

Location Map

Zone Atlas Map No. L-20-Z and L-21-Z

Subdivision Data:

ZONING: C-2
 GROSS SUBDIVISION ACREAGE: 0.6101 ACRES±
 ZONE ATLAS INDEX NO: L-20-Z AND L-21-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: NOVEMBER 2010

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS AND TO GRANT A PUBLIC SIDEWALK EASEMENT. TRACT B1-B-2 HAS BEEN CONVEYED TO THE CITY OF ALBUQUERQUE BY WARRANTY DEED FILED MAY 19, 2011 AS DOCUMENT NO. 2011047358.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- TR. B1-B-2 CONVEYED TO THE CITY OF ALBUQUERQUE FOR PUBLIC STREET RIGHT OF WAY. (05/19/2011, DOC. NO. 2011047358)

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Utility Notes

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- NEW MEXICO GAS COMPANY. FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP
 DOCH 2011071812
 08/08/2011 11:17 AM Page: 1 of 2
 PLAT R: \$25.00 B: 2011C P: 0079 N. Toulous Olivere, Bernalillo Co

Legal Description

TRACT B1-B OF THE PLAT FOR VIDEO ADDITION TRACTS B1-A & B1-B, WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 23, 1999 IN PLAT BOOK 990, PAGE 239, AS DOCUMENT NO. 1999109801, BEING MORE PARTICULARLY DESCRIBED BY NM STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "PS 6685" FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "6_L21" BEARS N 77°44'53" E, A DISTANCE OF 2181.76 FEET;

THENCE FROM SAID POINT OF BEGINNING, S 00°57'10" W, A DISTANCE OF 189.33 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°04'19" W, A DISTANCE OF 142.12 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF EUBANK BOULEVARD, SE, MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE FOR THE NEXT FOUR CALLS N 00°56'01" E, A DISTANCE OF 79.02 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 150.63 FEET, AN ARC LENGTH OF 28.19 FEET, A DELTA ANGLE OF 10°43'23", A CHORD BEARING OF N 06°18'05" E, AND A CHORD LENGTH OF 28.15 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°58'19" E, A DISTANCE OF 64.35 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 18.37 FEET, AN ARC LENGTH OF 28.48 FEET, A DELTA ANGLE OF 88°49'03", A CHORD BEARING OF N 46°35'13" E, AND A CHORD LENGTH OF 25.71 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE S 89°03'12" E, A DISTANCE OF 121.12 FEET; TO THE POINT OF BEGINNING, CONTAINING 0.6101 ACRES (26,576 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS B1-B-1 AND B1-B-2, VIDEO ADDITION.

Free Consent-Owner of Tract B1-B-1

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT HE HOLDS AMONG HIM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER GRANTS THE PUBLIC SIDEWALK EASEMENT SHOWN ON THIS PLAT.

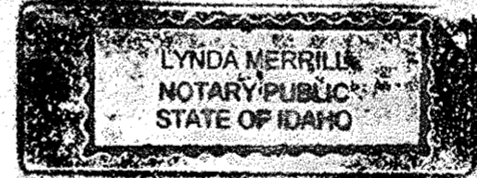
Ronald A. Wolf 6-23-11
 NEW MEXICO WOLFE PROPERTIES, LLC, MONTANA LIMITED LIABILITY COMPANY DATE
 BY: RONALD A. WOLF
 ITS: MEMBER AND PRESIDENT
 OWNER PROPOSED TRACT B1-B-1

Acknowledgment

STATE OF IDAHO) SS
 COUNTY OF MADISON)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF June, 2011 BY NEW MEXICO WOLFE PROPERTIES, LLC, A MONTANA LIMITED LIABILITY COMPANY, BY: RONALD A. WOLFE ITS: MEMBER AND PRESIDENT.

BY *Lynda Merrill* NOTARY PUBLIC MY COMMISSION EXPIRES: 4-4-2014



Free Consent-Owner of Tract B1-B-2

THE PLATTING OF TRACT B1-B-2 IS WITH THE FREE CONSENT, AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE CITY OF ALBUQUERQUE, AND IS IN CONFORMITY WITH THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SECTION 14-14-9-2.

Robert J. Perry July 18, 2011
 BY: ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION. DATE
 OWNER PROPOSED TRACT B1-B-2

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF July, 2011 BY: ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, OWNER PROPOSED TRACT B1-B-2.

BY *Marc E. Chavez* NOTARY PUBLIC MY COMMISSION EXPIRES: 2/17/13

Plat of
 Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 June 2011

Project No. 1006606
 Application No. 11DRB- 70030
Utility Approvals
Jermano de Vique 8-2-11
 NEW MEXICO GAS COMPANY DATE
Alvarez Ramirez 08-02-11
 QWEST TELECOMMUNICATIONS DATE
Robert B... 08-03-11
 COMCAST DATE

City Approvals
R. Cliff Milbrink July 1, 2011
 for CITY SURVEYOR DATE
... 08-03-11
 TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE
Alvarez Peter 08/03/11
 A.B.C.W.U.A. DATE
Christina Sandoval 8/3/11
 PARKS AND RECREATION DEPARTMENT DATE
Carla A. Chavez 8-3-11
 AMAFCA DATE
Carla A. Chavez 8-3-11
 CITY ENGINEER DATE
... 8-8-11
 DRB CHAIRPERSON PLANNING DEPARTMENT

Treasurer's Certificate
 THIS INSTRUMENT WAS FILED FOR RECORD ON 08/03/2011
 BY: NEW MEXICO WOLFE PROPERTIES LLC
 BERNALILLO COUNTY, NEW MEXICO
... 8-8-2011

Surveyor's Certificate
 I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 6/23/11
 LARRY W. MEDRANO DATE
 N.P.S. No. 11993



PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

856.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

RECORDING STAMP
 DOCH 2011071812
 08/08/2011 11:17 AM Page: 2 of 2
 PLAT R:325.00 B: 2011C P: 0079 H: Toulous Olivere, Bernalillo Co

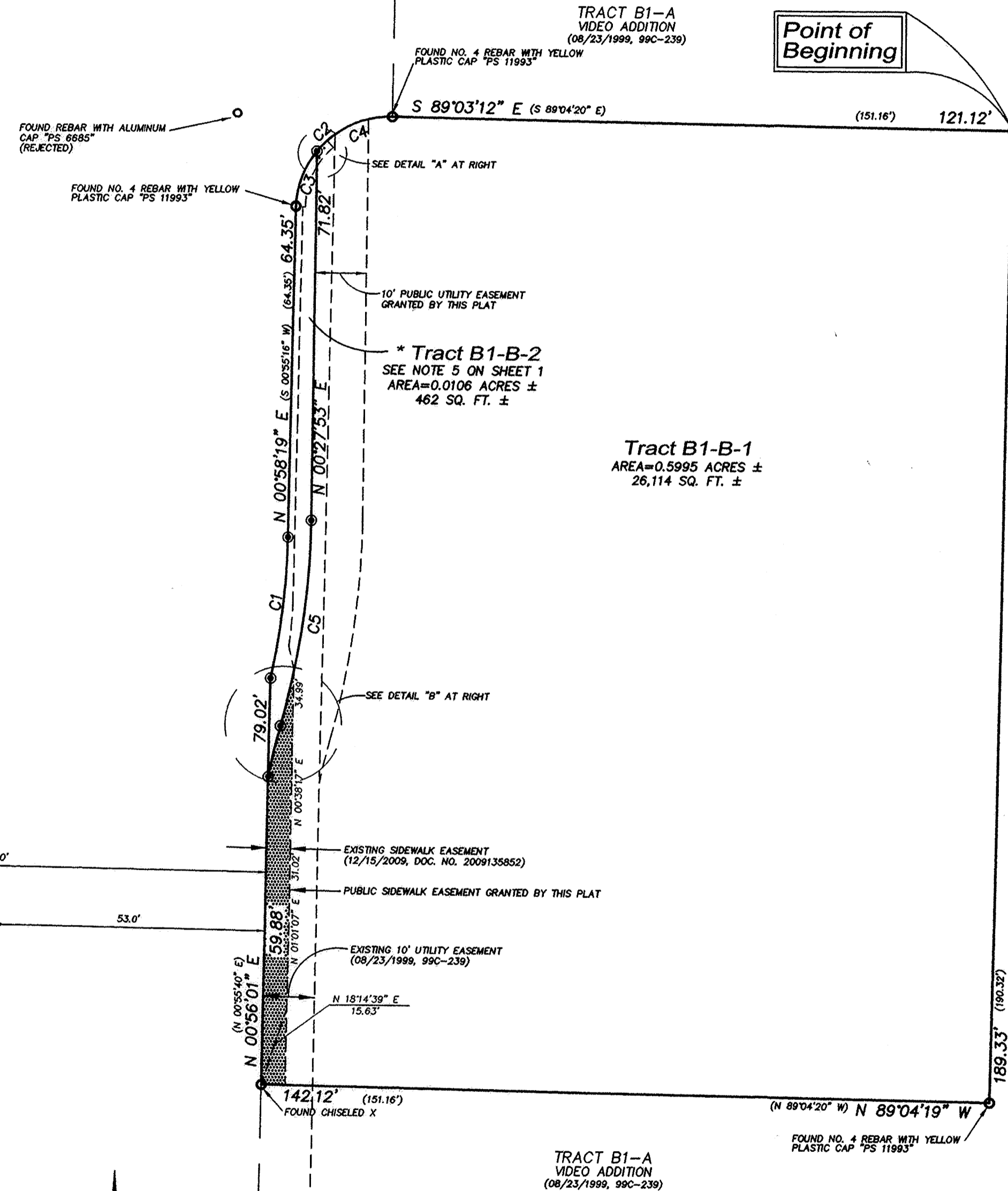
Plat of
 Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 June 2011

A.G.R.S. MONUMENT "1.L.21R"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,480,916.906
 E=1,560,988.820
 PUBLISHED EL.=5537.222 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999646208
 DELTA ALPHA ANGLE=-0°09'09.09"

A.G.R.S. MONUMENT "6.L.21"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,481,282.770
 E=1,558,220.734
 PUBLISHED EL.=5503.276 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999648352
 DELTA ALPHA ANGLE=-0°09'26.24"

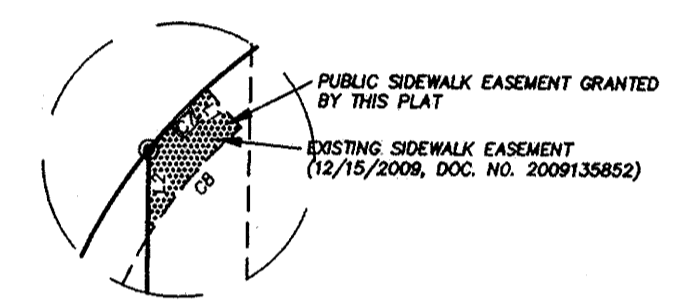
Point of Beginning

Eubank Boulevard, S.E.
 (106' PUBLIC ROW)

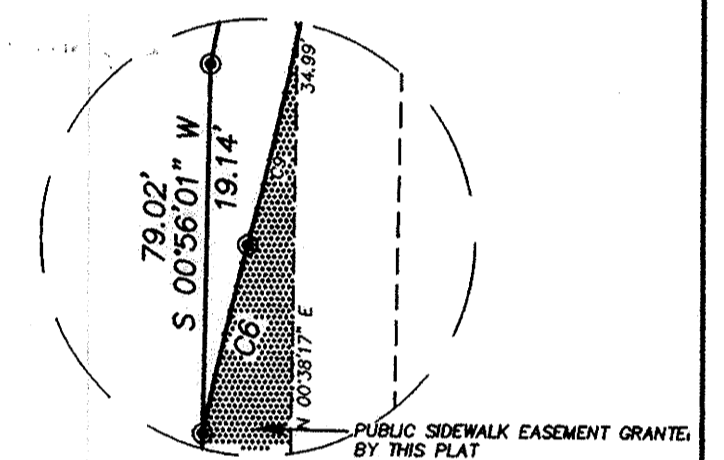


* Tract B1-B-2
 SEE NOTE 5 ON SHEET 1
 AREA=0.0106 ACRES ±
 462 SQ. FT. ±

Tract B1-B-1
 AREA=0.5995 ACRES ±
 26,114 SQ. FT. ±



Detail "A"



Detail "B"

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	150.63'	28.19'	14.14'	10°43'23"	N 06°18'05" E	28.15'
	(150.63')	(28.19')		(10°43'23")	(N 06°16'15" E)	(28.15')
C2	18.37'	28.48'	17.99'	88°49'03"	N 46°35'13" E	25.71'
	(18.37')	(28.48')		(88°57'35")	(N 45°56'28" E)	(25.97')
C3	18.37'	11.72'	6.07'	36°34'04"	N 20°27'44" E	11.53'
C4	18.37'	16.75'	9.01'	52°14'59"	N 64°52'15" E	16.18'
C5	158.62'	41.07'	20.65'	14°50'12"	N 07°52'56" E	40.96'
C6	141.37'	10.14'	5.07'	4°06'40"	S 13°14'35" W	10.14'
C7	18.37'	2.90'	1.45'	9°03'14"	S 43°16'23" W	2.90'
C8	15.31'	5.01'	2.53'	18°44'11"	S 40°18'54" W	4.98'
C9	158.62'	10.98'	5.49'	3°58'01"	N 13°19'01" E	10.98'

Line Table

LINE	BEARING	DISTANCE
L1	S 42°11'08" E	1.81'
L2	N 00°27'53" E	3.03'

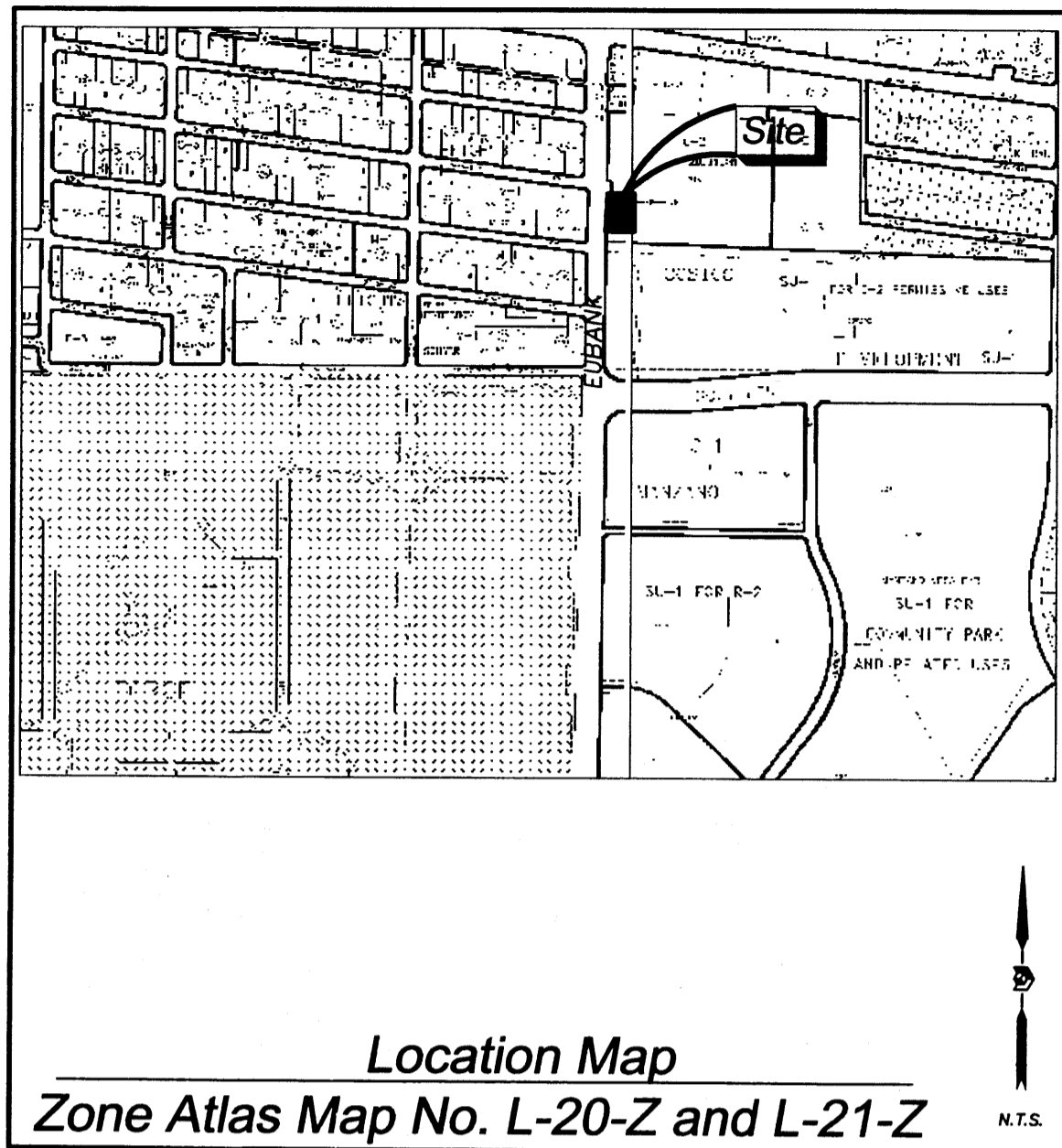
PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

G:\Picta\2010\101133P.dwg, 8/12/2011, 10:55:09 AM



Subdivision Data:

ZONING: C-2
 GROSS SUBDIVISION ACREAGE: 0.6101 ACRES±
 ZONE ATLAS INDEX NO.: L-20-Z AND L-21-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: NOVEMBER 2010

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS AND TO GRANT A PUBLIC SIDEWALK EASEMENT. TRACT B1-B-2 HAS BEEN CONVEYED TO THE CITY OF ALBUQUERQUE BY WARRANTY DEED FILED MAY 19, 2011 AS DOCUMENT NO. 2011047358.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- TR. B1-B-2 CONVEYED TO THE CITY OF ALBUQUERQUE FOR PUBLIC STREET RIGHT OF WAY. (05/19/2011, DOC. NO. 2011047358)

Solar Note:

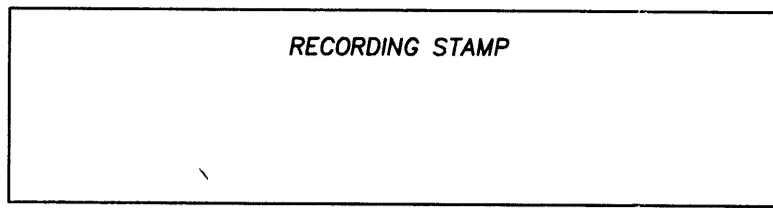
NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Utility Notes

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.



Legal Description

TRACT B1-B OF THE PLAT FOR VIDEO ADDITION TRACTS B1-A & B1-B, WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 23, 1999 IN PLAT BOOK 99C, PAGE 239, AS DOCUMENT NO. 1999109801, BEING MORE PARTICULARLY DESCRIBED BY NM STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "PS 6685" FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "6_L21" BEARS N 77°44'53" E, A DISTANCE OF 2181.76 FEET;

THENCE FROM SAID POINT OF BEGINNING, S 00°57'10" W, A DISTANCE OF 189.33 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°04'19" W, A DISTANCE OF 142.12 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF EUBANK BOULEVARD, SE, MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE FOR THE NEXT FOUR CALLS N 00°56'01" E, A DISTANCE OF 79.02 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 150.63 FEET, AN ARC LENGTH OF 28.19 FEET, A DELTA ANGLE OF 10°43'23", A CHORD BEARING OF N 06°18'05" E, AND A CHORD LENGTH OF 28.15 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°58'19" E, A DISTANCE OF 64.35 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

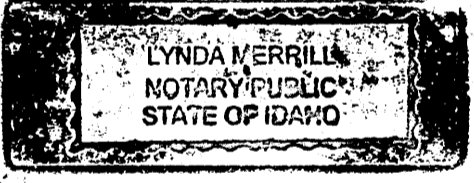
THENCE ALONG A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 18.37 FEET, AN ARC LENGTH OF 28.48 FEET, A DELTA ANGLE OF 88°49'03", A CHORD BEARING OF N 46°35'13" E, AND A CHORD LENGTH OF 25.71 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE S 89°03'12" E, A DISTANCE OF 121.12 FEET; TO THE POINT OF BEGINNING, CONTAINING 0.6101 ACRES (26,576 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS B1-B-1 AND B1-B-2, VIDEO ADDITION.

Free Consent-Owner of Tract B1-B-1

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT HE HOLDS AMONG HIM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER GRANTS THE PUBLIC SIDEWALK EASEMENT SHOWN ON THIS PLAT.

Ronald A. Wolfe 6-23-11
 NEW MEXICO WOLFE PROPERTIES, LLC, MONTANA LIMITED LIABILITY COMPANY DATE
 BY: RONALD A. WOLFE
 ITS: MEMBER AND PRESIDENT
 OWNER PROPOSED TRACT B1-B-1



Acknowledgment

STATE OF IDAHO) SS
 COUNTY OF MADISON)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF June, 2011 BY NEW MEXICO WOLFE PROPERTIES, LLC, A MONTANA LIMITED LIABILITY COMPANY, BY: RONALD A. WOLFE ITS: MEMBER AND PRESIDENT.

BY *Lynda Merrill* MY COMMISSION EXPIRES: 4-4-2014
 NOTARY PUBLIC

Free Consent-Owner of Tract B1-B-2

THE PLATTING OF TRACT B1-B-2 IS WITH THE FREE CONSENT, AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE CITY OF ALBUQUERQUE, AND IS IN CONFORMITY WITH THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SECTION 14-14-9-2.

Robert J. Perry July 18, 2011
 BY: ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION. DATE
 OWNER PROPOSED TRACT B1-B-2

Acknowledgment

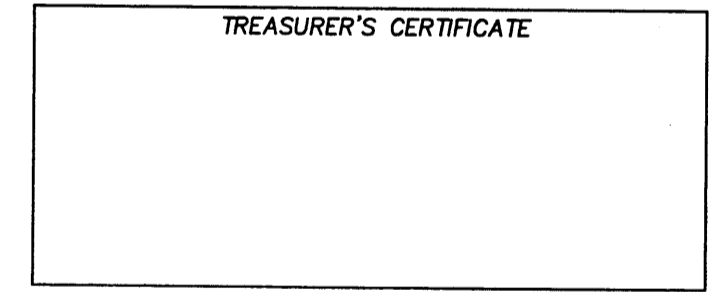
STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF July, 2011 BY BY: ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, OWNER PROPOSED TRACT B1-B-2.

BY *Marc E. Chavez* MY COMMISSION EXPIRES: 2/17/13
 NOTARY PUBLIC

Plat of
 Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 June 2011

Project No. 1006606
 Application No. 11DRB-70030
 Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
<i>R. Cliff Milbrin</i> for CITY SURVEYOR	July 1, 2011 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 6/23/11
 LARRY W. MEDRANO
 N.P.S. No. 11993 DATE



PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

856.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Plat of
Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 June 2011

RECORDING STAMP

A.G.R.S. MONUMENT "1-L21"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,480,916.906
 E=1,560,988.820
 PUBLISHED EL.=5537.222 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999646208
 DELTA ALPHA ANGLE=-0°09'09.09"

A.G.R.S. MONUMENT "5-L21"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,481,282.770
 E=1,558,220.734
 PUBLISHED EL.=5503.276 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999648352
 DELTA ALPHA ANGLE=-0°09'28.24"

Point of Beginning

Eubank Boulevard, S.E.
 (106' PUBLIC ROW)

TRACT B1-A
 VIDEO ADDITION
 (08/23/1999, 99C-239)

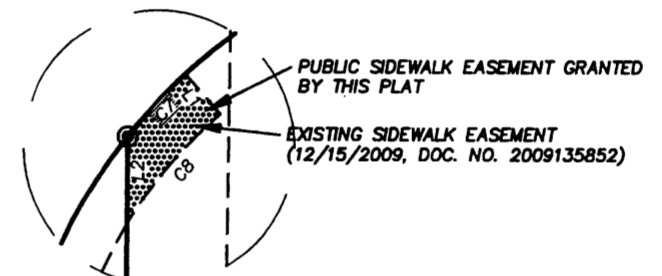
FOUND NO. 4 REBAR WITH YELLOW
 PLASTIC CAP "PS 11993"

FOUND REBAR WITH ALUMINUM
 CAP "PS 6685"
 (REJECTED)

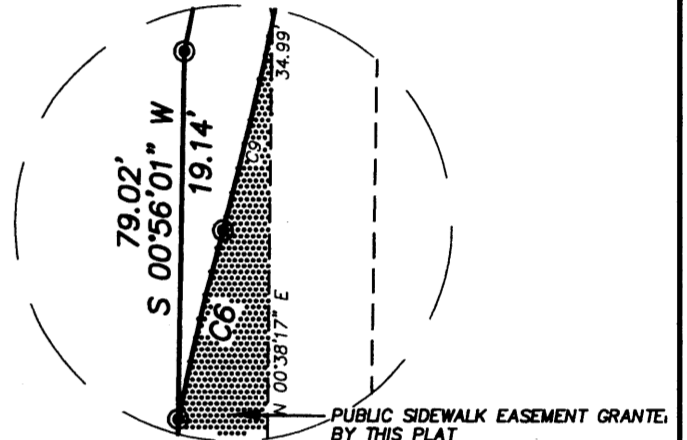
FOUND NO. 4 REBAR WITH YELLOW
 PLASTIC CAP "PS 11993"

* Tract B1-B-2
 SEE NOTE 5 ON SHEET 1
 AREA=0.0106 ACRES ±
 462 SQ. FT. ±

Tract B1-B-1
 AREA=0.5995 ACRES ±
 26,114 SQ. FT. ±



Detail "A"



Detail "B"

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

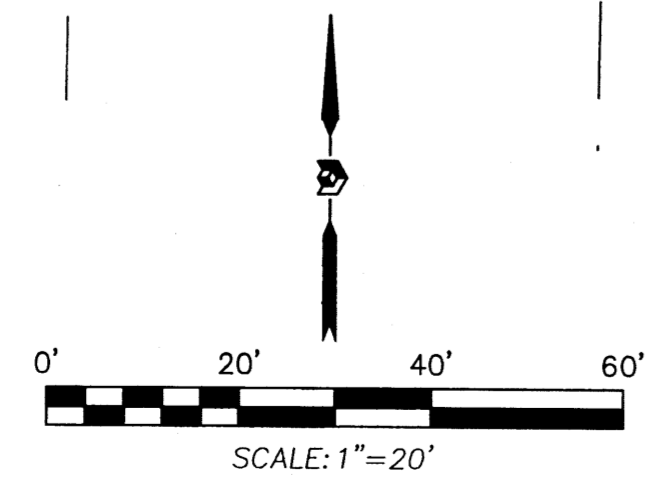
TRACT B1-A
 VIDEO ADDITION
 (08/23/1999, 99C-239)

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	150.63' (150.63')	28.19' (28.19')	14.14'	10°43'23" (10°43'23")	N 06°18'05" E (N 06°18'05" E)	28.15' (28.15')
C2	18.37' (18.37')	28.48' (28.84')	17.99'	88°49'03" (88°57'33")	N 46°35'13" E (N 45°56'26" E)	25.71' (25.87')
C3	18.37'	11.72'	6.07'	36°34'04"	N 20°27'44" E	11.53'
C4	18.37'	16.75'	9.01'	52°14'59"	N 64°52'15" E	16.18'
C5	158.62'	41.07'	20.65'	14°50'12"	N 07°52'56" E	40.96'
C6	141.37'	10.14'	5.07'	4°06'40"	S 13°14'35" W	10.14'
C7	18.37'	2.90'	1.45'	9°03'14"	S 43°16'23" W	2.90'
C8	15.31'	5.01'	2.53'	18°44'11"	S 40°18'54" W	4.98'
C9	158.62'	10.98'	5.49'	3°58'01"	N 13°19'01" E	10.98'

Line Table

LINE	BEARING	DISTANCE
L1	S 42°11'08" E	1.81'
L2	N 00°27'53" E	3.03'



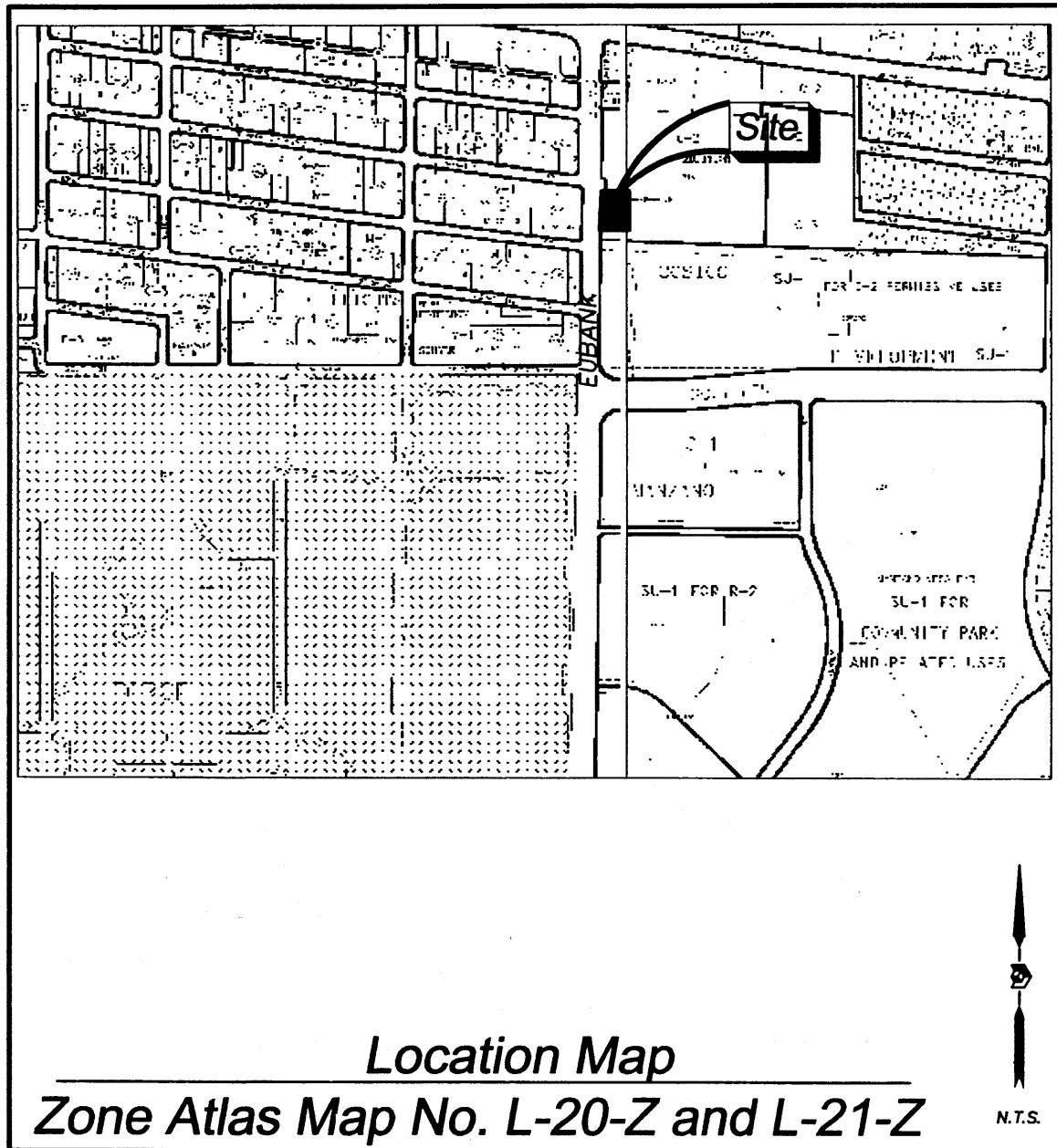
INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

PRECISION
 SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

C:\Penix\2010\101133P.dwg, 6/14/2011, 3:16:26 PM



RECORDING STAMP

Plat of
 Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 June 2011

Project No. 1006606
 Application No. 11DRB-70030
 Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
<i>R. C. Merrill</i> for CITY SURVEYOR	July 1, 2011 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

Legal Description

TRACT B1-B OF THE PLAT FOR VIDEO ADDITION TRACTS B1-A & B1-B, WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 23, 1999 IN PLAT BOOK 99C, PAGE 239, AS DOCUMENT NO. 1999109801, BEING MORE PARTICULARLY DESCRIBED BY NM STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "PS 6685" FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "6_L21" BEARS N 77°44'53" E, A DISTANCE OF 2181.76 FEET;

THENCE FROM SAID POINT OF BEGINNING, S 00°57'10" W, A DISTANCE OF 189.33 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°04'19" W, A DISTANCE OF 142.12 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF EUBANK BOULEVARD, SE, MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE FOR THE NEXT FOUR CALLS N 00°56'01" E, A DISTANCE OF 79.02 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 150.63 FEET, AN ARC LENGTH OF 28.19 FEET, A DELTA ANGLE OF 10°43'23", A CHORD BEARING OF N 06°18'05" E, AND A CHORD LENGTH OF 28.15 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°58'19" E, A DISTANCE OF 64.35 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 18.37 FEET, AN ARC LENGTH OF 28.48 FEET, A DELTA ANGLE OF 88°49'03", A CHORD BEARING OF N 46°35'13" E, AND A CHORD LENGTH OF 25.71 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE S 89°03'12" E, A DISTANCE OF 121.12 FEET; TO THE POINT OF BEGINNING, CONTAINING 0.6101 ACRES (26,576 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS B1-B-1 AND B1-B-2, VIDEO ADDITION.

Subdivision Data:

ZONING: C-2
 GROSS SUBDIVISION ACREAGE: 0.6101 ACRES±
 ZONE ATLAS INDEX NO: L-20-Z AND L-21-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: NOVEMBER 2010

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS AND TO GRANT A PUBLIC SIDEWALK EASEMENT. TRACT B1-B-2 HAS BEEN CONVEYED TO THE CITY OF ALBUQUERQUE BY WARRANTY DEED FILED MAY 19, 2011 AS DOCUMENT NO. 2011047358.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- TR. B1-B-2 CONVEYED TO THE CITY OF ALBUQUERQUE FOR PUBLIC STREET RIGHT OF WAY. (05/19/2011, DOC. NO. 2011047358)

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Utility Notes

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- NEW MEXICO GAS COMPANY, FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

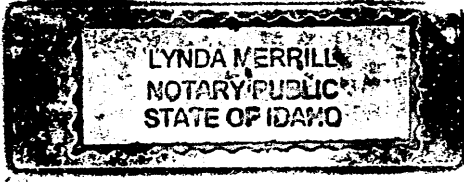
INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

Free Consent-Owner of Tract B1-B-1

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT HE HOLDS AMONG HIM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER GRANTS THE PUBLIC SIDEWALK EASEMENT SHOWN ON THIS PLAT.

Ronald A. Wolfe 6-23-11
 NEW MEXICO WOLFE PROPERTIES, LLC, MONTANA LIMITED LIABILITY COMPANY DATE
 BY: RONALD A. WOLFE
 ITS: MEMBER AND PRESIDENT
 OWNER PROPOSED TRACT B1-B-1



Acknowledgment

STATE OF IDAHO) SS
 COUNTY OF MADISON)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF June, 2011 BY NEW MEXICO WOLFE PROPERTIES, LLC, A MONTANA LIMITED LIABILITY COMPANY, BY: RONALD A. WOLFE ITS: MEMBER AND PRESIDENT.

BY *Lynda Merrill* NOTARY PUBLIC MY COMMISSION EXPIRES: 4-4-2014

Free Consent-Owner of Tract B1-B-2

THE PLATTING OF TRACT B1-B-2 IS WITH THE FREE CONSENT, AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE CITY OF ALBUQUERQUE, AND IS IN CONFORMITY WITH THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SECTION 14-14-9-2.

Robert J. Perry July 18, 2011
 BY: ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION. DATE
 OWNER PROPOSED TRACT B1-B-2

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF July, 2011 BY ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER, CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, OWNER PROPOSED TRACT B1-B-2.

BY *Marc E. Chavez* MY COMMISSION EXPIRES: 2/17/13
 NOTARY PUBLIC

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 6/23/11
 LARRY W. MEDRANO
 N.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Plat of
Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 June 2011

RECORDING STAMP

Point of Beginning

A.G.R.S. MONUMENT "L121"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,480,916.906
 E=1,560,988.820
 PUBLISHED EL=5537.222 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999646208
 DELTA ALPHA ANGLE=-0°09'09.09"

A.G.R.S. MONUMENT "6_L21"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,481,282.770
 E=1,558,220.734
 PUBLISHED EL=5503.276 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999648352
 DELTA ALPHA ANGLE=-0°09'28.24"

TRACT B1-A
 VIDEO ADDITION
 (08/23/1999, 99C-239)

FOUND NO. 4 REBAR WITH YELLOW
 PLASTIC CAP "PS 11993"

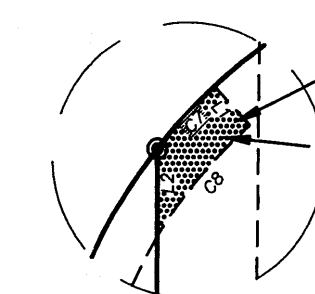
FOUND REBAR WITH ALUMINUM
 CAP "PS 6685"
 (REFLECTED)

FOUND NO. 4 REBAR WITH YELLOW
 PLASTIC CAP "PS 11993"

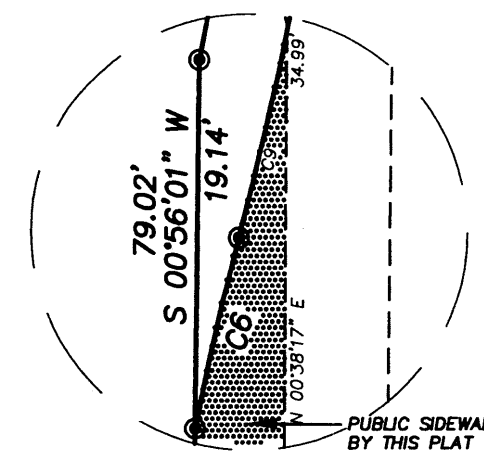
* Tract B1-B-2
 SEE NOTE 5 ON SHEET 1
 AREA=0.0106 ACRES ±
 462 SQ. FT. ±

Tract B1-B-1
 AREA=0.5995 ACRES ±
 26,114 SQ. FT. ±

Eubank Boulevard, S.E.
 (106' PUBLIC ROW)



Detail "A"



Detail "B"

Legend

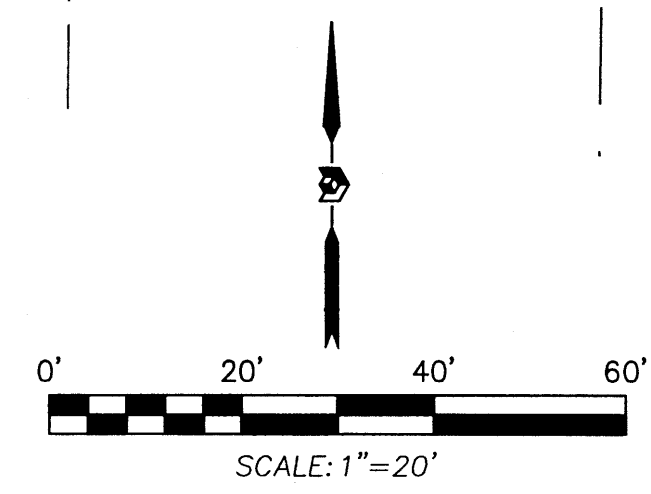
- TRACT B1-A
 VIDEO ADDITION
 (08/23/1999, 99C-239)
- N 90°00'00" E MEASURED BEARING AND DISTANCES
 - (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
 - FOUND AND USED MONUMENT AS DESIGNATED
 - ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANG.	CHORD BEARING	CHORD LENGTH
C1	150.63'	28.19'	14.14'	10°43'23"	N 06°18'05" E	28.15'
	(150.63')	(28.19')		(10°43'23")	(N 06°16'15" E)	(28.15')
C2	18.37'	28.48'	17.99'	88°49'03"	N 46°35'13" E	25.71'
	(18.37')	(28.84')		(88°57'35")	(N 45°56'26" E)	(25.97')
C3	18.37'	11.72'	6.07'	36°34'04"	N 20°27'44" E	11.53'
C4	18.37'	16.75'	9.01'	52°14'59"	N 64°52'15" E	16.18'
C5	158.62'	41.07'	20.65'	14°50'12"	N 07°52'56" E	40.96'
C6	141.37'	10.14'	5.07'	4°06'40"	S 13°14'35" W	10.14'
C7	18.37'	2.90'	1.45'	9°03'14"	S 43°16'23" W	2.90'
C8	15.31'	5.01'	2.53'	18°44'11"	S 40°18'54" W	4.98'
C9	158.62'	10.98'	5.49'	3°58'01"	N 13°19'01" E	10.98'

Line Table

LINE	BEARING	DISTANCE
L1	S 42°11'08" E	1.81'
L2	N 00°27'53" E	3.03'



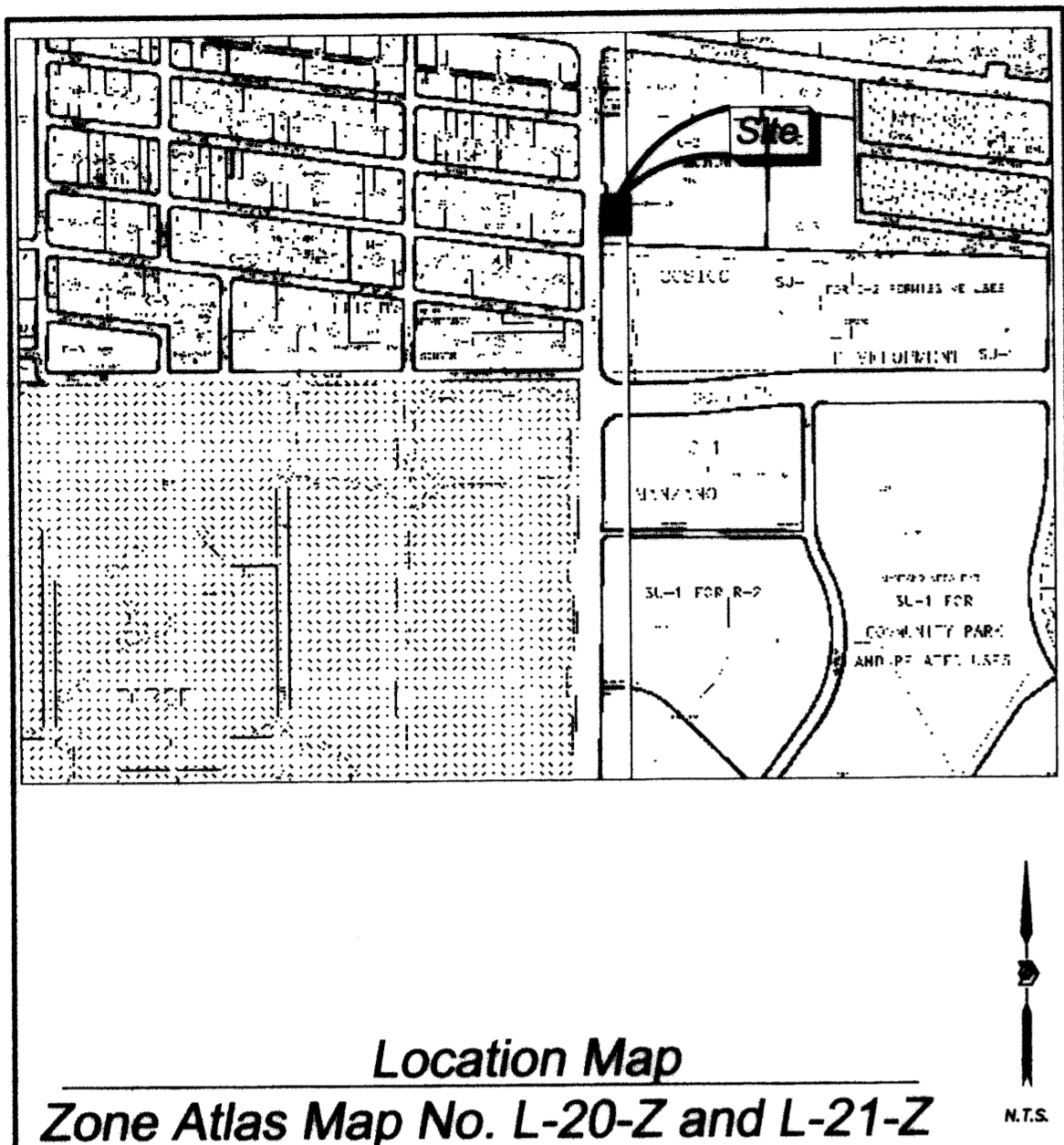
PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90635
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N., RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

G:_meta\2010\101133P.dwg, 6/14/2011, 3:16:26 PM



RECORDING STAMP

Plat of
Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 February 2011

Legal Description

TRACT B1-B OF THE PLAT FOR VIDEO ADDITION TRACTS B1-A & B1-B, WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 23, 1999 IN PLAT BOOK 99C, PAGE 239, AS DOCUMENT NO. 1999109801, BEING MORE PARTICULARLY DESCRIBED BY NM STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "PS 6685" FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "6.L21" BEARS N 77°44'53" E, A DISTANCE OF 2181.76 FEET;

THENCE FROM SAID POINT OF BEGINNING, S 00°57'10" W, A DISTANCE OF 189.33 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°04'19" W, A DISTANCE OF 142.12 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF EUBANK BOULEVARD, SE, MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE FOR THE NEXT FOUR CALLS N 00°56'01" E, A DISTANCE OF 79.02 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 150.63 FEET, AN ARC LENGTH OF 28.19 FEET, A DELTA ANGLE OF 10°43'23", A CHORD BEARING OF N 05°18'05" E, AND A CHORD LENGTH OF 28.15 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°58'19" E, A DISTANCE OF 64.35 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 18.37 FEET, AN ARC LENGTH OF 28.48 FEET, A DELTA ANGLE OF 88°49'03", A CHORD BEARING OF N 46°35'13" E, AND A CHORD LENGTH OF 25.71 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE S 89°03'12" E, A DISTANCE OF 121.12 FEET; TO THE POINT OF BEGINNING, CONTAINING 0.6101 ACRES (26,576 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS B1-B-1 AND B1-B-2, VIDEO ADDITION.

Project No. _____

Application No. 11DRB-

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
<i>[Signature]</i> CITY SURVEYOR	2-8-11 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

Location Map

Zone Atlas Map No. L-20-Z and L-21-Z

Subdivision Data:

ZONING: C-2
 GROSS SUBDIVISION ACREAGE: 0.6101 ACRES±
 ZONE ATLAS INDEX NO: L-20-Z AND L-21-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: NOVEMBER 2010

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS AND TO GRANT A PUBLIC SIDEWALK EASEMENT. TR. B1-B-2 IS UNDER CONTRACT FOR CONVEYANCE TO THE CITY OF ALBUQUERQUE FOR PUBLIC STREET RIGHT OF WAY.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- TR. B1-B-2 IS UNDER CONTRACT FOR CONVEYANCE TO THE CITY OF ALBUQUERQUE FOR PUBLIC STREET RIGHT OF WAY.

Utility Notes

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- NEW MEXICO GAS COMPANY** FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PUBLIC SERVICE COMPANY OF NEW MEXICO** FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- QWEST** FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST** FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANITOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Ronald A. Wolfe 2-7-11
 NEW MEXICO WOLFE PROPERTIES, LLC, A MONTANA LIMITED LIABILITY COMPANY DATE
 BY: RONALD A. WOLFE
 IT'S: MEMBER AND PRESIDENT

Acknowledgment

STATE OF ARIZONA) SS
 COUNTY OF MARICOPA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3 DAY OF Feb, 2011 BY
 NEW MEXICO WOLFE PROPERTIES, LLC, A MONTANA LIMITED LIABILITY COMPANY, BY: RONALD A. WOLFE
 IT'S: MEMBER AND PRESIDENT.

BY *[Signature]* MY COMMISSION EXPIRES: 10/13
 NOTARY PUBLIC

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 2/1/11
 LARRY W. MEDRANO DATE
 N.M.S. No. 11993



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION

Plat of
Tracts B1-B-1 and B1-B-2
Video Addition
 Albuquerque, Bernalillo County, New Mexico
 February 2011

RECORDING STAMP

A.G.R.S. MONUMENT "1.L21R"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,480,916.906
 E=1,560,988.820
 PUBLISHED EL=5537.222 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999646208
 DELTA ALPHA ANGLE=-0°09'09.09"

A.G.R.S. MONUMENT "6.L21"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,481,282.770
 E=1,558,220.734
 PUBLISHED EL=5503.276 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999648352
 DELTA ALPHA ANGLE=-0°09'28.24"

Point of Beginning

TRACT B1-A
 VIDEO ADDITION
 (08/23/1999, 99C-239)

FOUND NO. 4 REBAR WITH YELLOW
 PLASTIC CAP "PS 11993"

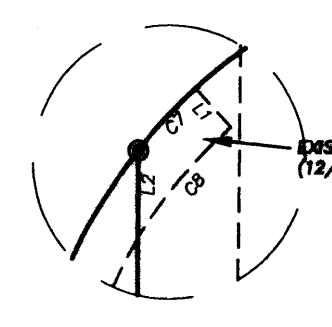
FOUND REBAR WITH ALUMINUM
 CAP "PS 6885"
 (REJECTED)

FOUND NO. 4 REBAR WITH YELLOW
 PLASTIC CAP "PS 11993"

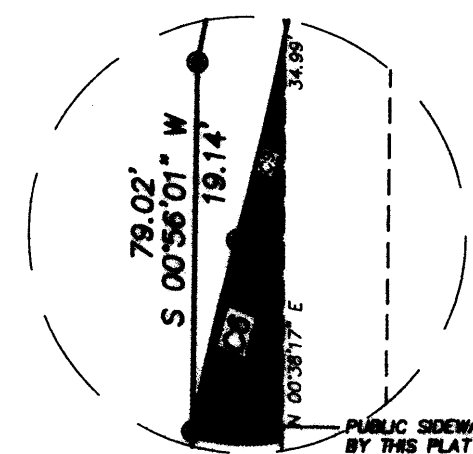
Tract B1-B-2
 SEE NOTE 5 ON SHEET 1
 AREA=0.0106 ACRES ±
 482 SQ. FT. ±

Tract B1-B-1
 AREA=0.5995 ACRES ±
 26,114 SQ. FT. ±

Eubank Boulevard, S.E.
 (106' PUBLIC ROW)



Detail "A"



Detail "B"

Legend

- N 90°00'00" E** MEASURED BEARINGS AND DISTANCES
 (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
 ○ FOUND AND USED MONUMENT AS DESIGNATED
 ● DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
 △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

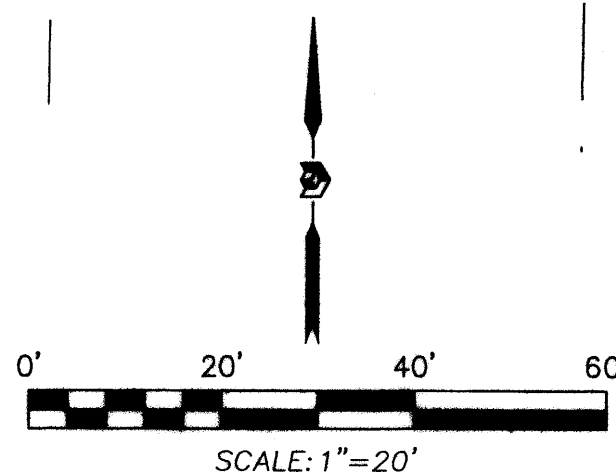
TRACT B1-A
 VIDEO ADDITION
 (08/23/1999, 99C-239)

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	150.63' (199.83')	28.19' (28.19')	14.14'	10°43'23" (10°43'23")	N 06°18'05" E (N 06°18'05" E)	28.15' (28.15')
C2	18.37' (18.37')	28.48' (28.84')	17.99'	88°48'03" (88°57'36")	N 46°35'13" E (N 46°35'36" E)	25.71' (25.97')
C3	18.37'	11.72'	6.07'	36°34'04"	N 20°27'44" E	11.53'
C4	18.37'	16.75'	9.01'	52°14'59"	N 64°32'15" E	16.18'
C5	158.62'	41.07'	20.65'	14°50'12"	N 07°32'36" E	40.96'
C6	141.37'	10.14'	5.07'	4°06'40"	S 13°14'35" W	10.14'
C7	18.37'	2.90'	1.45'	8°03'14"	S 43°16'23" W	2.90'
C8	15.31'	5.01'	2.53'	16°44'11"	S 40°18'54" W	4.98'
C9	158.62'	10.96'	5.49'	3°56'01"	N 13°19'01" E	10.96'

Line Table

LINE	BEARING	DISTANCE
L1	S 42°11'08" E	1.81'
L2	N 00°27'53" E	3.03'

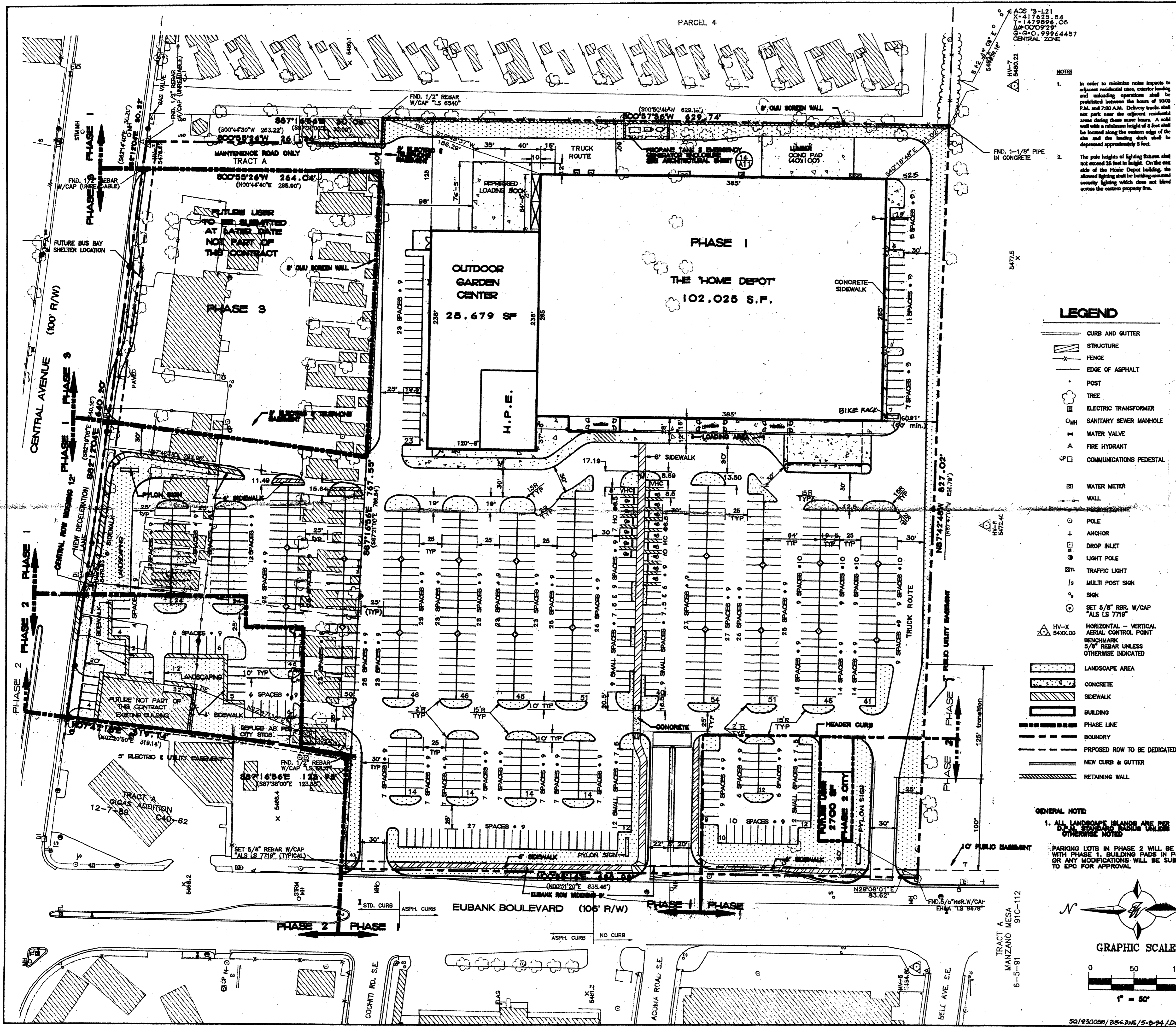


PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER NEW MEXICO WOLFE PROPERTIES, LLC
 SECTION 28, TOWNSHIP 10 N, RANGE 4 E,
 SUBDIVISION VIDEO ADDITION



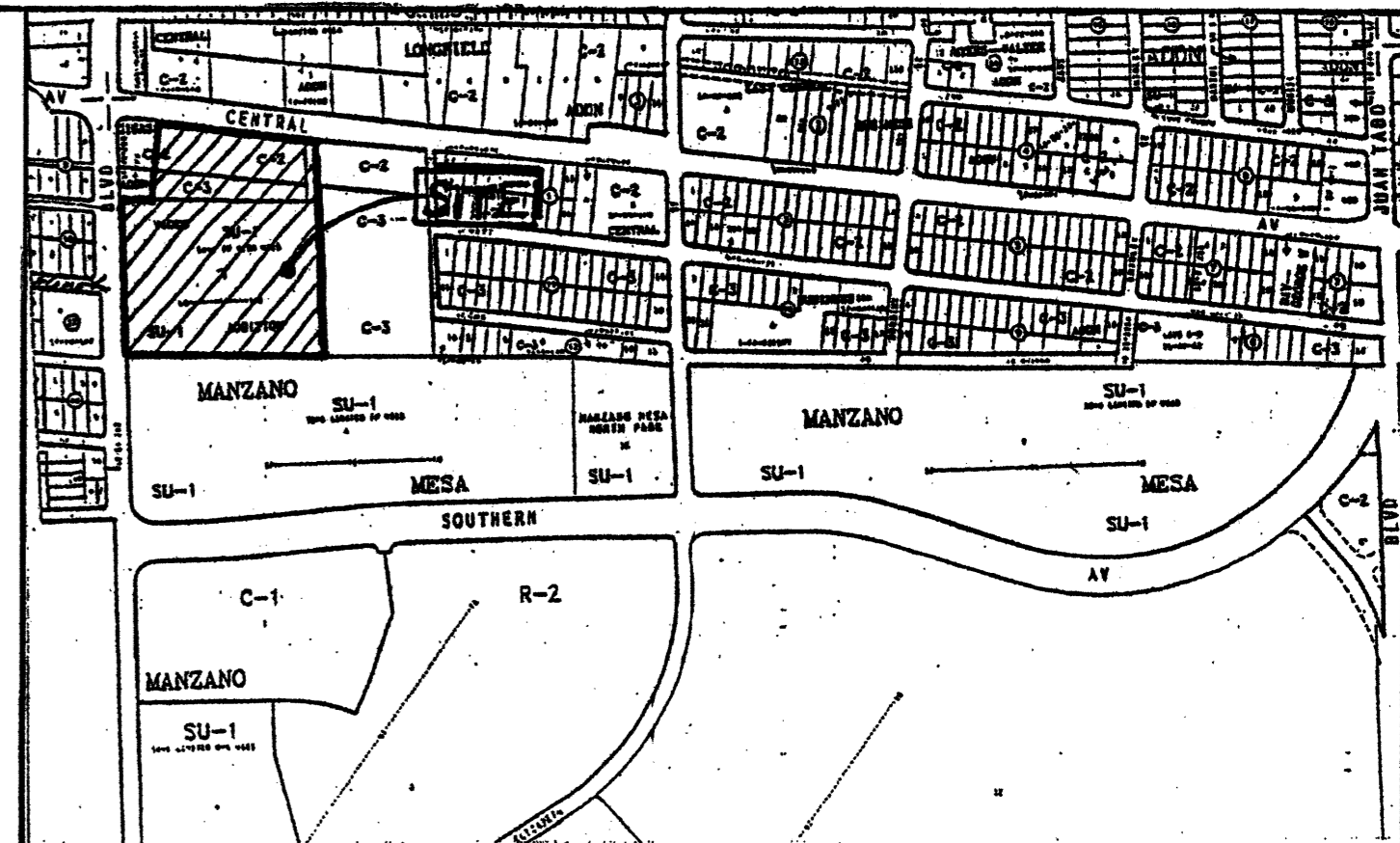
NOTE

- In order to minimize noise impacts to adjacent residential uses, exterior loading and unloading operations shall be prohibited between the hours of 10:00 P.M. and 7:00 A.M. Delivery trucks shall not park near the adjacent residential areas during these same hours. A solid wall with a minimum height of 8 feet shall be located along the eastern edge of the site and the loading dock shall be depressed approximately 5 feet.
- The pole heights of lighting fixtures shall not exceed 25 feet in height. On the east side of the Home Depot building, the allowed lighting shall be building-mounted security lighting which does not bleed across the eastern property line.

- LEGEND**
- CURB AND GUTTER
 - ▭ STRUCTURE
 - x- FENCE
 - EDGE OF ASPHALT
 - POST
 - TREE
 - ⊕ ELECTRIC TRANSFORMER
 - SANITARY SEWER MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - COMMUNICATIONS PEDESTAL
 - WATER METER
 - WALL
 - POLE
 - ANCHOR
 - DROP INLET
 - LIGHT POLE
 - TRAFFIC LIGHT
 - MULTI POST SIGN
 - SIGN
 - SET 5/8" RBR W/CAP ALS LS 7719"
 - HORIZONTAL - VERTICAL AERIAL CONTROL POINT BENCHMARK 5/8" RBR UNLESS OTHERWISE INDICATED
 - ▨ LANDSCAPE AREA
 - ▨ CONCRETE
 - ▨ SIDEWALK
 - ▨ BUILDING
 - ▨ PHASE LINE
 - ▨ BOUNDARY
 - ▨ PROPOSED ROW TO BE DEDICATED
 - ▨ NEW CURB & GUTTER
 - ▨ RETAINING WALL

GENERAL NOTE

- ALL LANDSCAPE ISLANDS ARE PER CITY STANDARDS UNLESS OTHERWISE NOTED
- PARKING LOTS IN PHASE 2 WILL BE BUILT WITH PHASE 1. BUILDING PADS IN PHASE 2 OR ANY MODIFICATIONS WILL BE SUBMITTED TO EPC FOR APPROVAL



PROJECT INFORMATION

Project Title:	The Home Depot
Address:	The Home Depot 601 Placentia Fullerton, California 92631
Owner:	SU-1 for C-2 Uses
Soning:	L-21
Zone Atlas Page:	Tract A and B of Video Addition and Parcels 1, 2, and 3
Legal Description:	Filed 4/5/91 Book 91C Folio 112
Construction Type:	VM Construction
Total Site Acreage:	16.38 Acres
Parking Required:	737 spaces
Handicap Required:	16 spaces
Parking Provided:	Home Depot Regular 709 spaces Handicap 17 spaces Subtotal 726
Future Pad Regular:	45 spaces
Total Spaces Provided:	771 spaces
Less Transit Service 10% Credit:	700

Site Specific Uses:

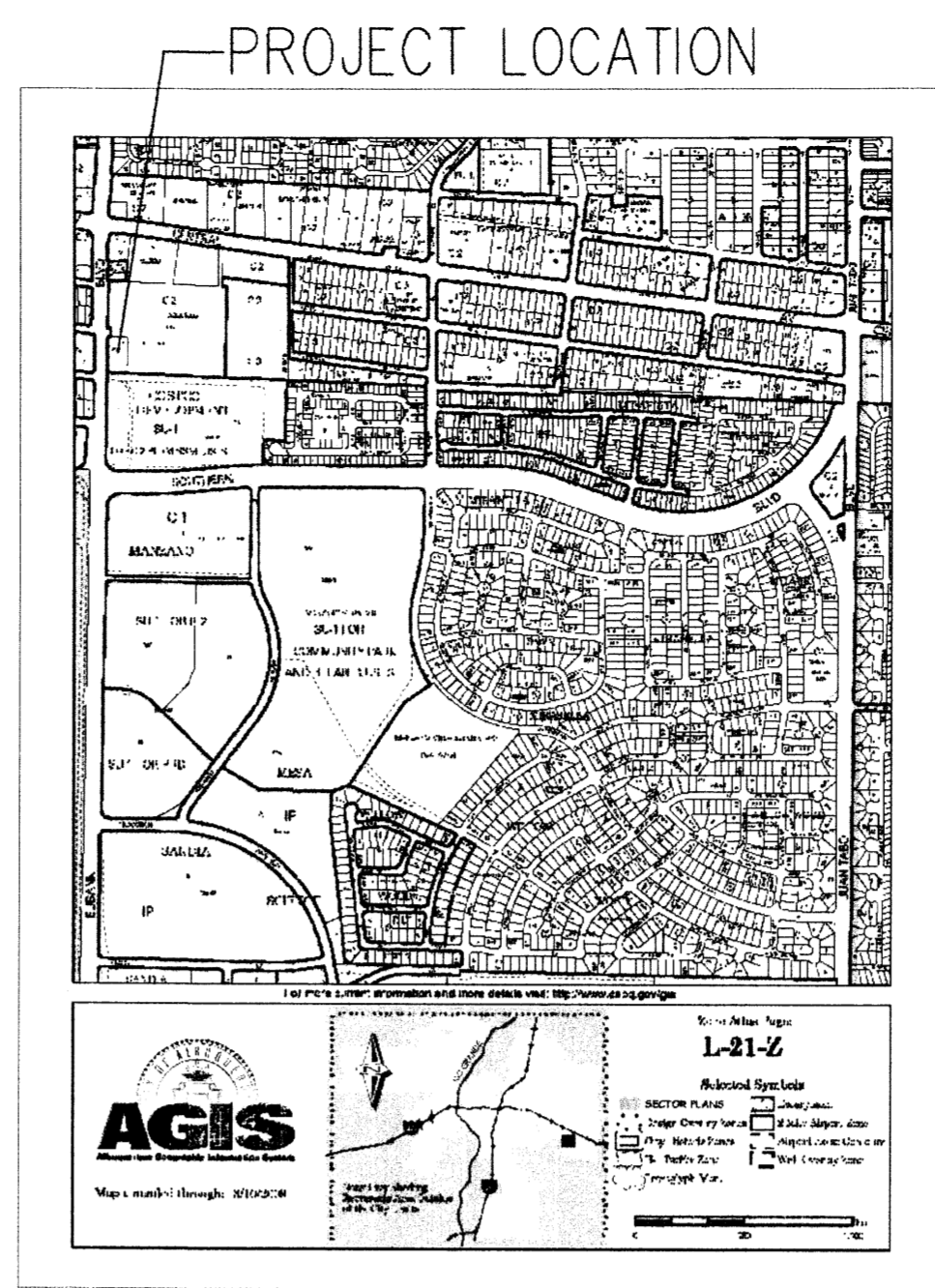
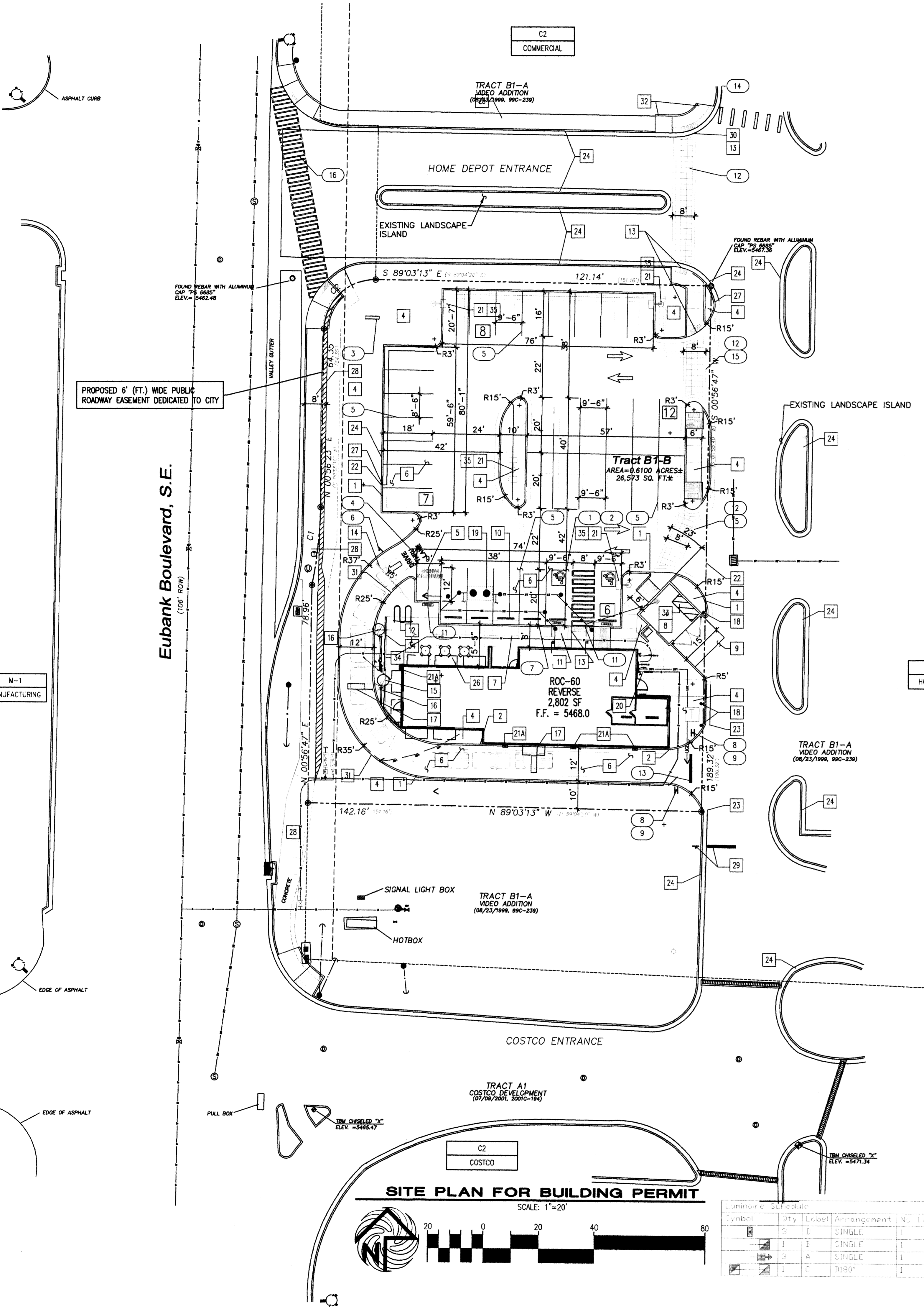
Commercial Retail Use:
These sites include unloading merchandise out of flatbed trucks along the service area; unlimited delivery rights; the sale of seasonal items in the parking lot in front of the building, including the sale of Christmas trees in November and December; unlimited sales from an outdoor enclosed garden center; unlimited sales from the front perimeter sidewalk; the sale of food, outdoors or indoors, accompanied by tables and seating (but in an area no larger than 2,000 square feet).

Building Pads:	
Home Depot (C-2)	102,025
Garden Center (C-2)	28,679
Future (C-2)	
2700 Sq Ft/Future Pad	2,700
9000 Sq Ft/Future Pad	2,000
Total	142,404
Landscaping Provided:	96,628.5520 sq ft
Required 15% of Paved Area:	58,911.90 sq ft
Sidewalk:	8,820.00 sq ft
Paving:	383,924.5382 sq ft

APPROVALS Z-94-45 EPC: 3-17-94

<i>Fred Plagen</i> CITY ENGINEER DEPARTMENT	6-21-94
<i>Jack Cloud</i> PLANNING DEPARTMENT	8-24-94
<i>Carl Schneider-Dumont</i> PARKS AND GENERAL SERVICES DEPT.	5/10/94
<i>Nehal Patel</i> TRAFFIC ENGINEERING	6-21-94
<i>Robert W. Kone</i> PUBLIC WORKS - UTIL. DEVL. DIV.	5-10-94

ENGINEER'S SEAL <i>Ronald R. Bohannan</i> P.E. #7888	ALBUQUERQUE II HOME DEPOT	DRAWN BY MEDINA
	SITE PLAN	DATE 1-10-94
	TERRA WEST DEVELOPMENT MANAGEMENT SERVICES	JRS.DWG
	4800 MONTGOMERY BLVD. N.E., SUITE 3 ALBUQUERQUE, NEW MEXICO 87109 (505)863-7582	SHEET # C-8
		JOB # 930038



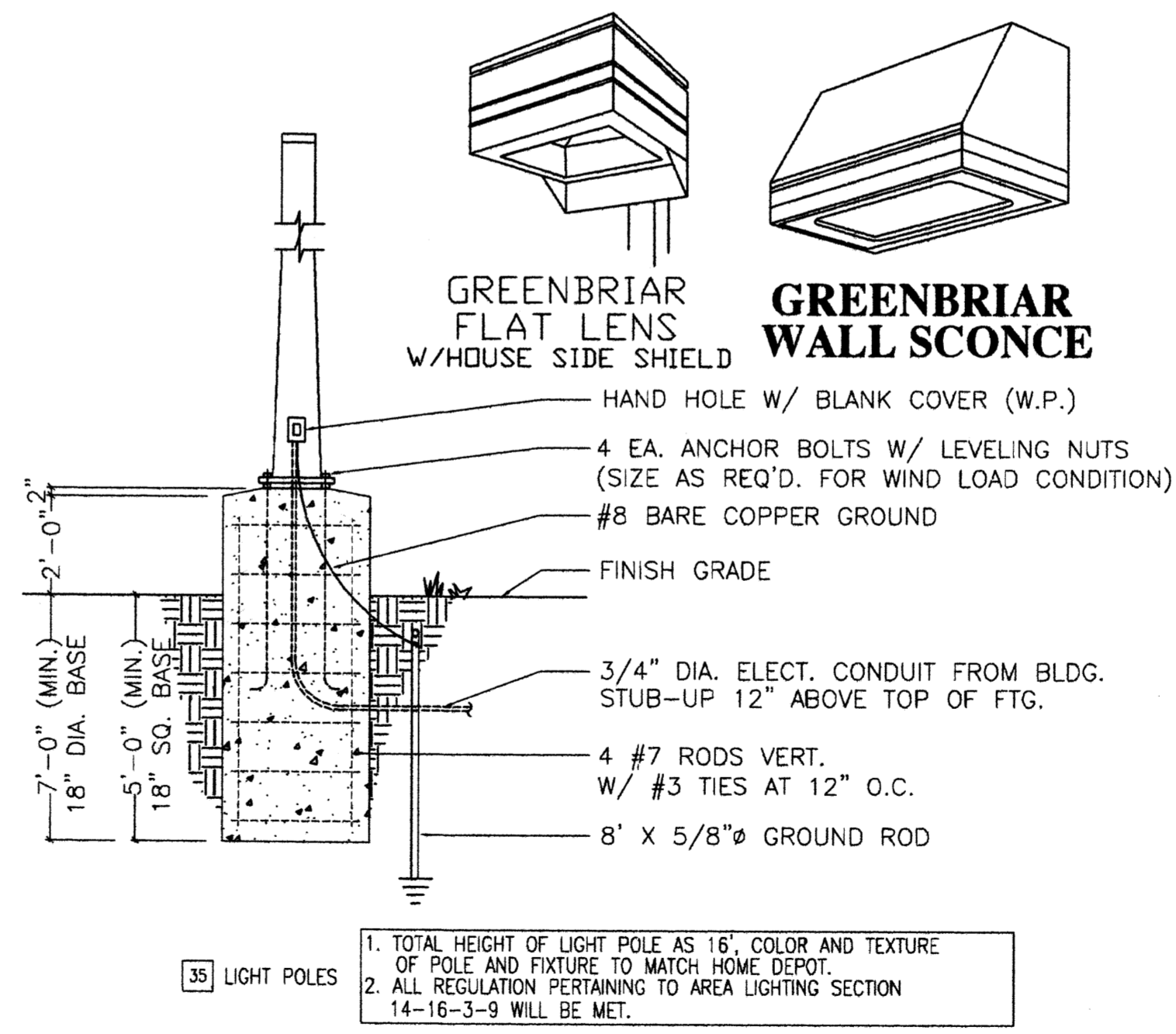
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABC/WIA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LDT	Illuminance	Fc	1.22	9.8	0.0	NA	NA
PAVED AREA SUMMARY	Illuminance	Fc	3.84	9.8	0.6	6.40	16.33

Luminaire Schedule

Symbol	Qty	Label	Arrangement	N	Lamps	Lumens	Total Lumens	LLF	Description	Total Watts
1	1	D	SINGLE	1	13000	13000	13000	0.720	GSWS-3-150-CMH-F	185
2	1	E	SINGLE	1	30000	30000	30000	0.700	GFM 5 320 PSMV F SINGLE DN 14' POLE + 2' BASE	368
3	1	A	SINGLE	1	30000	30000	30000	0.700	GFM FP 320 PSMV F HSS SINGLE DN 14' POLE + 2' BASE	368
4	1	C	D180°	1	30000	60000	60000	0.700	GFM 5 320 PSMV F D180° DN 14' POLE + 2' BASE	736

- TRAFFIC CONTROL & SIGNAGE**
- ACCESSIBLE PARKING STALLS (TWO PLACES) (1/17)
 - HANDICAP PARKING PAVEMENT SYMBOL (2 PLACES)
 - BURGER KING STANDARD MONUMENT SIGN (9/17)
 - "DRIVE-THRU" GRAPHICS PAVEMENT SYMBOL
 - 4" WHITE STRIPING (PAINTED)
 - STANDARD DIRECTIONAL SIGNS (3/17)
 - HANDICAP PARKING SIGN (2 PLACES)
 - 30" HIGH INTENSITY "STOP" SIGN
 - "DO NOT ENTER" SIGN
 - EXISTING PARKING STRIPING
 - MOTOR CYCLE PARKING SIGN
 - EXISTING ASPHALT PAVEMENT CROSSWALK AREA TO BE SAW CUT AND REMOVED. BRICK PATTERNED CONCRETE TO BE PROVIDED.
 - 24" WHITE STOP BAR (PAINT).
 - EXISTING CROSSWALK STRIPING.
 - 8' INTEGRALLY COLORED PEDESTRIAN CONC. WALK
 - 8' PAINTED CROSS WALK
 - 8' PAINTED CROSS WALK
- NOTE:** 1. ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.
 2. ALL SIGNAGE AND ILLUMINATED PARAPET BAND SHALL COMPLY WITH C-2 REGULATIONS AND GENERAL SIGN REGULATIONS OF ZONING CODE.

- SITE PLAN NOTES**
- CONCRETE CURB AND GUTTER
 - 6" TO 10" CURB TRANSITION
 - 10" CONCRETE BARRIER CURB
 - LANDSCAPE AREA
 - MOTOR CYCLE PARKING SPACE (2 PLACES)
 - CONCRETE PAVEMENT
 - BRUSHED CONCRETE WALK (MONOLITHIC CONCRETE CURB AND SIDEWALK)
 - MASONRY TRASH/DUMPSTER ENCLOSURE AND DETAILS (11/17)
 - CONCRETE APRON AT DUMPSTER ENCLOSURE
 - WHEEL STOP (6 PLACES)
 - SIDEWALK HANDICAP RAMP
 - BIKE RACK
 - DETECTABLE WARNING
 - STANDARD DRIVE-THRU CLEARANCE SIGN
 - PREVIEW BOARD
 - MENU BOARD AND ORDER CONFIRMATION UNIT
 - PRE-FAB DETECTOR LOOP
 - TYPICAL GUARD POST
 - TYPICAL GREASE INTERCEPTOR
 - GAS METER AND REGULATOR
 - LIGHT POLES (SEE ELECTRICAL PLANS FOR DETAILS)
 - BUILDING MOUNTED WALL SCONCE
 - SAWCUT AND REMOVE EXISTING PAVEMENT TO LIMITS SHOWN
 - SAWCUT AND REMOVE EXISTING CURBING FOR INSTALLATION OF DRIVE THRU LANE
 - EXISTING CURB AND GUTTER
 - EXISTING SIDEWALK
 - 145 SF DINNING PATIO WITH 3 TABLES, 3 UMBRELLAS AND 12 SEATS
 - CONCRETE CURB TO MATCH EXISTING.
 - EXISTING 6" (SIX FT.) SIDEWALK TO BE REMOVED AND A NEW 8' (EIGHT FT.) WIDE TRAIL SHALL BE CONSTRUCTED PER CITY STANDARDS AND SPECIFICATION.
 - EXISTING STOP SIGN AND STOP BAR TO BE REMOVED.
 - CORNER RAMP.
 - CURB CUT FOR LANDSCAPING. (1/17)
 - SAW CUT AND MATCH EXISTING SIDEWALK.
 - 4'x10' DEDICATED RECYCLE AREA
 - 8' INTEGRALLY COLORED CMJ BLOCK SCREEN WALL 4' A.F.

PARKING CALCULATIONS

(SEATS/4) + 12 PATIO SEATS - 10% BUS ROUTE =
 (50 seats/4) + 12 Patio seats/4 = 62 SEATS/4 =
 15.5 - 1.55 (10%) = 13.95 OR 14 PARKING SPACES REQUIRED

PROPOSED SPACES = 31 + 2 HCP = 33

BIKE RACK = 1 PER 20 SPACES
 32/20 = 1.6 PROPOSED 5

MOTOR CYCLE = 1 PER 25 SPACES
 32/25 = 1.28 PROPOSED = 2

6 PARKING SPACE COUNT PER ROW

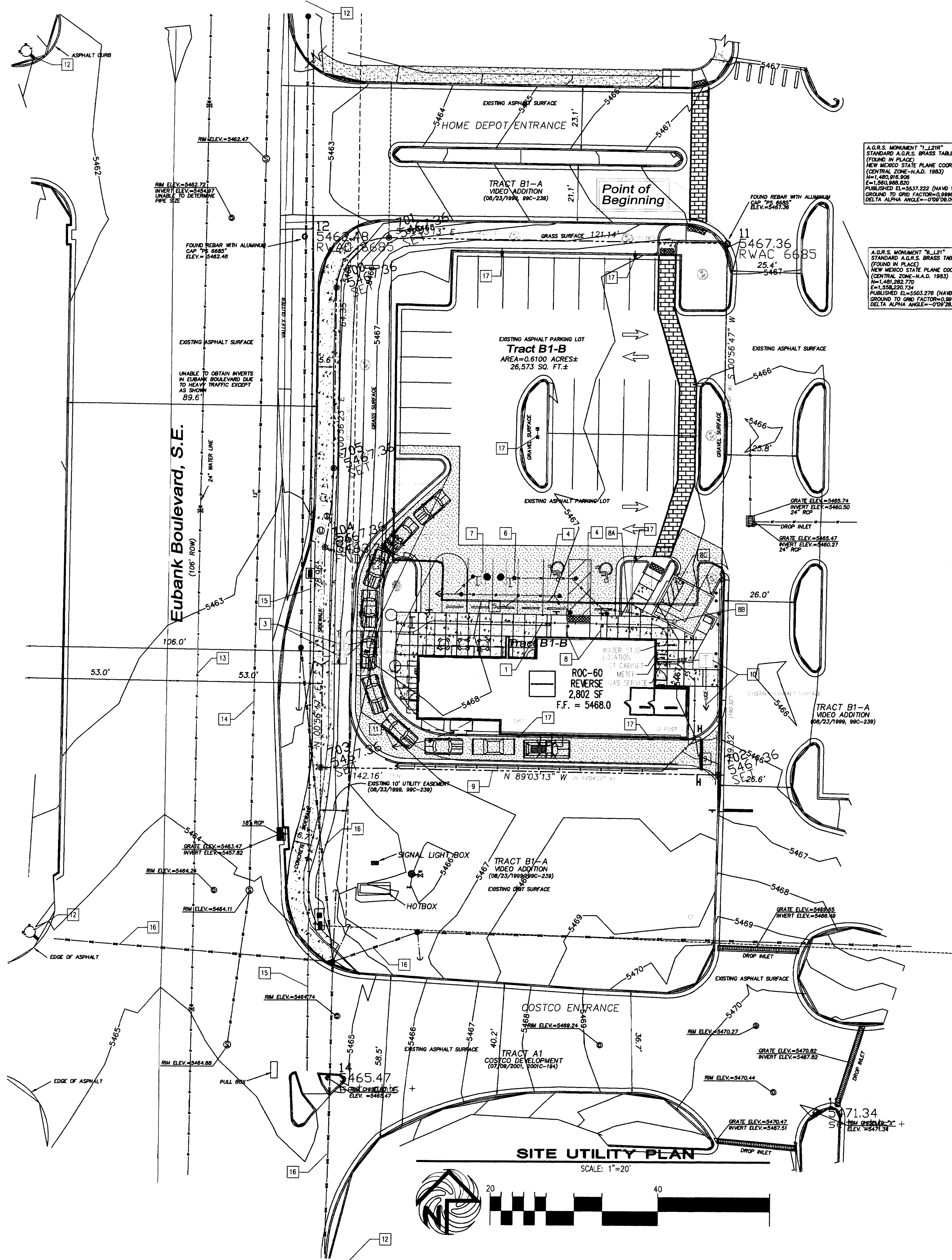
NOTE:
 1. BUS STOPS ARE LOCATED AT THE INTERSECTION OF EUBANK BLVD. S.E. AND CENTRAL AVE. N.E. ALSO AT THE INTERSECTION OF EUBANK BLVD. AND SOUTHERN AVE. S.E. WITH THE BUS TRAVELING ON EUBANK BLVD.
 2. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB

MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

PROJECT TITLE: 200 EUBANK BLVD. S.W.C. OF EUBANK AND CENTRAL ALBUQUERQUE, NEW MEXICO
JOB NO.: 200 EUBANK
DRAWN BY: S
PROJECT NUMBER: STEPHEN DUNBAR, AIA 200 EUBANK
SHEET TITLE: SP- FOR BLDG. PERMIT

DATE: _____
SCALE: AS NOTED
REVISION: _____
BY: _____
DATE: _____

C2



CITY NOTES:
 1. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC R.O.W. AND SITE DRIVE.

UTILITY PLAN DATA

- WATER**
- 1 2" DOMESTIC WATER
 - 2 1 1/2" DOMESTIC WATER METER BOX, METER AND BACKFLOW PREVENTOR
 - 3 1" IRRIGATION METERBOX, METER AND BACKFLOW PREVENTOR
- SEWER**
- 4 PROPOSED 6" PVC GREASE LINE.
 - 5 6" PVC SANITARY SEWER PIPE
 - 6 CLEAN-OUT (C.O.) TYPICAL
 - 7 GREASE INTERCEPTOR
 - 8 FROM BUILDING WITH 2-WAY CLEANOUT
 - 8A 4" PVC SANITARY SEWER PIPE.
 - 8B DUMPSTER DRAIN WITH COVER (EXTRA HEAVY DUTY CAST IRON BODY WITH DUCTILE IRON COVER).
 - 8C 4'x10' DEDICATED RECYCLE AREA.
- GAS**
- 9 CONTRACTOR SHALL COORDINATE NEW GAS SERVICE CONNECTION WITH GAS SERVICE PROVIDER.
- ELECTRIC**
- 10 CONTRACTOR SHALL COORDINATE CONNECTION POINT, SERVICE SIZE, TRANSFORMER PAD CONSTRUCTION AND LOCATION OF TRANSFORMER PAD WITH ELECTRIC SERVICE PROVIDER PRIOR TO CONSTRUCTION. G.C. TO SUPPLY NECESSARY UNDERGROUND CONDUITS AFTER TRANSFORMER LOCATION IS FINALIZED.
- PHONE**
- 11 APPROXIMATE LOCATION OF TELEPHONE SERVICE CONNECTION INTO BUILDING. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION. CONTRACTOR SHALL COORDINATE CONDUIT SIZE, CONNECTION POINT AND SERVICE SIZE WITH TELEPHONE SERVICE PROVIDER PRIOR TO CONSTRUCTION.
- EXISTING UTILITIES**
- 12 EXISTING FIRE HYDRANT
 - 13 EXISTING 24" WATER MAIN
 - 14 EXISTING 12" SANITARY SEWER MAIN
 - 15 EXISTING GAS MAIN
 - 16 EXISTING OVER HEAD POWER LINES

NOTES:

- LOCATIONS OF EXISTING DOMESTIC WATER, SANITARY SEWER AND GAS STUB-OUTS FROM THE MAINS TO THE SITE, ARE NOT KNOWN AT THIS TIME. ASBUILT DRAWING FILES HAVE BEEN ORDERED FROM THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT BY THE SURVEYOR.
- LOCATIONS OF PROPOSED WATER METER, LANDSCAPE METER AND APPROPRIATE BACKFLOW PREVENTORS ARE SCHEMATIC. ASBUILT DRAWING FILES HAVE BEEN ORDERED FROM THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT BY THE SURVEYOR.
- PROPOSED ONSITE WATER, SANITARY SEWER, AND GAS SERVICE ARE SCHEMATIC IN NATURE. ACTUAL LAYOUT AND CONNECTIONS TO STUB-OUTS SHALL BE SHOWN ONCE THE SURVEYOR OBTAINS THE ASBUILT DRAWINGS.

A.G.R.S. MONUMENT "I, L210" STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,482,816.808 E=1,560,888.820 PUBLISHED EL.=5437.222 (NAD 1988) GROUND TO GRID FACTOR=0.999948352 DELTA ALPHA ANGLE=-0°09'28.09"

A.G.R.S. MONUMENT "B, L21" STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,481,282.770 E=1,558,223.734 PUBLISHED EL.=5437.278 (NAD 1988) GROUND TO GRID FACTOR=0.999948352 DELTA ALPHA ANGLE=-0°09'28.24"

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 2925 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

PROJECT TITLE
200 EUBANK BLVD.
 S.W.C. OF EUBANK AND CENTRAL ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER
 JOB NO. 200 EUBANK

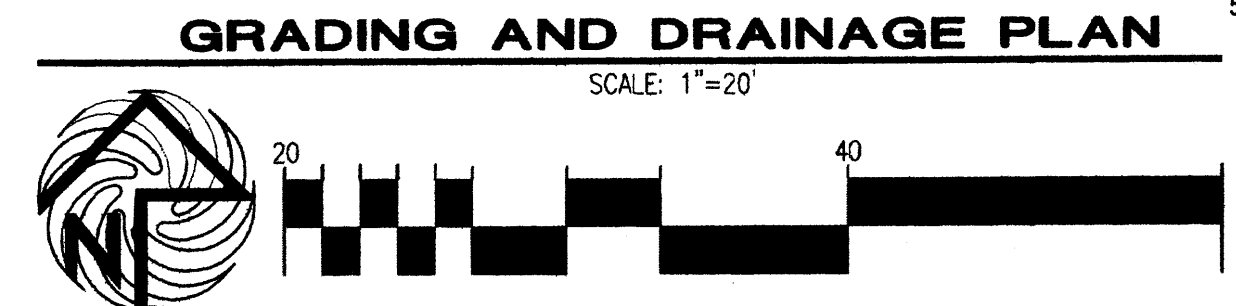
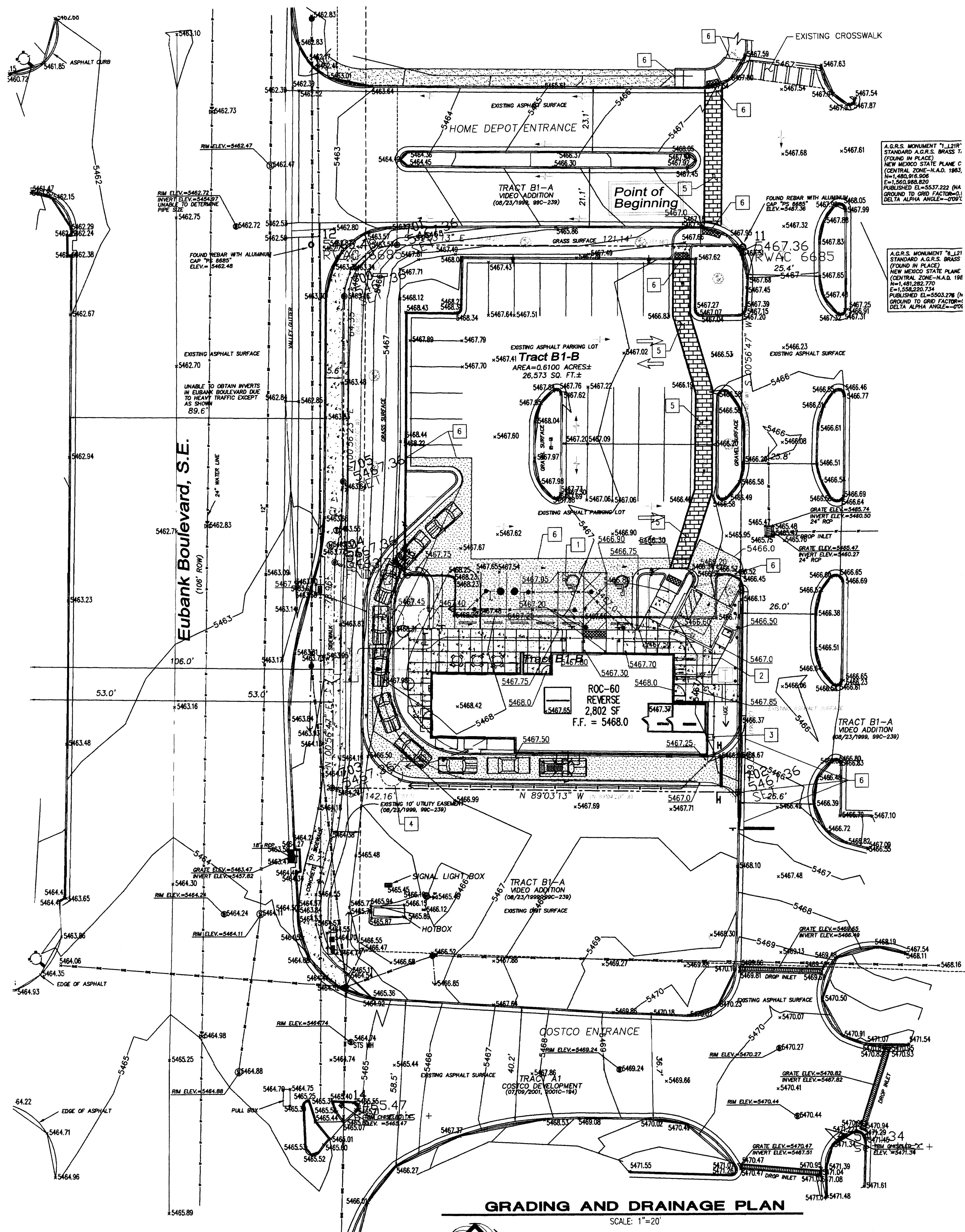
DRAWN BY
 S

SHEET TITLE
SITE UTILITY PLAN

DATE

SCALE
 AS NOTED

C3



GRADING NARRATIVE

PROPOSED BURGER KING IS LOCATED IN TRACT B1-B, ON OUT PARCEL OF HOME DEPOT MASTER DEVELOPMENT. LOT AREA APPROXIMATELY ± 26,573 S.F. OR ± 0.610 ACRES.

NORTH PART OF THE SITE IS A PAVED PARKING AREA CONNECTED WITH TWO DRIVEWAYS TO DEVELOPMENT ROADWAY SYSTEM. EXISTING CONTOUR AND SPOT ELEVATIONS INDICATES THAT MOST OF THE SITE FLOWS FROM WEST TO EAST AT AN EXISTING GRATE INLET AT DEVELOPMENT ROAD IN FRONT OF SOUTHSIDE OF DRIVEWAY.

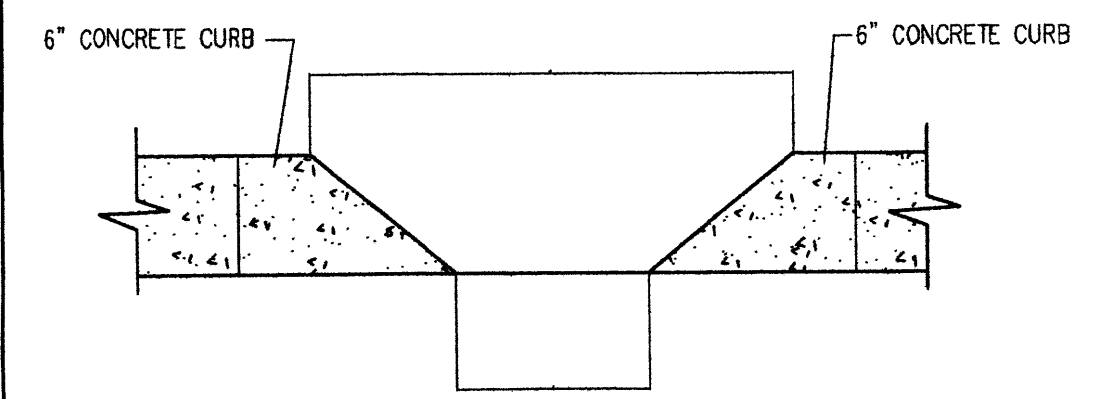
SOME PART OF SOUTHEAST CORNER OF THE PROPERTY RUN OFF DRAINS TO A CURB INLET AT EUBANK BOULEVARD.

PROPOSED GRADING AND DRAINAGE PLAN (SHEET C4) IS DESIGNED TO KEEP EXISTING CONDITION INTO CONSIDERATION AND FOLLOWED THE SAME CONCEPT BY THE MASTER DEVELOPER. MOST OF THE SITE RUNOFF FLOWS TO EAST GRATE INLET AND A SMALL PORTION FLOWS TO CURB INLET OF EUBANK BOULEVARD. CURB CUTS ARE PROVIDED TO THE LOCATION FOR LANDSCAPE PURPOSES.

FINISH FLOOR OF BUILDING IS KEPT AT ELEVATION 5468.00

STORM DATA

- HANDICAP ZONE - MAX 2% SLOPE IN ANY DIRECTION.
- DOWNSPOUTS IS TO BE ARRANGED TO POP IN THE LANDSCAPE AREA. INSTALL 1"x1" CONCRETE SPLASH PAD (6" THICK) UNDER DOWNSPOUT TO BE USED TO AVOID EROSION.
- DOWNSPOUTS IS TO BE FREE FALL 6" (SIX INCH) ABOVE THE FINISHED GRADE, FOR WATER DRAIN TO LANDSCAPE. INSTALL 1"x1" CONCRETE SPLASH PAD (6" THICK) UNDER DOWNSPOUT TO AVOID EROSION TO LANDSCAPE BED.
- CURB CUT LOCATION FOR LANDSCAPE BED. (C4)
- HANDICAP ACCESSIBLE ROUTE - MAXIMUM 5% LONGITUDINAL SLOPE AND 2.0% CROSS SLOPE.
- SAW CUT AND MATCH EXISTING GRADE.



1 CURB CUT FOR LANDSCAPING NTS

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

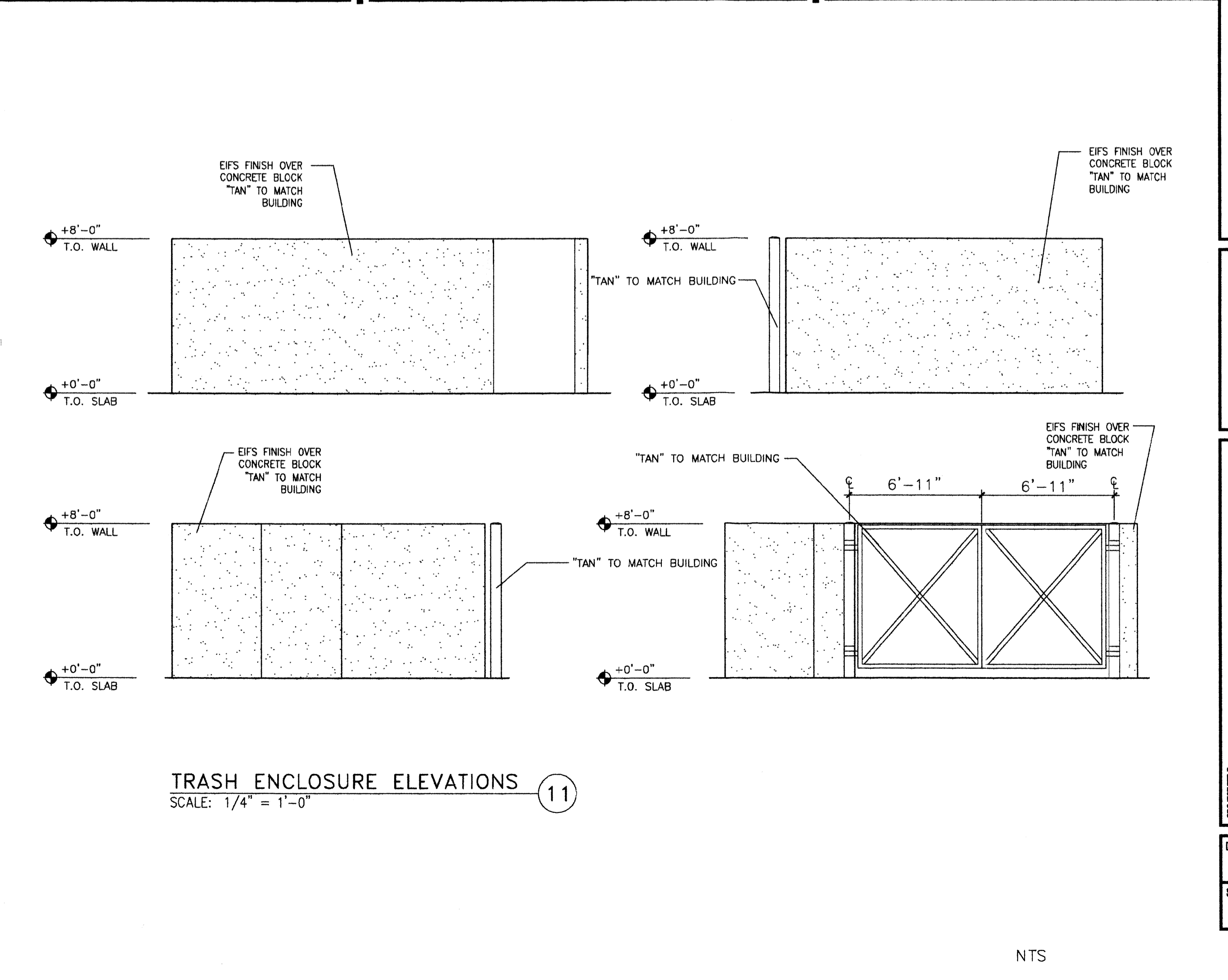
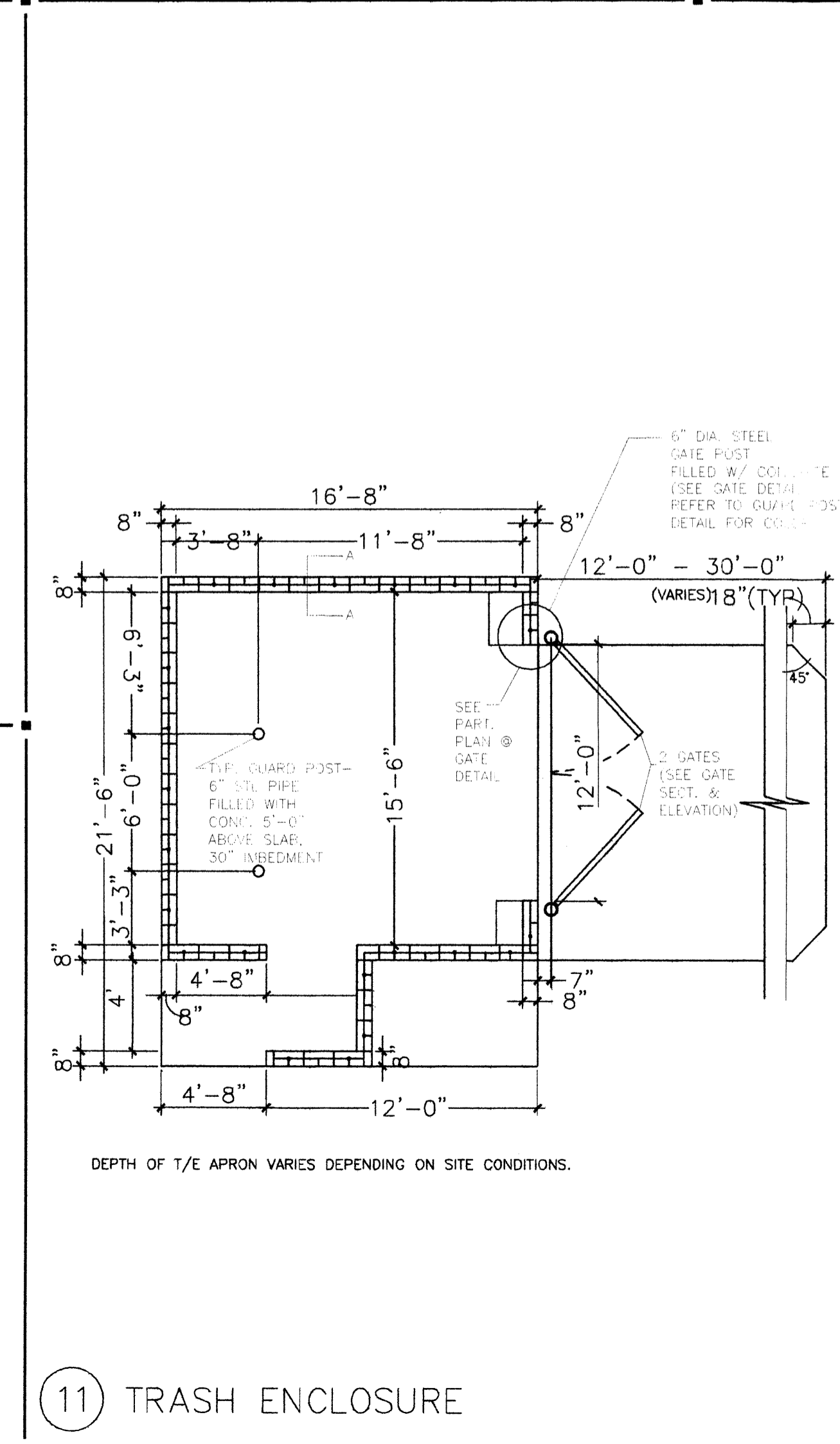
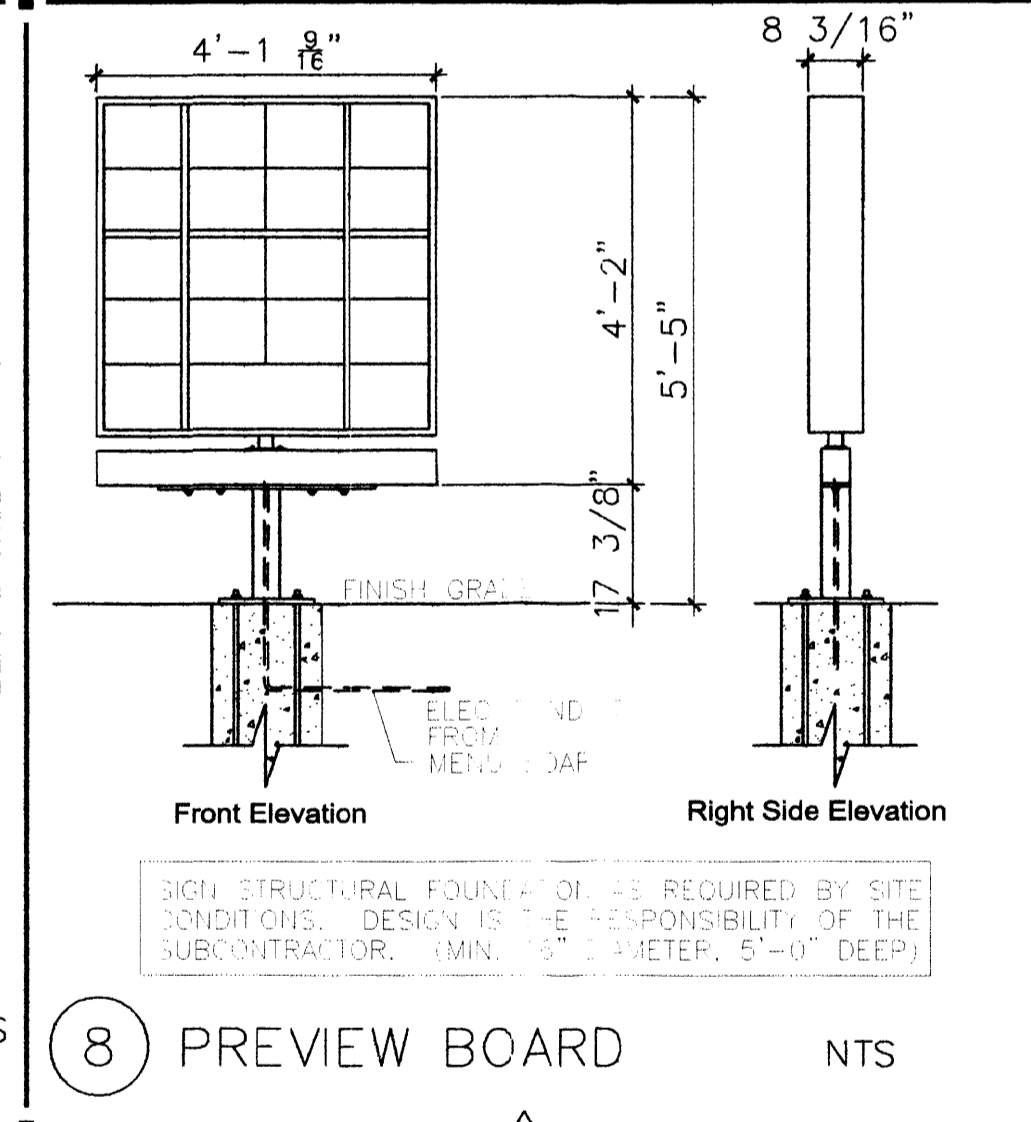
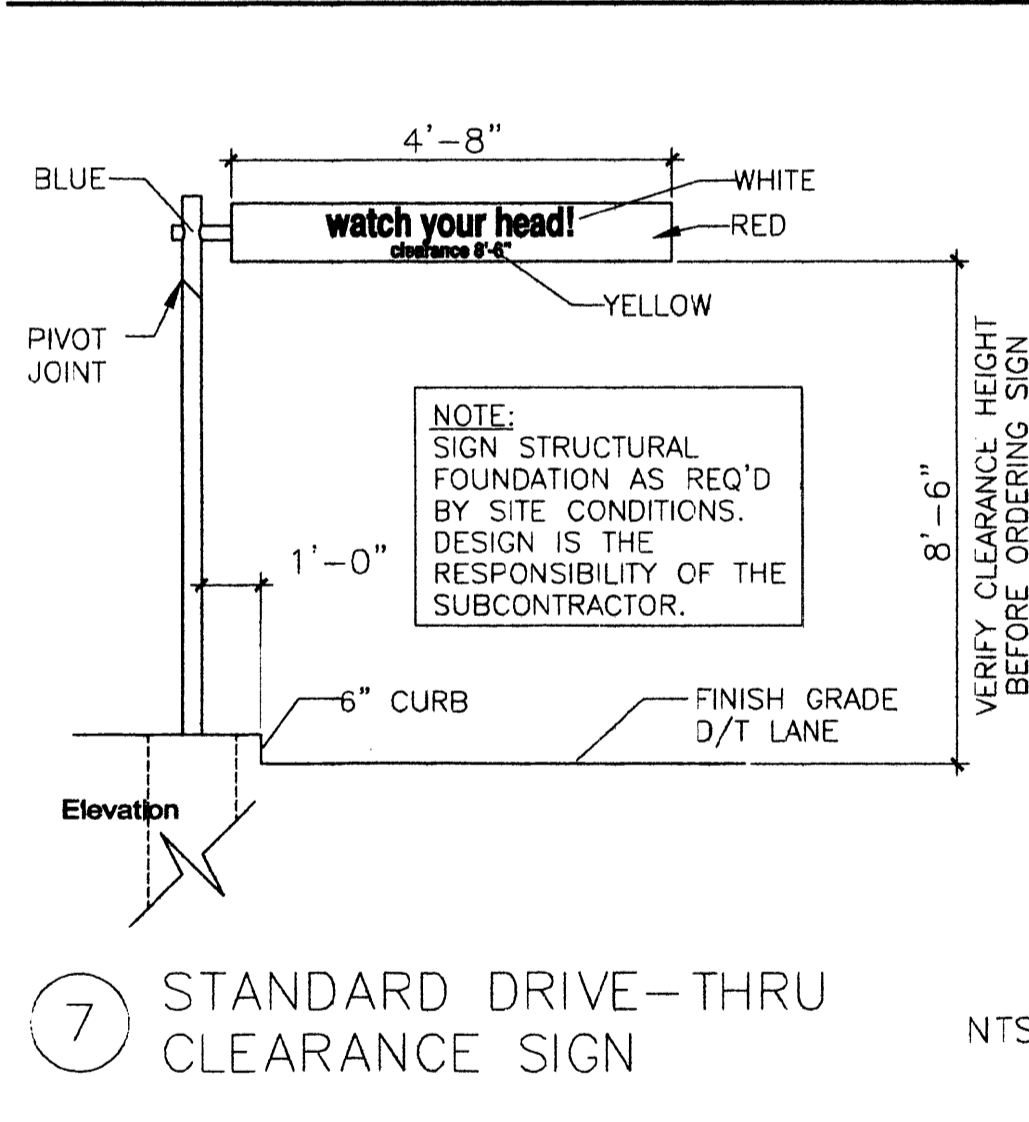
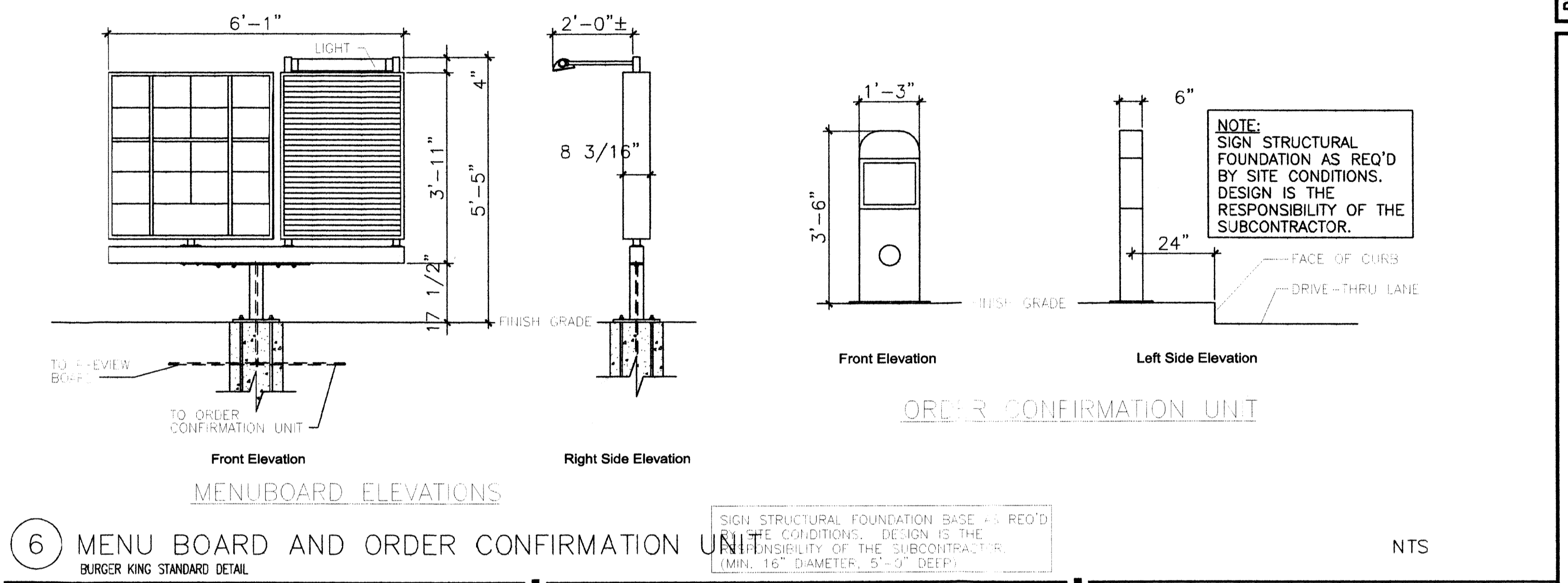
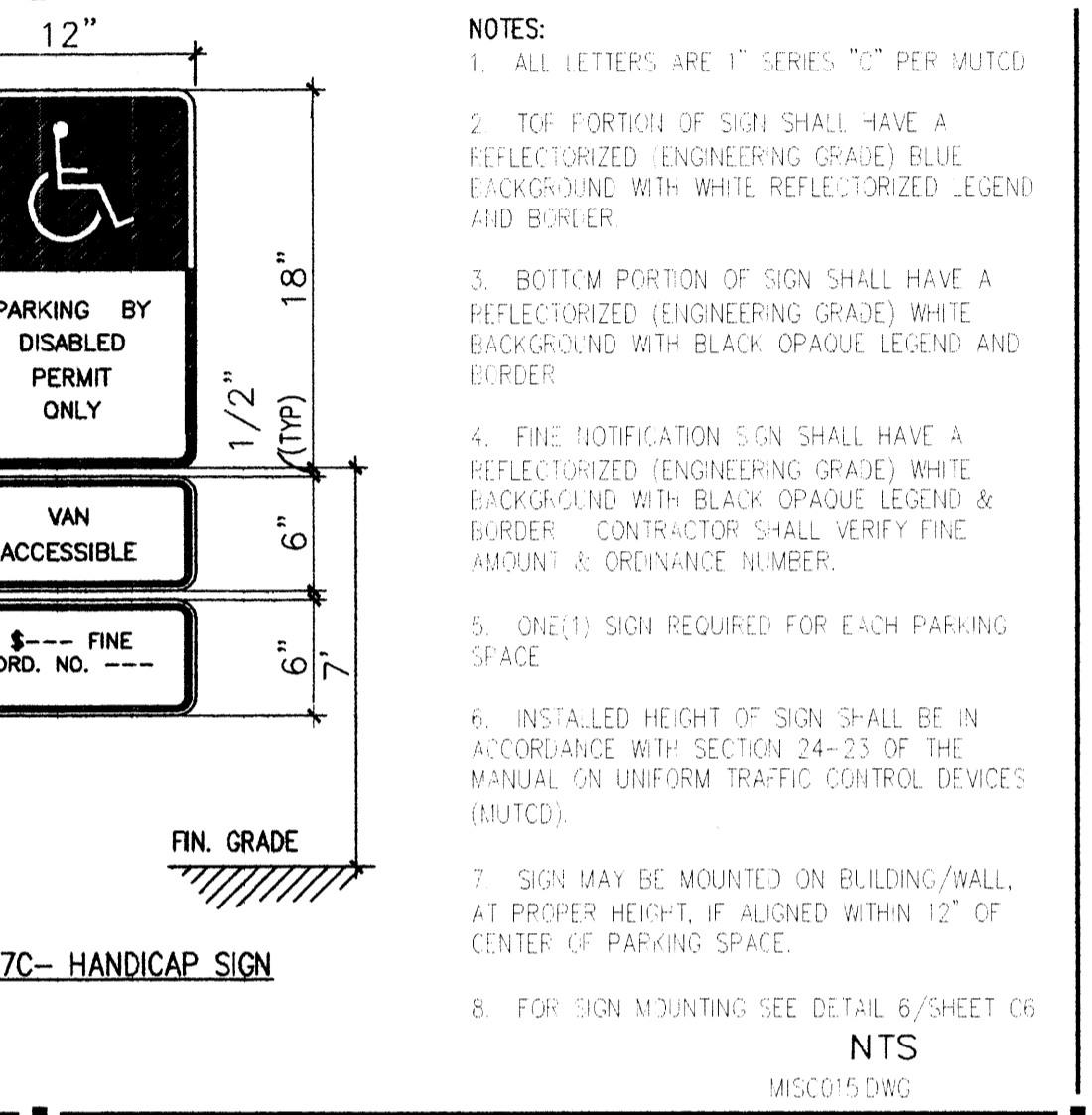
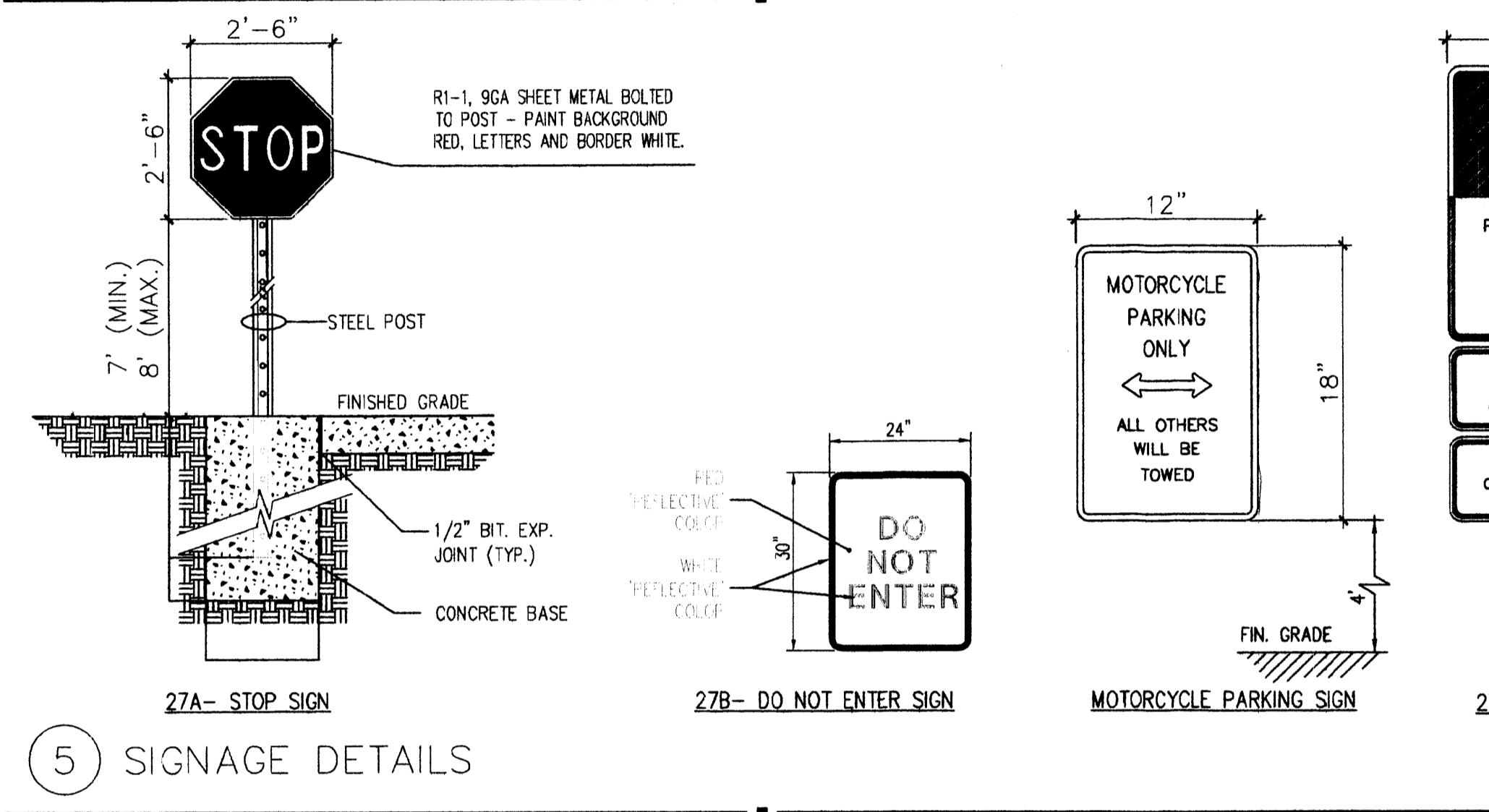
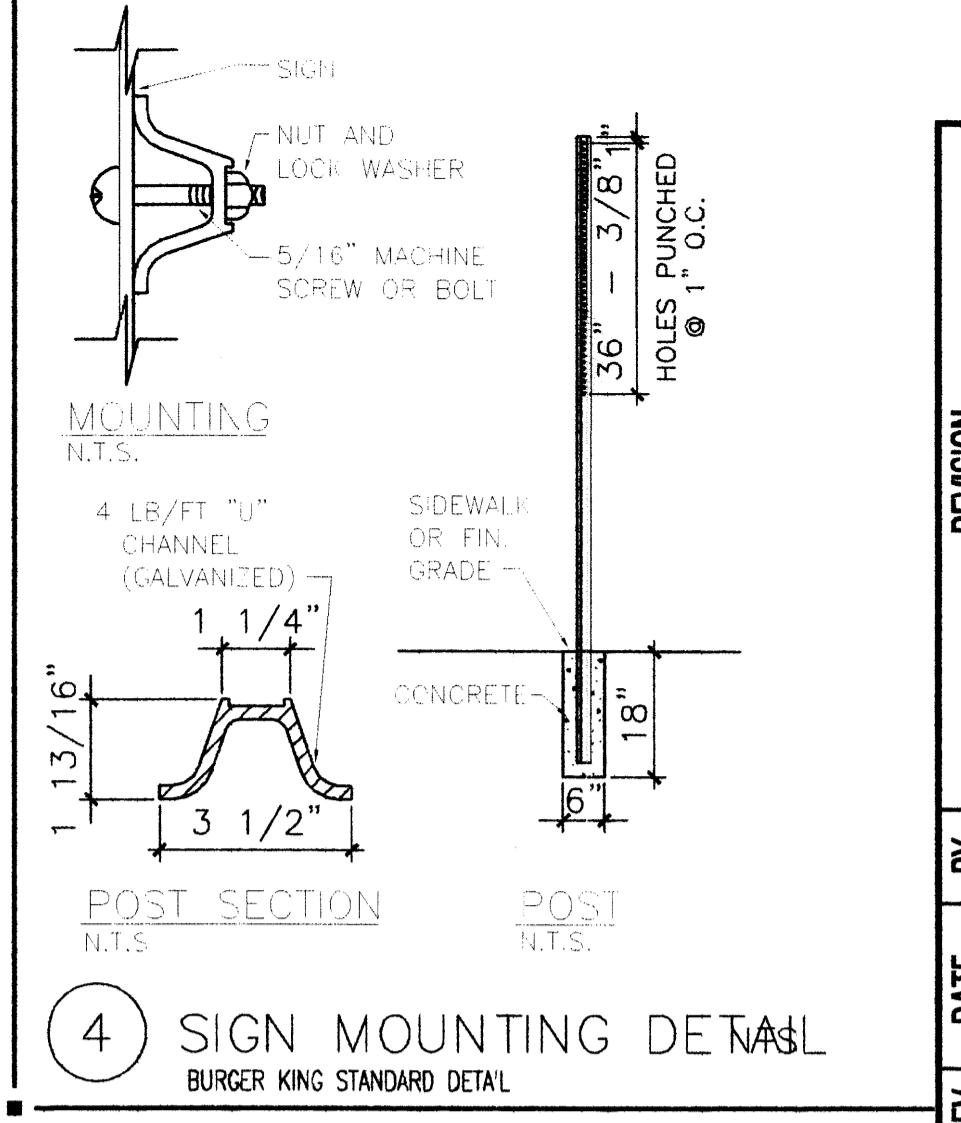
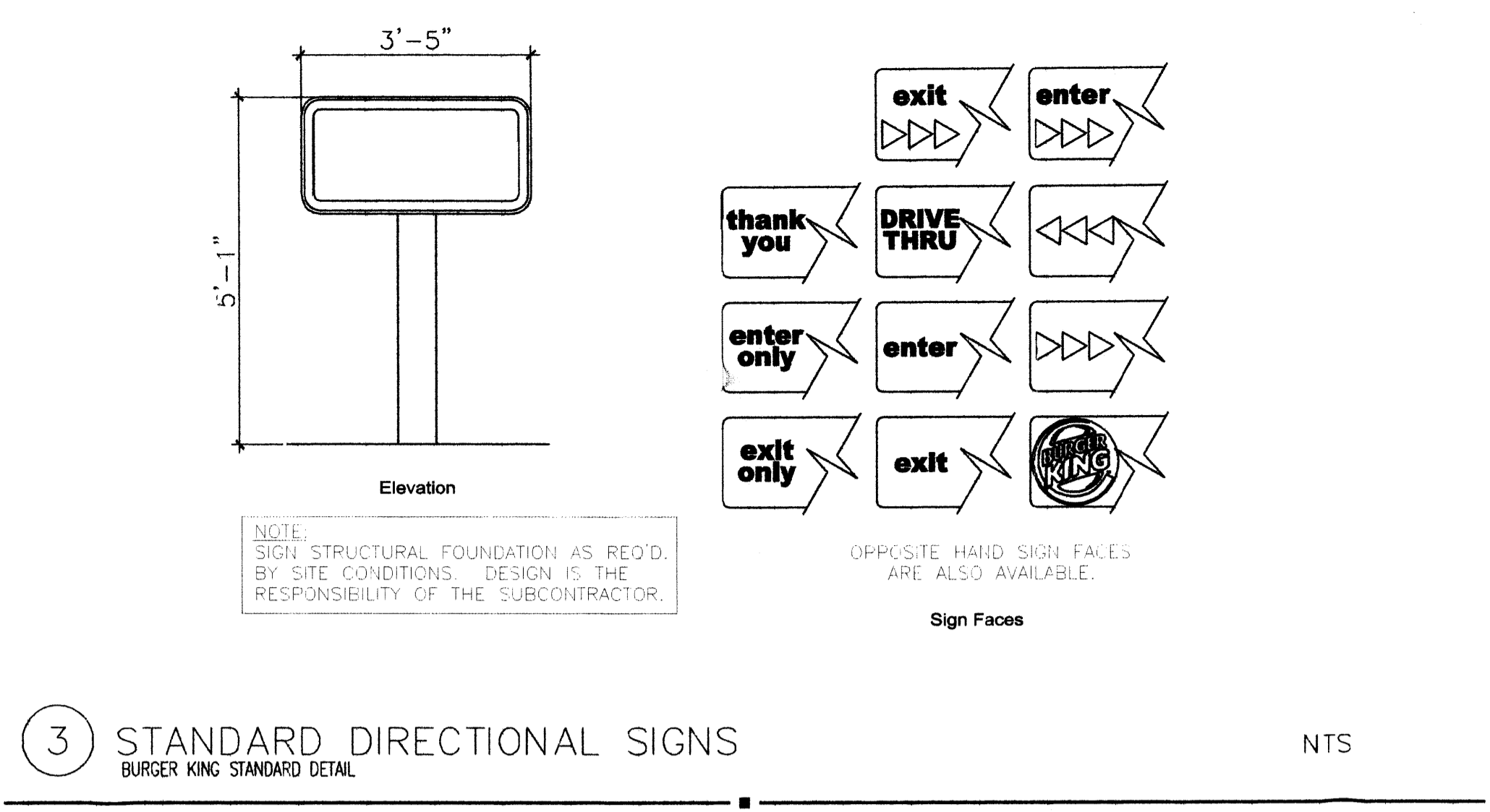
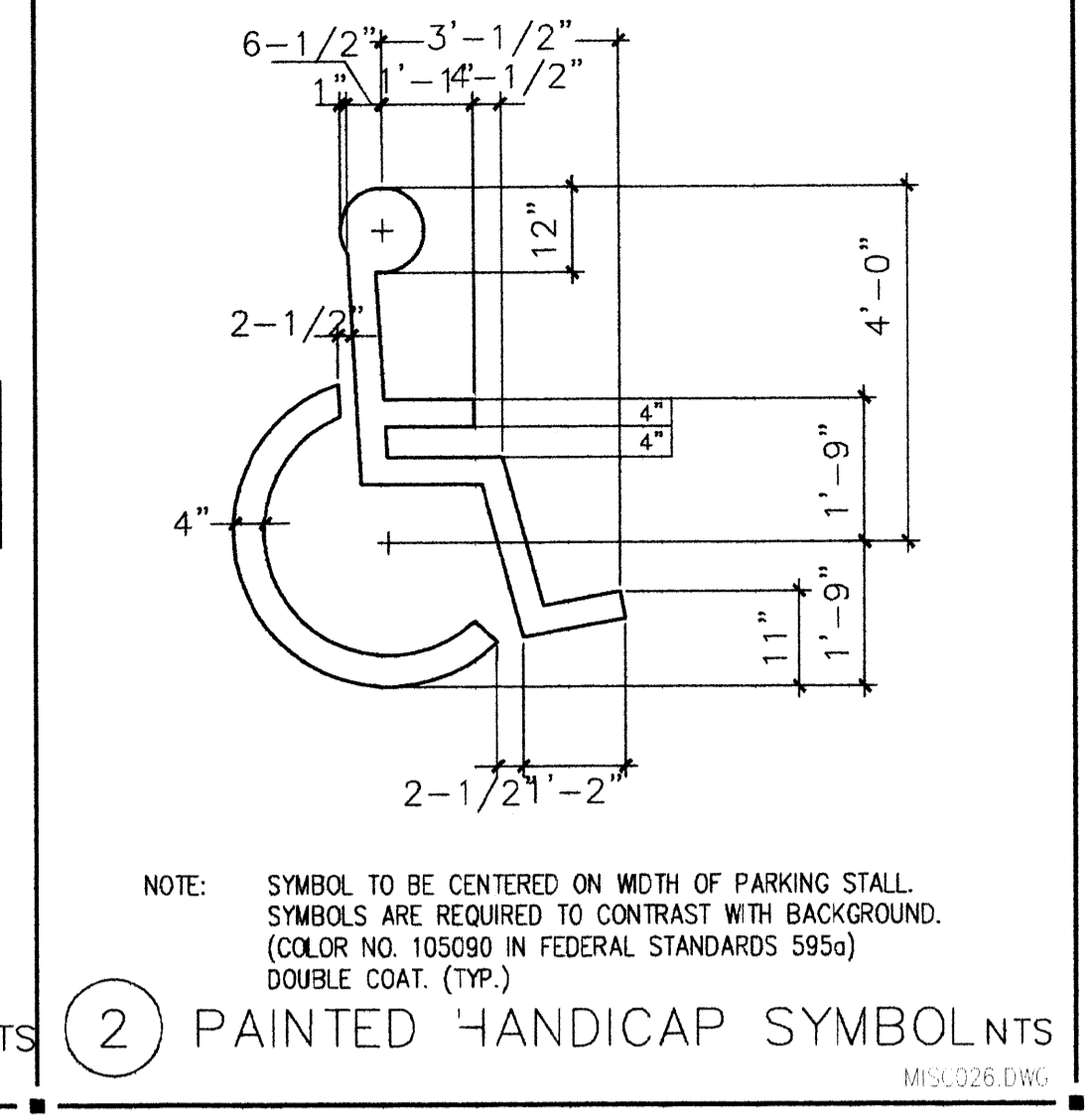
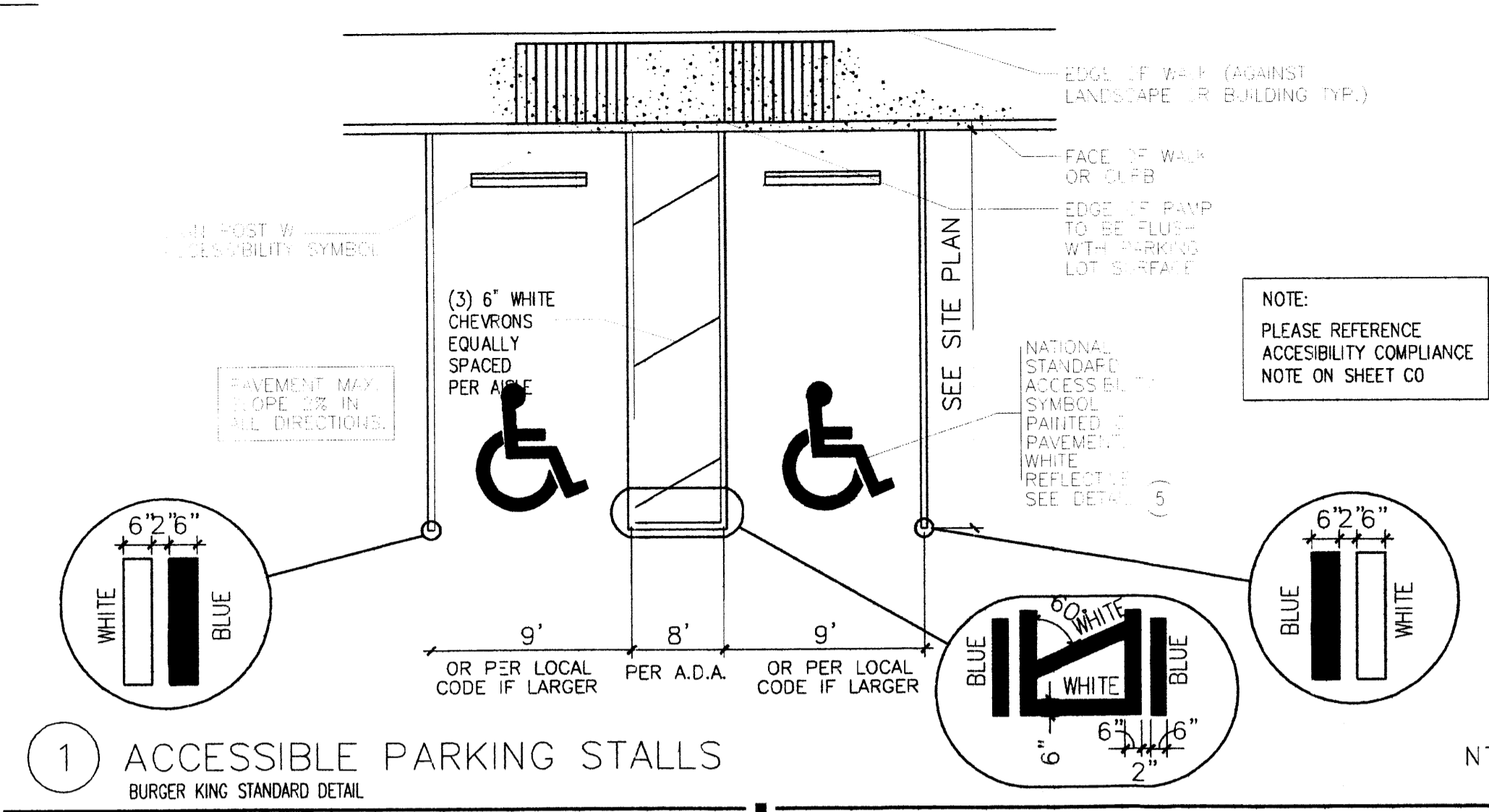
PROJECT TITLE
200 EUBANK BLVD.
 S.W.C. OF EUBANK AND CENTRAL
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
 STEPHEN DUNBAR, AIA 200 EUBANK

DRAWN BY
 S

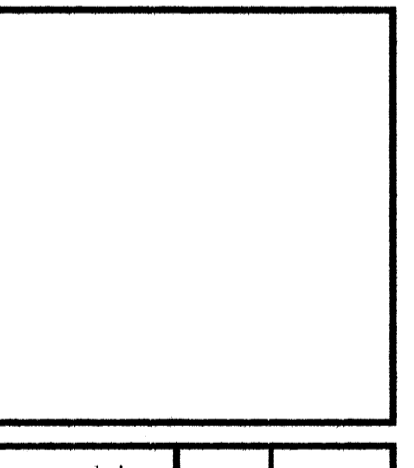
SHEET TITLE
GRADING AND DRAINAGE PLAN

DATE	DATE
SCALE	C4
AS NOTED	

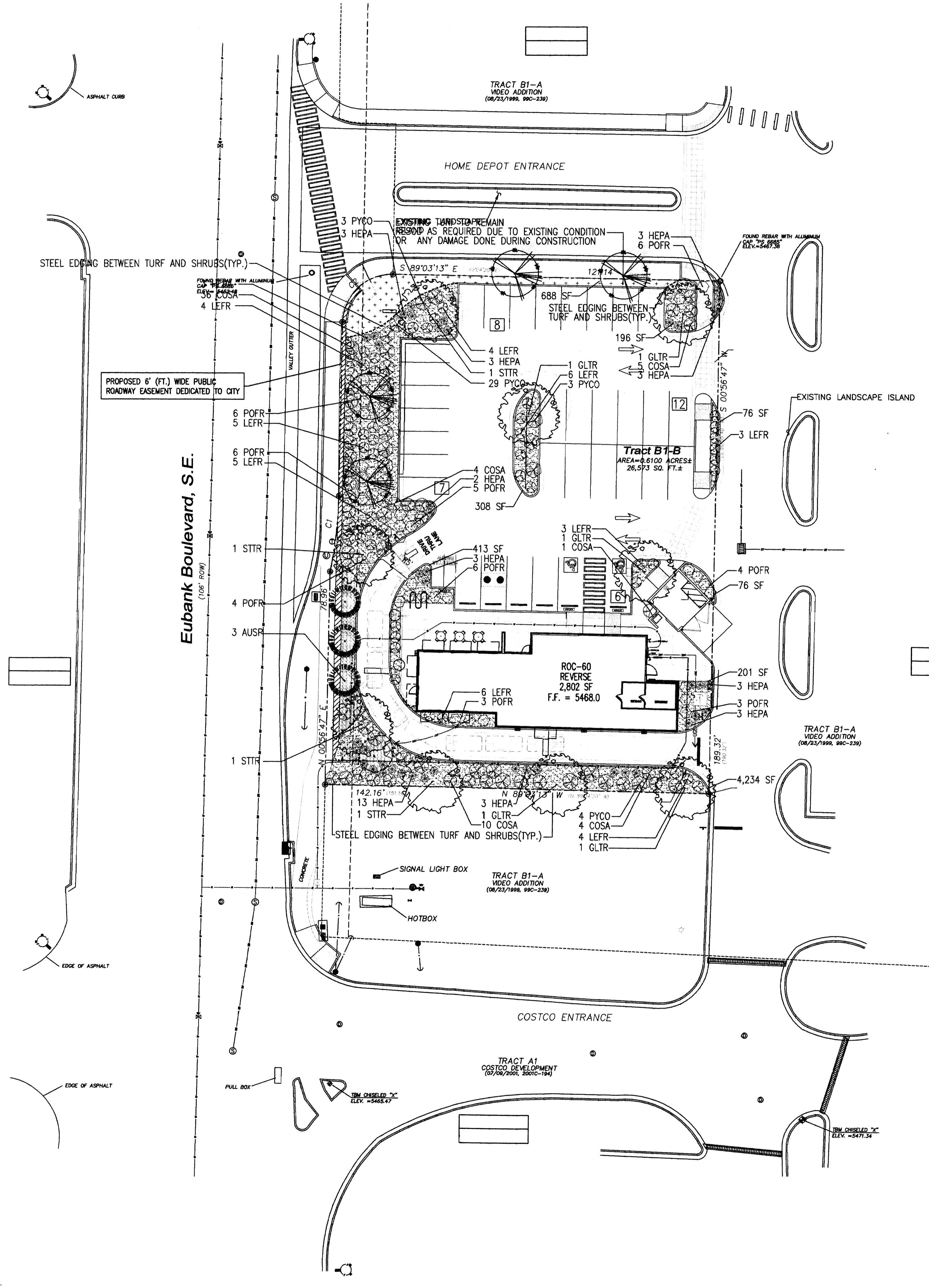


REV	DATE	BY	REVISION

MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



PROJECT TITLE 6301-6401 UPTOWN BLVD. NE N.W.C. OF UPTOWN LOOP BLVD. AND UPTOWN LOOP N.E. ALBUQUERQUE, NEW MEXICO	DRAWN BY: S
PROJECT NUMBER STEPHEN DUNBAR, AIA 6301-UPTOWN	SHEET C7
SHEET TITLE SITE DETAILS	DATE
SCALE AS NOTED	DATE



PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	REMARKS/DETAILS
TREES						
GLTR	GLEDITSIA TRIACANTHOS "SHADEMASTER"	SHADEMASTER HONEYLOCUST	2" CALIPER	PER PLAN	3	PARKING LOT TREE
STTR	(STREET TREE SPECIES TO MATCH EXISTING)		1.5" CALIPER	PER PLAN	1	STREET TREE
AUSP	PINUS NIGRA	AUSTRIAN PINE	6'-8'	PER PLAN		DRIVE THRU SCREEN
SHRUBS						
COSA	CONTONEASTER SALICIFOLIUS "REPENS"	WILLOWLEAF CONTONEASTER	5 GALLON	5' O.C.	54	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON	3' O.C.	40	
LEFR	LEUCOPHLLUM FRUTESCENS "WHITE CLOUD"	WHITE CLOUD TEXAS RANGER	5 GALLON	5' O.C.	32	
POFR	POTENTILLA FRUTICOSA "JACKMAN"	JACKMAN POTENTILLA	1 GALLON	4' O.C.	50	
PYCO	PYRACANTHA COCCINEA "LOWBOY"	LOWBOY FIRETHORN	5 GALLON	6' O.C.	32	
TURF						
		EXISTING LANDSCAPING TO REMAIN				VARIETY TO MATCH EXISTING
GRAV						
		SANTA FE BROWN GRAVEL WITH FILTER FABRIC				
COBB						
		MIN 6" COBBLE/ MULTI COLORED STONES WITH FILTER FABRIC				

NOTE: ALL NON-TURF PLANT SPECIES ARE IN THE "LOW" WATER USE CATEGORY

LANDSCAPE CALCULATIONS

TOTAL LOT AREA: 28,617 SF
 NET LOT AREA (TOTAL SITE-BUILDING AREA): 26,030 SF (28,617 SF - 2,587 SF)
 LANDSCAPE AREA REQUIRED: 3,905 SF (15% OF NET LOT AREA)
 LANDSCAPE AREA PROVIDED: 7,324 SF (28.1% OF NET LOT AREA)
 TOTAL TURF AREA: 837 SF (11.4% OF TOTAL LANDSCAPE AREA)

PARKING LOT TREES

TOTAL PARKING SPACES PROVIDED: 33 SPACES
 TREES REQUIRED: 3 SHADE TREES (1 TREE PER 10 SPACES)
 TREES PROVIDED: 3 SHADE TREES

STREET TREES

STREET TREES SHOWN ARE EXISTING, AND SHALL BE PRESERVED IN PLACE

IRRIGATION CONCEPT

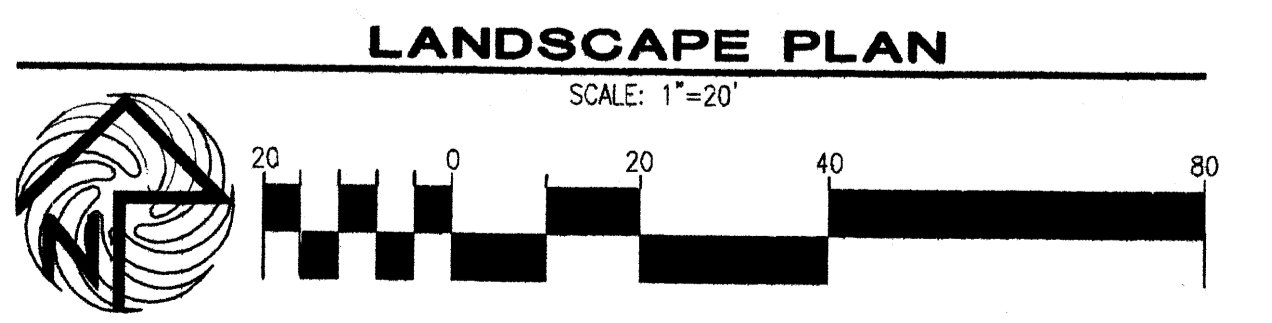
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW WITH PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. TURF AREAS SHALL BE IRRIGATED WITH SPRAY ROTOR HEADS AT 100% HEAD TO HEAD COVERAGE.
4. ALL PLANTS SHARING SINILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERINNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE BY THE OWNER. THIS SHALL INCLUDE WEEKLY VISITS FOR THE FOLLOWING TASKS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE IRRIGATION SYSTEM SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION.
3. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
4. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTORS SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE DESIGNER AND OWNER.
5. THE OWNERS AND THEIR SUCCESSORS, HEIRS, AND THEIR ASSIGNEES SHALL BE RESPONSIBLE FOR ENSURING THAT THE LANDSCAPE IS MAINTAINED IN A HEALTHY STATE AT ALL TIMES.

EXISTING STREET TREES

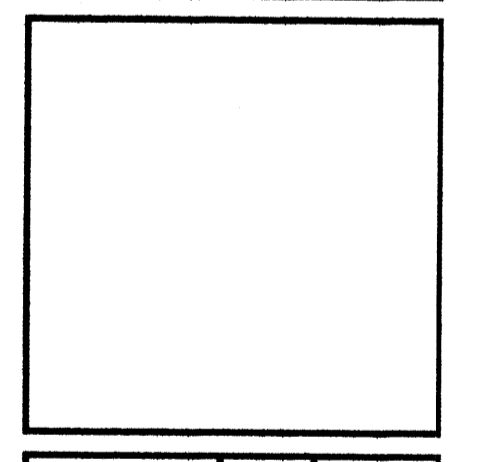
EXISTING STREET TREES SHALL BE PROTECTED IN PLACE. SINCE EXISTING TREES WERE SURVEYED DURING THE DORMAT SEASON, THE EXACT SPECIES COULD NOT BE IDENTIFIED; VERIFY SPECIES DURING THE GROWING SEASON BEFORE PLANTING NEW STREET TREES TO MATCH.



IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

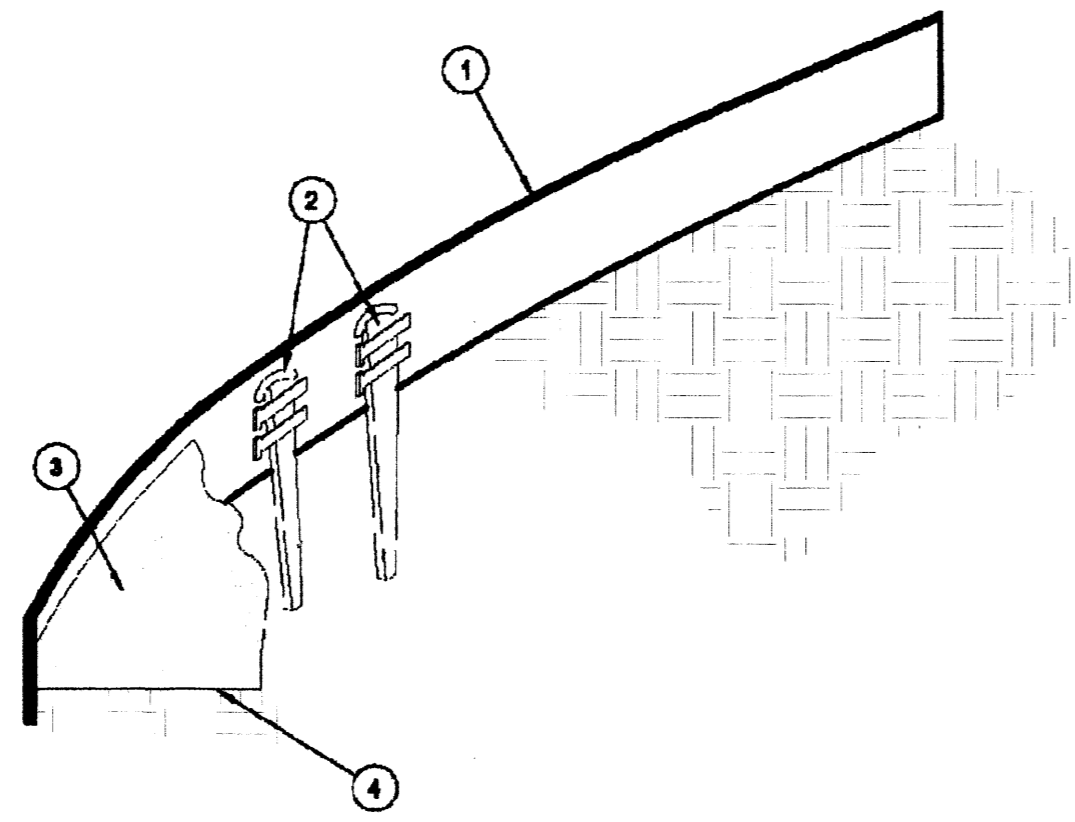
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161



PROJECT TITLE: 200 EUBANK BLVD. S.W.C. OF EUBANK AND CENTRAL ALBUQUERQUE, NEW MEXICO
 PROJECT NUMBER: JOB NO. 200 EUBANK
 DRAWN BY: S
 SHEET TITLE: LANDSCAPE PLAN

DATE: 11/11/07
 SCALE: AS NOTED

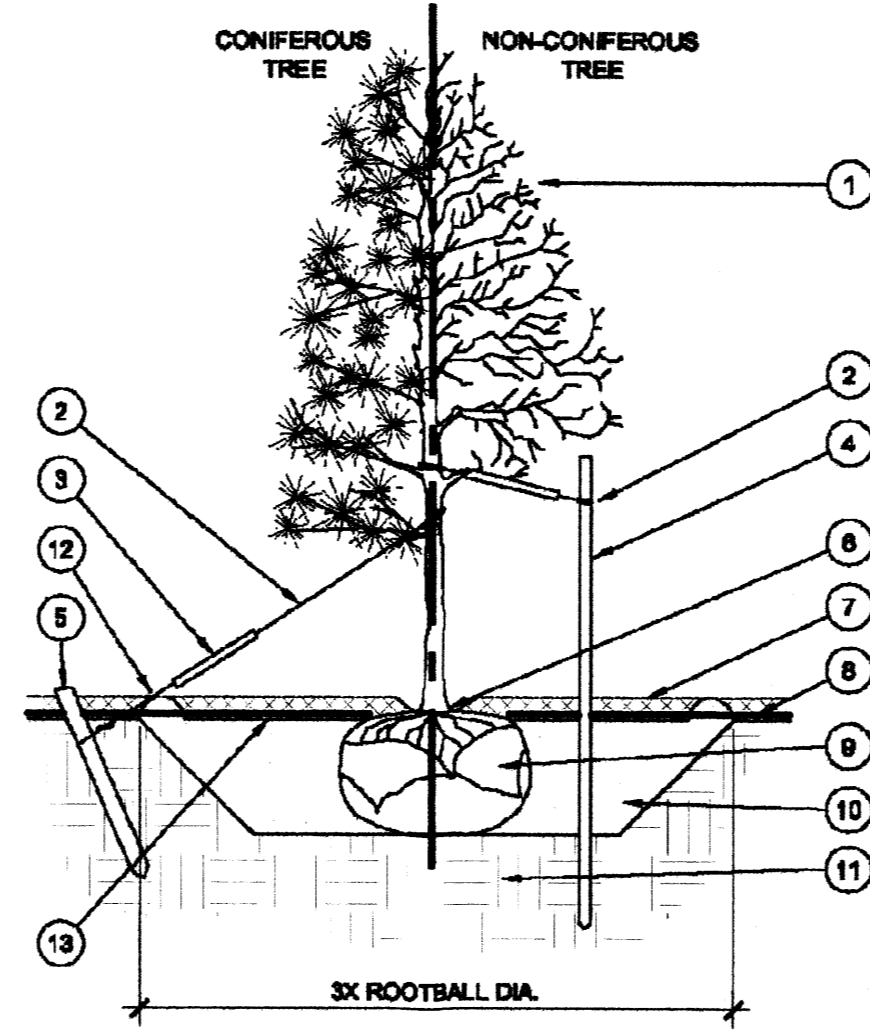


- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED STEEL STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

NOTES:

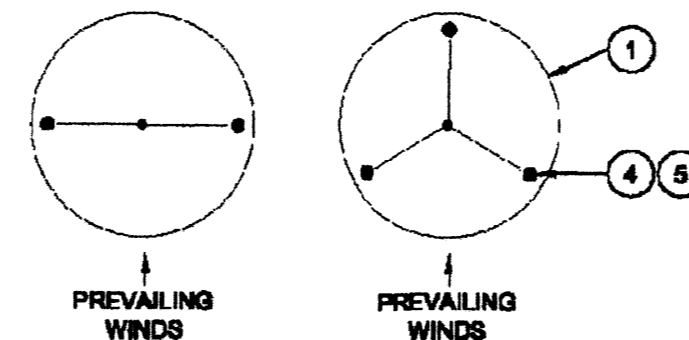
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
- 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
- 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

C STEEL EDGING
SCALE: NOT TO SCALE



- 1 TREE CANOPY.
- 2 CINCH-TIES (2" BOX TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (3" BOX TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 2" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 WEED FABRIC UNDER MULCH.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

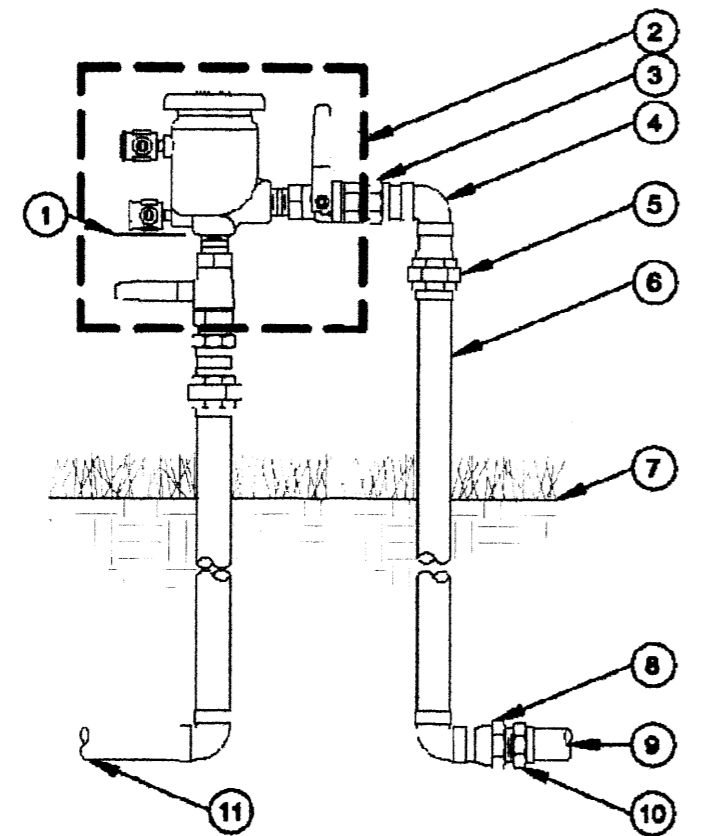
STAKING EXAMPLES (PLAN VIEW)



NOTES:

- 1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
- 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-3" ABOVE FINISH GRADE.
- 3. FOR BOX TREES, SET TREE IN HOLE BEFORE REMOVING BOX. REMOVE SIDES AND BOTTOM AFTER VERIFYING PROPER HOLE DEPTH (PER NOTE 1 ABOVE).
- 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
- 5. FOR TREES OVER 3" CALIPER AND TREES 3" BOX AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

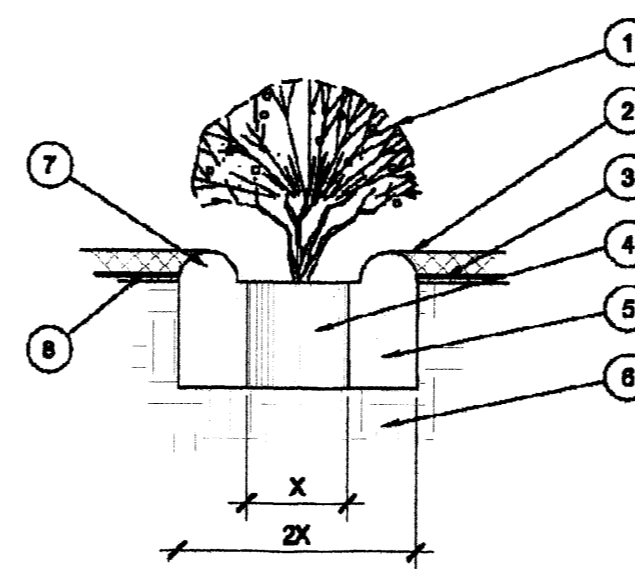
A TREE PLANTING
SCALE: NOT TO SCALE



- 1 MIN. OF 12 INCHES ABOVE HIGHEST POINT OF DISCHARGE
- 2 PRESSURE VACUUM BREAKER
- 3 COPPER MALE ADAPTER (1 OF 2)
- 4 COPPER 90° ELL (1 OF 3)
- 5 COPPER UNION (1 OF 2)
- 6 COPPER PIPE (TYPICAL)
- 7 FINISH GRADE
- 8 COPPER FEMALE ADAPTER
- 8 IRRIGATION MAINLINE PIPE
- 10 PVC MALE ADAPTER
- 11 COPPER PIPE FROM POINT-OF-CONNECTION

NOTE:
INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

D BACKFLOW PREVENTER, PVB
SCALE: NTS

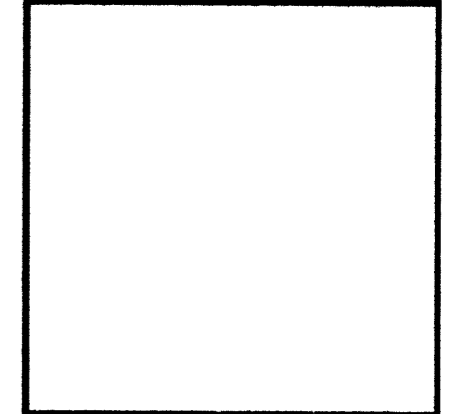


- 1 SHRUB, PERENNIAL OR ORNAMENTAL GRASS.
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING
SCALE: NTS

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161



PROJECT TITLE
200 EUBANK BLVD.
S.W.C. OF EUBANK AND CENTRAL
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

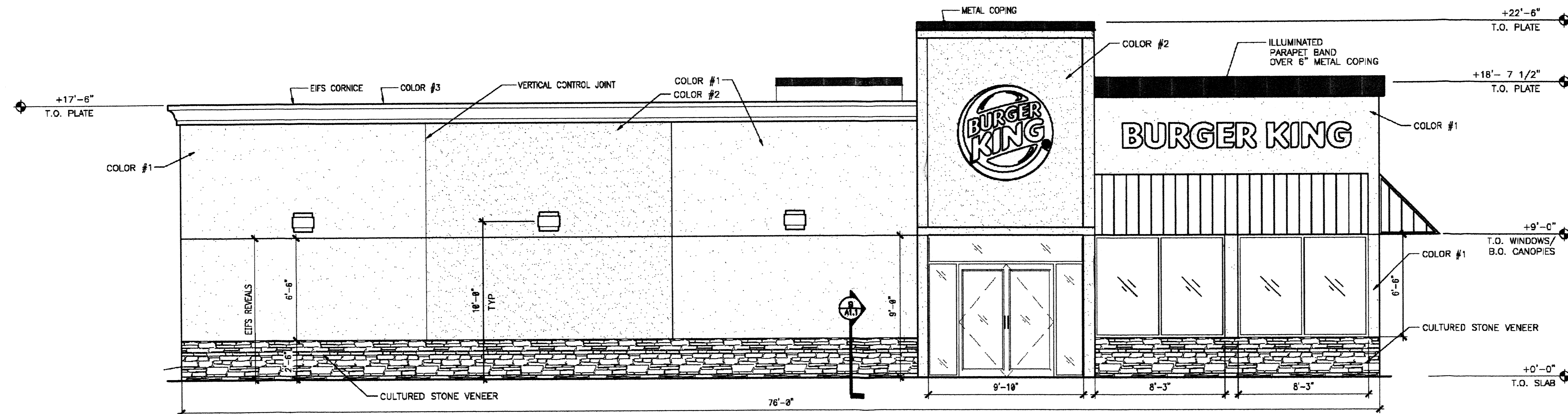
JOB NO.
200 EUBANK

DRAWN BY:
S

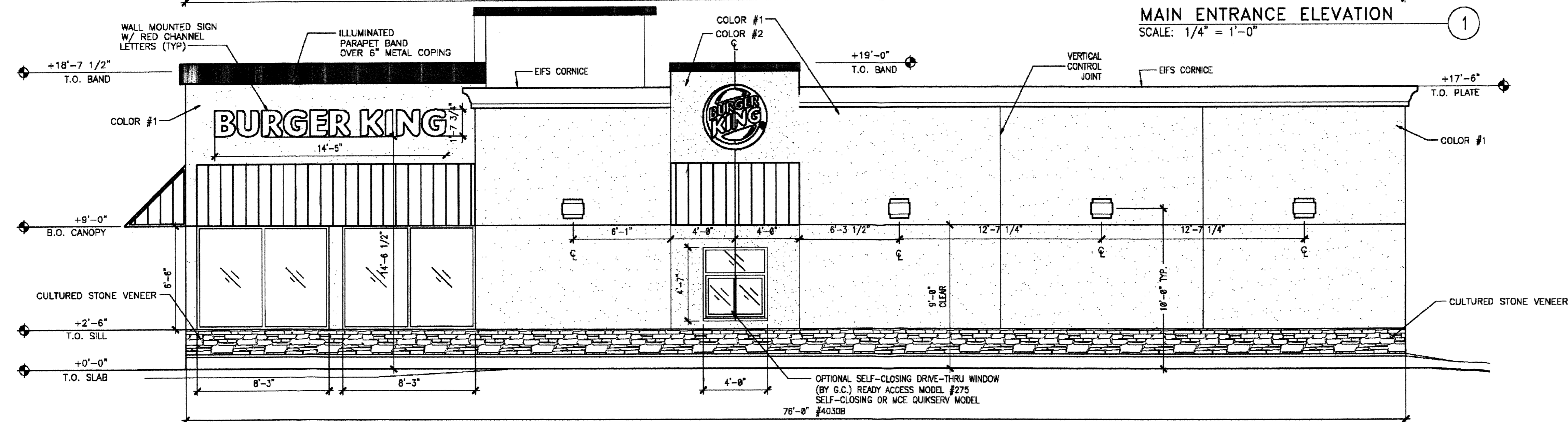
SHEET TITLE
PLANTING DETAILS

DATE
SCALE: AS NOTED

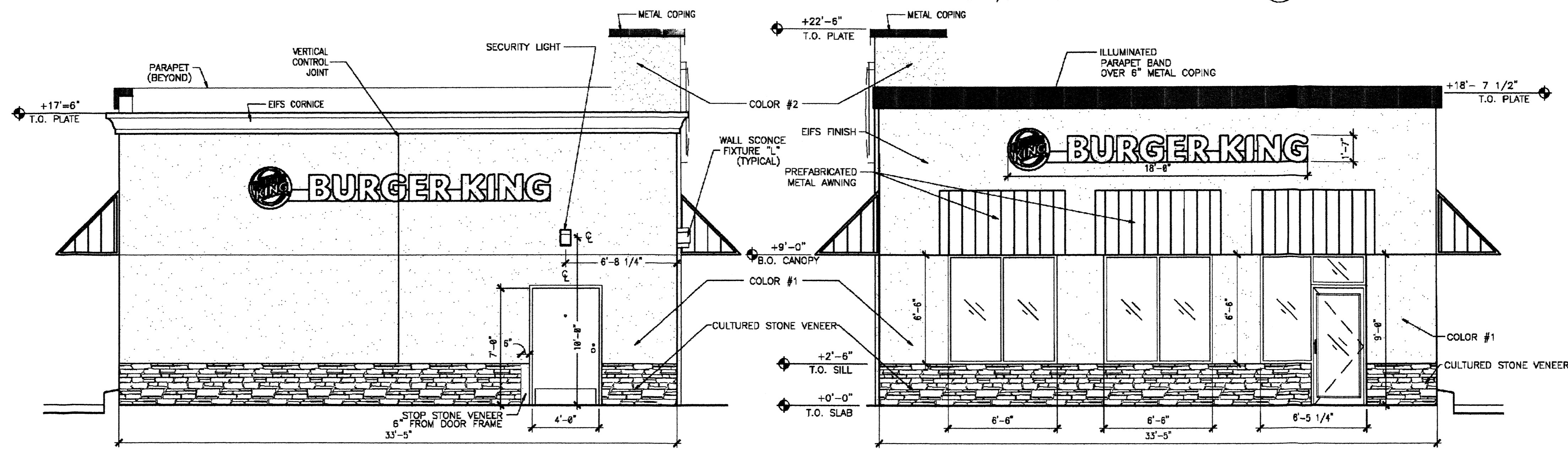
SHEET
L1A



MAIN ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"



DRIVE-THRU ELEVATION
SCALE: 1/4" = 1'-0"

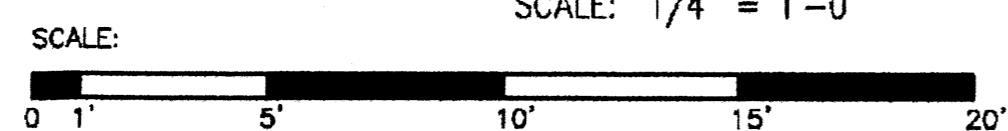


REAR ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

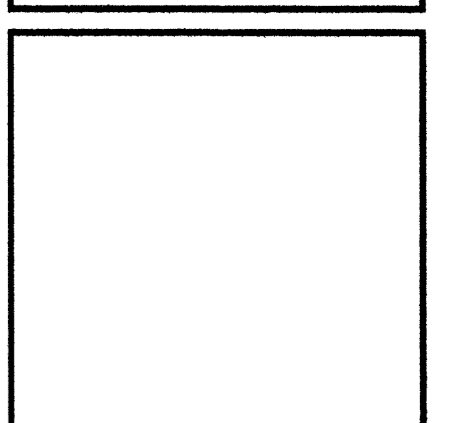
EXTERIOR BUILDING FINISH SPECIFICATIONS

EXTERIOR FINISH	
ICI PAINTS MASTER PALETTE	
OPTION #3	
COLOR #1	#40YY 67/087 PILAR #A1850 "TAN"
COLOR #2	#30Y 36/084 MEADOWLARK #A1838 "LIGHT BROWN"
COLOR #3	#98YY 82/022 WHITE HIGH-HIDING #A0113 "CREAM"
PREFIN. AWNING COLOR	BK BLUE
NOTE: EXTERIOR COLOR FINISHES SHALL BE DETERMINED BY ARCHITECT. WITH EIFS FINISHES, USE HIGH IMPACT REINFORCING MESH FROM FLOOR TO 6'-0" A.F.F. PROVIDE STUCCO CONTROL JOINTS AS REQUIRED. STUCCO OR EIFS TO BE PAINTED.	
SOFFIT SPECIFICATION AT ENTRY ELEMENT	
EXTERIOR FINISH WITH CONT. STRIP VENT, OR WHITE PERFORATED VINYL.	
METAL AWNING FINISH SPECIFICATIONS	
WELDED CLEAR ALUMINUM TUBING (MIN. 1" SQUARE) WITH STANDING SEAM ROOFING TO BE PREFINISHED METAL (BOTH SIDES) WITH KNAUF 500 OR EQUIVALENT PAINT. COLOR: ABOVE.	
ALUMINUM PANEL BY FIRESTONE METAL PRODUCTS: (800) 426-7737 OR 24 GAUGE METAL PANELS BY BERRIDGE ROOFING: (800) 668-0008	
REFERENCE SHEET A-9 FOR AWNING FABRICATORS.	
METAL COPING	
PAINT WITH GILDEN DEVFLEX WATERBORNE ACRYLIC LATEX "SAFETY RED"	
WINDOWS, ENTRY DOORS, DOOR FRAMES	
WINDOW MULLIONS, ENTRY DOORS, DOOR FRAMES, TRANSOM & SIDELITES CLEAR ANODIZED ALUMINUM FINISH. USE A KAWNEER 451T SYS. EM OR APPROVED EQUAL.	
DELIVERY DOOR, ROOF LADDER, TRASH GATE, SCUPPERS AND DOWNSPOUTS	
GLOSS EXTERIOR ENAMEL FOR METAL SURFACES: MATCH COLOR #1	
BUILDING SIGNAGE	
ALL BUILDING SIGNAGE IS ILLUMINATED WITH ALUMINUM RETURNS AND POLYCARBONATE FACE WITH COLORS RED, BLUE, YELLOW, AND WHITE	
ROOFING MEMBRANE	
DURO-LAST SINGLE PLY MEMBRANE COLOR: WHITE	



REV	DATE	BY	REVISION

MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



PROJECT TITLE: 200 EUBANK BLVD. S.W.C. OF EUBANK AND CENTRAL ALBUQUERQUE, NEW MEXICO
JOB NO.: STEPHEN DUNBAR, AIA 200 EUBANK
PROJECT NUMBER: S
DRAWN BY: S
SHEET TITLE: EXTERIOR ELEVATIONS

DATE: 08/06
SCALE: AS NOTED
A2.0