

VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone (NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2007483512
- City of Albuquerque Zone Atlas Page D-20.
- The subject property is currently zoned SU-2/C-1 as shown on City of Albuquerque Zone Atlas Page D-20, dated May 17, 2007

PURPOSE OF PLAT

The purpose of this plat is to

- Eliminate the existing interior tract/lot lines and subdivide into three (3) new Tracts as shown hereon.
- Show the Vacation of Private Access and Drainage Easement Vacated by 08DRB-70028
- Show the Vacation of Public Drainage Easements and Public right of way Vacated by 08DRB-70053 and DRB08-70054.
- Grant the new easements as shown hereon.

SUBDIVISION DATA

- Total number of existing Lots: 8
- Total number of existing Tracts: 1
- Total number of Tracts created: 3
- Gross Subdivision acreage: 5.8906 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

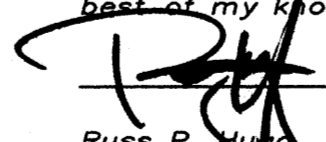
Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.


Russ P. Hugg
NMPS No. 9750
December 3, 2007



PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

PROJECT NUMBER: _____

Application Number: _____

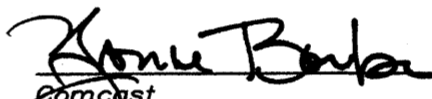
PLAT APPROVAL


Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Corporation _____ Date _____


Comcast _____ 1-15-08
Date _____

City Approvals: _____

City Surveyor _____ 1-15-08
Date _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

**PLAT OF
PARCELS A, B AND C
VENTURA PLAZA**

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION
OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN
**PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**
DECEMBER, 2007

LEGAL DESCRIPTION

That certain tract of land lying and situate within the Elena Gallegos Grant in projected Section 20, Township 11 North, Range 4 East, City of Albuquerque, Bernalillo County, New Mexico, being and comprising the following:

All of Lots numbered 18A, 19A and 20A in Block numbered 31 of North Albuquerque Acres, Tract A, Unit A, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431.

TOGETHER WITH:

An Easterly portion of Tract B, Heritage Hills North as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431 and a portion of Palomas Avenue NE as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Volume D, Folio 129, Both parcels having been Vacated by City of Albuquerque Vacation action 08DRB-70053 and 08DRB-70053.

TOGETHER WITH:

The remaining Southerly portions of Lots numbered Thirteen (13) through Seventeen (17), Block 31, North Albuquerque Acres, Tract A, Unit A, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, said remaining portions acquired by the New Mexico State Highway and Transportation Department as Right of Way under New Mexico Project Number TPU-4054(2), with said tracts to be possibly sold as excess right of way, said tract being more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 13 (a concrete nail and brass disc stamped "L.S. 9750" set) said point also being the Northwest corner of said Lot 20A and a point on the South present day right of way line of Passo Del Norte, New Mexico Project TPU-4054(2) whence the Albuquerque Control Survey Monument "5-D21" bears S 57° 47' 43" E, 3993.32 feet distant; Thence,

N 00° 16' 38" E, 133.02 feet to the Northwest corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

N 84° 43' 40" E, 187.12 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 88° 15' 21" E, 394.94 feet to the Northeast corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 28° 06' 31" E, 23.91 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 02' 47" W, 120.76 feet a point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 14' 02" W, 233.96 feet to an angle point on the Southerly line of said Lot 17 (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 02° 47' 51" W, 54.07 feet to a point on the Northerly line of Heritage Hills North Unit 5 as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico April 14, 1980 in Plat Book C15, page 137; Thence,

N 89° 39' 44" W, 590.47 feet along said Northerly line of Heritage Hills North Unit 5 to the Southwest corner of the tract herein described; Thence,

N 00° 13' 28" E, 29.29 feet to the Southwest corner of said Lot 20A (a concrete nail and brass disc stamped "LS 9750" set); Thence,

N 00° 13' 48" E, 258.84 feet to the point of beginning of the tract herein described.


Said tract contains 5.8906 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF VENTURA PLAZA (BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.) WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ALM, L.L.C.
a New Mexico limited liability company


By: Adil Rizvi, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS



OFFICIAL SEAL
DOUGLAS H. PETERSON
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 11/28/11

This instrument was acknowledged before me on this 14th day of FEBRUARY, 2008, by Adil Rizvi.


Notary Public

11/28/11
My commission expires

Documents used in the preparation of this survey are as follows:

- A. Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 43.
- B. Plat entitled "LOTS 112-A & 113-A, Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1981, in Plat Book C12, Page 65.
- C. Plat entitled "38, 39, 40, 59, 60 and 61, Heritage Hills North Unit II", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003 in Plat Book 2003C, Page 272.
- D. Plat entitled "TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Plat Book D, Page 137.
- E. Plat entitled "Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 14, 1980, in Plat Book C16, Page 137.
- F. Plat entitled "Heritage Hills North Unit 2", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003, in Plat Book 2003C, Page 272.
- G. Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- H. Plat entitled "Lots 18A, 19A and 20A, Block 31, TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- I. New Mexico State Highway Commission Right of Way Map, New Mexico Project No. TPU-4054(2). Final Map dated May 7, 1993.
- J. Title Reports prepared for this property by LandAmerica Albuquerque Title, and underwritten by Commonwealth Land Title Insurance Company, Commitment for Title Insurance No. 6216000368 and 6216000368A, dated July 13, 2006.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"



SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L3	31.33'	N00°00'00"E
L4	20.00'	N90°00'00"E
L5	12.68'	N90°00'00"E
L6	21.19'	N00°00'00"E
L7	20.01'	N90°00'00"E
L8	21.31'	S00°00'00"W
L9	72.24'	S89°39'44"E
L10	30.03'	N02°47'51"E
L11	20.00'	N00°00'00"E
L12	10.00'	N00°00'00"W
L13	28.53'	N90°00'00"W
L14	5.27'	N00°00'00"E
L16	20.00'	N89°57'09"E

LINE	LENGTH	BEARING
L17	10.26'	N00°00'00"E
L18	15.74'	N00°00'00"W
L19	20.00'	N90°00'00"W
L20	15.74'	S00°00'00"E
L21	38.00'	N90°00'00"W
L22	10.27'	N00°00'00"E
L23	20.00'	N90°00'00"W
L24	10.27'	S00°00'00"E
L25	1.23'	N00°00'00"E
L26	20.00'	N90°00'00"E
L27	1.23'	S00°00'00"E
L28	14.19'	S00°00'00"E
L29	20.00'	S90°00'00"E
L30	14.19'	N00°00'00"W

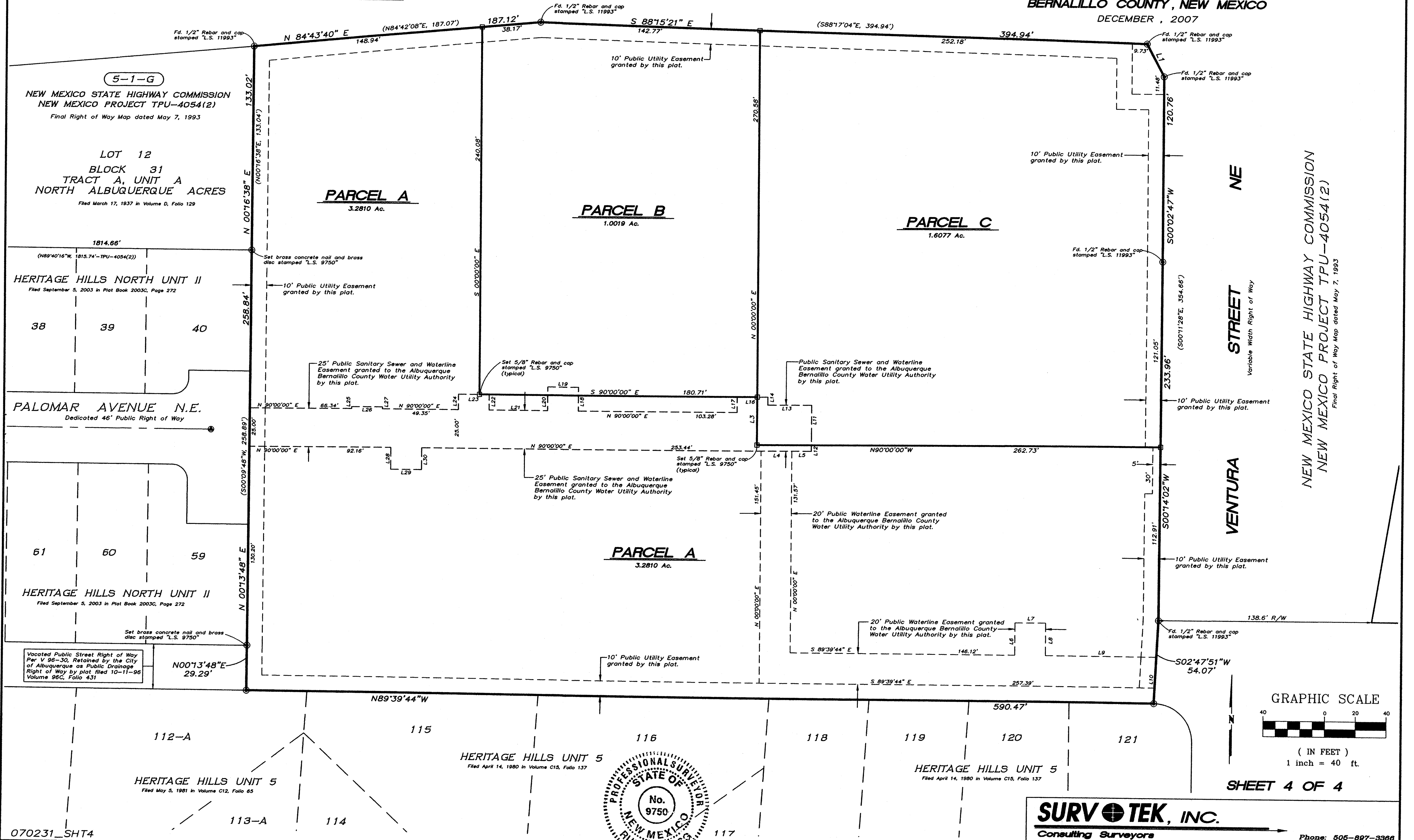
NOTE
 Parcels A, B and C, Ventura Plaza are subject to that certain "DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND CROSS EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on the ____ day of _____, 2008, as Doc. No. _____

**PLAT OF
 PARCELS A, B AND C
 VENTURA PLAZA**

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

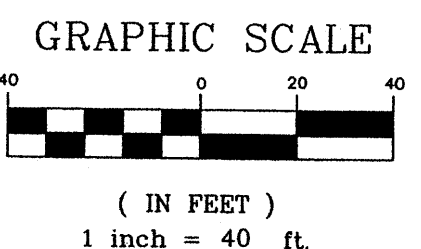
PASEO DEL NORTE
 (NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
 Variable Width Right of Way

WITHIN
THE ELENA GALLEGOS GRANT
 IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2007



NEW MEXICO STATE HIGHWAY COMMISSION
 NEW MEXICO PROJECT TPU-4054(12)
 Final Right of Way Map dated May 7, 1993

NE
 STREET
 Variable Width Right of Way
 VENTURA

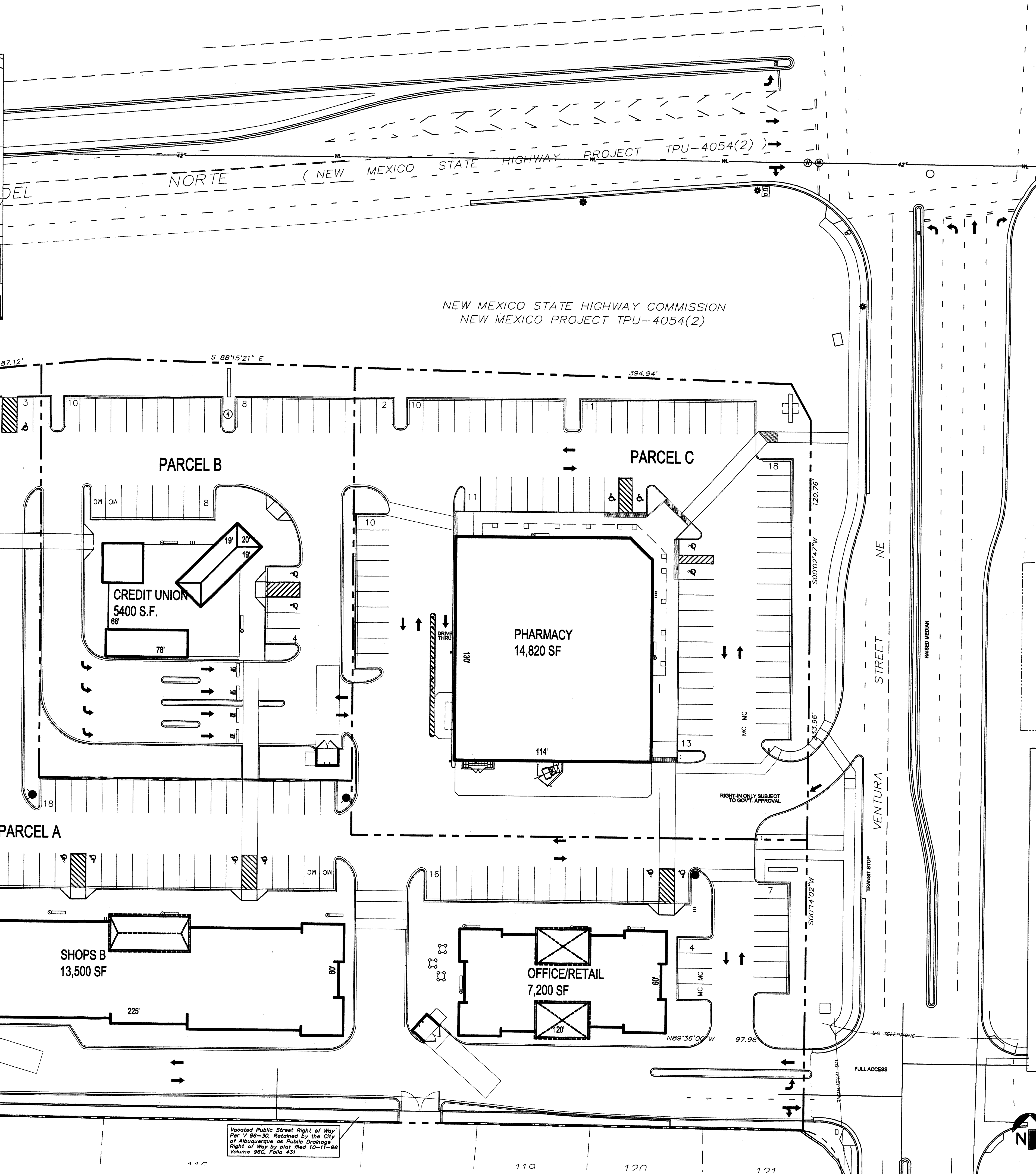
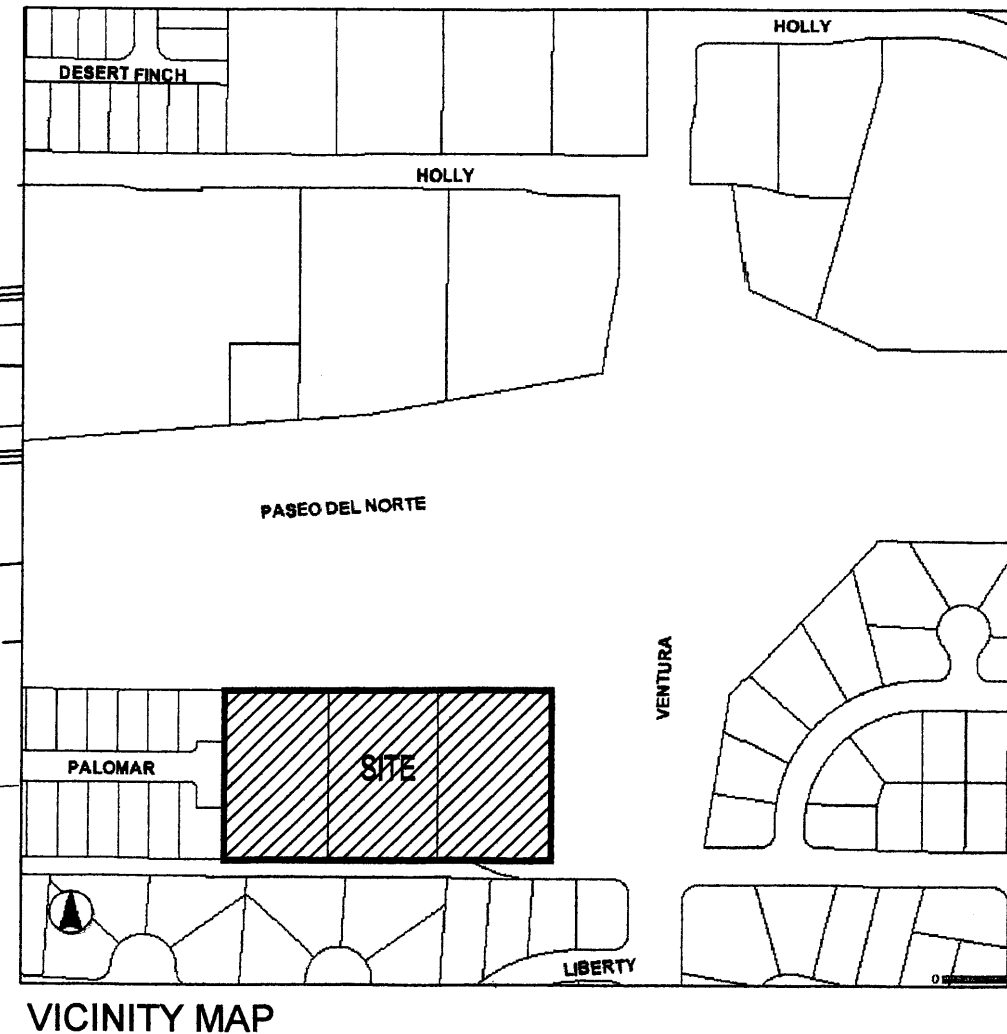


SHEET 4 OF 4



SURVTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

070231_SHT4



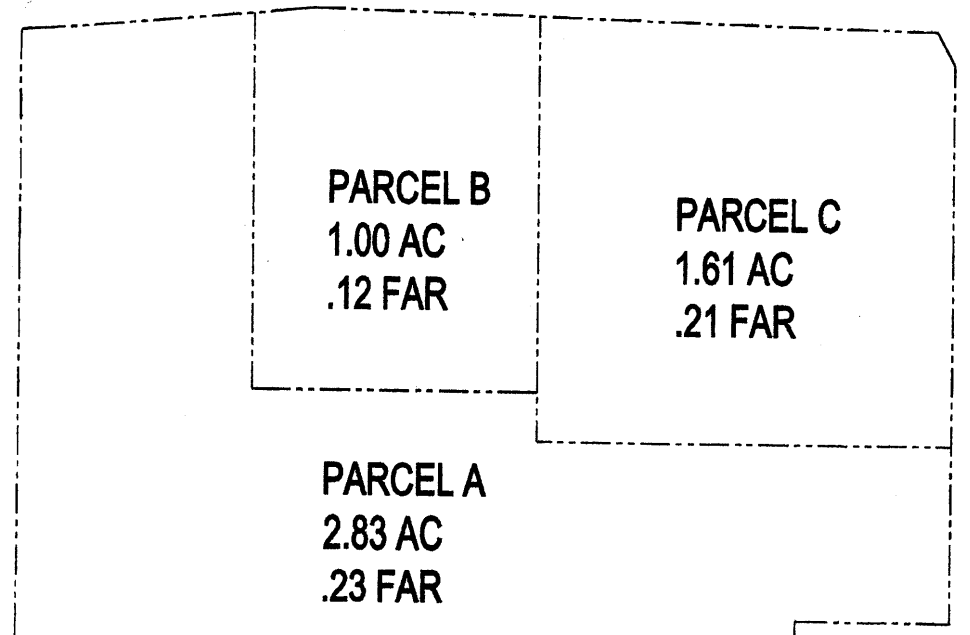
THE SITE IS LOCATED ON THE SOUTHWEST CORNER OF PASO DEL NORTE AND VENTURA. THE SITE IS 5.44 ACRES AND WILL BE SUBDIVIDED FROM ITS CURRENT THREE LOT CONFIGURATION TO A NEW THREE LOT CONFIGURATION. THE USES INCLUDE RETAIL IN COMPLIANCE WITH THE SU-2/C-1 ZONING, OFFICE, A BANK AND A PHARMACY. THE BANK AND THE PHARMACY EACH HAVE DRIVE-THRU SERVICE WINDOWS.

VEHICULAR INGRESS AND EGRESS IS OFF OF VENTURA WHERE THERE ARE TWO DRIVEWAYS. THE NORTHERN DRIVE IS A RIGHT-IN ONLY, THAT HAS BEEN DESIGNED TO INHIBIT RIGHT-OUT MOVEMENT AND THE SOUTHERN ONE IS FULL ACCESS. THERE IS A SERVICE ACCESS THAT RUNS TO THE SOUTH OF THE SITE. CROSS PARKING SHALL BE PERMITTED IN THIS SHOPPING CENTER.

PEDESTRIAN INGRESS AND EGRESS IS PROVIDED FROM VENTURA AT SEVERAL LOCATIONS. ACCESS FROM THE NEIGHBORHOOD TO THE WEST WILL BE PROVIDED. WITHIN THE SITE, ALL BUILDINGS CAN BE ACCESSED VIA A NETWORK OF SIDEWALKS AND CROSSWALKS.

THE MAXIMUM BUILDING HEIGHT IS 28'-0" MAX. TALLER ARCHITECTURAL ELEMENTS ARE PERMITTED. ARCHITECTURAL ELEMENTS OVER 26 FEET TALL ARE PERMITTED PURSUANT TO THE LA CUEVA SECTOR DEVELOPMENT PLAN AND THE ZONING CODE.

THE MINIMUM BUILDING SET BACKS ARE 5'-0" FOR THE FRONT AND CORNER SIDE YARD, AND NOT LESS THAN 5'-0" WHERE THE SITE ABUTS THE SIDE OF A RESIDENTIAL ZONE AND 15'-0" WHERE THE SITE ABUTS THE REAR OF A RESIDENTIAL ZONE. ALL BUILDING SETBACKS SHALL COMPLY WITH THE LA CUEVA SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING CODE.



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

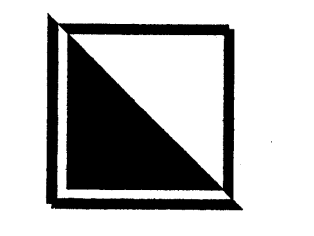
Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB-Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
1	2.14.08	JS	DRB COMMENTS
2	12.20.07	JS	EPC CONDITIONS
3	11.1.07	JS	PLANNER COMMENTS
4	9.26.07	JS	PLANNER COMMENTS
5	7.20.07	JCS	PLANNER COMMENTS



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: **PASO DEL NORTE & VENTURA**
 PASO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

PROJECT MANAGER: _____

JOB NO.: _____

DRAWN BY: JCS

SHEET TITLE: **SITE PLAN FOR SUBDIVISION**

DATE: 6.22.07 sheet

SCALE: AS NOTED **AS1**

of _____

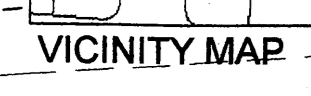
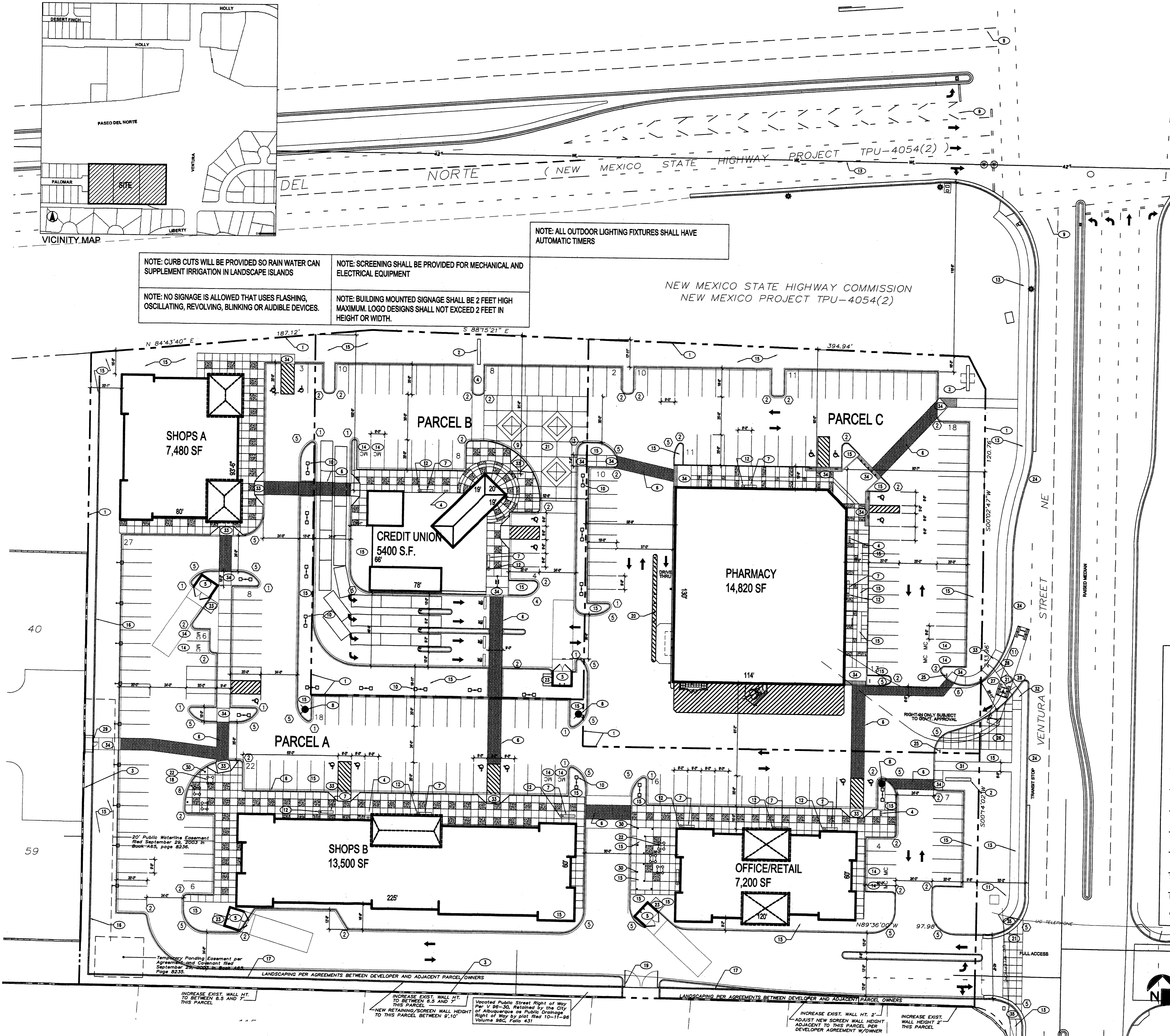
DRB SUBMITTAL
SITEPLAN
 SCALE: 1" = 30'-0"
 0' 15' 30' 90'

100 6602

20' Public Waterline Easement filed September 29, 2003 in Book 485, page 8236.

Temporary Ponding Easement per Agreement and Consent filed September 29, 2003 in Book 485, page 8235.

Vacated Public Street Right of Way Per V 96-30, Retained by the City of Albuquerque as Public Drains Right of Way by plat filed 10-11-96 Volume 96C, Folio 431



NOTE: CURB CUTS WILL BE PROVIDED SO RAIN WATER CAN SUPPLEMENT IRRIGATION IN LANDSCAPE ISLANDS

NOTE: SCREENING SHALL BE PROVIDED FOR MECHANICAL AND ELECTRICAL EQUIPMENT

NOTE: NO SIGNAGE IS ALLOWED THAT USES FLASHING, OSCILLATING, REVOLVING, BLINKING OR AUDIBLE DEVICES.

NOTE: BUILDING MOUNTED SIGNAGE SHALL BE 2 FEET HIGH MAXIMUM. LOGO DESIGNS SHALL NOT EXCEED 2 FEET IN HEIGHT OR WIDTH.

NOTE: ALL OUTDOOR LIGHTING FIXTURES SHALL HAVE AUTOMATIC TIMERS

NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)

- KEYED NOTES**
- PROPERTY LINE
 - MONUMENT SIGN
 - EXISTING CMU WALL
 - BICYCLE RACKS
 - DUMPSTER ENCLOSURE
 - CROSSWALK BRICK PAVERS
 - 8'-0" X 1'-6" BENCH, LOCATION NOT TO CONFLICT WITH DOORS OR TREES.
 - PROPOSED FIRE HYDRANT.
 - EXISTING TRAFFIC SIGNAL
 - SITE LIGHTING
 - EXISTING BUS STOP
 - TRASH RECEPTACLES
 - EXISTING SIDEWALK
 - MOTORCYCLE PARKING, WITH UPRIGHT SIGNAGE
 - LANDSCAPE AREA
 - 6" TALL DECORATIVE SPLIT FACE CMU SCREEN WALL
 - 6" TALL DECORATIVE SPLIT FACE CMU SCREEN WALL, ON RETAINING WALL
 - UMBRELLAS
 - NEW GATE IN 6" SCREEN WALL
 - BOLLARDS
 - COLORLED TEXTURED CONCRETE TABLES AND CHAIRS
 - RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
 - FULL HEIGHT CURB
 - "NO EXIT" SIGNAGE
 - COLORLED, TEXTURED CONCRETE WITH ROLLOVER CURB TO ACCOMMODATE TRUCK ENTRY
 - NEW DRIVEWAY PER COA STD. DWG 2425
 - NEW HC RAMP PER COA STD. DWG 2441
 - GATED PEDESTRIAN ACCESS
 - PEDESTRIAN LIGHTING 2' HIGH MAX.
 - NEW CONCRETE SIDEWALK
 - CURB RAMP PER COA STD DETAIL 2426
 - HC RAMP PER COA STD DETAIL 2441
 - DEPRESSED CURB & HC RAMP
 - REBUILD EXISTING RAMP PER COA STD DETAIL 2441 IF IT DOESN'T COMPLY WITH CURRENT ADA STANDARDS

- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 6'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

NOTE: WHEELCHAIR RAMP AT PASEO DEL NORTE & VENTURA TO BE REBUILT IF IT DOES NOT MEET CURRENT ADA STANDARDS

NOTE: THERE IS AN EXISTING BUS ROUTE AND STOP ON VENTURA. THERE IS AN EXISTING BIKE TRAIL ALONG PASEO DEL NORTE.

NOTE: CHAIN LINK FENCING, BARBED WIRE & CONCERTINA WIRE SHALL BE PROHIBITED

NOTE: OWNER SHALL MAINTAIN LANDSCAPING IN THE SOUTHERN LANDSCAPE BUFFER

NOTE: UPLIGHTING OF ANY KIND IS PROHIBITED

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

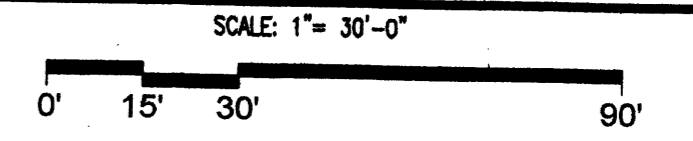
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

DRB SUBMITTAL

SITEPLAN



REV	DATE	BY	REVISION
1	7.5.07	JCS	EPC SUBMITTAL
2	5.18.07	NMH	NON LIQUOR PROTOTYPE
3	3.27.07	JH	DECEL LANE
4	2.18.07	JS	SERVICE DRIVE ADDED
5	2.13.07	JS	SURVEY IMPORTED
6		MS	INITIAL SITE PLANNING

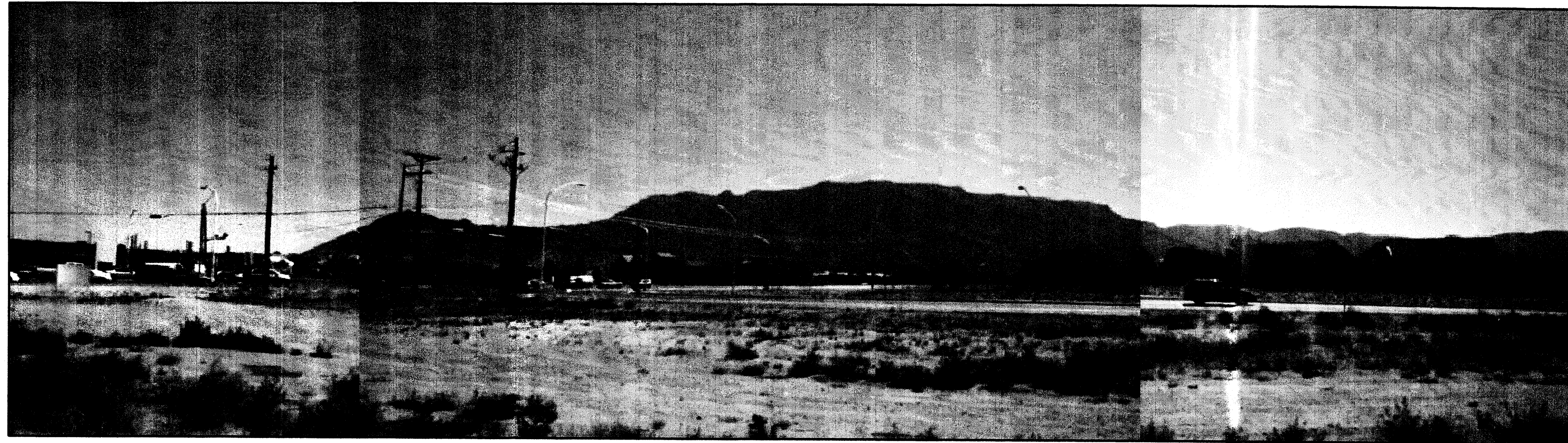
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
PASEO DEL NORTE & VENTURA
PASEO DEL NORTE AND VENTURA
ALBUQUERQUE, NM

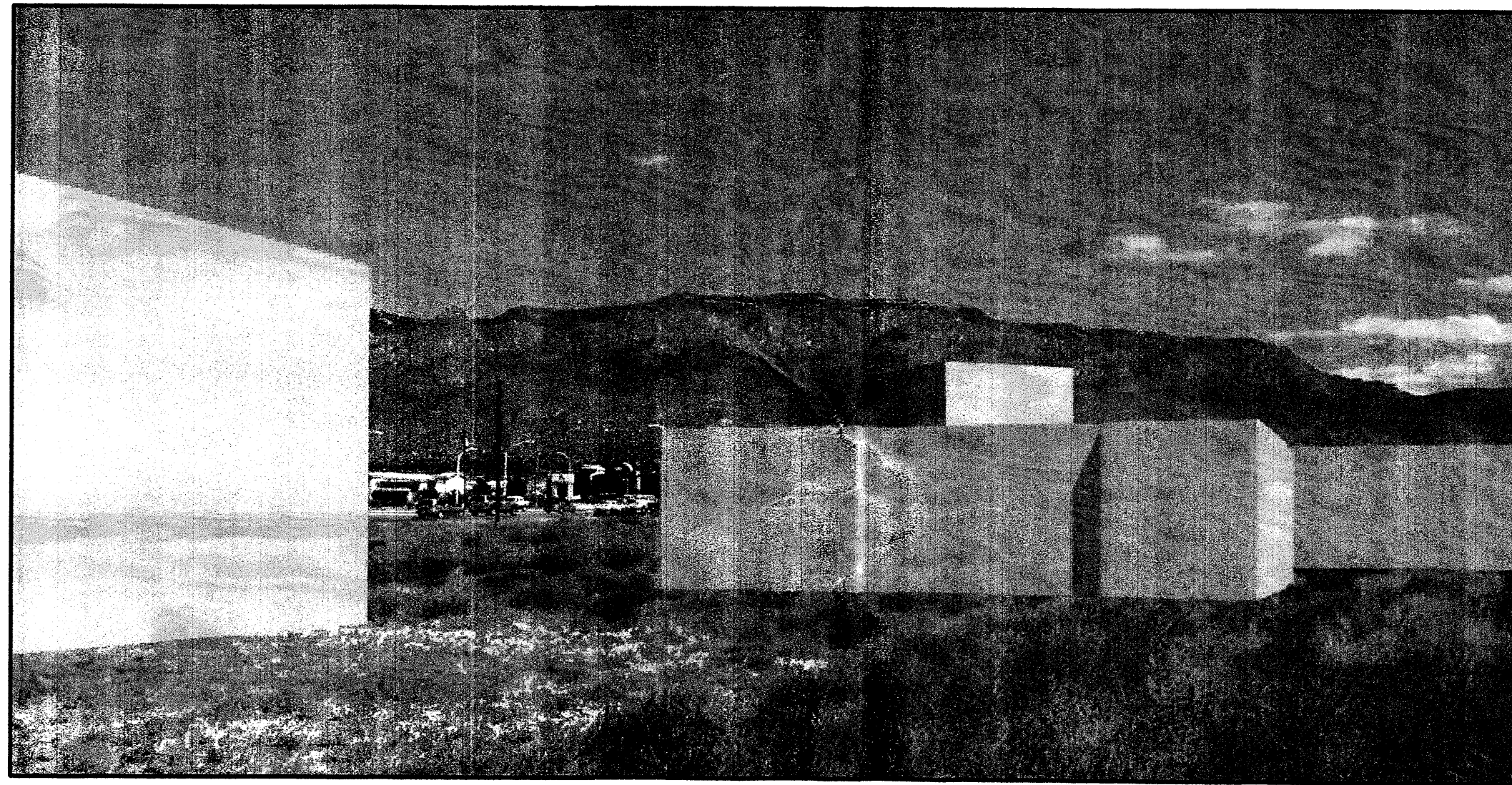
PROJECT MANAGER
DRAWN BY: JCS

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

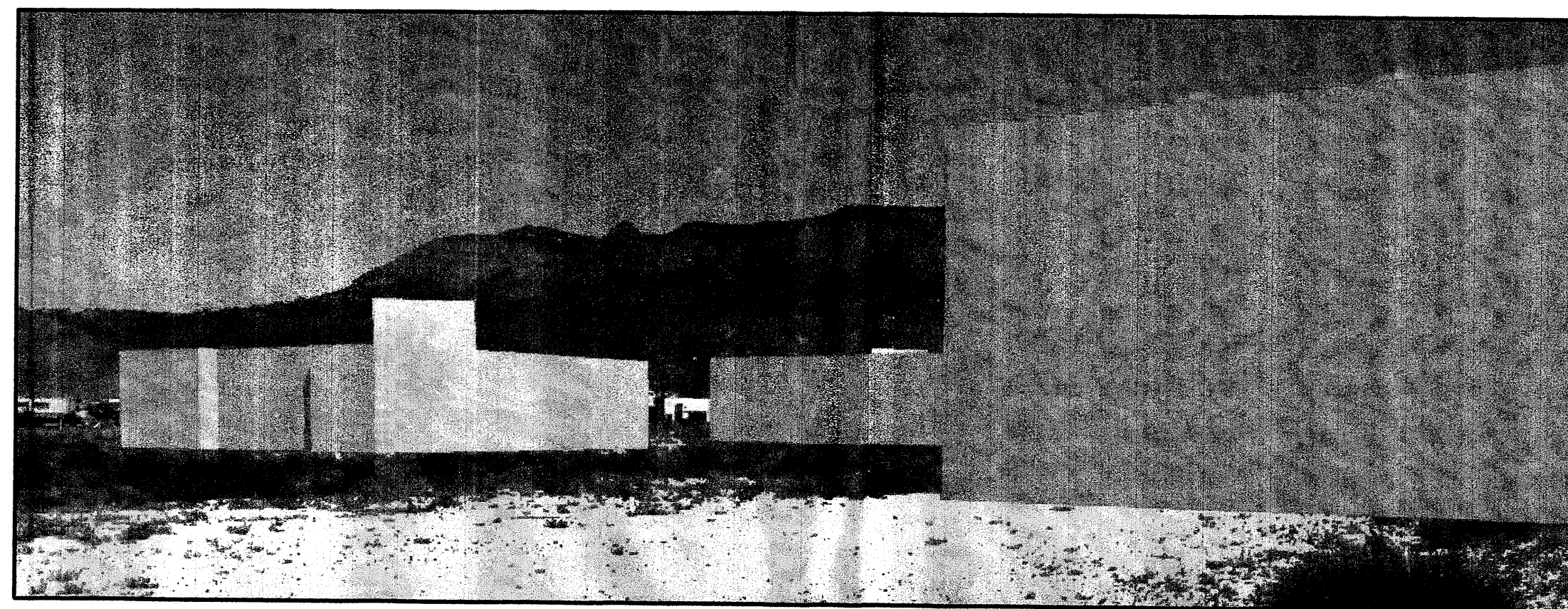
DATE: 6.22.07
SCALE: AS NOTED
sheet: AS2



VIEW EAST FROM SITE



VIEW A
FROM EAST OF LOT 40 LOOKING NORTHEAST.



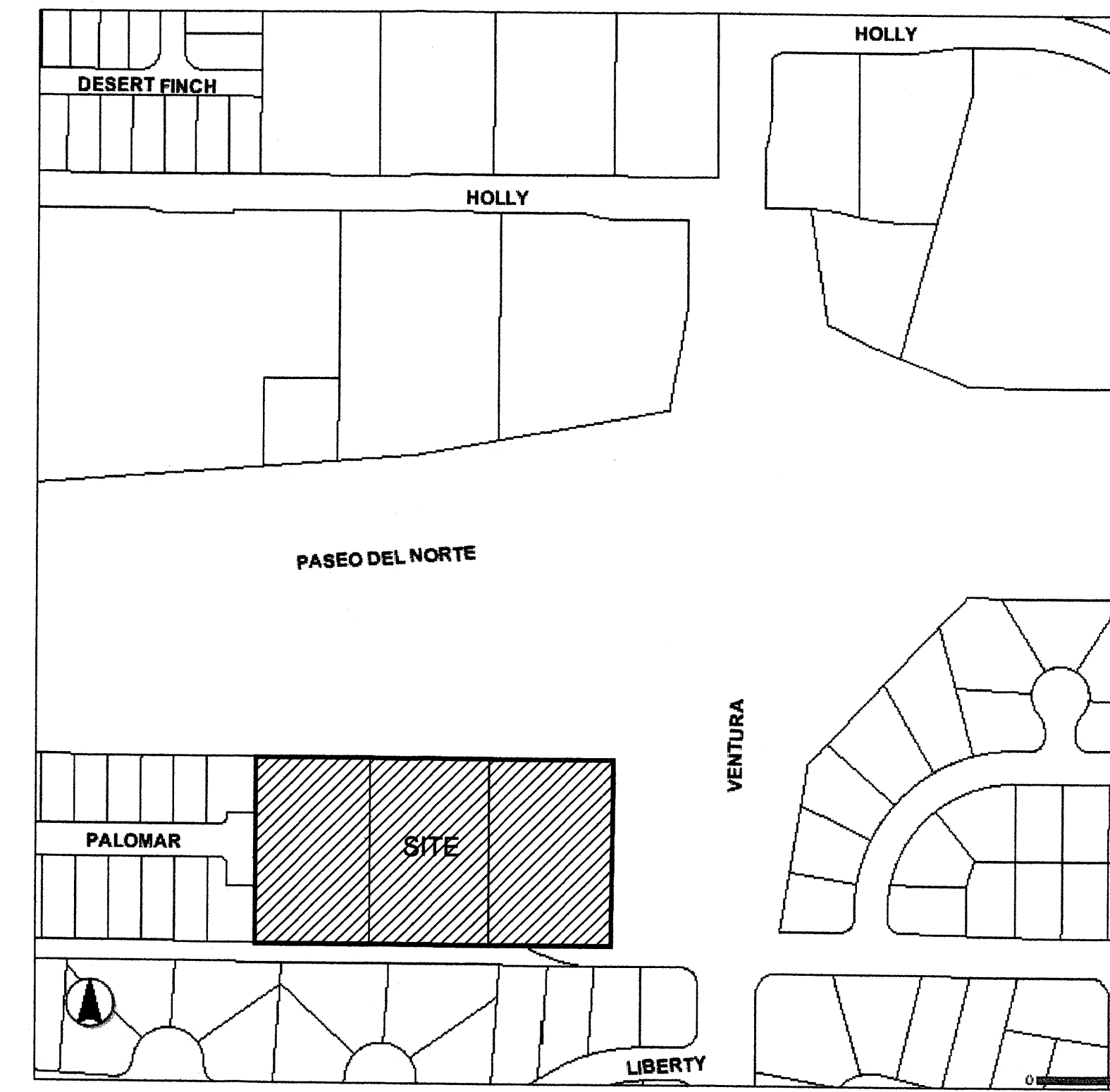
VIEW B
FROM EAST OF LOT 59 LOOKING NORTHEAST

PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING*	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING
A	123,237 S.F.	SU-2/C1	26'	.3	SHOPS A	7480	SEE CALC BELOW	111	9	6
					SHOPS B	13500				
					OFFICE/RETAIL	7200				
B	43,643 S.F.	SU-2/C1	26'	.3	CREDIT UNION	5400	28	2	2	
C	70,028 S.F.	SU-2/C1	26'	.3	PHARMACY	14820	72	4	3	
TOTALS						48400	209 MIN.	211	-	-

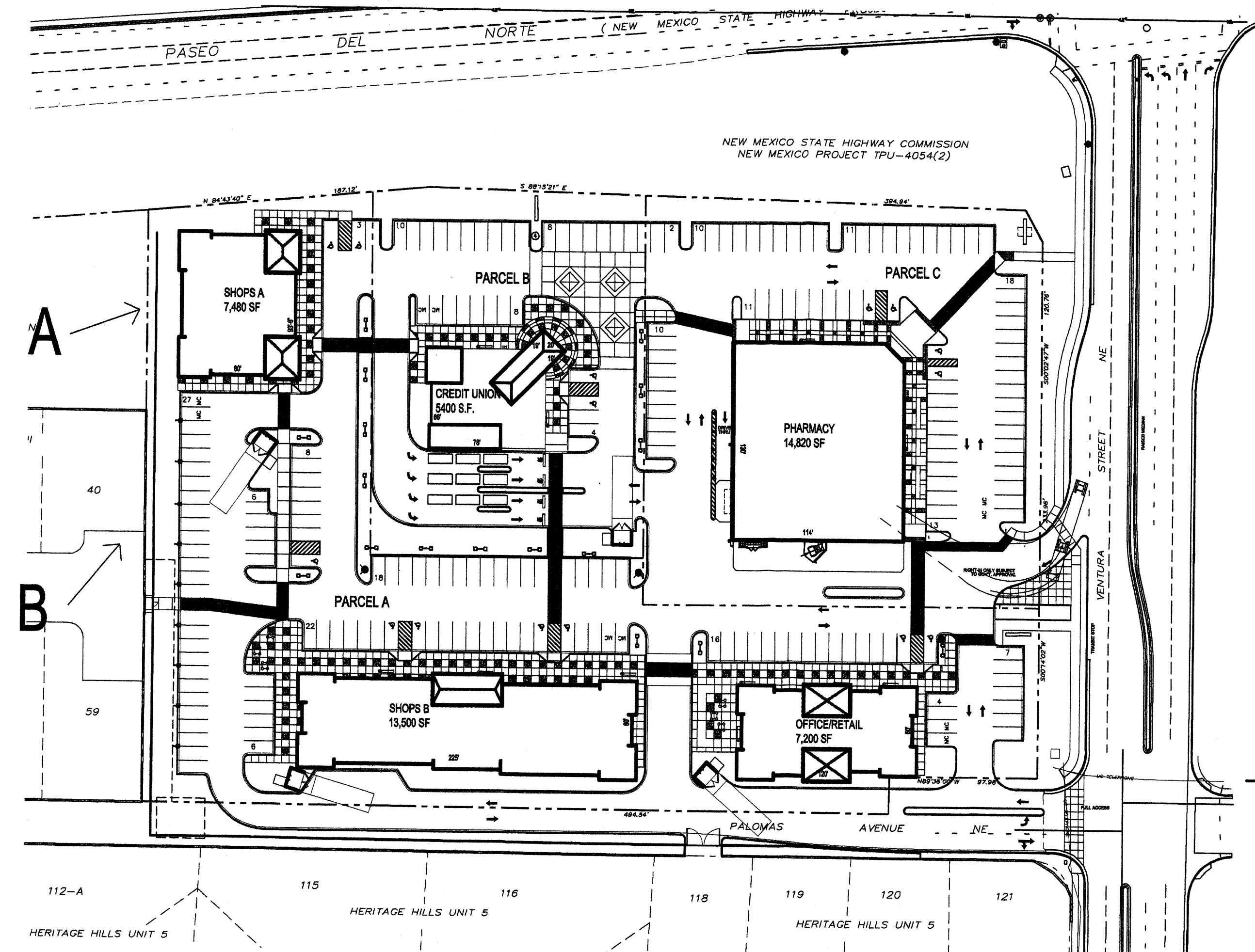
PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED PARKING / MOTORCYCLE PARKING IS PROVIDED IN ADDITION TO *PROVIDED PARKING* TOTALS

PARKING CALCULATIONS:
 PER CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-1 OFF-STREET PARKING REGULATIONS, (27) RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION: ONE SPACE PER 200 SQUARE FEET FOR THE FIRST 15,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE SPACE PER 250 SQUARE FEET FOR THE NEXT 45,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE PER 300 SQUARE FEET FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 SQUARE FEET.
 REQUIRED PARKING CALC:
 48,400 TOTAL BUILDING SQUARE FOOTAGE
 1ST 15000 SF @ 1 SPACE PER 200 SF = 15000/200 = 75 SPACES REQD.
 REMAINING 33,400 SF @ 1 SPACE PER 250 SF = 33,400/250 = 134 SPACES REQD.
 TOTAL SPACES REQD. = 75 + 134 = 209 MINIMUM*
 *(10% ADDITIONAL, OR 230 MAXIMUM ALLOWED)

VIEWS FROM WITHIN THE SITE WILL BE PROTECTED BY CONTROLLING BUILDING HEIGHT AND MAINTAINING BREAKS BETWEEN BUILDINGS



VICINITY MAP

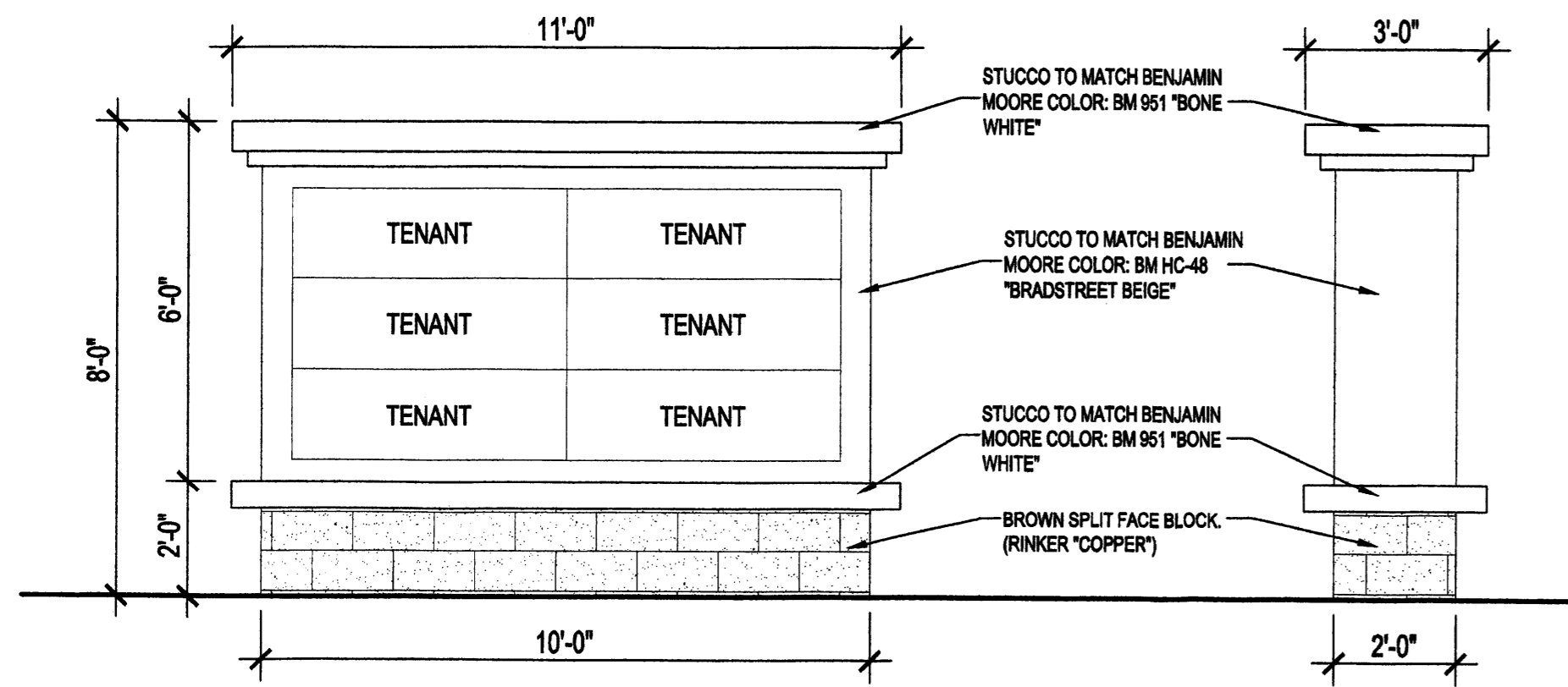


VIEW KEY PLAN

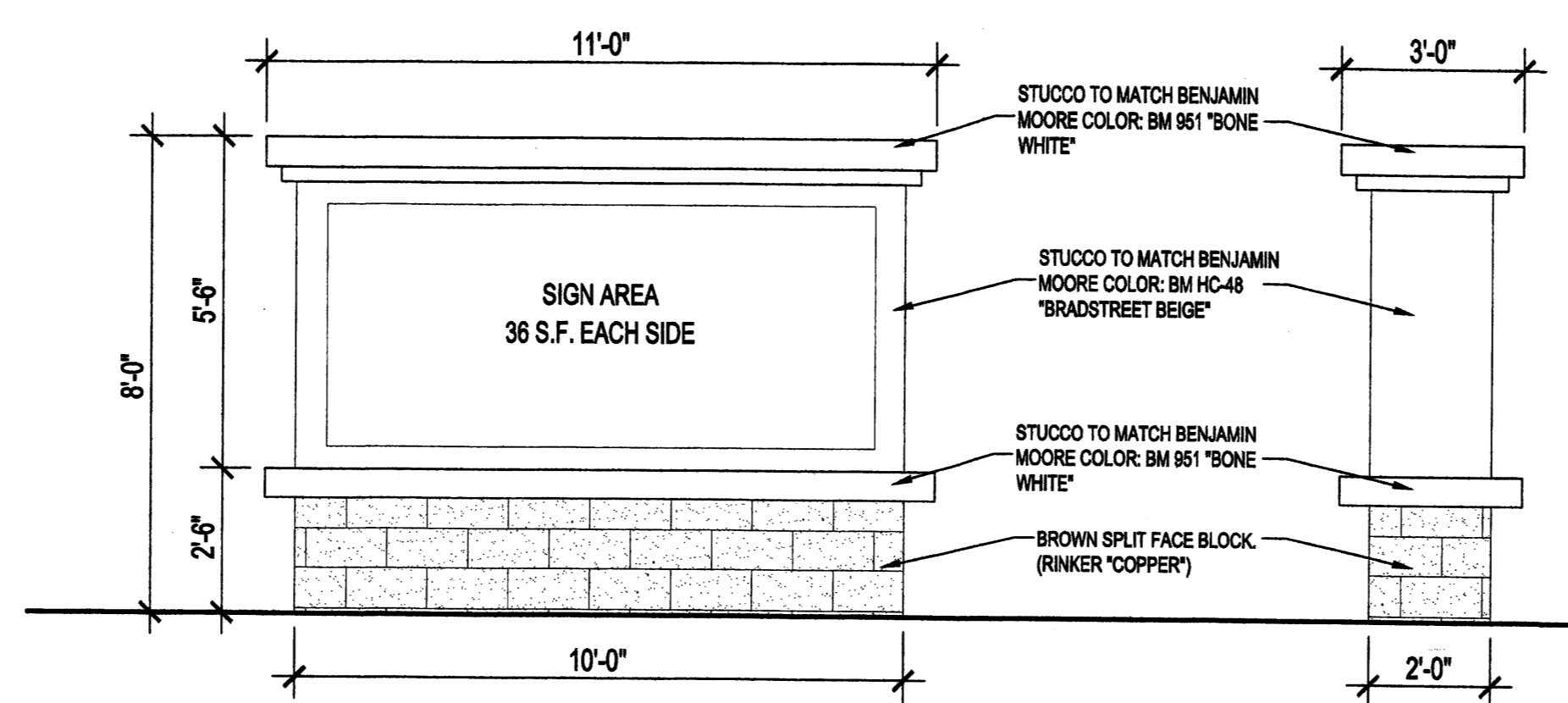
REV	DATE	BY	REVISION
A			
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A	12.20.07	JS	EPC CONDITIONS
A	11.1.07	JS	PLANNER COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
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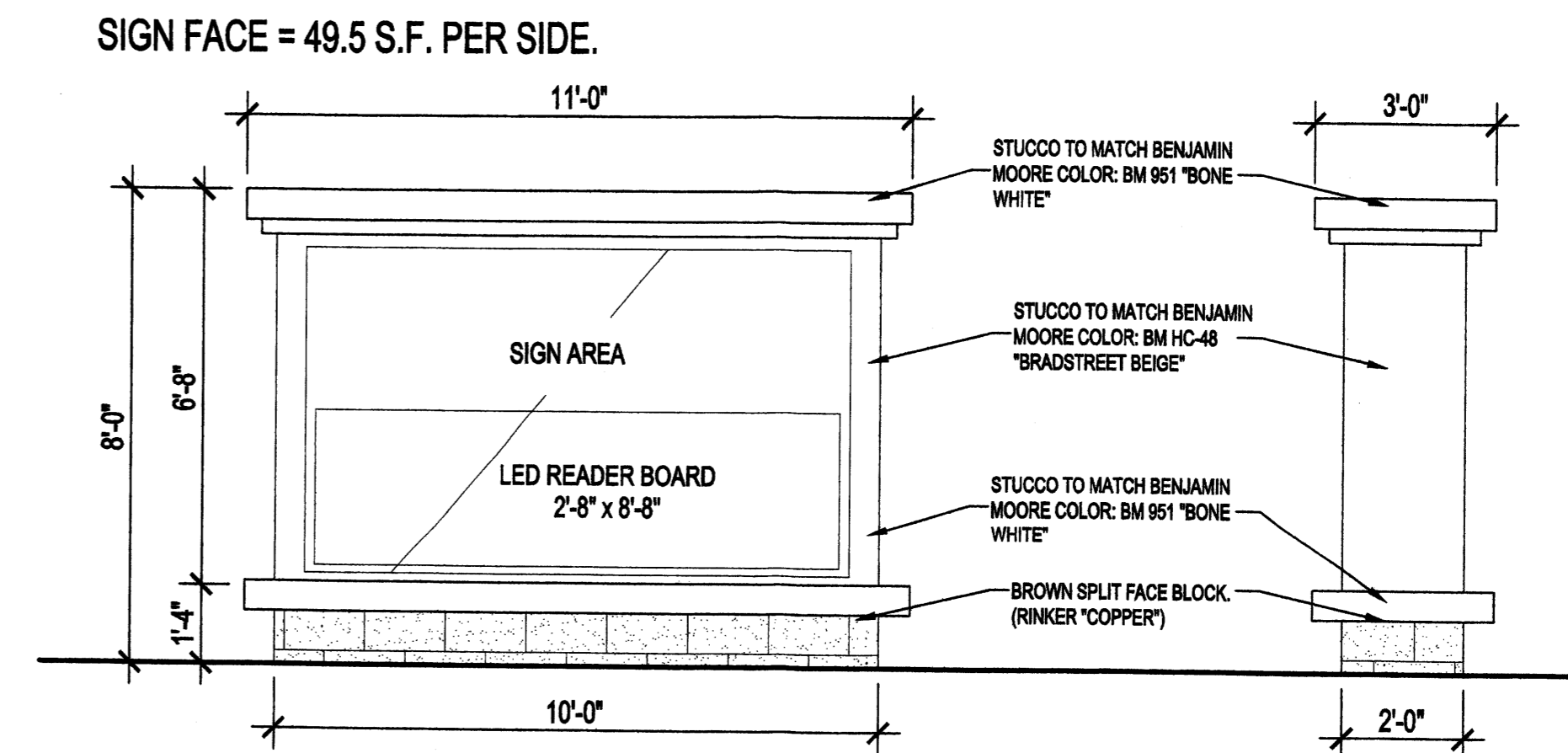
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PROJECT MANAGER	SHEET TITLE SITE DATA
DATE: 6.22.07	sheet: AS3
SCALE: AS NOTED	of.



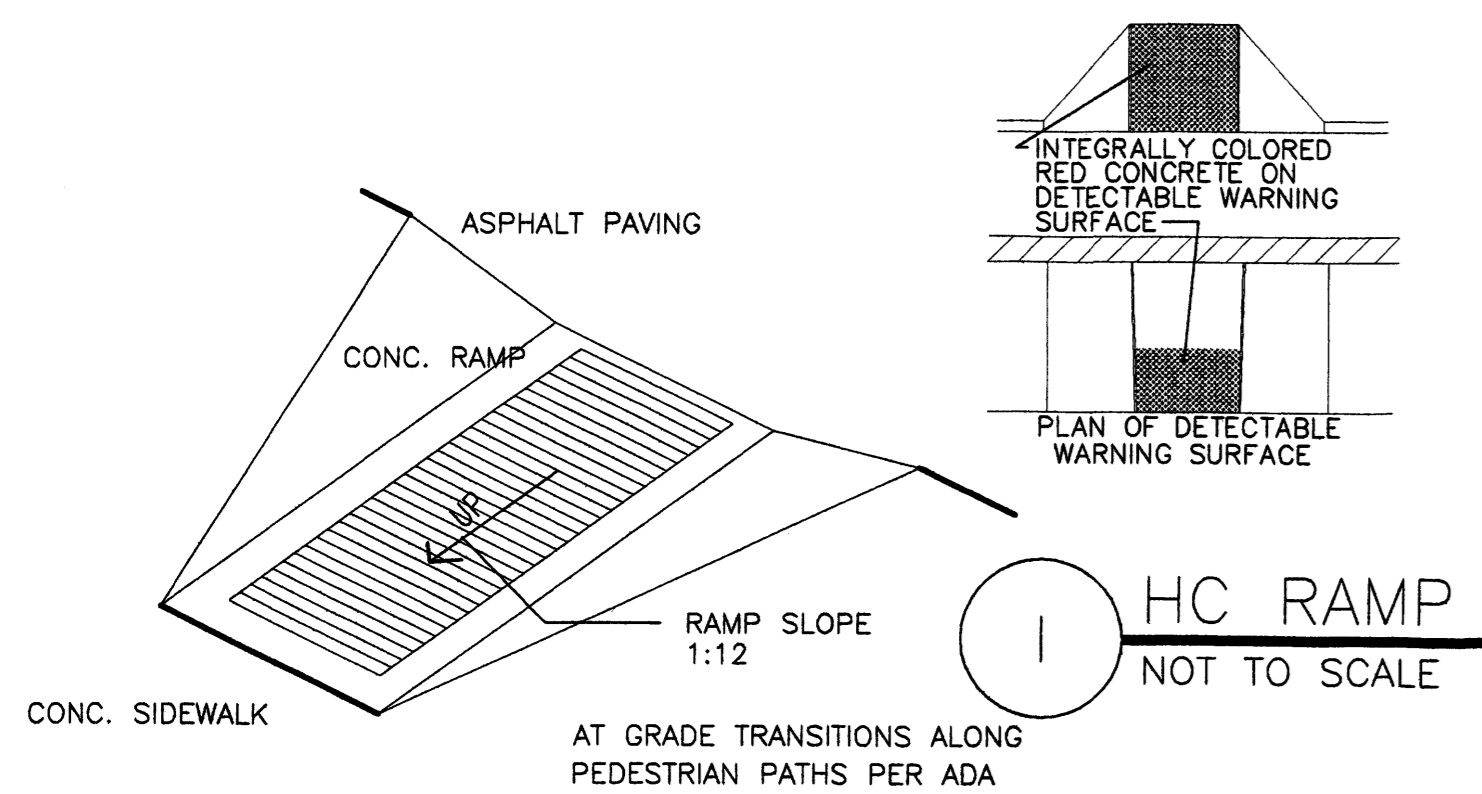
F RETAIL/OFFICE MONUMENT SIGN
1/4" = 1'-0"



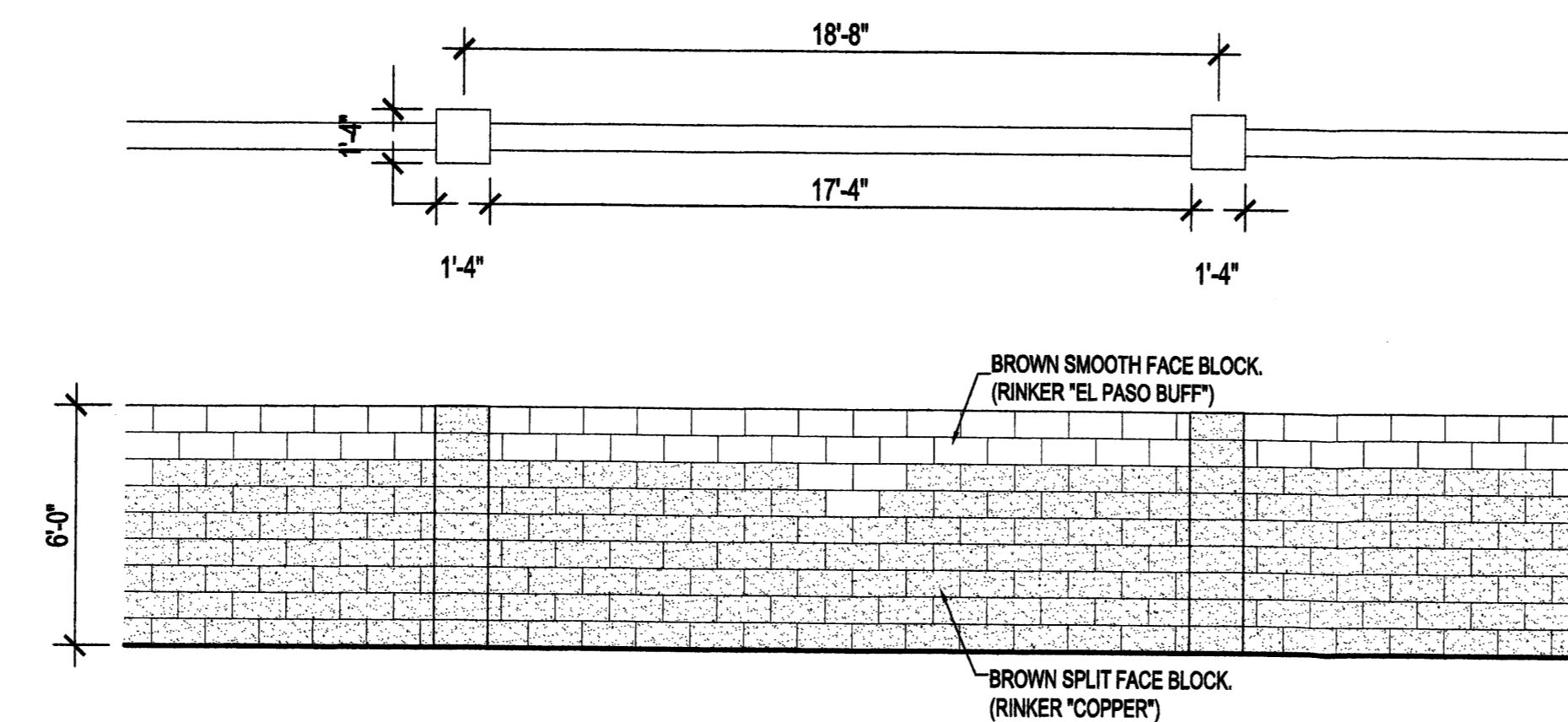
E BANK MONUMENT SIGN
1/4" = 1'-0"



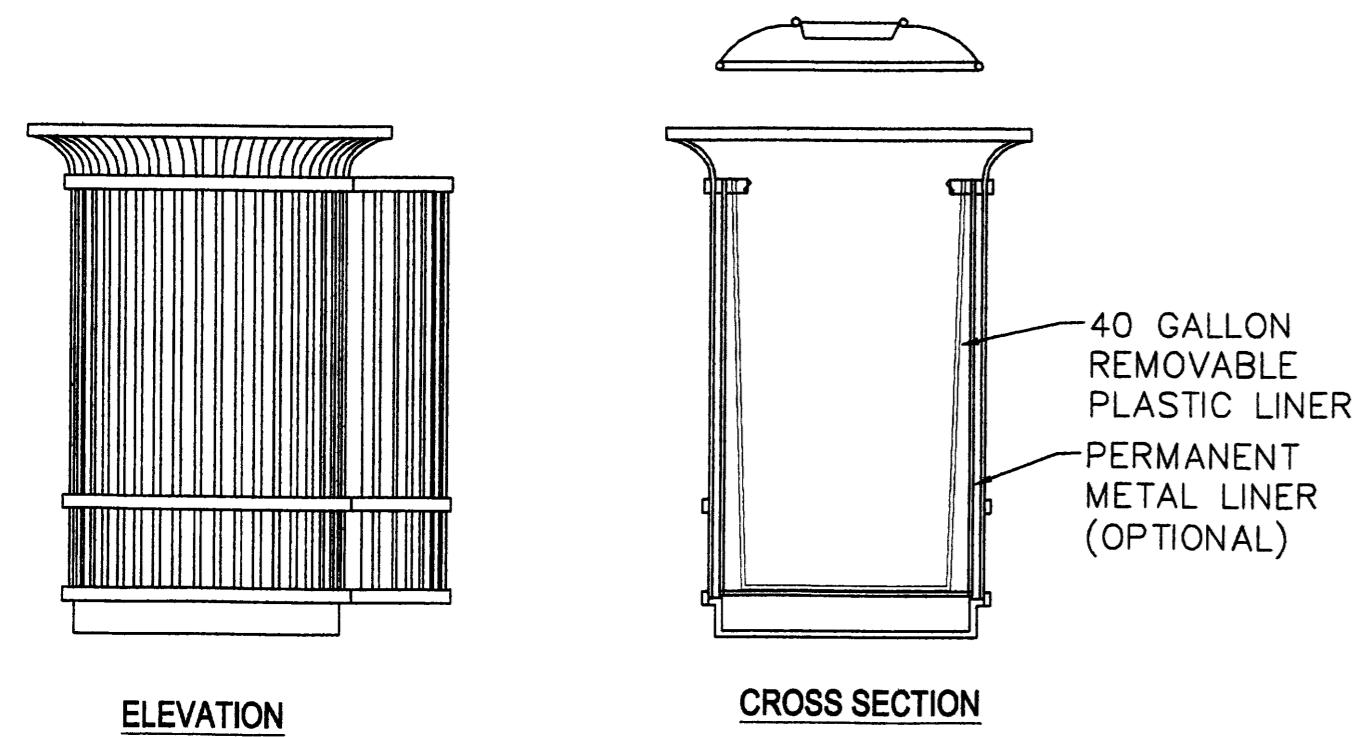
D PHARMACY MONUMENT SIGN
3/8" = 1'-0"



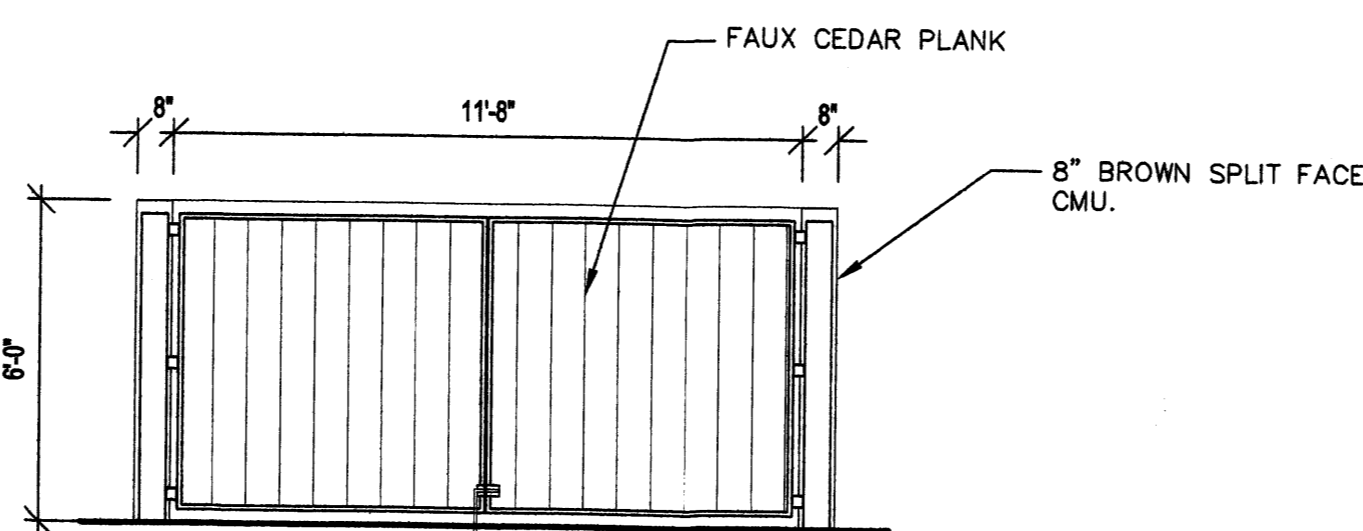
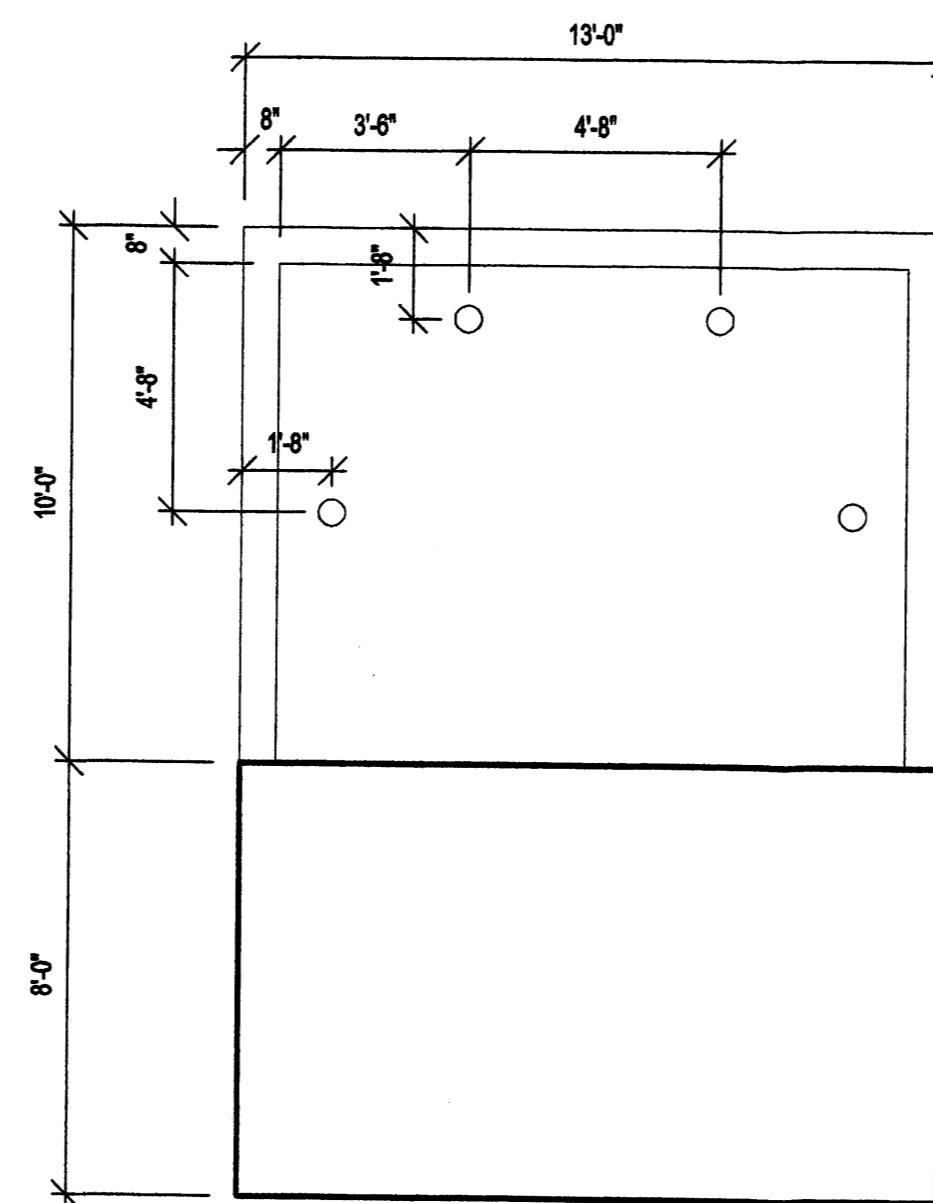
I HC RAMP
NOT TO SCALE



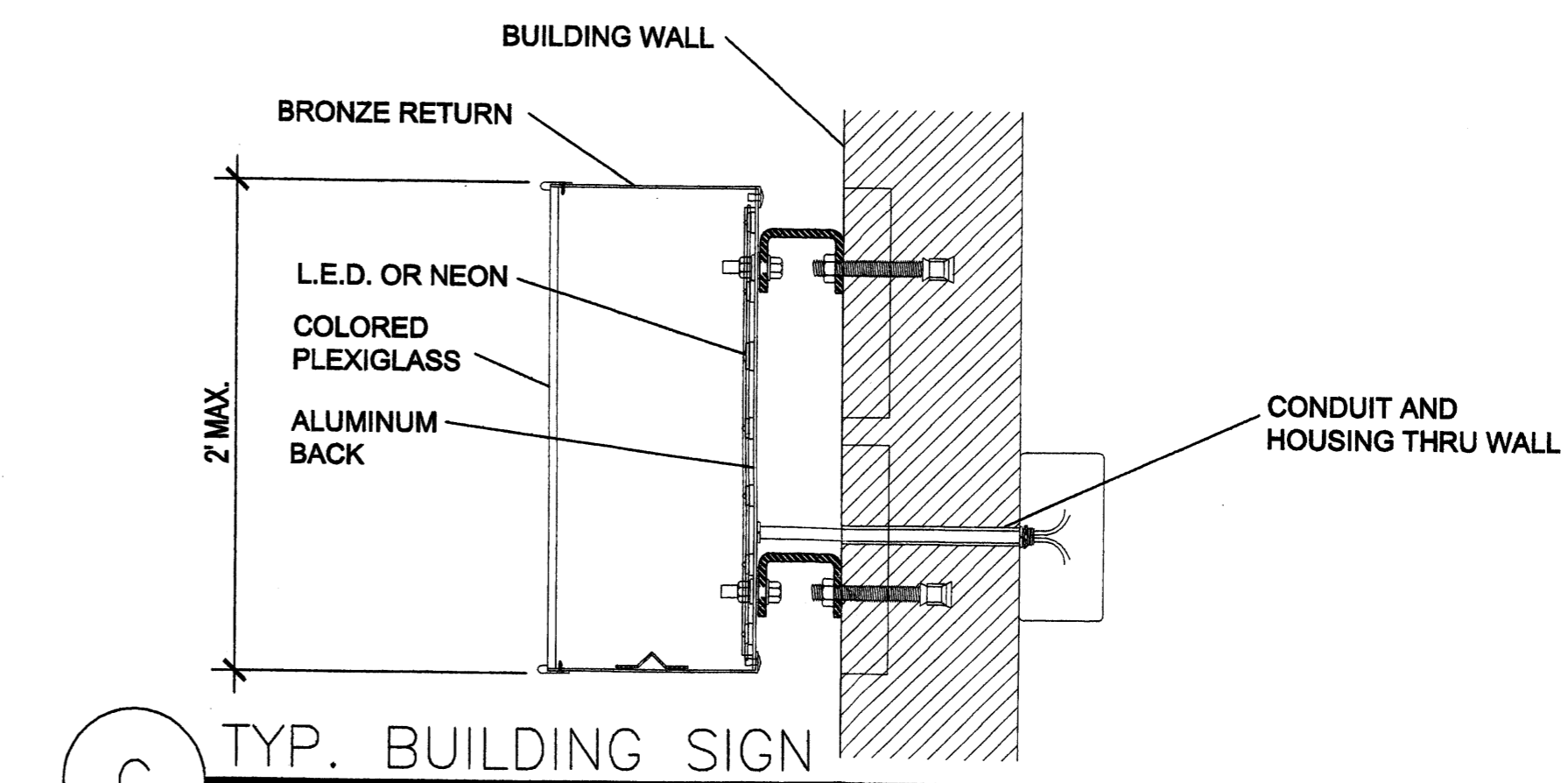
H SCREEN WALL
NOT TO SCALE



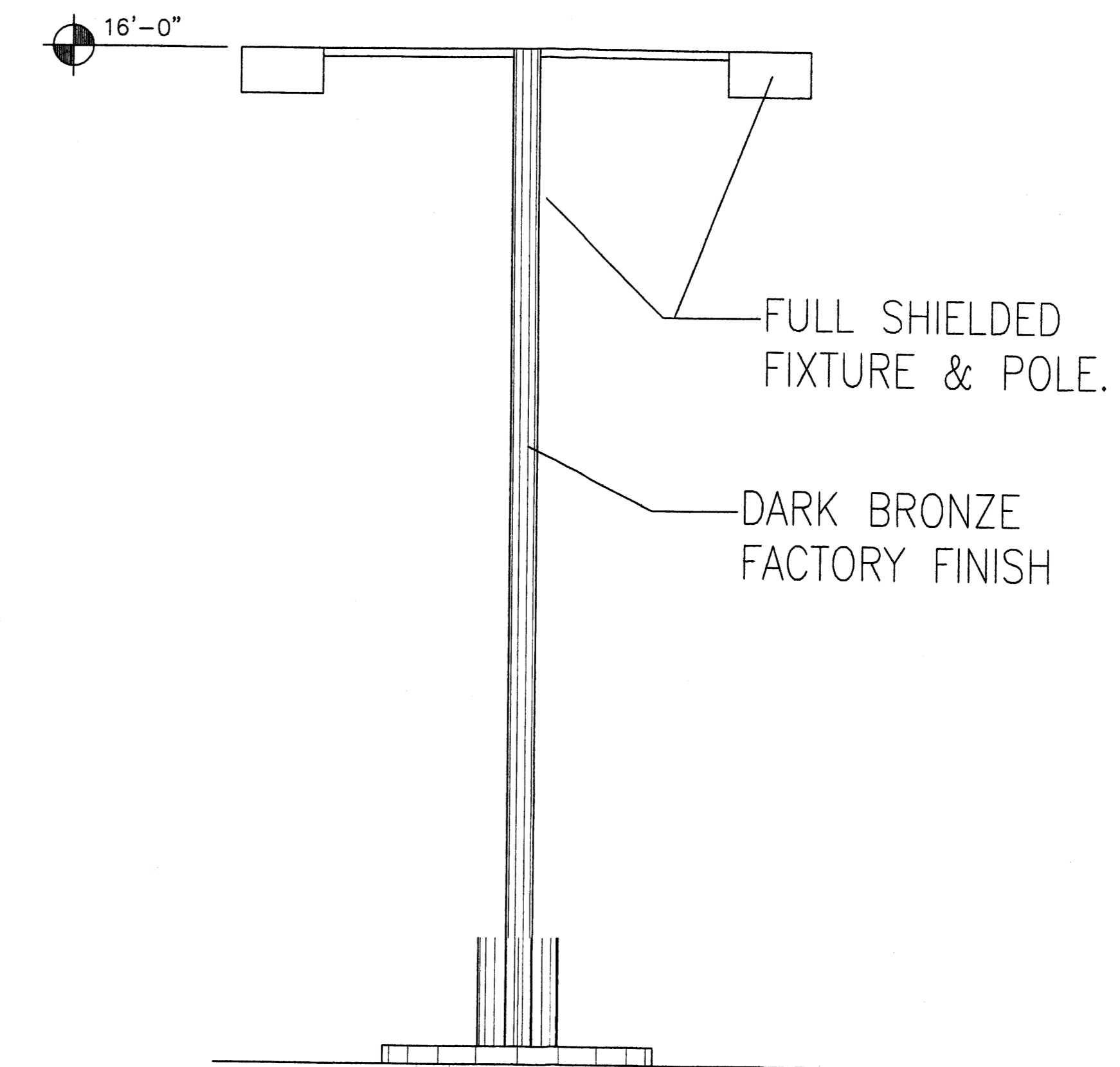
D TYPICAL TRASHCAN ENCLOSURE
N.T.S.



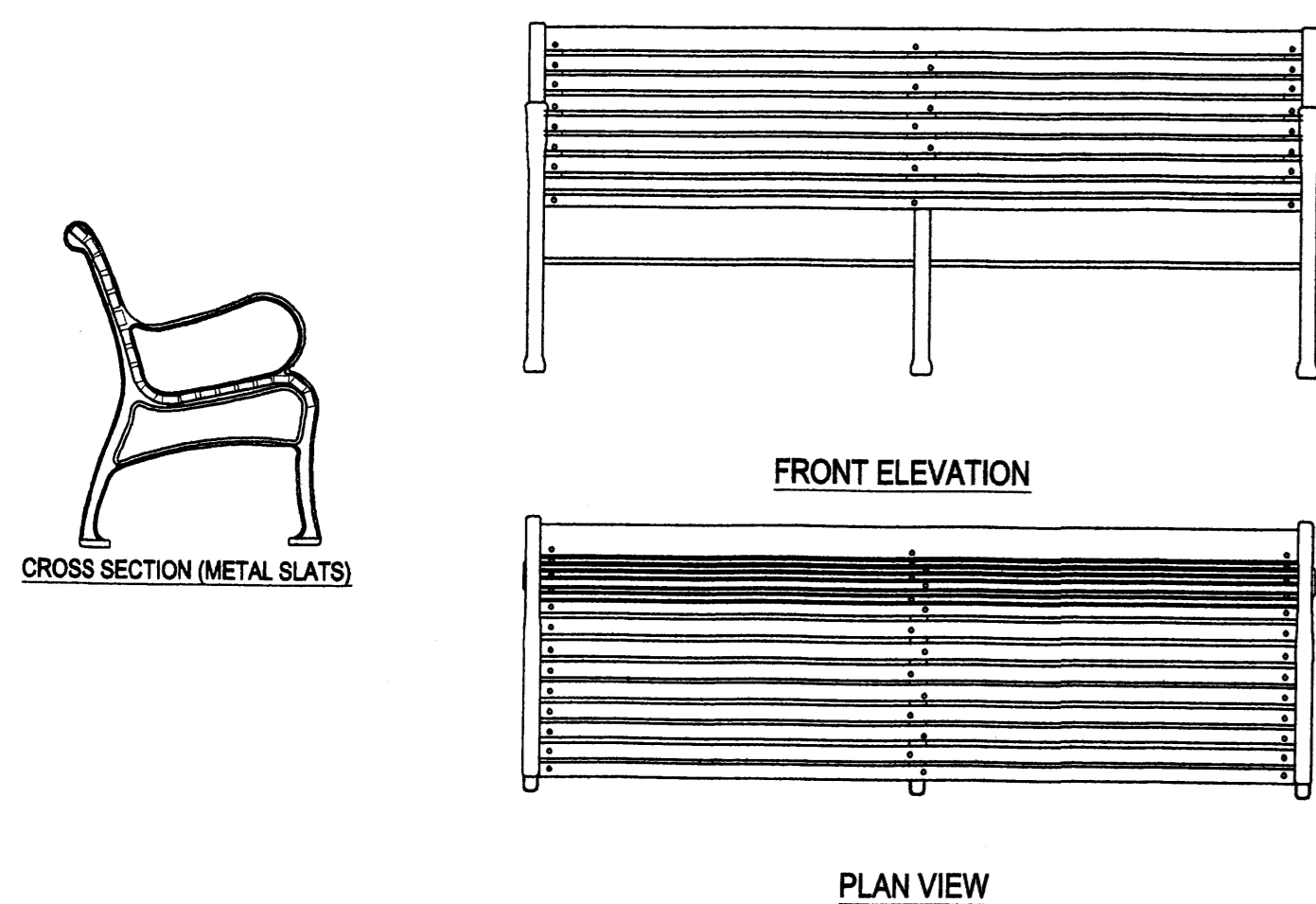
B DUMPSTER ENCLOSURE
N.T.S.



G TYP. BUILDING SIGN
NOT TO SCALE

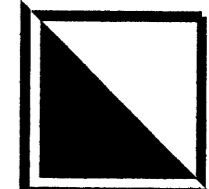


A SITE LIGHTING
N.T.S.



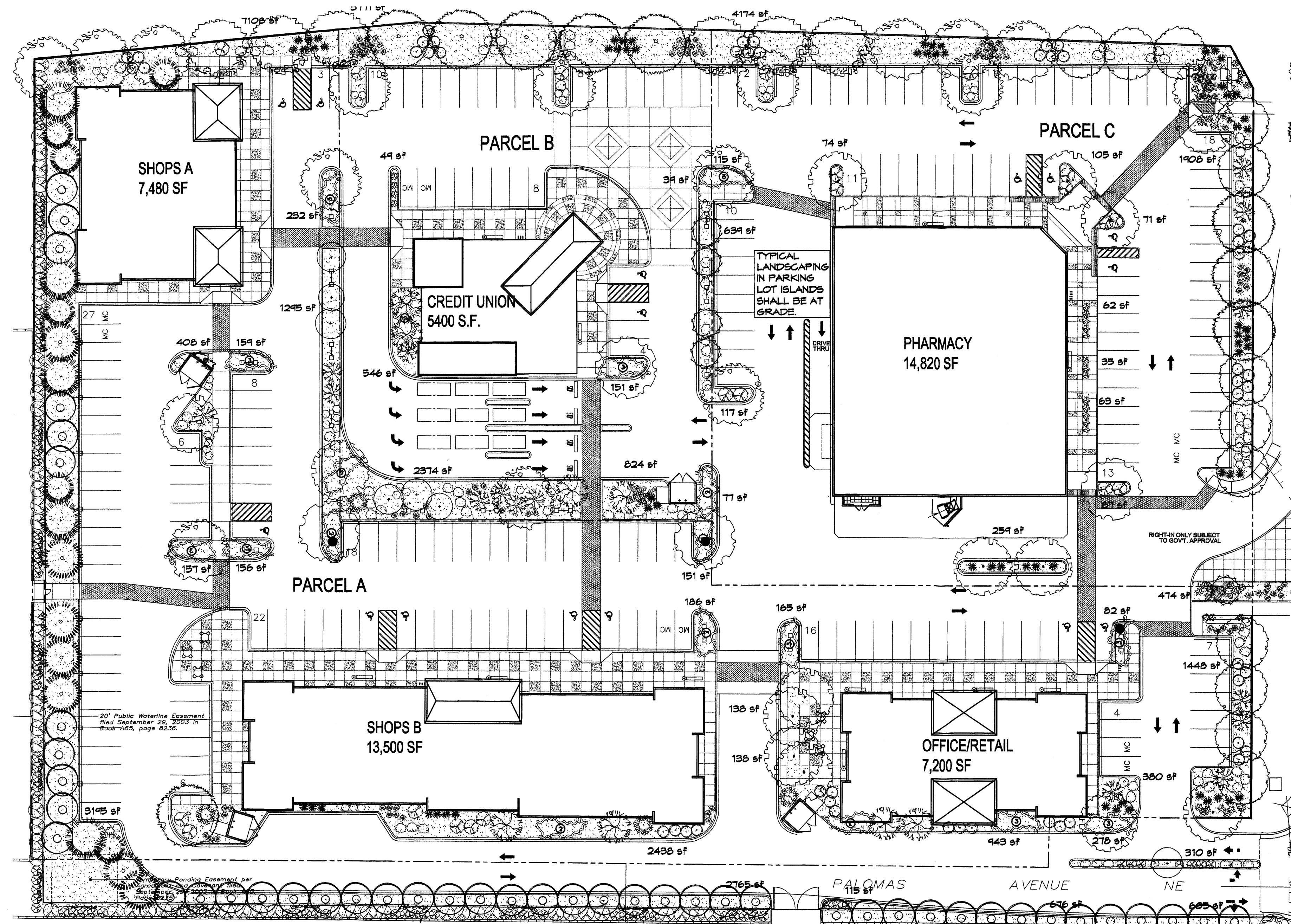
C TYPICAL BENCH
N.T.S.

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 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT MANAGER
 PROJECT NUMBER
 JOB NO.
 DRAWN BY: JCS
 SHEET TITLE: SITE PLAN DETAILS

PROJECT TITLE PASEO DEL NORTE & VENTURA PASEO DEL NORTE AND VENTURA ALBUQUERQUE, NM	DATE: 8.22.07	sheet: AS4
SCALE: AS NOTED	of:	



PLANT LEGEND

- CHINESE PISTACHE (M) 16
Pistacia chinensis
2" Cal.
- SHUMARD OAK (M) 9
Quercus shumardii
2" Cal.
- CHITALPA (M) 14
Chilopsis x Catalpa
2" Cal.
- DESERT WILLOW (L) 5
Chilopsis linearis
15 Gal. 225sf
- VITEX (M) 8
Vitex agnus-castus
15 Gal. 225 sf
- SPANISH BROOM (M) 15
Genista hispanica
5 Gal. 100sf
- BROOM BACCHARIS (L) 4
Baccharis sarothroides
5 Gal. 100sf
- RUSSIAN SAGE (M) 51
Perovskia atriplicifolia
5 Gal. 36sf
- RED YUCCA (L) 65
Hesperaloe parviflora
5 Gal. 4sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- COMMERCIAL GRADE STEEL EDGING
- KENTUCKY COFFEE TREE (M) 6
Gymnocladia dioica
2" Cal.
- COMMON HACKBERRY (M) 4
Celtis occidentalis
2" Cal.
- EASTERN REDBUD (M) 12
Cercis canadensis
2" Cal.
- NEW MEXICO OLIVE (L) 8
Caryopteris clandestina
15 Gal. 225sf
- BLUE MIST SPIREA (M) 101
Caryopteris clandestina
5 Gal. 4sf
- POINIS CASTLE SAGE (L) 99
Artemisia x Poulis Castle
1 Gal. 25sf
- AUTUMN SAGE (M) 41
Salvia greggii
1 Gal. 4sf
- THREADGRASS (M) 46
Stipa tenuissima
1 Gal. 4sf
- HONEYBUCKLE (M) 21
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-groundcover
- GREYLEAF COTONEASTER (M) 60
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL 4 1/4 BOULDERS
- EVERGREEN RESIDENTIAL BUFFER
- AUSTRIAN PINE (M) 11
Pinus nigra
6'-8"
- BLUE SPRUCE (M) 7
Picea pungens
6'-8"
- WESTERN RED CEDAR (M) 45
Thuja plicata 'Green Giant'
15 Gal. 100sf
- MILLOWLEAF COTONEASTER (M) 53
Cotoneaster salicifolius
5 Gal. 64sf
- INDIAN HAWTHORN (M) 64
Raphiolepis indica
5 Gal. 36sf
- BOSTON IVY (M) 15
Parthenocissus tricuspidata
1 Gal.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition. The Owner of the subject site shall maintain the landscaping in the southern buffer.

Landscaping in parking lot islands shall be at grade.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 80% live ground cover at maturity.
Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

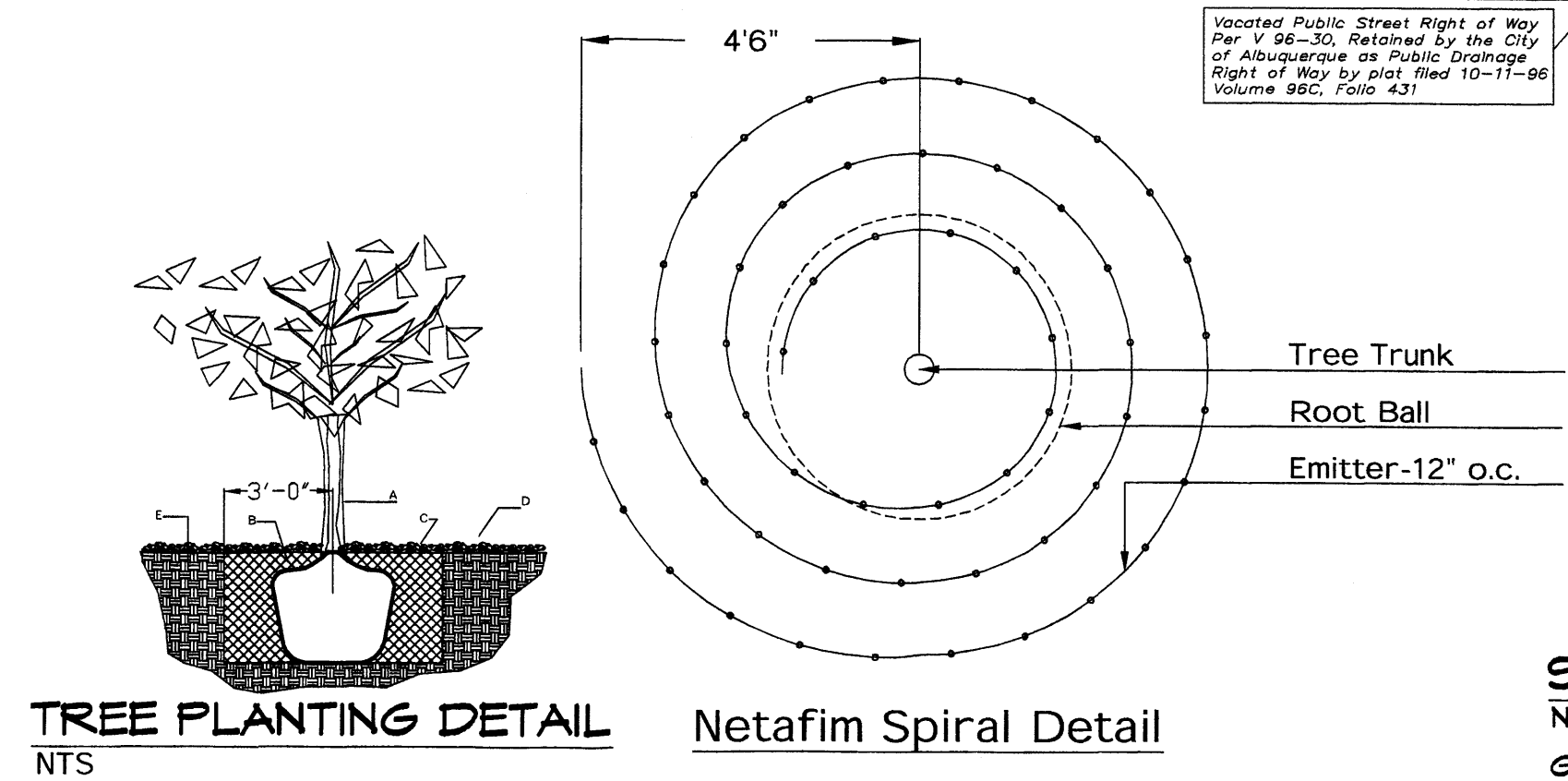
TOTAL LOT AREA	236850	square feet
TOTAL BUILDINGS AREA	48400	square feet
NET LOT AREA	188450	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	28267	square feet
TOTAL BED PROVIDED	41682	square feet
GROUND COVER REQ.	80%	square feet
TOTAL GROUND COVER REQUIREMENT	33346	square feet
TOTAL GROUND COVER PROVIDED	33691(81%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	41682 (22%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the COA Street Tree Ordinance are as follows:
Name of Street: Ventura
Required # 12 Provided # 12
Name of Street: Paseo del Norte
Required # 20 Provided # 20

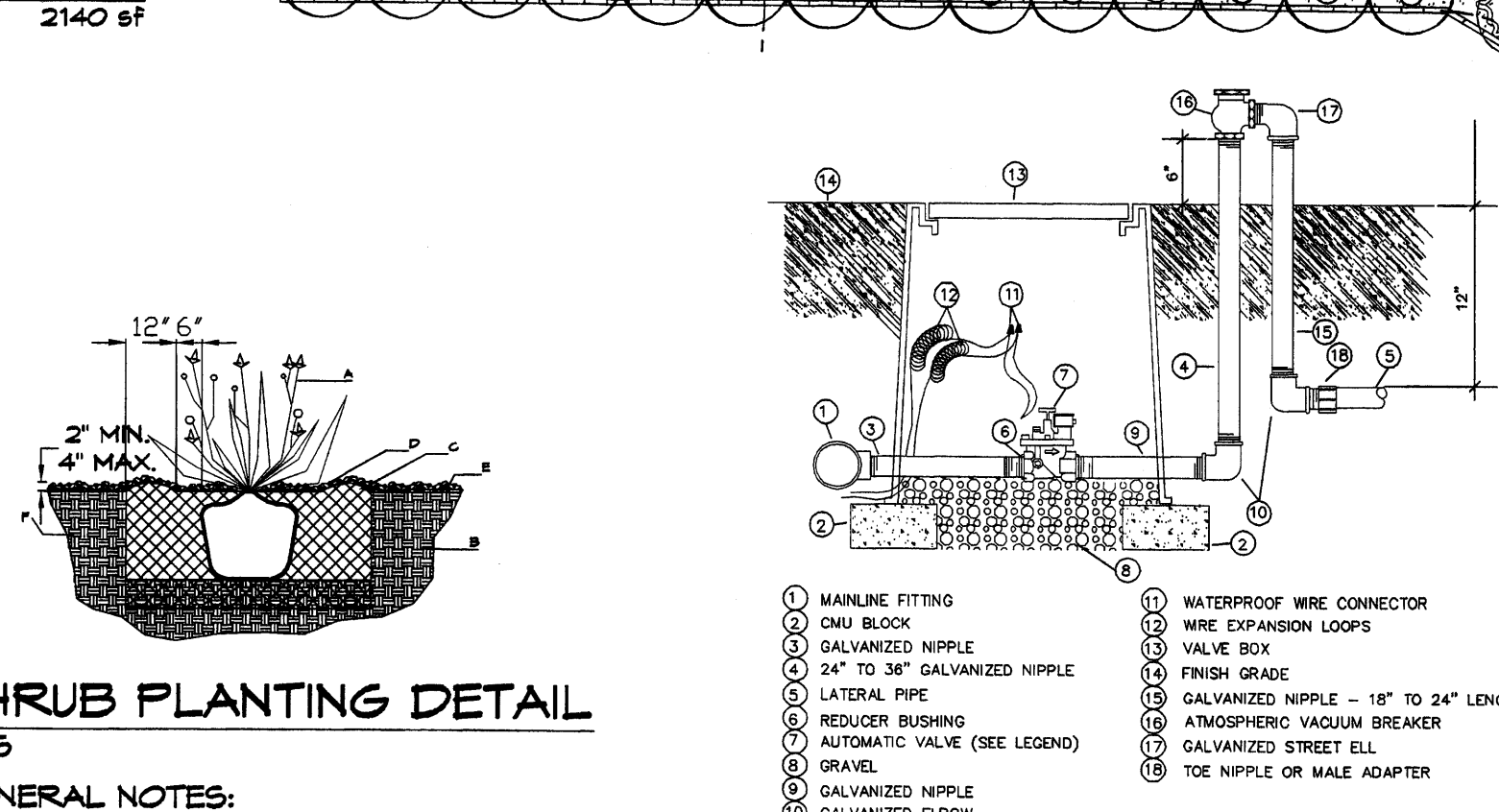
PARKING LOT TREE REQUIREMENTS

Shade trees required under the COA Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 24 Provided # 26



TREE PLANTING DETAIL
NTS

Netafim Spiral Detail



SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

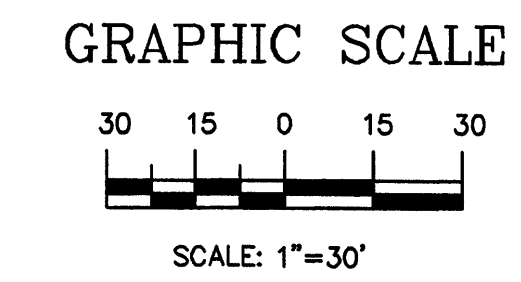
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING FIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

1-14-08 rm Adjusting parking lot island note

LANDSCAPE PLAN
SCALE: 1" = 30'-0"



NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

REV	DATE	BY	REVISION
1	1-8-08	RMM	Site revision and comments
2	10-30-07	RMM	Site revision and comments
3	9-26-07	cmj	right in only entrance added
4	9-20-07	cmj	Site revision and neighbor comments
5	9-17-07	cmj	site rev
6	7-3-07	RMM	SITE REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
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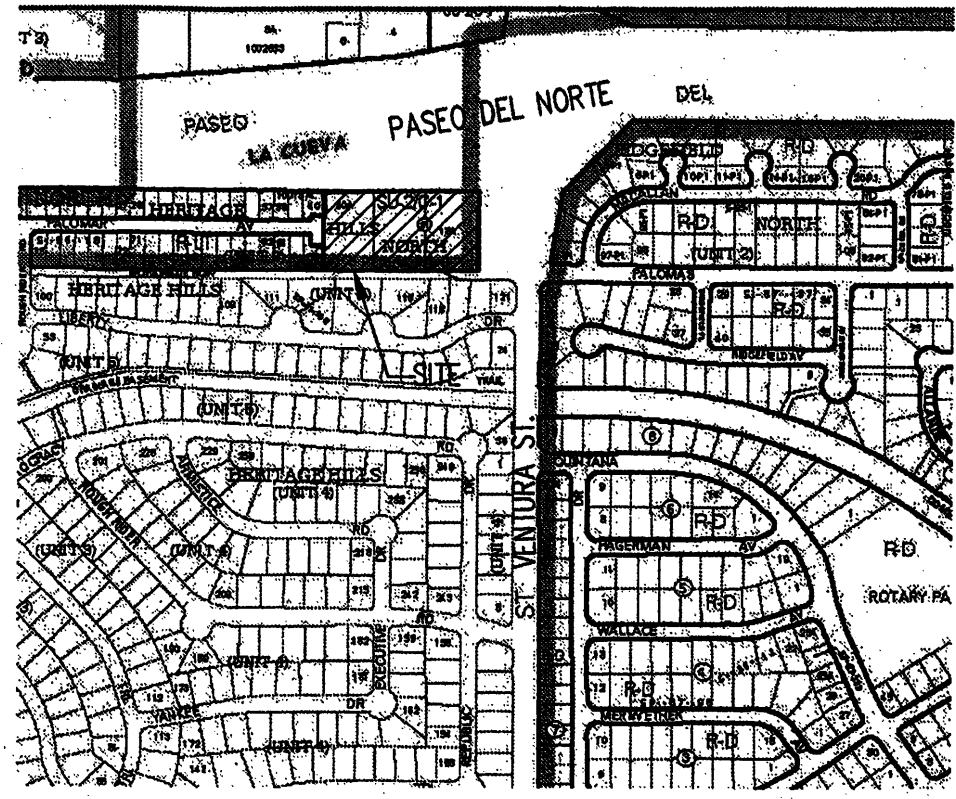
STATE OF NEW MEXICO
JAMES DE FLON
REGISTERED LANDSCAPE ARCHITECT

PROJECT TITLE: PASEO DEL NORTE & VENTURA
PASEO DEL NORTE AND VENTURA
ALBUQUERQUE, NM
PROJECT MANAGER: RMM
JOB NO.:
DRAWN BY: RMM
DATE: 6.28.07
SCALE: AS NOTED

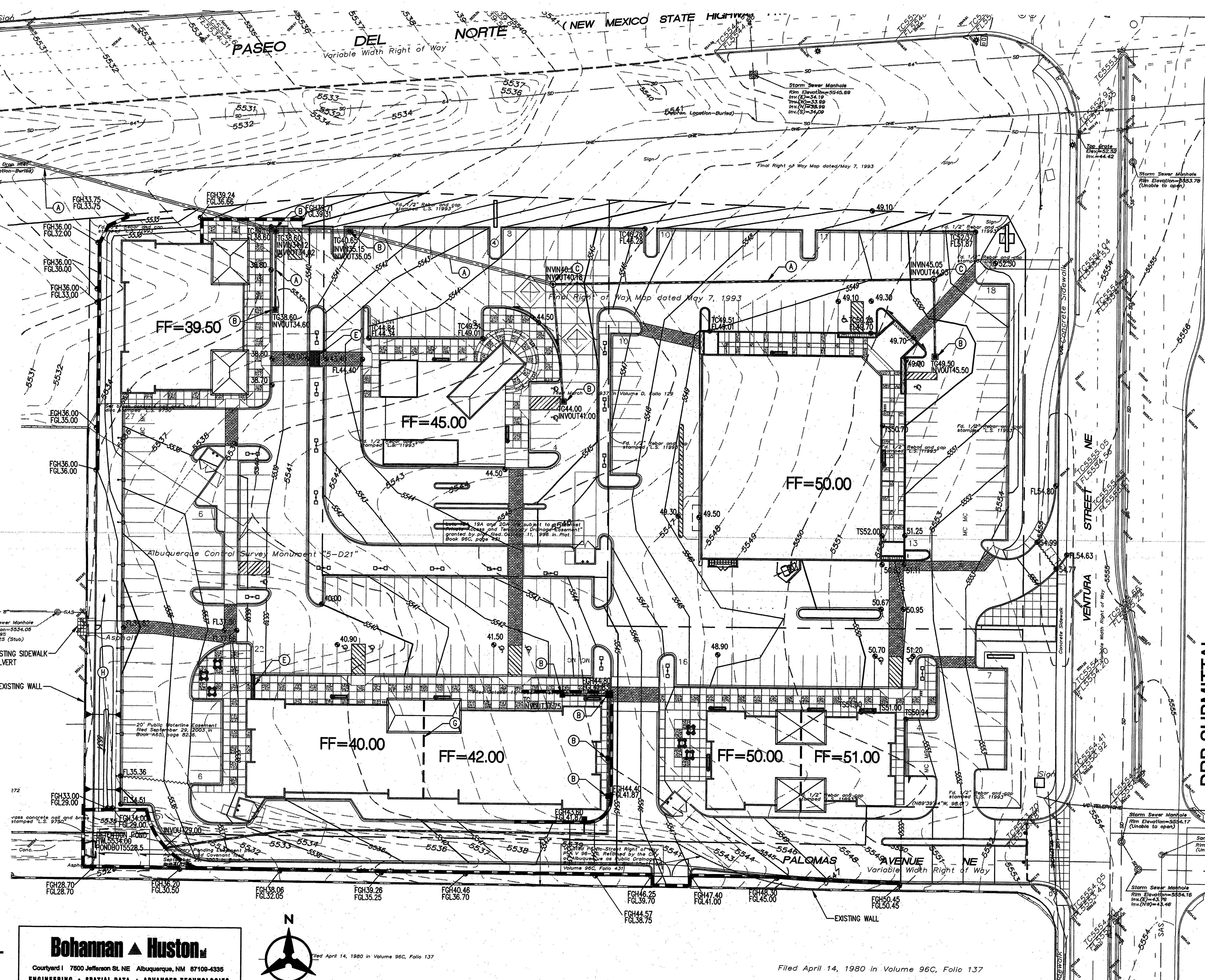
LANDSCAPE PLAN
sheet: L1
of.

LEGEND

- PROPERTY LINE
- 5.301- EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TG=TOP OF GRADE
- FGH=FINISH GROUND HIGH SIDE
- FGL=FINISH GROUND LOW SIDE
- PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK
- 5.305- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN INLET
- PROPOSED MANHOLE
- EXISTING MONUMENT



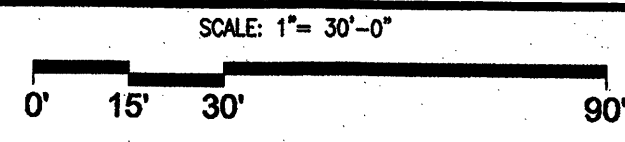
ALTA/A.C.S.M. LAND TITLE SURVEY OF PORTIONS OF LOTS 13, 14, 15, 16 AND 17 AND ALL OF LOTS 18A, 19A AND 20A BLOCK 31 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2008



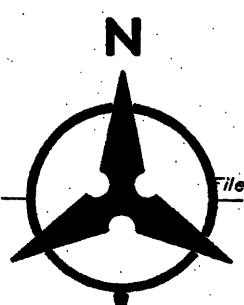
KEYED NOTES

- (A) PRIVATE STORM DRAIN LINE.
- (B) NYLOPLAST INLET.
- (C) PRIVATE STORM DRAIN MANHOLE.
- (D) SIDEWALK CULVERT.
- (E) STAIRS.
- (F) CONNECTION TO EXISTING STORM DRAIN MANHOLE.
- (G) STEP.
- (H) DETENTION POND.

CONCEPTUAL GRADING PLAN



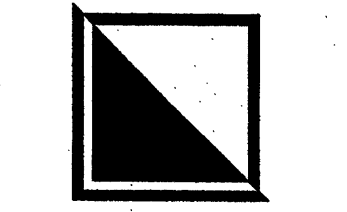
Bohannon & Huston
 Courtyard | 7800 Jefferson St. NE Albuquerque, NM 87109-4336
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



Filed April 14, 1980 in Volume 96C, Folio 137

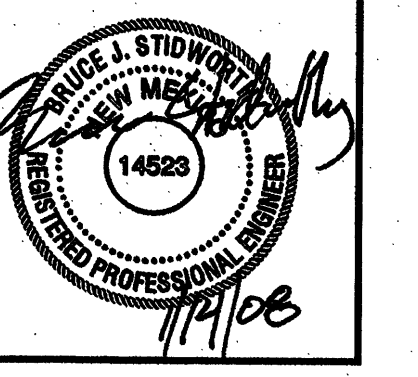
Filed April 14, 1980 in Volume 96C, Folio 137

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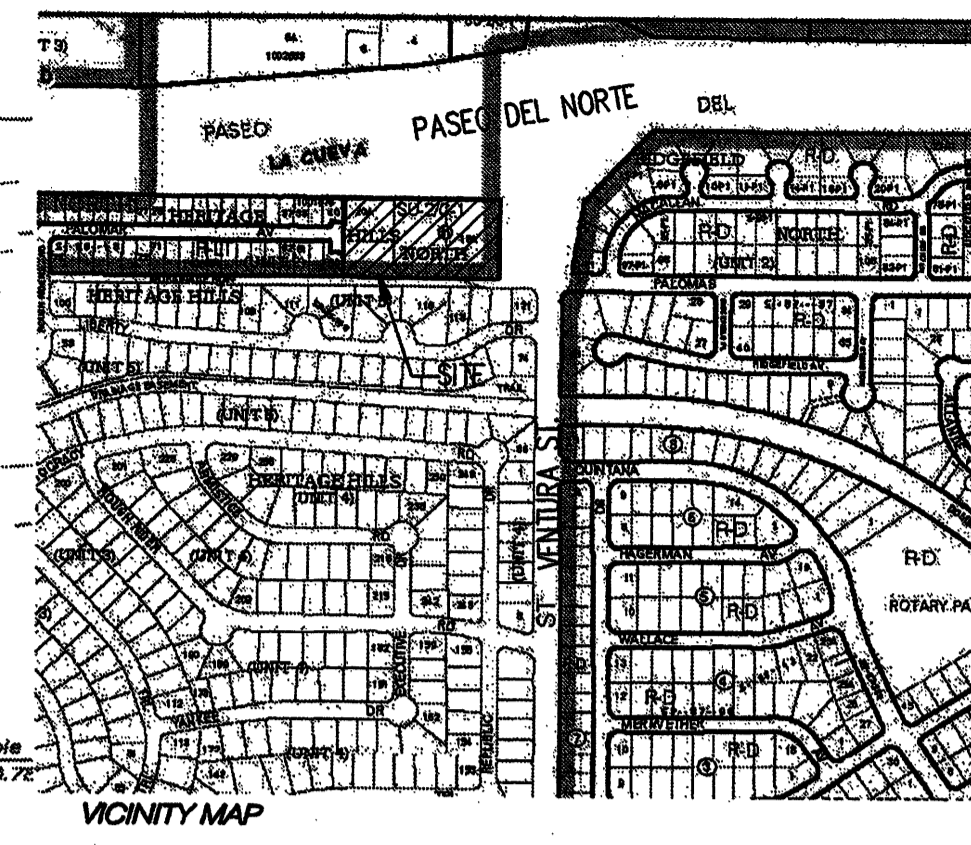
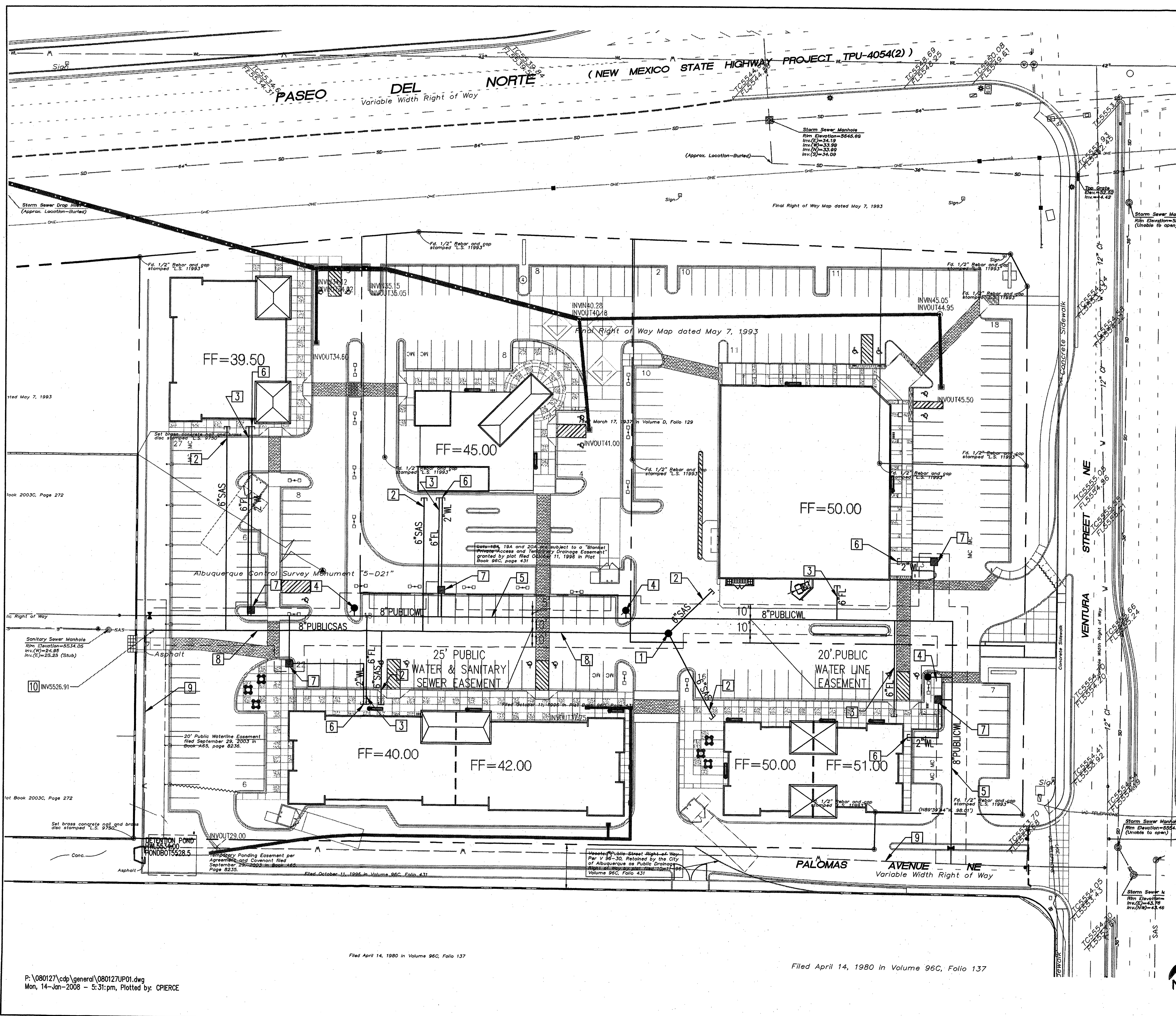
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

DRB SUBMITTAL



PROJECT TITLE PASEO DEL NORTE & VENTURA	DRAWN BY JCS
PROJECT MANAGER ALBUQUERQUE, NM	JOB NO.
SHEET TITLE CONCEPTUAL GRADING PLAN	

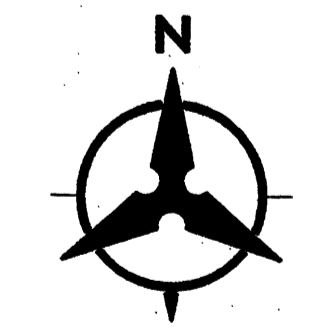
DATE 01.15.08	sheet C1
SCALE AS NOTED	of



ALTA/AC.S.M. LAND TITLE SURVEY OF PORTIONS OF LOTS 13, 14, 15, 16 AND 17 AND ALL OF LOTS 18A, 19A AND 20A BLOCK 31 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2006

- UTILITY KEYED NOTES**
- SAS MANHOLE
 - 6" SAS SERVICE
 - 6" FIRE SPRINKLER SERVICE LINE
 - 6" FIRE SERVICE LINE & HYDRANT
 - 8" PUBLIC WATERLINE
 - DOMESTIC WATER SERVICE LINE
 - WATER METER BOX
 - 8" PUBLIC SANITARY SEWER
 - ABANDON WATER LINE
 - CONNECT TO EXISTING SAS STUBOUT

- LEGEND**
- PROPERTY LINE
 - EX SANITARY SEWER & MANHOLE
 - EX STORM DRAIN & MANHOLE
 - EX WATER LINE
 - RELOCATED PUBLIC FIRE HYDRANT
 - EX FIRE HYDRANT
 - PRIVATE FIRE HYDRANT
 - PROPOSED CLEANOUT
 - PROPOSED SANITARY SEWER MAN HOLE
 - 8" SAS
 - PROPOSED SANITARY SEWER
 - 2" WL
 - PROPOSED WATERLINE
 - 6" FL
 - PROPOSED FIRELINE
 - WATER METER VAULT



Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 30'-0"
 0' 15' 30' 90'

REV	DATE	BY	REVISION
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DRB SUBMITTAL

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 PASEO DEL NORTE & VENTURA

PROJECT NUMBER
 PASEO DEL NORTE AND VENTURA ALBUQUERQUE, NM

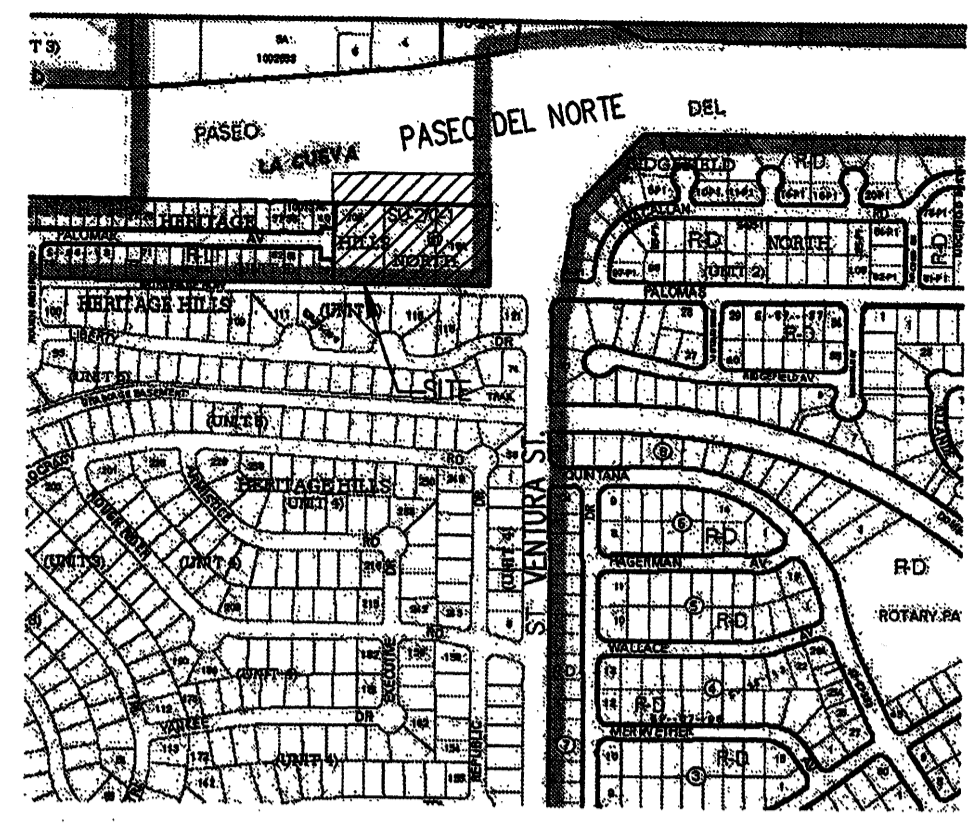
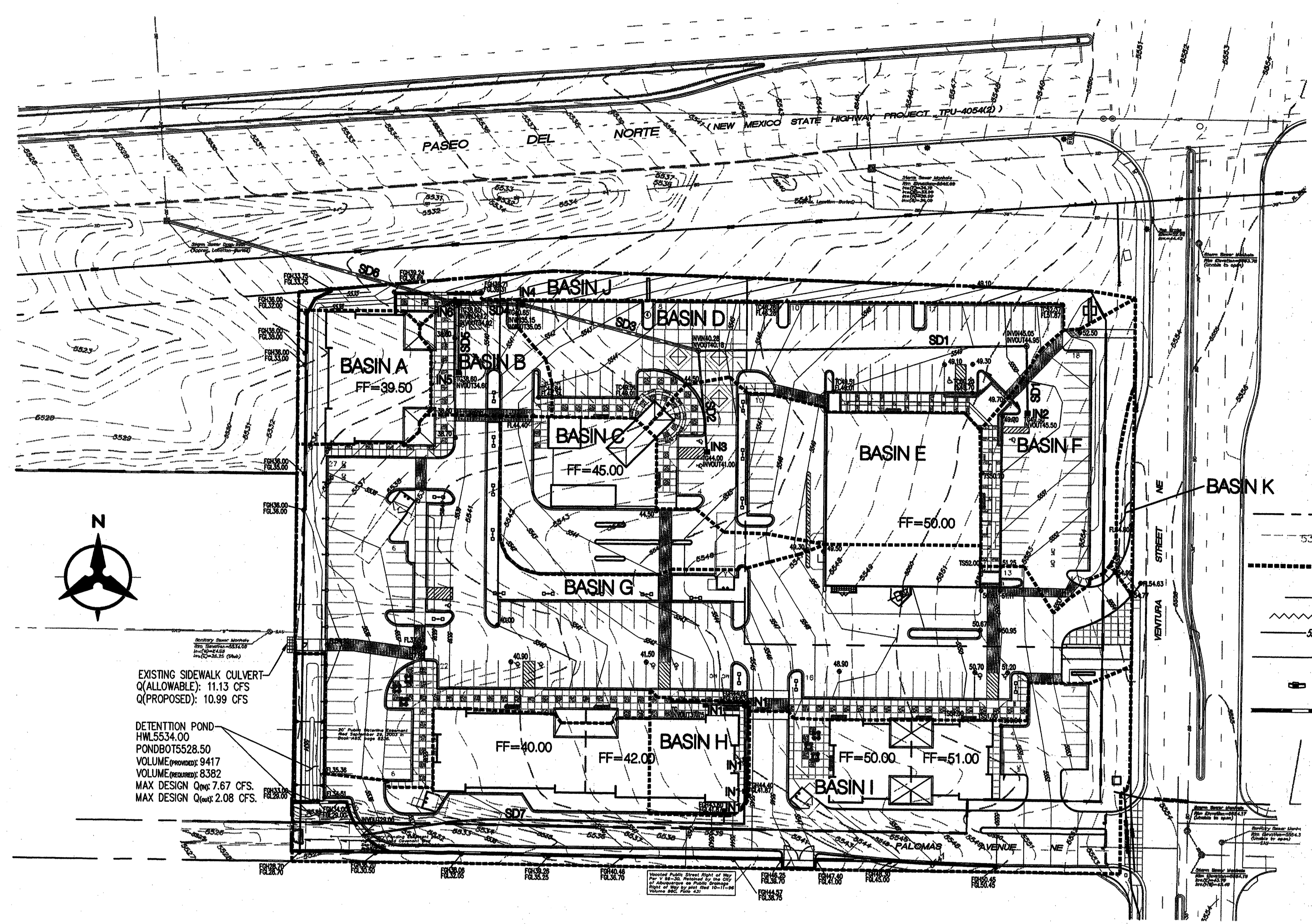
SHEET NUMBER
 CONCEPTUAL UTILITY PLAN

DATE:
 01.15.08

SCALE:
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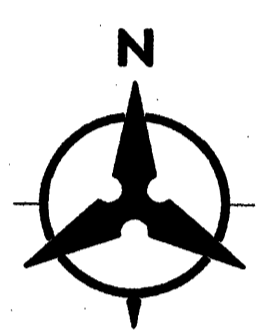
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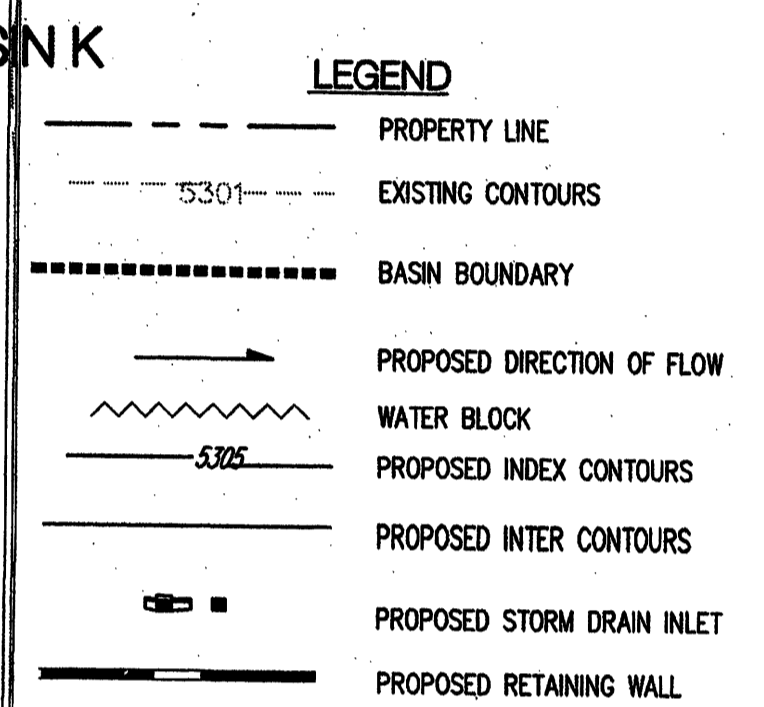
LEGAL DESCRIPTION
 Block 31, Tract A, Unit A, North Albuquerque Acres,
 Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17, and Tract
 B, Heritage Hills North

REV	DATE	BY	REVISION
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EXISTING SIDEWALK CULVERT
 Q(ALLOWABLE): 11.13 CFS
 Q(PROPOSED): 10.99 CFS

DETENTION POND
 HWL5534.00
 POND BOT5528.50
 VOLUME (PROPOSED): 9417
 VOLUME (EXISTING): 8382
 MAX DESIGN Q_{10yr}: 7.67 CFS
 MAX DESIGN Q_{100yr}: 2.08 CFS



GRADING AND DRAINAGE NARRATIVE

Site Location and Background Information

The purpose of this submittal is to present a drainage and grading plan for the proposed Paseo del Norte & Ventura development. The design site proposes commercial use development. The site is in rainfall zone 3 as defined by figure A-1 of the DPM section 22.2. The existing legal description of the site is Block 31, Tract A, Unit A, North Albuquerque Acres (Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17), and Tract B, Heritage Hills North. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support of site plan approval.

The North Heritage Hills Subdivision Phase III drainage report, prepared by Tierra West, LLC addresses drainage to Palomar St. and the existing channel that runs behind the housing on the south side of Palomar St. This submittal specifies discharge rates into Palomar St. and the existing channel that are less than the allowable discharge rates specified in the North Hills Subdivision drainage report. This submittal also specifies storm run off into the existing storm drain that parallels Paseo del Norte.

Existing Conditions

This entire site (Tract A and Tract B) is approximately 6 acres and is a vacant lot. The natural slope of the site is a consistent 3% to 4% from east to west. The northern portion of the site drains to inlets along the large storm drain parallel to Paseo del Norte, the center of Tract A flows to a large sidewalk culvert that drains into Palomar, and the south portion of Tract A and Tract B flow into the channel that runs behind the housing on the south side of Palomar which is a drainage right of way retained by the City of Albuquerque.

Proposed Conditions

Under proposed conditions the site will slope from east to west with slopes varying from 1% to 7% to make up grade difference across the whole site and allow for functional and required slopes within the development. The site will be commercial development and is 90% treatment D. The site will continue to drain to the north storm drain, Palomar St. and the existing channel. The north portion of the site will collect drainage in a storm drain system and convey drainage to the large storm drain parallel to Paseo del Norte. The central portion of the development will drain to the sidewalk culvert and into Palomar St. The allowable discharge to Palomar St. is 11.13 cfs and under proposed conditions the unmitigated discharge will be 11 cfs. The south portion of the site will drain to a detention pond in the southwest corner of the site. The detention pond and outlet pipe will be designed to outfall less than the allowable discharge of 2.08 CFS into the existing channel.

Flood plain

In accordance with FEMA community map panel #???????, the site is not located within a flood plain.

Offsite Flows

There are no significant upstream offsite flows which will impact this site.

Conclusions

This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed, general surface grading and drainage. The implementation of this design will result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for the DRB.

STORM DRAIN PIPE TABLE

PIPE #	Contributing Basins and Storm Drains	Size in.	Slope	Capacity cfs	ACTUAL FLOW cfs
NORTH					
SD1	BSN F	12	1.00%	3.56	1.88
SD2	BSN E	12	1.00%	3.56	2.67
SD3	SD1+SD2	18	1.00%	10.50	4.55
SD4	SD3+BSN D	18	1.00%	10.50	7.74
SD5	BSN B	10	1.00%	2.19	0.76
SD6	SD4+SD5+BSN B+BSN A	24	1.00%	22.62	10.26
SD7	BSN H	12	1.00%	3.56	0.72

INLET TABLE

Inlet #	Inlet Type	Top of Grate	Actual Flow	Avail Head ft	Capacity
IN1	12" Nyoplast Pedestrian	41.78 (approx)	0.18	0.1	0.60
IN2	2'X2' Nyoplast Road & Highway	49.50	1.88	0.2	4.25
IN3	2'X2' Nyoplast Road & Highway	44.00	2.67	0.5	6.00
IN4	2'X2' Nyoplast Road & Highway	40.65	3.19	0.2	4.25
IN5	2'X2' Nyoplast Road & Highway	38.60	0.38	0.2	4.25
IN6	2'X2' Nyoplast Road & Highway	38.60	0.38	0.2	4.25

PASEO DEL NORTE & VENTURA SITE BASIN PROPERTIES
 Proposed Ultimate Development Conditions Basin Data Table
 This table is based on the DPM Section 22.2, Zone: 3

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages					Q(100) (cfs/fac.)	Q(100) (CFS)	V(100) (inches)	V(100) _{HR} (CF)	V(100) _{24HR} (CF)
			A	B	C	D						
BASIN A	9018	0.21	0.0%	0.0%	10.0%	90.0%	4.86	1.01	2.25	1693	2031	
BASIN B	6779	0.16	0.0%	0.0%	10.0%	90.0%	4.86	0.76	2.25	1273	1527	
BASIN C	16477	0.38	0.0%	5.0%	5.0%	90.0%	4.82	1.82	2.23	3068	3686	
BASIN D	28130	0.65	0.0%	0.0%	5.0%	95.0%	4.94	3.19	2.31	5407	6520	
BASIN E	23556	0.54	0.0%	0.0%	5.0%	95.0%	4.94	2.67	2.31	4528	5460	
BASIN F	17709	0.41	0.0%	10.0%	10.0%	80.0%	4.62	1.88	2.11	3112	3703	
BASIN G	82790	1.90	0.0%	5.0%	5.0%	90.0%	4.82	9.16	2.23	15416	18521	
BASIN H	6222	0.14	0.0%	0.0%	0.0%	100.0%	5.02	0.72	2.36	1224	1483	
BASIN I	62835	1.44	0.0%	5.0%	5.0%	90.0%	4.82	6.95	2.23	11700	14057	
BASIN J	10280	0.24	0.0%	0.0%	95.0%	5.0%	3.53	0.83	1.34	1151	1172	
BASIN K	1480	0.03	0.0%	25.0%	0.0%	75.0%	4.42	0.15	2.00	247	293	

TO DET POND (sum BSNs H and I)
 69057 1.59

Allowable Flow:
 11.13 cfs to Palomar ave.
 2.08 cfs to South discharge channel

Proposed Q to Palomar:
 10.99 7.67

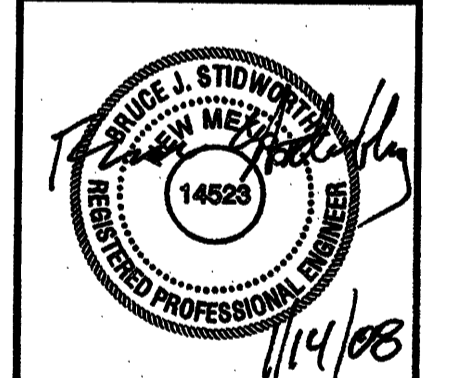
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CONCEPTUAL DRAINAGE MANAGEMENT PLAN

SCALE: 1" = 50'-0"

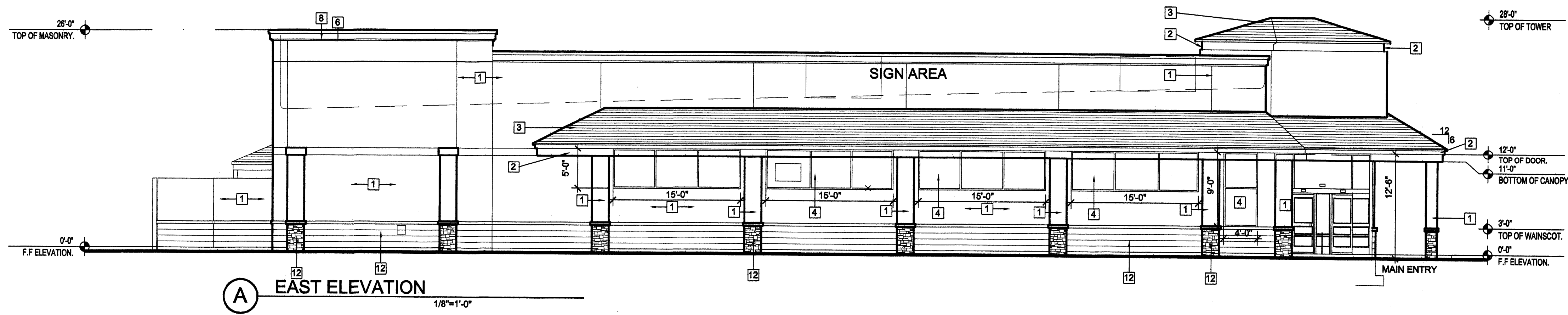
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DRB SUBMITTAL



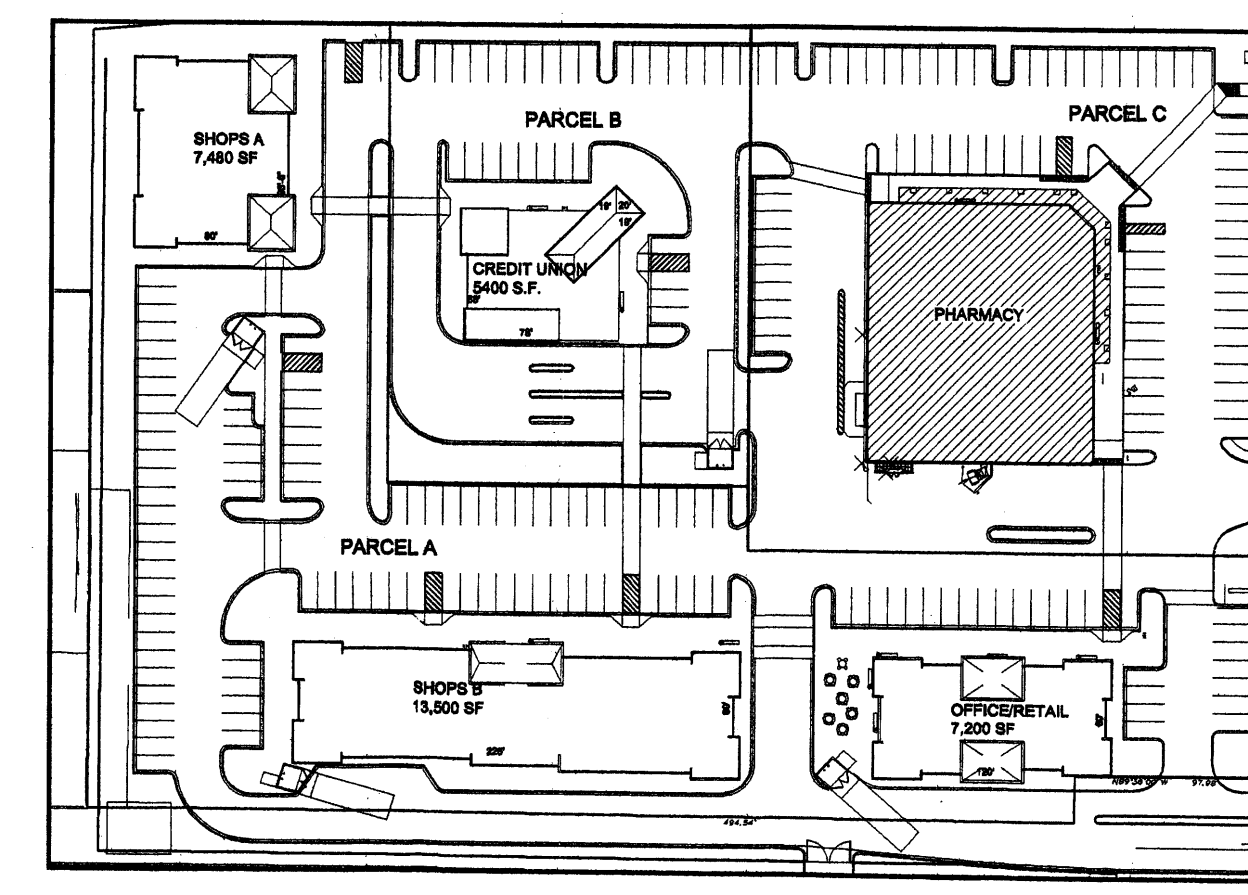
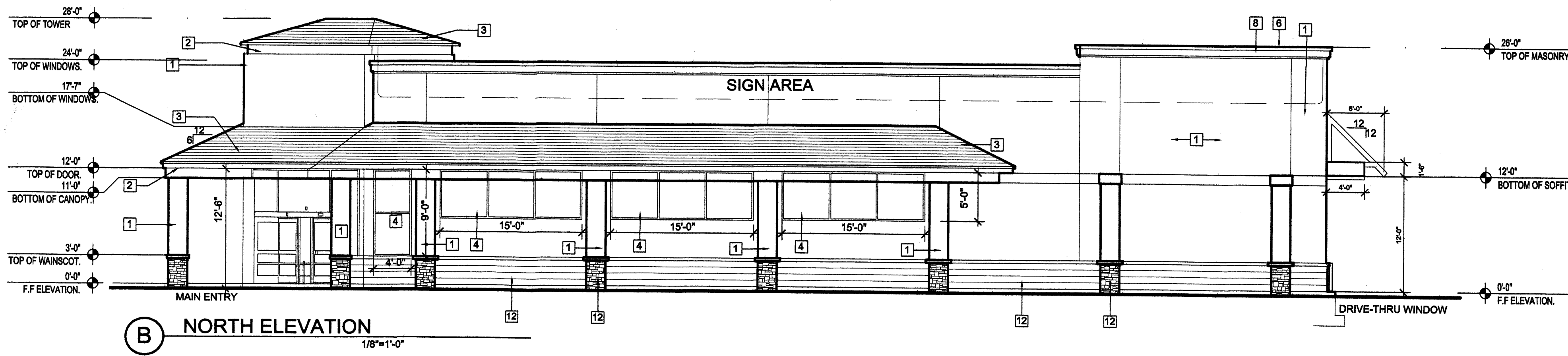
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 PROJECT MANAGER: JCS
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 SHEET TITLE: DRAINAGE MANAGEMENT PLAN

DATE: 01.15.08
 SCALE: AS NOTED
 SHEET: C2A of



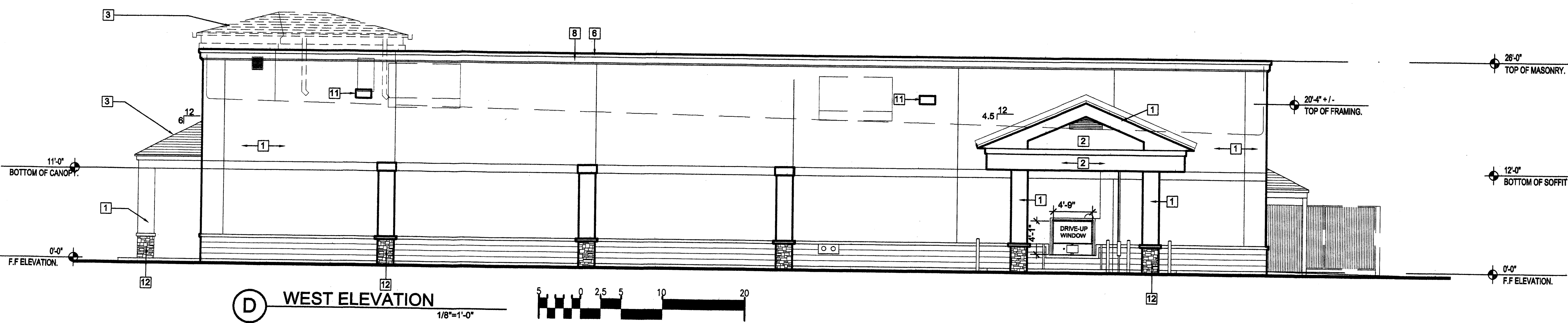
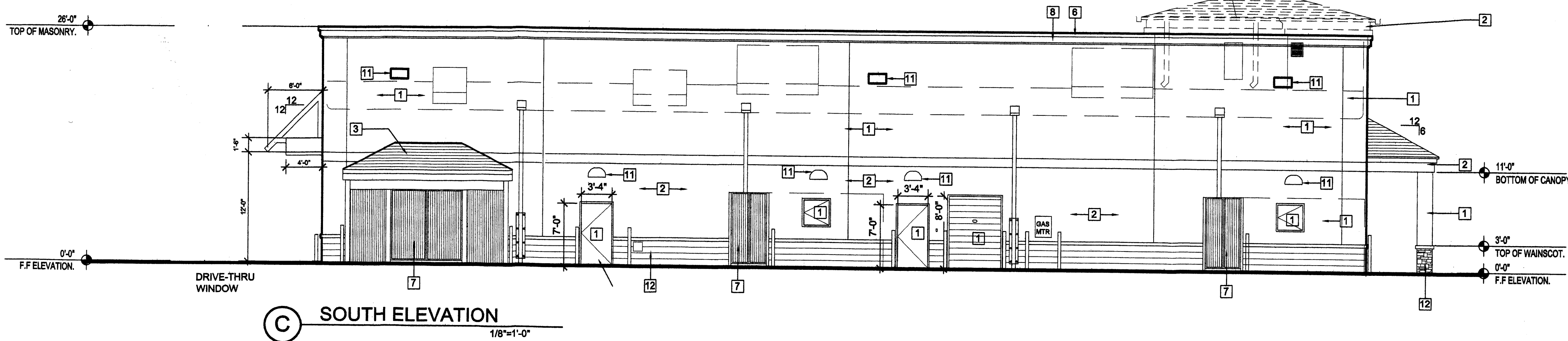
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1	STUCCO BM 951 "BONE WHITE"	LIGHT BEGE
2	STUCCO BM HC-48 "BRADSTREET BEIGE"	WARM BROWN
3	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
4	GLASS 1" INSUL. LOW E GLASS W/ CLEAR ANOD. FRAME	CLEAR
5	GLASS 1/4" CLEAR	CLEAR
6	PARAPET CAP UNA-CLAD "ALMOND"	WARM BROWN
7	STORAGE GATES BM HC-48 "BRADSTREET BEIGE"	WARM BROWN
8	CORNICE BM HC-48 "BRADSTREET BEIGE"	WARM BROWN
9	NOT USED	
10	BLOCK CAP INTEGRAL COLOR	WARM BROWN
11	LIGHT FIXTURE DARK BRONZE	DARK BRONZE
12	CULTURED STONE VENEER BROWN	BROWN

REV	DATE	BY	REVISION
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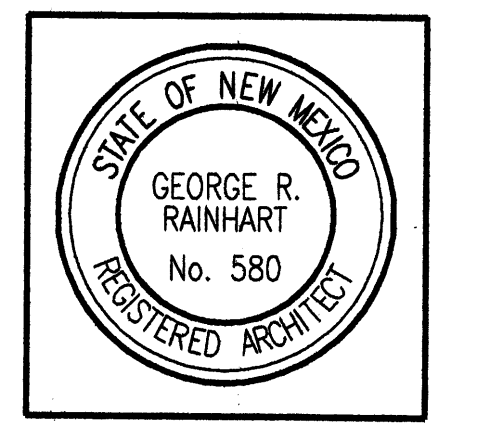


(E) KEY PLAN
NTS

NOTES:
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS A, CREDIT UNION AND PHARMACY.
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
 SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.



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PROJECT TITLE
 PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

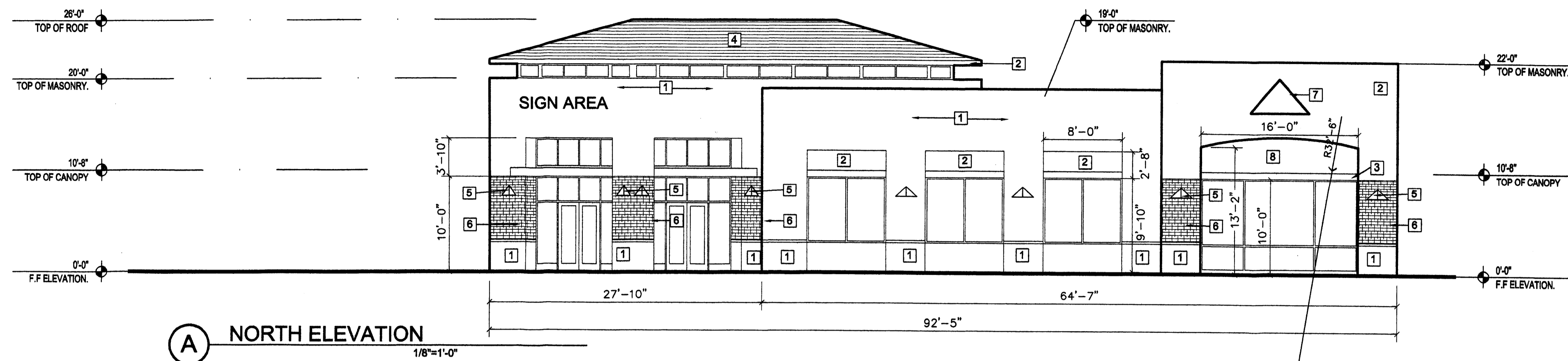
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 JON STERN

DRAWN BY
 NNAH

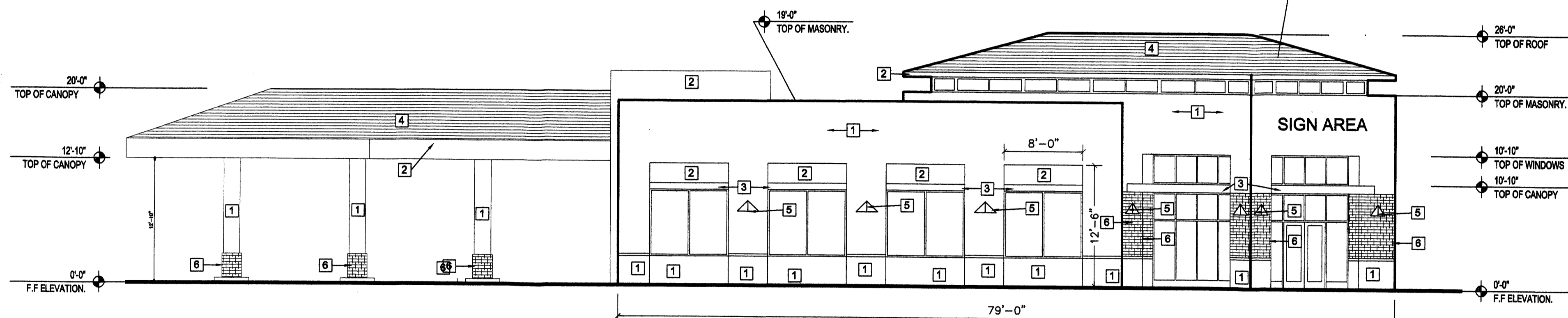
JOB NO.
 0717

SHEET TITLE
 ELEVATIONS PHARMACY

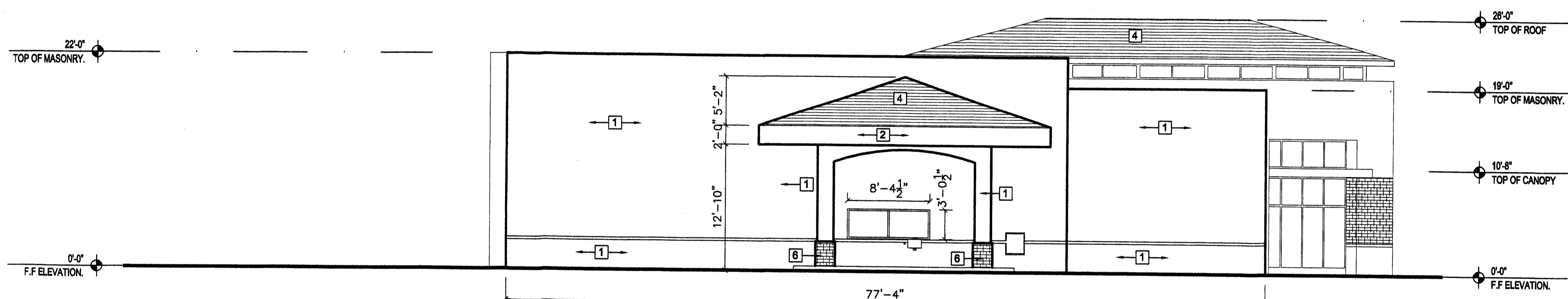
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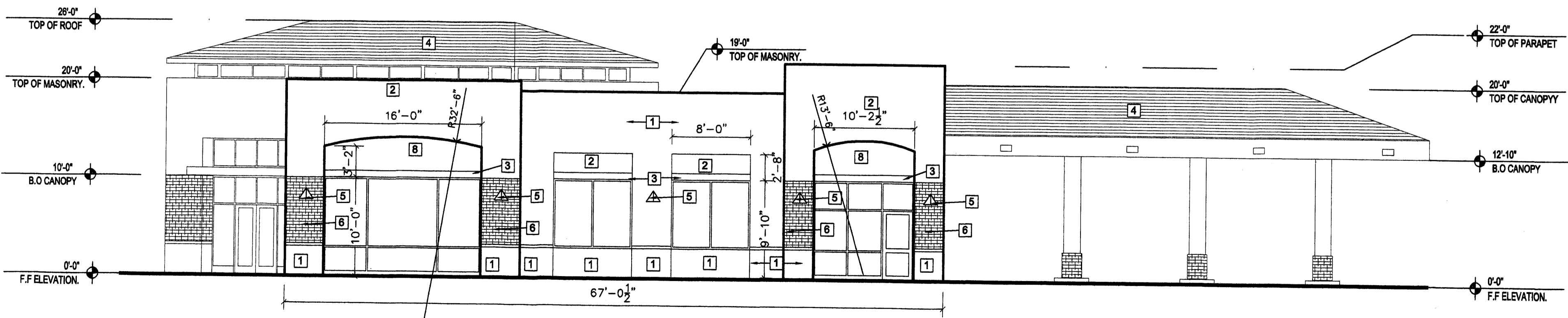
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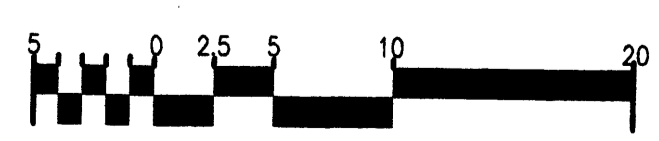
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(C) SOUTH ELEVATION
1/8"=1'-0"

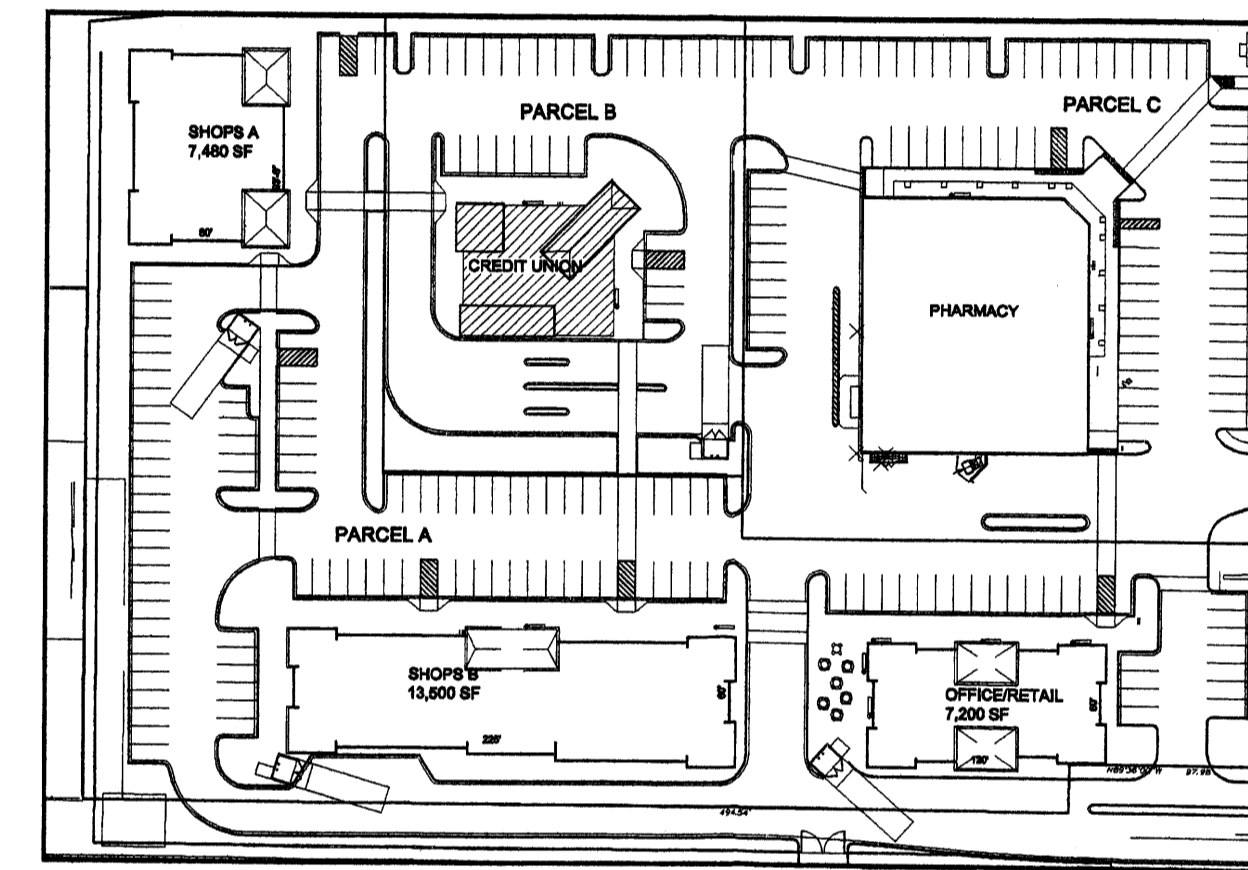


(D) WEST ELEVATION
1/8"=1'-0"



Keyed Color	Material Schedule	Common Name
1	STUCCO LIGHT TAN BENJAMIN MOORE # 951	LIGHT TAN
2	STUCCO MEDIUM DARK TAN SHERWIN WILLIAMS # 0040	MEDIUM DARK TAN
3	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
4	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
5	LIGHT FIXTURE BLACK	BLACK
6	CULTURED STONE VENEER BROWN	BROWN
7	BANK LOGO	
8	STUCCO SOLITUDE SW 6535	MEDIUM DARK GRAY

NOTES:
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS A, CREDIT UNION AND PHARMACY.
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
 SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.



(E) KEY PLAN
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PROJECT TITLE
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 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

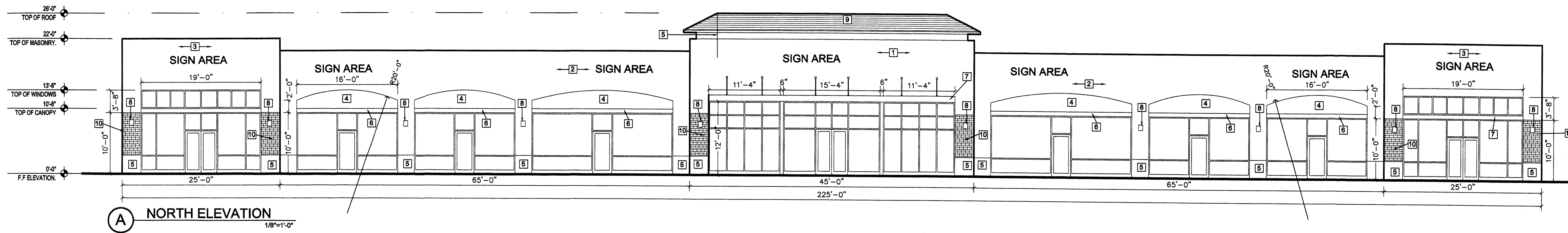
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 JON STEIN

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 NAH

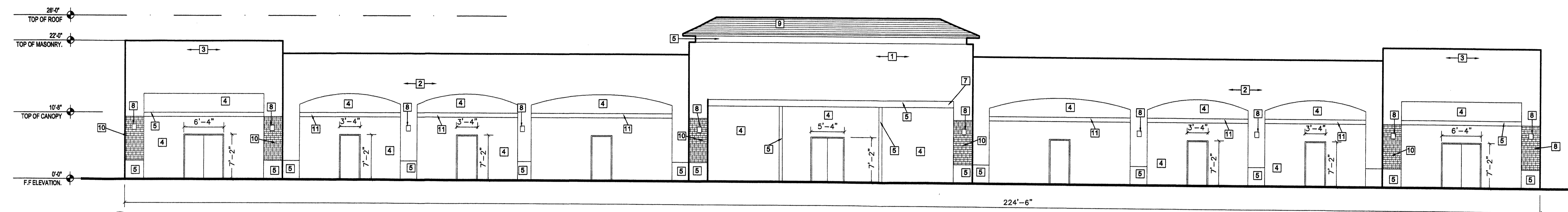
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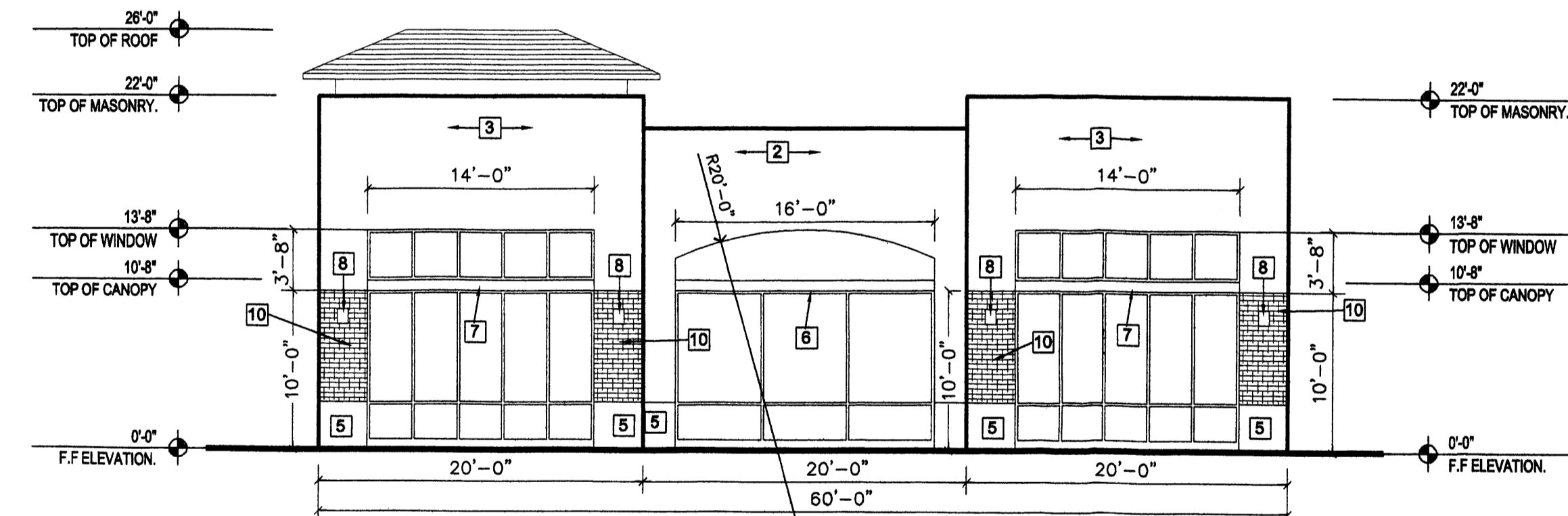
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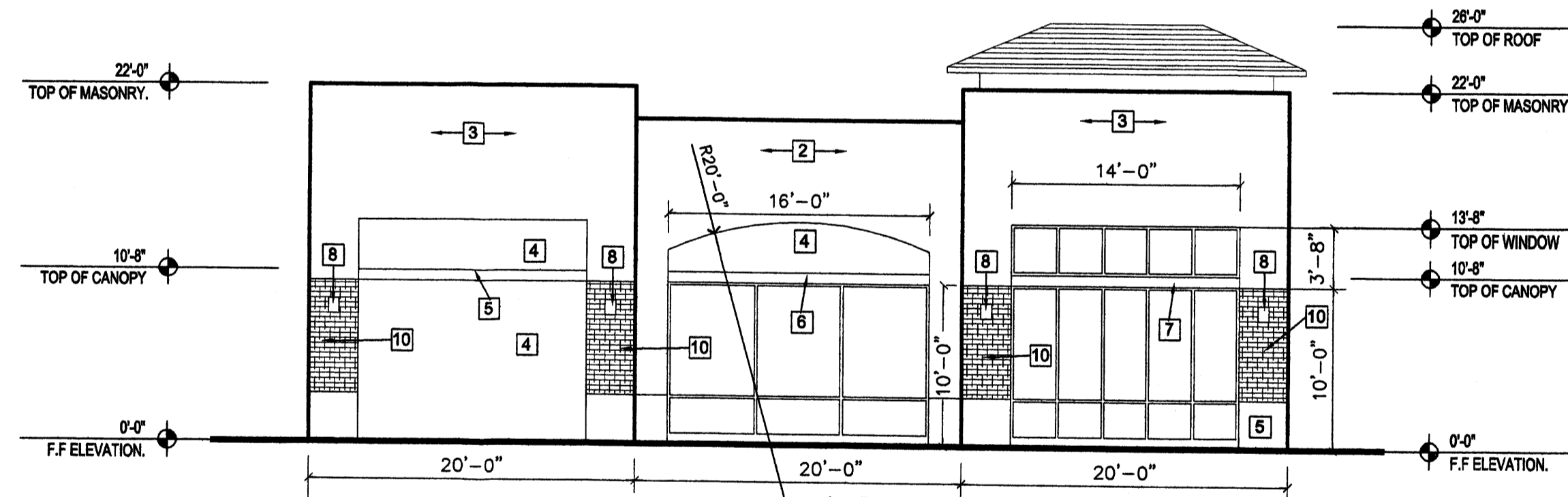
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(B) SOUTH ELEVATION
1/8"=1'-0"



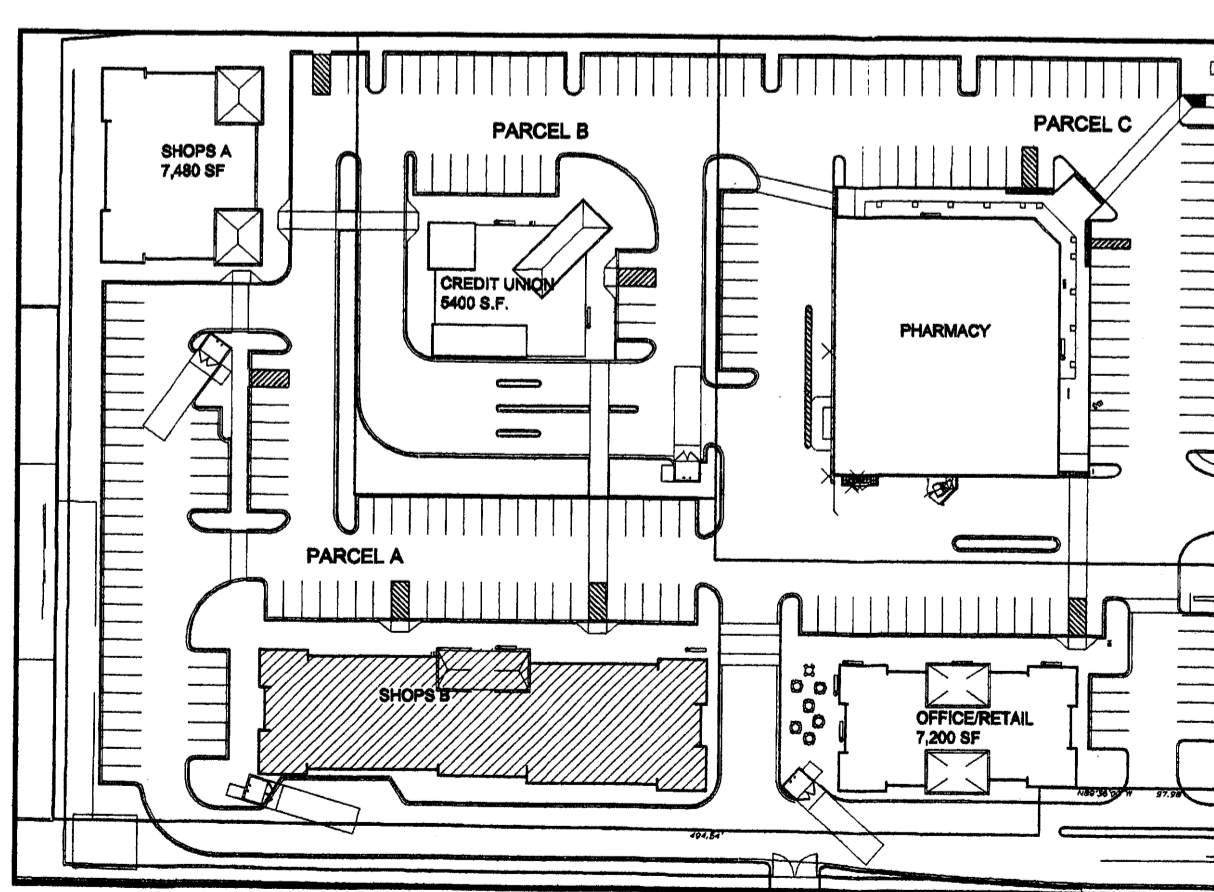
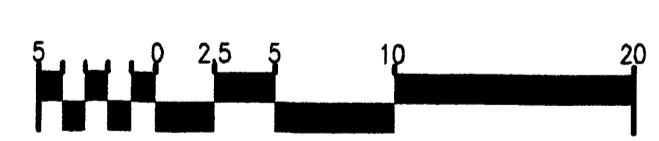
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(D) EAST ELEVATION
1/8"=1'-0"

Keyed Color	Material Schedule	Common Name
1	STUCCO MODERATE WHITE LRV 75% SW 8140	LIGHT CREAM
2	STUCCO MESA TAN SW 2208	TAN
3	STUCCO TATAMI TAN SW 8116	LIGHT BROWN
4	STUCCO ICY SW 8534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	CULTURED STONE VENEER BROWN	BROWN
11	STUCCO BLACK SWAN SW 6279	BLACK

NOTES:
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(E) KEY PLAN
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12/20/07 JS EPC CONDITIONS
11/01/07 JS PLANNER COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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PROJECT TITLE
PASO DEL NORTE AND VENTURA
ALBUQUERQUE, NM

PROJECT MANAGER
JON STERN

JOB NO.
0717

DRAWN BY:
NAH

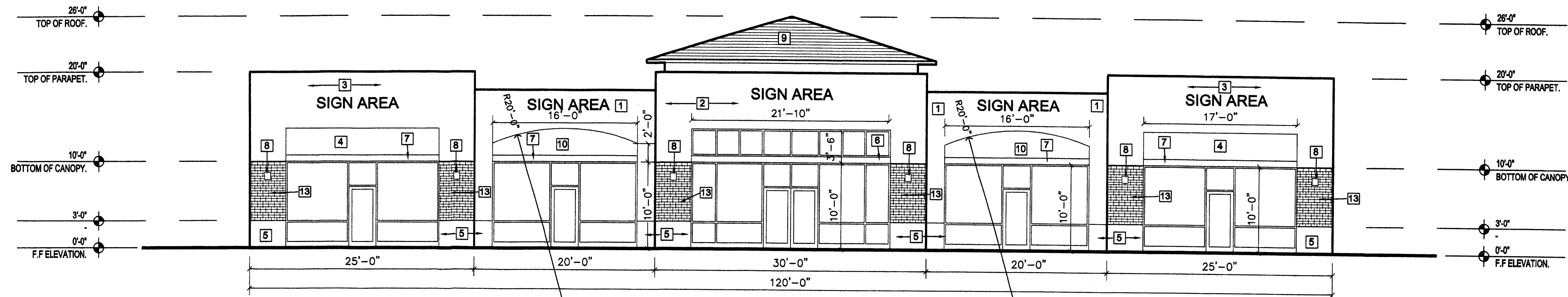
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6.22.07

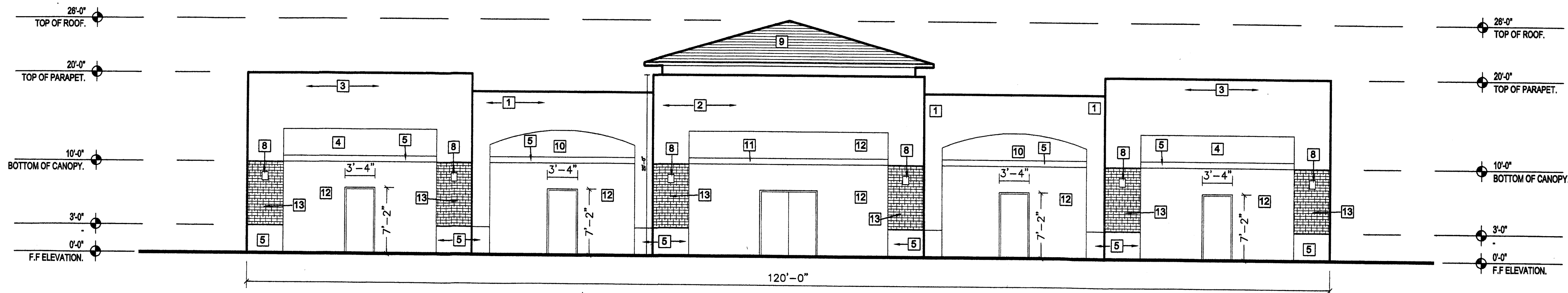
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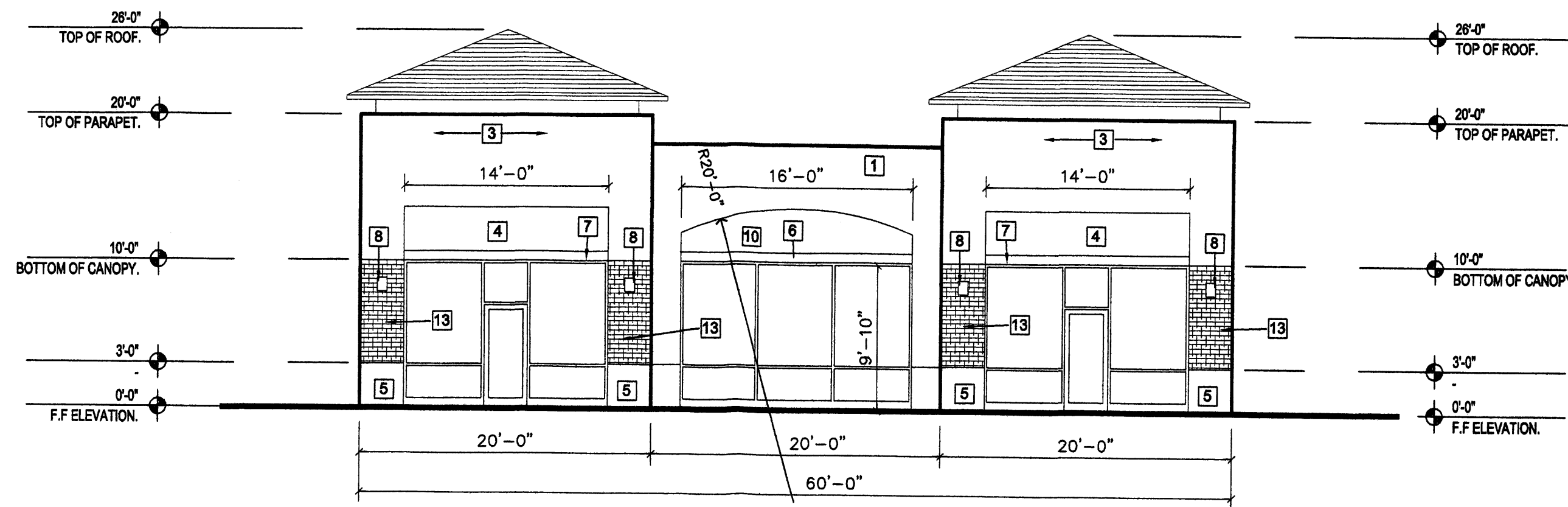
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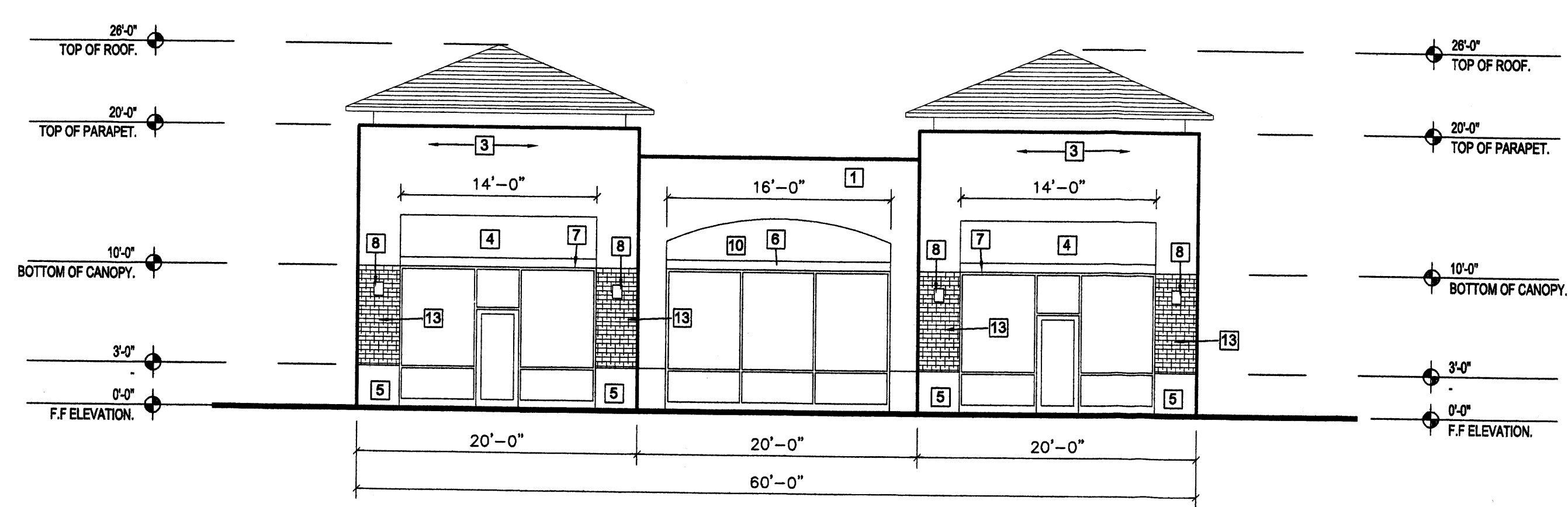
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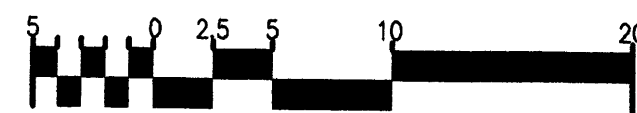
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(C) WEST ELEVATION
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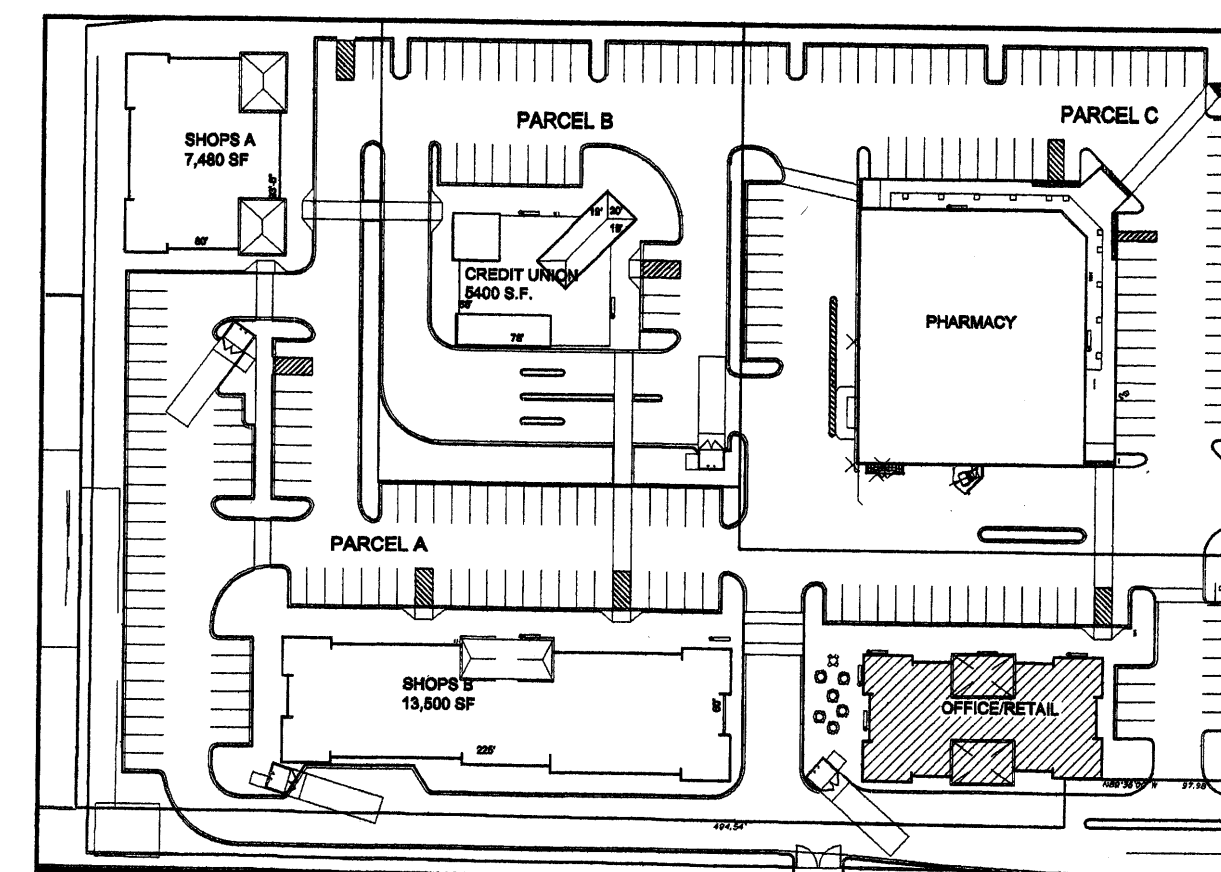


(D) EAST ELEVATION
1/8"=1'-0"



Keyed Color	Material Schedule	Common Name
1	STUCCO NAPERVY SW 6386	CREAM
2	STUCCO TARAMI TAN SW 8116	LIGHT BROWN
3	STUCCO UNCERTAIN GRAY SW 6234	GRAY
4	STUCCO ICY SW 6534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	STUCCO MESA TAN SW 2208	TAN
11	STUCCO BLACK SWAN SW 6279	BLACK
12	STUCCO ICY SW 6534	LIGHT GRAY
13	CULTURED STONE VENEER BROWN	BROWN

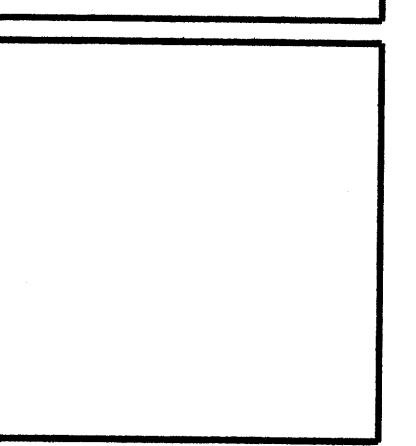
NOTES:
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(E) KEY PLAN
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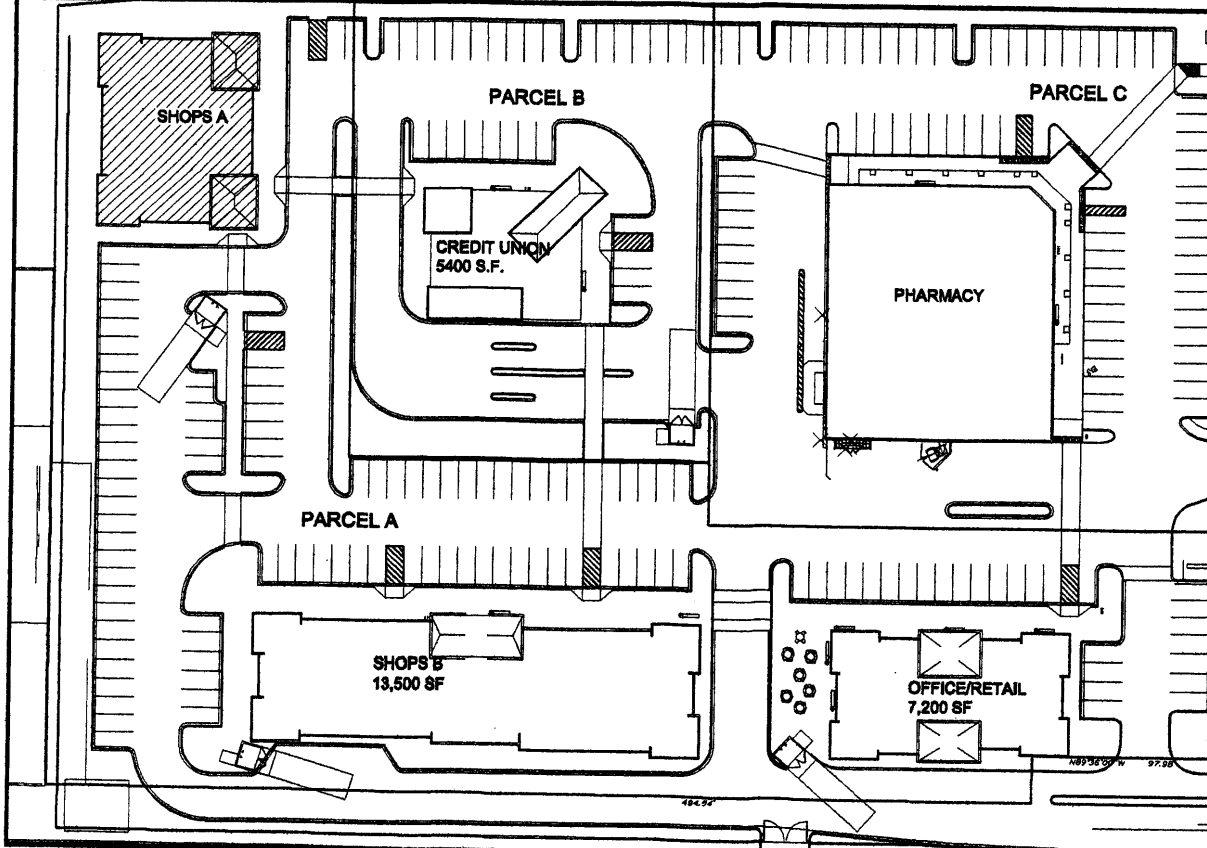
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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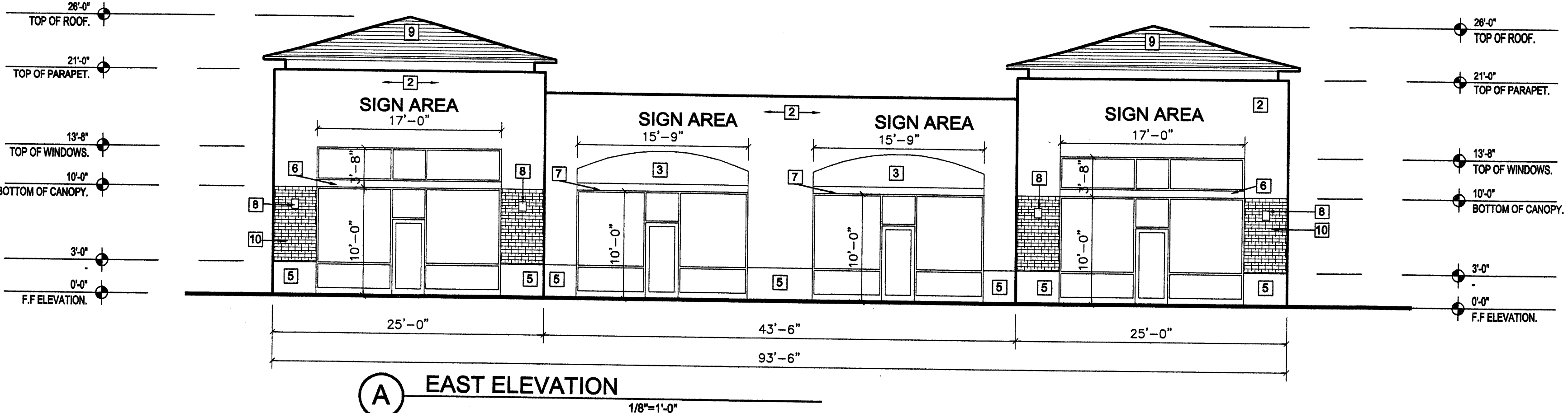
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PROJECT MANAGER JON STERN	SHEET TITLE ELEVATIONS OFFICE/RETAIL	
DATE: 6.22.07	sheet: A3.4	
SCALE: 1/8"=1'	of:	

NOTES:
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 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
 SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.

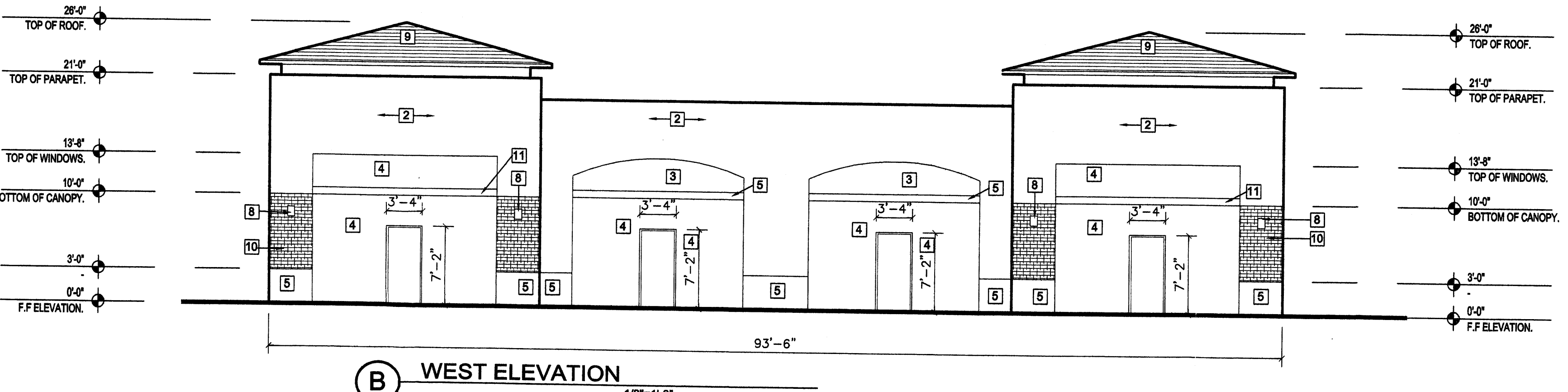
Keyed Color	Material Schedule	Common Name
1	STUCCO NAPERLY SW 6386	CREAM
2	STUCCO MESA TAN SW 2208	TAN
3	STUCCO RAPTURE BLUE	SKY BLUE
4	STUCCO ICY SW 6534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT	LIGHT GRAY
10	CULTURED STONE VENEER BROWN	BROWN
11	STUCCO BLACK SWAN SW 6279	BLACK



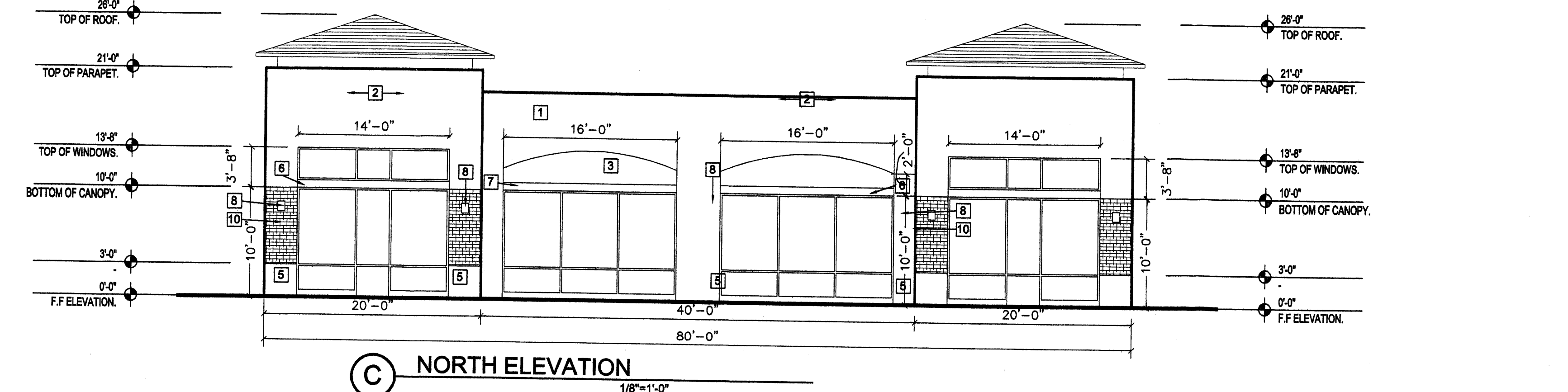
E KEY PLAN
NTS



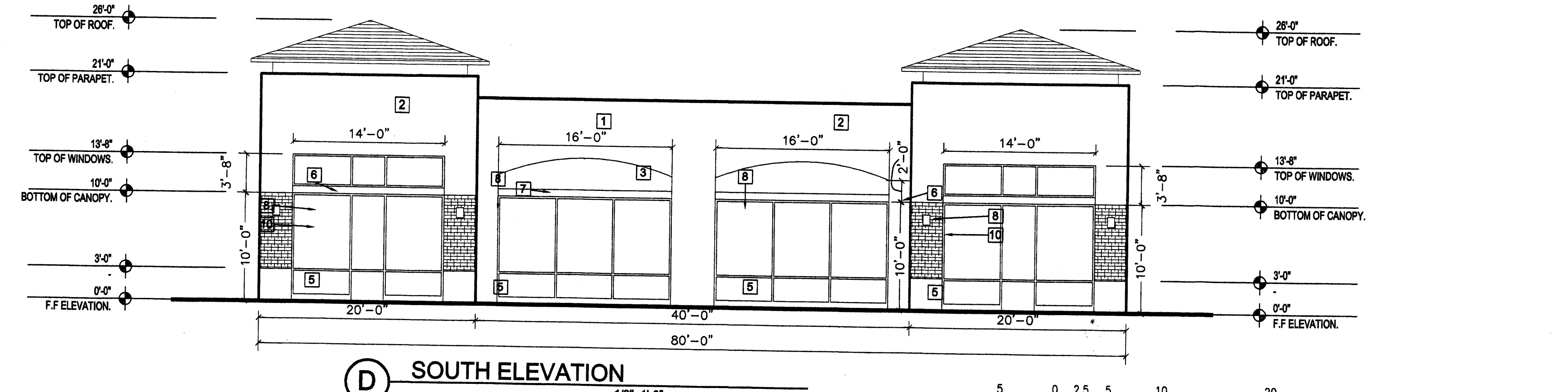
A EAST ELEVATION
1/8"=1'-0"



B WEST ELEVATION
1/8"=1'-0"



C NORTH ELEVATION
1/8"=1'-0"

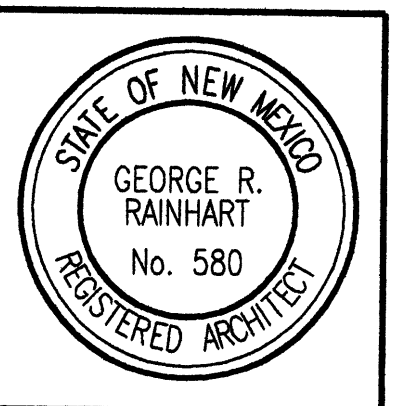


D SOUTH ELEVATION
1/8"=1'-0"



REV	DATE	BY	REVISION
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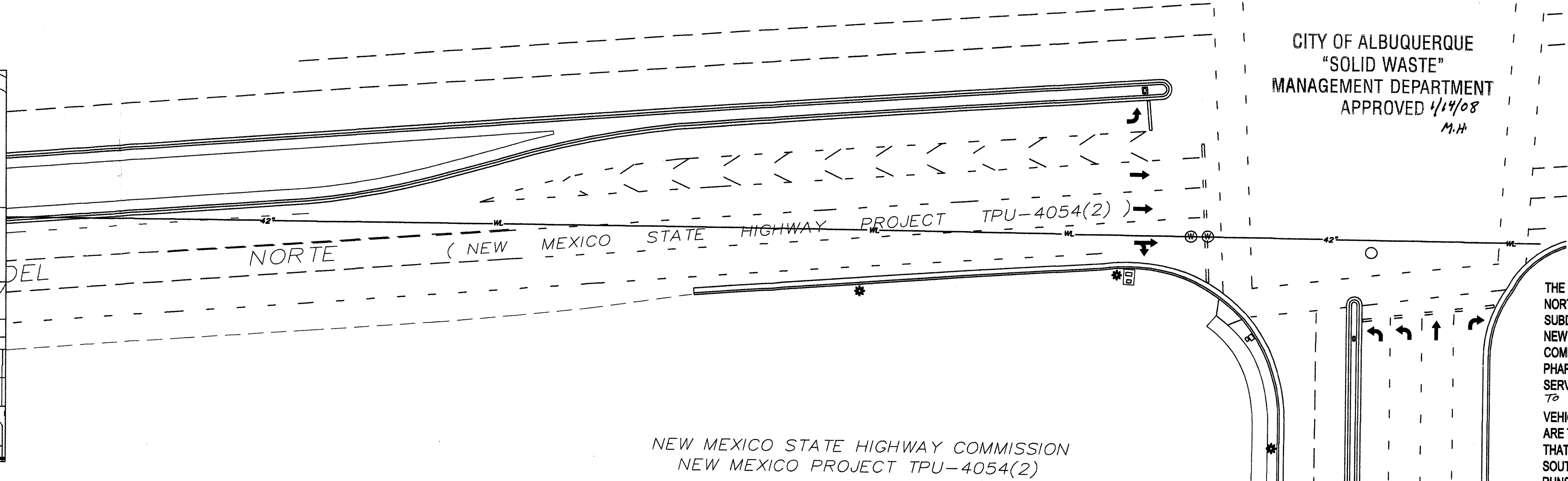
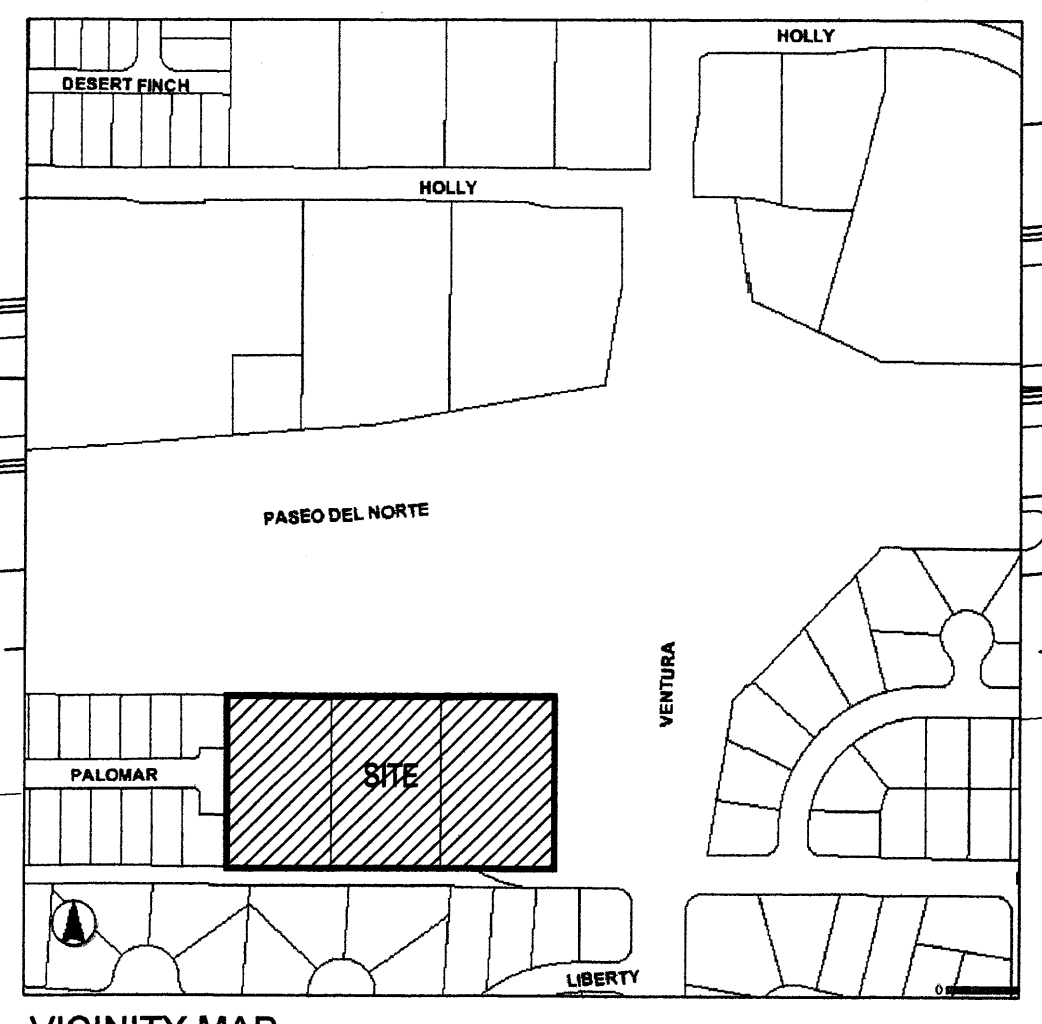
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



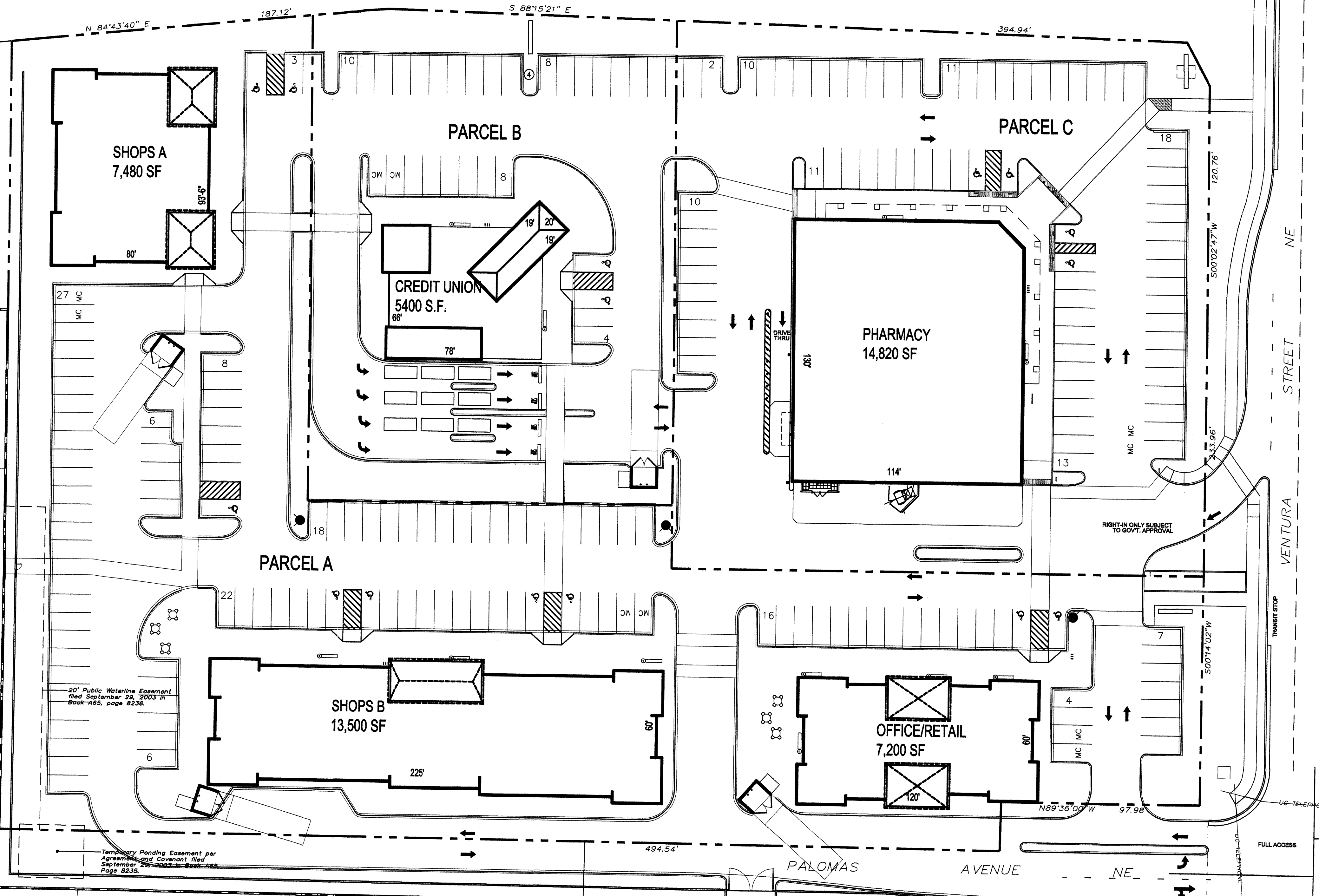
PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM
 PROJECT MANAGER: JON STERN
 DRAWN BY: NAH
 JOB NO.: 0717
 SHEET TITLE: ELEVATIONS SHOPS-A

DATE: 6.22.07
 SCALE: 1/8"=1'
 sheet: **A3.5**
 of: 4

CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 APPROVED 1/14/08
 M.H.



PLANNING OFFICE
 624-6911
 APPROVED
 1-14-08
 WILSON & BONE



THE SITE IS LOCATED ON THE SOUTH-WEST CORNER OF PASO DEL NORTE AND VENTURA. THE SITE IS 5.44 ACRES AND WILL BE SUBDIVIDED FROM ITS CURRENT THREE LOT CONFIGURATION TO A NEW THREE LOT CONFIGURATION. THE USES INCLUDE RETAIL IN COMPLIANCE WITH THE SU-2/C-1 ZONING, OFFICE, A BANK AND A PHARMACY. THE BANK AND THE PHARMACY EACH HAVE DRIVE-THRU SERVICE WINDOWS. DRIVE-THRU USES SHALL BE LIMITED TO A TOTAL OF TWO.

VEHICULAR INGRESS AND EGRESS IS OFF OF VENTURA WHERE THERE ARE TWO DRIVEWAYS. THE NORTHERN DRIVE IS A RIGHT-IN ONLY, THAT HAS BEEN DESIGNED TO INHIBIT RIGHT-OUT MOVEMENT AND THE SOUTHERN ONE IS FULL ACCESS. THERE IS A SERVICE ACCESS THAT RUNS TO THE SOUTH OF THE SITE. CROSS PARKING SHALL BE PERMITTED IN THIS SHOPPING CENTER.

PEDESTRIAN INGRESS AND EGRESS IS PROVIDED FROM VENTURA AT SEVERAL LOCATIONS. ACCESS FROM THE NEIGHBORHOOD TO THE WEST WILL BE PROVIDED. WITHIN THE SITE, ALL BUILDINGS CAN BE ACCESSED VIA A NETWORK OF SIDEWALKS AND CROSSWALKS.

THE MAXIMUM BUILDING HEIGHT IS 28'-0" MAX. TALLER ARCHITECTURAL ELEMENTS ARE PERMITTED. ARCHITECTURAL ELEMENTS OVER 26 FEET TALL ARE PERMITTED PURSUANT TO THE LA CUEVA SECTOR DEVELOPMENT PLAN AND THE ZONING CODE.

THE MINIMUM BUILDING SET BACKS ARE 5'-0" FOR THE FRONT AND CORNER SIDE YARD, AND NOT LESS THAN 5'-0" WHERE THE SITE ABUTS THE SIDE OF A RESIDENTIAL ZONE AND 15'-0" WHERE THE SITE ABUTS THE REAR OF A RESIDENTIAL ZONE. ALL SETBACKS SHALL COMPLY WITH THE LA CUEVA SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING CODE.

PARCEL B	1.00 AC	PARCEL C	1.61 AC
	.12 FAR		.21 FAR
PARCEL A	2.83 AC		.23 FAR

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) or the City of Albuquerque and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Michael Hutton (adjustments) Solid Waste Management	1/14/08 Date
DRP Chairperson, Planning Department	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
1	12.20.07	JS	EPC CONDITIONS
2	11.1.07	JS	PLANNER COMMENTS
3	9.26.07	JS	PLANNER COMMENTS
4	7.20.07	JCS	PLANNER COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

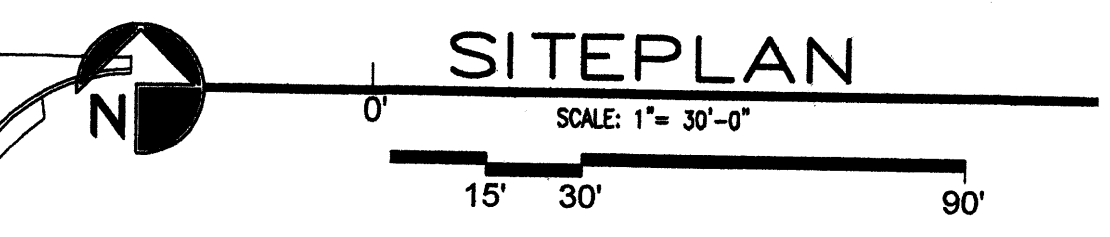
PROJECT TITLE
PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

PROJECT MANAGER
 JCS

DRAWN BY
 JCS

SHEET TITLE
SITE PLAN FOR SUBDIVISION

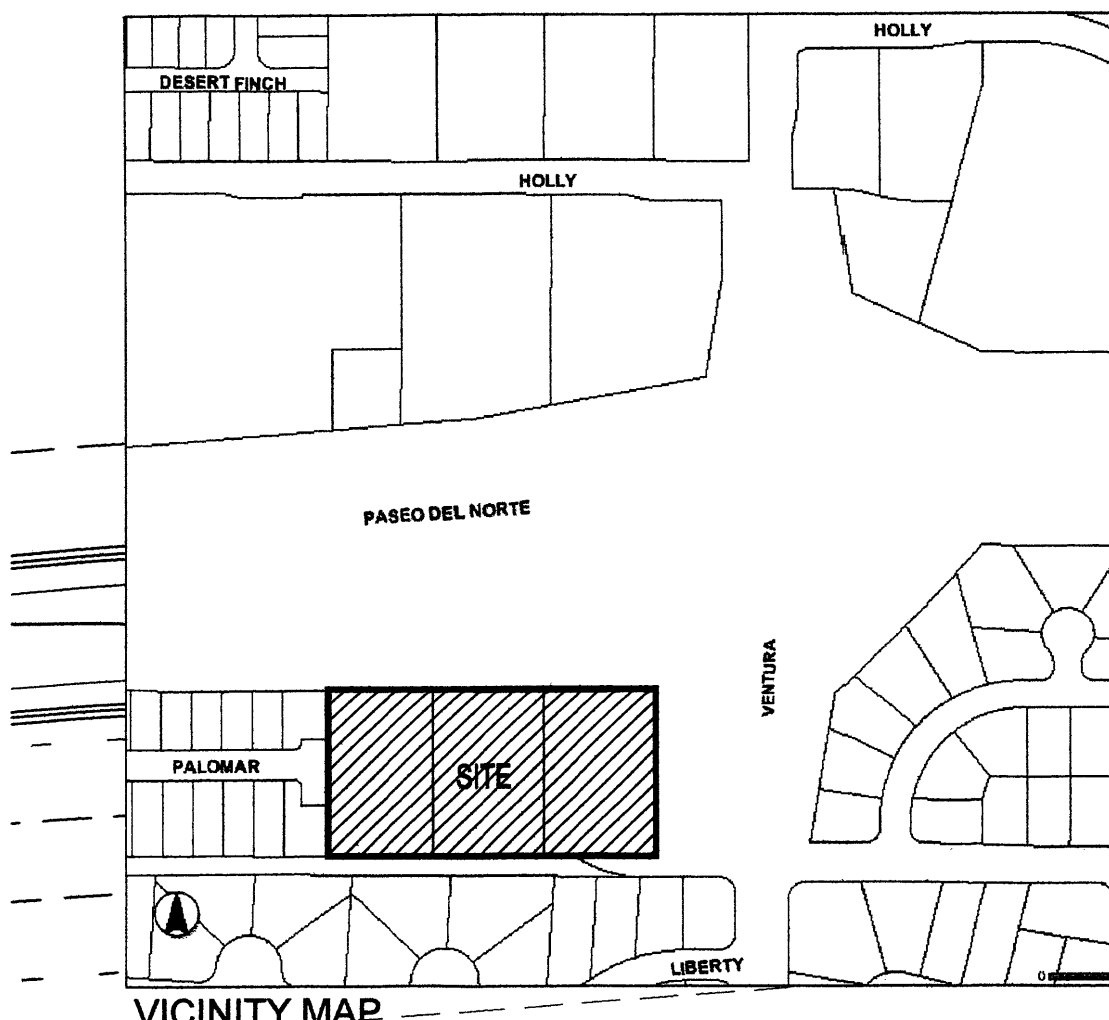
DATE: 6.22.07 sheet
 SCALE: AS NOTED AS1
 of



20' Public Waterline Easement
 filed September 29, 2001 in
 Book 465, page 8236.

Temporary Paving Easement per
 Agreement filed
 September 29, 2001 in Book 465
 Page 8236.

Vacated Public Street Right of Way
 per V. 98-30. Retained by the City of
 Albuquerque as Public Orange
 Right of Way by plat filed 10-11-98
 Volume 96C, Page 431



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 1/14/08
M.H.

- KEYED NOTES**
- PROPERTY LINE
 - MONUMENT SIGN
 - EXISTING CMU WALL
 - BICYCLE RACKS
 - DUMPSTER ENCLOSURE
 - CROSSWALK, BRICK PAVERS
 - 8'-0" X 1'-6" BENCH, LOCATION NOT TO CONFLICT WITH DOORS OR TREES
 - PROPOSED FIRE HYDRANT
 - EXISTING TRAFFIC SIGNAL
 - SITE LIGHTING
 - EXISTING BUS STOP
 - TRASH RECEPTACLES
 - EXISTING SIDEWALK
 - MOTORCYCLE PARKING, WITH UPRIGHT SIGNAGE
 - LANDSCAPE AREA
 - 6" TALL DECORATIVE SPLIT FACE CMU SCREEN WALL
 - 6" TALL DECORATIVE SPLIT FACE CMU SCREEN WALL, ON RETAINING WALL
 - UMBRELLAS
 - NEW GATE IN 6" SCREEN WALL
 - BOLLARDS
 - COLOR, TEXTURED CONCRETE
 - TABLES AND CHAIRS
 - RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
 - FULL HEIGHT CURB
 - "NO EXIT" SIGNAGE
 - COLOR, TEXTURED CONCRETE WITH ROLLER CURB TO ACCOMMODATE TRUCK ENTRY
 - NEW DRIVEWAY PER COA STD. DWG 2425
 - NEW HC RAMP PER COA STD. DWG 2441
 - GATED ACCESS
 - PEDESTRIAN LIGHTING 2' HIGH MAX.

NOTE: CURB CUTS WILL BE PROVIDED SO RAIN WATER CAN SUPPLEMENT IRRIGATION IN LANDSCAPE ISLANDS

NOTE: SCREENING SHALL BE PROVIDED FOR MECHANICAL AND ELECTRICAL EQUIPMENT

NOTE: NO SIGNAGE IS ALLOWED THAT USES FLASHING, OSCILLATING, REVOLVING, BLINKING OR AUDIBLE DEVICES.

NOTE: BUILDING MOUNTED SIGNAGE SHALL BE 2 FEET HIGH MAXIMUM. LOGO DESIGNS SHALL NOT EXCEED 2 FEET IN HEIGHT OR WIDTH.

NOTE: ALL OUTDOOR LIGHTING FIXTURES SHALL HAVE AUTOMATIC TIMERS

CROSS PARKING SHALL BE ALLOWED IN THIS SHOPPING CENTER

NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)

RADIUS INFORMATION:

- RADIUS = 2'-0"
- RADIUS = 3'-0"
- RADIUS = 6'-0"
- RADIUS = 10'-0"
- RADIUS = 15'-0"
- RADIUS = 20'-0"
- RADIUS = 25'-0"
- RADIUS = 30'-0"
- RADIUS = 40'-0"
- RADIUS = 50'-0"
- RADIUS = 60'-0"
- RADIUS = 100'-0"

MAXIMUM BUILDING HEIGHT 26'-0"
TOWER ELEMENTS NOT TO EXCEED 28'-0"

NOTE: UPLIGHTING OF ANY KIND IS PROHIBITED

NOTE: THERE IS AN EXISTING BUS ROUTE AND STOP ON VENTURA. THERE IS AN EXISTING BIKE TRAIL ALONG PASEO DEL NORTE.

NOTE: CHAIN LINK FENCING, BARBED WIRE & CONCERTINA WIRE SHALL BE PROHIBITED

NOTE: OWNER SHALL MAINTAIN LANDSCAPING IN THE SOUTHERN LANDSCAPE BUFFER

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
<i>Michael Holton (adjustment)</i>	1/14/08
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

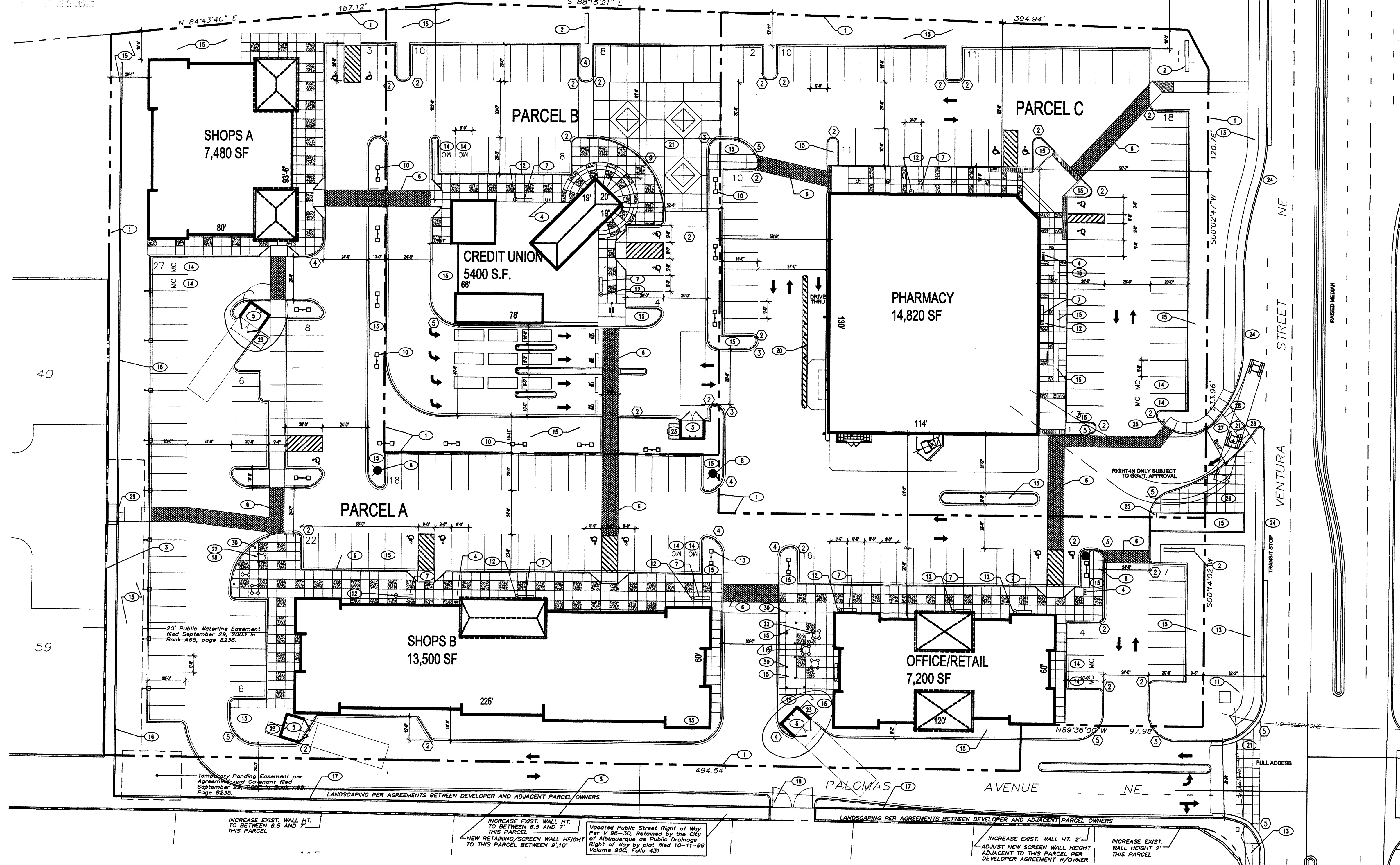
PROJECT TITLE
PASEO DEL NORTE & VENTURA
ALBUQUERQUE, NM

PROJECT MANAGER
JOB NO.

DRAWN BY:
JCS

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

DATE: 6.22.07 sheet:
SCALE: AS NOTED AS2
of:



DRB SUBMITTAL
SITEPLAN
SCALE: 1" = 30'-0"
0' 15' 30' 90'

LAND PLANNING OFFICE
602-6911
APPROVED
1/14/08
M.H.

20' Public Waterline Easement filed September 29, 2003 in Book A65, page 8236.

Temporary Ponding Easement per Agreement filed September 29, 2003 in Book A65, page 8236.

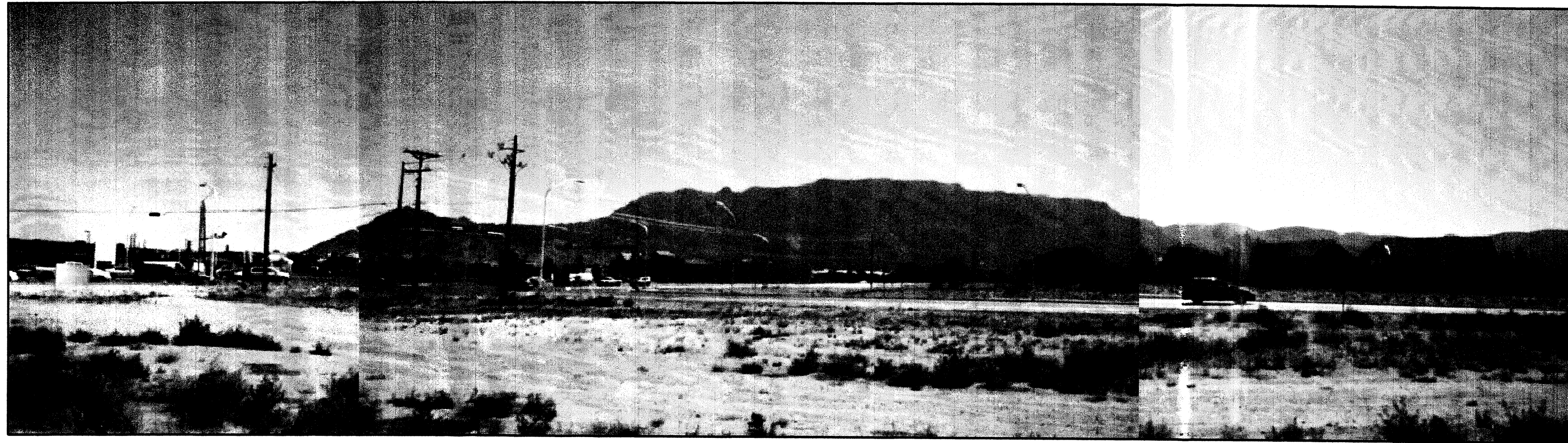
INCREASE EXIST. WALL HT. TO BETWEEN 6.5 AND 7' THIS PARCEL

INCREASE EXIST. WALL HT. TO BETWEEN 6.5 AND 7' THIS PARCEL

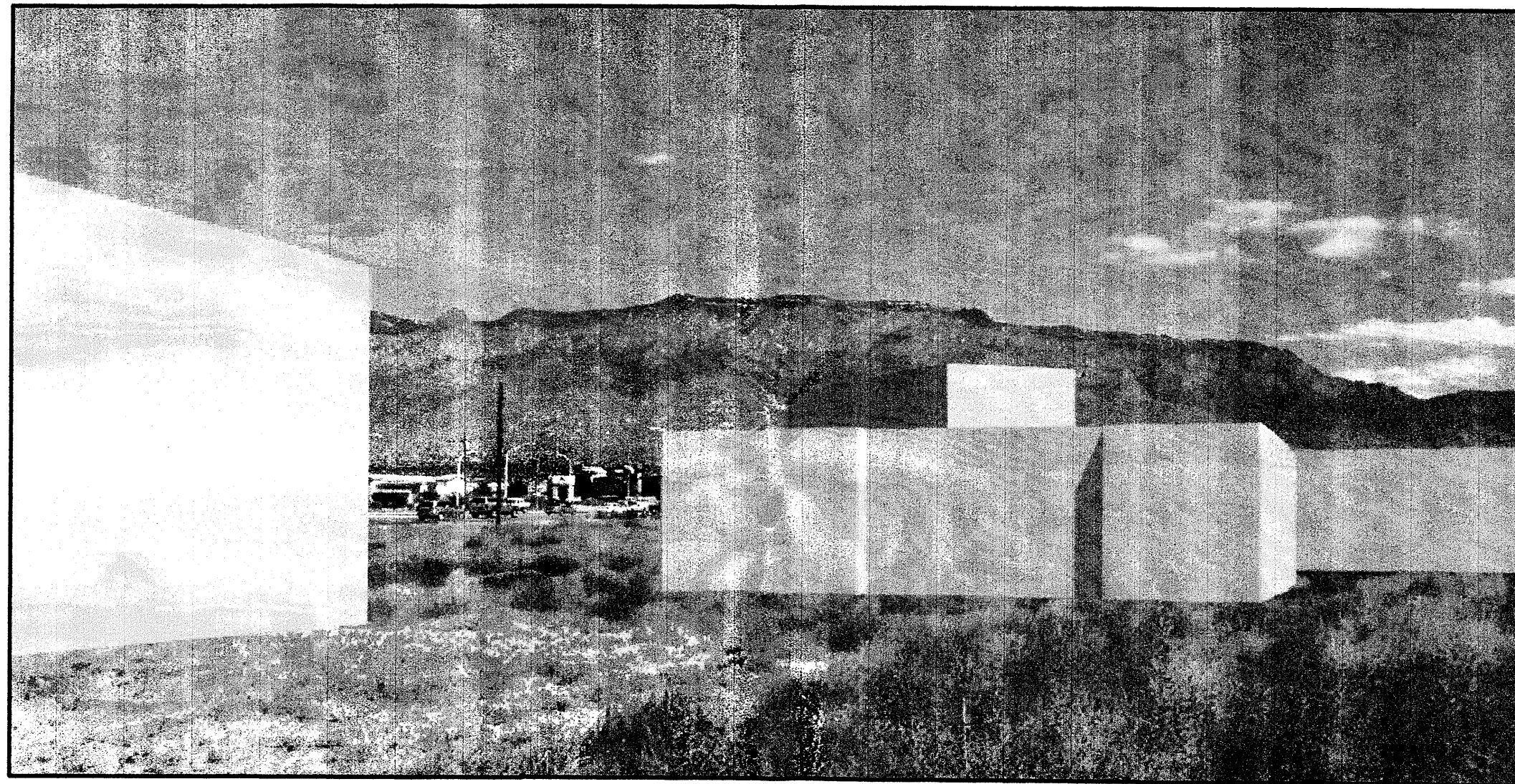
Vacated Public Street Right of Way Per V 98-30, Retained by the City of Albuquerque as Public Drainage Right of Way by plat filed 10-11-98 Volume 98C, Page 431

INCREASE EXIST. WALL HT. 2' ADJUST NEW SCREEN WALL HEIGHT ADJACENT TO THIS PARCEL PER DEVELOPER AGREEMENT W/OWNER

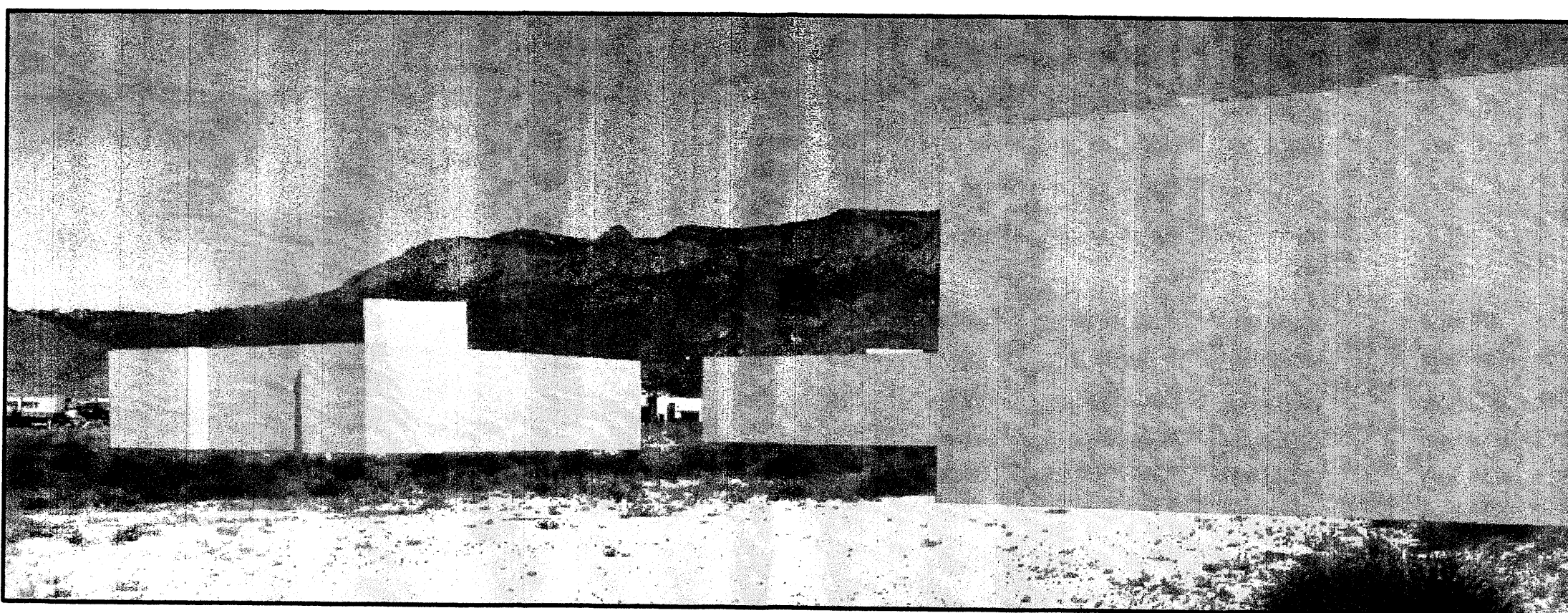
INCREASE EXIST. WALL HEIGHT 2' THIS PARCEL



VIEW EAST FROM SITE



VIEW A
FROM EAST OF LOT 40 LOOKING NORTHEAST.



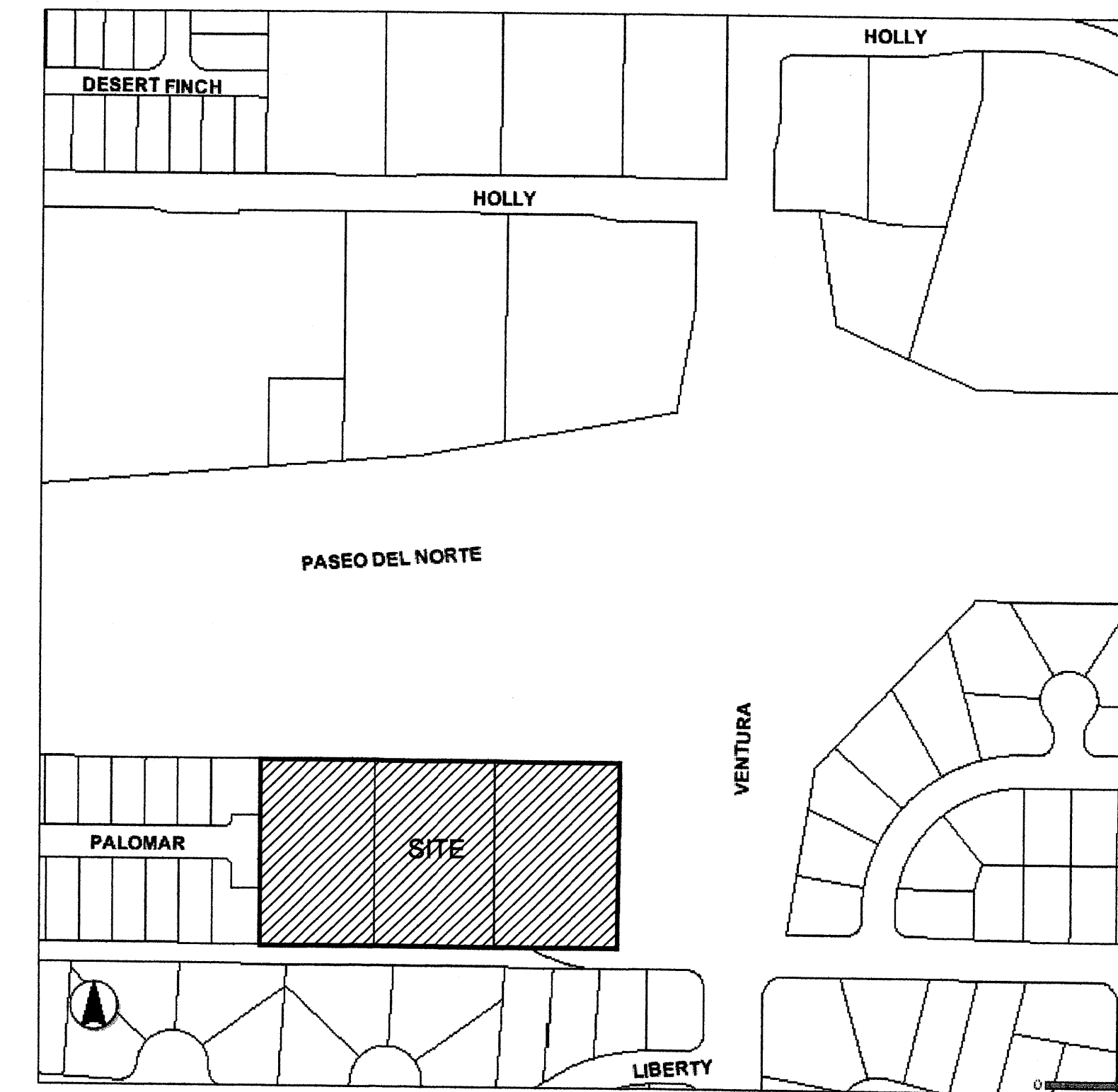
VIEW B
FROM EAST OF LOT 59 LOOKING NORTHEAST

PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING*	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING	
A	123,237 S.F.	SU-2/C1	28'	.3	SHOPS A	7480	SEE CALC BELOW	111	9	6	
					SHOPS B	13500					
					OFFICERETAIL	7200					
B	43,843 S.F.	SU-2/C1	28'	.3	CREDIT UNION	5400		28	2	2	
C	70,026 S.F.	SU-2/C1	28'	.3	PHARMACY	14820		72	4	3	
TOTALS						48400	209 MIN.	211			

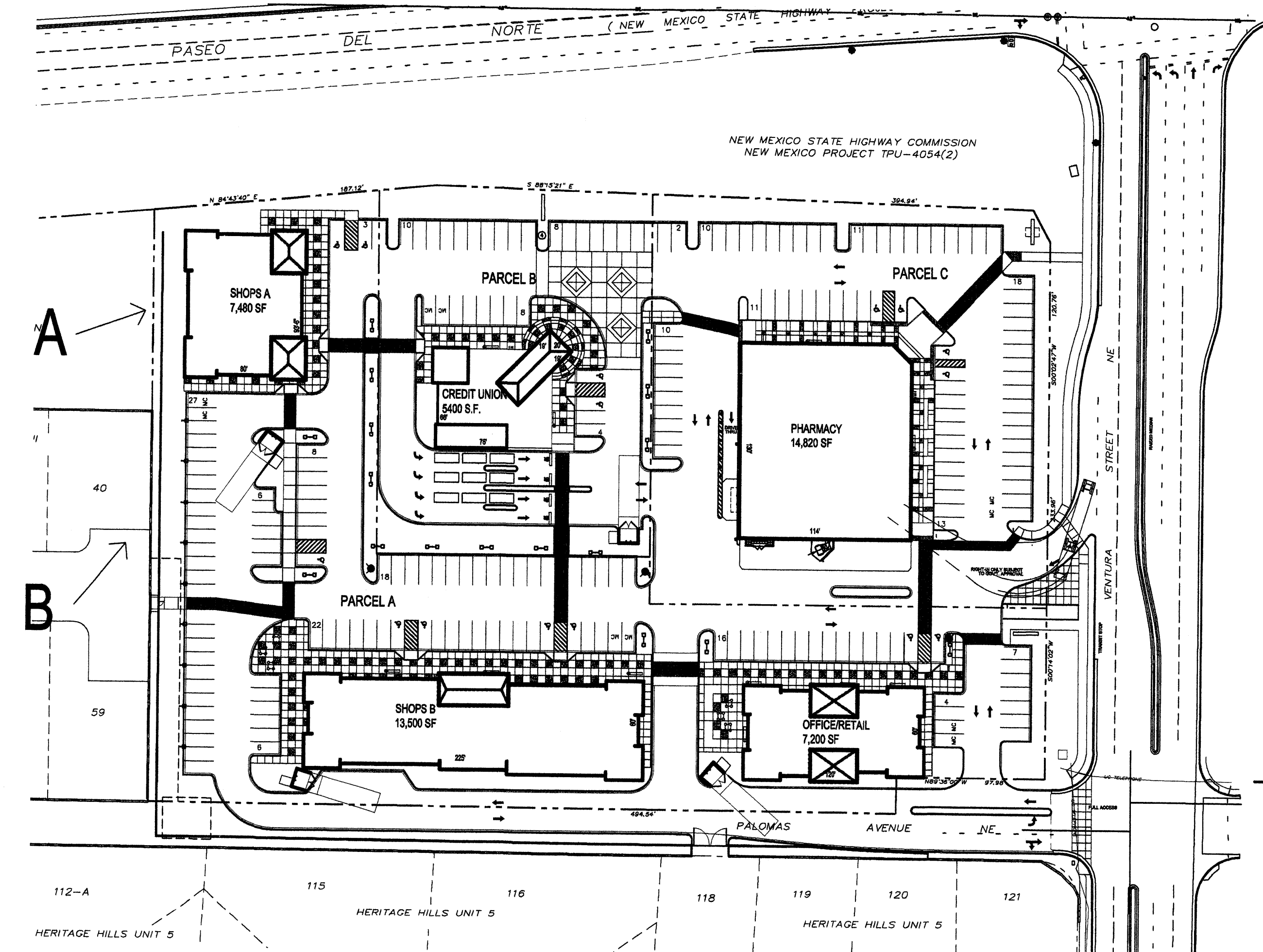
PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED PARKING / MOTORCYCLE PARKING IS PROVIDED IN ADDITION TO *PROVIDED PARKING* TOTALS

PARKING CALCULATIONS:
 PER CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-1 OFF-STREET PARKING REGULATIONS.
 (27) RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION: ONE SPACE PER 200 SQUARE FEET FOR THE FIRST 15,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE SPACE PER 250 SQUARE FEET FOR THE NEXT 45,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE PER 300 SQUARE FEET FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 SQUARE FEET.
 REQUIRED PARKING CALC:
 48,400 TOTAL BUILDING SQUARE FOOTAGE
 1ST 15000 SF @ 1 SPACE PER 200 SF = 15000/200 = 75 SPACES REQ'D.
 REMAINING 33,400 SF @ 1 SPACE PER 250 SF = 33,400/250 = 134 SPACES REQ'D.
 TOTAL SPACES REQ'D. = 75 + 134 = 209 MINIMUM**
 *(10% ADDITIONAL, OR 230 MAXIMUM ALLOWED)

VIEWS FROM WITHIN THE SITE WILL BE PROTECTED BY CONTROLLING BUILDING HEIGHT AND MAINTAINING BREAKS BETWEEN BUILDINGS

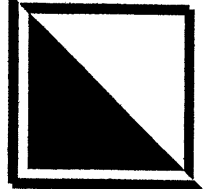


VICINITY MAP



VIEW KEY PLAN

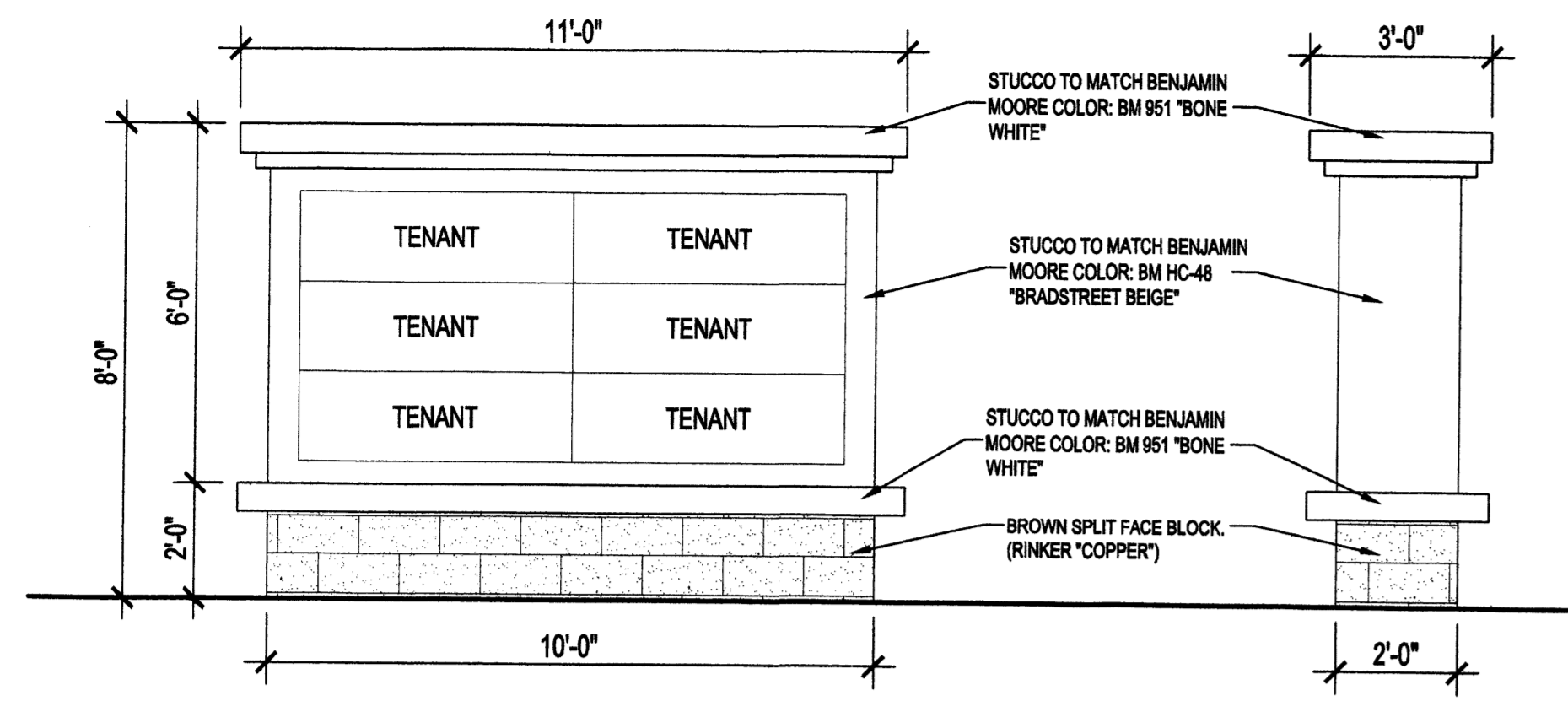
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 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

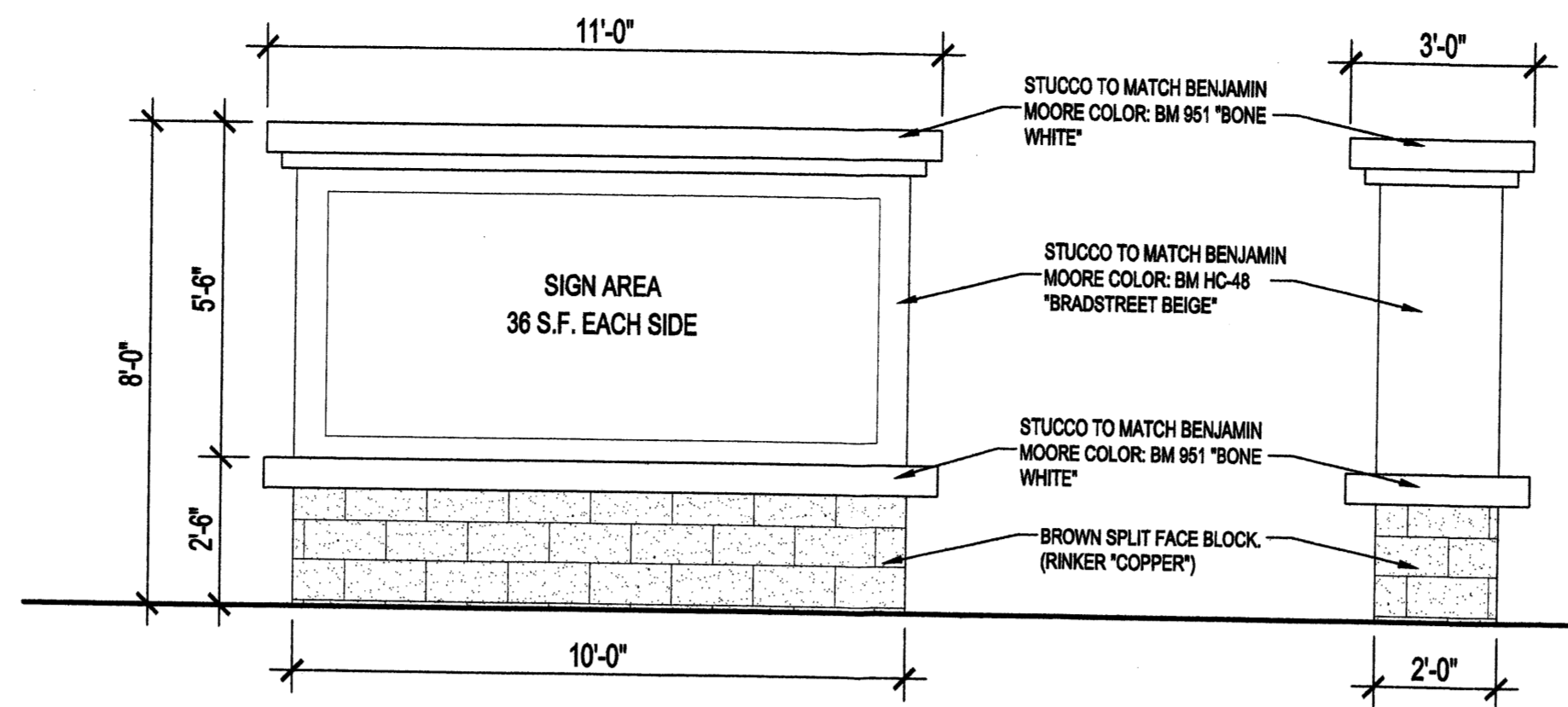
PROJECT TITLE
PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

PROJECT MANAGER
 JOB NO.
 DRAWN BY:
 JCS
 SHEET TITLE
SITE DATA

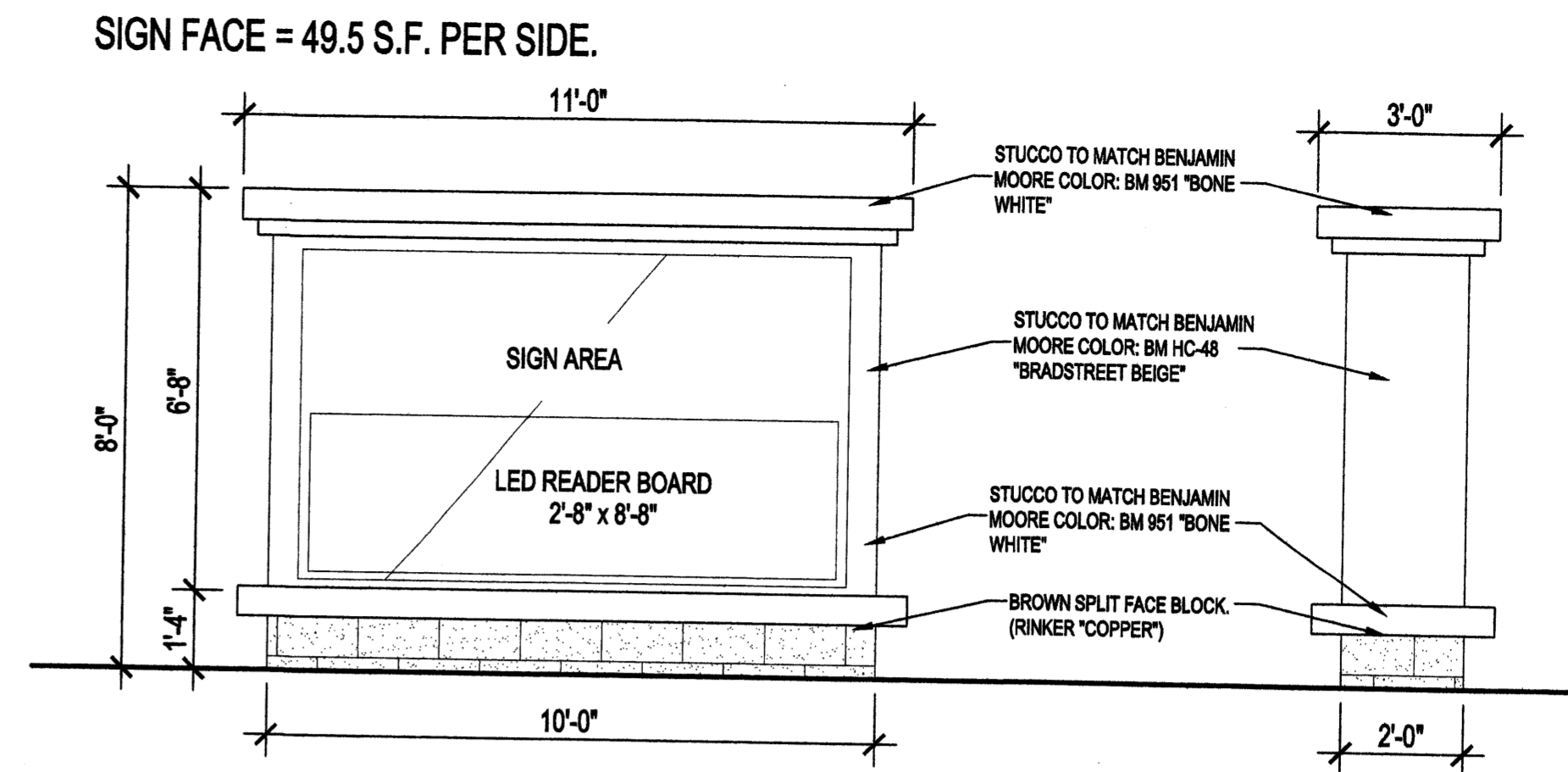
DATE:
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 SCALE:
 AS NOTED
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AS3
 of.



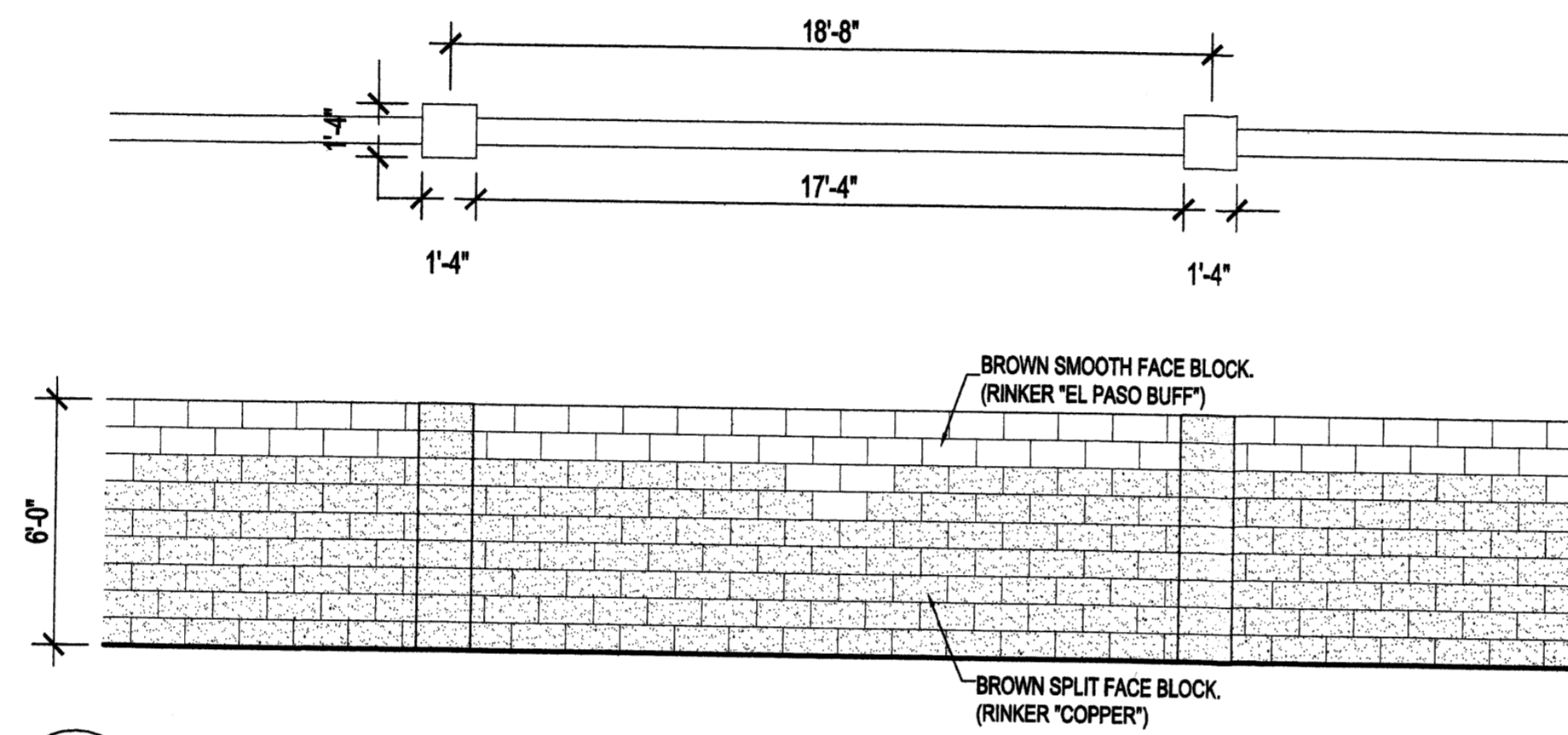
F RETAIL/OFFICE MONUMENT SIGN
1/4" = 1'-0"



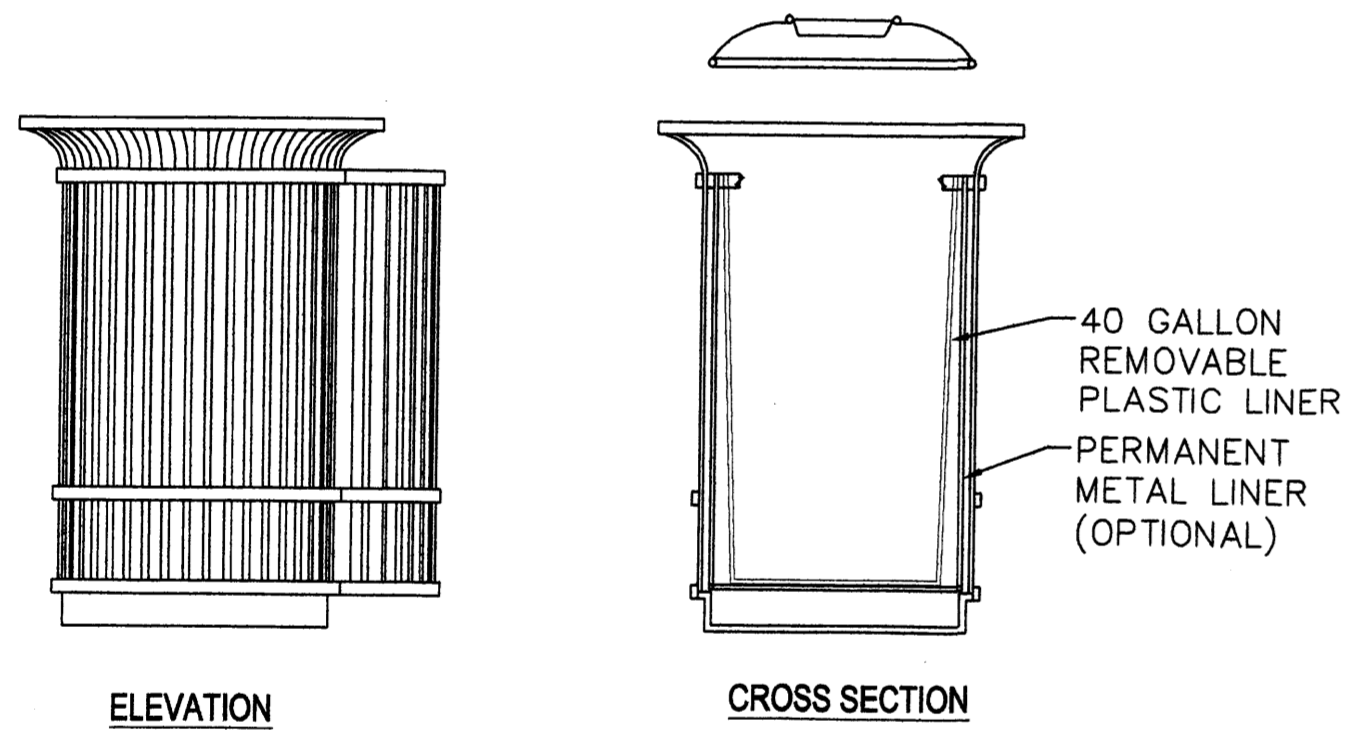
E BANK MONUMENT SIGN
1/4" = 1'-0"



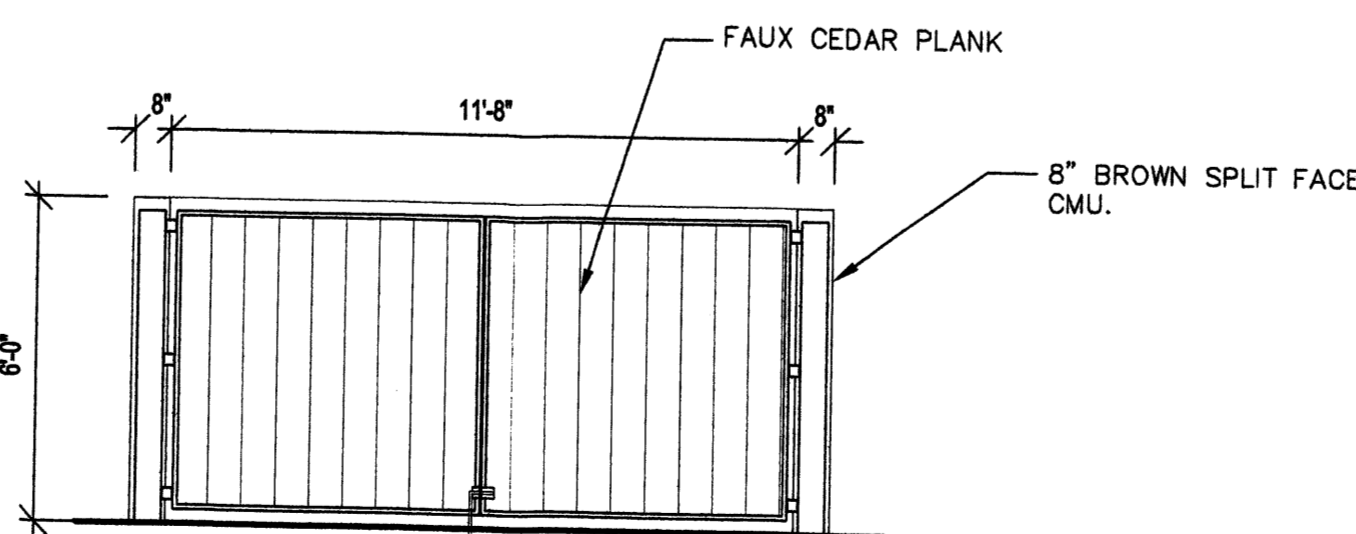
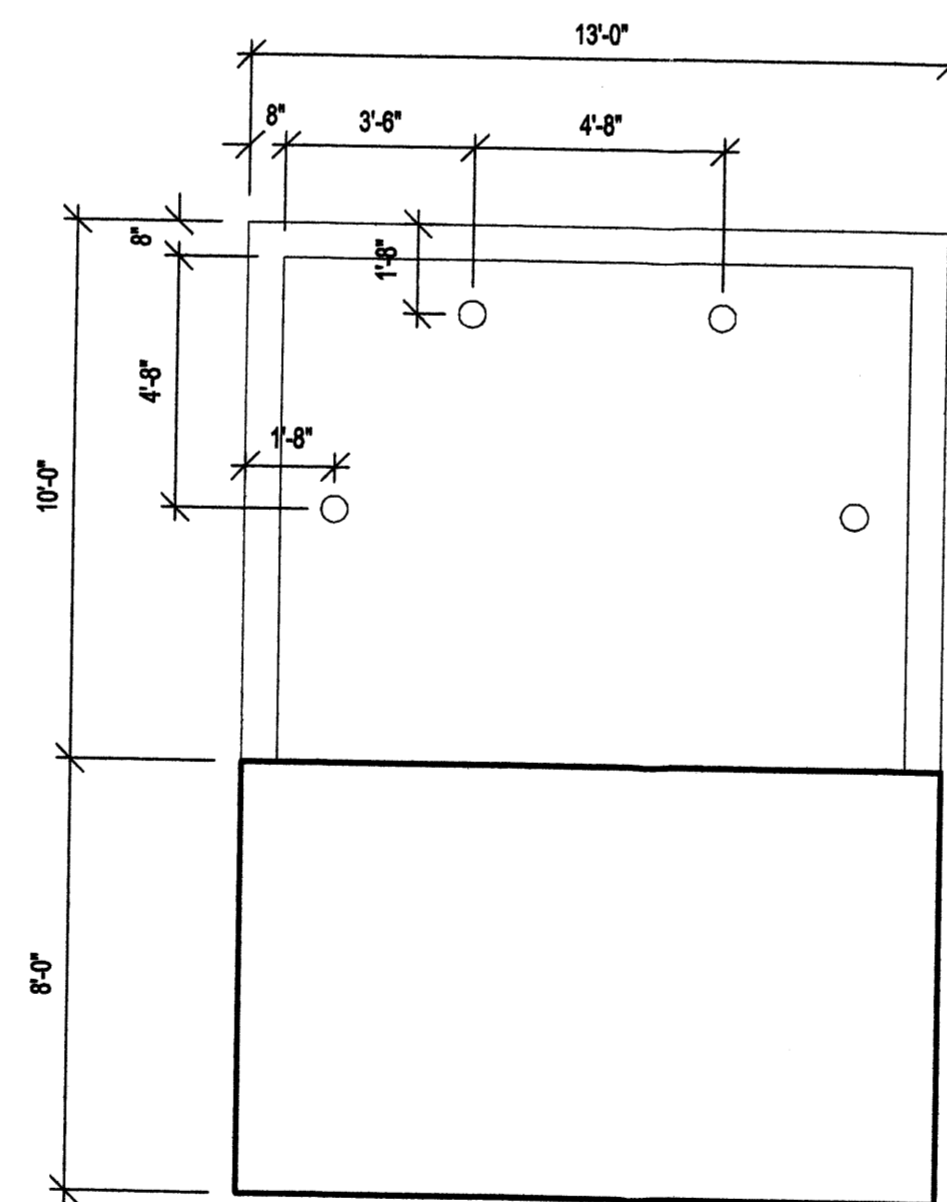
D PHARMACY MONUMENT SIGN
3/8" = 1'-0"



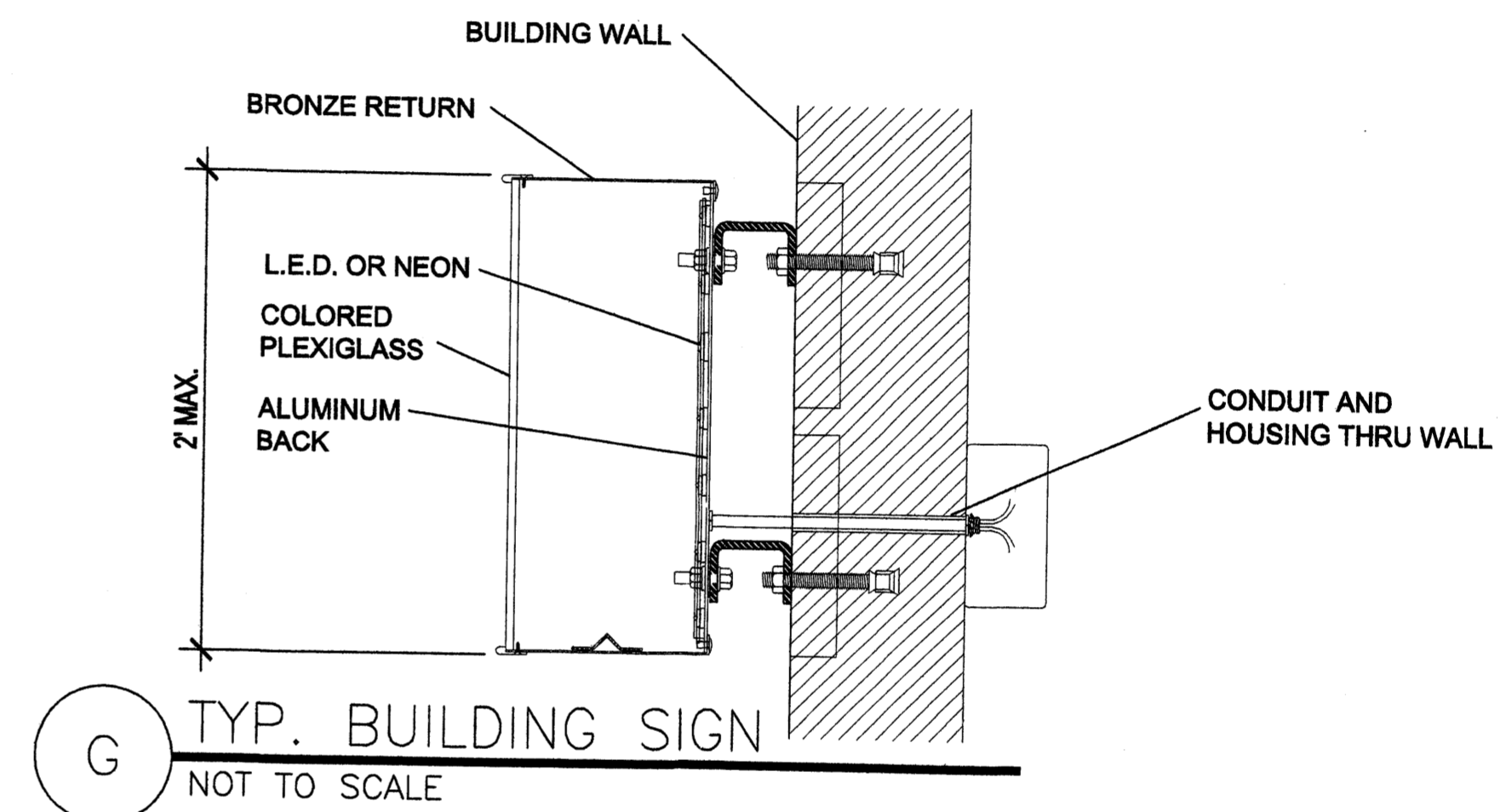
H SCREEN WALL
NOT TO SCALE



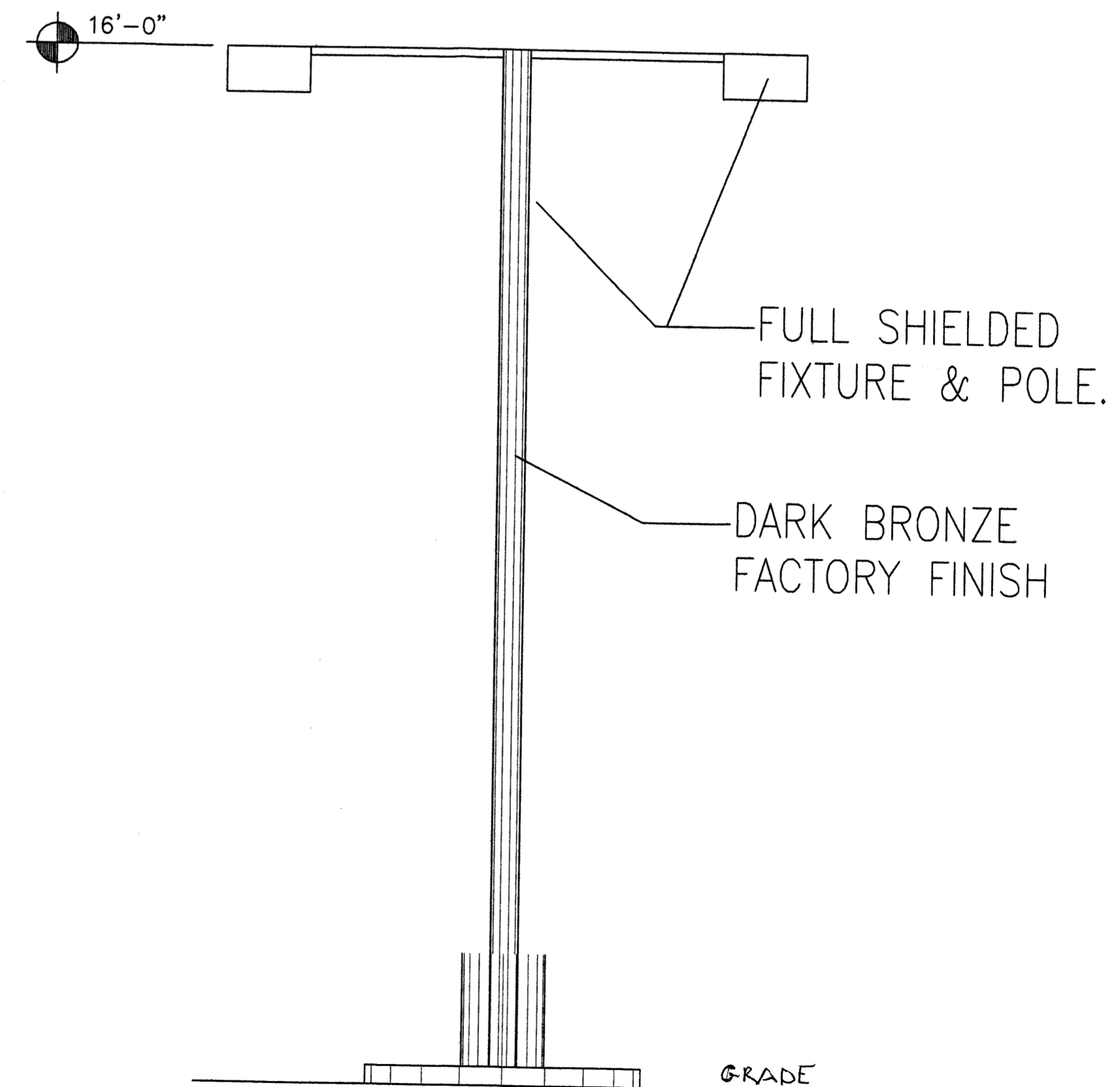
D TYPICAL TRASHCAN ENCLOSURE
N.T.S.



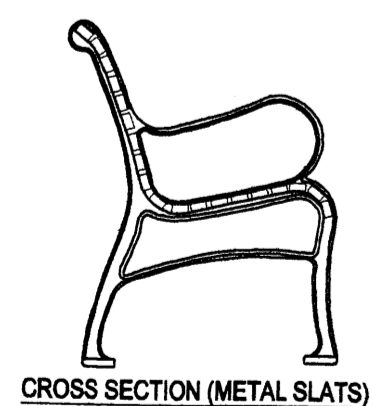
B DUMPSTER ENCLOSURE
N.T.S.



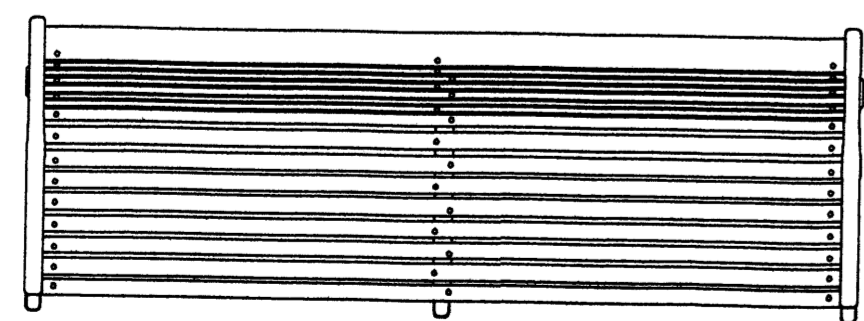
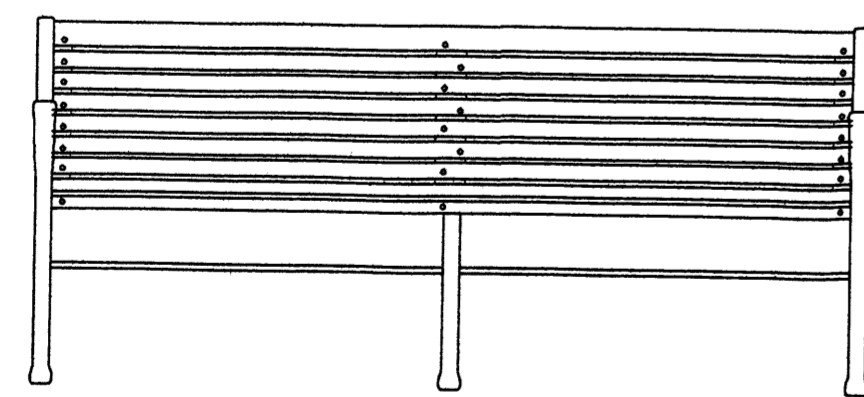
G TYP. BUILDING SIGN
NOT TO SCALE



A SITE LIGHTING
N.T.S.




C TYPICAL BENCH
N.T.S.



PLAN VIEW

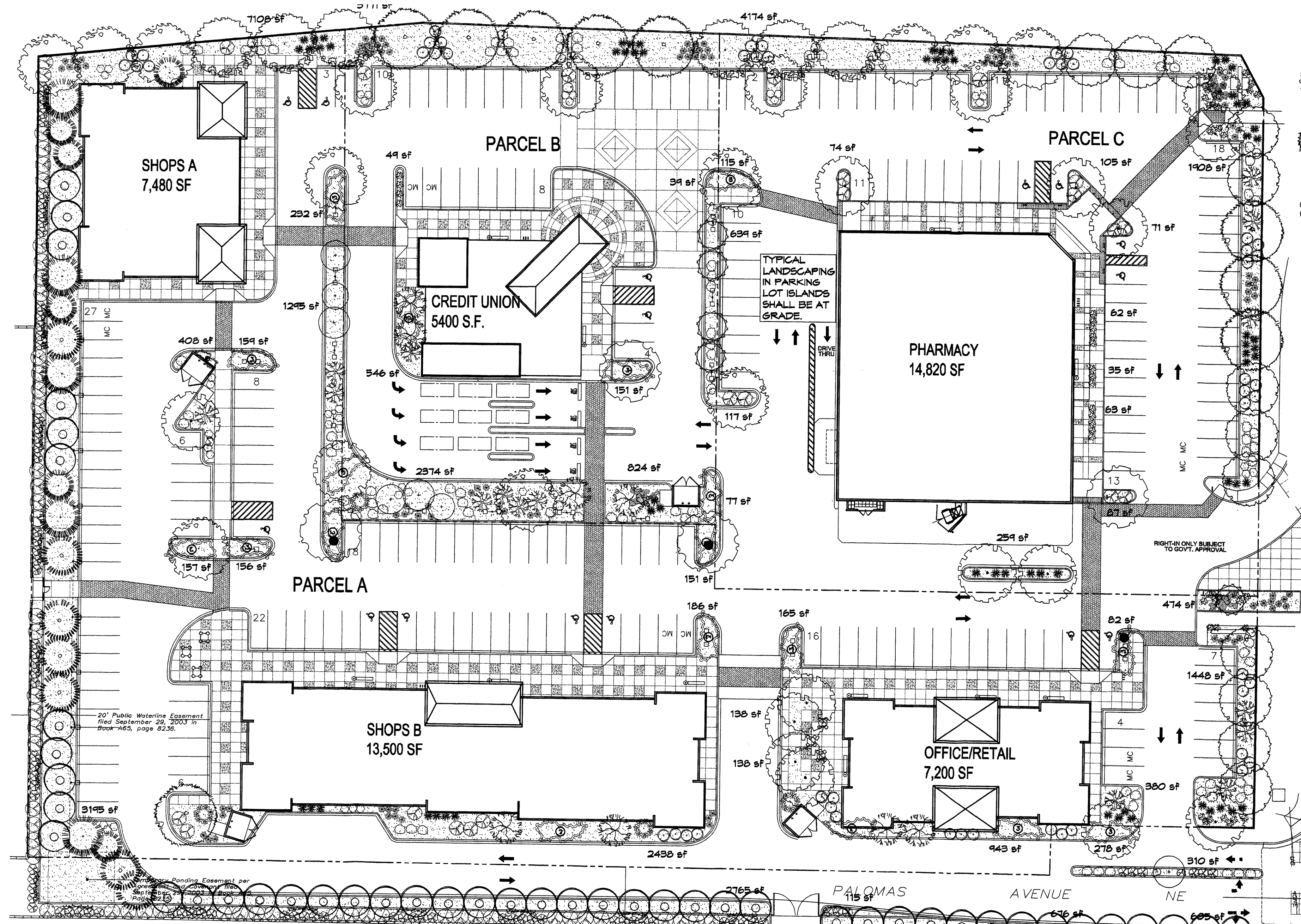
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2525 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM
 PROJECT MANAGER
 JOB NO.
 DRAWN BY:
 JCS

SHEET TITLE
SITE PLAN DETAILS

DATE:
 6.22.07
 SCALE:
 AS NOTED
 sheet:
AS4
 of:



PLANT LEGEND

- CHINESE PISTACHE (M) 16
Pistacia chinensis
2' Cal.
- SHUMARD OAK (M) 9
Quercus shumardii
2' Cal.
- CHITALPA (M) 14
Chilopsis x Catalpa
2' Cal.
- DESERT MILLOW (L) 5
Chilopsis linearis
15 Gal. 225sf
- VITEX (M) 8
Vitex agnus-castus
15 Gal. 225sf
- SPANISH BROOM (M) 15
Baccharis hispanica
5 Gal. 100sf
- BROOM BACCHARIS (L+) 4
Baccharis sarothroides
5 Gal. 100sf
- RUSSIAN SAGE (M) 51
Perovskia atriplicifolia
5 Gal. 36sf
- RED YUCCA (L) 65
Hesperaloe parviflora
5 Gal. 45sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- COMMERCIAL GRADE STEEL EDGING
- KENTUCKY COFFEE TREE (M) 6
Gymnocladus dioica
2' Cal.
- COMMON HACKBERRY (M) 4
Celtis occidentalis
2' Cal.
- EASTERN REDBUD (M) 12
Cercis canadensis
2' Cal.
- NEW MEXICO OLIVE (L) 8
Forestiera neomexicana
15 Gal. 225sf
- BLUE MIST SPIREA (M) 101
Caryopteris clandestina
5 Gal. 45sf
- PONIS CASTLE SAGE (L+) 99
Artemisia x Fowlis Castle
1 Gal. 25sf
- AUTUMN SAGE (M) 41
Salvia greggii
1 Gal. 45sf
- THREADGRASS (M) 46
Stipa tenuissima
1 Gal. 45sf
- HONEYSUCKLE (M) 21
Lonicera japonica 'Halliana'
1 Gal. 144sf
- GREYLEAF COTONEASTER (M) 60
Cotoneaster buxifolius
5 Gal. 81sf
- Symbol indicates 3 plants
- OVERSIZED GRAVEL 4 1/4 BOULDERS
- EVERGREEN RESIDENTIAL BUFFER
- AUSTRIAN PINE (M) 11
Pinus nigra
6'-8'
- BLUE SPRUCE (M+) 7
Picea pungens
6'-8'
- WESTERN RED CEDAR (M) 45
Thuja plicata 'Green Giant'
15 Gal. 100sf
- MILLOWLEAF COTONEASTER (M) 53
Cotoneaster salicifolius
5 Gal. 64sf
- INDIAN HAWTHORN (M) 64
Raphiolepis indica
5 Gal. 36sf
- BOSTON IVY (M) 15
Parthenocissus tricuspidata
1 Gal.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition. The Owner of the subject site shall maintain the landscaping in the southern buffer.

Landscaping in parking lot islands shall be at grade.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 80% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

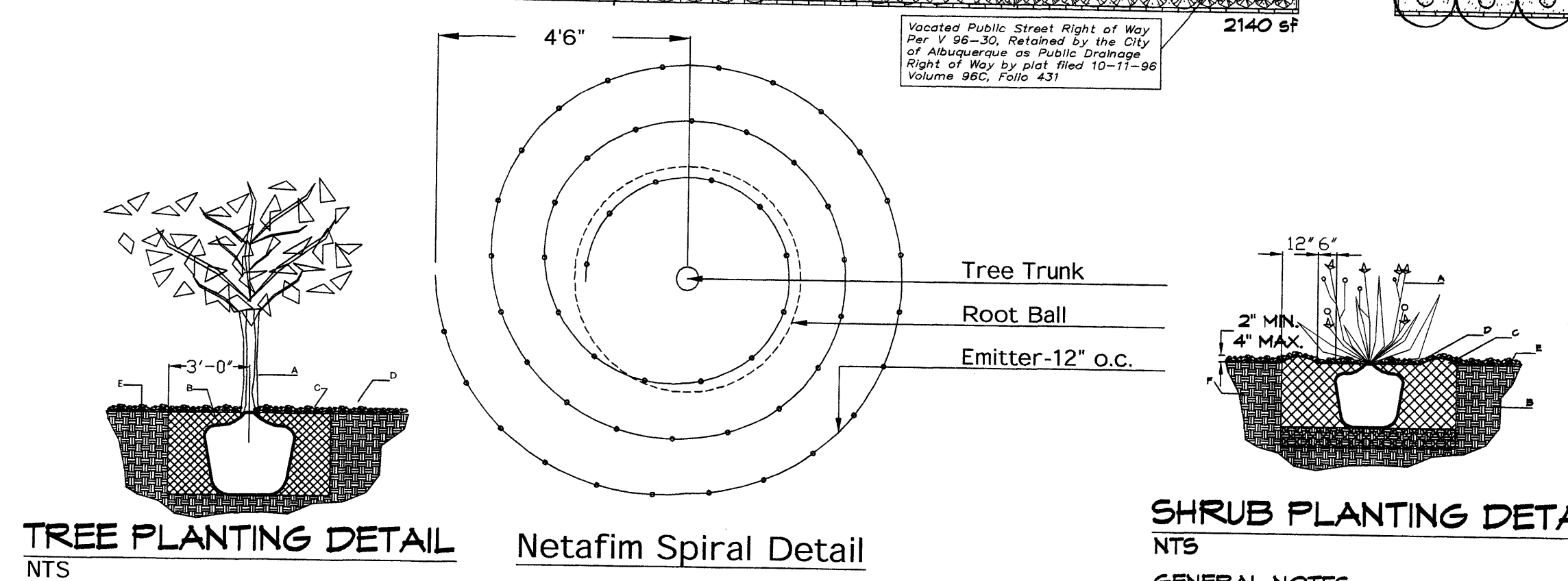
Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

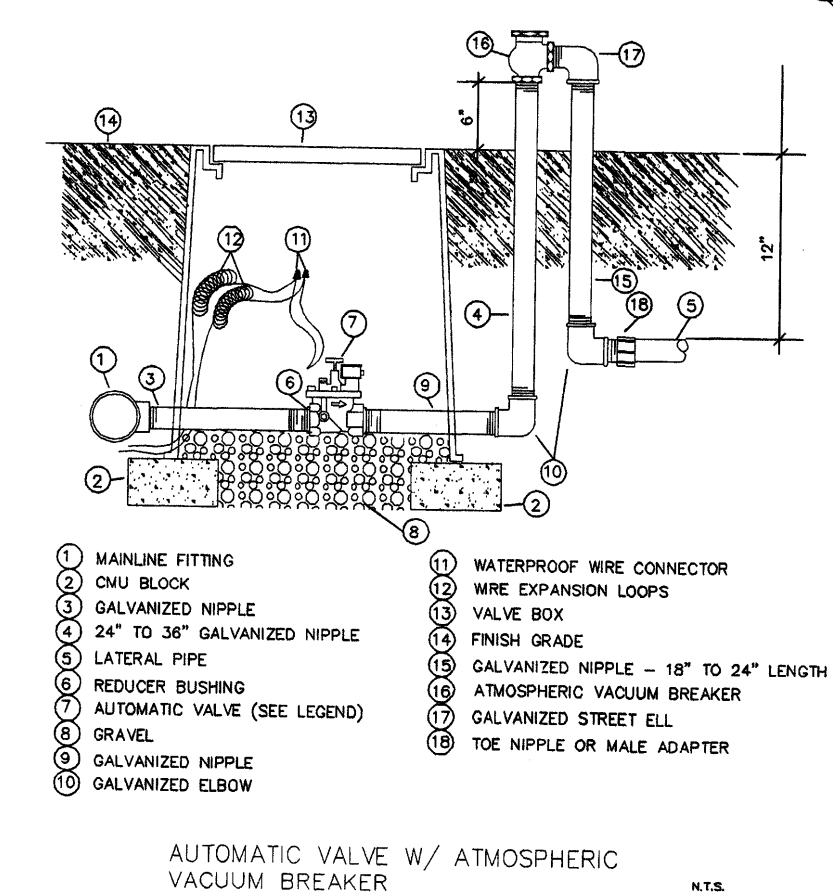
TOTAL LOT AREA	236850	square feet
TOTAL BUILDINGS AREA	48400	square feet
NET LOT AREA	188450	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	28267	square feet
TOTAL BED PROVIDED	41682	square feet
GROUND COVER REQ.	80%	square feet
TOTAL GROUND COVER REQUIREMENT	33346	square feet
TOTAL GROUND COVER PROVIDED	33691(81%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	41682 (22%)	square feet

STREET TREE REQUIREMENTS
Street trees required under the COA Street Tree Ordinance are as follows:
Name of Street: Ventura
Required # 12 Provided # 12
Name of Street: Paseo del Norte
Required # 20 Provided # 20

PARKING LOT TREE REQUIREMENTS
Shade trees required under the COA Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 24 Provided # 26



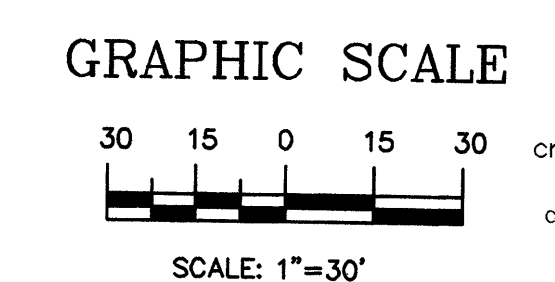
- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL.
 - 3" DEPTH OF GRAVEL MULCH.
 - UNDISTURBED SOIL.
- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- SHRUB PLANTING DETAIL NTS**
- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
 - BACKFILL WITH EXISTING SOIL.
 - EARTH BERM AROUND WATER RETENTION BASIN.
 - 3" DEPTH OF GRAVEL MULCH.
 - FINISH GRADE.
 - UNDISTURBED SOIL.



For a drip only system

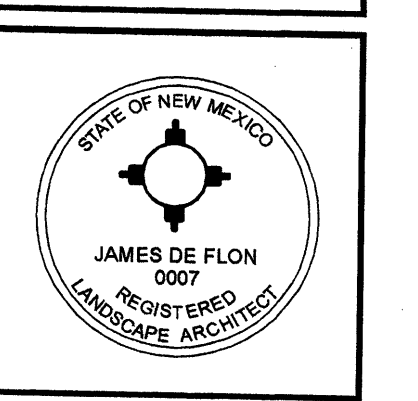
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE PLAN
SCALE: 1" = 30'-0"



REV	DATE	BY	REVISION
1	1-8-08	RMM	Site revision and comments
2	10-30-07	RMM	Site revision and comments
3	9-26-07	cmj	right in only entrance added
4	9-20-07	cmj	Site revision and neighbor comments
5	9-17-07	cmj	site rev
6	7-3-07	RMM	SITE REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
PASEO DEL NORTE & VENTURA

PROJECT MANAGER
RMM

DATE: 6.28.07

SCALE: AS NOTED

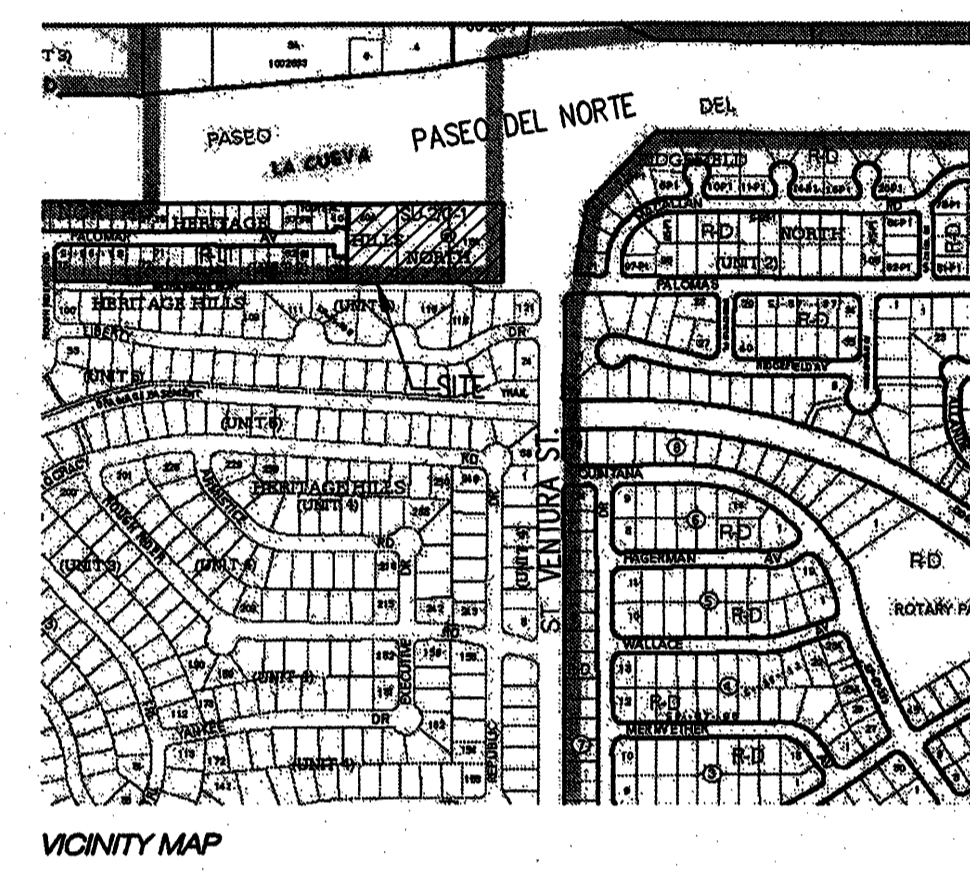
SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L1

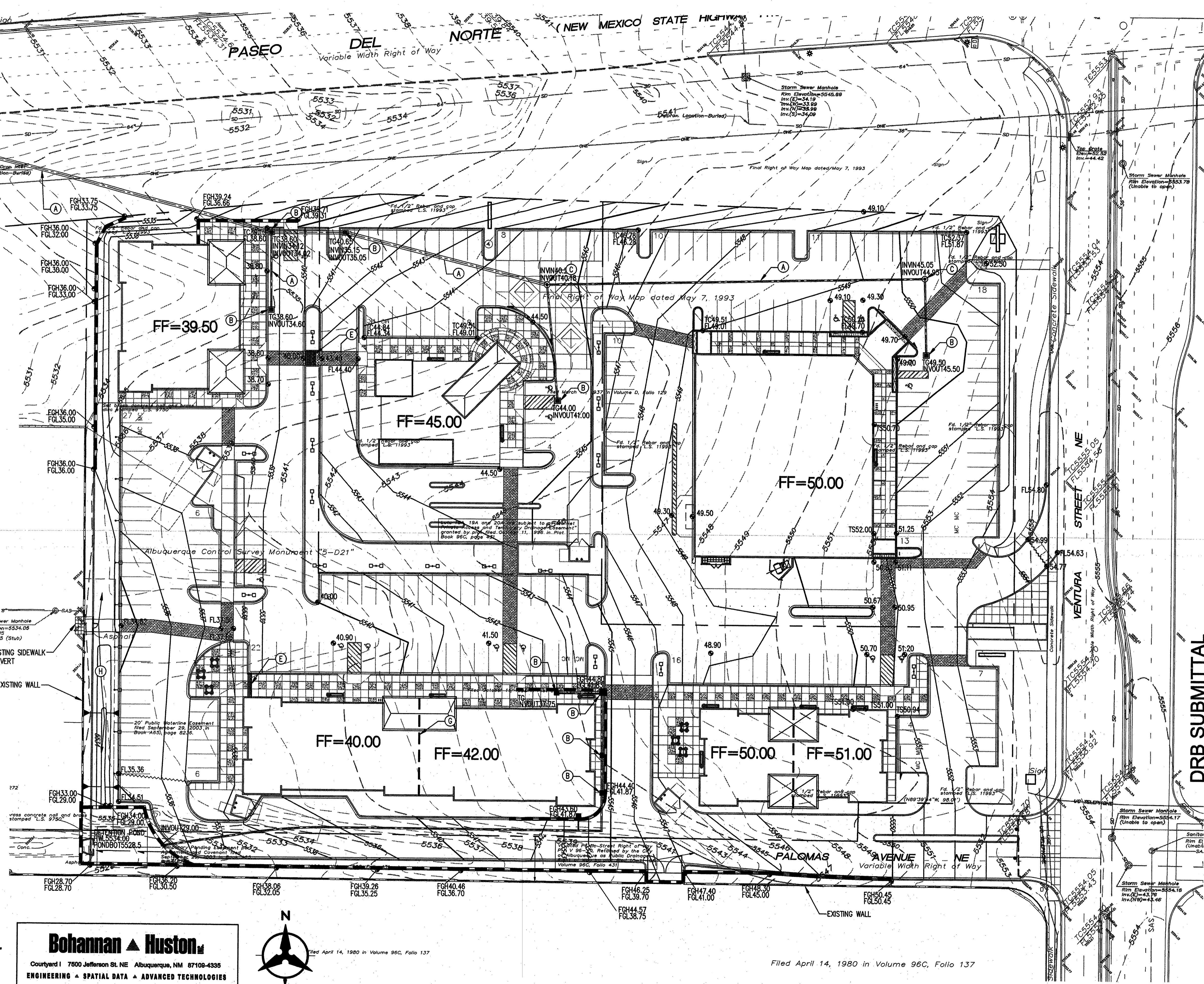
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

1-14-08 rm Adjusting parking lot island note

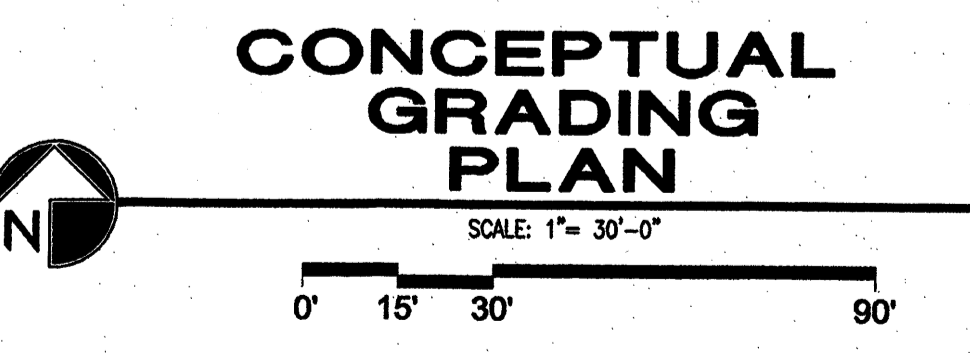
- LEGEND**
- PROPERTY LINE
 - - - - - 5.301- EXISTING CONTOURS
 - 5.301.15 EXISTING GROUND SPOT ELEVATION
 - 96.25 PROPOSED SPOT ELEVATION
 - TC=TOP OF CURB, FL=FLOW LINE
 - TW=TOP OF WALL, BW=BOTTOM OF WALL
 - EX=EXISTING, TG=TOP OF GRADE
 - FGH=FINISH GROUND HIGH SIDE
 - FGL=FINISH GROUND LOW SIDE
 - PROPOSED DIRECTION OF FLOW
 - WATER BLOCK
 - - - - - 5.325 PROPOSED INDEX CONTOURS
 - - - - - PROPOSED INTER CONTOURS
 - - - - - PROPOSED RETAINING WALL
 - PROPOSED STORM DRAIN INLET
 - PROPOSED MANHOLE
 - EXISTING MONUMENT



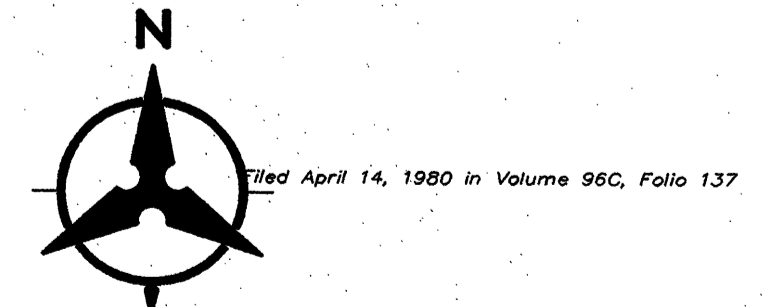
ALTA/A.C.S.M. LAND TITLE SURVEY OF PORTIONS OF LOTS 13, 14, 15, 16 AND 17 AND ALL OF LOTS 18A, 19A AND 20A BLOCK 31 TRACT A, UNIT A CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2006



- KEYED NOTES**
- (A) PRIVATE STORM DRAIN LINE.
 - (B) NYLOPLAST INLET.
 - (C) PRIVATE STORM DRAIN MANHOLE.
 - (D) SIDEWALK CULVERT.
 - (E) STAIRS.
 - (F) CONNECTION TO EXISTING STORM DRAIN MANHOLE
 - (G) STEP
 - (H) DETENTION POND



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 Courtyard | 7600 Jefferson St NE Albuquerque, NM 87109-4335
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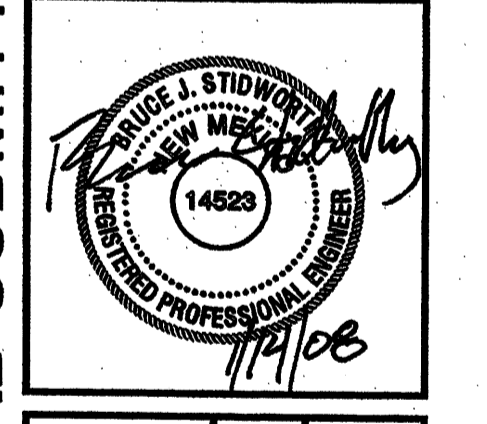


Filed April 14, 1980 in Volume 96C, Folio 137

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

DRB SUBMITTAL

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



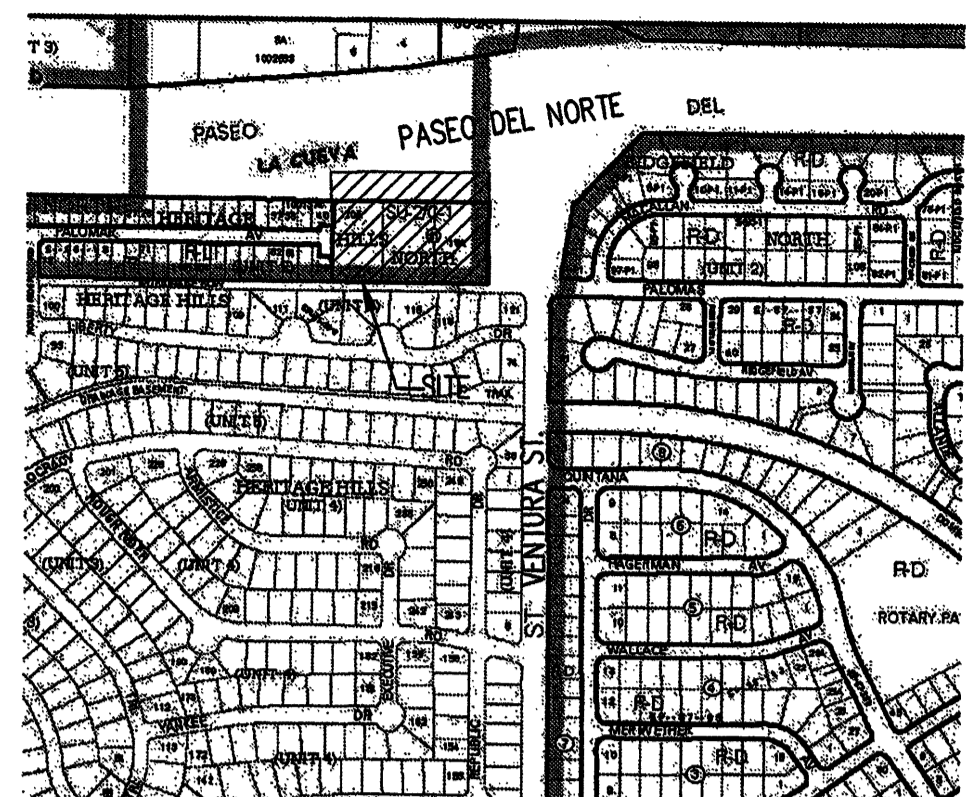
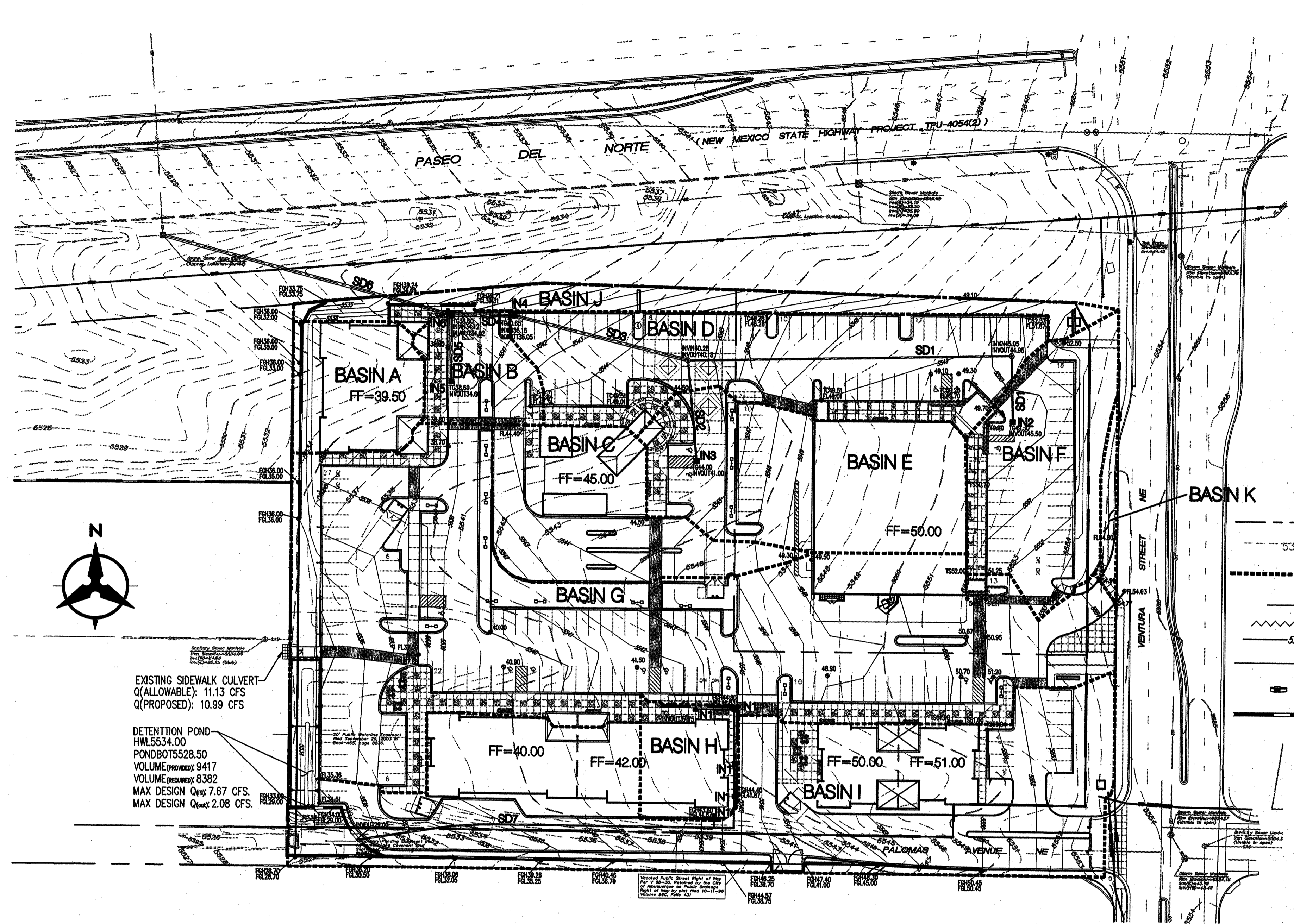
PROJECT TITLE
PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

PROJECT MANAGER
 JOB NO.

DRAWN BY
 JCS

SHEET TITLE
CONCEPTUAL GRADING PLAN

DATE:	01.15.08	sheet
SCALE:	AS NOTED	C1
		of



VICINITY MAP, ZONE ATLAS MAP PG. D-20-Z

LEGAL DESCRIPTION

Block 31, Tract A, Unit A, North Albuquerque Acres, Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17, and Tract B, Heritage Hills North

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- BASIN BOUNDARY
- PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED STORM DRAIN INLET
- PROPOSED RETAINING WALL

GRADING AND DRAINAGE NARRATIVE

Site Location and Background Information

The purpose of this submittal is to present a drainage and grading plan for the proposed Paseo del Norte & Ventura development. The design site proposes commercial use development. The site is in rainfall zone 3 as defined by figure A-1 of the DPM section 22.2. The existing legal description of the site is Block 31, Tract A, Unit A, North Albuquerque Acres (Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17), and Tract B, Heritage Hills North. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support of site plan approval.

The North Heritage Hills Subdivision Phase III drainage report, prepared by Tierra West, LLC addresses drainage to Palomar St. and the existing channel that runs behind the housing on the south side of Palomar St. This submittal specifies discharge rates into Palomar St. and the existing channel that are less than the allowable discharge rates specified in the North Hills Subdivision drainage report. This submittal also specifies storm run off into the existing storm drain that parallels Paseo del Norte.

Existing Conditions

This entire site (Tract A and Tract B) is approximately 6 acres and is a vacant lot. The natural slope of the site is a consistent 3% to 4% from east to west. The northern portion of the site drains to inlets along the large storm drain parallel to Paseo del Norte, the center of Tract A flows to a large sidewalk culvert that drains into Palomar, and the south portion of Tract A and Tract B flow into the channel that runs behind the housing on the south side of Palomar which is a drainage right of way retained by the City of Albuquerque.

Proposed Conditions

Under proposed conditions the site will slope from east to west with slopes varying from 1% to 7% to make up grade difference across the whole site and allow for functional and required slopes within the development. The site will be commercial development and is 90% treatment D. The site will continue to drain to the north storm drain, Palomar St. and the existing channel. The north portion of the site will collect drainage in a storm drain system and convey drainage to the large storm drain parallel to Paseo del Norte. The central portion of the development will drain to the sidewalk culvert and into Palomar St. The allowable discharge to Palomar St. is 11.13 cfs and under proposed conditions the unmitigated discharge will be 11 cfs. The south portion of the site will drain to a detention pond in the southwest corner of the site. The detention pond and outlet pipe will be designed to outfall less than the allowable discharge of 2.08 CFS into the existing channel.

Flood plain

In accordance with FEMA community map panel #????????, the site is not located within a flood plain.

Offsite Flows

There are no significant upstream offsite flows which will impact this site.

Conclusions

This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed, general surface grading and drainage. The implementation of this design will result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for the DRB.

EXISTING SIDEWALK CULVERT
Q(ALLOWABLE): 11.13 CFS
Q(PROPOSED): 10.99 CFS

DETECTION POND
HWL: 5534.00
POND BOT: 5528.50
VOLUME: 9417
VOLUME: 8382
MAX DESIGN Q: 7.67 CFS
MAX DESIGN Q: 2.08 CFS

STORM DRAIN PIPE TABLE

PIPE #	Contributing Basins and Storm Drains	Size in.	Slope	Capacity cfs	ACTUAL FLOW cfs
NORTH					
SD1	BSNF	12	1.00%	3.56	1.88
SD2	BSNE	12	1.00%	3.56	2.67
SD3	SD1+SD2	18	1.00%	10.50	4.55
SD4	SD3+BSND	18	1.00%	10.50	7.74
SD5	BSNB	10	1.00%	2.19	0.76
SD6	SD4+SD5+BSNB+BSNA	24	1.00%	22.62	10.26
SD7	BSNH	12	1.00%	3.56	0.72

INLET TABLE

Inlet #	Inlet Type	Top of Grate	Actual Flow	Avail Head ft	Capacity
IN1	12" Nyloplast Pedestrian	41.78 (approx)	0.18	0.1	0.60
IN2	2'X2' Nyloplast Road & Highway	49.50	1.88	0.2	4.25
IN3	2'X2' Nyloplast Road & Highway	44.00	2.67	0.5	6.00
IN4	2'X2' Nyloplast Road & Highway	40.65	3.19	0.2	4.25
IN5	2'X2' Nyloplast Road & Highway	38.60	0.38	0.2	4.25
IN6	2'X2' Nyloplast Road & Highway	38.60	0.38	0.2	4.25

PASEO DEL NORTE & VENTURA SITE BASIN PROPERTIES
Proposed Ultimate Development Conditions Basin Data Table
This table is based on the DPM Section 22.2, Zone: 3

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	V(100) (inches)	V(100) (CF)	V(100) (CF)
			A	B	C	D					
BASIN A	9018	0.21	0.0%	0.0%	10.0%	90.0%	4.86	1.01	2.25	1693	2031
BASIN B	6779	0.16	0.0%	0.0%	10.0%	90.0%	4.86	0.76	2.25	1273	1527
BASIN C	16477	0.38	0.0%	5.0%	5.0%	90.0%	4.82	1.82	2.23	3068	3686
BASIN D	28130	0.65	0.0%	0.0%	5.0%	95.0%	4.94	3.19	2.31	5407	6520
BASIN E	23556	0.54	0.0%	0.0%	5.0%	95.0%	4.94	2.67	2.31	4528	5460
BASIN F	17709	0.41	0.0%	10.0%	10.0%	80.0%	4.62	1.88	2.11	3112	3703
BASIN G	82790	1.90	0.0%	5.0%	5.0%	90.0%	4.82	9.16	2.23	15416	18521
BASIN H	6222	0.14	0.0%	0.0%	0.0%	100.0%	5.02	0.72	2.36	1224	1483
BASIN I	62835	1.44	0.0%	5.0%	5.0%	90.0%	4.82	6.95	2.23	11700	14057
BASIN J	10280	0.24	0.0%	0.0%	95.0%	5.0%	3.53	0.83	1.34	1151	1172
BASIN K	1480	0.03	0.0%	25.0%	0.0%	75.0%	4.42	0.15	2.00	247	293

TO DET POND (sum BSNs H and I) 69057 1.59
Allowable Flow: 11.13 cfs to Palomar ave.
2.08 cfs to South discharge channel

Proposed Q to Palomar: 10.99 7.67

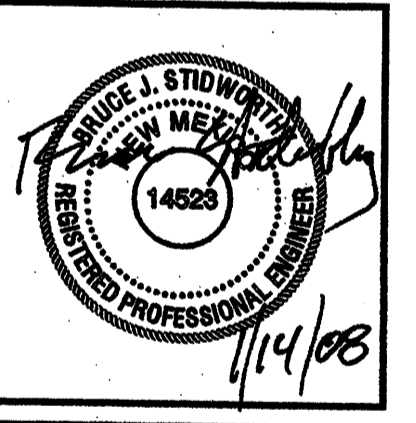
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CONCEPTUAL DRAINAGE MANAGEMENT PLAN
SCALE: 1" = 50'-0"
0' 25' 50' 150'

DRB SUBMITTAL

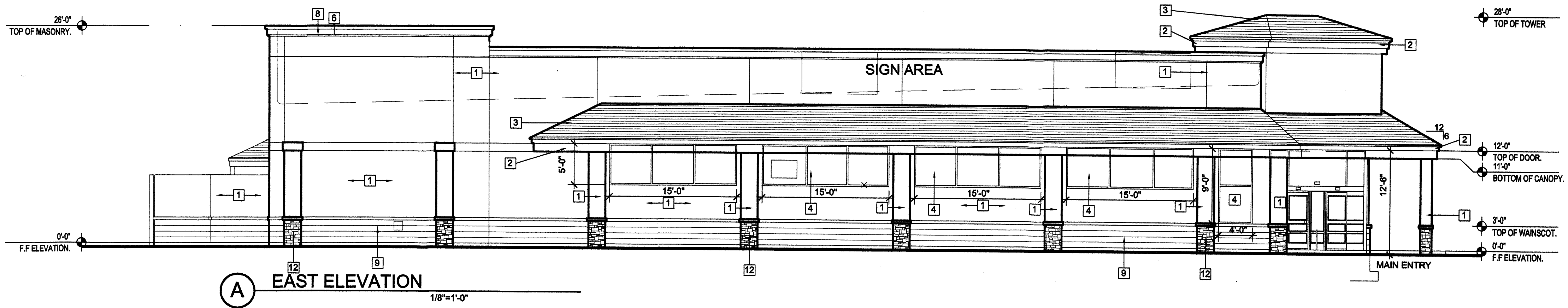
REV	DATE	BY	REVISION
1			
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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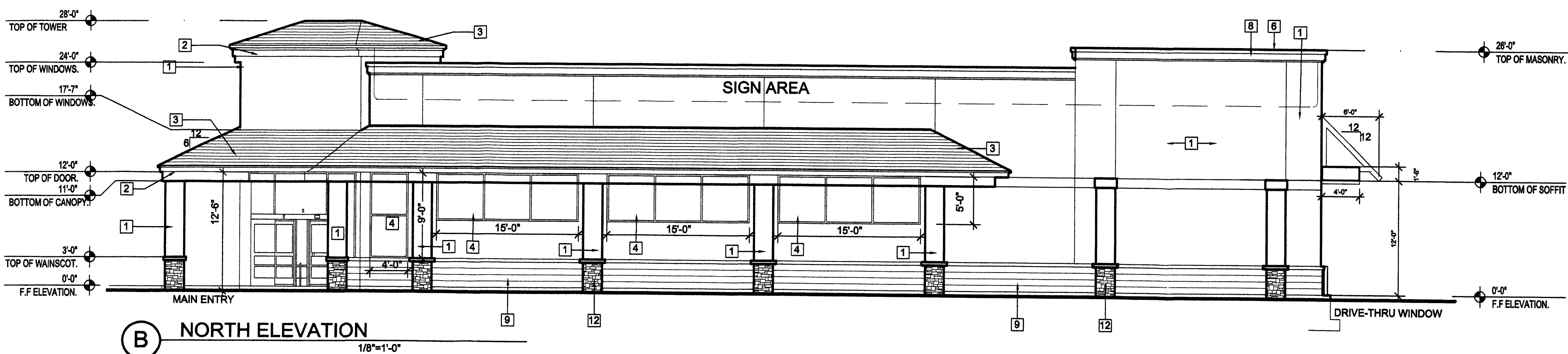


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PROJECT MANAGER: JCS
JOB NO.:
DRAWN BY: JCS
SHEET TITLE: DRAINAGE MANAGEMENT PLAN

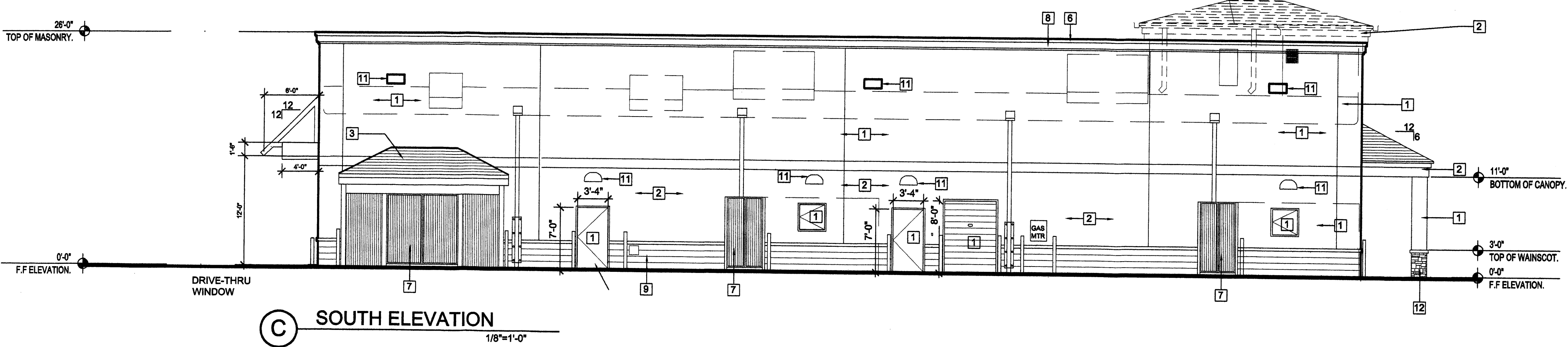
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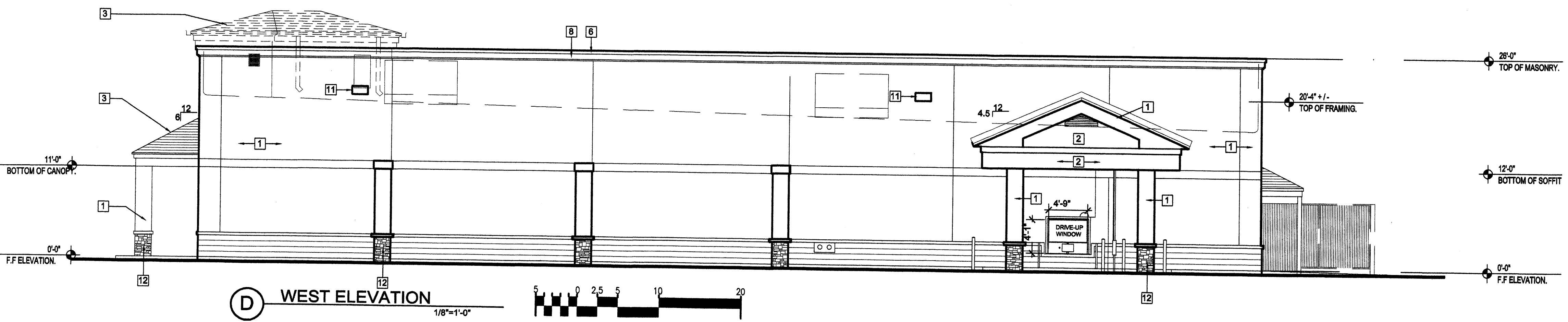
(A) EAST ELEVATION
1/8"=1'-0"



(B) NORTH ELEVATION
1/8"=1'-0"



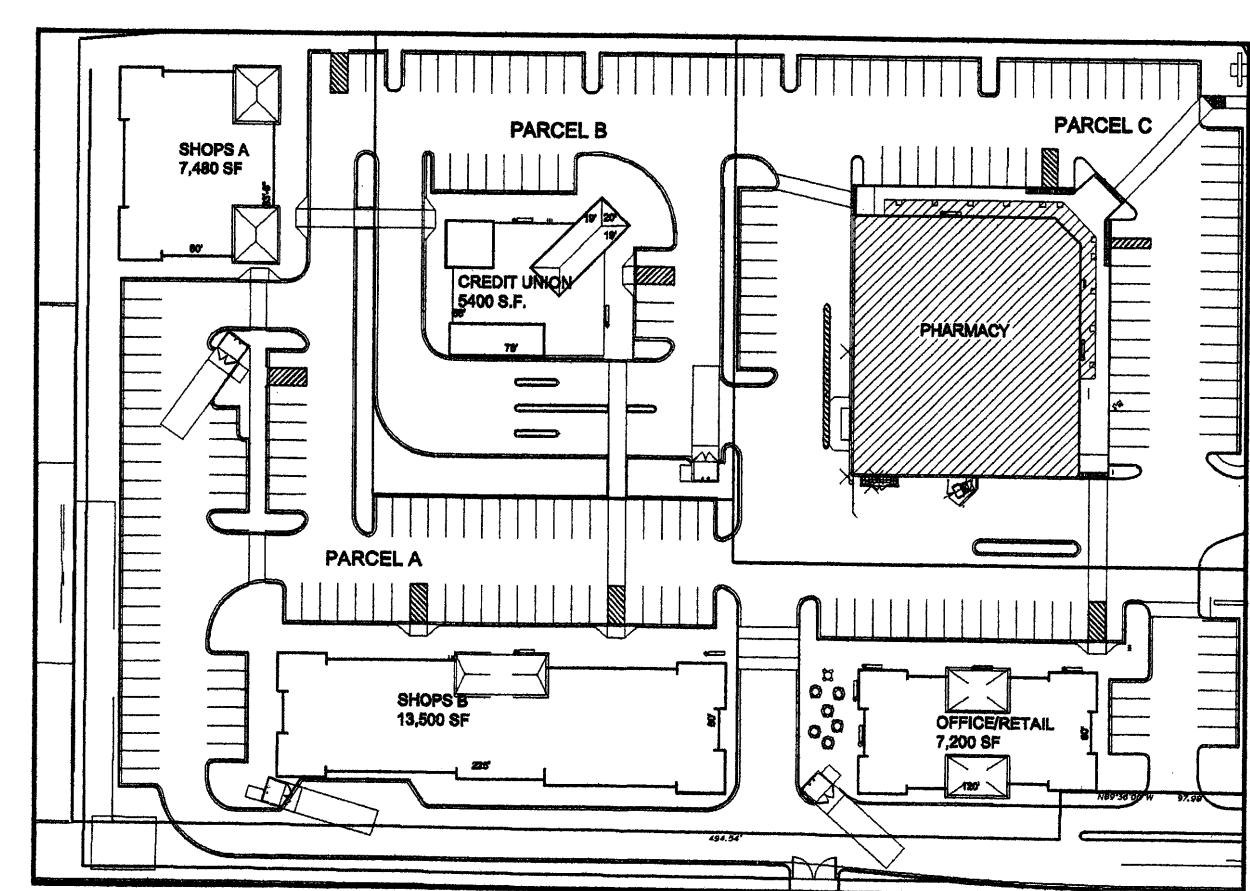
(C) SOUTH ELEVATION
1/8"=1'-0"



(D) WEST ELEVATION
1/8"=1'-0"



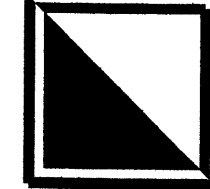
Keyed Color	Material Schedule	Common Name
1	STUCCO BM 951 "BONE WHITE"	LIGHT BEGE
2	STUCCO BM HC-48 "BRADSTREET BEIGE"	WARM BROWN
3	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
4	GLASS 1" INSUL. LOW E GLASS W/ CLEAR ANOD. FRAME	CLEAR
5	GLASS 1/4" CLEAR	CLEAR
6	PARAPET CAP UNA-CLAD "ALMOND"	WARM BROWN
7	STORAGE GATES BM HC-48 "BRADSTREET BEIGE"	WARM BROWN
8	CORNICE BM HC-48 "BRADSTREET BEIGE"	WARM BROWN
9	WAINSCOT BLOCK SPLIT FACE INTEGRAL COLOR	WARM BROWN
10	BLOCK CAP INTEGRAL COLOR	WARM BROWN
11	LIGHT FIXTURE DARK BRONZE	DARK BRONZE
12	CULTURED STONE VENEER BROWN	BROWN

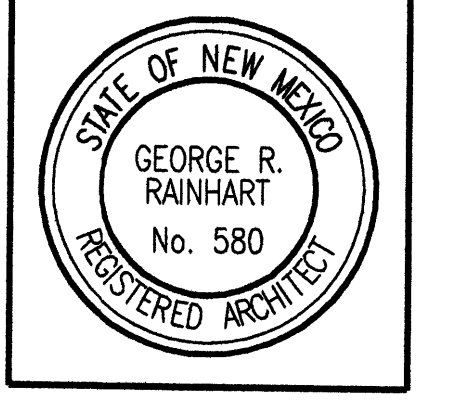


(E) KEY PLAN
NTS

NOTES:
SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS A, CREDIT UNION AND PHARMACY.
SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.

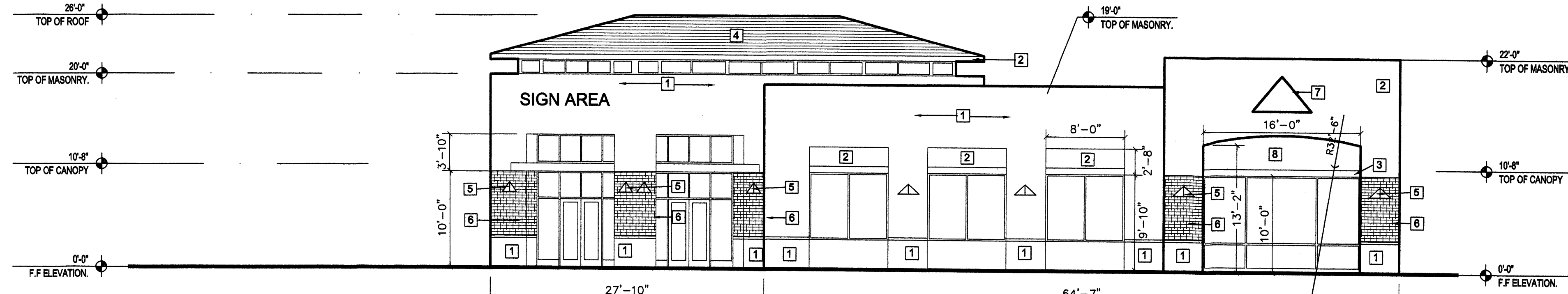
REV	DATE	BY	REVISION
1	12.10.07	JS	EPC CONDITIONS
2	11.01.07	JS	PLANNER COMMENTS


GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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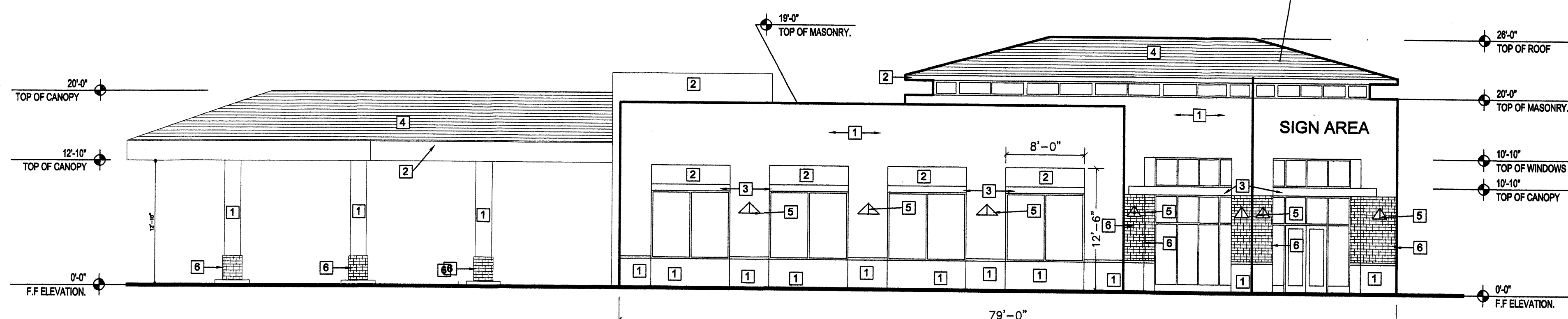


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 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM
 PROJECT MANAGER: **JON STERN**
 SHEET TITLE: **ELEVATIONS PHARMACY**
 DRAWN BY: **NAH**
 JOB NO.: **0777**

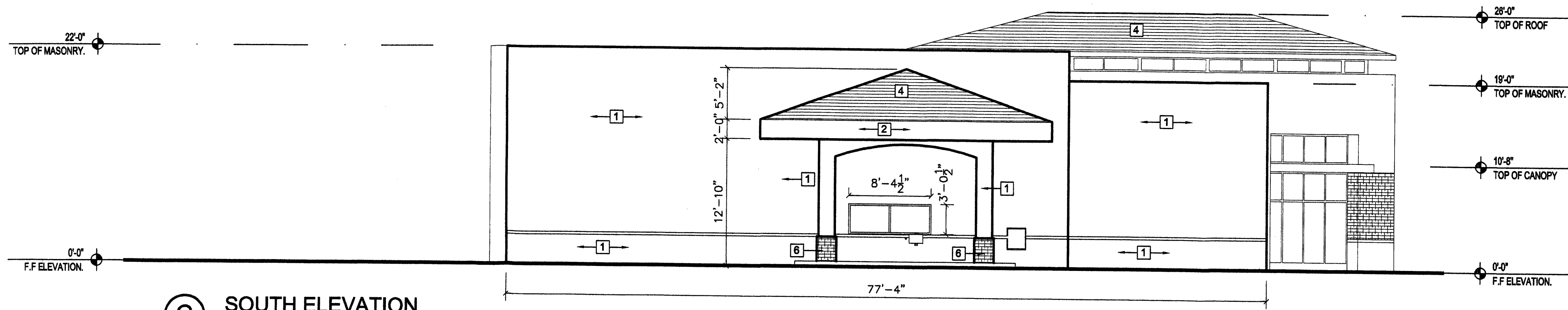
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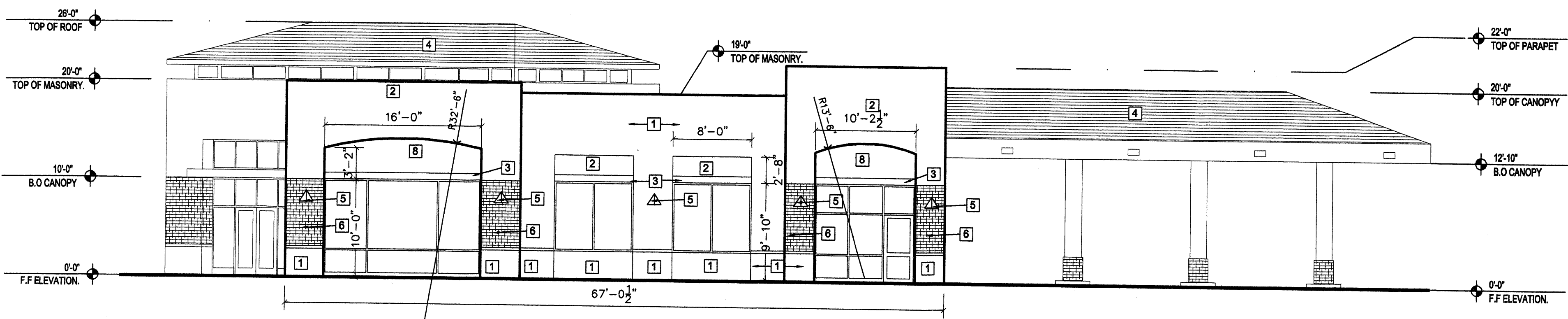
(A) NORTH ELEVATION
1/8"=1'-0"



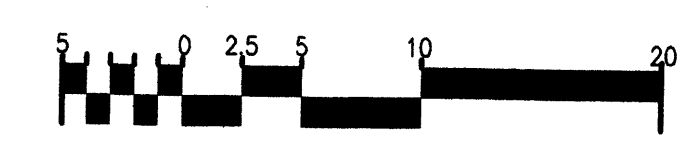
(B) EAST ELEVATION
1/8"=1'-0"



(C) SOUTH ELEVATION
1/8"=1'-0"

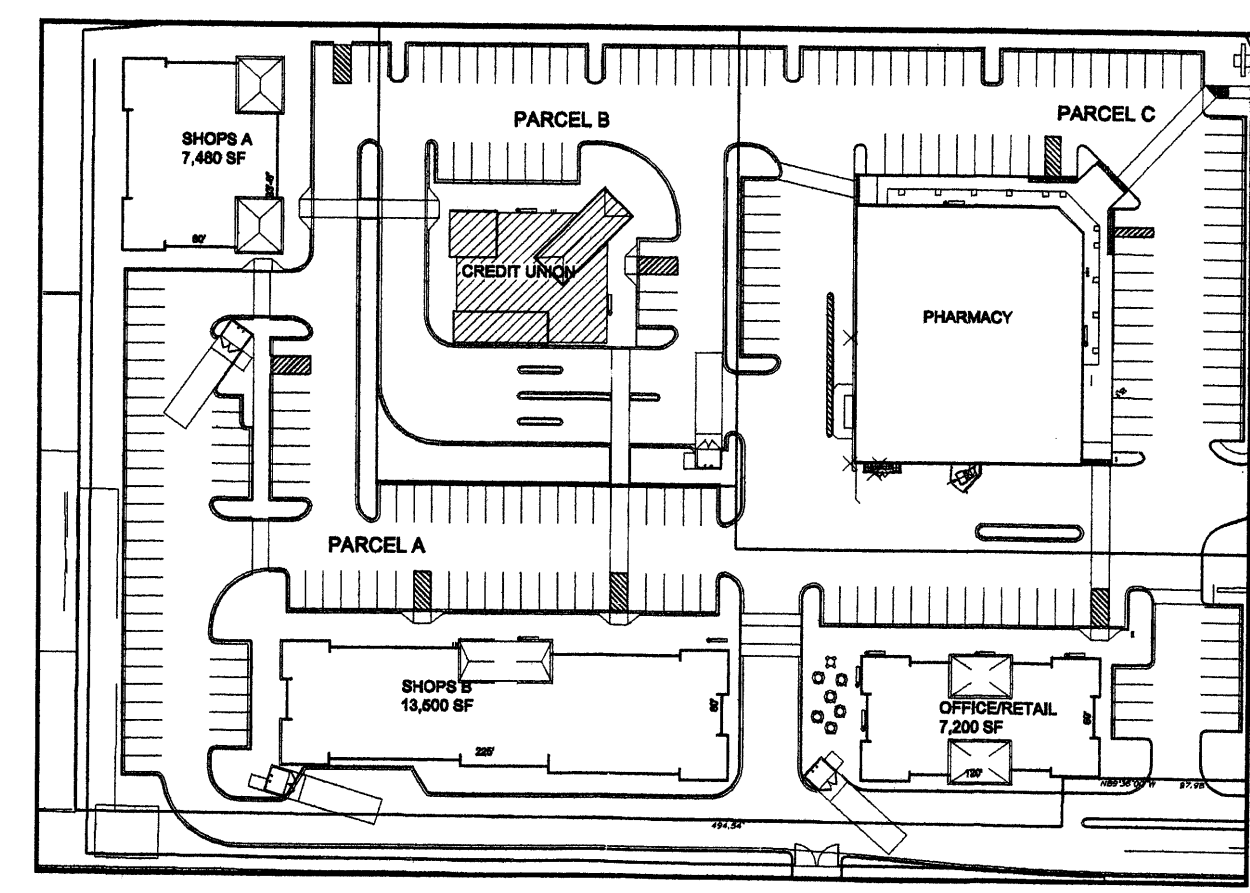


(D) WEST ELEVATION
1/8"=1'-0"



Keyed Color	Material Schedule	Common Name
1	STUCCO	LIGHT TAN BENJAMIN MOORE # 951
2	STUCCO	MEDIUM DARK TAN SHERWIN WILLIAMS # 0040
3	TUBE STEEL CANOPY	DARK BRONZE
4	TILE ROOF	LIGHT GRAY FLAT CONCRETE TILE
5	LIGHT FIXTURE	BLACK
6	CULTURED STONE VENEER	BROWN
7	BANK LOGO	
8	STUCCO	SOLITUDE SW 6535

NOTES:
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS A, CREDIT UNION AND PHARMACY.
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
 SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.



(E) KEY PLAN
NTS

REV	DATE	BY	REVISION
1			
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6			
7			
8			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

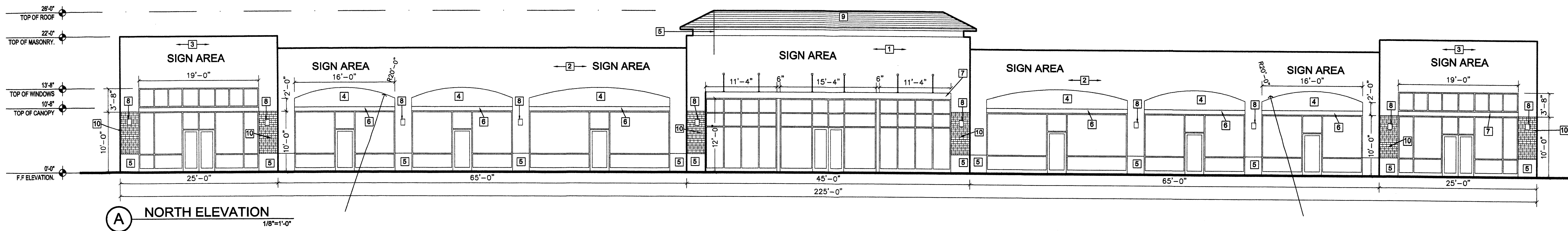
PROJECT MANAGER
 JON STERN

DRAWN BY
 NMT

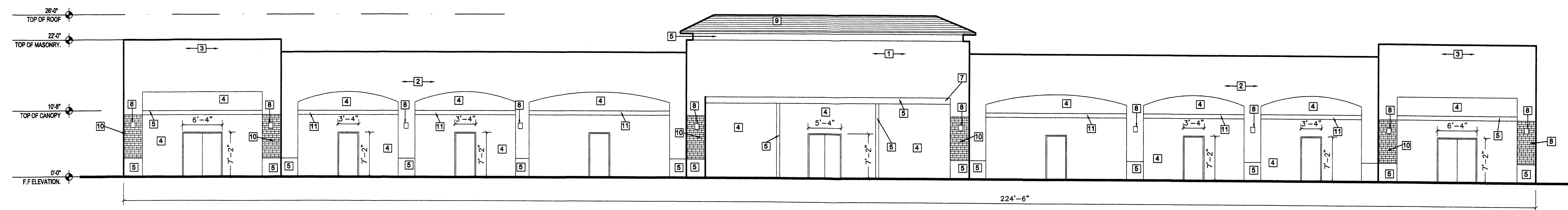
JOB NO.
 077

SHEET TITLE
 ELEVATIONS BANK

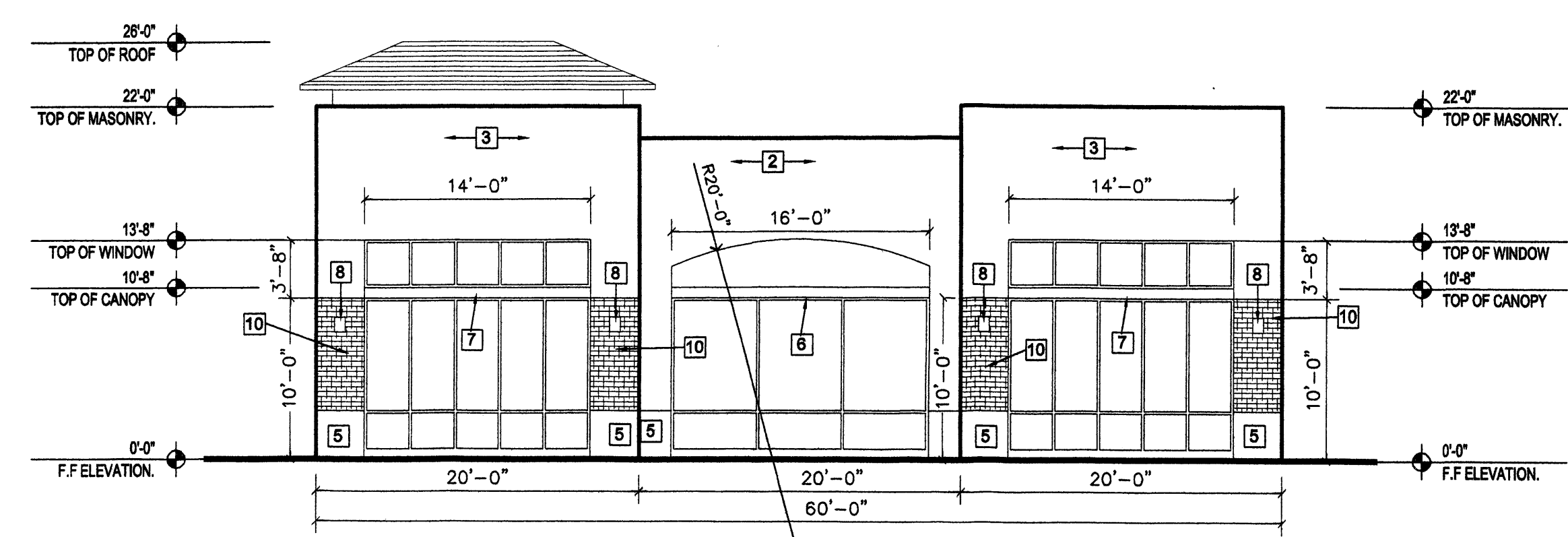
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 of



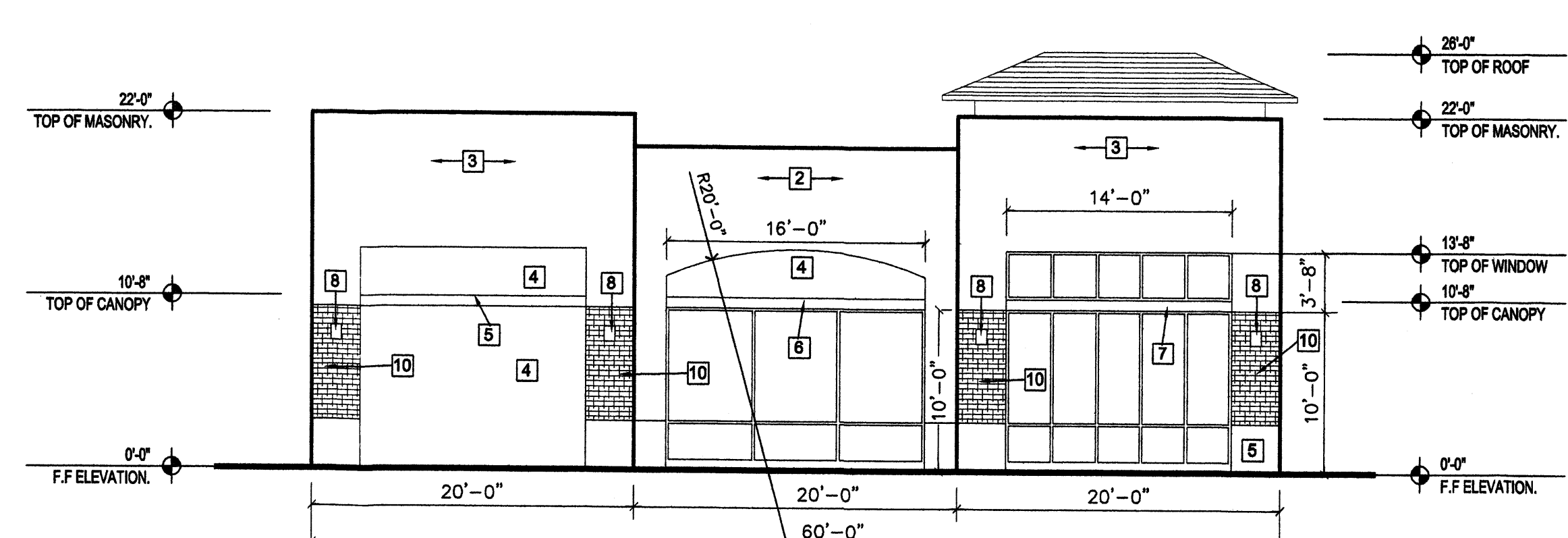
(A) NORTH ELEVATION
1/8"=1'-0"



(B) SOUTH ELEVATION
1/8"=1'-0"



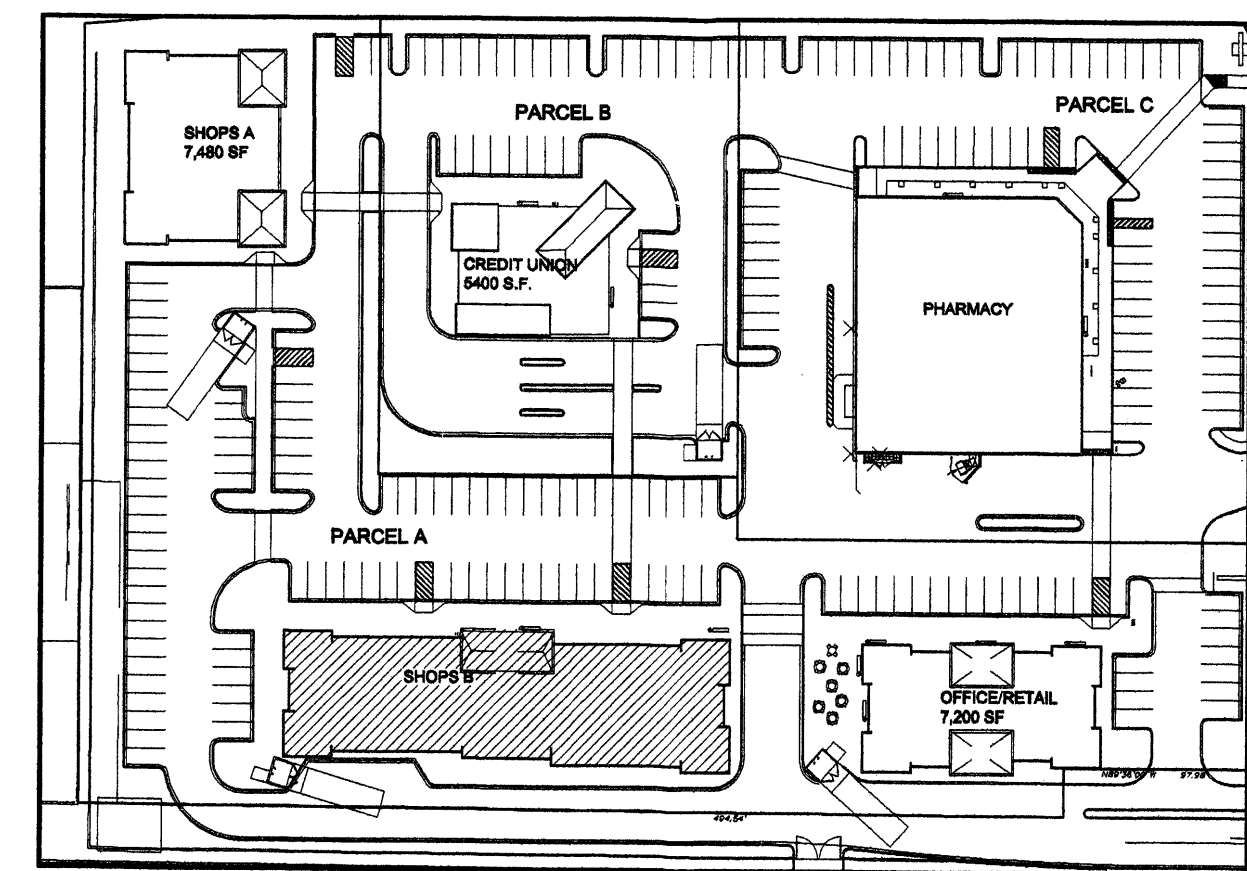
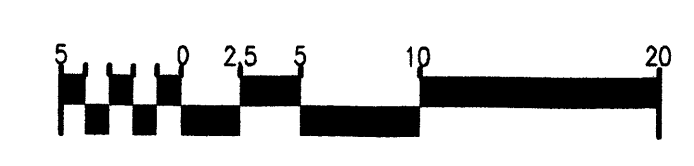
(C) WEST ELEVATION
1/8"=1'-0"



(D) EAST ELEVATION
1/8"=1'-0"

Keyed Color	Material Schedule	Common Name
1	STUCCO MODERATE WHITE LRV 75% SW 8140	LIGHT CREAM
2	STUCCO MESA TAN SW 2208	TAN
3	STUCCO TATAMI TAN SW 8116	LIGHT BROWN
4	STUCCO ICY SW 6534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	CULTURED STONE VENEER BROWN	BROWN
11	STUCCO BLACK SWAN SW 8279	BLACK

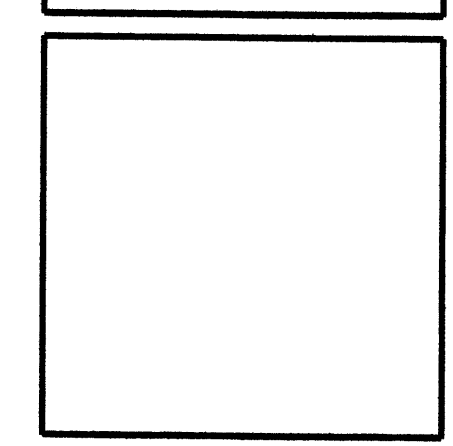
NOTES:
 SIGNS NOT TO EXCEED 6% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS A, CREDIT UNION AND PHARMACY.
 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
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(E) KEY PLAN
NTS

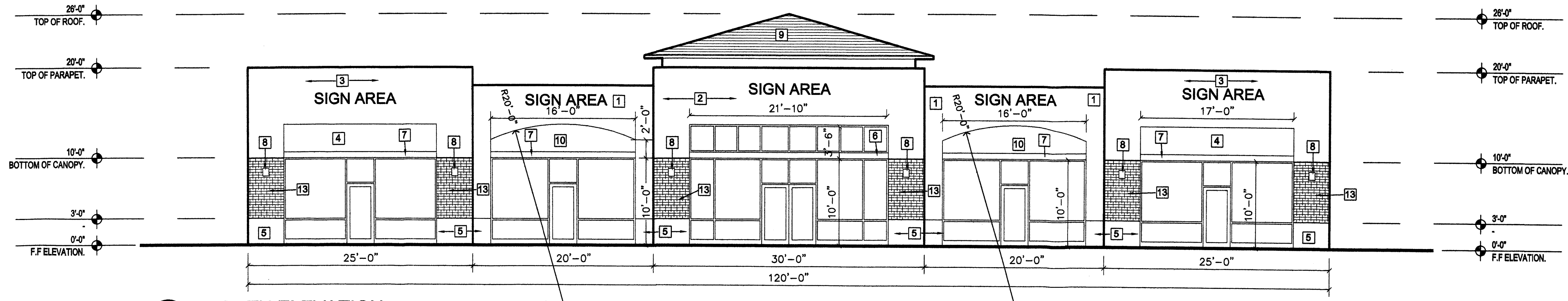
REV	DATE	BY	REVISION
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

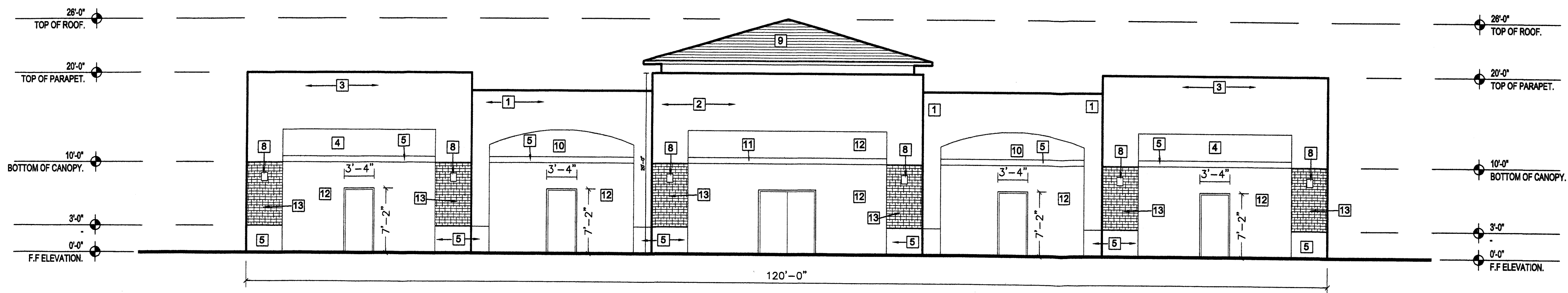


PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM
 PROJECT MANAGER: JON STERN
 DRAWN BY: NAH
 JOB NO.: 0717
 SHEET TITLE: ELEVATIONS SHOPS - B

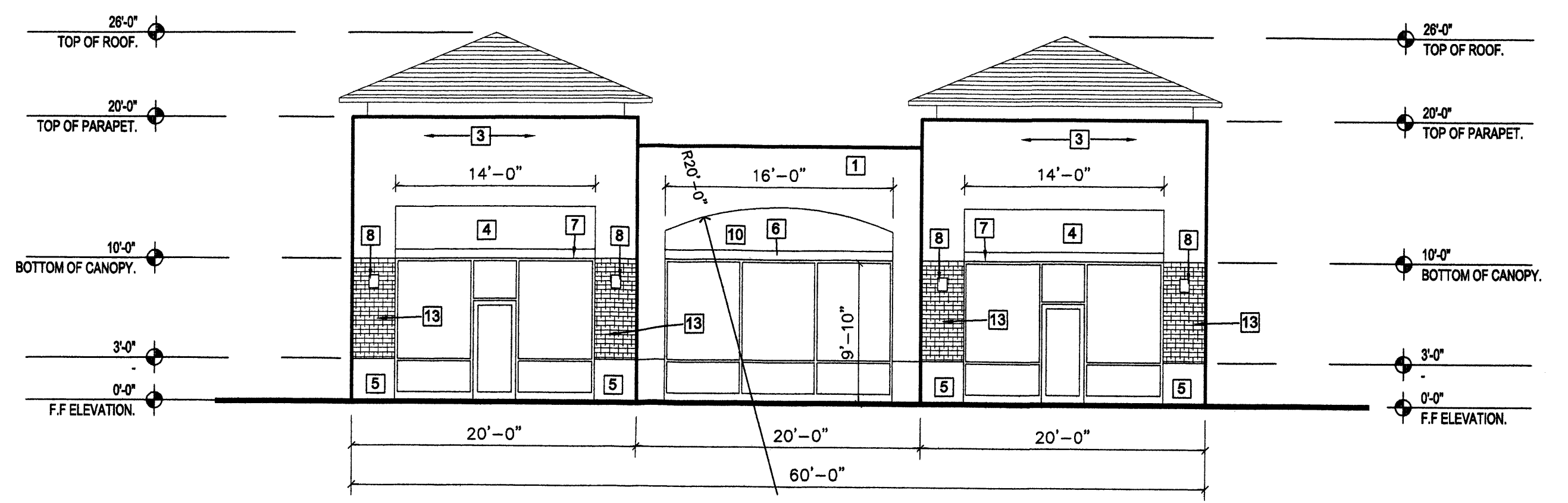
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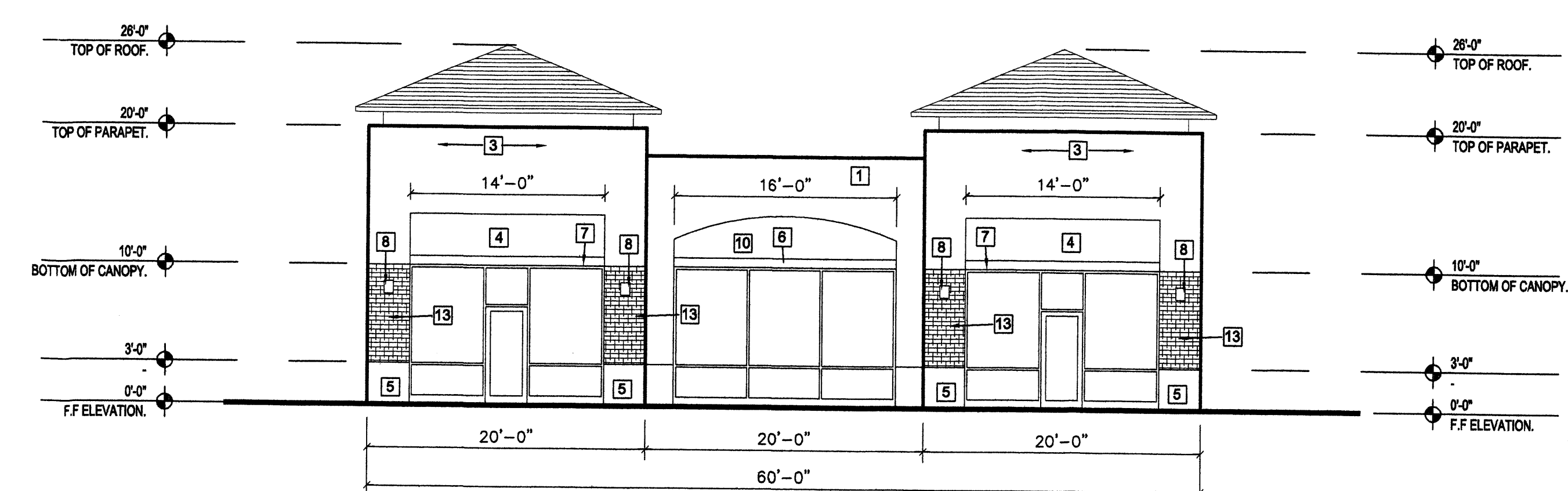
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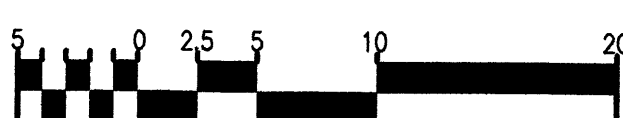
B SOUTH ELEVATION
1/8"=1'-0"



C WEST ELEVATION
1/8"=1'-0"

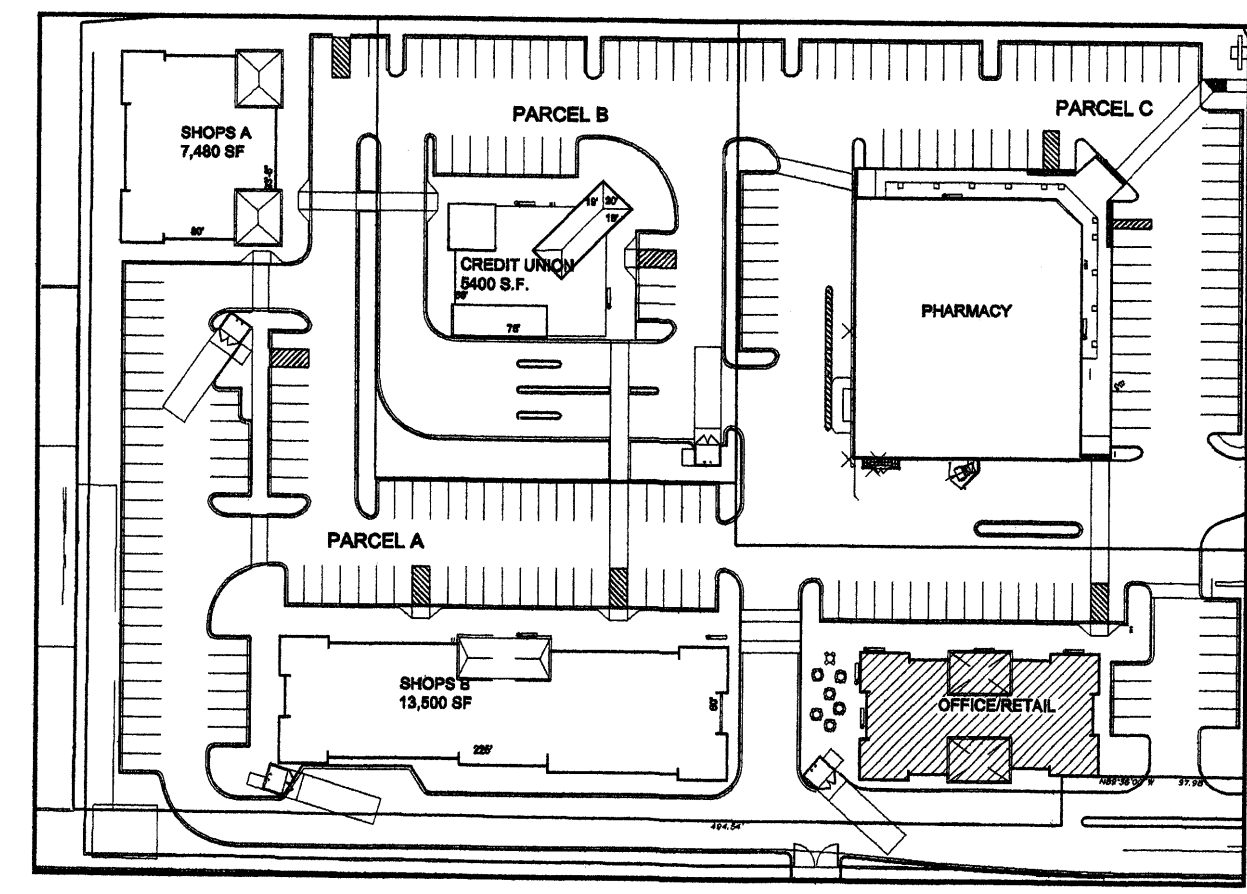


D EAST ELEVATION
1/8"=1'-0"



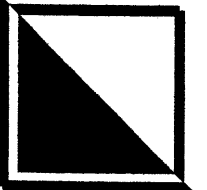
Keyed Color	Material Schedule	Common Name
1	STUCCO NAPERLY SW 6386	CREAM
2	STUCCO TARAMI TAN SW 6116	LIGHT BROWN
3	STUCCO UNCERTAIN GRAY SW 6234	GRAY
4	STUCCO ICY SW 6534	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT CONCRETE TILE	LIGHT GRAY
10	STUCCO MESA TAN SW 2208	TAN
11	STUCCO BLACK SWAN SW 6279	BLACK
12	STUCCO ICY SW 6534	LIGHT GRAY
13	CULTURED STONE VENEER BROWN	BROWN

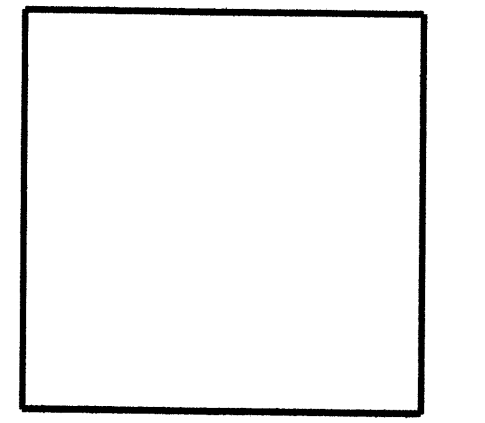
NOTES:
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SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.



E KEY PLAN
NTS

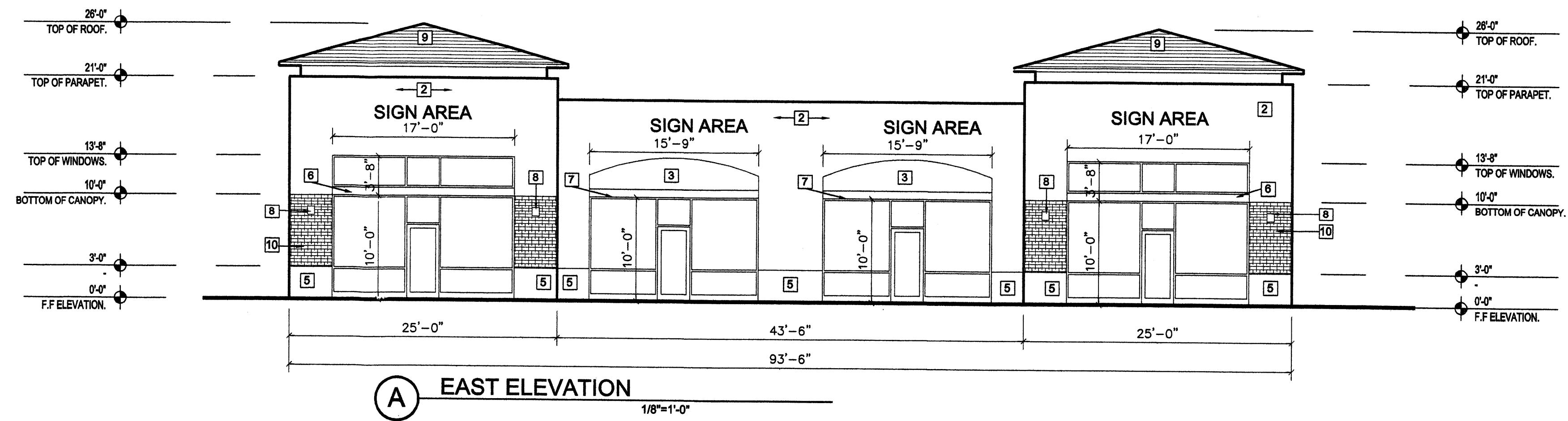
REV	DATE	BY	REVISION
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2	12.20.07	JS	EPC CONDITIONS
1	11.01.07	JS	PLANNER COMMENTS


GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

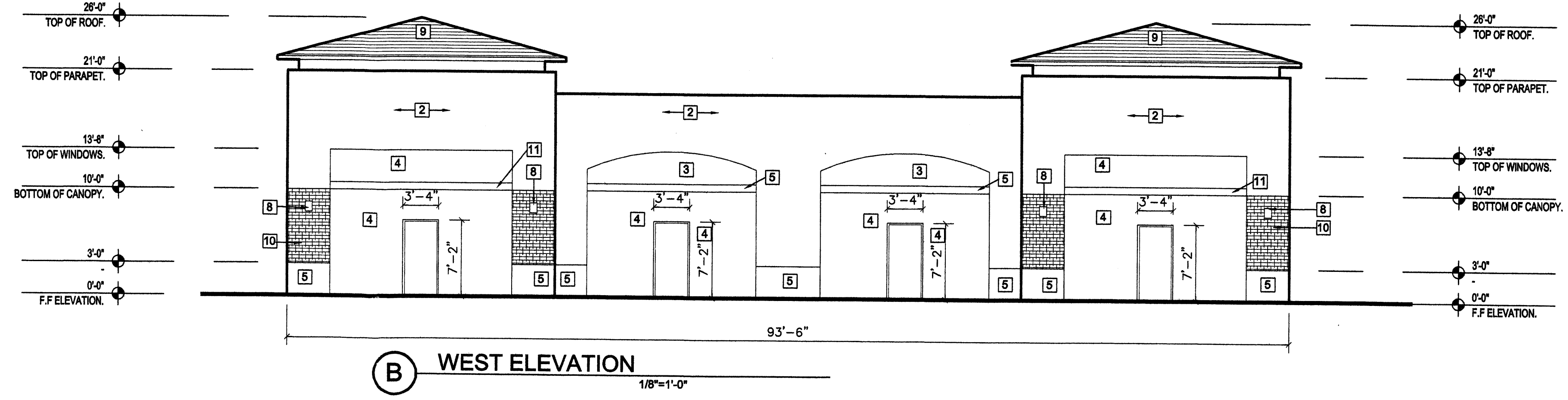


PROJECT TITLE	PASEO DEL NORTE & VENTURA
PROJECT MANAGER	JOHN STERN
JOB NO.	0717
DRAWN BY	NAH
SHEET TITLE	ELEVATIONS OFFICE/RETAIL

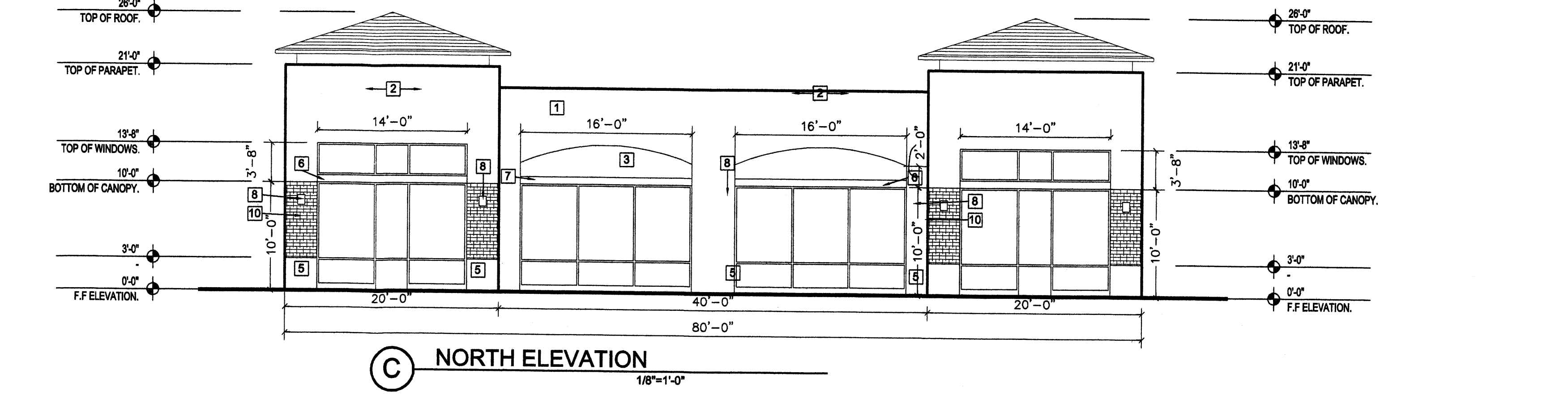
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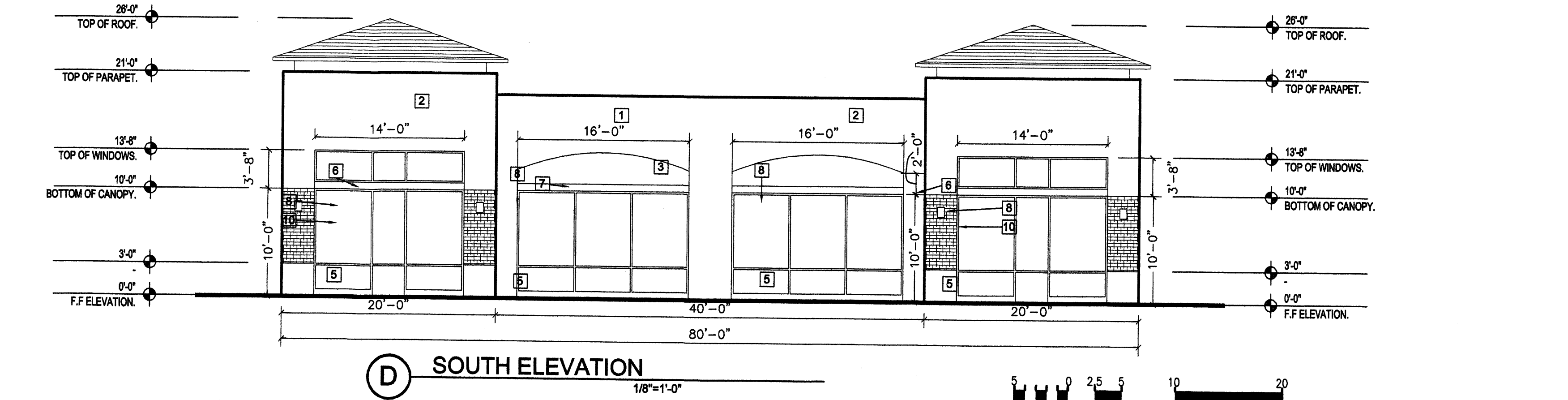
A EAST ELEVATION
1/8"=1'-0"



B WEST ELEVATION
1/8"=1'-0"



C NORTH ELEVATION
1/8"=1'-0"

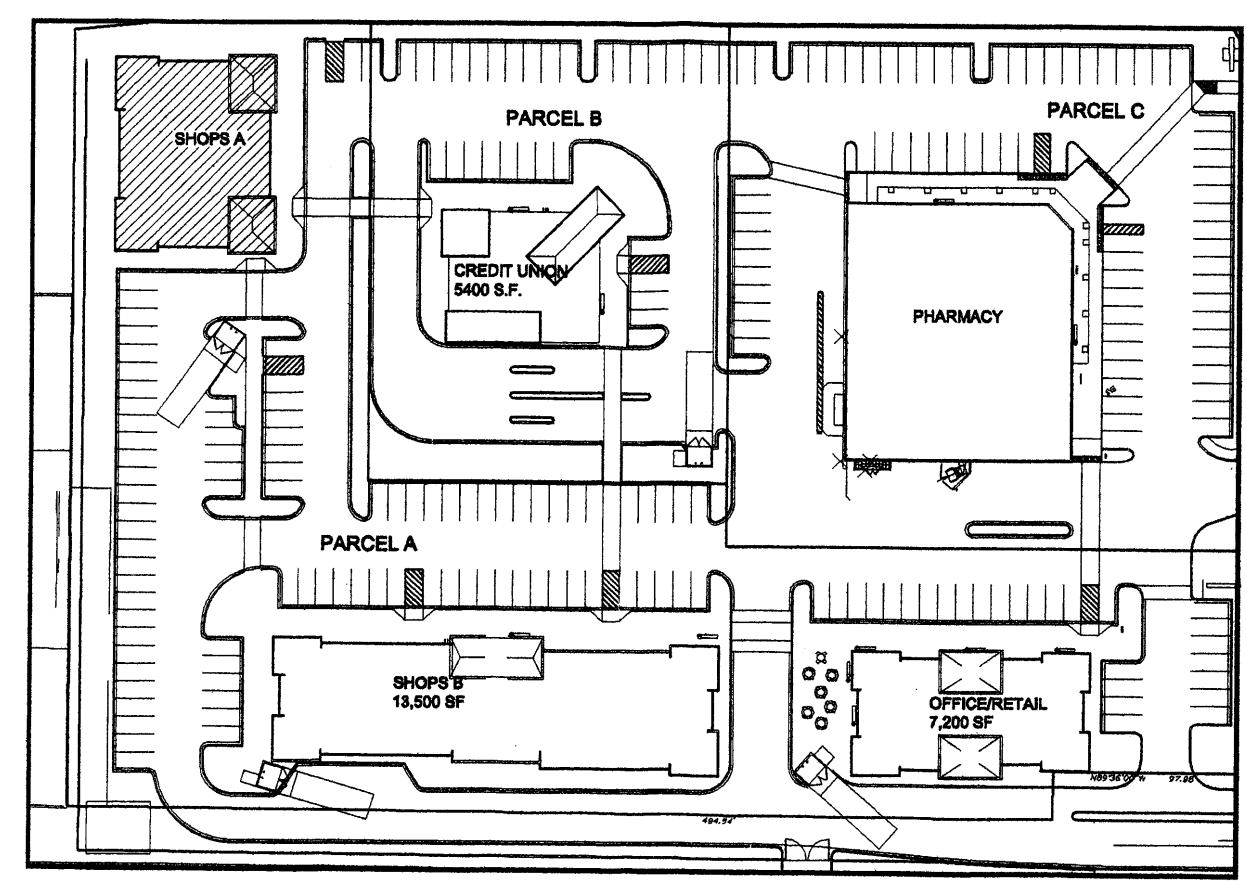


D SOUTH ELEVATION
1/8"=1'-0"



NOTES:
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 SIGNS NOT TO EXCEED 8% OF THE FACADE TO WHICH IT IS APPLIED FOR SHOPS B, AND OFFICE/RETAIL.
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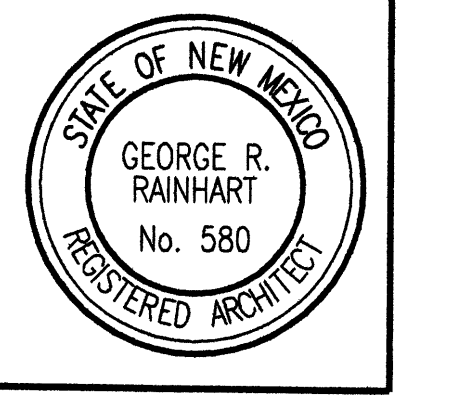
Keyed Color	Material Schedule	Common Name
1	STUCCO NAPERLY SW 6386	CREAM
2	STUCCO MESA TAN SW 2208	TAN
3	STUCCO RAPTURE BLUE	SKY BLUE
4	STUCCO ICY SW 6634	LIGHT GRAY
5	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6	TUBE STEEL CANOPY DARK BRONZE	DARK BRONZE
7	TUBE STEEL CANOPY COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
8	LIGHT FIXTURE BLACK	BLACK
9	TILE ROOF LIGHT GRAY FLAT	LIGHT GRAY
10	CULTURED STONE VENEER BROWN	BROWN
11	STUCCO BLACK SWAN SW 6279	BLACK



E KEY PLAN
NTS

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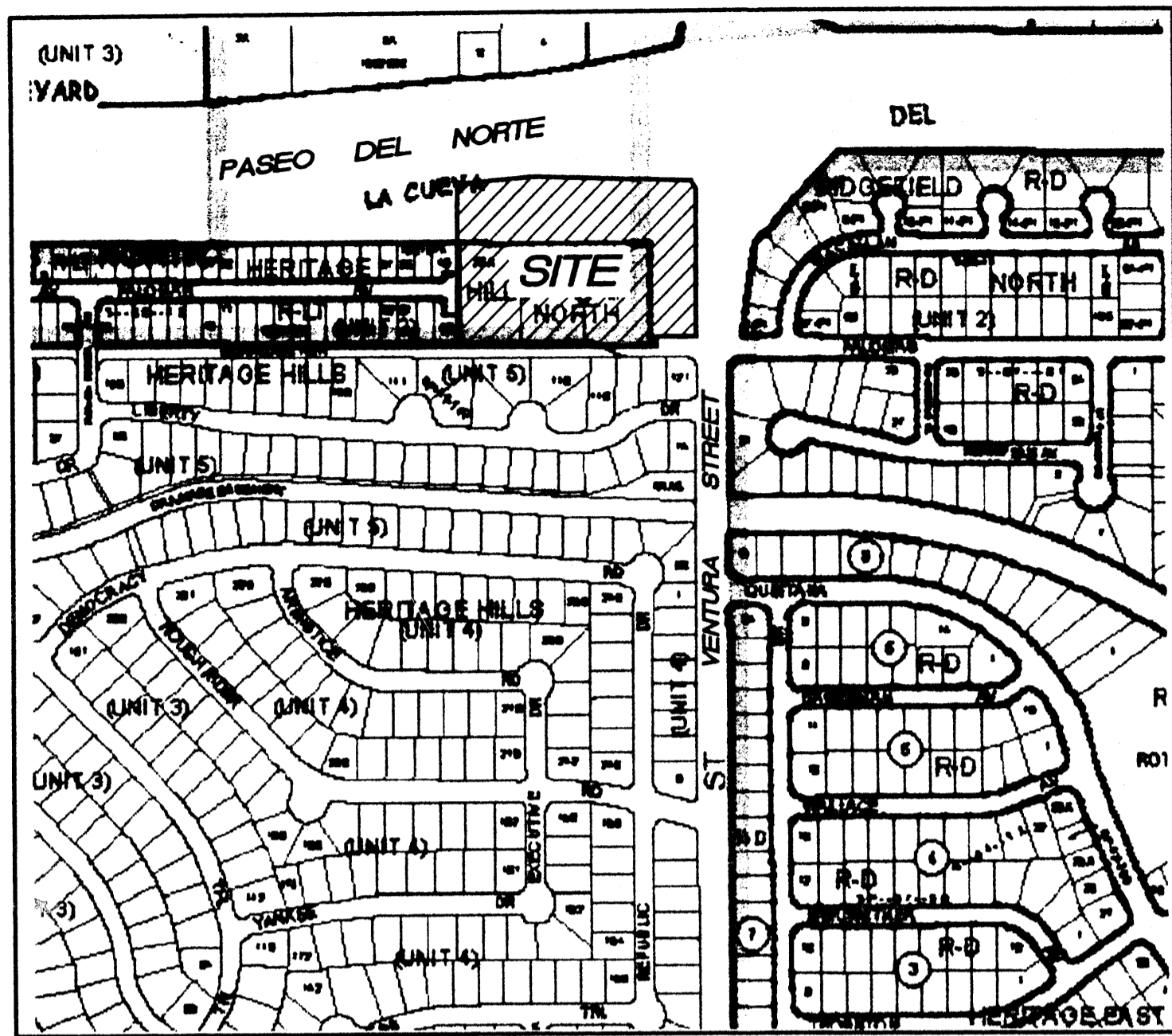
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

PROJECT MANAGER: JON STERN
 DRAWN BY: NAH
 JOB NO.: 0717
 SHEET TITLE: ELEVATIONS SHOPS-A

DATE: 6.22.07
 SCALE: 1/8"=1'
 sheet: **A3.5**
 of: 07



VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone (NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2007483512
- City of Albuquerque Zone Atlas Page D-20.
- The subject property is currently zoned SU-2/C-1 as shown on City of Albuquerque Zone Atlas Page D-20, dated May 17, 2007

PURPOSE OF PLAT

The purpose of this plat is to

- Eliminate the existing interior tract/lot lines and subdivide into three (3) new Tracts as shown hereon.
- Show the Vacation of Private Access and Drainage Easement Vacated by 08DRB-70028
- Show the Vacation of Public Drainage Easements and Public right of way Vacated by 08DRB-70053 and DRB08-70054.
- Grant the new easements as shown hereon.
- Dedicate the additional public right of way as shown hereon.

SUBDIVISION DATA

- Total number of existing Lots: 8
- Total number of existing Tracts: 1
- Total number of Tracts created: 3
- Gross Subdivision acreage: 5.8906 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1020063225102694
 ALM UC
 Crystal Trujillo
 Bernalillo County Treasurer Date: 4/2/08

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 December 3, 2007



PLAT OF
 PARCELS A, B AND C
 VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2007

PROJECT NUMBER: 1006602
 Application Number: 08DRB-70028

PLAT APPROVAL

Utility Approvals:
 PNM Electric Services: [Signature] 2/19/2008
 PNM Gas Services: [Signature] 2/19/2008
 QWest Corporation: [Signature] 2/19/08
 Comcast: [Signature] 1-15-08

City Approvals:
 City Surveyor: [Signature] 1-15-08
 Real Property Division: [Signature] 4-2-08

Environmental Health Department: [Signature] Date
 Traffic Engineering, Transportation Division: [Signature] 2/27/08
 Utilities Development: [Signature] 3-18-08

Parks and Recreation Department: [Signature] 2/27/08

AMAFCA: [Signature] 2/27/08

City Engineer: [Signature] 2-27-08

DRB Chairperson, Planning Department: [Signature] 04-03-08

DOCH 2008038110
 04/03/2008 03:17 PM Page: 1 of 4
 PLAT R \$22.00 B 2008C P 0063 H Toulouse, Bernalillo County

**PLAT OF
PARCELS A, B AND C
VENTURA PLAZA**

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION
OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN
**PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN**
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

LEGAL DESCRIPTION

That certain tract of land lying and situate within the Elena Gallegos Grant in projected Section 20, Township 11 North, Range 4 East, City of Albuquerque, Bernalillo County, New Mexico, being and comprising the following:

All of Lots numbered 18A, 19A and 20A in Block numbered 31 of North Albuquerque Acres, Tract A, Unit A, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431.

TOGETHER WITH:

An Easterly portion of Tract B, Heritage Hills North as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431 and a portion of Palomas Avenue NE as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Volume D, Folio 129, Both parcels having been vacated by City of Albuquerque Vacation action 08DRB-70053 and 08DRB-70053.

TOGETHER WITH:

The remaining Southerly portions of Lots numbered Thirteen (13) through Seventeen (17), Block 31, North Albuquerque Acres, Tract A, Unit A, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, said remaining portions acquired by the New Mexico State Highway and Transportation Department as Right of Way under New Mexico Project TPU-4054(2), with said tracts to be possibly sold as excess right of way, said tract being more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 13 (a concrete nail and brass disc stamped "L.S. 9750" set) said point also being the Northwest corner of said Lot 20A and a point on the South present day right of way line of Paseo Del Norte, New Mexico Project TPU-4054(2) whence the Albuquerque Control Survey Monument "5-D21" bears S 57° 47' 43" E, 3993.32 feet distant; Thence,

N 00° 16' 38" E, 133.02 feet to the Northwest corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

N 84° 43' 40" E, 187.12 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 88° 15' 21" E, 394.94 feet to the Northeast corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 28° 06' 31" E, 23.91 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 02' 47" W, 120.76 feet a point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 14' 02" W, 233.96 feet to an angle point on the Southerly line of said Lot 17 (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 02° 47' 51" W, 54.07 feet to a point on the Northerly line of Heritage Hills Unit 5 as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico April 14, 1980 in Plat Book C16, page 137; Thence,

N 89° 39' 44" W, 590.47 feet along said Northerly line of Heritage Hills Unit 5 to the Southwest corner of the tract herein described; Thence,

N 00° 13' 28" E, 29.29 feet to the Southwest corner of said Lot 20A (a concrete nail and brass disc stamped "LS 9750" set); Thence,

N 00° 13' 48" E, 258.84 feet to the point of beginning of the tract herein described.

Said tract contains 5.8906 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF VENTURA PLAZA (BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.) WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ALM, L.L.C.
a New Mexico limited liability company

Adil Rizvi
By: Adil Rizvi, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 14th day

of FEBRUARY, 2008, by Adil Rizvi.

Notary Public
Notary Public My commission expires 11/28/11



OFFICIAL SEAL
DOUGLAS H. PETERSON
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 11/28/11

Documents used in the preparation of this survey are as follows:

- A. Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 43.
- B. Plat entitled "LOTS 112-A & 113-A, Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1981, in Plat Book C12, Page 65.
- C. Plat entitled "38, 39, 40, 59, 60 and 61, Heritage Hills North Unit 11", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003 in Plat Book 2003C, Page 272.
- D. Plat entitled "TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Plat Book D, Page 137.
- E. Plat entitled "Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 14, 1980, in Plat Book C16, Page 137.
- F. Plat entitled "Heritage Hills North Unit 2", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003, in Plat Book 2003C, Page 272.
- G. Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- H. Plat entitled "Lots 18A, 19A and 20A, Block 31, TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- I. New Mexico State Highway Commission Right of Way Map, New Mexico Project No. TPU-4054(2). Final Map dated May 7, 1993.
- J. Title Reports prepared for this property by LandAmerica Albuquerque Title, and underwritten by Commonwealth Land Title Insurance Company, Commitment for Title Insurance No. 6216000368 and 6216000368A, dated July 13, 2006.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"

DOCH 2008038110
04/03/2008 03:17 PM Page: 2 of 4
PLAT R 922.00 B: 2008C P: 0063 M: Toulouse, Bernalillo County



SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION
 OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
 IN

PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

DOCH 2008038110

04/03/2008 03:17 PM Page: 3 of 4
 PLAT R: \$22.00 B: 2008C P: 0063 H: Toulouse, Bernalillo County

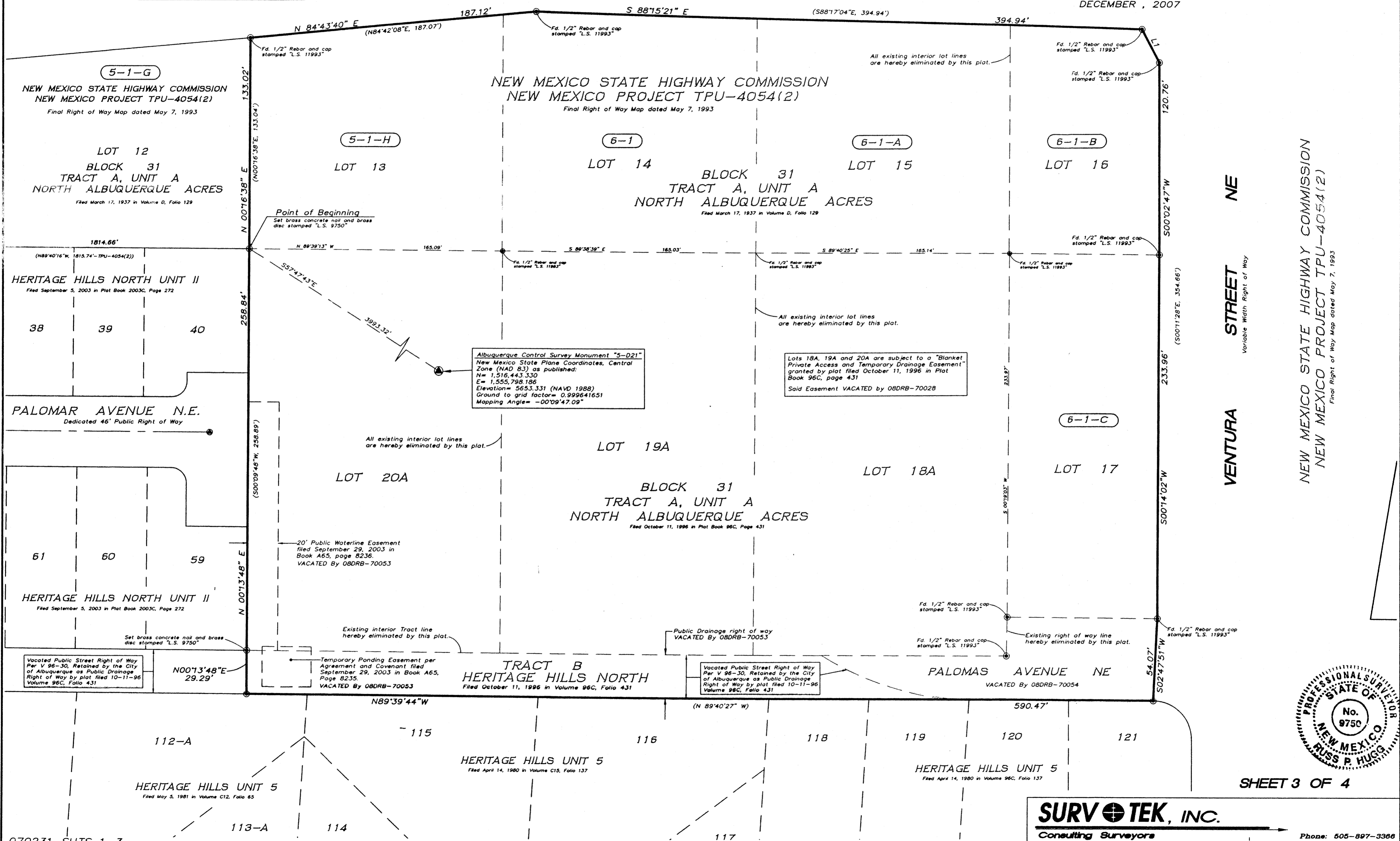
GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.

LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L2	25.03'	S01°05'11"W
L3	31.33'	N00°00'00"E

PASEO DEL NORTE
 (NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
 Variable Width Right of Way



NEW MEXICO STATE HIGHWAY COMMISSION
 NEW MEXICO PROJECT TPU-4054(2)
 Final Right of Way Map dated May 7, 1993

VENTURA STREET
 Variable Width Right of Way

SURVOTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

NOTE

Parcels A, B and C, Ventura Plaza are subject to that certain "DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND CROSS EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on the 3rd day of April, 2008, as Doc. No. 2008038109

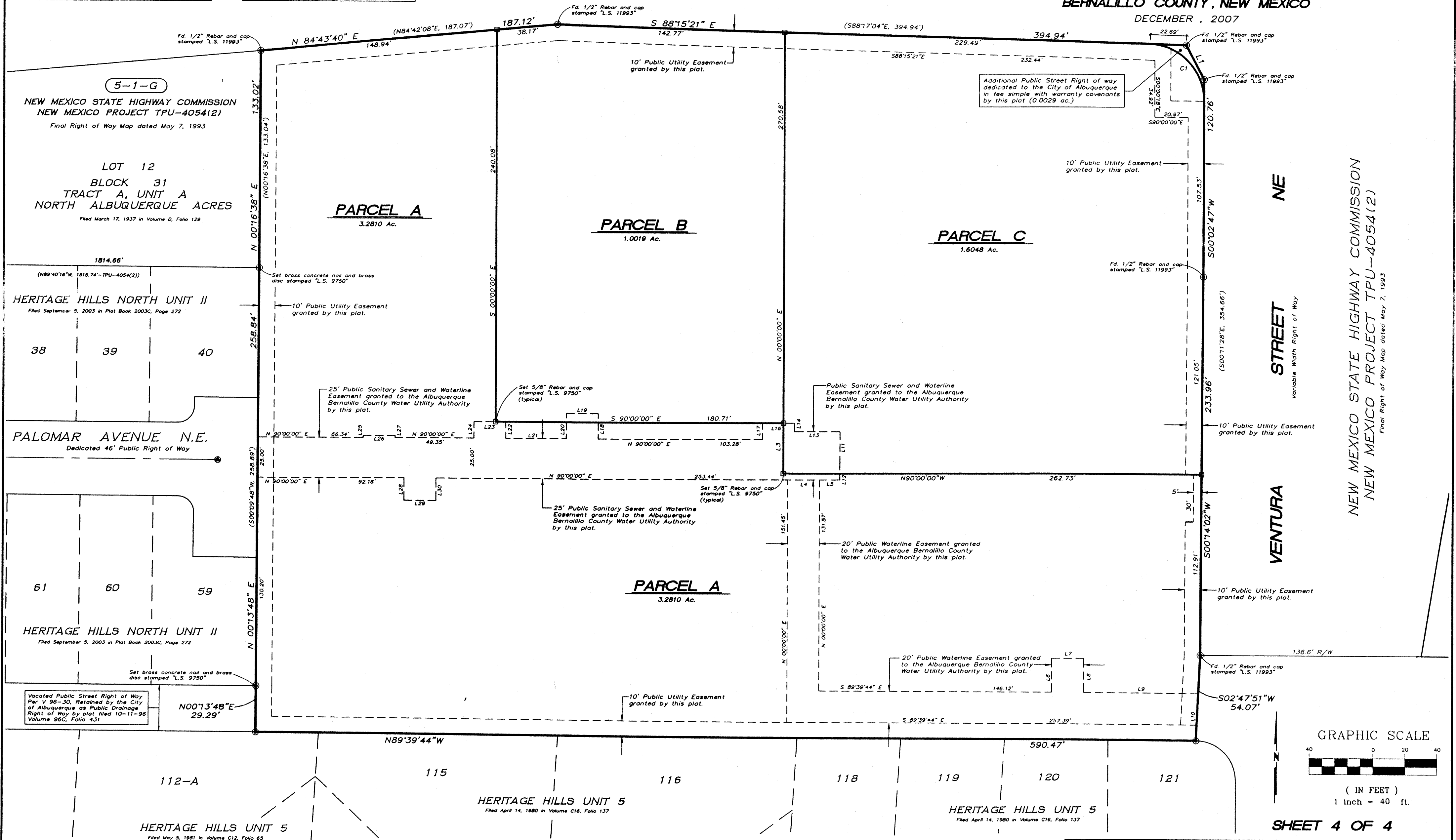
DOCH 2008038110

04/03/2008 09:17 PM Page 4 of 4
PLAT R: \$22.00 B: 2008; P: 0083 M: Toulouse, Bernalillo County

PASEO DEL NORTE
(NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
Variable Width Right of Way

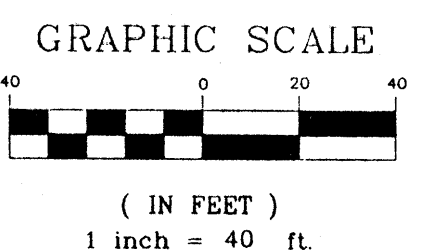
LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L3	31.33'	N00°00'00"E
L4	20.00'	N90°00'00"E
L5	12.68'	N90°00'00"E
L6	21.19'	N00°00'00"E
L7	20.01'	N90°00'00"E
L8	21.31'	S00°00'00"W
L9	72.24'	S89°39'44"E
L10	30.03'	N02°47'51"E
L11	20.00'	N00°00'00"E
L12	10.00'	N00°00'00"W
L13	28.53'	N90°00'00"W
L14	5.27'	N00°00'00"E
L16	20.00'	N89°57'09"E

LINE	LENGTH	BEARING
L17	10.26'	N00°00'00"E
L18	15.74'	N00°00'00"W
L19	20.00'	N90°00'00"E
L20	15.74'	S00°00'00"E
L21	38.00'	N90°00'00"E
L22	10.27'	N00°00'00"E
L23	20.00'	N90°00'00"W
L24	10.27'	S00°00'00"E
L25	1.23'	N00°00'00"E
L26	20.00'	N90°00'00"E
L27	1.23'	S00°00'00"E
L28	14.19'	S00°00'00"E
L29	20.00'	S90°00'00"E
L30	14.19'	N00°00'00"W



Additional Public Street Right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat (0.0029 ac.)

NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)
Final Right of Way Map dated May 7, 1993



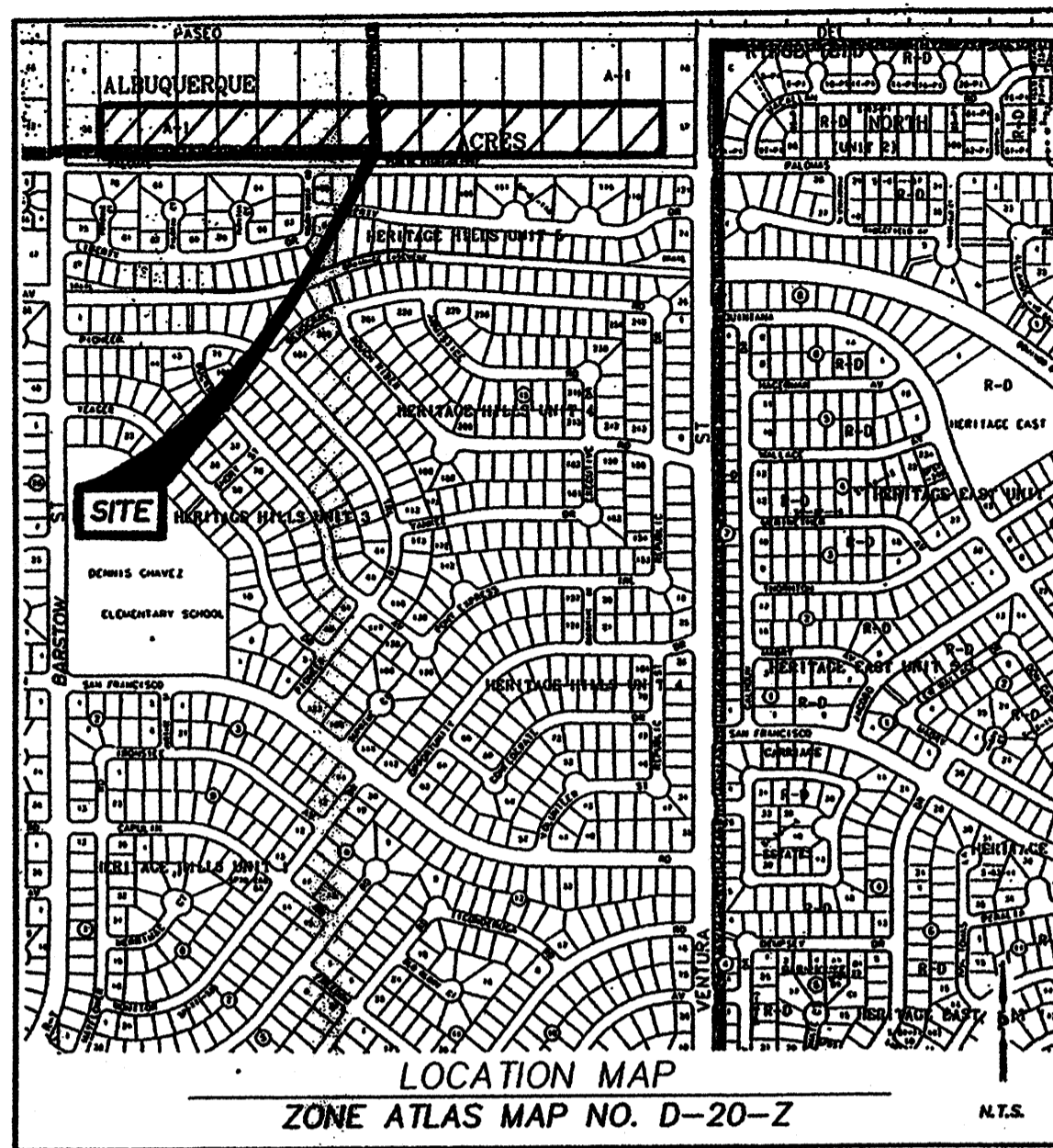
SHEET 4 OF 4

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	53.94'	35.00'	33.98'	48.76'	N44°06'17"W	88°18'09"

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

070231_SHT4

96C-431(1)



SUBDIVISION DATA:

GROSS SUBDIVISION ACREAGE: 15.174 ACRES±
ZONE ATLAS INDEX NO: D-20-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 55
MILES OF FULL-WIDTH STREETS CREATED: 0.248 MILE
DATE OF SURVEY: FEBRUARY 3-7, 1996

TRACT A & B, HERITAGE HILLS NORTH UNIT
CITY DRAINAGE DISTRICT NO. 1
CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION

LAWRENCE D. RAEL
CHIEF ADMINISTRATIVE OFFICER

ACKNOWLEDGEMENTS
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

ON THIS DAY OF OCTOBER, 1996 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME, A NOTARY PUBLIC, BY LAWRENCE D. RAEL, CHIEF ADMINISTRATIVE OFFICER, FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON THE BEHALF OF SAID MUNICIPAL CORPORATION.

1/3/98 *Rene Herrera*
NOTARY PUBLIC

NOTES:

- 1. BEARINGS ARE N.M. STATE PLANE GRID BEARINGS (CENTRAL ZONE) NAD 1927.
- 2. DISTANCES ARE GROUND DISTANCES.
- 3. BASIS OF BEARING TAKEN BETWEEN ACS MONUMENTS "7-C19" AND "HEAVEN".
- 4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M., ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO.
- 5. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE A PORTION OF LOT 24 AND ALL OF LOTS 25 THRU 31, BLOCK 31, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A AND THE NORTHERLY PORTION OF THE VACATED PALOMAR AVENUE, N.E. V-96-30 AND TO GRANT A TEMPORARY ACCESS EASEMENT AND DRAINAGE EASEMENT ON LOTS 18A THRU 24A
- 6. PLAT SHOWS ALL EASEMENTS OF RECORD.
- 7. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF AGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- 8. "CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO HERITAGE HILLS NORTH UNIT 1 MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE."
- 9. SP NO. 96070907550042
- 10. 2400 SQUARE FEET OF OPEN SPACE WILL BE MAINTAINED ON EACH LOTS.

LEGAL DESCRIPTION

A TRACT OF LAND COMPRISING OF LOTS 18 THROUGH 31, BLOCK 31, AND THE NORTHERLY AND SOUTHERLY PORTIONS OF THE VACATED PALOMAR AVENUE, NE ADJACENT TO THESE LOTS, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1997 IN VOLUME 8, FOLIO 128, LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT, BEING THE NORTHWEST CORNER OF SAID LOT 31, MARKED BY A SET REBAR WITH CAP "PS 11993" FROM WHENCE A TIE TO NGS MONUMENT "HEAVEN" BEARS N 89°14'09" W, A DISTANCE OF 3,317.78 FEET;
THENCE FROM SAID BEGINNING POINT, S 89°40'27" E, A DISTANCE OF 2,309.23 FEET TO THE NORTHEAST CORNER OF SAID TRACT, BEING THE NORTHEAST CORNER OF SAID LOT 18, MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE S 00°14'09" W, A DISTANCE OF 258.89 FEET TO A POINT LYING ON THE CENTERLINE OF THE SAID VACATED PALOMAR AVENUE, NE MARKED BY A SET PK NAIL WITH TAG "PS 11993";
THENCE N 89°39'44" W ALONG SAID CENTERLINE, A DISTANCE OF 120.32 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 106.87 FEET, AN ARC LENGTH OF 104.68 FEET, AND A CHORD OF S 73°04'29" E, 103.45 FEET TO THE SOUTHEAST CORNER OF SAID TRACT LYING ON THE SOUTH LINE OF SAID VACATED PALOMAR AVENUE, NE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE ALONG SAID SOUTH LINE OF VACATED PALOMAR AVENUE, NE, N 89°40'27" W, A DISTANCE OF 1,386.27 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE ALONG A CURVE TO LEFT HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 38.27 FEET, AND A CHORD OF S 45°19'34" W, 35.36 FEET TO A POINT MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE N 00°19'34" E, A DISTANCE OF 54.83 FEET TO A POINT LYING ON THE CENTERLINE OF SAID VACATED PALOMAR AVENUE, NE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE N 89°39'44" W ALONG SAID CENTERLINE, A DISTANCE OF 50.00 FEET TO A POINT MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE S 00°19'34" W, A DISTANCE OF 54.83 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 38.27 FEET, AND A CHORD OF N 44°04'26" W, 35.36 FEET TO A POINT LYING ON THE SOUTH LINE OF VACATED PALOMAR AVENUE, NE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE N 89°40'27" W ALONG SAID SOUTH LINE, A DISTANCE OF 781.87 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 103.00 FEET, AN ARC LENGTH OF 109.00 FEET, AND A CHORD OF N 74°08'48" E, 107.58 FEET TO A POINT LYING ON THE CENTERLINE OF SAID VACATED PALOMAR AVENUE, NE MARKED BY A SET REBAR WITH CAP "PS 11993";
THENCE N 89°39'44" W ALONG SAID CENTERLINE, A DISTANCE OF 121.81 FEET TO THE SOUTHWEST CORNER OF SAID TRACT;
THENCE N 00°14'31" W, A DISTANCE OF 258.82 FEET TO THE POINT OF BEGINNING CONTAINING 15.174 ACRES MORE OR LESS, NOW COMPRISING HERITAGE HILLS NORTH UNIT 1, AND LOTS 18A THROUGH 24A, BLOCK 31, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A.

EASEMENTS

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS HIS FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. EASEMENTS GRANTED AS SHOWN HEREON. PUBLIC UTILITY EASEMENTS ARE INCLUSIVE OF OVERHEAD ELECTRICAL LINES NECESSARY TO PROVIDE ELECTRICAL SERVICES.

Patrick J. Mc Gavick
PATRICK J. MC GAVICK, MEMBER
RIDGEFIELD WEST L.L.C. 7-8-96
DATE

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF OCTOBER, 1996 BY PATRICK J. MC GAVICK, MEMBER RIDGEFIELD WEST L.L.C.
BY *Patrick J. Mc Gavick*
NOTARY PUBLIC
COMMISSION EXPIRES:

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on

3:19 OCT 11 1996
Albuquerque, New Mexico
of records of said County file

06112957 PLAT OF
HERITAGE HILLS NORTH
UNIT 1

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1996

9.96.18

APPROVALS

<i>Kevin L. Jone</i>	10-11-96
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
<i>John J. Jone</i>	10-7-96
CITY ENGINEER	DATE
<i>John J. Jone</i>	10-7-96
A.M.A.F.C.A.	DATE
<i>John J. Jone</i>	7-30-96
TRAFFIC ENGINEER	DATE
<i>John J. Jone</i>	071596
CITY SURVEYOR	DATE
<i>John J. Jone</i>	10-11-96
PROPERTY MANAGEMENT	DATE
<i>Robert W. Kane</i>	7-30-96
WATER RESOURCES DEPARTMENT	DATE
<i>Ed King Design & Development</i>	9-25-96
DRAWING AND GENERAL SERVICES	DATE
<i>John J. Jone</i>	9-25-96
PNM ELECTRIC SERVICES	DATE
<i>John J. Jone</i>	9-25-96
PNM GAS SERVICES	DATE
<i>Norma S. Carrillo</i>	9-25-96
U.S. WEST COMMUNICATIONS	DATE
<i>Violet Watson</i>	9/25/96
JONES INTERCABLE, INC.	DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATE

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 7/2/96
LARRY W. MEDRANO DATE



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PNM ON UPON. SEE ATTACHMENT A
PROPERTY OWNER OF RECORD:
BERNALILLO COUNTY TREASURER'S OFFICE
Annelle Humbert

PRECISION SURVEYS, INC.
2829 COORS BLVD NW, SUITE 105 ALBUQUERQUE, NEW MEXICO 87120
PHONE 505 839 0980 FAX 505 839 4185

DRB CASE NO. 95-411
SHEET 1 OF 3

Z:\PUBLIC\PS-SUR\PLATS\WEST\960049A Med Jul 3 07:22:28 1996

96C-431(1)

96C-431(2)

96C-431(2)

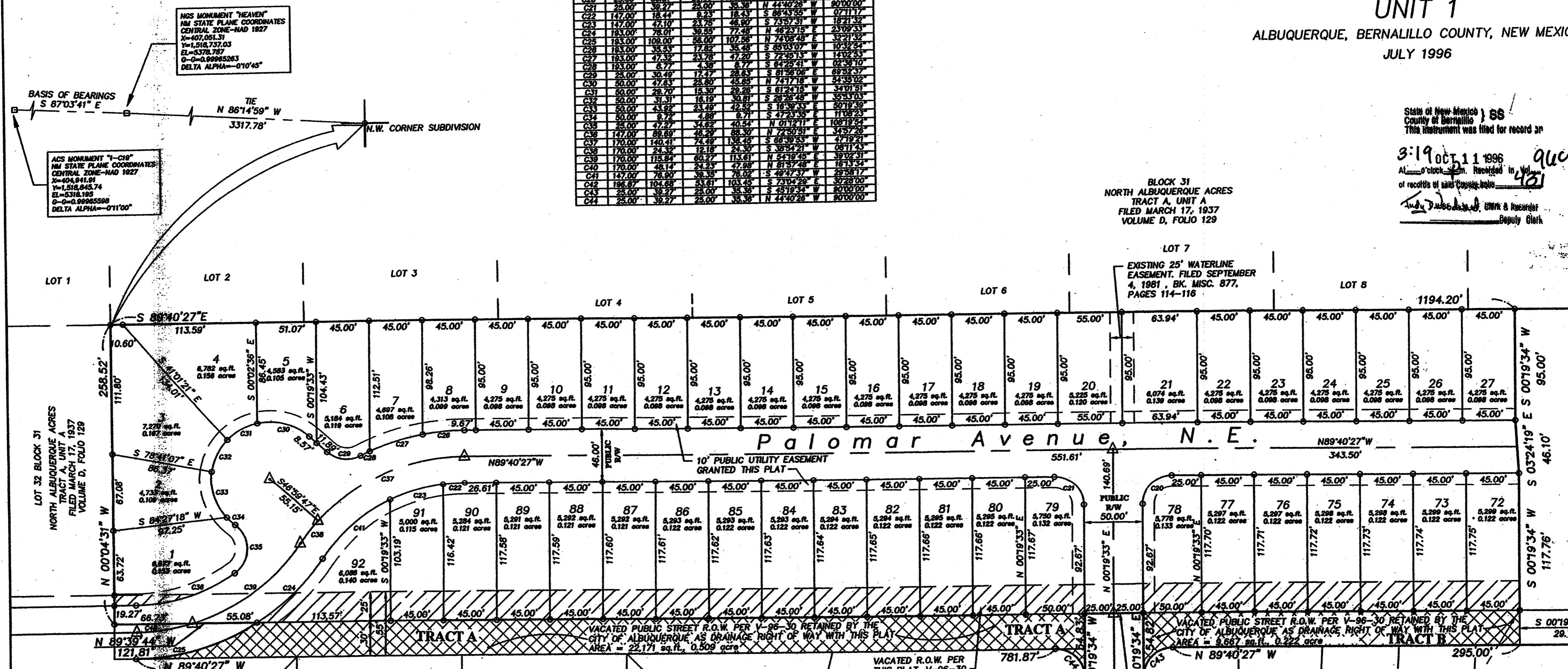
PLAT OF 96112957
HERITAGE HILLS NORTH
UNIT 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1996

CURVE DATA:

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C20	25.00	39.27	25.00	39.38	S 45°19'34" W	90°00'00"
C21	25.00	39.27	25.00	39.38	N 44°40'26" W	90°00'00"
C22	147.00	18.44	6.23	18.43	S 66°43'55" W	07°11'17"
C23	147.00	42.10	21.75	46.80	S 73°57'31" W	16°21'13"
C24	183.00	78.01	39.59	77.48	N 46°23'15" W	23°01'53"
C25	183.00	108.00	56.00	102.58	N 74°19'48" E	32°21'32"
C26	183.00	78.01	39.59	77.48	S 66°43'55" W	10°32'24"
C27	183.00	42.10	21.75	46.80	S 73°57'31" W	14°02'53"
C28	183.00	78.01	39.59	77.48	S 72°45'13" W	02°38'10"
C29	25.00	30.49	17.47	28.63	S 81°56'08" E	69°52'37"
C30	50.00	47.63	26.80	43.65	N 74°17'18" W	34°35'02"
C31	50.00	28.70	16.30	29.28	S 61°24'15" W	34°01'51"
C32	50.00	31.31	18.19	29.82	S 70°25'49" W	39°23'03"
C33	50.00	43.62	23.49	42.82	S 78°36'43" E	50°19'39"
C34	50.00	57.52	29.88	56.71	S 47°23'59" E	11°08'23"
C35	25.00	47.27	34.62	40.54	N 01°12'11" E	106°19'54"
C36	147.00	88.69	46.29	88.30	N 72°50'51" E	34°57'26"
C37	170.00	140.41	74.49	138.45	S 66°39'53" W	47°19'21"
C38	170.00	24.38	12.18	24.30	S 38°54'21" W	08°11'43"
C39	170.00	115.89	60.27	113.51	N 54°19'45" E	39°02'31"
C40	170.00	48.17	23.19	47.88	S 81°57'48" E	16°13'54"
C41	147.00	78.01	39.59	78.02	S 49°47'37" W	29°58'17"
C42	166.27	104.68	53.61	103.45	S 73°04'29" E	30°28'00"
C43	25.00	39.27	25.00	39.38	S 45°19'34" W	90°00'00"
C44	25.00	39.27	25.00	39.38	N 44°40'26" W	90°00'00"

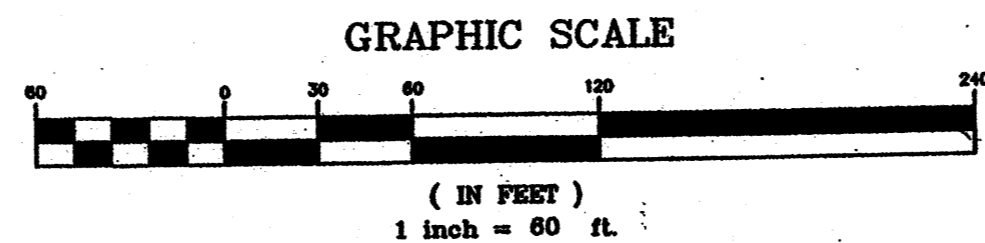
State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
3:19 OCT 11 1996
Albuquerque, New Mexico
of records of said County Clerk
Deputy Clerk

BLOCK 31
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT A
FILED MARCH 17, 1937
VOLUME D, FOLIO 129



LEGEND

- POINT FOUND AND USED AS SHOWN
- POINT SET BY THIS SURVEY - REBAR W/CAP "PS 11993"
- △ CENTERLINE (IN USE OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS. THIS WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, SURVEY MARKER, DO NOT DISTURB, "PLSF 11993"



PRECISION SURVEYS, INC.

5889 COORS BLVD NW, SUITE 105
ALBUQUERQUE, NEW MEXICO 87120

PHONE 505-839-0589
FAX 505-839-4188

DRB CASE NO. 95-411
SHEET 2 OF 3

Z:\PUBLIC\PS-STR\PLATS\MEST\960044PA Tue Oct 8 18:16:13 1996

96C-431(2)

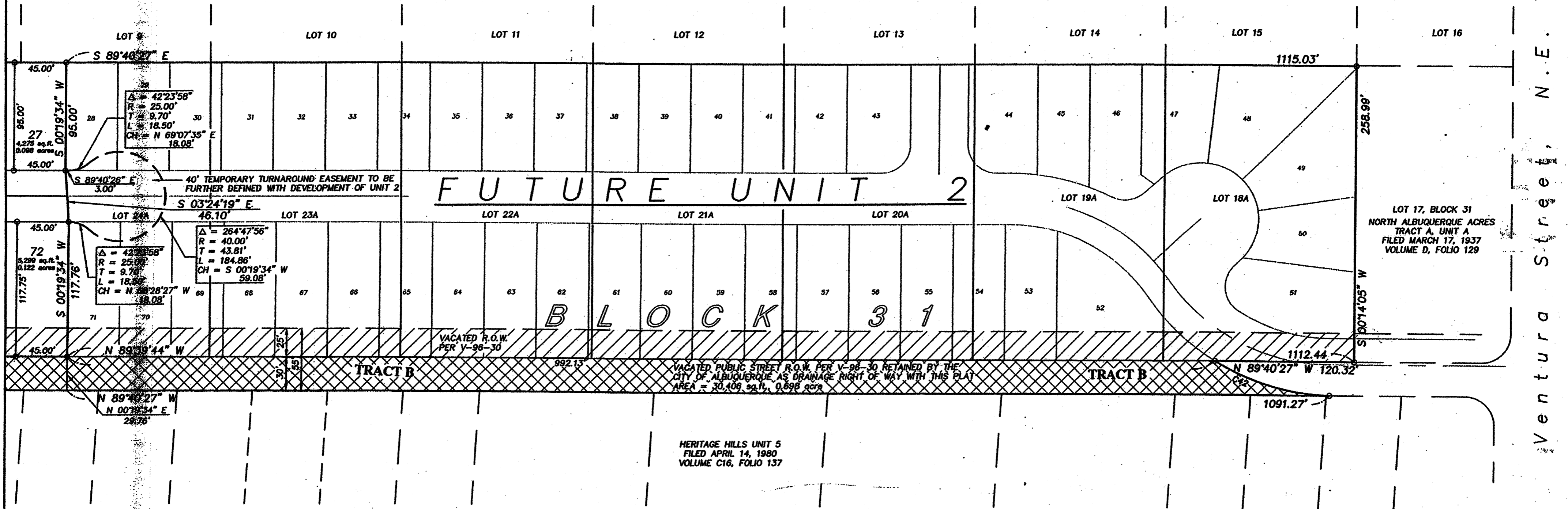
96C-431(2)

96C-431(3)

PLAT OF **96112957**
HERITAGE HILLS NORTH
UNIT 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1996

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
319 OCT 11 1996
At 10:00 o'clock A.M. Recorded in Vol. 96C
of records of said County Folio 431
Judy Woodward, Clerk & Recorder
Deputy Clerk

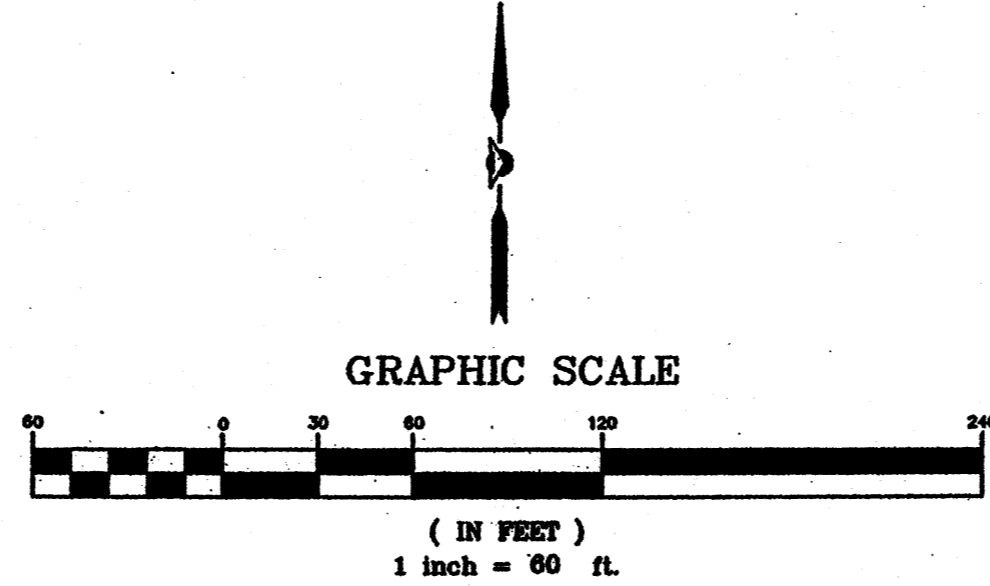
BLOCK 31
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT A
FILED MARCH 17, 1937
VOLUME D, FOLIO 129



NOTE:
A BLANKET PRIVATE ACCESS AND TEMPORARY DRAINAGE EASEMENT TO BE FURTHER DEFINED BY UNIT 2 PLATTING IS GRANTED BY THIS PLAT. THIS EASEMENT IS FOR THE BENEFIT AND TO BE MAINTAINED BY THE OWNERS OF EXISTING NORTH ALBUQUERQUE ACRE LOTS 18A THRU 24A SHOWN HEREON.

HERITAGE HILLS UNIT 5
FILED APRIL 14, 1980
VOLUME C16, FOLIO 137

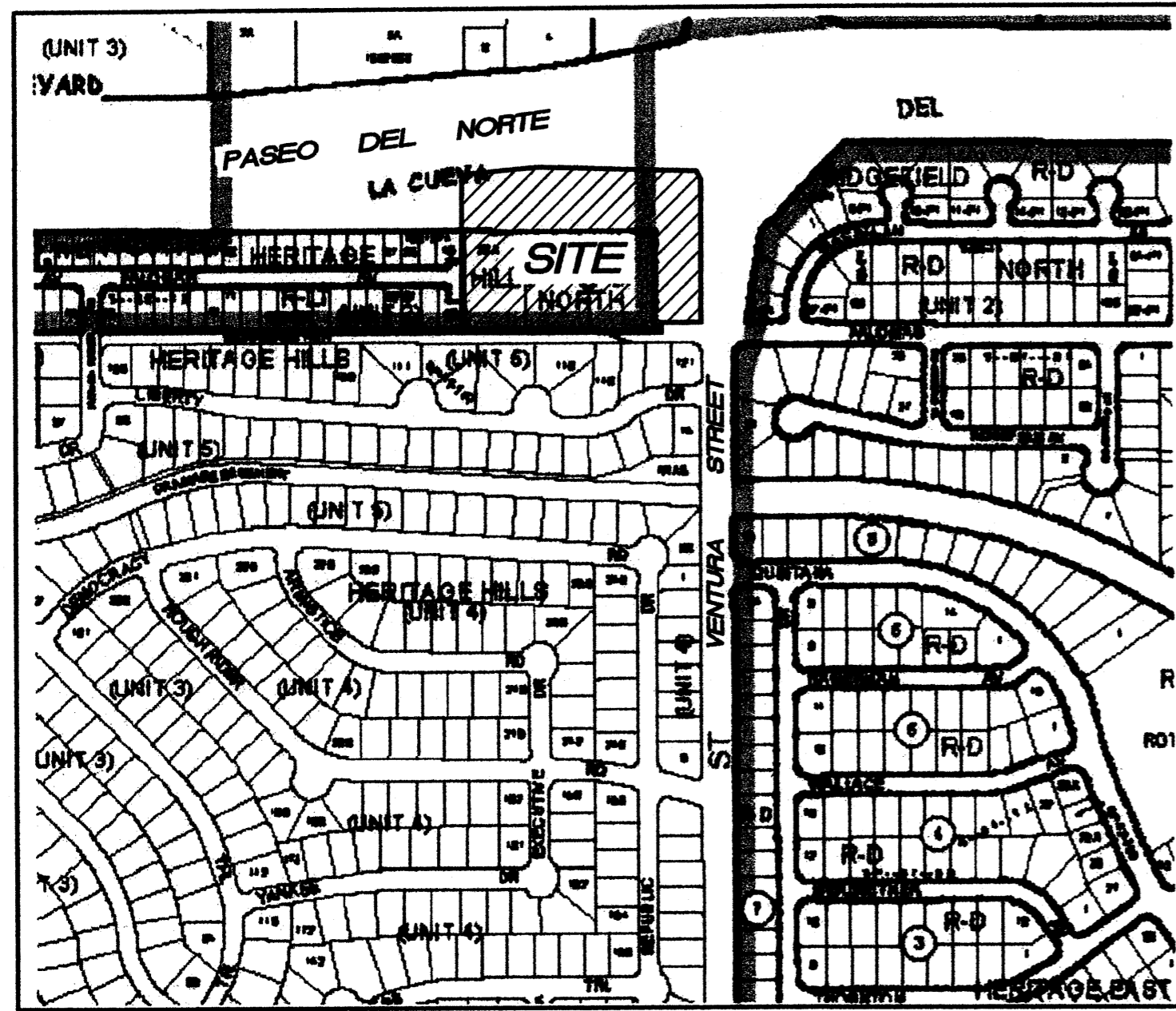
PRECISION SURVEYS, INC.
2828 COORS BLVD NW, SUITE 105 ALBUQUERQUE, NEW MEXICO 87120
PHONE 505 839 0500 FAX 505 839 4185



DRB CASE NO. 95-411
SHEET 3 OF 3

Z:\PUBLIC\PS-SJR\PLATS\WEST\96004\PA Tue Oct 8 16:11:49 1996

96C-431(3)



VICINITY MAP
Not to Scale

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings, Central Zone (NAD 83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. U.C.L.S. Log Number 2007483512
8. City of Albuquerque Zone Atlas Page D-20.
9. The subject property is currently zoned SU-2/C-1 as shown on City of Albuquerque Zone Atlas Page D-20, dated May 17, 2007

PURPOSE OF PLAT

The purpose of this plat is to

- A. Eliminate the existing interior tract/lot lines and subdivide into three (3) new Tracts as shown hereon.
- B. Show the Vacation of Private Access and Drainage Easement Vacated by 07DRB-
- C. Grant the new easements as shown hereon.

SUBDIVISION DATA

1. Total number of existing Lots: 8
2. Total number of Tracts created: 3
3. Gross Subdivision acreage: 5.4387 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
December 3, 2007



PLAT OF
PARCELS A, B AND C
VENTURA PLAZA
(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES)
WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Corporation _____ Date _____

[Signature] _____ Date 1-15-08
Comcast

City Approvals: _____ Date 1-15-08
[Signature]
City Surveyor

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

**PLAT OF
PARCELS A, B AND C
VENTURA PLAZA**
(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES)
WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

LEGAL DESCRIPTION

That certain tract of land lying and situate within the Elena Gallegos Grant in projected Section 20, Township 11 North, Range 4 East, City of Albuquerque, Bernalillo County, New Mexico, being and comprising the following:

All of Lots numbered 18A, 19A and 20A in Block numbered 31 of North Albuquerque Acres, Tract A, Unit A, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431.

TOGETHER WITH:

The remaining Southerly portions of Lots numbered Thirteen (13) through Seventeen (17), Block 31, North Albuquerque Acres, Tract A, Unit A, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, said remaining portions acquired by the New Mexico State Highway and Transportation Department as Right of Way under New Mexico Project Number TPU-4054(2), with said tracts to be possibly sold as excess right of way, said tract being more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 13 (a concrete nail and brass disc stamped "L.S. 9750" set) said point also being the Northwest corner of said Lot 20A and a point on the South present day right of way line of Paseo Del Norte, New Mexico Project TPU-4054(2) whence the Albuquerque Control Survey Monument "5-D21" bears S 57° 47' 43" E, 3993.32 feet distant; Thence,

N 00° 16' 38" E, 133.02 feet to the Northwest corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

N 84° 43' 40" E, 187.12 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 88° 15' 21" E, 394.94 feet to the Northeast corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 28° 06' 31" E, 23.91 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 02' 47" W, 120.76 feet a point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 14' 02" W, 233.96 feet to an angle point on the Southerly line of said Lot 17 (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

N 89° 36' 00" W, 97.98 feet to the Southwest corner of said Lot 17 (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 01° 05' 11" W, 25.03 feet to the Southeast corner of said Lot 18A (a 5/8" rebar and cap stamped "LS 9750" set); Thence,

N 89° 38' 22" W, 494.54 feet to the Southwest corner of said Lot 20A (a concrete nail and brass disc stamped "LS 9750" set); Thence,

N 00° 13' 48" E, 258.84 feet to the point of beginning of the tract herein described.

Said tract contains 5.4387 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF VENTURA PLAZA (BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES) WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ALM, L.L.C.
a New Mexico limited liability company

Adil Rizvi
By: Managing Member



OFFICIAL SEAL
DOUGLAS H. PETERSON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 11/28/11

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 14th day
of JANUARY, 2007, by Adil Rizvi

D. P. Adams
Notary Public

11/28/11
My commission expires

Documents used in the preparation of this survey are as follows:

- A. Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 43.
- B. Plat entitled "LOTS 112-A & 113-A, Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1981, in Plat Book C12, Page 65.
- C. Plat entitled "38, 39, 40, 59, 60 and 61, Heritage Hills North Unit II", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003 in Plat Book 2003C, Page 272.
- D. Plat entitled "TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Plat Book D, Page 137.
- E. Plat entitled "Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 14, 1980, in Plat Book C16, Page 137.
- F. Plat entitled "Heritage Hills North Unit 2", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003, in Plat Book 2003C, Page 272.
- G. Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- H. Plat entitled "Lots 18A, 19A and 20A, Block 31, TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- I. New Mexico State Highway Commission Right of Way Map, New Mexico Project No. TPU-4054(2). Final Map dated May 7, 1993.
- J. Title Reports prepared for this property by LandAmerica Albuquerque Title, and underwritten by Commonwealth Land Title Insurance Company, Commitment for Title Insurance No. 6216000368 and 6216000368A, dated July 13, 2006.



PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES)

WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

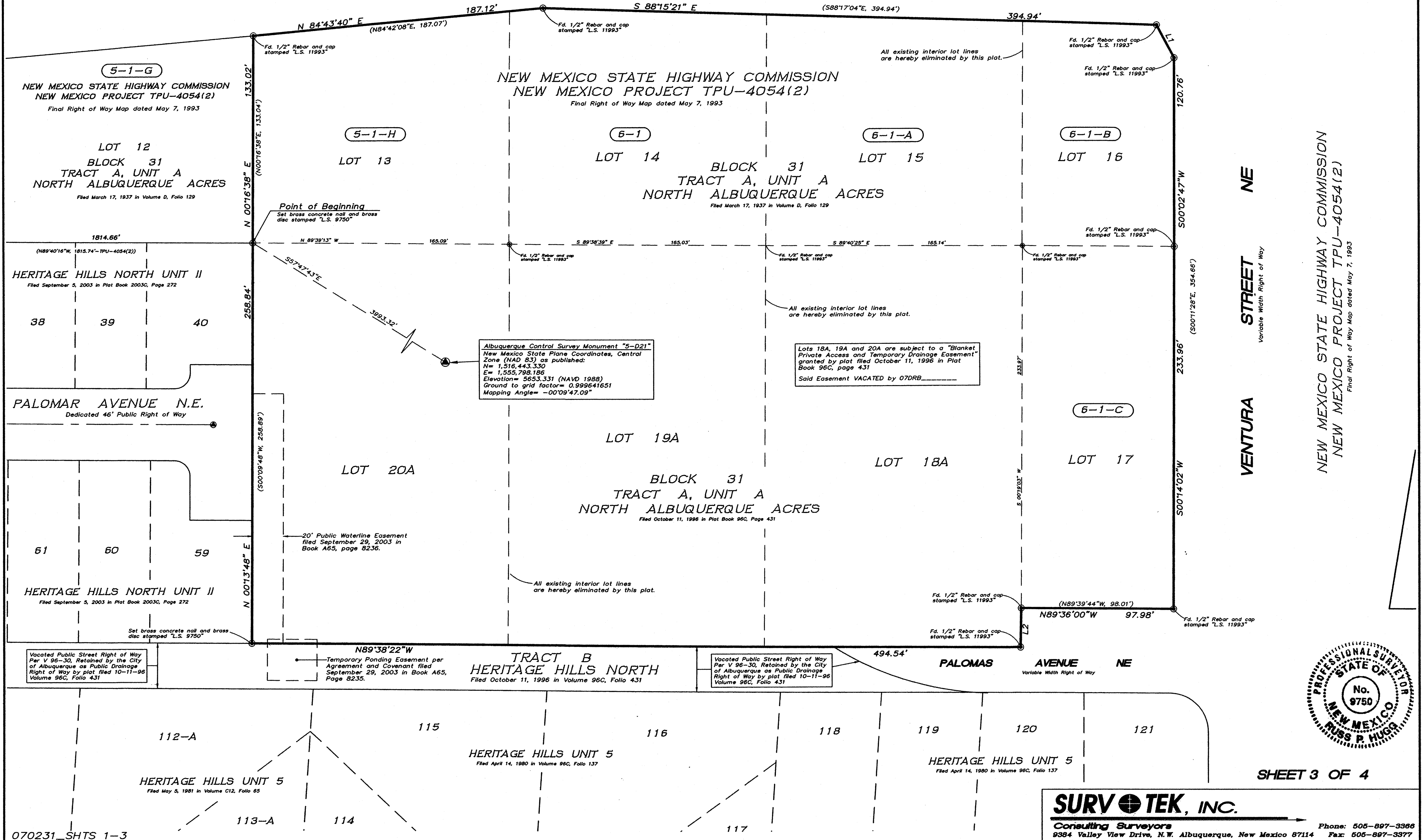
PASEO DEL NORTE
 (NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
 Variable Width Right of Way

GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.

LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L2	25.03'	S01°05'11"W
L3	31.33'	N00°00'00"E



SHEET 3 OF 4

SURVOTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3388 Fax: 505-897-3377

PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES)

WITHIN
 THE ELENA GALLEGOS GRANT
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 PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

NOTE

Parcels A, B and C, Ventura Plaza are subject to that certain
 "DECLARATION OF CROSS ACCESS AND DRAINAGE EASEMENTS"
 filed in the office of the County Clerk of Bernalillo County, New Mexico
 on the _____ day of _____, 2007, in Book _____ Page _____

GRAPHIC SCALE

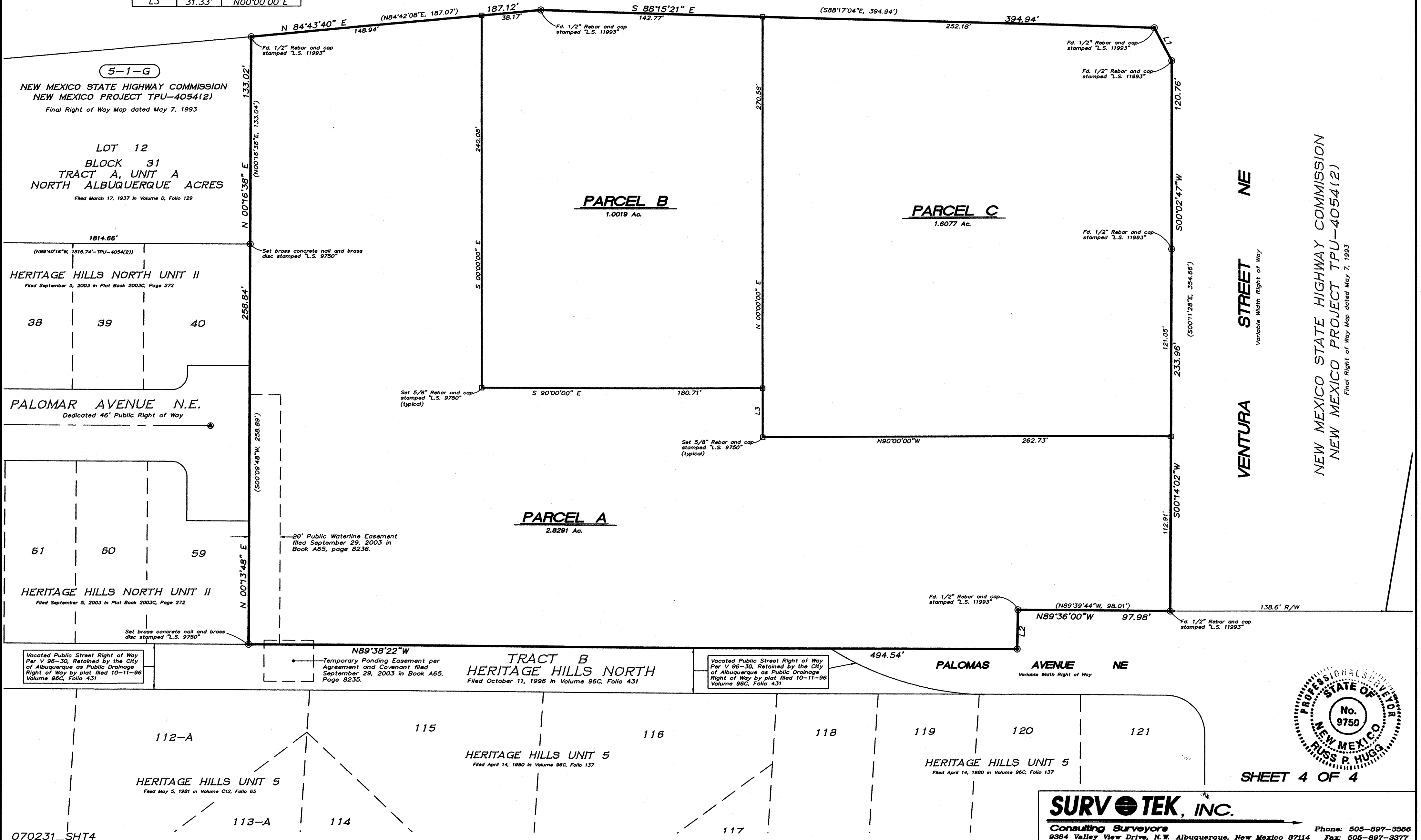


(IN FEET)
 1 inch = 40 ft.

LINE TABLE

LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L2	25.03'	S01°05'11"W
L3	31.33'	N00°00'00"E

PASEO DEL NORTE
 (NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
 Variable Width Right of Way



NEW MEXICO STATE HIGHWAY COMMISSION
 NEW MEXICO PROJECT TPU-4054(2)
 Final Right of Way Map dated May 7, 1993



SHEET 4 OF 4

SURVOTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L2	25.03'	S01°05'11"W
L3	31.33'	N00°00'00"E
L4	10.56'	N90°00'00"W
L5	32.60'	N00°00'00"E
L6	19.73'	N00°00'00"W
L7	12.56'	N90°00'00"W
L8	36.18'	N00°00'00"E
L9	20.00'	S90°00'00"W
L10	36.18'	S00°00'00"E
L11	20.00'	N00°00'00"E
L12	10.00'	N00°00'00"W
L13	28.53'	N90°00'00"W
L14	5.27'	N00°00'00"E

LINE	LENGTH	BEARING
L15	10.56'	N90°00'00"E
L16	20.00'	N89°57'09"E
L17	10.26'	N00°00'00"E
L18	18.74'	N00°00'00"W
L19	20.00'	S90°00'00"W
L20	18.74'	S00°00'00"W
L21	38.00'	N90°00'00"W
L22	10.27'	N00°00'00"E
L23	20.00'	N90°00'00"W
L24	10.27'	S00°00'00"E
L25	4.23'	N00°00'00"E
L26	20.00'	S90°00'00"W
L27	4.23'	S00°00'00"E
L28	17.19'	S00°00'00"E
L29	20.00'	N90°00'00"E
L30	17.19'	N00°00'00"W

NOTE

Parcels A, B and C, Ventura Plaza are subject to that certain "DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND CROSS EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on the ____ day of _____, 2008, as Doc. No. _____.

PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES)

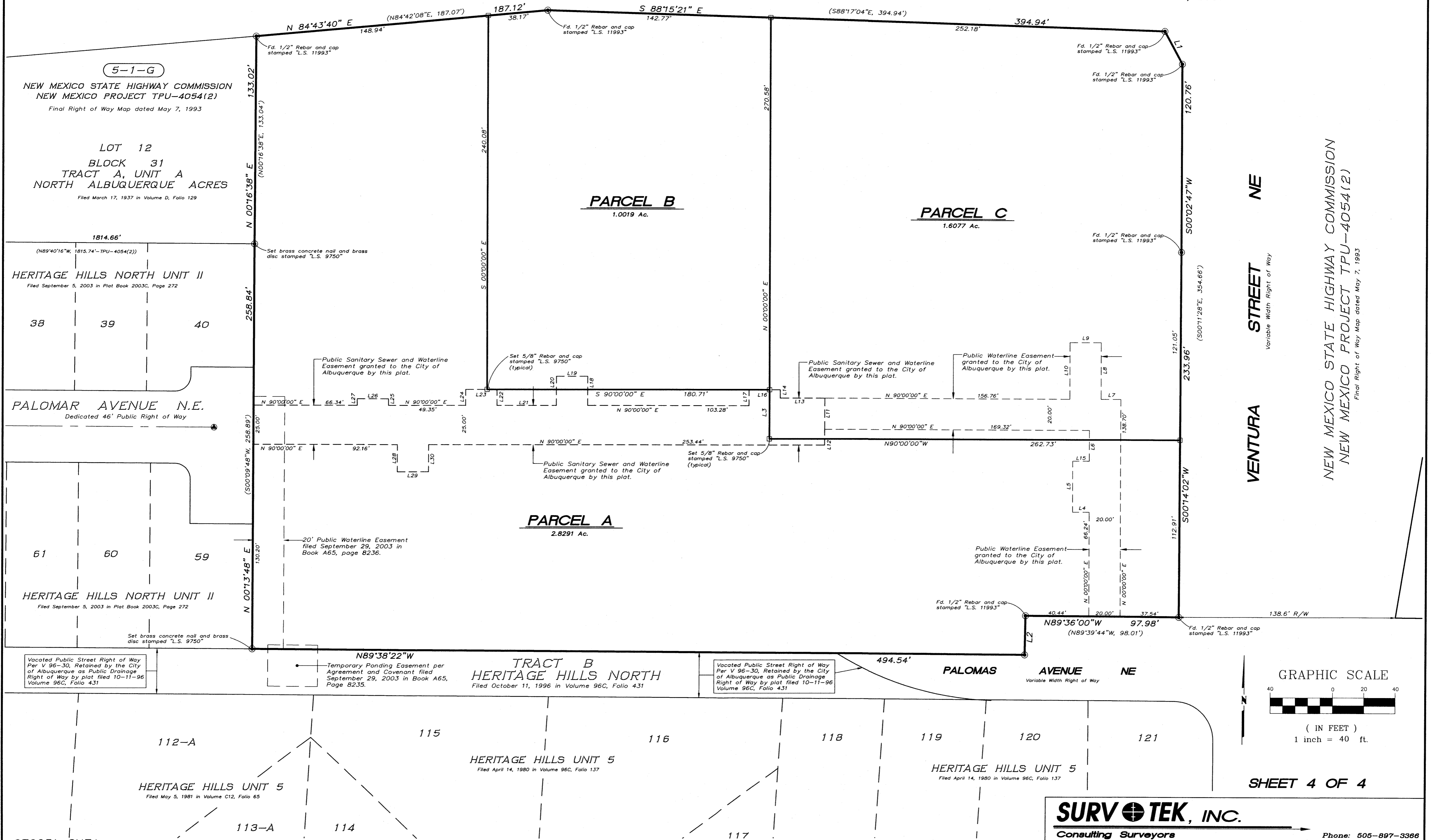
WITHIN
THE ELENA GALLEGOS GRANT
IN

PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN

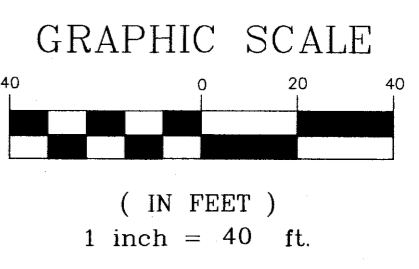
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

PASEO DEL NORTE
(NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
Variable Width Right of Way



NE
STREET
VENTURA
NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)
Final Right of Way Map dated May 7, 1993

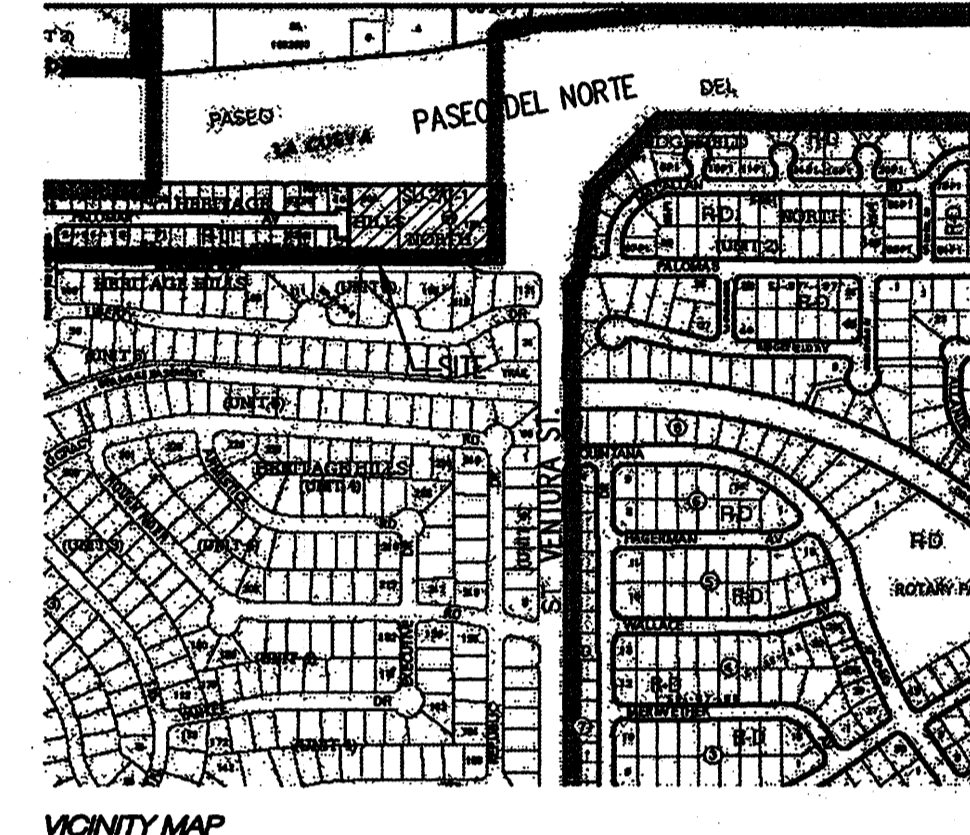


SHEET 4 OF 4

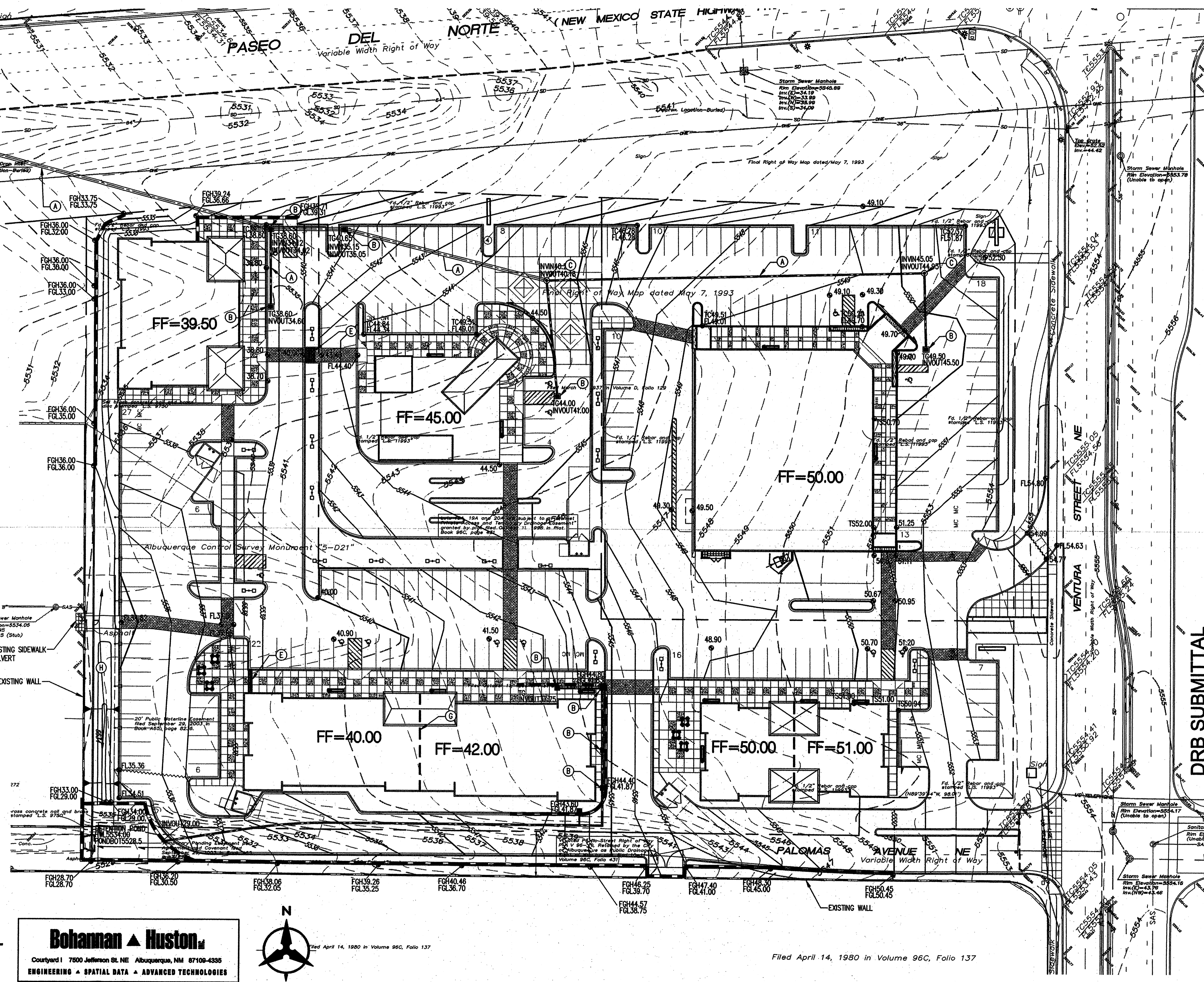
SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

070231_SHT4

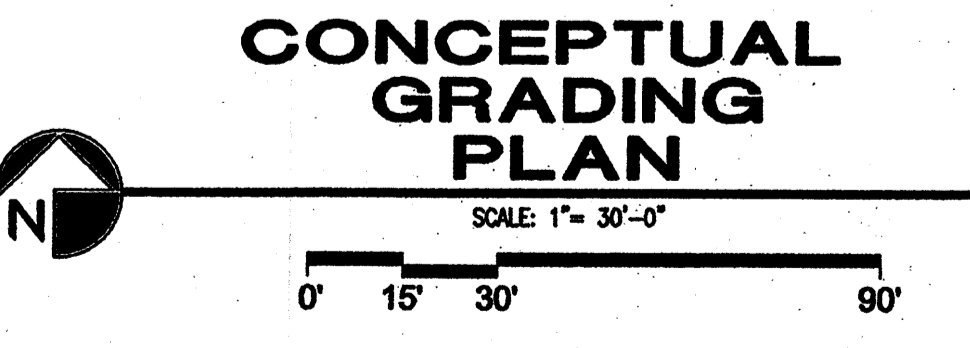
- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOURS
 - X 5301.15 EXISTING GROUND SPOT ELEVATION
 - 96.25 PROPOSED SPOT ELEVATION
 - TC=TOP OF CURB, FL=FLOW LINE
 - TW=TOP OF WALL, BW=BOTTOM OF WALL
 - EX=EXISTING, TG=TOP OF GRADE
 - FGH=FINISH GROUND HIGH SIDE
 - FGL=FINISH GROUND LOW SIDE
 - PROPOSED DIRECTION OF FLOW
 - ~~~~~ WATER BLOCK
 - - - - - PROPOSED INDEX CONTOURS
 - - - - - PROPOSED INTER CONTOURS
 - - - - - PROPOSED RETAINING WALL
 - PROPOSED STORM DRAIN INLET
 - PROPOSED MANHOLE
 - EXISTING MONUMENT



ALTA/C.S.M. LAND TITLE SURVEY OF PORTIONS OF LOTS 13, 14, 15, 16 AND 17 AND ALL OF LOTS 18A, 19A AND 20A BLOCK 31 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2006



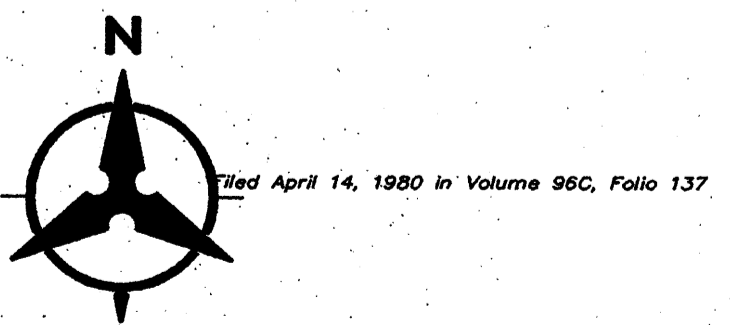
- KEYED NOTES**
- (A) PRIVATE STORM DRAIN LINE.
 - (B) NYLOPLAST INLET.
 - (C) PRIVATE STORM DRAIN MANHOLE.
 - (D) SIDEWALK CULVERT.
 - (E) STAIRS.
 - (F) CONNECTION TO EXISTING STORM DRAIN MANHOLE
 - (G) STEP
 - (H) DETENTION POND



Bohman & Huston

Courtyard 1 7600 Jefferson St NE Albuquerque, NM 87109-4336

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

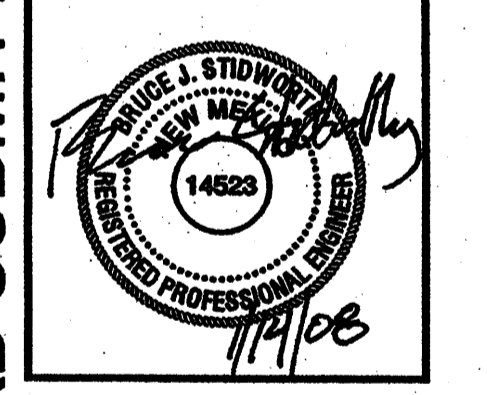


Filed April 14, 1980 in Volume 96C, Folio 137

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

DRB SUBMITTAL

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

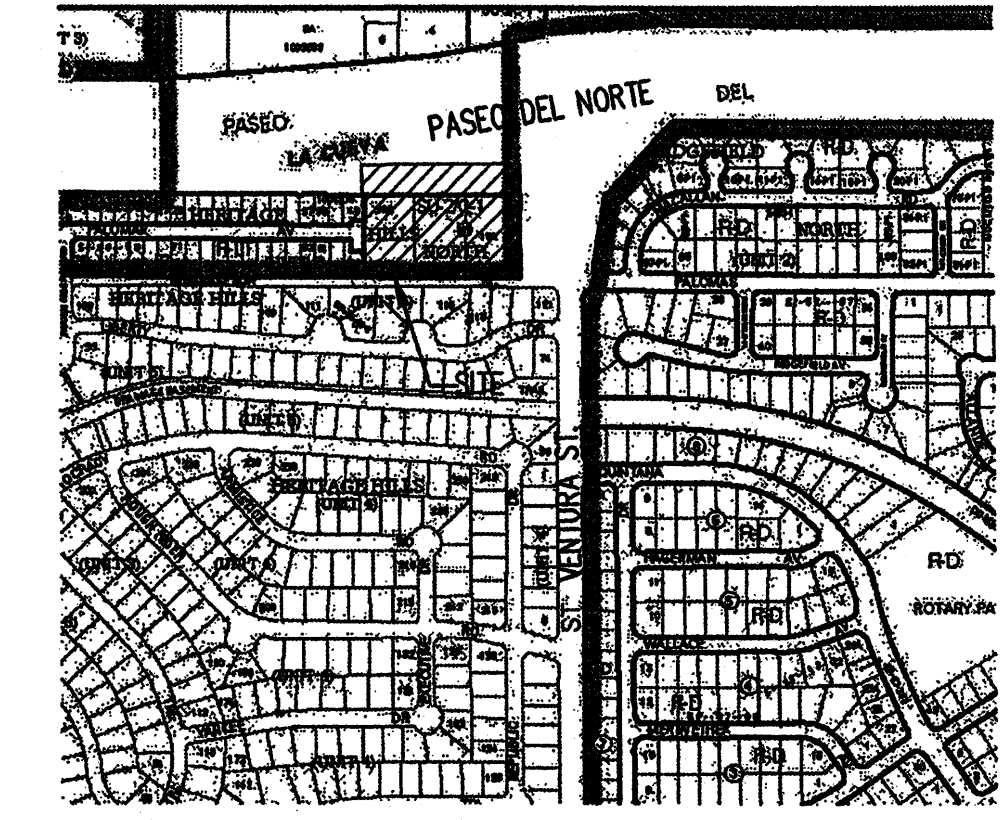
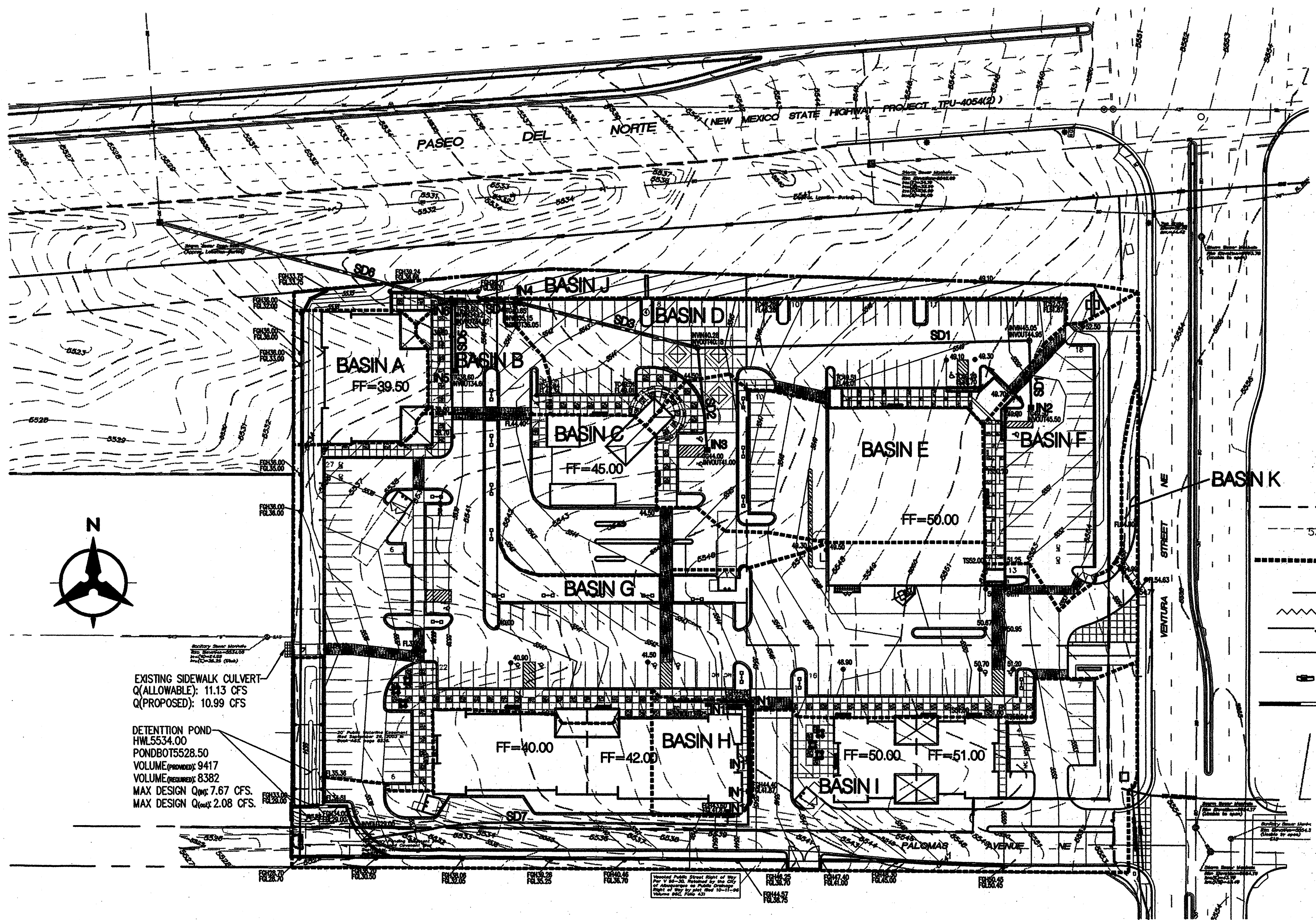


PROJECT TITLE
PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

PROJECT MANAGER
 JOB NO. _____
 DRAWN BY: JCS

SHEET TITLE
CONCEPTUAL GRADING PLAN

DATE: 01.15.08	sheet: C1
SCALE: AS NOTED	of:



VICINITY MAP, ZONE ATLAS MAP PG. D-20-Z

LEGAL DESCRIPTION
 Block 31, Tract A, Unit A, North Albuquerque Acres, Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17, and Tract B, Heritage Hills North

GRADING AND DRAINAGE NARRATIVE

Site Location and Background Information

The purpose of this submittal is to present a drainage and grading plan for the proposed Paseo del Norte & Ventura development. The design site proposes commercial use development. The site is in rainfall zone 3 as defined by figure A-1 of the DPM section 22.2. The existing legal description of the site is Block 31, Tract A, Unit A, North Albuquerque Acres (Lots 13, 14, 15, 16, 20A, 19A, 18A, and 17), and Tract B, Heritage Hills North. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support of site plan approval.

The North Heritage Hills Subdivision Phase III drainage report, prepared by Tierra West, LLC addresses drainage to Palomar St. and the existing channel that runs behind the housing on the south side of Palomar St. This submittal specifies discharge rates into Palomar St. and the existing channel that runs behind the housing on the south side of Palomar which is a drainage right of way retained by the City of Albuquerque.

Existing Conditions

This entire site (Tract A and Tract B) is approximately 6 acres and is a vacant lot. The natural slope of the site is a consistent 3% to 4% from east to west. The northern portion of the site drains to inlets along the large storm drain parallel to Paseo del Norte, the center of Tract A flows to a large sidewalk culvert that drains into Palomar, and the south portion of Tract A and Tract B flow into the channel that runs behind the housing on the south side of Palomar which is a drainage right of way retained by the City of Albuquerque.

Proposed Conditions

Under proposed conditions the site will slope from east to west with slopes varying from 1% to 7% to make up grade difference across the whole site and allow for functional and required slopes within the development. The site will be commercial development and is 90% treatment D. The site will continue to drain to the north storm drain, Palomar St. and the existing channel. The north portion of the site will collect drainage in a storm drain system and convey drainage to the large storm drain parallel to Paseo del Norte. The central portion of the development will drain to the sidewalk culvert and into Palomar St. The allowable discharge to Palomar St. is 11.13 cfs and under proposed conditions the unmitigated discharge will be 11 cfs. The south portion of the site will drain to a detention pond in the southwest corner of the site. The detention pond and outlet pipe will be designed to outfall less than the allowable discharge of 2.08 CFS into the existing channel.

Flood plain

In accordance with FEMA community map panel #???????, the site is not located within a flood plain.

Offsite Flows

There are no significant upstream offsite flows which will impact this site.

Conclusions

This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed, general surface grading and drainage. The implementation of this design will result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for the DRB.

EXISTING SIDEWALK CULVERT
 Q(ALLOWABLE): 11.13 CFS
 Q(PROPOSED): 10.99 CFS

DETENTION POND
 HWL: 5534.00
 POND BOT: 5528.50
 VOLUME: 9417
 VOLUME: 8392
 MAX DESIGN Q: 7.67 CFS
 MAX DESIGN Q: 2.08 CFS

STORM DRAIN PIPE TABLE

PIPE #	Contributing Basins and Storm Drains	Size In.	Slope	Capacity cfs	ACTUAL FLOW cfs
NORTH					
SD1	BSNF	12	1.00%	3.56	1.88
SD2	BSN E	12	1.00%	3.56	2.67
SD3	SD1+SD2	18	1.00%	10.50	4.55
SD4	SD3+BSN D	18	1.00%	10.50	7.74
SD5	BSN B	10	1.00%	2.19	0.76
SD6	SD4+SD5+BSN B+BSN A	24	1.00%	22.62	10.26
SD7	BSN H	12	1.00%	3.56	0.72

INLET TABLE

Inlet #	Inlet Type	Top of Grate	Actual Flow	Avail Head ft	Capacity
IN1	12" Nyloplast Pedestrian	41.78 (approx)	0.18	0.1	0.60
IN2	2'X2' Nyloplast Road & Highway	49.50	1.88	0.2	4.25
IN3	2'X2' Nyloplast Road & Highway	44.00	2.67	0.5	6.00
IN4	2'X2' Nyloplast Road & Highway	40.65	3.19	0.2	4.25
IN5	2'X2' Nyloplast Road & Highway	38.60	0.38	0.2	4.25
IN6	2'X2' Nyloplast Road & Highway	38.60	0.38	0.2	4.25

PASEO DEL NORTE & VENTURA SITE BASIN PROPERTIES

Proposed Ultimate Development Conditions Basin Data Table
 This table is based on the DPM Section 22.2, Zone: 3

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100)	Q(100)	V(100)	V(100) _{2hr}	V(100) _{24hr}
			A	B	C	D	(cfs/ac.)	(CFS)	(Inches)	(CF)	(CF)
BASIN A	9018	0.21	0.0%	0.0%	10.0%	90.0%	4.86	1.01	2.25	1693	2031
BASIN B	6779	0.16	0.0%	0.0%	10.0%	90.0%	4.86	0.76	2.25	1273	1527
BASIN C	16477	0.38	0.0%	5.0%	5.0%	90.0%	4.82	1.82	2.23	3068	3686
BASIN D	28130	0.65	0.0%	0.0%	5.0%	95.0%	4.94	3.19	2.31	5407	6520
BASIN E	23556	0.54	0.0%	0.0%	5.0%	95.0%	4.94	2.67	2.31	4628	5460
BASIN F	17709	0.41	0.0%	10.0%	10.0%	80.0%	4.62	1.88	2.11	3112	3703
BASIN G	82790	1.90	0.0%	5.0%	5.0%	90.0%	4.82	9.16	2.23	15416	18521
BASIN H	6222	0.14	0.0%	0.0%	0.0%	100.0%	5.02	0.72	2.36	1224	1483
BASIN I	62835	1.44	0.0%	5.0%	5.0%	90.0%	4.82	6.95	2.23	11700	14057
BASIN J	10280	0.24	0.0%	0.0%	95.0%	5.0%	3.53	0.83	1.34	1151	1172
BASIN K	1480	0.03	0.0%	25.0%	0.0%	75.0%	4.42	0.15	2.00	247	293

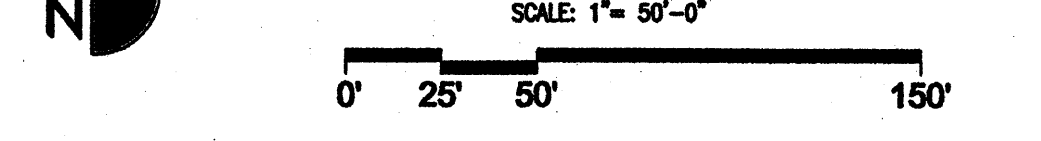
TO DET POND (sum BSNs H and I)
 69057 1.59

Proposed Q to Palomar:
 10.99 7.67

Allowable Flow:
 11.13 cfs to Palomar ave.
 2.08 cfs to South discharge channel

Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

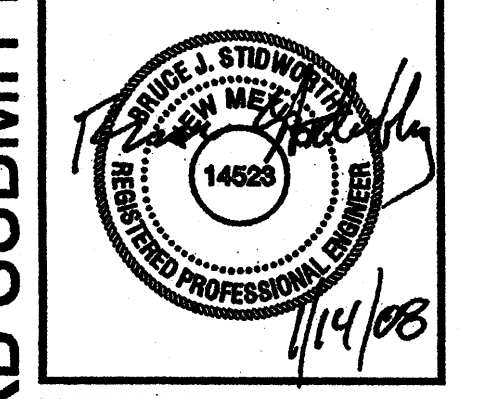
CONCEPTUAL DRAINAGE MANAGEMENT PLAN



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

DRB SUBMITTAL

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
 PASEO DEL NORTE & VENTURA
 PASEO DEL NORTE AND VENTURA
 ALBUQUERQUE, NM

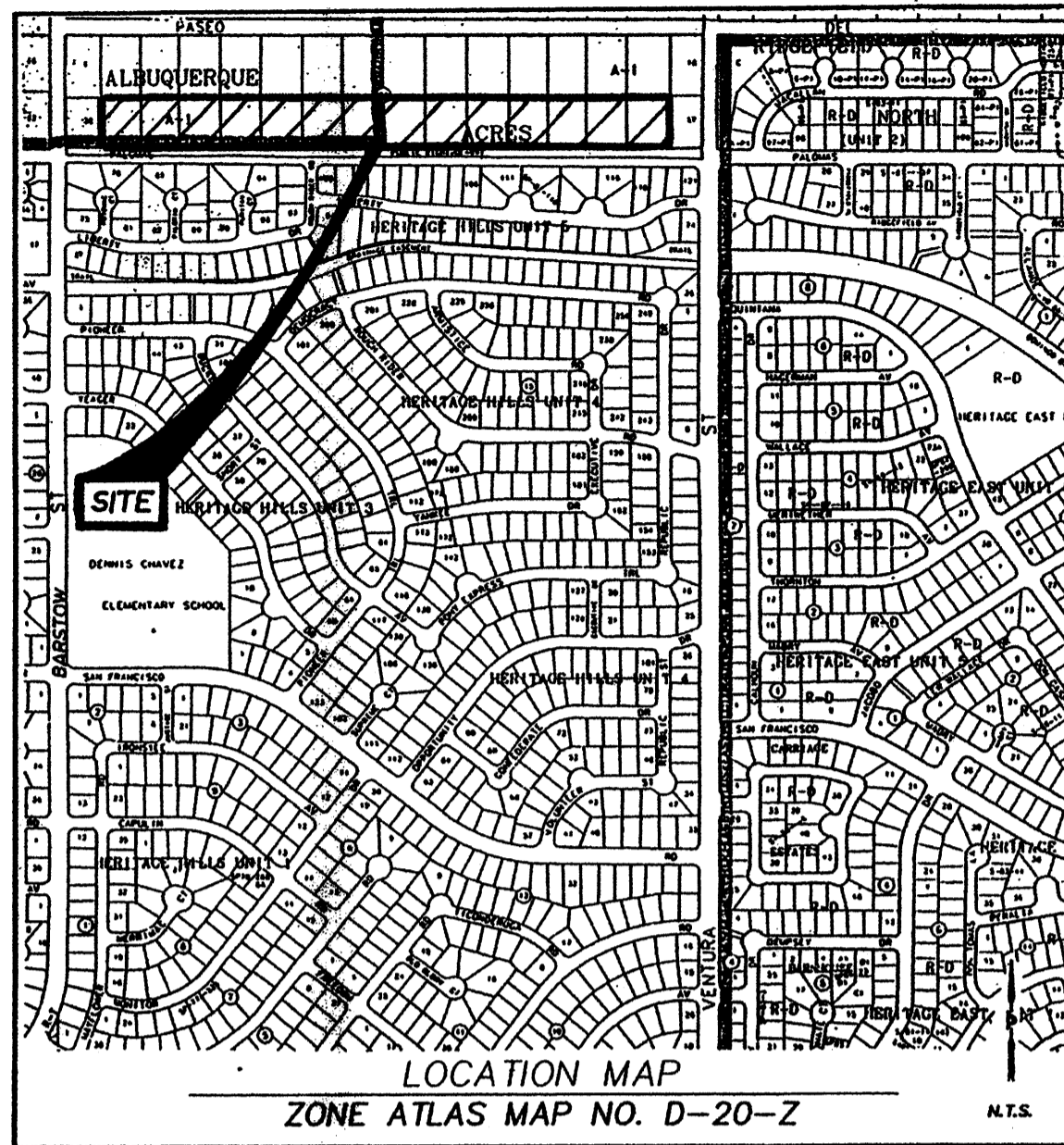
PROJECT MANAGER
 JCS

SHEET TITLE
 DRAINAGE MANAGEMENT PLAN

DATE: 01.15.08
SCALE: AS NOTED

sheet: C2
 of

96C-431(1)



LEGAL DESCRIPTION

A TRACT OF LAND COMPRISING OF LOTS 18 THROUGH 31, BLOCK 31, AND THE NORTHERLY AND SOUTHERLY PORTIONS OF THE VACATED PALOMAR AVENUE, NE ADJACENT TO THESE LOTS, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN VOLUME D, FOLIO 129, LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

EASEMENTS

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: 1. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN.

FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS.

PATRICK J. MC GAVICK, MEMBER RIDGEFIELD WEST L.L.C. 7-8-96

ACKNOWLEDGEMENT

STATE OF NEW MEXICO) COUNTY OF BERNALILLO) THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF July, 1996, BY PATRICK J. MC GAVIC, MEMBER RIDGEFIELD WEST L.L.C.

06112957 PLAT OF HERITAGE HILLS NORTH UNIT I

State of New Mexico) SS County of Bernalillo This instrument was filed for record on 3:19 OCT 11 1996

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY 1996

9.96.18

Table with columns for APPROVALS, NAME, TITLE, and DATE. Includes signatures and dates for City Planner, City Engineer, A.M.A.F.C.A., Traffic Engineer, City Surveyor, Property Management, Water Resources Department, Planning and General Services, PNM Electric Services, PNM Gas Services, U.S. West Communications, and Jones Intercable, Inc.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATE

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LARRY W. MEDRANO 7/3/96



PRECISION SURVEYS, INC.

2929 COORS BLVD NW, SUITE 105 ALBUQUERQUE, NEW MEXICO 87120 PHONE 505 839 0669 FAX 505 839 4155

DRB CASE NO. 95-411 SHEET 1 OF 3

SUBDIVISION DATA: GROSS SUBDIVISION ACREAGE: 15.174 ACRES± ZONE ATLAS INDEX NO: D-20-Z NO. OF TRACTS CREATED: 0 NO. OF LOTS CREATED: 53 MILES OF FULL-WIDTH STREETS CREATED: 0.248 MILE DATE OF SURVEY: FEBRUARY 3-7, 1996

LAWRENCE D. RAEI, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, MUNICIPAL CORPORATION. Includes signature and date.

ACKNOWLEDGEMENTS STATE OF NEW MEXICO) COUNTY OF BERNALILLO) ON THIS DAY OF OCTOBER, 1996 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME, A NOTARY PUBLIC, BY LAWRENCE D. RAEI, CHIEF ADMINISTRATIVE OFFICER, FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON THE BEHALF OF SAID MUNICIPAL CORPORATION. 1/3/98 Renie Herrera, NOTARY PUBLIC

- NOTES: 1. BEARINGS ARE N.M. STATE PLANE GRID BEARINGS (CENTRAL ZONE) NAD 1927. 2. DISTANCES ARE GROUND DISTANCES. 3. BASIS OF BEARING TAKEN BETWEEN ACS MONUMENTS "I-C19" AND "HEAVEN". 4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M., ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO.

Z:\PUBLIC\PS-S\STR\PLATS\WEST\960044P Med Jul 3 07:22:28 1996

96C-431(1)

96C-431(2)

96C-431(2)

PLAT OF 96112957
HERITAGE HILLS NORTH
UNIT 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1996

CURVE DATA:

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C20	25.00	39.27	25.00	35.36	S 45°19'34" W	90°00'00"
C21	25.00	39.27	25.00	35.36	N 44°40'26" E	90°00'00"
C22	147.00	18.44	9.23	18.43	S 86°43'55" W	0°71'17"
C23	147.00	18.44	9.23	18.43	S 73°57'31" W	18°21'32"
C24	183.00	28.01	39.55	77.48	N 46°23'15" E	23°09'33"
C25	183.00	109.00	56.00	107.56	N 74°08'48" E	32°21'32"
C26	183.00	35.53	17.82	35.48	S 85°03'07" W	10°32'24"
C27	183.00	47.32	23.78	47.20	S 72°45'13" W	14°02'53"
C28	183.00	8.77	4.39	8.77	S 64°23'41" W	0°23'10"
C29	25.00	30.49	17.47	28.63	S 81°58'06" E	69°52'37"
C30	50.00	47.63	25.40	45.85	N 74°17'18" W	54°35'02"
C31	50.00	28.70	15.30	28.26	S 61°24'15" W	34°01'51"
C32	50.00	31.31	16.19	30.81	S 28°26'49" W	35°53'03"
C33	50.00	43.92	23.49	42.52	S 16°39'33" E	50°19'39"
C34	50.00	8.72	4.88	8.71	S 47°23'36" E	11°08'23"
C35	25.00	47.27	34.62	40.54	N 01°12'11" E	108°19'54"
C36	147.00	89.69	46.25	88.30	N 72°50'51" E	34°57'26"
C37	170.00	140.41	74.49	136.45	S 66°39'53" W	47°19'21"
C38	170.00	24.32	12.18	24.30	S 38°54'21" W	08°11'43"
C39	170.00	115.84	60.27	113.61	N 54°19'45" E	39°02'31"
C40	170.00	48.14	24.23	47.98	N 81°57'48" E	16°13'34"
C41	147.00	76.90	39.35	76.02	S 49°47'37" W	29°58'17"
C42	196.67	104.68	53.61	103.45	S 73°04'29" E	90°00'00"
C43	25.00	39.27	25.00	35.36	S 45°19'34" W	90°00'00"
C44	25.00	39.27	25.00	35.36	N 44°40'26" E	90°00'00"

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
3:19 OCT 11 1996 quc
At _____ M. Received in _____
of records of said County being _____

Deputy Clerk

BLOCK 31
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT A
FILED MARCH 17, 1937
VOLUME D, FOLIO 129

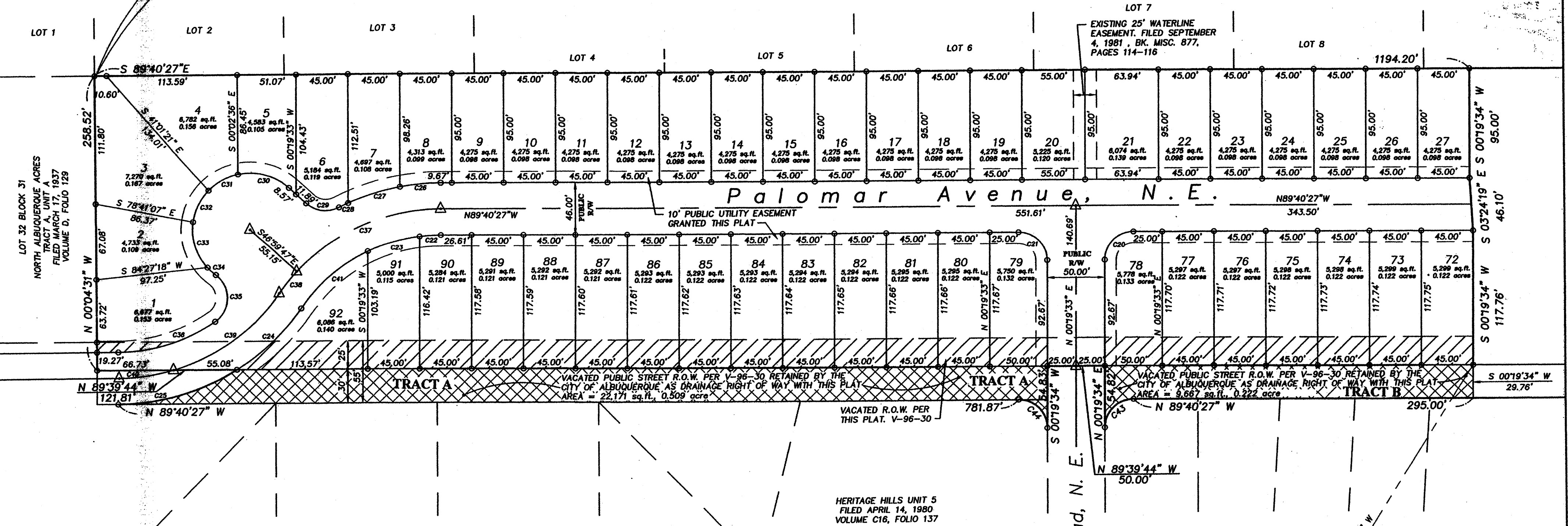
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NM STATE PLANE COORDINATES
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Y=1,516,757.03
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DELTA ALPHA=-0°10'45"

BASIS OF BEARINGS
S 87°03'41" E

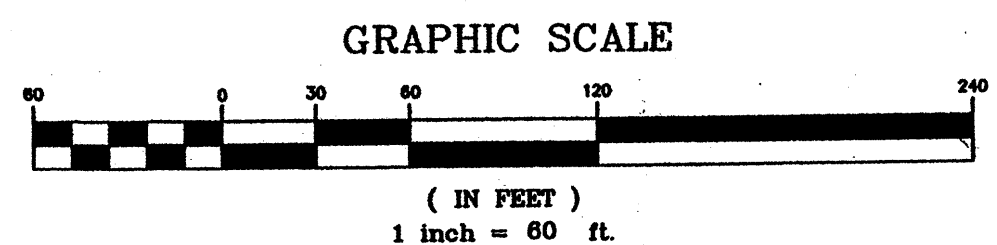
TIE
N 86°14'59" W
3317.78'

N.W. CORNER SUBDIVISION

ACS MONUMENT "3-C19"
NM STATE PLANE COORDINATES
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Y=1,518,845.74
E=5318.195
G-G=0.99965568
DELTA ALPHA=-0°11'00"



LEGEND
● POINT FOUND AND USED AS SHOWN
○ POINT SET BY THIS SURVEY - REBAR W/CAP "PS 11993"
△ CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS# 11993"



NGS MONUMENT "2-D20-A"
NM STATE PLANE COORDINATES
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G-G=0.99964777
DELTA ALPHA=-0°10'23"

PRECISION SURVEYS, INC.
2828 COORS BLVD NW, SUITE 105 ALBUQUERQUE, NEW MEXICO 87110
PHONE 505 838 0588 FAX 505 838 4153

DRB CASE NO. 95-411
SHEET 2 OF 3

Z:\PUBLIC\PS-STR\PLATS\WEST\960044PA Tue Oct 8 18:16:13 1996

96C-431(2)

96C-431(2)

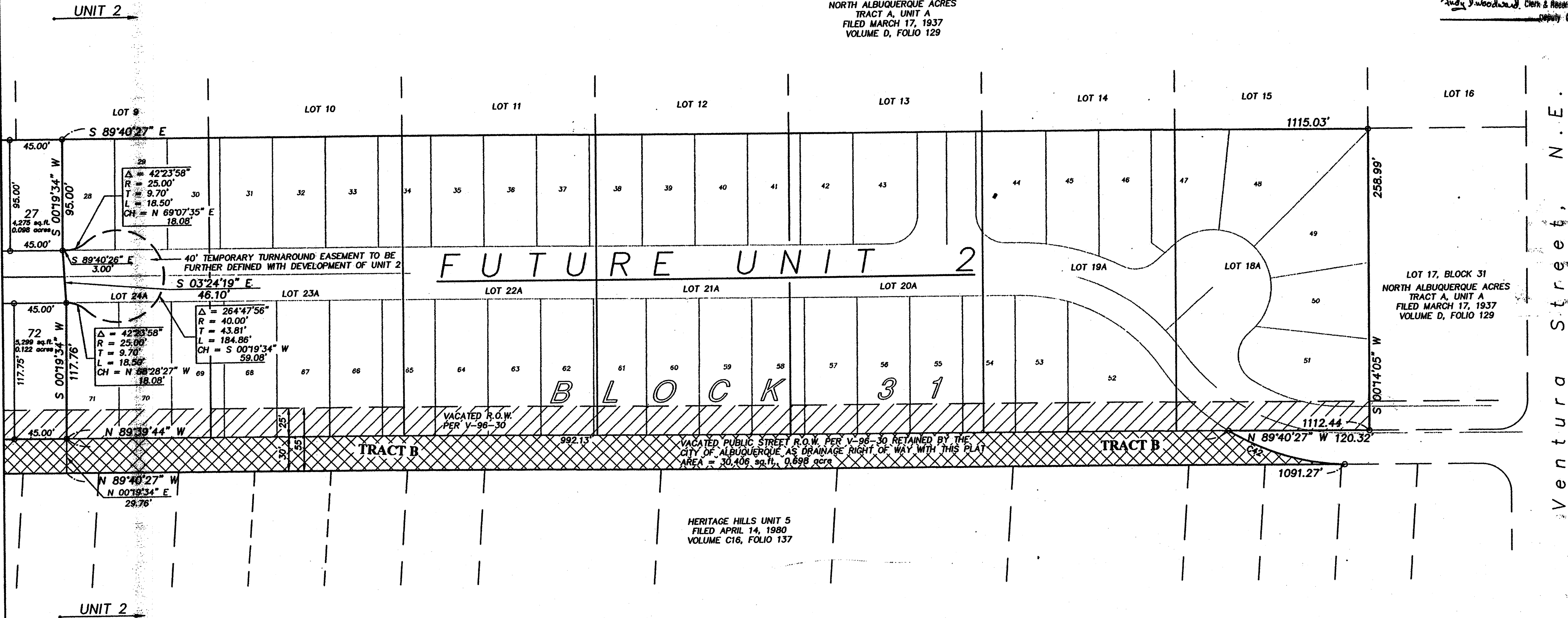
960044p

96C-431(3)

PLAT OF **96112957**
HERITAGE HILLS NORTH
UNIT 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1996

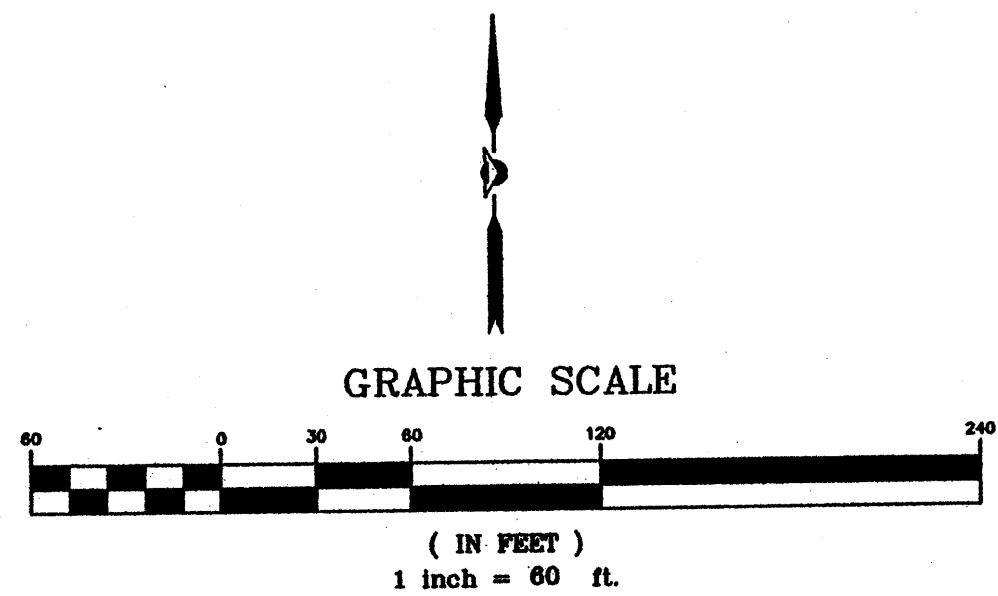
State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
319 Oct 11 1996
At **9:40** o'clock **A.M.** Recorded in **431**
of records of said County Folio
Judy Woodward Clerk & Recorder
Deputy Clerk

BLOCK 31
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT A
FILED MARCH 17, 1937
VOLUME D, FOLIO 129



NOTE:

A BLANKET PRIVATE ACCESS AND TEMPORARY DRAINAGE EASEMENT TO BE FURTHER DEFINED BY UNIT 2 PLATTING IS GRANTED BY THIS PLAT. THIS EASEMENT IS FOR THE BENEFIT AND TO BE MAINTAINED BY THE OWNERS OF EXISTING NORTH ALBUQUERQUE ACRE LOTS 18A THRU 24A SHOWN HEREON.



PRECISION SURVEYS, INC.
2929 COORS BLVD NW, SUITE 105 ALBUQUERQUE, NEW MEXICO 87120
PHONE 505 839 0569 FAX 505 839 4185

DRB CASE NO. **95-411**
SHEET 3 OF 3

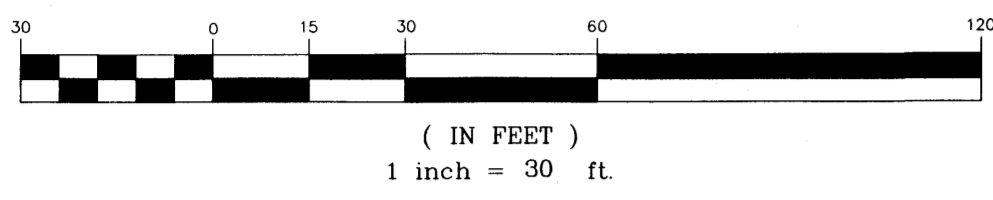
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96C-431(3)

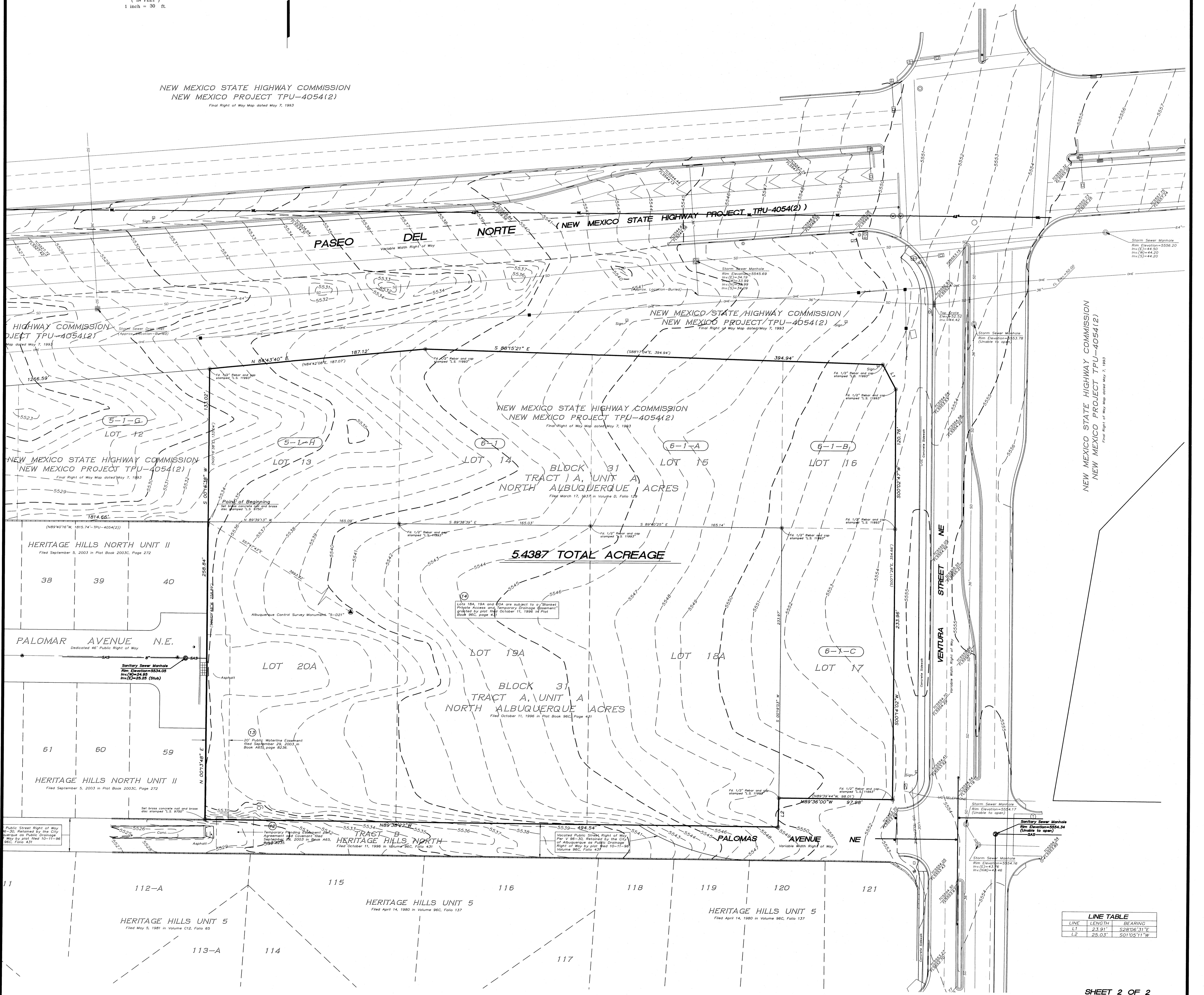
ALTA/AC.S.M. LAND TITLE SURVEY OF
 PORTIONS OF LOTS 13 THRU 17
 AND ALL OF LOTS 18A, 19A AND 20A
 BLOCK 31
 TRACT A, UNIT A
 NORTH ALBUQUERQUE ACRES

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2007

GRAPHIC SCALE



NEW MEXICO STATE HIGHWAY COMMISSION
 NEW MEXICO PROJECT TPU-4054(2)
 Final Right of Way Map dated May 7, 1993



NEW MEXICO STATE HIGHWAY COMMISSION
 NEW MEXICO PROJECT TPU-4054(2)
 Final Right of Way Map dated May 7, 1993

LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L2	25.03'	S01°08'11"W