUCCO MESA TAN SW 2208	TAN
3	STUCCO TATAMI TAN SW 8118	LIGHT BROWN
4	STUCCO ICY SW 8534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	CULTURED STONE VENEER BROWN	BROWN
11	STUCCO BLACK SWAN SW 8279	BLACK

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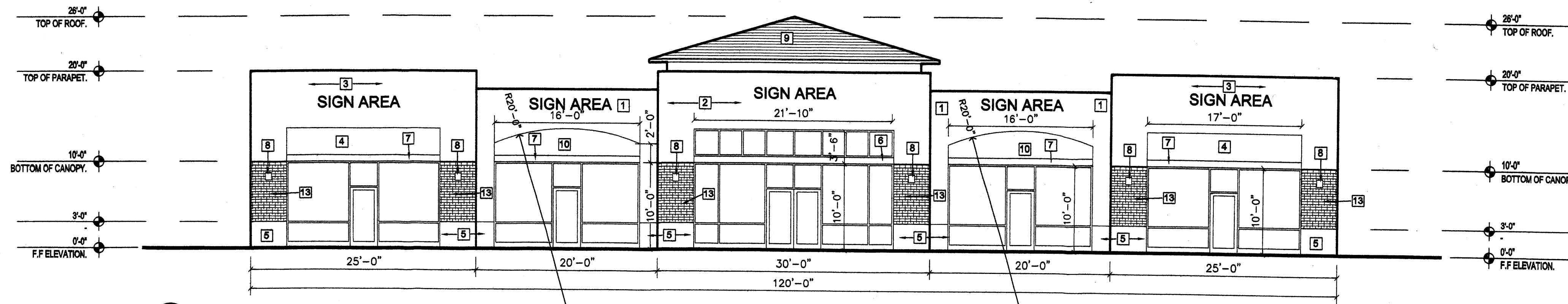
REV	DATE	BY	REVISION
1			
2			
3			
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**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

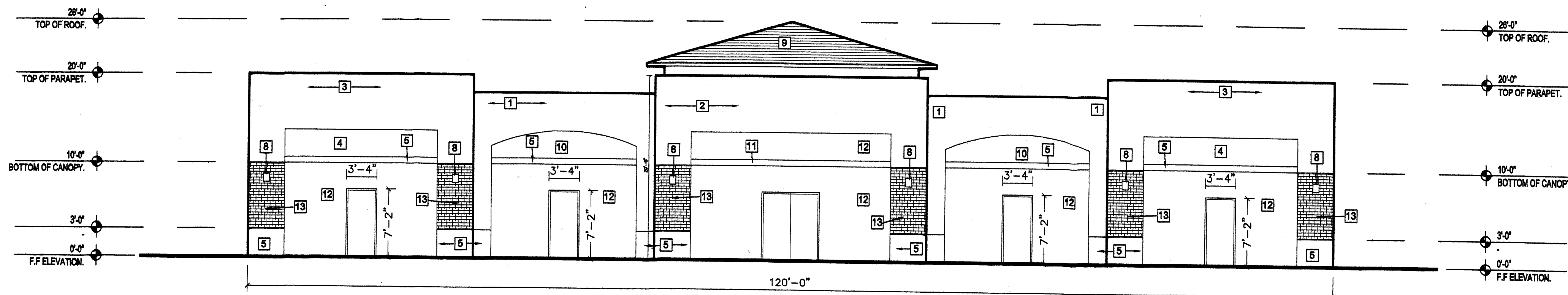


PROJECT TITLE  
**PASEO DEL NORTE & VENTURA**  
 PASEO DEL NORTE AND VENTURA  
 ALBUQUERQUE, NM  
 PROJECT MANAGER  
 JON STERN  
 JOB NO.  
 017  
 DRAWN BY  
 NAH  
 SHEET TITLE  
**ELEVATIONS SHOPS - B**

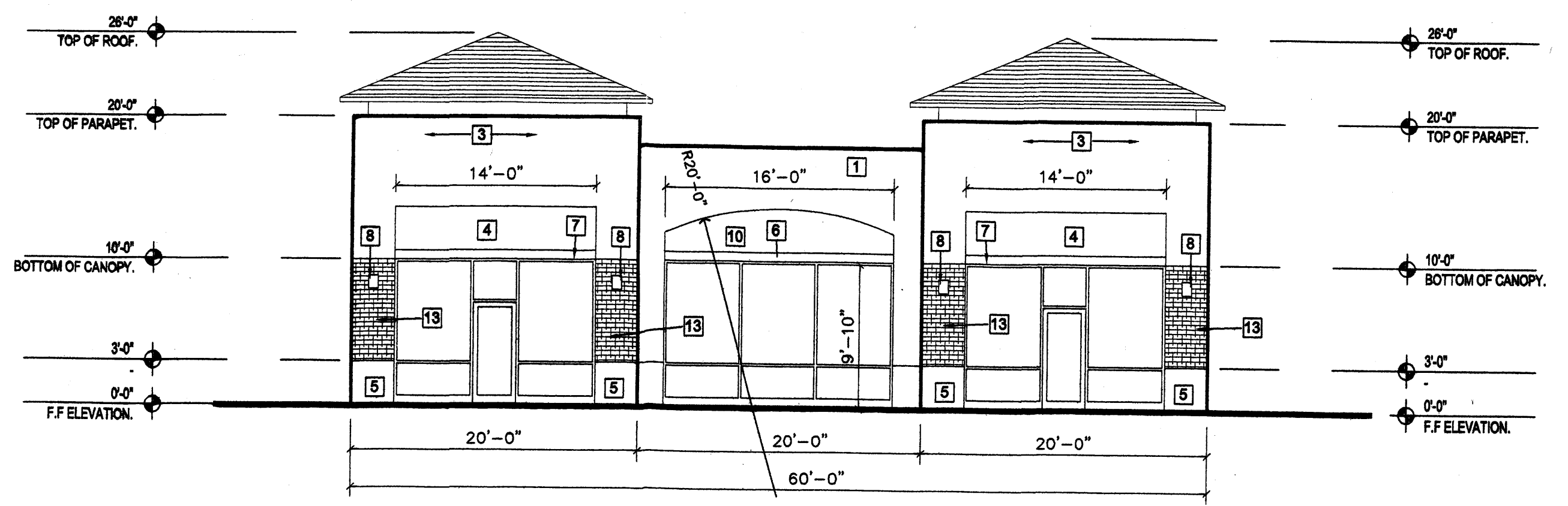
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 6.22.07  
 SCALE:  
 1/8"=1'  
 sheet:  
**A3.3**  
 of



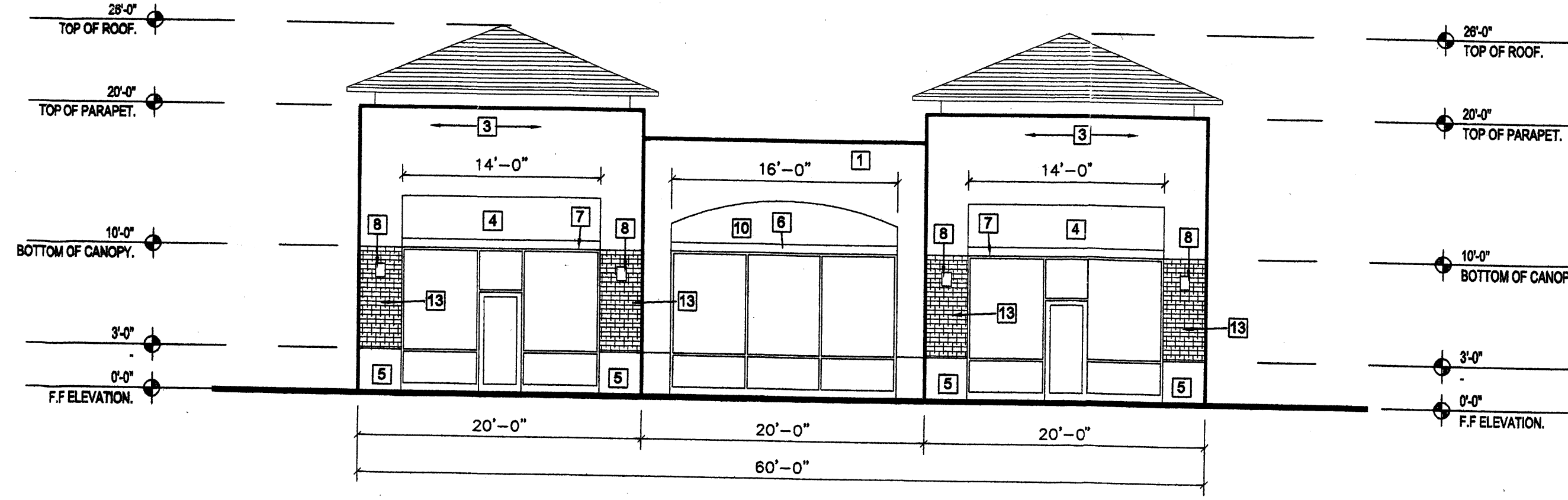
**A NORTH ELEVATION**  
1/8"=1'-0"



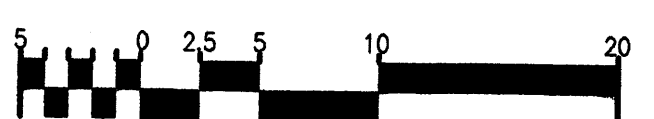
**B SOUTH ELEVATION**  
1/8"=1'-0"



