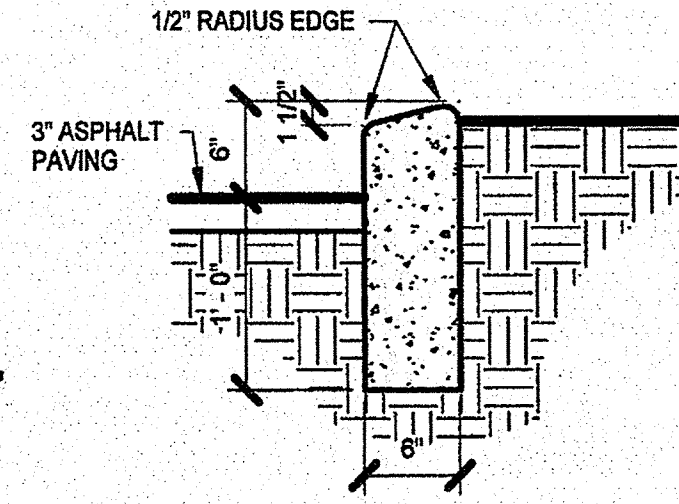
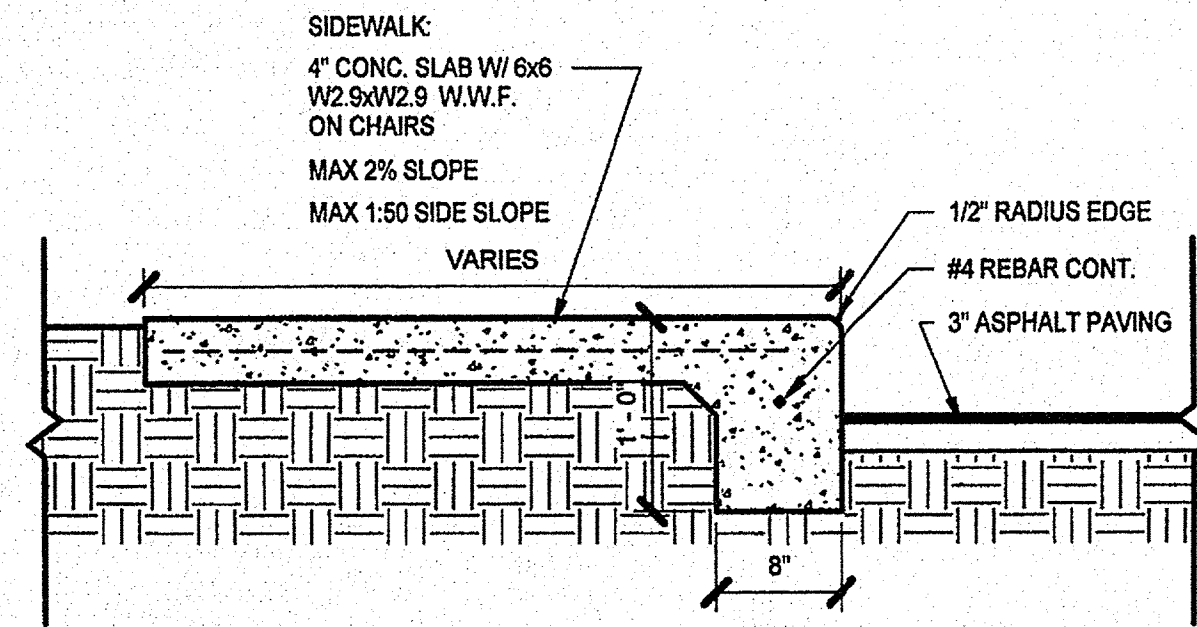


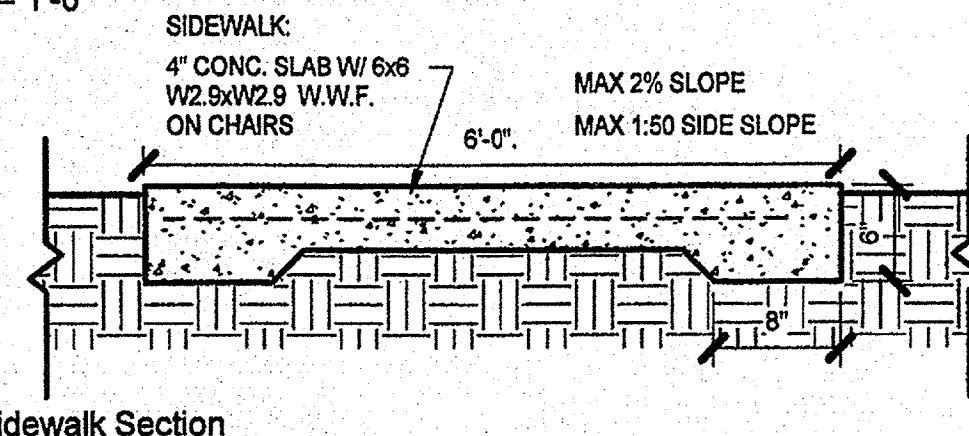
4 Bike Rack Elevation 1  
3/4" = 1'-0"



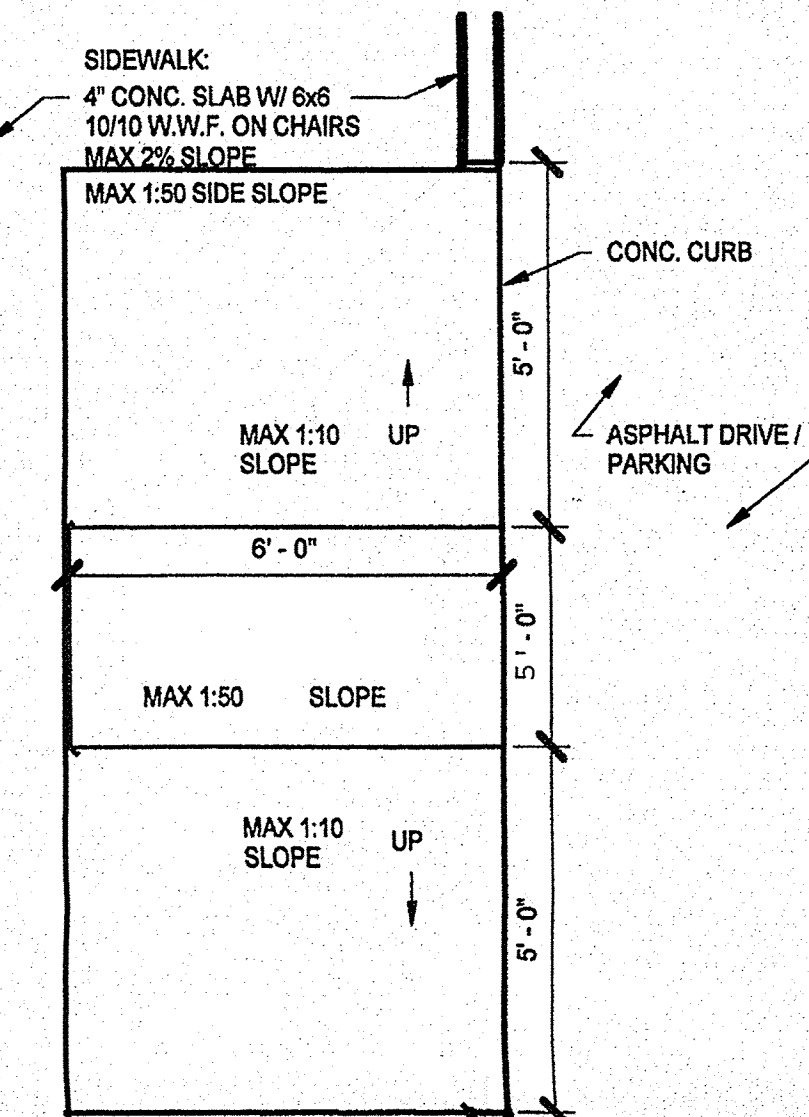
3 Header Curb Section  
1" = 1'-0"



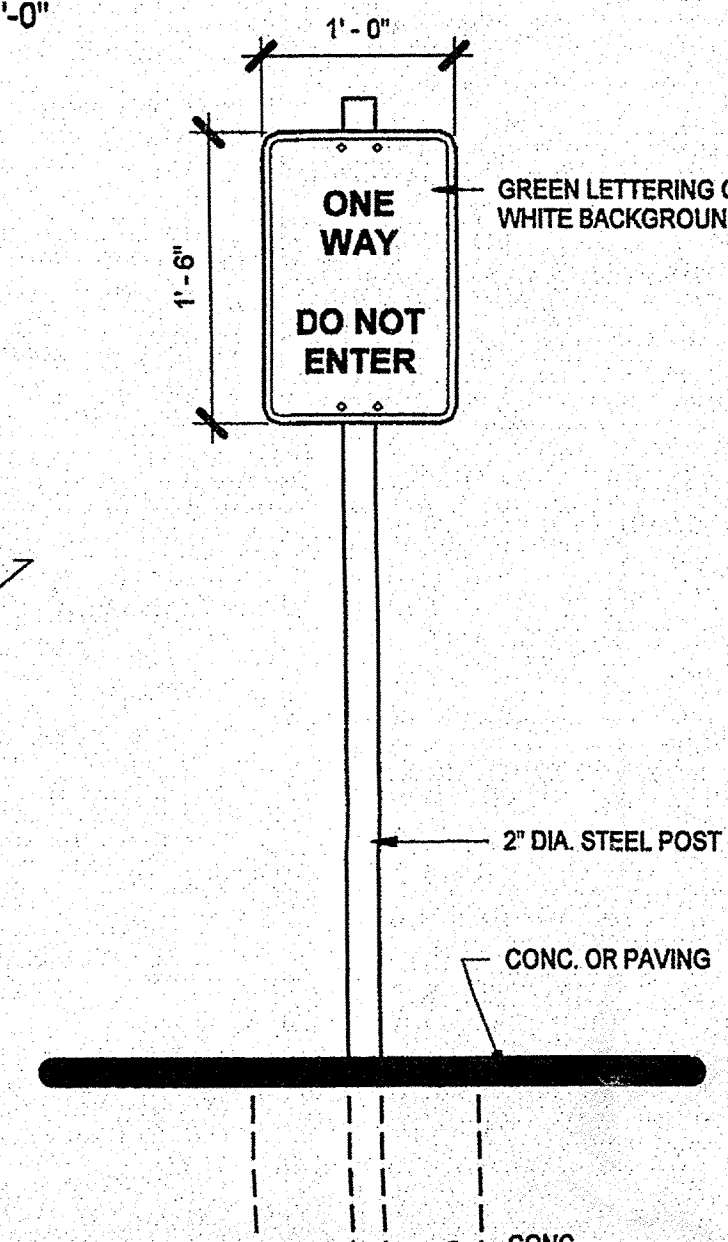
2 Turndown Curb / Sidewalk Section  
1" = 1'-0"



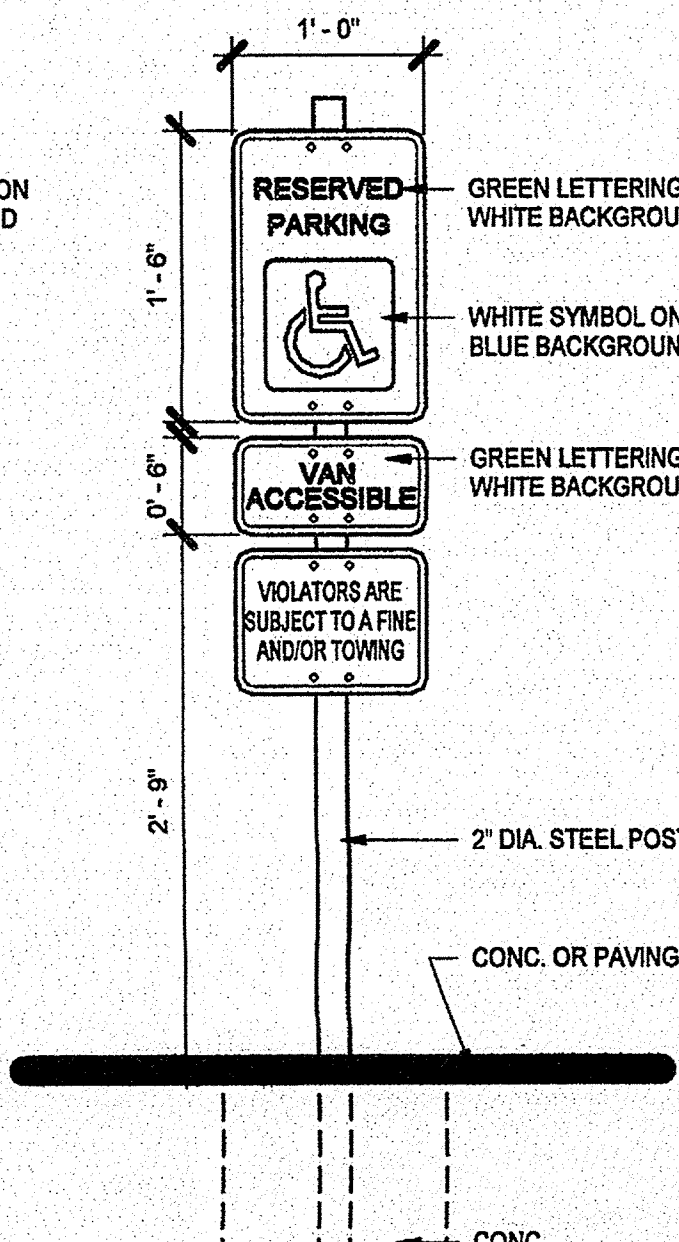
9 Sidewalk Section  
1" = 1'-0"



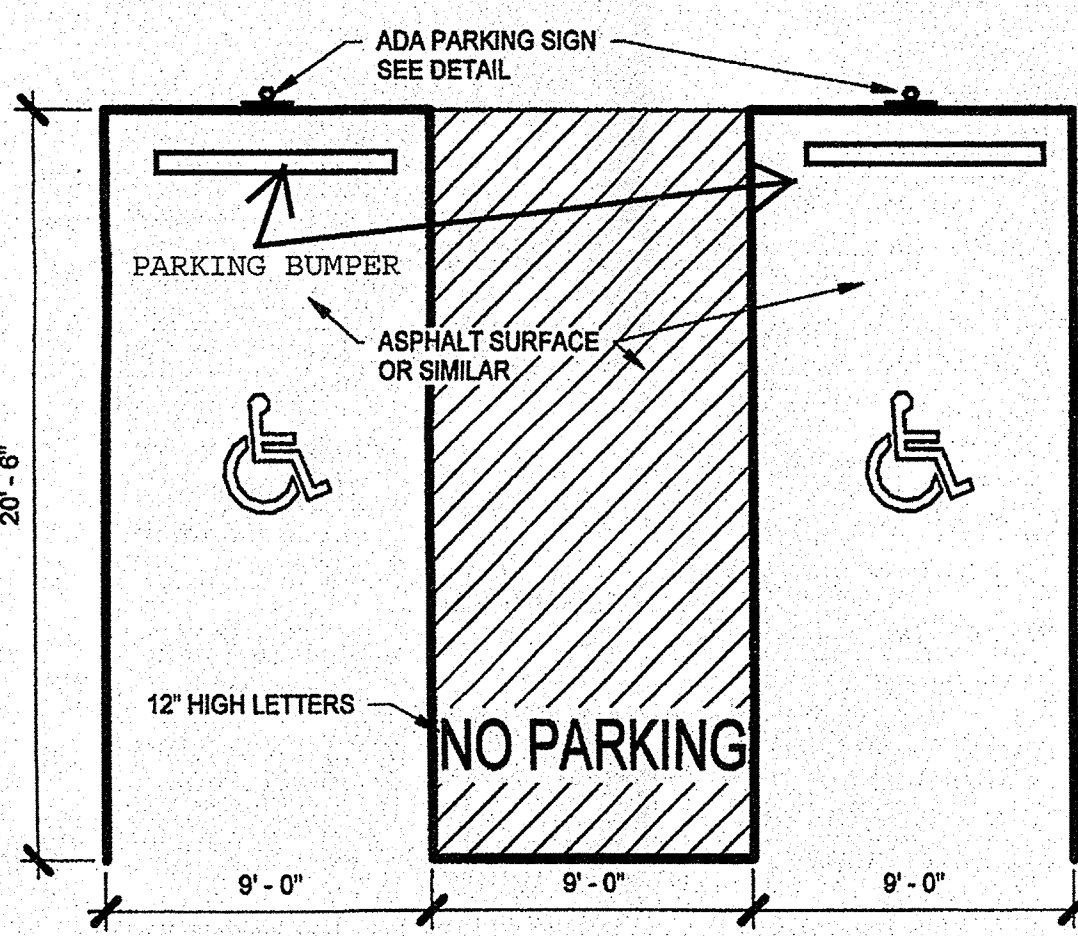
5 H.C. Ramp Detail  
3/8" = 1'-0"



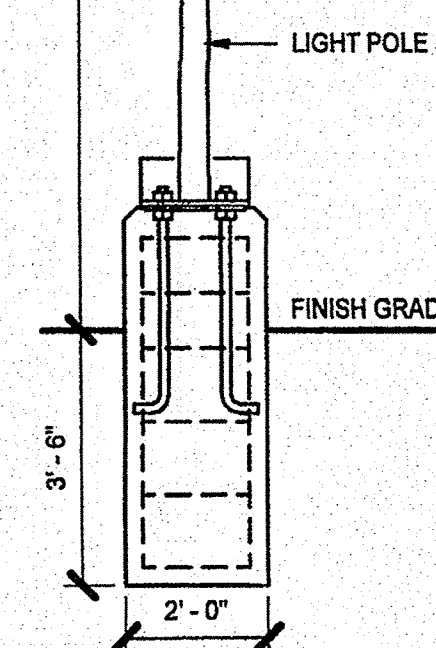
10 One-Way Sign  
1" = 1'-0"



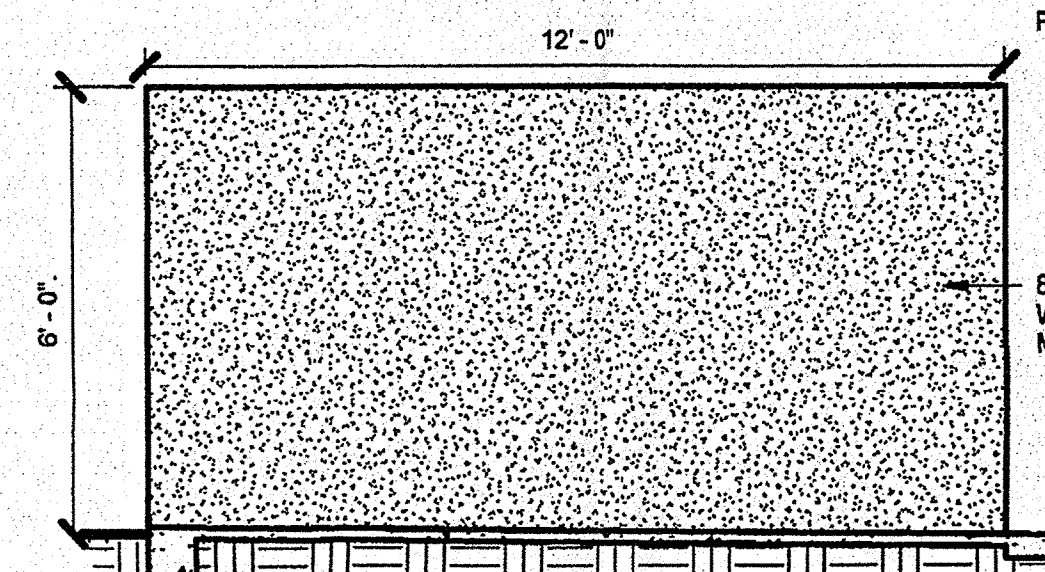
6 ADA Parking Sign  
1" = 1'-0"



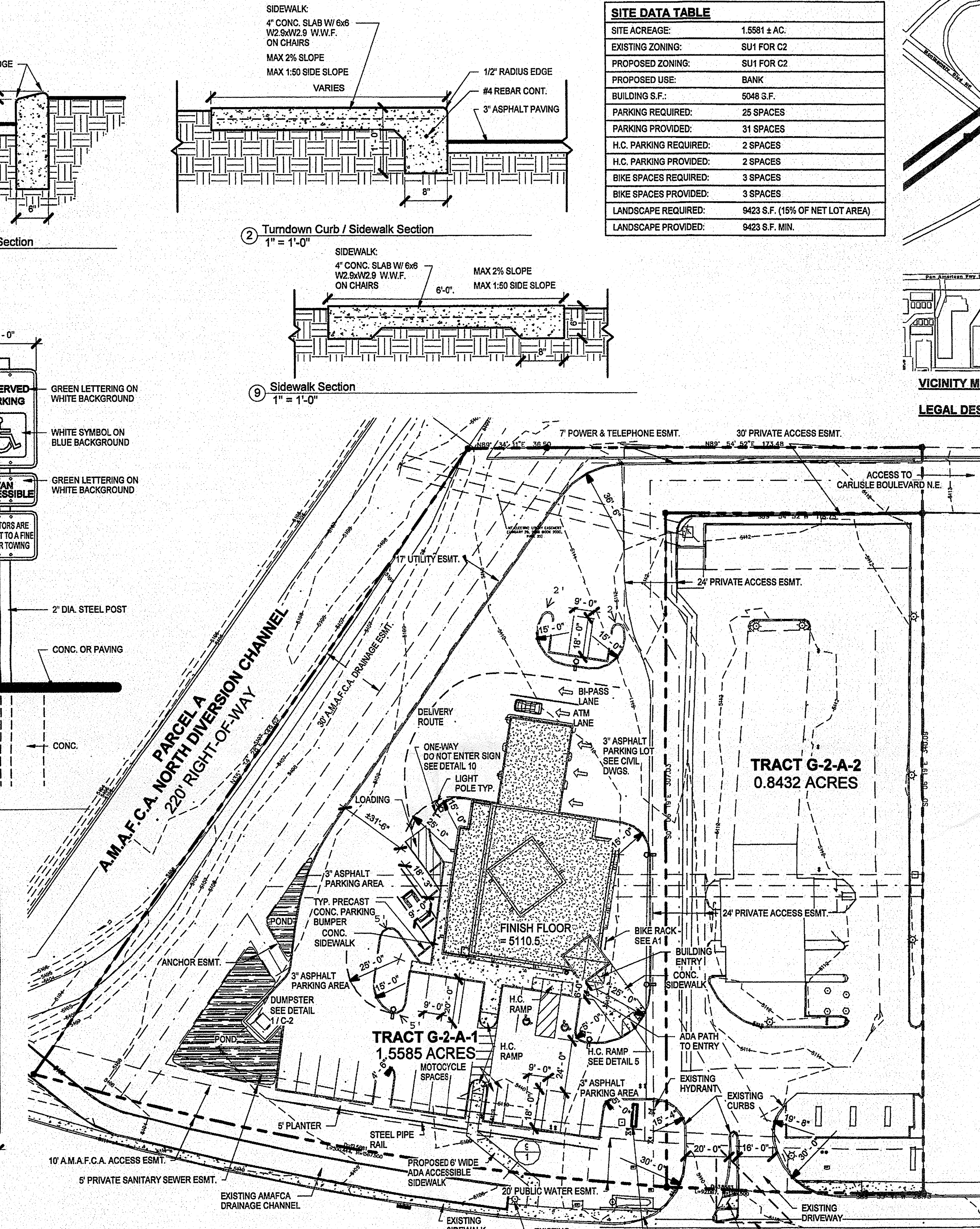
11 ADA Parking Space Details  
3/16" = 1'-0"



7 Light Pole Detail  
3/8" = 1'-0"

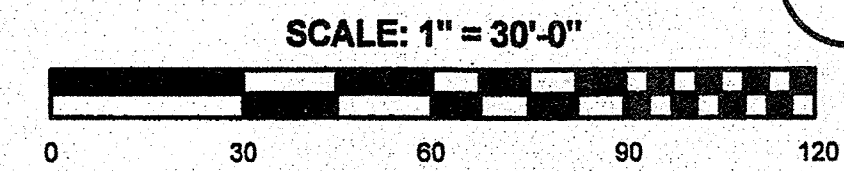


8 Dumpster Enclosure Detail  
3/8" = 1'-0"



MONTGOMERY BOULEVARD N.E.  
130' RIGHT-OF-WAY

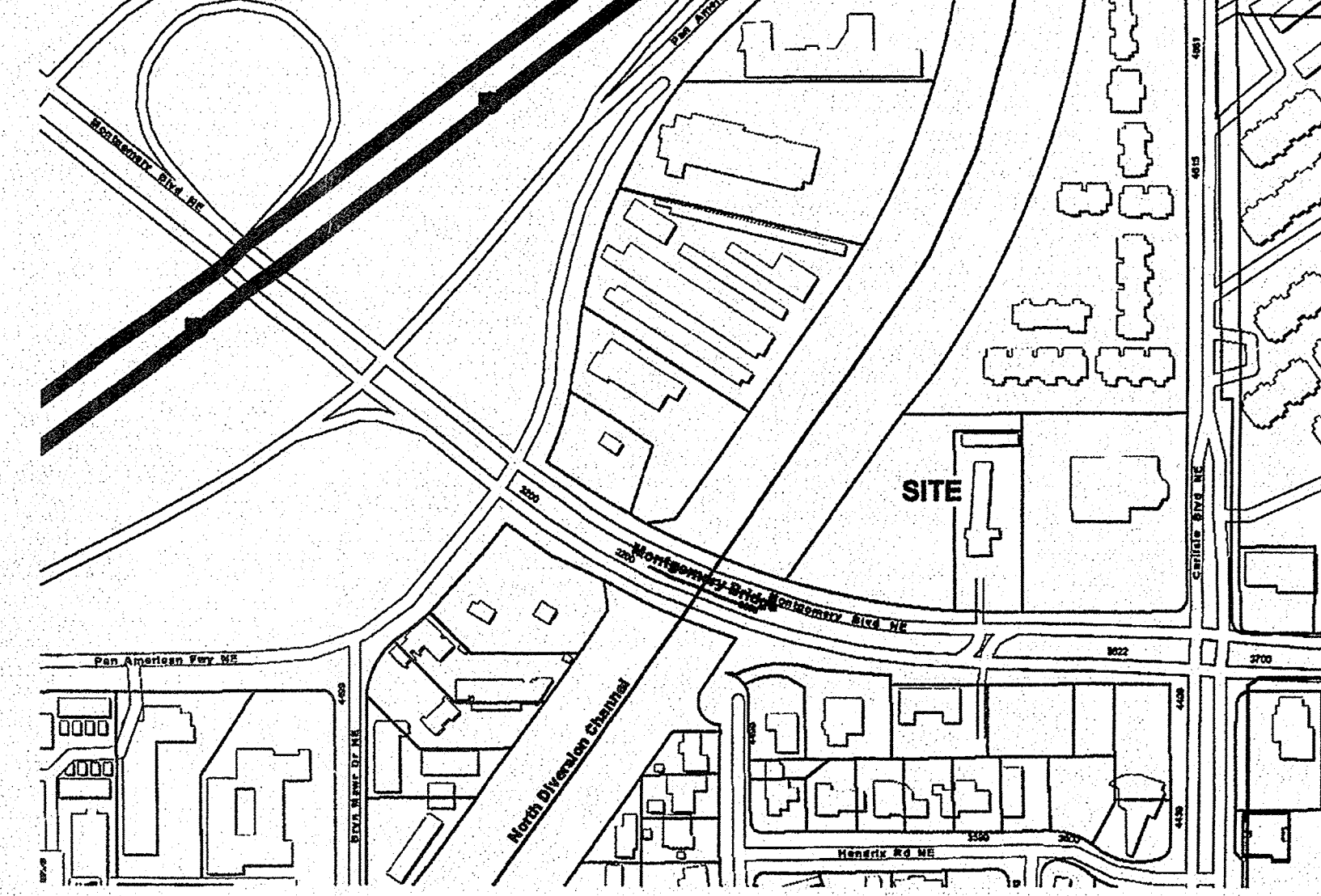
1 Site Plan  
1" = 30'-0"



SCALE: 1" = 30'-0"

HYDRANT AND FIRE ACCESS  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT COPY CONSTRUCTION TYPE 1  
CITY OF ALBUQUERQUE, NEW MEXICO  
APPROVED / DISAPPROVED  
10/27/16  
CASE # 4366-14

SITE DATA TABLE	
SITE ACREAGE:	1.5581 ± AC.
EXISTING ZONING:	SU1 FOR C2
PROPOSED ZONING:	SU1 FOR C2
PROPOSED USE:	BANK
BUILDING S.F.:	5048 S.F.
PARKING REQUIRED:	25 SPACES
PARKING PROVIDED:	31 SPACES
H.C. PARKING REQUIRED:	2 SPACES
H.C. PARKING PROVIDED:	2 SPACES
BIKE SPACES REQUIRED:	3 SPACES
BIKE SPACES PROVIDED:	3 SPACES
LANDSCAPE REQUIRED:	9423 S.F. (15% OF NET LOT AREA)
LANDSCAPE PROVIDED:	9423 S.F. MIN.



VICINITY MAP:

LEGAL DESCRIPTION: TR. G-2-A-1, MONTGOMERY COMPLEX

PROJECT NUMBER: 1006604

APPLICATION NUMBER: 16-70358

Is an Infrastructure List required? (x) Yes ( ) No If yes then set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Reginald Hill</i> Traffic Engineer, Transportation Division	11/30/16 Date
<i>Theresa Cadan</i> Utilities Development	11-30-16 Date
<i>Carol S. Dumont</i> Parks & Recreation Department	11-30-16 Date
<i>Ally</i> City Engineer	1-4-17 Date
<i>W.D.</i> * Environmental Health Department (conditional)	1-11-17 Date
<i>Mark J. Williams</i> Solid Waste Management	11-30-16 Date
<i>John Cho</i> DRB Chairperson, Planning Department	1-17-17 Date

- NOTES:
- ALL BUILDING USAGE MUST COMPLY WITH EXISTING ZONING OF PROPERTY AND SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
  - UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
  - CROSS LOT ACCESS EASEMENT SHALL BE GRANTED.
  - BLANKET CROSS LOT DRAINAGE EASEMENTS SHALL BE GRANTED.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
  - ALL WHEELCHAIR RAMP SHALL BE BUILT PER ADA. ALL PARKING SPACES 9X18' MINIMUM.
  - BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
  - PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
  - NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
  - VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
  - FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD AND NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
  - CONSTRUCTION TYPE IIB, PREMISE ID SHALL BE PLACED IN POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET. BUILDING IS NOT SPRINKLED.
  - ALL IMPROVEMENTS LOCATED IN RIGHT OF WAY MUST BE INCLUDED ON A WORKORDER. ALL BROKEN OR CRACKED SIDEWALKS ADJACENT TO THE SITE MUST BE REPLACED PER COA STD.
  - BUILDING SIGNAGE IS ALLOWED UP TO 6% OF FACADE AREA.
  - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
  - ADA SIDEWALK CONNECTION TO EXISTING SIDEWALK ON MONTGOMERY SHALL CONFORM TO COA STD.
  - A KNOX BOX SHALL BE PROVIDED. DRIVING SURFACE SHALL BE 3" MINIMUM ASPHALT, SHALL SUPPORT 75,000, LBS. NO GRADES EXCEED
  - 10% BUILDING DOES NOT EXCEED 30' IN HEIGHT

- SHEET INDEX:
- SITE PLAN FOR BUILDING PERMIT
  - LANDSCAPE PLAN
  - MASTER UTILITY PLAN
  - CONCEPTUAL GRADING AND DRAINAGE PLAN
  - ELEVATIONS
  - ELEVATIONS
  - SIGNAGE ELEVATIONS

LORN TRYK ARCHITECTS  
436 W. San Francisco Street  
Santa Fe, New Mexico 87501  
Telephone: 505-982-5340 Fax: 505-982-5393  
E-Mail: mail@ltryk.com

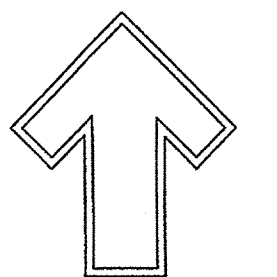
State Employees Credit Union  
Albuquerque, New Mexico

Date  
Revision 10/26/2016 5:53:30 PM  
Drawn by AKT  
Checked by LTA  
Project number

SITE PLAN

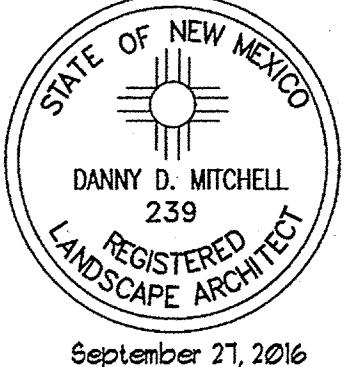
Scale As indicated

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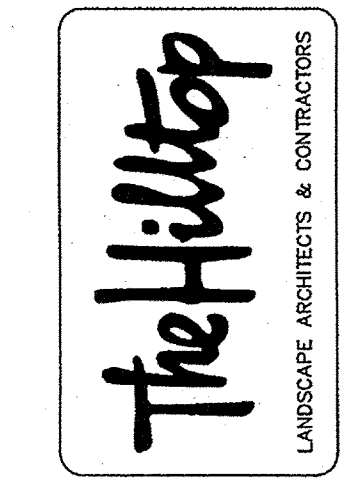
The Hilltop  
1909 5th St. NE  
Albuquerque, NM 87113  
Cell: 505.744.4833  
Fax: (505) 899-9690  
Fax: (505) 899-1131  
dhill@hilltoplandscape.com

Landscape Architect



State Employees Federal Credit Union  
Albuquerque, NM  
LANDSCAPE PLAN

The design contained herein meets the property of The Hilltop Landscape Architects and Contractors and is protected by copyright laws. This is an original design and may not be reproduced or used for any other project without the written consent of The Hilltop Landscape Architects & Contractors. All fees have been paid for a job order please.



DRAWN BY: dm  
REVISION:  
DATE: 9/27/2016

SHEET #  
LS-101

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim april (50' length) with 3 loops at a final radius of 4.5' from tree trunk, placed in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytape with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	67929
TOTAL BUILDING AREA (sf)	5680
TOTAL LOT AREA (sf)	62249
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	9337
TOTAL ON-SITE LANDSCAPE PROVIDED	29219
TOTAL LIVE GROUND COVER REQUIRED (30%)	8165
TOTAL LIVE GROUND COVER PROVIDED	15129

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
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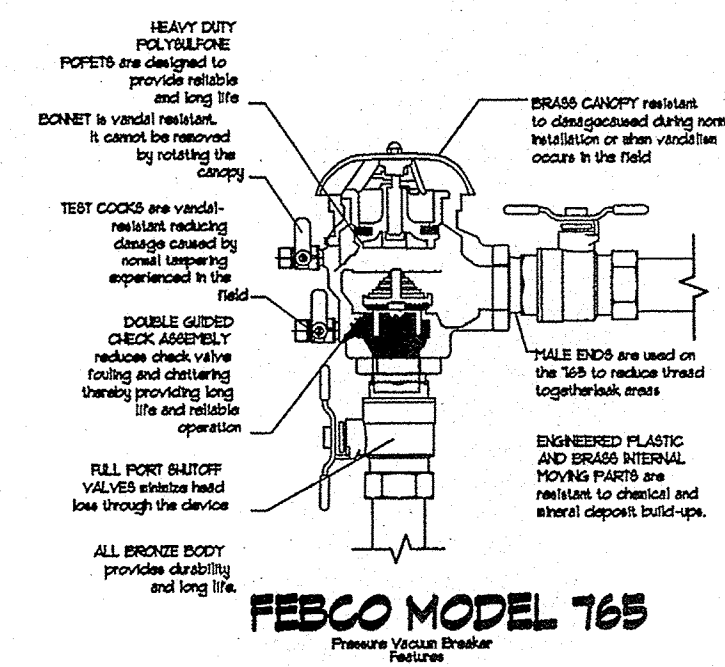
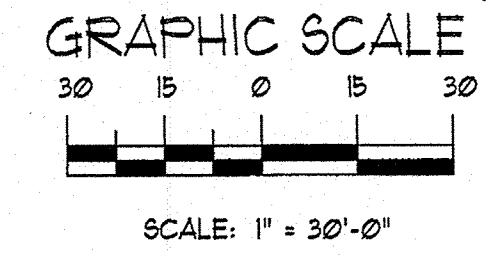
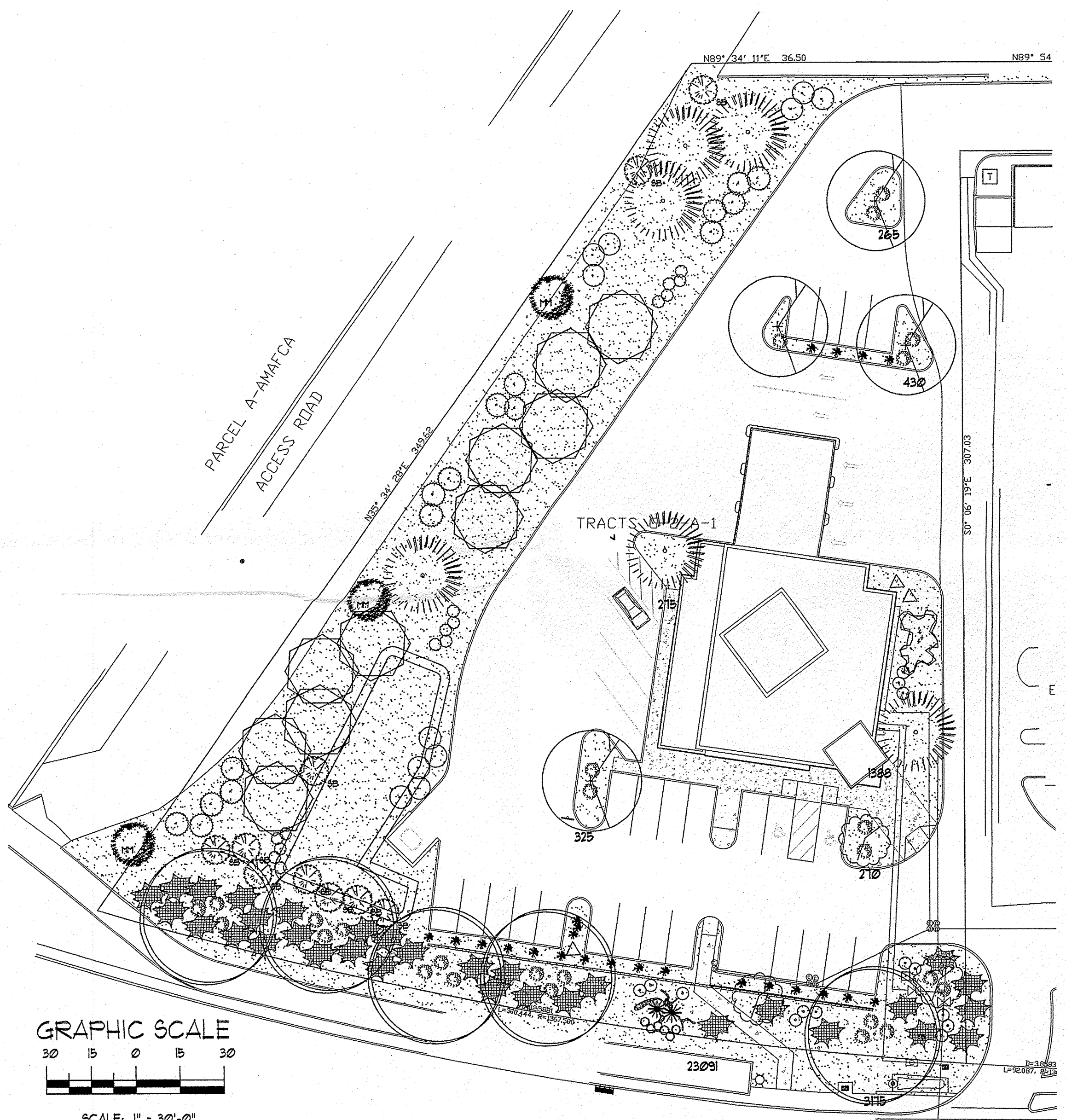
**Trees**

4	2" cal	Ash <i>Fraxinus sp.</i>	40x35	1225	4920 M+
5	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	10125 M
6	6-8'	Austrian Pine <i>Pinus nigra</i>	35x25	625	3150 M
1	15 Gal	Cape Myrtle <i>Lagerstroemia indica</i>	15x12	144	144 M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6	36	12 M
3	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	144	432 M

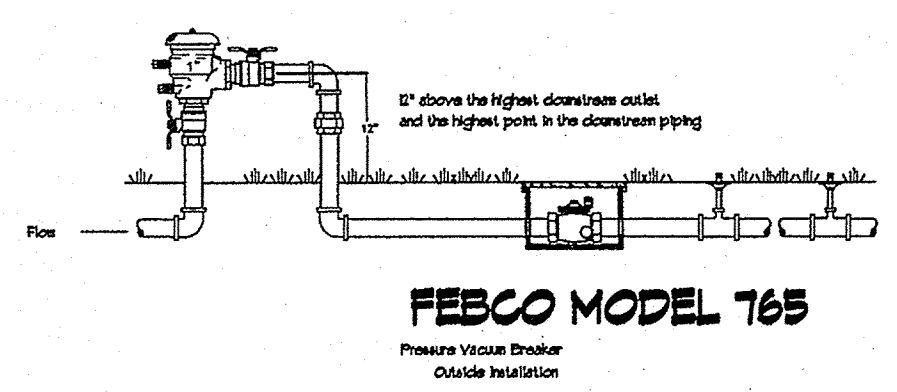
**Shrubs & Groundcovers**

10	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	625	6250 L
		Living Shade Cover		25613.00	
10	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10	100	1000 M
26	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5	25	650 M
23	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	2.5x2	4	92 M
3	5 Gal	Cur-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15	225	675 L+
3	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5	25	75 M
32	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12	144	4608 M
6	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	54 M
14	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	9	126 M
15	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6	36	540 L
16	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	49	164 L
11	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x5	25	275 L
1	2-3cf	Boulders			To be placed at contractor discretion
		Living Plant Cover		40801.00	

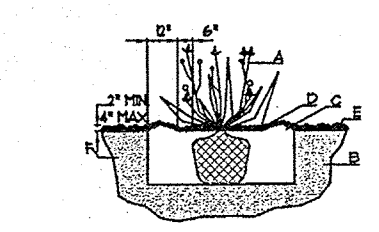
29219	Landscape Gravel / Filter Fabric 7/8" Santa Fe Brown
1261	Oversize Cobble 2-4" Gray



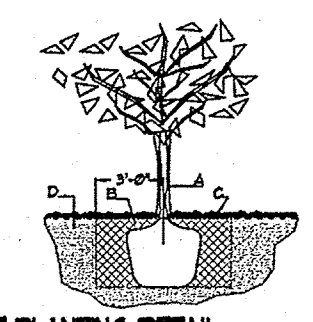
**FEBCO MODEL 765**  
Pressure Valve Dripper



**FEBCO MODEL 765**  
Pressure Valve Dripper  
Outside Installation



**SHRUB PLANTING DETAIL**  
NOTE:  
GREENLINE NOTES:  
1. THE SHRUB DIAMETER OF THE WATER RETENTION BARR SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING.  
CONSTRUCTION NOTES:  
A. FILL  
B. BACKFILL WITH EXISTING SOIL.  
C. BACKFILL WITH GEOTEXTILE WATER RETENTION BARR.  
D. 2" DEPTH OF GRAVEL MULCH.  
E. FRESH GRAVEL.  
F. UNDISTURBED SOIL.



**TREE PLANTING DETAIL**  
NOTE:  
GREENLINE NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE CAN GROW AND SOIL THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY 1/4" AND IN LACK OF SOIL.  
3. PRIOR TO BACKFILLING TREE ALL ONE SIDE AND SYMMETRIC MATERIAL SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
CONSTRUCTION NOTES:  
A. BACKFILL WITH EXISTING SOIL.  
B. BACKFILL WITH GEOTEXTILE WATER RETENTION BARR.  
C. 2" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

**NOTICE TO CONTRACTORS**

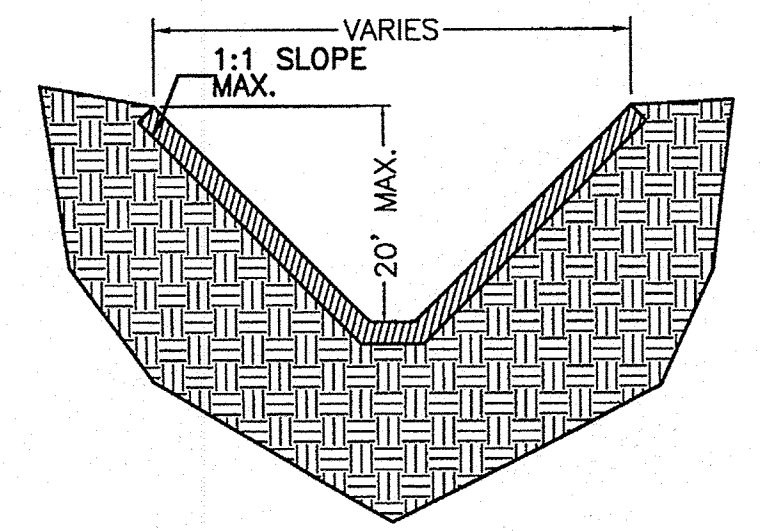
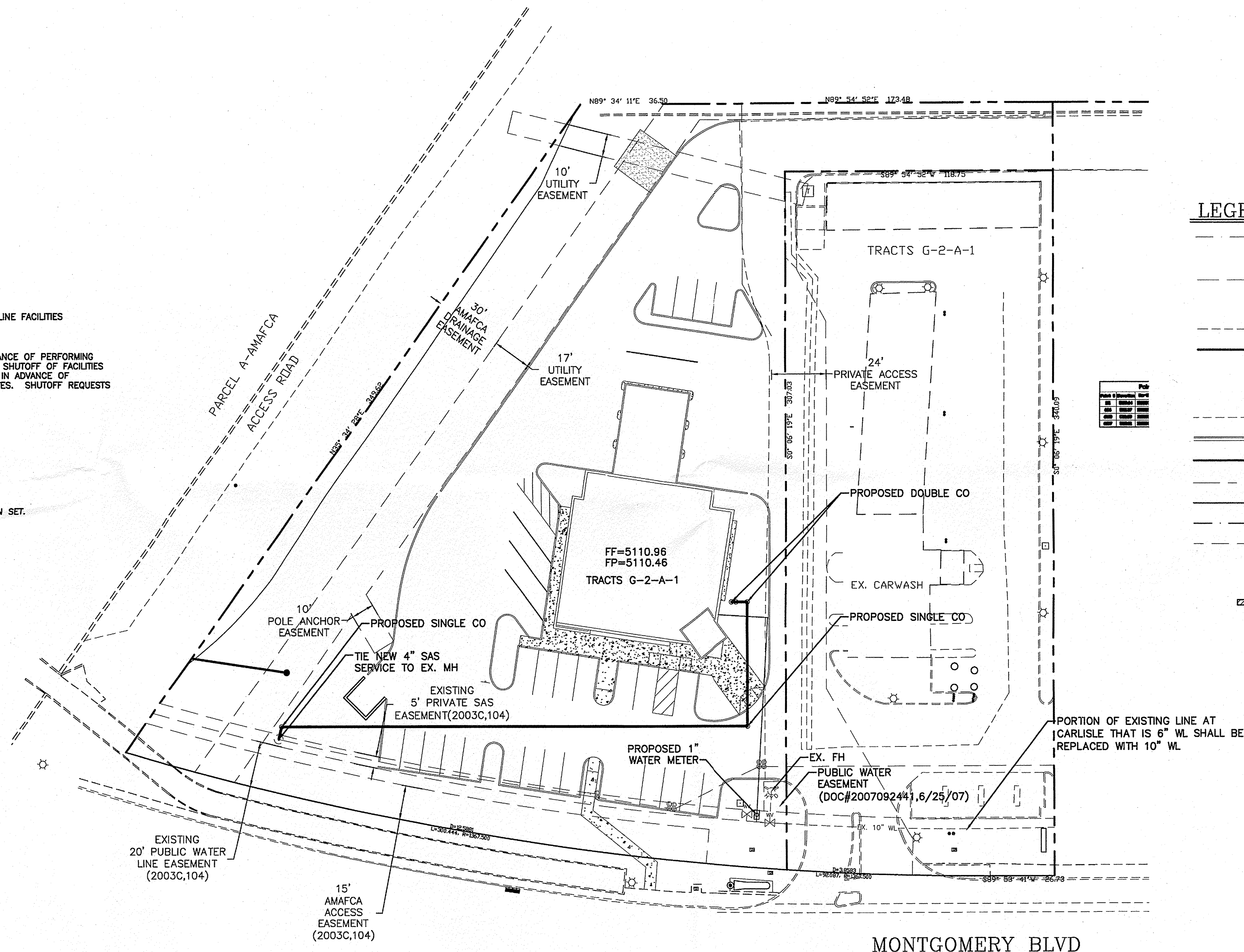
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE 9.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES NM811.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #9.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [http://abcwua.org/water\\_shut\\_off\\_and\\_turn\\_on\\_procedures](http://abcwua.org/water_shut_off_and_turn_on_procedures)
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2368, 2366.
23. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
24. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.

**WATER SHUTOFF NOTES:**

The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/full/463/728/>

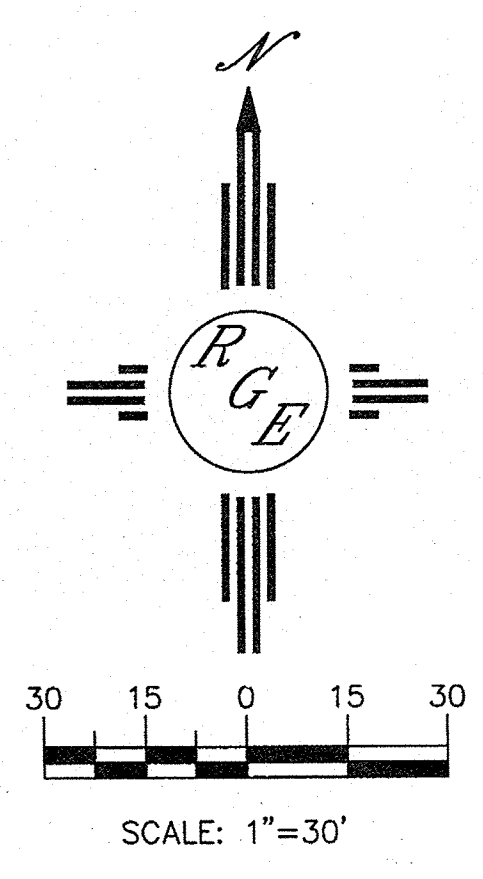
**LEGEND**

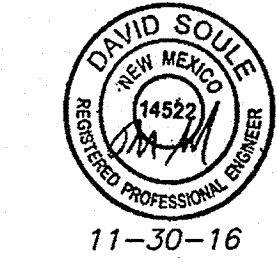
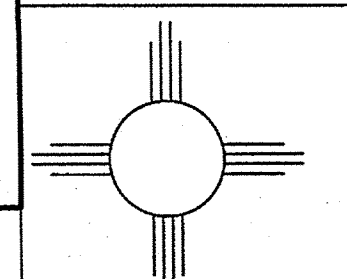
- EX. 12" SD --- EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- EX. 8" SAS --- EXISTING SAS
- ⊗ EXISTING VALVE W/BOX
- EX. WL --- EXISTING WATER LINE
- PROPOSED SD --- PROPOSED METER
- ⊙ PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT ---
- PROPOSED CURB & GUTTER ---
- BOUNDARY LINE ---
- CENTERLINE ---
- RIGHT-OF-WAY ---
- LOT LINES ---
- EASEMENT ---
- ⊙ STREET LIGHTS
- ▨ CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR) AND TEMPORARY ASPHALT CURB PER COA STD DWG #2415B



**SUPPLEMENTAL TRENCH DETAIL**

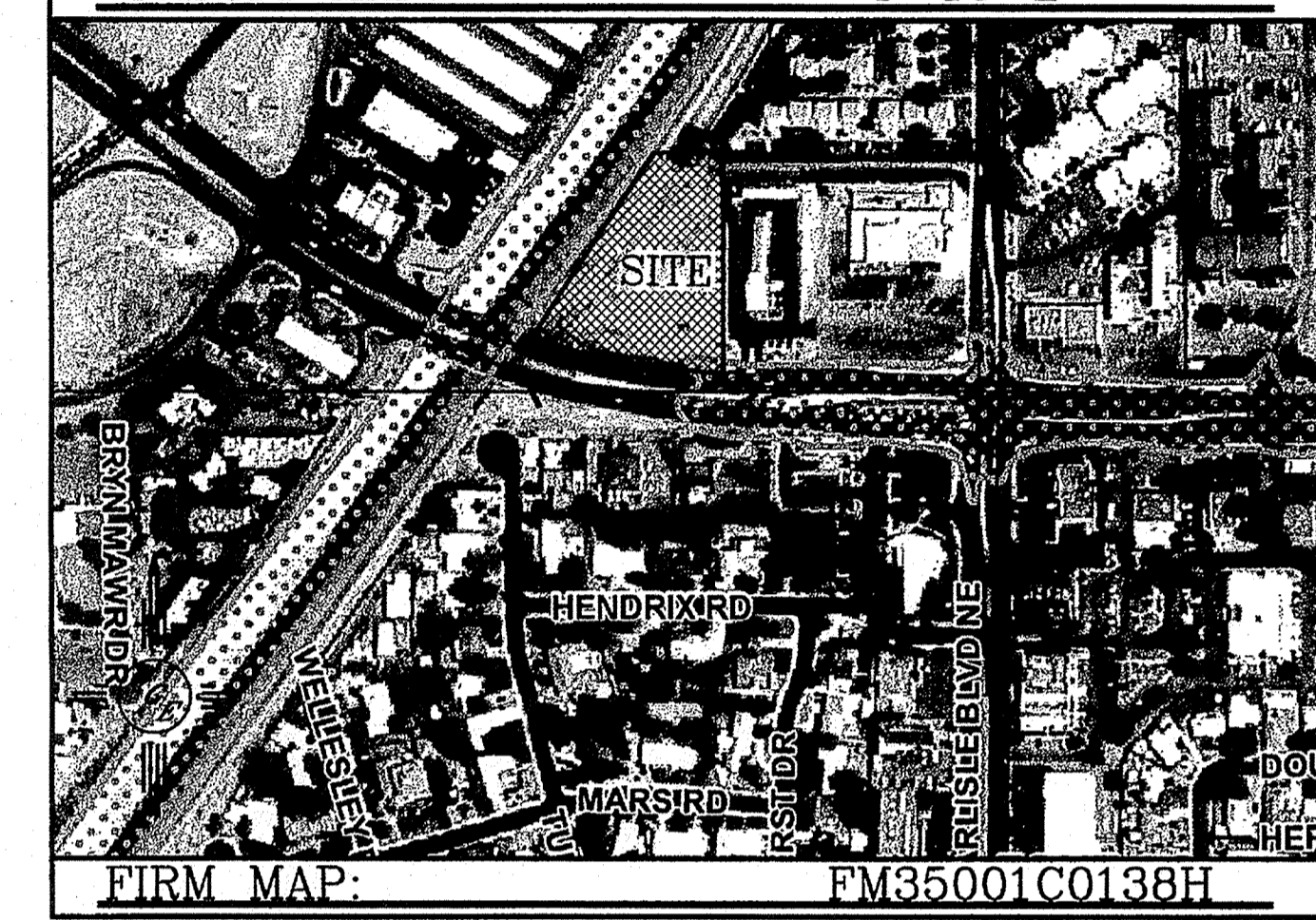
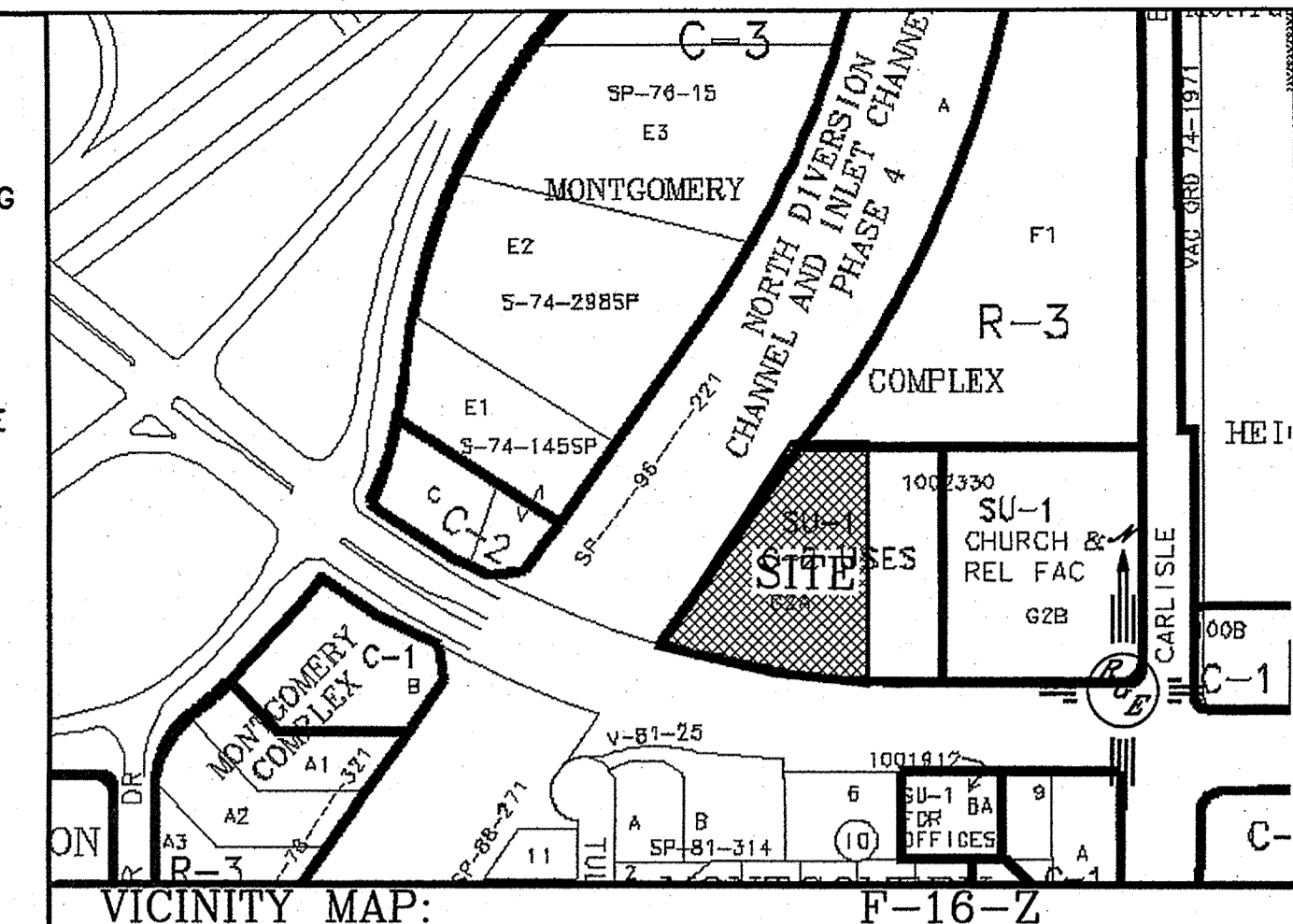
NTS-PER FIGURE V:2-13 OSHA STANDARD SPECIFICATIONS  
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



ENGINEER'S SEAL  11-30-16	STATE EMPLOYEE FEDERAL CREDIT UNION  MASTER UTILITY PLAN   <b>Rio Grande Engineering</b> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCVJ DATE 11-30-16 21628-LAYOUT-6-28-16 SHEET # 3 JOB # 21628
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**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

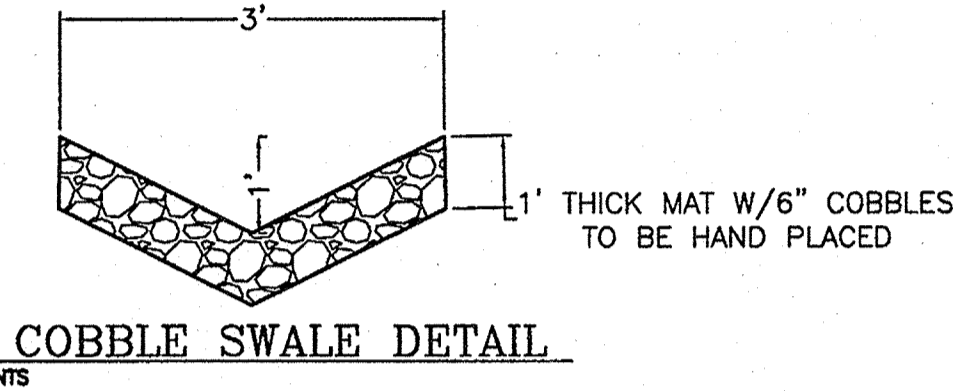
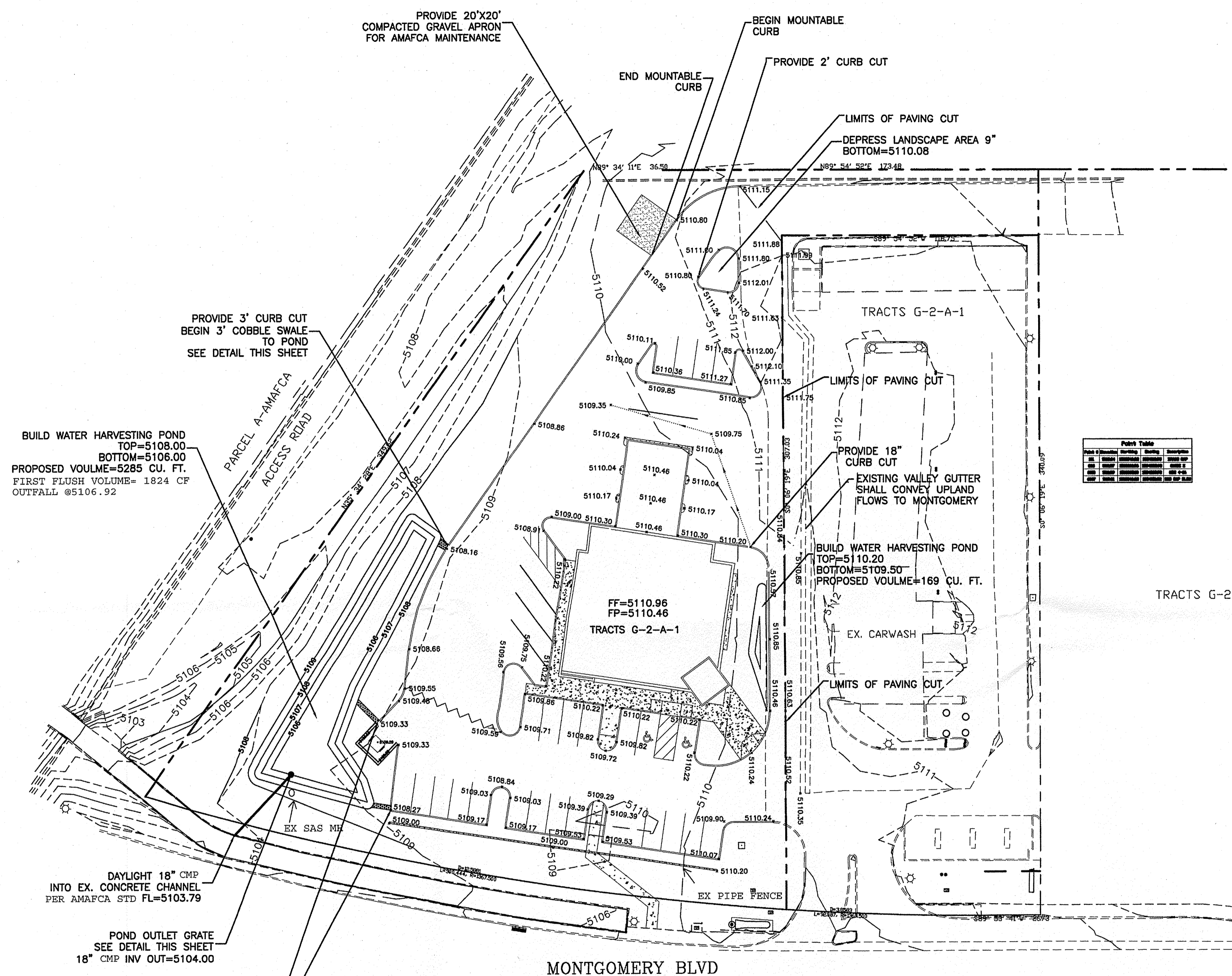


LEGAL DESCRIPTION:  
TR. G-2-A-1, MONTGOMERY COMPLEX

NOTES:  
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

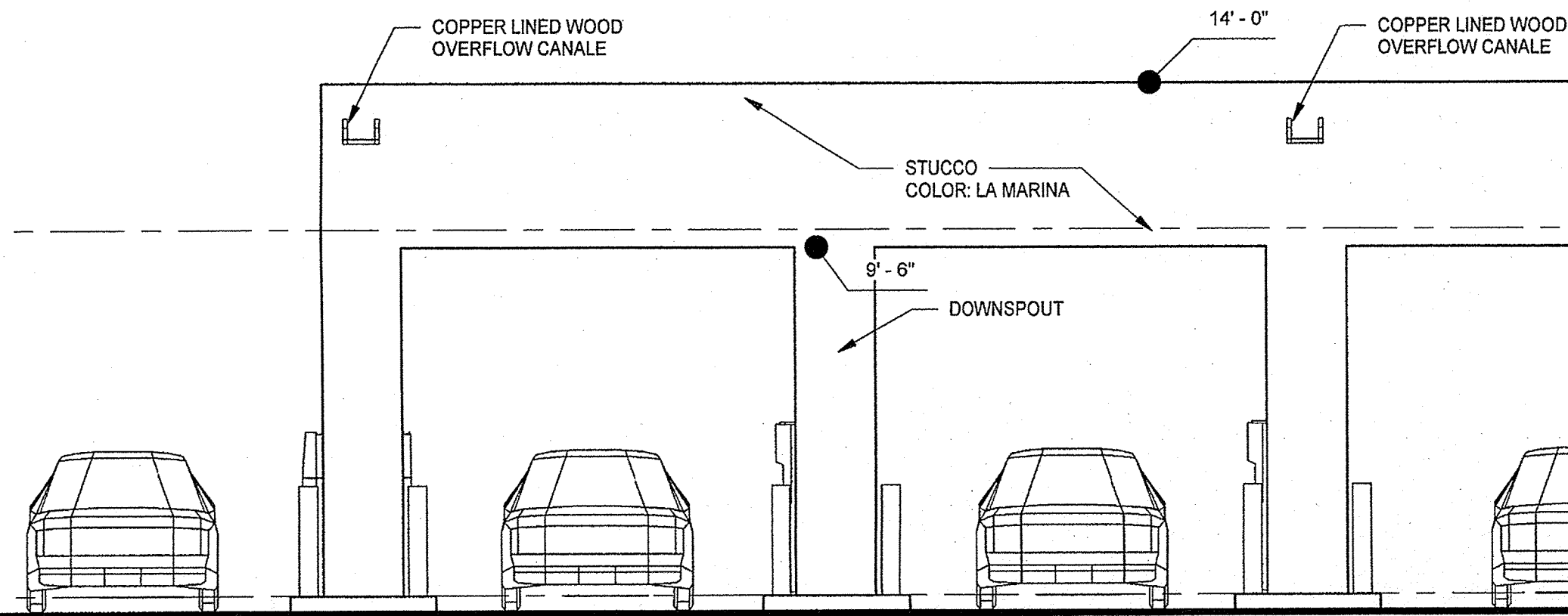
**LEGEND**

---	EXISTING CONTOUR
- - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
- - -	PROPOSED INDEX CONTOUR
▲	3:1 SLOPE TIE MAX.
•	EXISTING SPOT ELEVATION
×	PROPOSED SPOT ELEVATION
---	BOUNDARY
- - -	PROPOSED LOT LINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
=====	EXISTING CURB
=====	PROPOSED SCREEN WALL
=====	PROPOSED RETAINING WALL DESIGN BY OTHERS

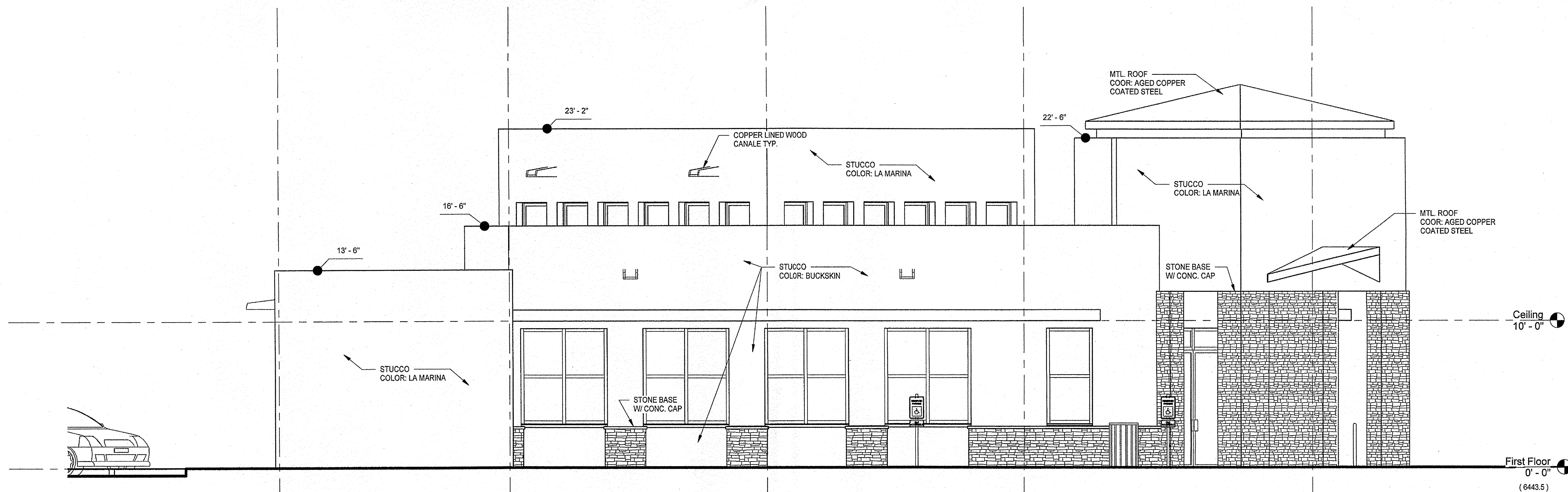


**Point Table**

Point	Elevation
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2	5111.00
3	5111.20
4	5111.40
5	5111.60
6	5111.80
7	5112.00
8	5112.20
9	5112.40
10	5112.60
11	5112.80
12	5113.00
13	5113.20
14	5113.40
15	5113.60
16	5113.80
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19	5114.40
20	5114.60
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36	5117.80
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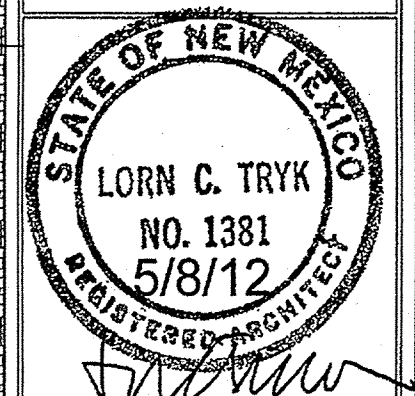


④ East Elevation  
1/4" = 1'-0"



① North Elevation  
1/4" = 1'-0"

**LORN TRYK ARCHITECTS**  
 436 W. San Francisco Street  
 Santa Fe, New Mexico 87501  
 Telephone: 505-982-5340 Fax: 505-982-5393  
 E-Mail: mail@ltryk.com

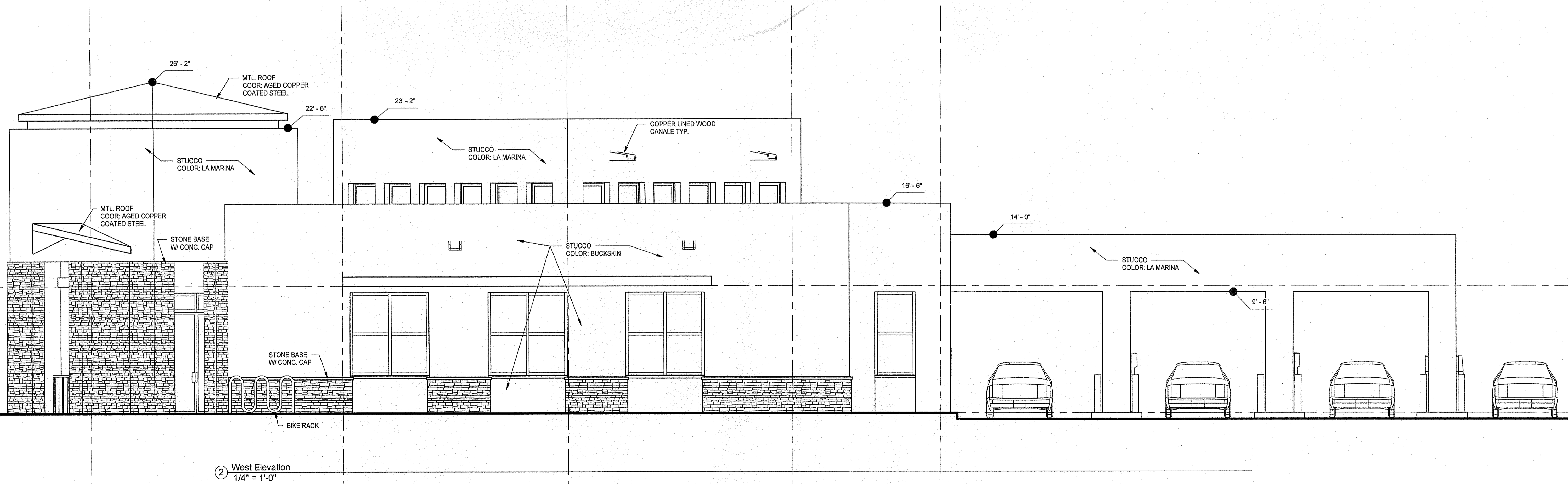
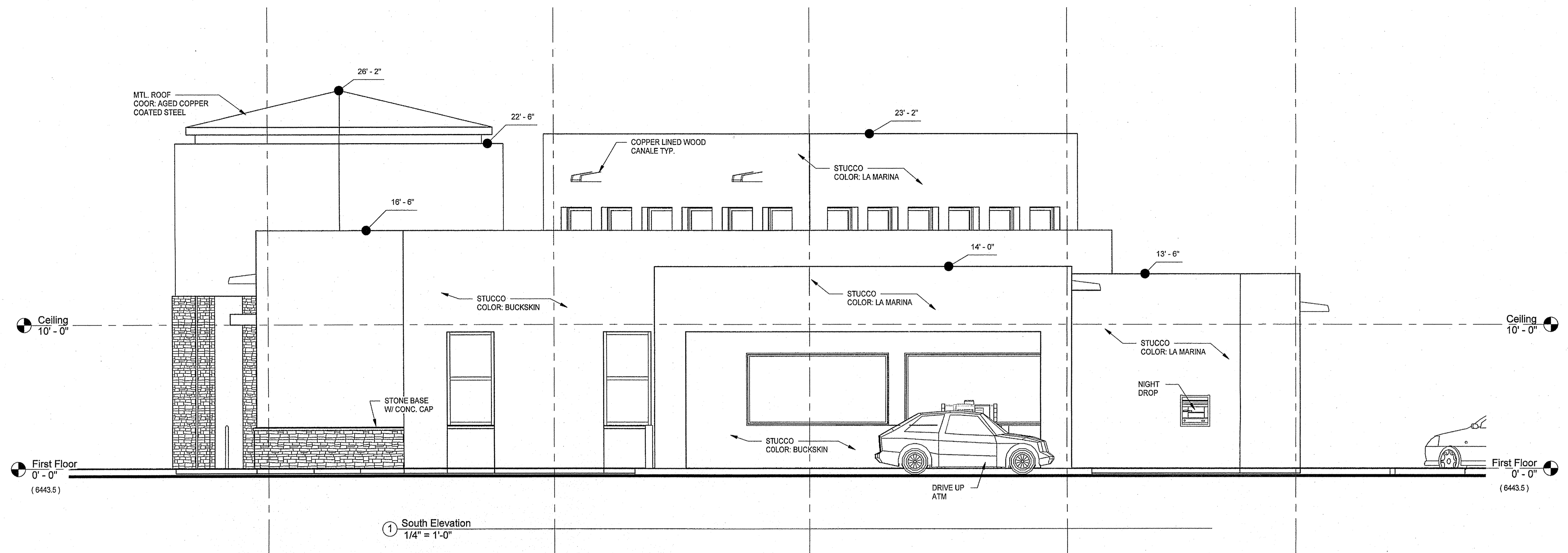


**State Employees Credit Union**  
 Albuquerque, New Mexico

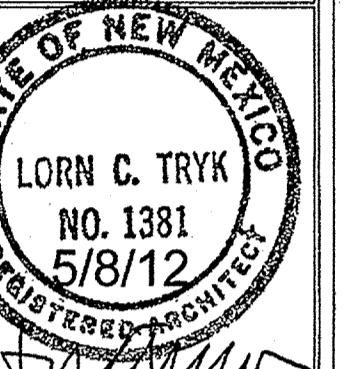
Date	
Revision	9/28/2016 3:14:04 PM
Drawn by	AKT
Checked by	LTA
Project number	

**EXTERIOR ELEVATIONS**  
 Scale 1/4" = 1'-0"

**A4.1**



**LORN TRYK ARCHITECTS**  
 436 W. San Francisco Street  
 Santa Fe, New Mexico 87501  
 Telephone: 505-982-5340 Fax: 505-982-5393  
 E-Mail: mail@ltryk.com



State Employees Credit Union

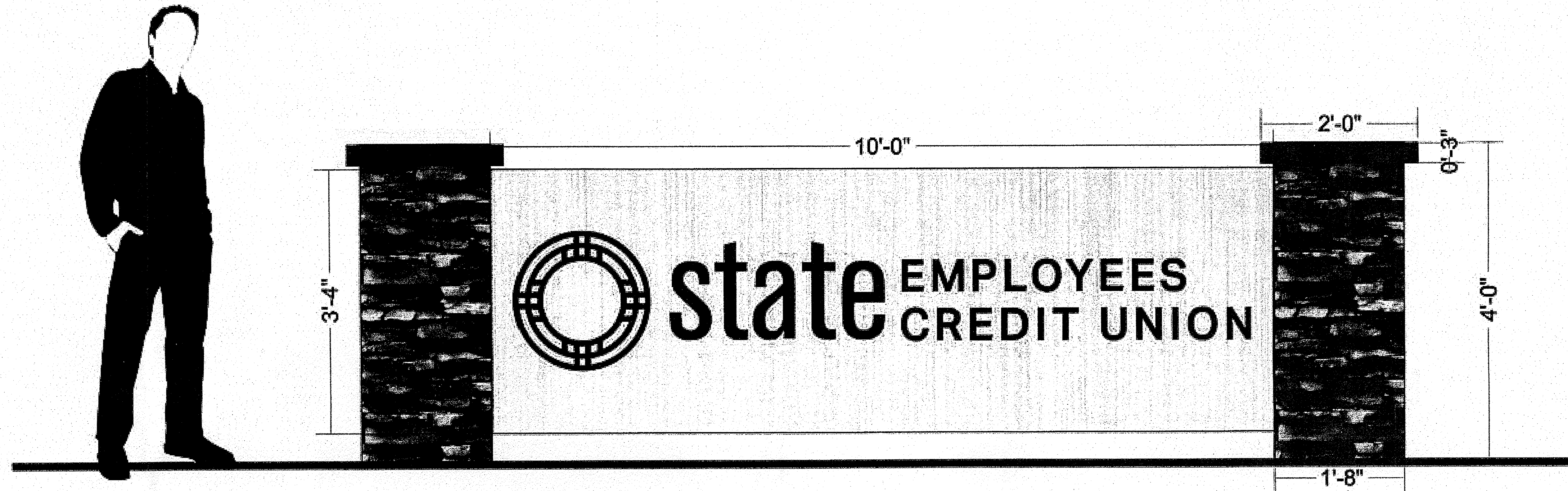
Albuquerque, New Mexico

Date  
 Revision 9/26/2016 3:14:06 PM  
 Drawn by AKT  
 Checked by LTA  
 Project number Ceiling 10'-0"

EXTERIOR ELEVATIONS

First Floor 0'-0" (6443.5)  
 Scale 1/4" = 1'-0"

A4.2



D/F INTERNALLY ILLUMINATED ROUTED CABINET DISPLAY  
BRUSHED ALUMINUM FINISH

LOGO: 1'-9" - PUSH-THRU PLEX - OVERLAYED WITH CALON 246 TEAL  
TEXT: 1'-2 3/4" LETTERS & 0'-5" LETTERS - FLAT LEXAN BACKER  
OVERLAYED WITH CALON 246 TEAL

PYLONS TO BE FINISHED IN FAUX STONEWORK  
WITH DECORATIVE METAL TOPPER PAINTED TEAL

COLORS SHOWN ARE REPRESENTATIONAL ONLY. SEE MATERIAL SAMPLES FOR ACTUAL COLORS.

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**SignArt**

505-344-0872

OF NEW MEXICO INC.

SCALE: 1/2"=1'

SKETCH NO: 29948 10-14-16

SALES: S. MORAN

APPROVAL:

REVISIONS: