A^{City of} lbuquerque



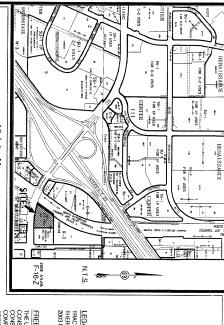
DEVELOPMENT/ PLAN REVIEW APPLICATION

Updated 4/16/15

	Supplemental Form (SI	
SUBDIVISION Major subdivision action		ZONING & PLANNING
Major subdivision actio Minor subdivision actio		Annexation
x Vacation Variance (Non-Zoning)	V	Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector
SITE DEVELOPMENT PLAN	N P .	Development Plans) Adoption of Rank 2 or 3 Plan or similar
for Subdivision	•	Text Amendment to Adopted Rank 1, 2 or 3
for Building Permit Administrative Amendr	mont (AA)	Plan(s), Zoning Code, or Subd. Regulations
Administrative Approva	al (DRT, ÚRT, etc.)	
IP Master Developmen Cert. of Appropriatenes		Street Name Change (Local & Collector)
	LA	APPEAL / PROTEST of
STORM DRAINAGE (Form I Storm Drainage Cost A	Allocation Plan	Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
PRINT OR TYPE IN BLACK INK ON Planning Department Development S Fees must be paid at the time of app	Services Center, 600 2 nd Street N\	st submit the completed application in person to the W, Albuquerque, NM 87102. Forms for submittal requirements.
APPLICATION INFORMATION:		
Professional/Agent (if any):RIO_0	GRANDE ENGINEERING	PHONE: 505.321.9099
ADDRESS: PO BOX 93924		FAX: 505.872.0999
		7199 E-MAIL: david@riograndeengineering.com
APPLICANT: STATE EMPLOYE	EES CREDIT UNION	PHONE:
ADDRESS: 813 SAINT MIC		FAX:
		37505 <u>E-MAIL:</u>
		rs:
DESCRIPTION OF REQUEST: SITE		
DEGORII HON OF REGUEST.		
SITE INFORMATION: ACCURACY OF THE Lot or Tract No. Lot G2a1 Subdiv/Addn/TBKA: MONTGOMEN		CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY. Block: Unit:
		U1 FOR C2 MRGCD Map No
		06148502340312
CASE HISTORY: List any current or prior case number th 1006604	at may be relevant to your application (P	roj., App., DRB-, AX_,Z_, V_, S_, etc.):
CASE INFORMATION:	Within 1000FT of a landfill? NO	
	No. of proposed lots: 1	
LOCATION OF PROPERTY BY STREE	TS: On or Near: MONTGOMERY	
	5 and <u>CARL</u>	
Check if project was previously reviewed	d by: Sketch Plat/Plan □ or Pre-applicati	on Review Team(PRT) □. Review Date:
SIGNATURE		DATE
(Print Name) DAVID SOULE		Applicant: □ Agent: 🗡
FOR OFFICIAL USE ONLY		Revised: 11/2014
☐ INTERNAL ROUTING	Application case numbers	Action S.F. Fees
☐ All checklists are complete☐ All fees have been collected	<u> </u>	\$
☐ All case #s are assigned		<u> </u>
☐ AGIS copy has been sent	-	\$
☐ Case history #s are listed☐ Site is within 1000ft of a landfill	- -	\$
☐ F.H.D.P. density bonus	-	\$ Total
☐ F.H.D.P. fee rebate	Hearing date	

Project #

☐ Related #s listed



Vicinity Map

SUBDIVISION DATA / NOTES

- 2. BEATINGS ARE NEW MEXICO STATE PLANE GRID BEATINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS NDC 14-1A AND NMSHC/ACS M-6, AS SHOWN HEREON. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
- 4. PLAT SHOWS ALL EASEMENTS OF RECORD. DISTANCES ARE GROUND DISTANCES.
- GROSS AREA: 2.4017 ACRES 5. BEARINGS AND DISTANCES IN PARENTHESES () PER THE PLAT OF MONTGOMERY COMPLEX, FILED IN BERIVALILLO COUNTY, NEW MEXICO ON APRIL 17, 2003 IN BOOK 2003C, PAGE 104.

NUMBER OF EXISTING TRACTS: 1

- 8. NUMBER OF TRACTS CREATED: 2
- 9. PROPERTY IS ZONED SU-2/c-2 uses.

10. TRACTS G-2-A-1 AND G-2-A-2 ARE SUBJECT TO A BLANKET DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT G-2-B.

11. THE 30 PRIVATE ACCESS EASEMENT GRAWTED BY THAT IP AT IF LED 4-17-2003
IN BK, 2003C, PG 104 IS THE VIEW THOULKE AND PEDESTIAM INGRESS AND GERESS
FOR COMMERCIAL AND OTHER LISES SAND EASEMENT IS FOR THE BENEFIT AND
USE, BY AND FOR THE OWNERS OF THACTS G-2-A-1, G-2-A-2 AND G-2-B AND IS TO BE MAINTAINED BY SAID OWNERS.

MY COMMISSION EXPIRES:

COUNTY OF BERNALILLO) THIS INSTRUMENT WAS ACKNOWLEDGED B

ACKNOWLEDGMENT STATE OF NEW MEXICO)

OWNERS) SIGNATURE UNACLIVALL, MAKCEM

DATE: 1

OWNERS) SIGNATURE

OWNERS) SIGNATURE

TRACT: T

DATE: 12-16-05

ERSON, PLANNING DEPARTMENT

DATE

DATE

DATE

DATE

Jacklyn Stlekeem

12. THE OWNER OF TRACTS G-2-A-1 AND G-2-A-2 SHALL BE ENTITLED TO MAINTAIN A DIRECTIONAL SIGN AND DIRECTORY WITHIN THE 30 PRIVATE ACCESS EASEMENT ALONG CARLISLE BOULEVARD N.E.

13 THE PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT IS FOR THE BENEFIT AND USE, BY AND FOR THE OWNERS OF TRACTS G-2-A-1 AND G-2-A-2 AND IS TO BE MANTANED BY SAID OWNERS.

EGAL DESCRIPTION

THE LINDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREN CONSENT TO THE PLATING OF SAM PROPERTY AS SEVORM HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAMD OWNERS WHARAWIT THAT THEIR HOLD COMPLETE AND IN ACCORDANCE WITH THEIR DESIRES AND SAMD OWNERS WHARAWIT THAT THE PROLID COMPLETE AND INTEREST WELL BY THE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRAVIT ADDITIONAL EASEMENT(S) AS SHOWNED. THACT G-TIMO A (G2-A) OF MONTGOMERY COMPLEX AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 17, 2003 IN BOOK 2003C, PAGE 104.

MY COMMISSION EXPIRES: STATE OF NEW MEXICO).SS THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17 BY JAMES TO HALLET COUNTY OF BERNALILLO) OWNER(S) SIGNATURE: OWNER(S) PRINT NAME: ADDRESS: ACKNOWLEDGMENT TIRE WER DATE: 12-6-05 TRACT

SECTION 34, T. 11 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2005 FRACTS G-2-A-1 & G-2-A-2 MONTGOMERY COMPLEX SHEET 1 OF 2 PLAT OF

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACTS INTO TWO (2) NEW TRACTS AND TO GRANT ADDITIONAL EASEMENTS AS SHOWN.

/2/ /::/	CITY SURVEYOR	Med that	CITY APPROVALS: PROJECT NO::/002330
	DATE	12-6-05	QJECT NO.:/002330 APPLICATION NO. 05 068 Q/838



>ECEMBER

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Sun-eyor under the laws of the State of New Meator, do hereby certify that this plat and description were prepared by me or under my supervision, shows all escenariats as shown on the plat of except or made by forward the plat he owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and needs the minimum requirements for morumentation and surveys of the Abboduceque Subdivision Ordinance, and further meets the Minimum Standards for Land Sun-eying in the State of New Mexico and is true and correct to the best of my knowledge and belief.



Entrowner of Record: THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND

COUNTY TREASURER'S OFFICE

SURVEYS SOUTHWEST LTD.

Dec 6, 2005

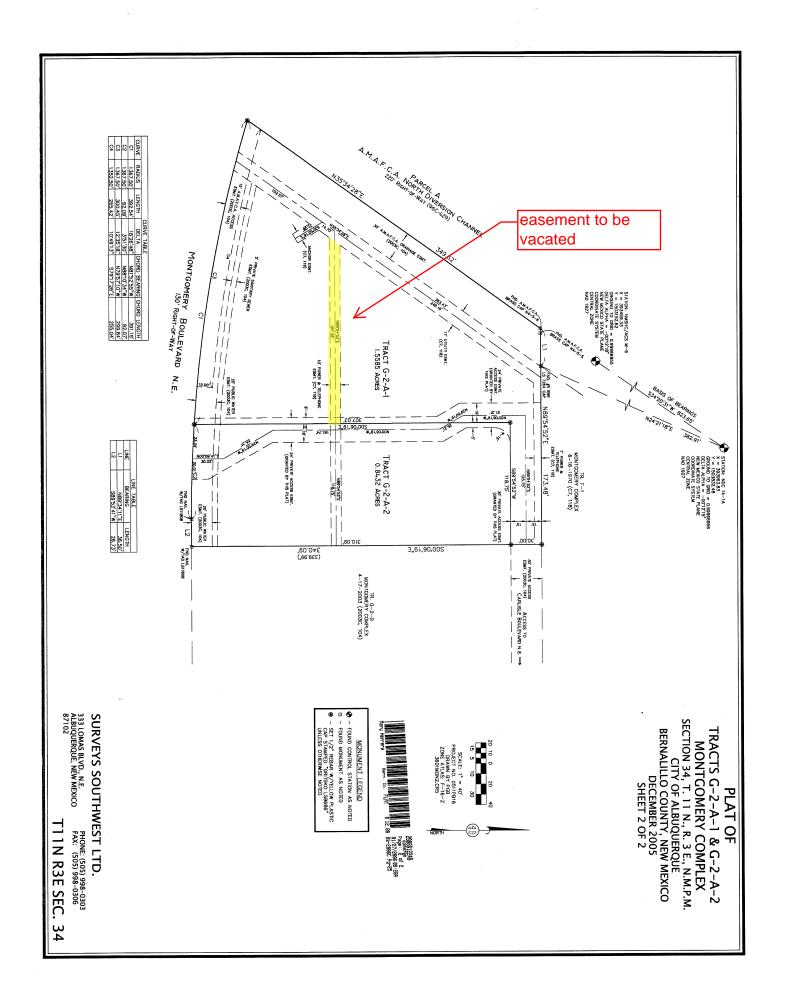
333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102

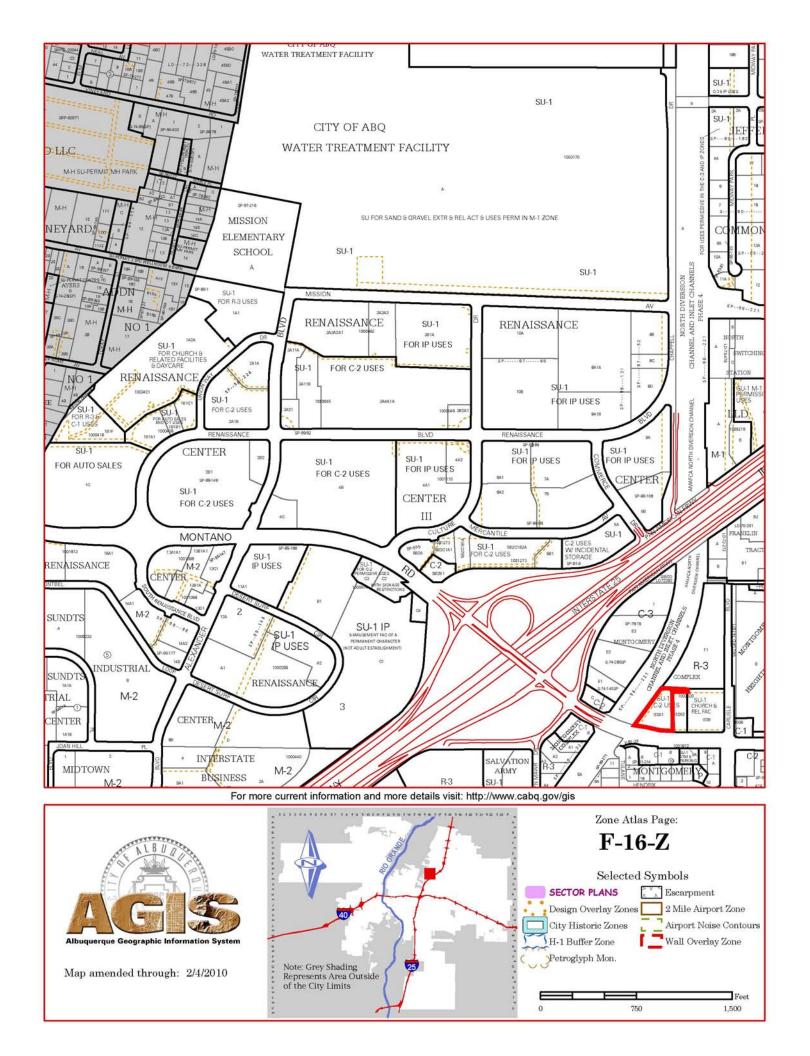
TATATO CONTRACTOR SOFTICE I - 37 - 4 CONTRACTOR SOFTICE I - 37 - 4

1-27-06

PHONE: (505) 998-0303 FAX: (505) 998-0306

T11N R3E SEC.





Jack Cloud Chair- DRB City of Albuquerque 600 Second St. NW Albuquerque NM 87102

RE: Site Plan for building Permit Lot G2A1 Montgomery Complex

Dear Mr. Cloud:

Rio Grande Engineering requests DRB approval of the vacation of a non used public utility easement. The easement has not been used for since the redevelopment of the larger subdivision.

The benefactor of said easement is unclear. The vacation of the easement will allow for the utilization of the entire tract

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE RIO GRANDE ENGINEERING PO Box 93924 ALBUQUERQUE, NM 87199 321-9099

Enclosures

Janice Arnold-Jones 7713 Sierra Azul NE Albuquerque, NM 87112

Lynne Martin 1531 Espejo NE Albuquerque NM 87112 The Office of Neighborhood Coordination (ONC) located in Room 440 (4th floor) of the Plaza Del Sol Building, 600 Second Street NW is where you obtain neighborhood and homeowner association information for your planning submittal.

You can submit your Developer Inquiry Sheet in the following ways: 1) In person at the address listed above; 2) Fax it to (505) 924-3913; or 3) E-mail it with the zone map to BOTH: Stephani Winklepleck at swinklepleck@cabq.gov and Dalaina Carmona at dlcarmona@cabq.gov.

ONC will need the following information **BEFORE** any neighborhood or homeowner association information is released you. If you have questions, please feel free to contact our office at (505) 924-3914.

Zone map and this Developer Inquiry Sheet MUST be provided with request

Please mark zone map to indicate where the property is located

	Developer Inquiry is for the following (mark the one that applies):	
Cell Tower S	ubmittal: [] Free-Standing Tower -OR- [] Concealed Tower	
№1 EPC Subn	nittal [] DRB Submittal [] LUCC Submittal [] Liquor Submittal	
	ittal [] City Project Submittal [] ZHE Submittal (need address/zone map # only)	
[] AA Subin	Tittal [] City I Toject Submittal [] Zill Submittal (need address/zone map # only)	
Contact Name	DAVID SOULE	•
	RIO GRANDE ENGINEERING	
	e:	
Address/Zip: _	ALBUQUERQUE, NM 87199	
Phone: <u>505.3</u>	Fax: 505.872.0999 E-mail: david@rioqrandeengineering.	com
	Legal Description Information	•
	Describe the legal description of the subject site for this project below: (i.e., Lot A, Block A, of the XYZ Subdivision)	
lot	tsG2A1 MONTGOMERY COMPLEX	
Located On		
	street name (ex 123 Main St. NW) or other identifying landmark	
Between	Interstate 25and	
	street name or other identifying landmark Carlisle NE	
	street name or other identifying landmark	
The site is loca	ited on the following zone atlas page ($\underline{F-16}$).	
ONC/DevelopInquiry	Sheet/siw (09/17/15)	



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

June 29, 2016

David Soule

Rio Grande Engineering

Phone: 505-321-9099/ Fax: 505-872-0999 E-mail: david@riogrnadeengineering.com

Dear: David

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If filed you haven't application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information outdated information may result in a deferral of your case.

Thank you for your inquiry of June 29, 2016 requesting the names of ALL Neighborhood and/or Homeowners Associations who would be affected under the provisions of O-92 by your proposed project at (EPC SUBMITTAL) LOTS G2A1, MONTGOMERY COMPLEX LOCATED ON MONTGOMERY BETWEEN INTERSTATE 25 AND CARLISLE NE zone map F-16.

Our records indicate that the ALL Neighborhood and/or Homeowners Associations affected by this proposal and the contact names are as follows:

SEE ATTACHMENT "A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL — please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's.

Please note that according to O-92 you are required to notify each of these contact persons by certified mail, return receipt requested, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your Application Hearing being deferred for 30 days. If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at dlcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.

X

- 2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- 3. A physical description of the location, referenced to streets and existing land uses.
- 4. A complete description of the actions requested of the EPC:
 - a) If a ZONE CHANGE OR ANNEXATION, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in <u>each</u> application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted

	with application packet -OR-
[]	The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
[X]	Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
[X3	Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
	fer - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted ion by this date, you will need to get an updated letter from our office.
Any questions	, please feel free to contact Dalaina at 924-3906 or via an e-mail message at dlcarmona@cabq.gov.
Thank you for	your cooperation on this matter.
*******	(below this line for ONC use only)
Date of Ingu	ing 6/29/16 Time Entered: 3:54 p.m., ONC Rep. Initials: DC

ATTACHMENT "A"

June 29, 2016

David Soule

Rio Grande Engineering

Phone: 505-321-9099/ Fax: 505-872-0999 E-mail: david@riogrnadeengineering.com

DISTRICT 7 COALITION OF N.A.'S*Janice Arnold-Jones, 7713 Sierra Azul NE/87110 379-0902 (c)
Lynne Martin, 1531 Espejo NE/87112 294-0435 (h)