**C WEST ELEVATION**  
1/8"=1'-0"

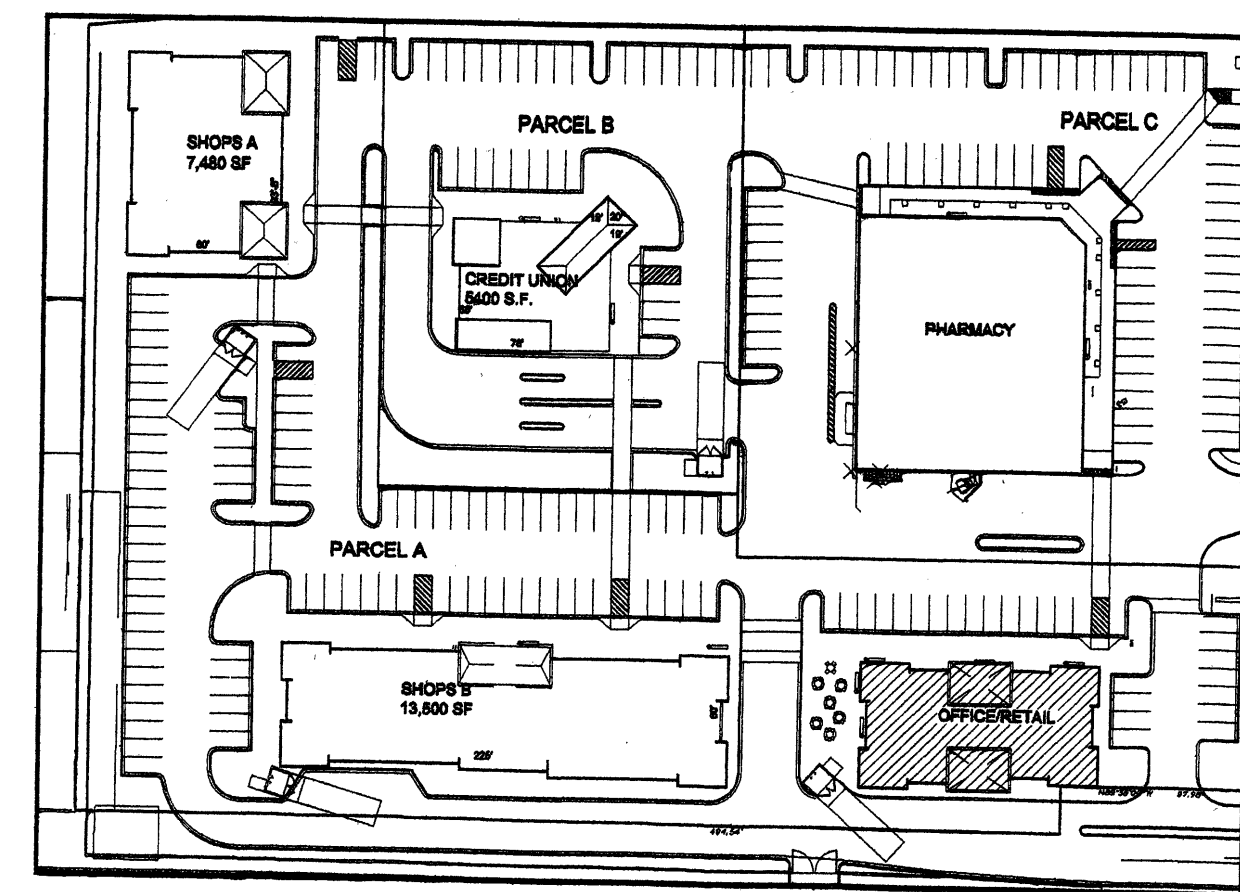


**D EAST ELEVATION**  
1/8"=1'-0"



Keyed Color	Material Schedule	Common Name
1	STUCCO NAPERY SW 6386	CREAM
2	STUCCO TARAMI TAN SW 6116	LIGHT BROWN
3	STUCCO UNCERTAIN GRAY SW 6234	GRAY
4	STUCCO ICY SW 6534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	STUCCO MESA TAN SW 2208	TAN
11	STUCCO BLACK SWAN SW 6279	BLACK
12	STUCCO ICY SW 6534	LIGHT GRAY
13	CULTURED STONE VENEER BROWN	BROWN

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**E KEY PLAN**  
NTS

REV	DATE	BY	REVISION
6			
5			
4			
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1			

**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

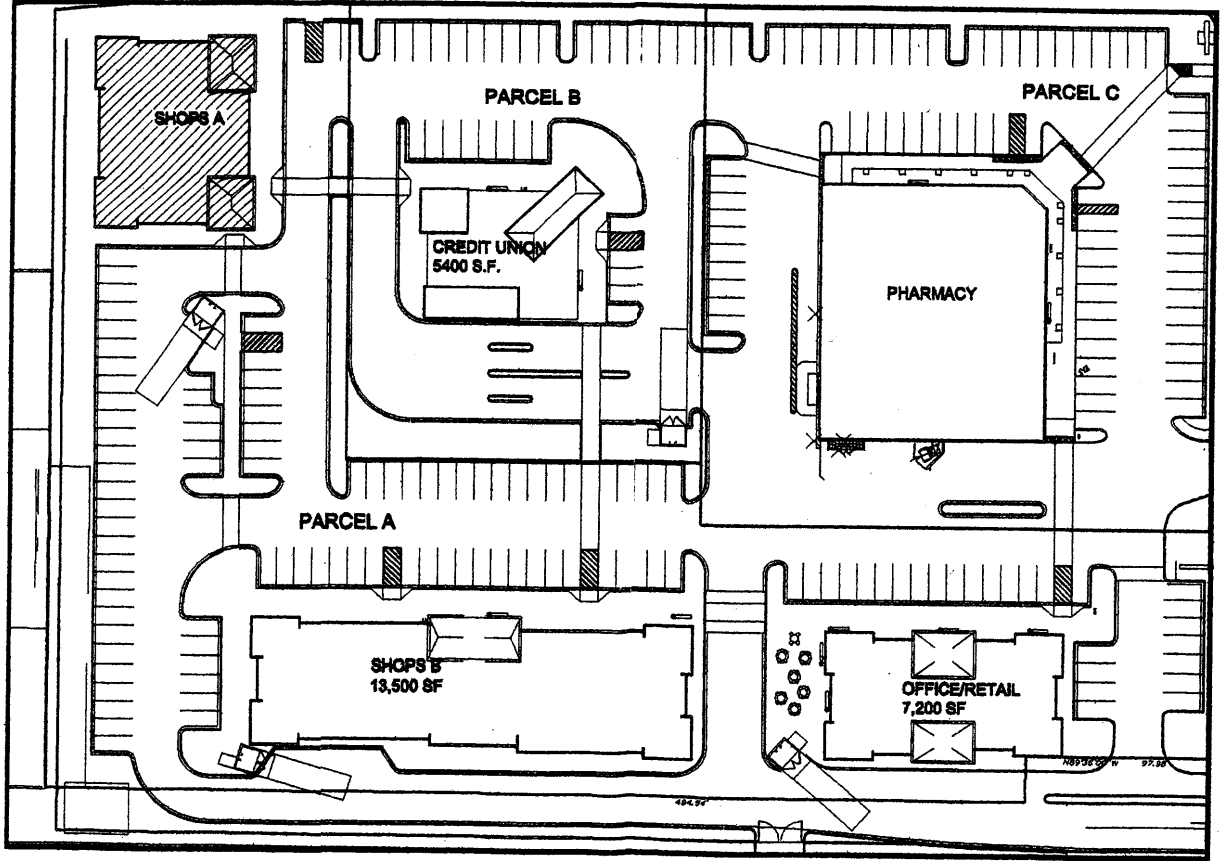
PROJECT TITLE  
**PASEO DEL NORTE & VENTURA**  
PASEO DEL NORTE AND VENTURA  
ALBUQUERQUE, NM  
PROJECT MANAGER  
JON STEIN  
DRAWN BY  
NAH  
JOB NO.  
0717  
SHEET TITLE  
**ELEVATIONS OFFICE/RETAIL**

DATE: 6.22.07  
SCALE: 1/8"=1'  
sheet: **A3.4**  
of:

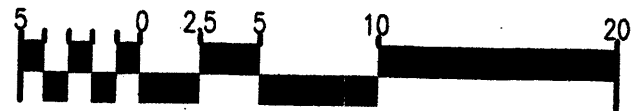
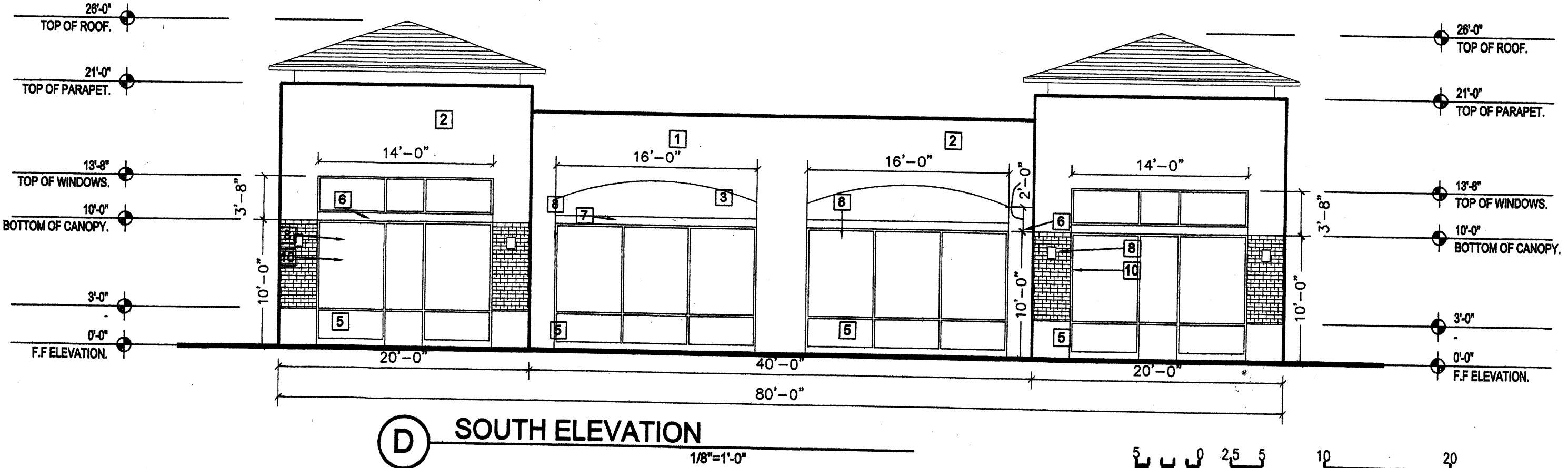
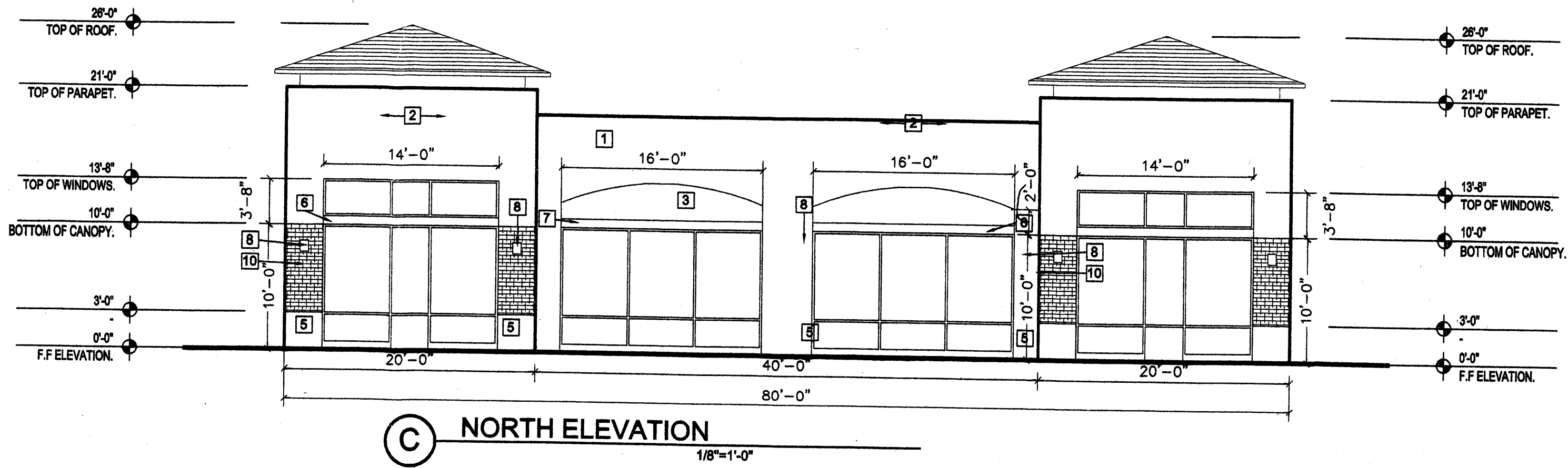
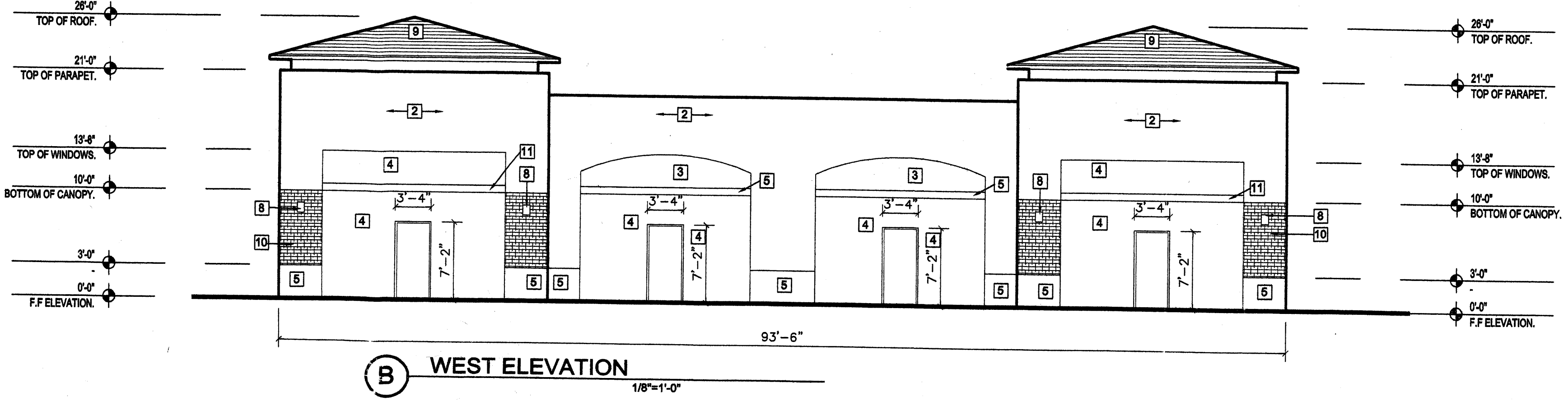
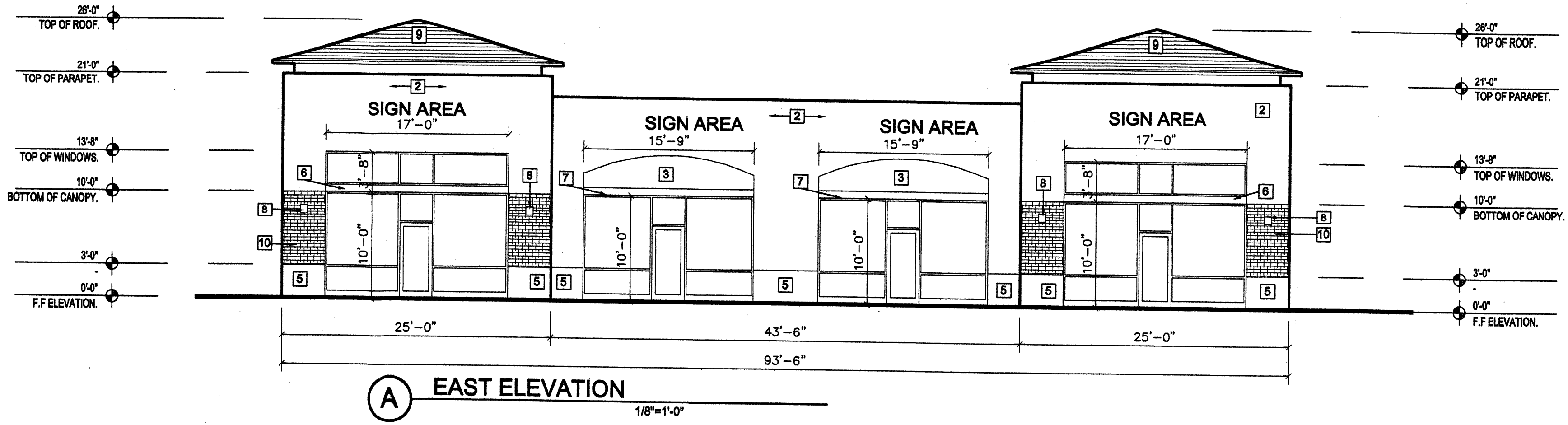


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Keyed Color	Material Schedule	Common Name
1	STUCCO NAPERLY SW 6386	CREAM
2	STUCCO MESA TAN SW 2208	TAN
3	STUCCO RAPTURE BLUE	SKY BLUE
4	STUCCO ICY SW 6534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	CULTURED STONE VENEER BROWN	BROWN
11	STUCCO BLACK SWAN SW 8279	BLACK

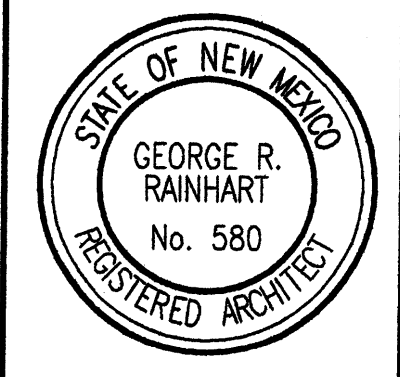


**E KEY PLAN**  
NTS



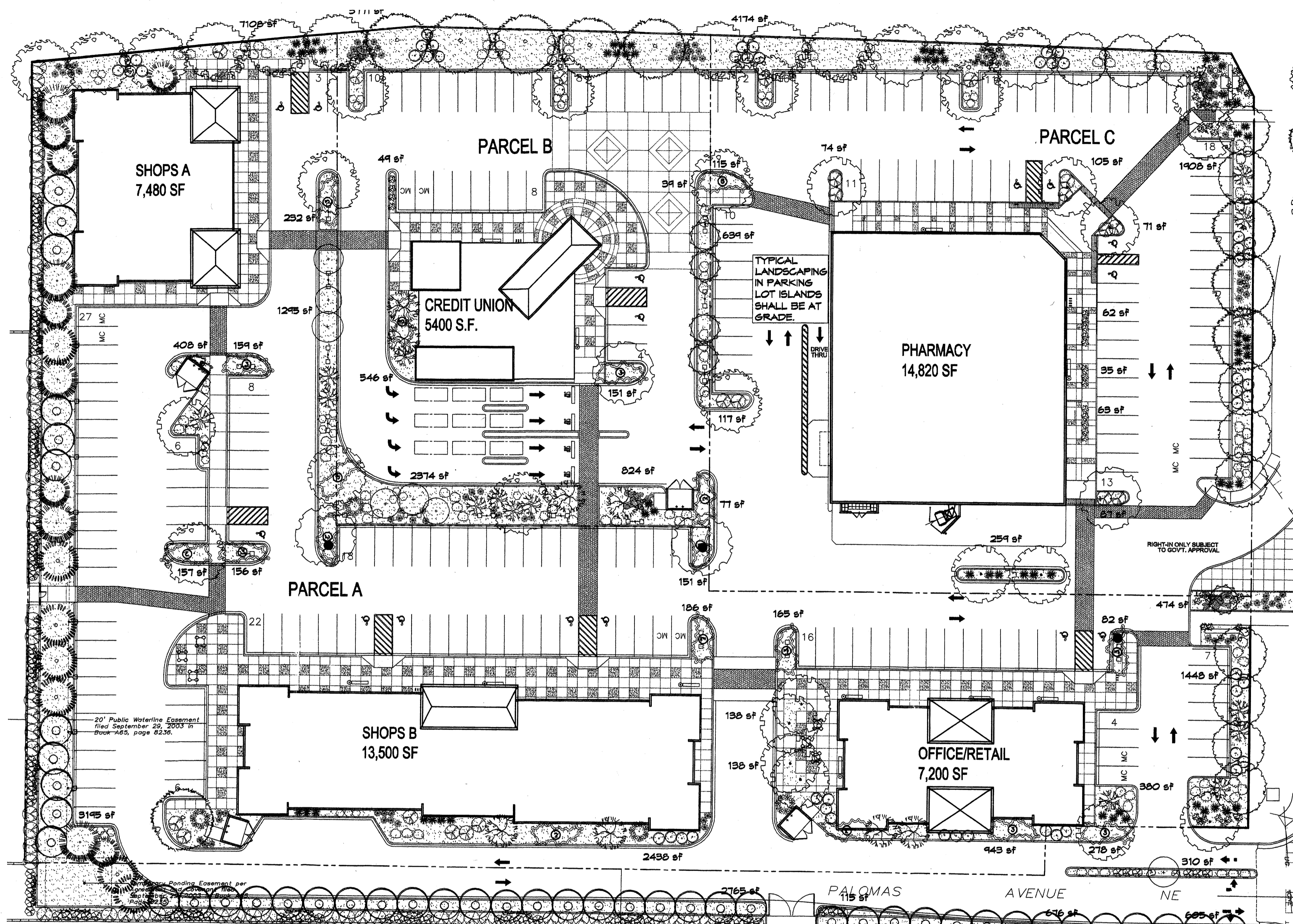
REV	DATE	BY	REVISION
1			
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4			
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**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**PASEO DEL NORTE & VENTURA**  
 PASEO DEL NORTE AND VENTURA  
 ALBUQUERQUE, NM  
 PROJECT MANAGER: JON STERN  
 DRAWN BY: N/AH  
 JOB NO.: 0717  
 SHEET TITLE: **ELEVATIONS SHOPS-A**

DATE: 6.22.07  
 SCALE: 1/8"=1'  
 sheet: **A3.5**  
 of: 1



**PLANT LEGEND**

- CHINESE PISTACHE (M) 16  
*Pistacia chinensis*  
2' Cal.
- SHUMARD OAK (M) 9  
*Quercus shumardii*  
2' Cal.
- CHITALPA (M) 14  
*Chilopsis x Catalpa*  
2' Cal.
- DESERT WILLOW (L) 5  
*Chilopsis linearis*  
15 Gal. 225sf
- VITEX (M) 8  
*Vitex agnus-castus*  
15 Gal. 225sf
- SPANISH BROOM (M) 15  
*Genista hispanica*  
5 Gal. 100sf
- BROOM BACCHARIS (L) 4  
*Baccharis sarothroides*  
5 Gal. 100sf
- RUSSIAN SAGE (M) 51  
*Perovskia atriplicifolia*  
5 Gal. 36sf
- RED YUCCA (L) 65  
*Hesperaloe parviflora*  
5 Gal. 4sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- COMMERCIAL GRADE STEEL EDGING
- KENTUCKY COFFEE TREE (M) 6  
*Gymnocladus dioica*  
2' Cal.
- COMMON HACKBERRY (M) 4  
*Celtis occidentalis*  
2' Cal.
- EASTERN REDBUD (M) 12  
*Cercis canadensis*  
2' Cal.
- NEW MEXICO OLIVE (L) 8  
*Forsythia neomexicana*  
15 Gal. 225sf
- BLUE MIST SPIREA (M) 101  
*Caryopteris clandestina*  
5 Gal. 4sf
- POWIS CASTLE SAGE (L) 99  
*Artemisia x Powis Castle*  
1 Gal. 25sf
- AUTUMN SAGE (M) 41  
*Salvia greggii*  
1 Gal. 4sf
- THREADGRASS (M) 46  
*Stipa tenuissima*  
1 Gal. 4sf
- HONEYSUCKLE (M) 21  
*Lonicera japonica 'Halliana'*  
1 Gal. 44sf
- Unstaked-Groundcover
- GREYLEAF COTONEASTER (M) 60  
*Cotoneaster buxifolius*  
5 Gal. 81sf
- Symbol indicates 3 plants
- OVERSIZED GRAVEL & 14 BOULDERS
- EVERGREEN RESIDENTIAL BUFFER
- AUSTRIAN PINE (M) 11  
*Pinus nigra*  
6'-8'
- BLUE SPRUCE (M) 7  
*Picea pungens*  
6'-8'
- WESTERN RED CEDAR (M) 45  
*Thuja plicata 'Green Giant'*  
15 Gal. 100sf
- WILLOWLEAF COTONEASTER (M) 59  
*Cotoneaster salicifolius*  
5 Gal. 64sf
- INDIAN HAWTHORN (M) 24  
*Raphiolepis indica*  
5 Gal. 36sf
- BOSTON IVY (M) 15  
*Parthenocissus tricuspidata*  
1 Gal.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition. The Owner of the subject site shall maintain the landscaping in the southern buffer.

Landscaping in parking lot islands shall be at grade.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 80% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

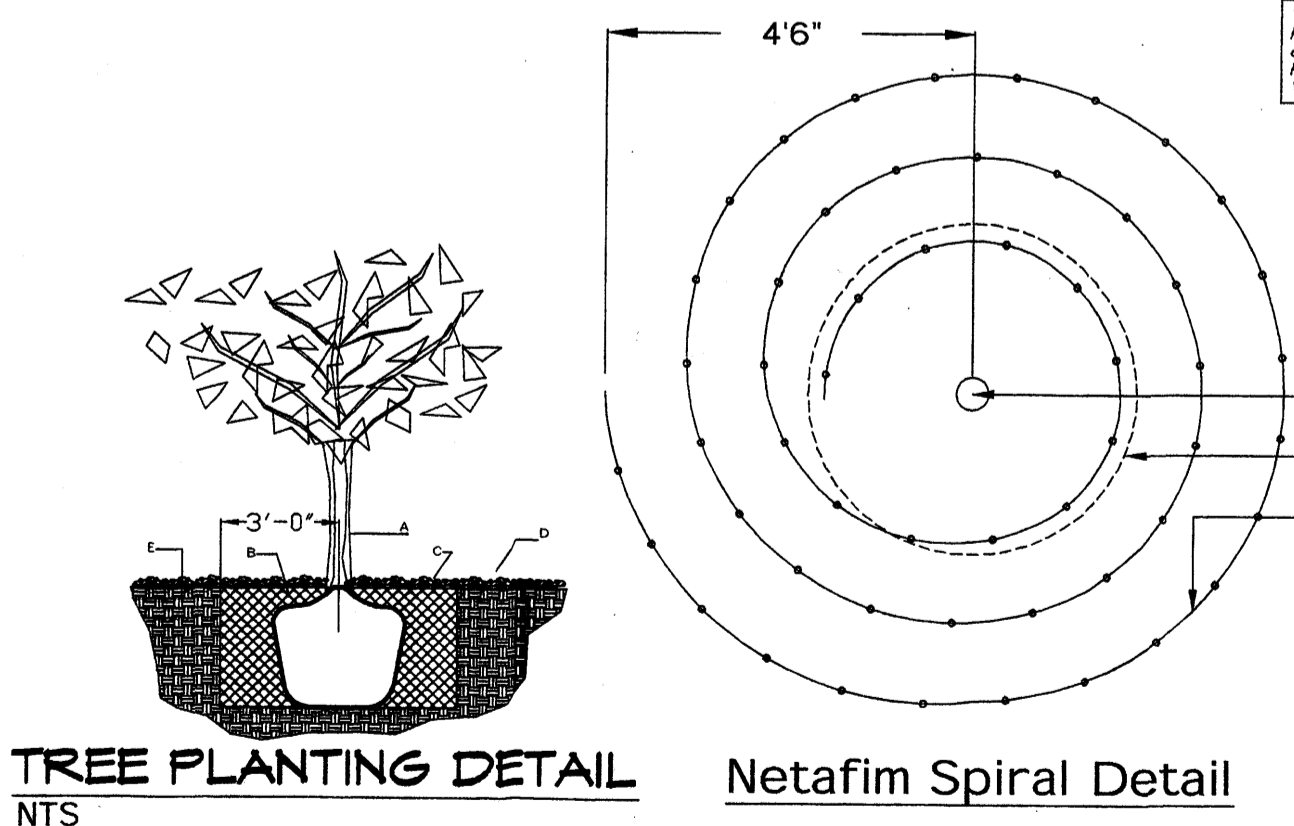
Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	236850	square feet
TOTAL BUILDINGS AREA	48400	square feet
NET LOT AREA	188450	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	28267	square feet
TOTAL BED PROVIDED	41682	square feet
GROUND COVER REQ.	80%	square feet
TOTAL GROUND COVER REQUIREMENT	33346	square feet
TOTAL GROUND COVER PROVIDED	33691(81%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	41682 (22%)	square feet

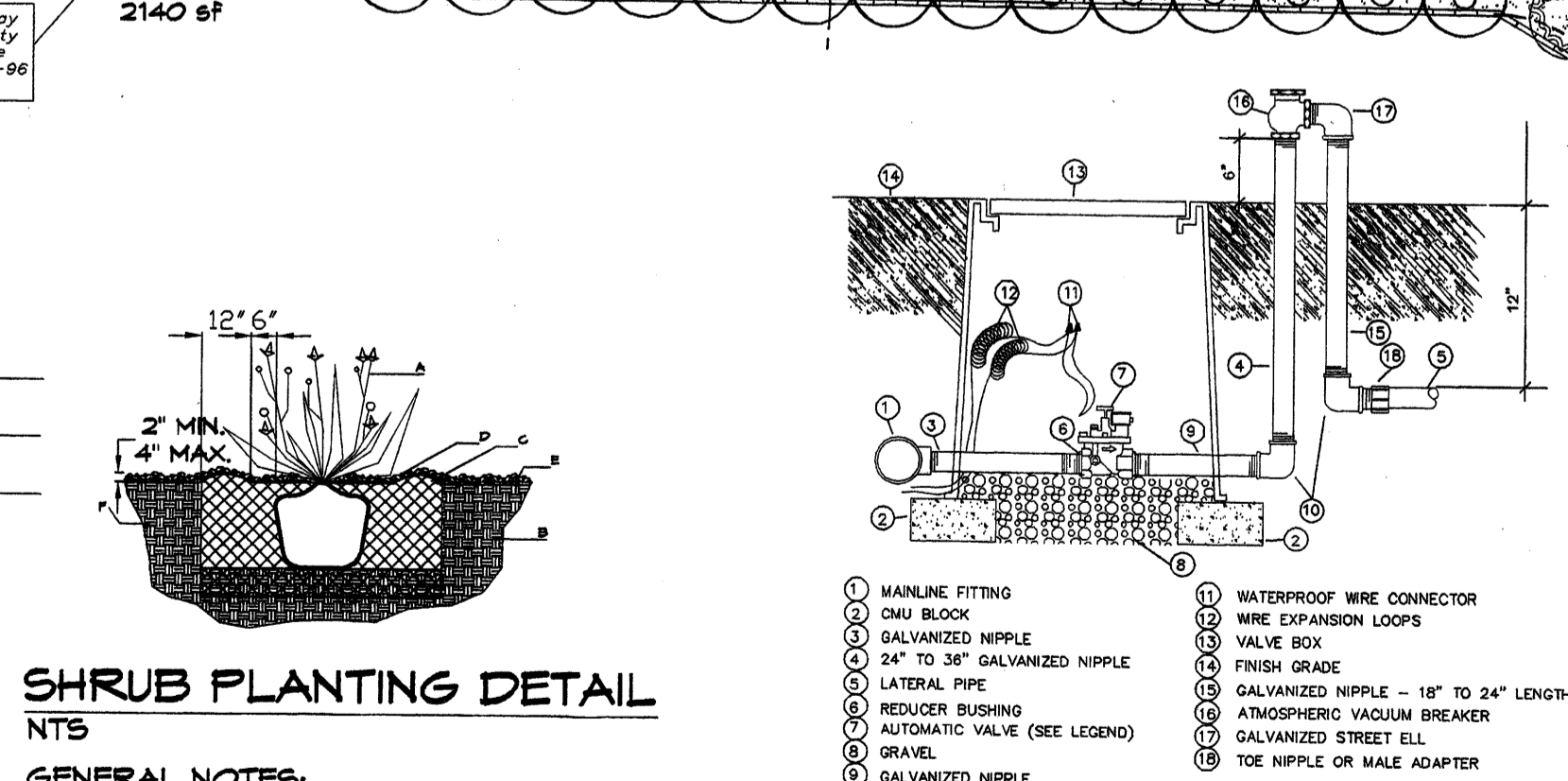
**STREET TREE REQUIREMENTS**  
Street trees required under the COA Street Tree Ordinance are as follows:  
Name of Street: Ventura  
Required # 12 Provided # 12  
Name of Street: Paseo del Norte  
Required # 20 Provided # 20

**PARKING LOT TREE REQUIREMENTS**  
Shade trees required under the COA Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required # 24 Provided # 26



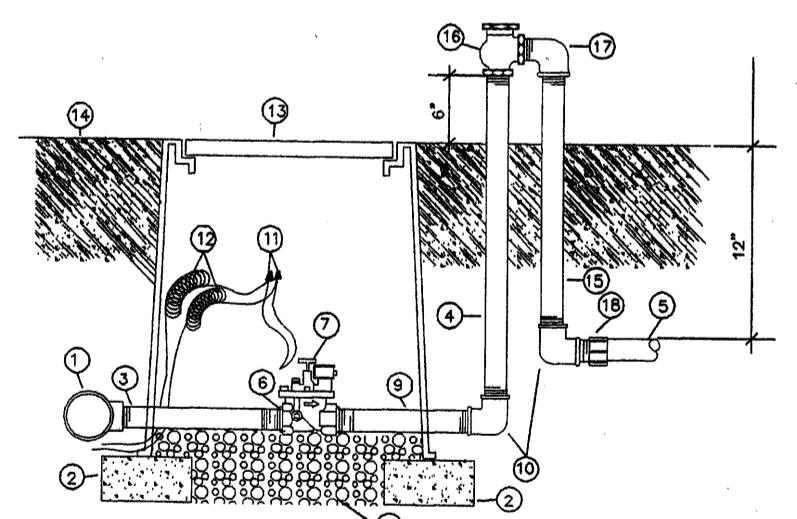
**TREE PLANTING DETAIL**  
NTS

**Netafim Spiral Detail**



**SHRUB PLANTING DETAIL**  
NTS

- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.

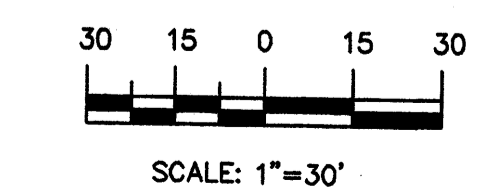


- ① MAINLINE FITTING
- ② DRIPS
- ③ GALVANIZED NIPPLE
- ④ 24" TO 36" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER  
for a drip only system

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**GRAPHIC SCALE**



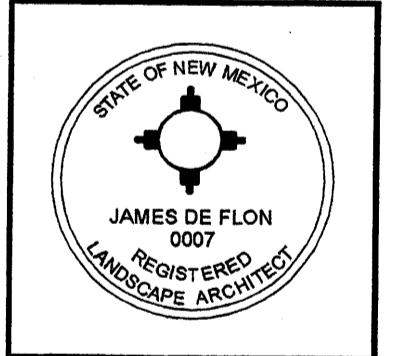
SCALE: 1"=30'

**LANDSCAPE PLAN**

SCALE: 1"=30'-0"

REV	DATE	BY	REVISION
1	1-8-08	RMM	Site revision and comments
2	10-30-07	RMM	Site revision and comments
3	9-26-07	cm	right to only entrance added
4	9-20-07	cm	Site revision and neighbor comments
5	9-17-07	cm	site rev
6	7-5-07	RMM	SITE REVISION

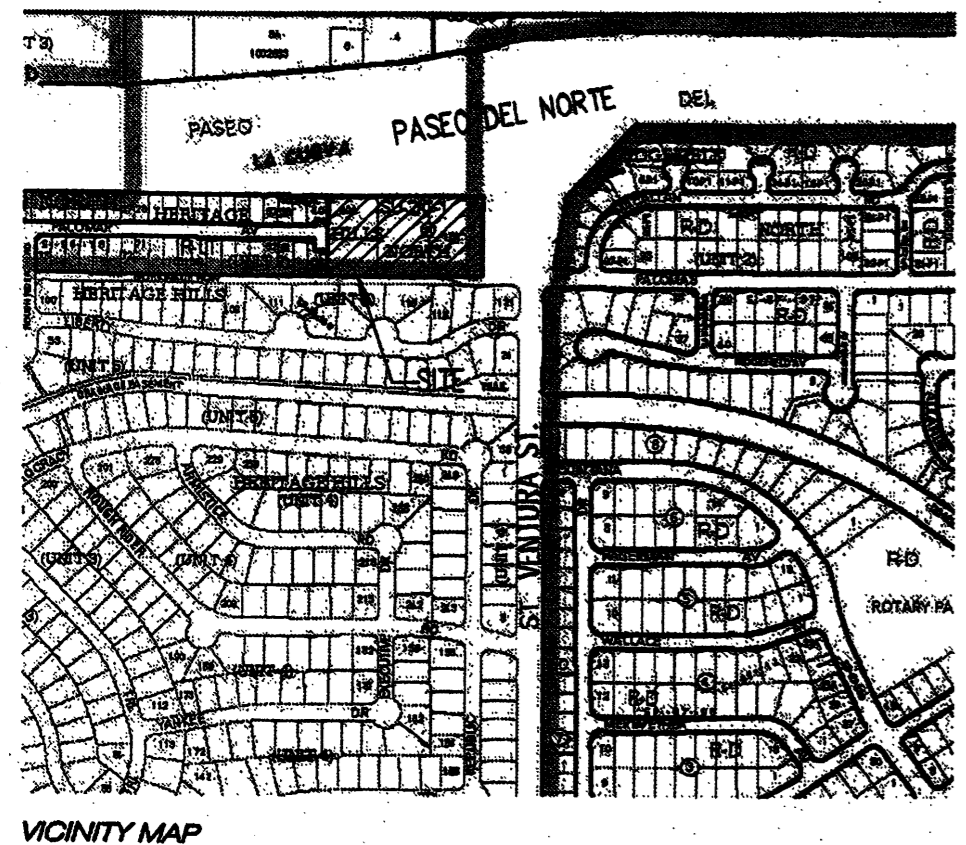
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
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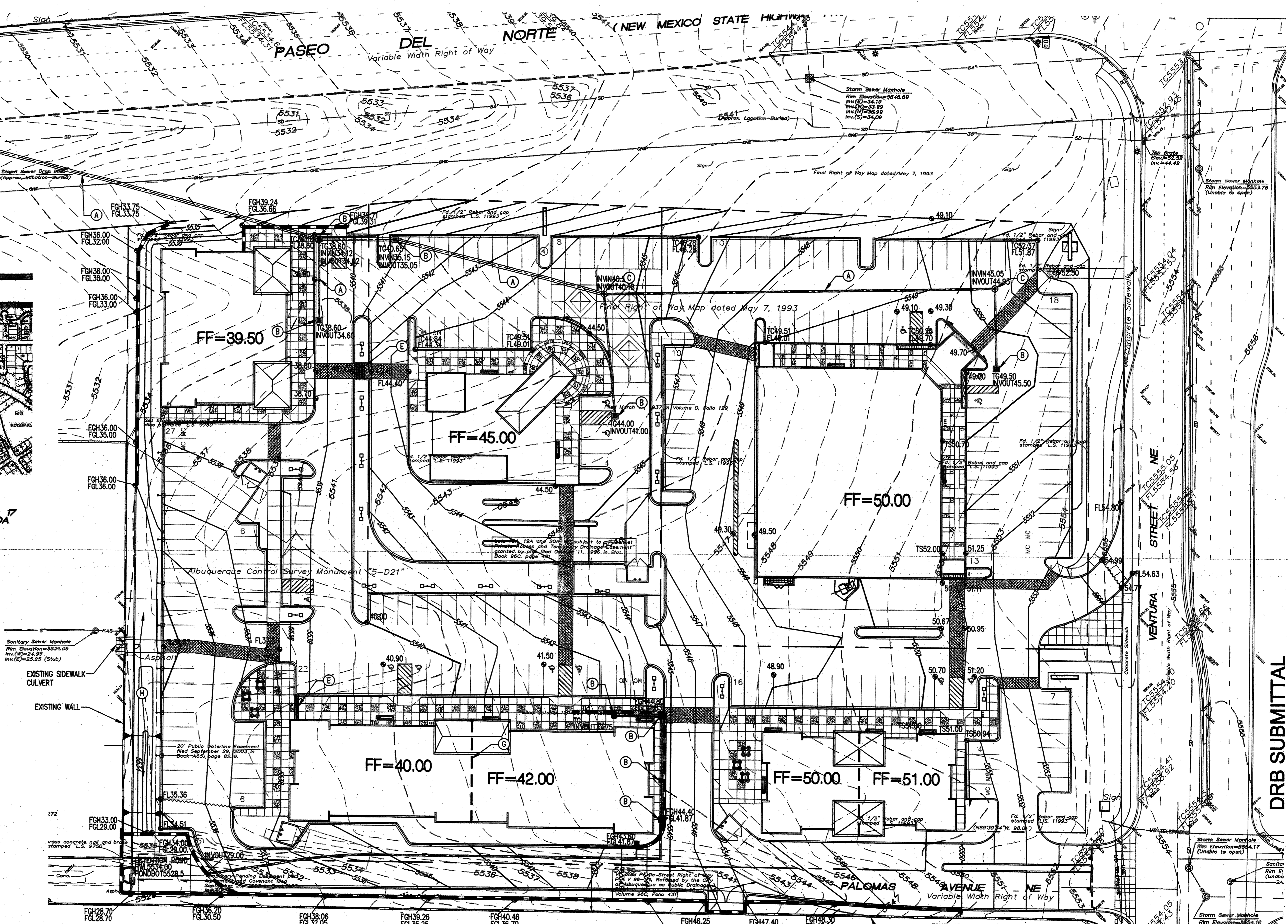
PROJECT TITLE <b>PASEO DEL NORTE &amp; VENTURA</b> PASEO DEL NORTE AND VENTURA ALBUQUERQUE, NM	DRAWN BY: RMM
PROJECT MANAGER	JOB NO.:
SHEET TITLE <b>LANDSCAPE PLAN</b>	DATE: 6.28.07
SCALE: AS NOTED	SHEET: L1

1-14-08 rm Adjusting parking lot island note

- LEGEND**
- PROPERTY LINE
  - 5301- EXISTING CONTOURS
  - X 5301.15 EXISTING GROUND SPOT ELEVATION
  - 96.25 PROPOSED SPOT ELEVATION
  - TC=TOP OF CURB, FL=FLOW LINE
  - TW=TOP OF WALL, BW=BOTTOM OF WALL
  - EX=EXISTING, TO=TOP OF GRADE
  - FGH=FINISH GROUND HIGH SIDE
  - FGL=FINISH GROUND LOW SIDE
  - PROPOSED DIRECTION OF FLOW
  - WATER BLOCK
  - 5305- PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED RETAINING WALL
  - PROPOSED STORM DRAIN INLET
  - PROPOSED MANHOLE
  - EXISTING MONUMENT

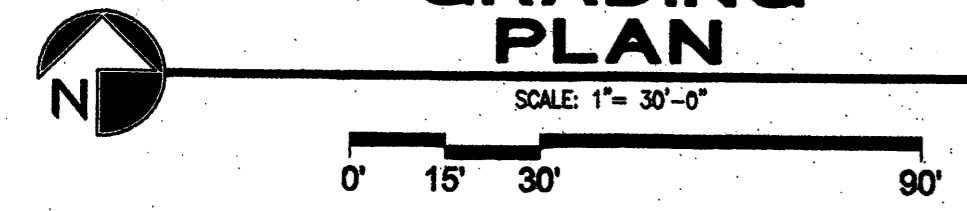


ALTA/AC.S.M. LAND TITLE SURVEY OF PORTIONS OF LOTS 13, 14, 15, 16 AND 17 AND ALL OF LOTS 18A, 19A AND 20A BLOCK 31 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2006

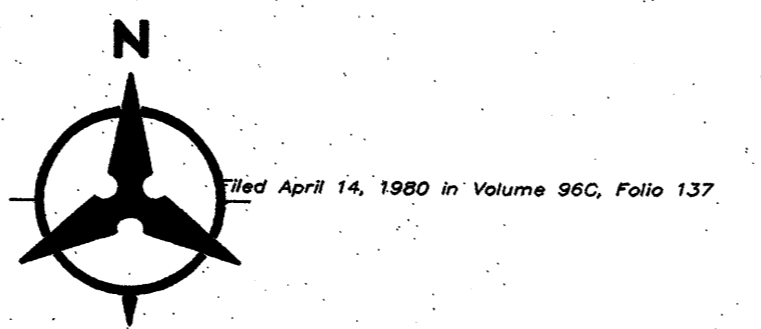


- KEYED NOTES**
- (A) PRIVATE STORM DRAIN LINE.
  - (B) NYLOPLAST INLET.
  - (C) PRIVATE STORM DRAIN MANHOLE.
  - (D) SIDEWALK CULVERT.
  - (E) STAIRS.
  - (F) CONNECTION TO EXISTING STORM DRAIN MANHOLE
  - (G) STEP
  - (H) DETENTION POND

**CONCEPTUAL GRADING PLAN**



**Bohannon & Huston**  
 Courtyard | 7800 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

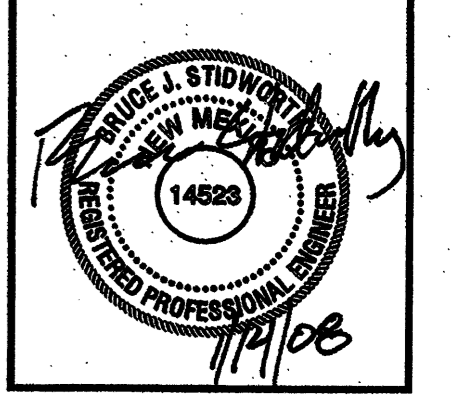


Filed April 14, 1980 in Volume 96C, Folio 137

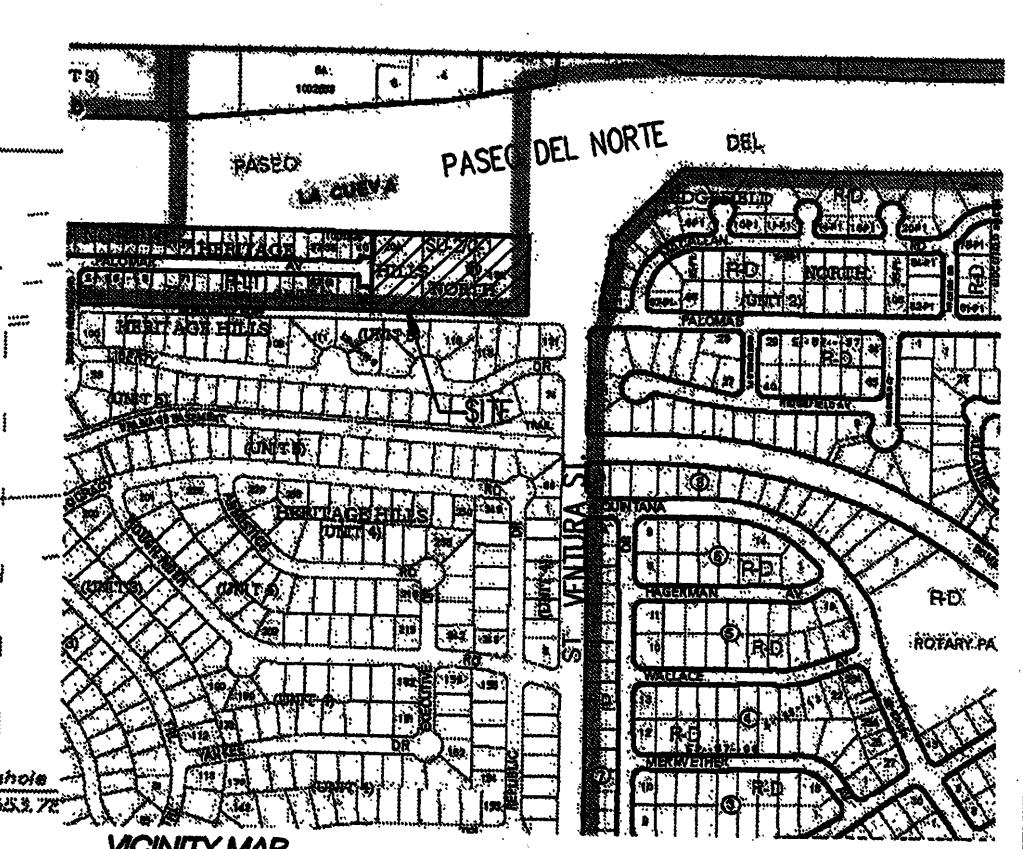
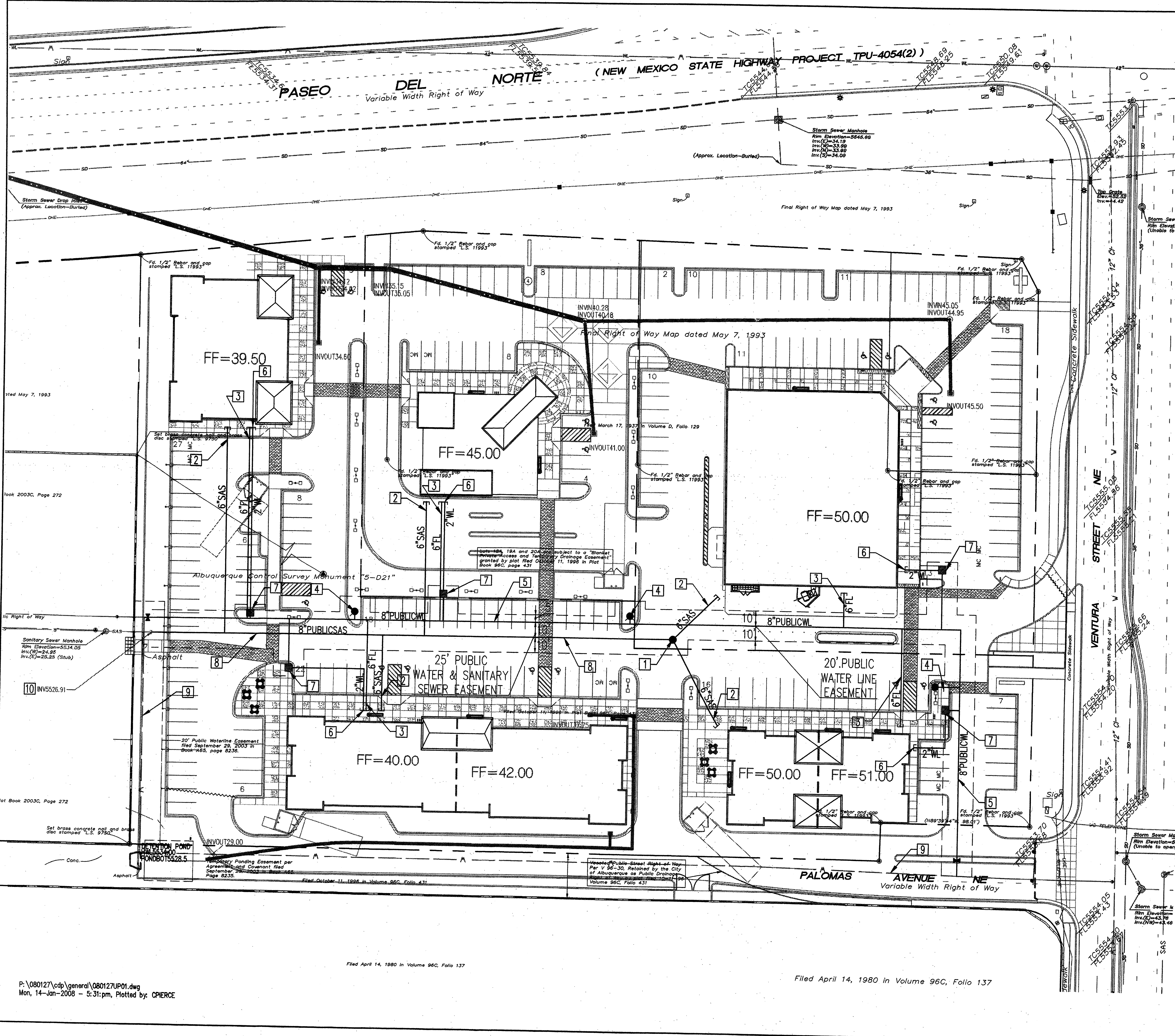
REV	DATE	BY	REVISION
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**DRB SUBMITTAL**

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



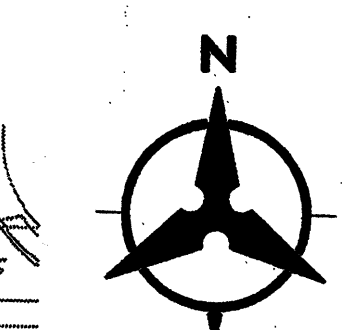
PROJECT TITLE	PASEO DEL NORTE & VENTURA
PROJECT MANAGER	JCS
DATE	01.15.08
SCALE	AS NOTED
SHEET TITLE	CONCEPTUAL GRADING PLAN
SHEET NO.	C1



ALTA/AC.S.M. LAND TITLE SURVEY OF  
 PORTIONS OF LOTS 13, 14, 15, 16 AND 17  
 AND ALL OF LOTS 18A, 19A AND 20A  
 BLOCK 31  
 TRACT A, UNIT A  
 NORTH ALBUQUERQUE ACRES  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER, 2006

- UTILITY KEYED NOTES**
1. SAS MANHOLE
  2. 6" SAS SERVICE
  3. 6" FIRE SPRINKLER SERVICE LINE
  4. 6" FIRE SERVICE LINE & HYDRANT
  5. 8" PUBLIC WATERLINE
  6. DOMESTIC WATER SERVICE LINE
  7. WATER METER BOX
  8. 8" PUBLIC SANITARY SEWER
  9. ABANDON WATER LINE
  10. CONNECT TO EXISTING SAS STUBOUT

- LEGEND**
- PROPERTY LINE
  - SAS
  - EX SANITARY SEWER & MANHOLE
  - EX STORM DRAIN & MANHOLE
  - EX WATER LINE
  - RELOCATED PUBLIC FIRE HYDRANT
  - EX FIRE HYDRANT
  - PRIVATE FIRE HYDRANT
  - PROPOSED CLEANOUT
  - PROPOSED SANITARY SEWER MANHOLE
  - 8" SAS
  - PROPOSED SANITARY SEWER
  - 2" WL
  - PROPOSED WATERLINE
  - 6" FL
  - PROPOSED FIRELINE
  - WATER METER VAULT



**Bohman & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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**CONCEPTUAL UTILITY PLAN**  
 SCALE: 1" = 30'-0"  
 0' 15' 30' 90'

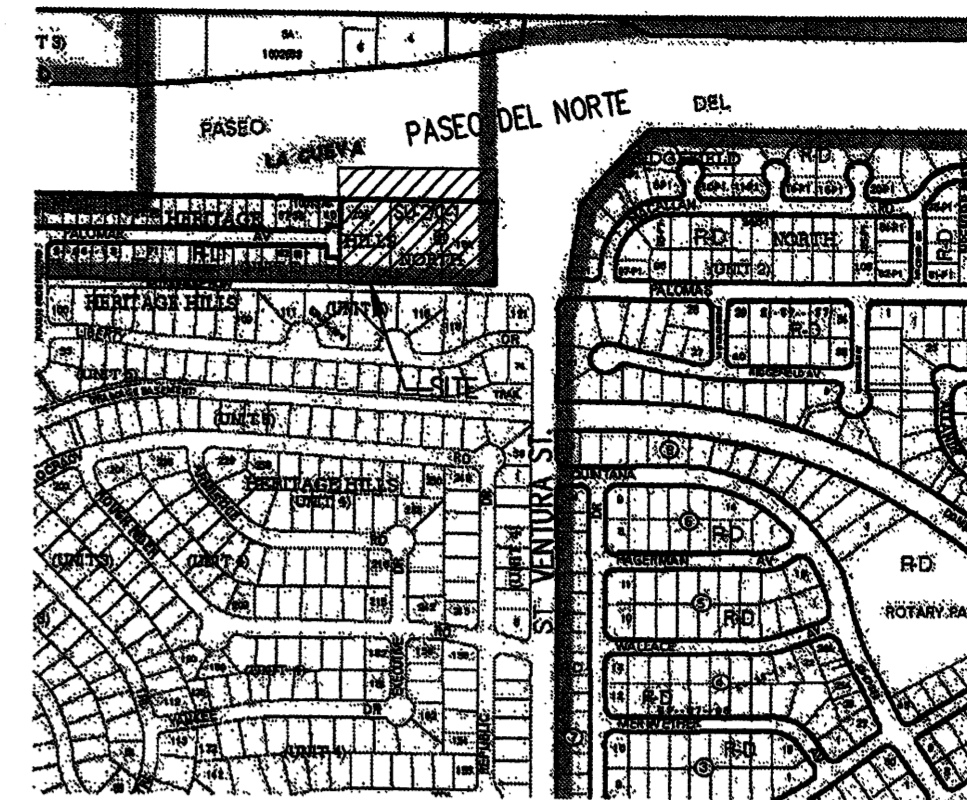
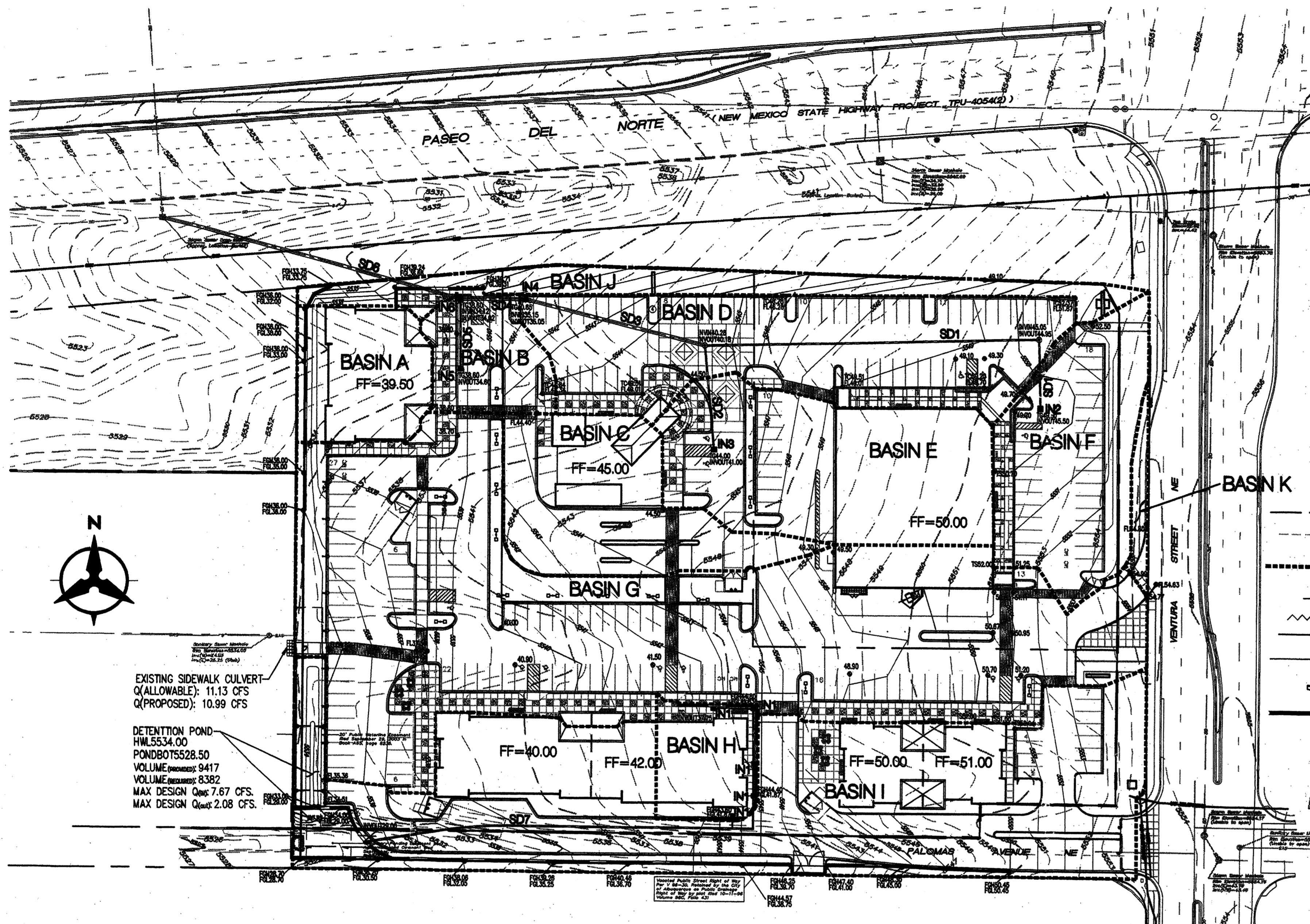
REV	DATE	BY	REVISION

**DRB SUBMITTAL**

PROJECT TITLE: PASEO DEL NORTE & VENTURA  
 PASEO DEL NORTE AND VENTURA ALBUQUERQUE, NM  
 PROJECT MANAGER: [ ]  
 SHEET TITLE: CONCEPTUAL UTILITY PLAN

DATE: 01.15.08  
 SCALE: AS NOTED  
 SHEET: C2

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**VICINITY MAP, ZONE ATLAS MAP PG. D-20-Z**

**LEGAL DESCRIPTION**  
 Block 31, Tract A, Unit A, North Albuquerque Acres, Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17, and Tract B, Heritage Hills North

- LEGEND**
- PROPERTY LINE
  - - - - - EXISTING CONTOURS
  - BASIN BOUNDARY
  - PROPOSED DIRECTION OF FLOW
  - ~~~~~ WATER BLOCK
  - - - - - PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED STORM DRAIN INLET
  - PROPOSED RETAINING WALL

**GRADING AND DRAINAGE NARRATIVE**

**Site Location and Background Information**

The purpose of this submittal is to present a drainage and grading plan for the proposed Paseo del Norte & Ventura development. The design site proposes commercial use development. The site is in rainfall zone 3 as defined by figure A-1 of the DPM section 22.2. The existing legal description of the site is Block 31, Tract A, Unit A, North Albuquerque Acres (Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17), and Tract B, Heritage Hills North. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support of site plan approval.

The North Heritage Hills Subdivision Phase III drainage report, prepared by Tierra West, LLC addresses drainage to Palomar St. and the existing channel that runs behind the housing on the south side of Palomar St. This submittal specifies discharge rates into Palomar St. and the existing channel that are less than the allowable discharge rates specified in the North Hills Subdivision drainage report. This submittal also specifies storm run off into the existing storm drain that parallels Paseo del Norte.

**Existing Conditions**

This entire site (Tract A and Tract B) is approximately 6 acres and is a vacant lot. The natural slope of the site is a consistent 3% to 4% from east to west. The northern portion of the site drains to inlets along the large storm drain parallel to Paseo del Norte, the center of Tract A flows to a large sidewalk culvert that drains to Palomar, and the south portion of Tract A and Tract B flow into the channel that runs behind the housing on the south side of Palomar which is a drainage right of way retained by the City of Albuquerque.

**Proposed Conditions**

Under proposed conditions the site will slope from east to west with slopes varying from 1% to 7% to make up grade difference across the whole site and allow for functional and required slopes within the development. The site will be commercial development and is 90% treatment D. The site will continue to drain to the north storm drain, Palomar St. and the existing channel. The north portion of the site will collect drainage in a storm drain system and convey drainage to the large storm drain parallel to Paseo del Norte. The central portion of the development will drain to the sidewalk culvert and into Palomar St. The allowable discharge to Palomar St. is 11.13 cfs and under proposed conditions the unmitigated discharge will be 11 cfs. The south portion of the site will drain to a detention pond in the southwest corner of the site. The detention pond and outlet pipe will be designed to outfall less than the allowable discharge of 2.08 CFS into the existing channel.

**Flood plain**

In accordance with FEMA community map panel #????????, the site is not located within a flood plain.

**Offsite Flows**

There are no significant upstream offsite flows which will impact this site.

**Conclusions**

This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed, general surface grading and drainage. The implementation of this design will result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for the DRB.

EXISTING SIDEWALK CULVERT  
 Q(ALLOWABLE): 11.13 CFS  
 Q(PROPOSED): 10.99 CFS

DETENTION POND  
 HWL5534.00  
 POND BOT5528.50  
 VOLUME: 9417  
 VOLUME: 8382  
 MAX DESIGN Q: 7.67 CFS  
 MAX DESIGN Q: 2.08 CFS

**STORM DRAIN PIPE TABLE**

PIPE #	Contributing Basins and Storm Drains	Size in.	Slope	Capacity cfs	ACTUAL FLOW cfs
<b>NORTH</b>					
SD1	BSN F	12	1.00%	3.56	1.88
SD2	BSN E	12	1.00%	3.56	2.67
SD3	SD1+SD2	18	1.00%	10.50	4.55
SD4	SD3+BSN D	18	1.00%	10.50	7.74
SD5	BSN B	10	1.00%	2.19	0.76
SD6	SD4+SD5+BSN B+BSNA	24	1.00%	22.62	10.26
SD7	BSN H	12	1.00%	3.56	0.72

**PASEO DEL NORTE & VENTURA SITE BASIN PROPERTIES**

*Proposed Ultimate Development Conditions Basin Data Table*  
 This table is based on the DPM Section 22.2, Zone: 3

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	V(100) (Inches)	V(100) <sub>24hr</sub> (CF)	V(100) <sub>24hr</sub> (CF)
			A	B	C	D					
BASIN A	9018	0.21	0.0%	0.0%	10.0%	90.0%	4.86	1.01	2.25	1693	2031
BASIN B	8779	0.16	0.0%	0.0%	10.0%	90.0%	4.86	0.76	2.25	1273	1527
BASIN C	16477	0.38	0.0%	5.0%	5.0%	90.0%	4.82	1.82	2.23	3068	3686
BASIN D	28130	0.65	0.0%	0.0%	5.0%	95.0%	4.94	3.19	2.31	5407	6520
BASIN E	23556	0.54	0.0%	0.0%	5.0%	95.0%	4.94	2.87	2.31	4528	5460
BASIN F	17709	0.41	0.0%	10.0%	10.0%	80.0%	4.82	1.88	2.11	3112	3703
BASIN G	82790	1.90	0.0%	5.0%	5.0%	90.0%	4.82	9.16	2.23	15416	18521
BASIN H	6222	0.14	0.0%	0.0%	0.0%	100.0%	5.02	0.72	2.36	1224	1483
BASIN I	62835	1.44	0.0%	5.0%	5.0%	90.0%	4.82	6.95	2.23	11700	14057
BASIN J	10280	0.24	0.0%	0.0%	95.0%	5.0%	3.53	0.83	1.34	1151	1172
BASIN K	1480	0.03	0.0%	25.0%	0.0%	75.0%	4.42	0.15	2.00	247	293

**INLET TABLE**

Inlet #	Inlet Type	Top of Grate	Actual Flow	Avail Head ft	Capacity
IN1	12" Nyloplast Pedestrian	41.78 (approx)	0.18	0.1	0.60
IN2	2'X2' Nyloplast Road & Highway	49.50	1.88	0.2	4.25
IN3	2'X2' Nyloplast Road & Highway	44.00	2.67	0.5	6.00
IN4	2'X2' Nyloplast Road & Highway	40.65	3.19	0.2	4.25
IN5	2'X2' Nyloplast Road & Highway	38.60	0.38	0.2	4.25
IN6	2'X2' Nyloplast Road & Highway	38.60	0.38	0.2	4.25

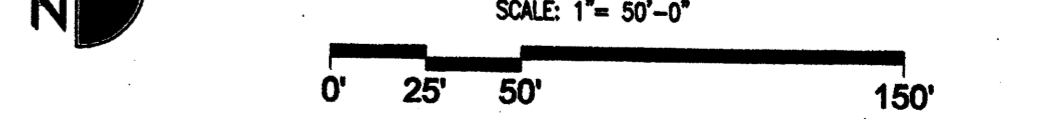
**TO DET POND (sum BSNs H and I)**  
 69057 1.59

Allowable Flow: 11.13 cfs to Palomar ave.  
 2.08 cfs to South discharge channel

Proposed Q to Palomar: 10.99 7.67

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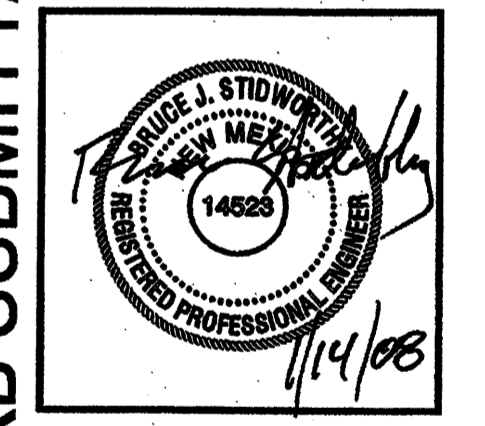
**CONCEPTUAL DRAINAGE MANAGEMENT PLAN**



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**DRB SUBMITTAL**

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**PASEO DEL NORTE & VENTURA**  
 PASEO DEL NORTE AND VENTURA  
 ALBUQUERQUE, NM

PROJECT MANAGER: JCS  
 DRAWN BY: JCS

**DRAINAGE MANAGEMENT PLAN**

DATE: 01.15.08 sheet: C2A  
 SCALE: AS NOTED of: