

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: August 27, 2008
Zone Atlas Page: J-13
Notification Radius: 100 Ft.

Project# 1004677
App#08DRB-70346

**Cross Reference and Location: CENTRAL AVE SW BETWEEN LAGUNA BLVD
SW AND SAN PASQUALE AVE SW**

Applicant: INFILL SOLUTIONS, LLC
723-B SILVER SW
ALBUQUERQUE, NM 87102

Agent: ISAACSON & ARFMAN PA
128 MONROE NE
ALBUQUERQUE, NM 87108

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: AUGUST 8, 2008
Signature: ERIN TREMLIN



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102 Fees must be paid at the time of application Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): ISAACSON E. ARFMAN, P.A. PHONE: 268-8828
 ADDRESS: 128 MONROE NE FAX: 268-2632
 CITY: ALBUQ. STATE NM ZIP 87108 E-MAIL: GennyD@IACIVIL.COM

APPLICANT: INFILL SOLUTIONS, LLC PHONE: 242-1871
 ADDRESS: 723-B SILVER SW FAX: _____
 CITY: ALBUQ. STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: REQUEST FOR SUBDIVISION DESIGN VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: SEE ATTACHED SHEET Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: SU-2/CLD Proposed zoning: SAME
 Zone Atlas page(s): J-13 UPC Code: SEE ATTACHED SHEET MRGCD Map No: 38

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App, DRB, AX_Z, V, S, etc.): Proj # 1004677, 07DRB-70221, -70358, -70359, -70361, -70362; 08DRB-70194

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 5 No. of proposed lots: 17 Total area of site (acres): 3.1303
 LOCATION OF PROPERTY BY STREETS On or Near: CENTRAL AVE SW
 Between: LAGUNA BLVD SW and SAN PASCUALE AVE SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: _____

SIGNATURE: Genevieve Donart DATE: 7/29/08
 (Print) GENEVIEVE DONART Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

08DRB - 70346

Action

SDV

CME

S.F. Fees

_____ \$ 0

_____ \$ 20

_____ \$ _____

_____ \$ _____

_____ \$ _____

Total

\$ 20.00

Hearing date August 27, 2008

Vandy 7-30-08
 Planner signature / date

Project # 1004677

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements **24 copies**
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
 (Not required for City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21)
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance or waiver
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ✓ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 ✓ Zone Atlas map with the entire property(ies) clearly outlined
 ✓ Letter briefly describing, explaining, and justifying the variance
 ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ✓ Sign Posting Agreement
 ✓ Fee (see schedule)
 ✓ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
 ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the deferral or extension
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GENEVIEVE DONARSI
 Applicant name (print)
Genevieve Donarsi
 Applicant signature / date



Form revised 4/07

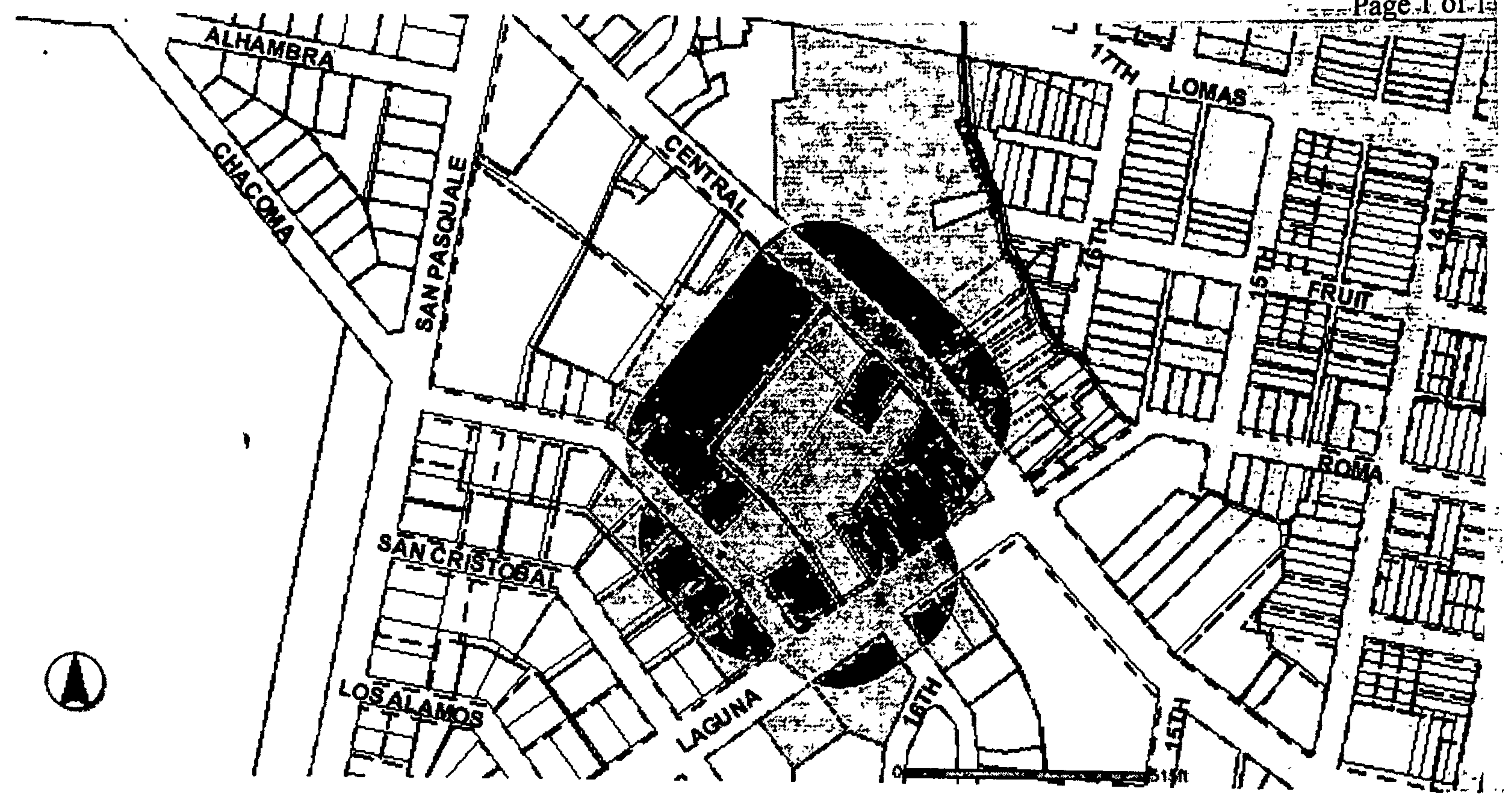
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|---|--------------------------|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected | DRB - 70346 |
| <input checked="" type="checkbox"/> Case #s assigned | _____ |
| <input checked="" type="checkbox"/> Related #s listed | _____ |

Kelly 7.30.08
 Planner signature / date
 Project # 1004667

	112		NW									
1 3	10130 58262 10430 934	KOLEHMAINE N PHILIP M & J ANET P	107 LA GUNA BLV S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 3 LAGUNA SUBD A S UBD IN SEC 18 T10N R 3E	0.1479 7435	200225	
1 4	10130 58265 11830 903	COUNTRY CL UB PLAZA PA RTNERS LLC ATTN: MR JAY REMBE	724 SIL VER A VE SW B	ALBUQ UERQ UE	NM	87102	V	A1AM	TRACT B- 1 BLK 3 OF REDIVISIO N OF LOTS 1 THRU 4 B LK 3 REPLATOF BLK 3 & A PORTION OF BLK 5 HUNING CASTLE ADD N CONT 0.2123 AC	0.1824 2709	204489	
1 5	10130 58267 10530 935	BOYDEN GEO RGE M & DON A L	105 LA GUNA BLVD NW	ALBUQ UERQ UE	NM	87104	R	A1AM	* 4 LAGUNA SUBD A S UBD IN SEC 18 T10N R 3E	0.1500 0692	205554	
1 6	10130 58260 10130 933	POORE IDA T	109 LA GUNA BLVD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 2 LAGUNA SUBD A S UBD IN SEC 18 T10N R 3E	0.1661 6684	206517	
1 7	10130 58231 09830 929	POTTER ALBE RT F & CARA GORDON	1705 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	*B- 1 OF A SUMMARY PLA T OF TR A- 1 LAGUNA SUBD MRG CD TR 129-B-1- A & LOT B- 1 BLK 4 HUNING CAST LE ADDN	0.5010 627	206638	
1 8	10130 58257 09830 932	BEACHAM EMI LIE SMITH	111 LA GUNA BLV S W	ALBUQ UERQ UE	NM	87104	R	A1AM	LT 1-A PLAT OF TR A-1- A & LT 1- A LAGUNA SUBD CONT 0.1631 AC+- / 7,105 SQ FT +-	0.1606 2003	206777	
1 9	10130 58248 09330 902	ZUNIGA ROBE RT E	125 LA GUNA BLVD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 005 003HUNING CAST LE & NLY 10FT L6	0.2742 3518	206800	
2 0	10130 58222 10830 928	RUSSELL GEO RGE L & JUDIT H R	1713 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	SLY 45FT OF LOT 9 & N WLY 61FT OF LOT 10 B LK 4 HUNING CASTLER EPL	0.2750 6456	208147	
2 1	10130 58216 11430 927	IDEN ROBERT E ETUX	1715 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	* 009 004HUNING CAST LE SE35FT L8 & NLY 45 FT L9	0.2101 4005	208454	
2 2	10130 58239 08830 901	BARR THOMA S A & JAMIE C	1701 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	* A 003HUNING CASTL E PORT BLK 3&4	0.3686 6138	209402	
2 3	10130 58203 09530 818	WALSH SUSAN A & RICHAR D C LEONG	1707 S AN CRI STOBA L RD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 021 005HUNING CAST LE ADDN	0.2618 4226	212579	
2 4	10130 58273 08340 708	YOUNGBERG ERIC	PO BO X 2592 4	ALBUQ UERQ UE	NM	87125	R	A1AM	* 011 001HUNING CAST LE REPLXS70FT L10	0.4726 247	212582	
2 5	10130 58284 13731 108	GARCIA WILF RED	24322 DEL P RADO	DANA POINT	CA	92629	R	A1AM	TRACT 106 & A PORT OF ABANDONED ALBU QUERQUE DITCH MRG CD MAP#38 CONT 0.32 22 AC M/L OR 14,035 S Q FT M/L	0.2645 5346	204889	
2 6	10130 58267 10530	BOYDEN GEO RGE M & DON A L	105 LA GUNA BLVD	ALBUQ UERQ UE	NM	87104	R	A1AM	* 4 LAGUNA SUBD A S UBD IN SEC 18 T10N R 3E	0.1500 0692	205554	

FEED ID	COAS DE.BE RNCO ParcelDec_2007.UPC	COAS DE.BE RNCO.ParcelDec_2007.OWNER	COAS DE.BE RNCO.ParcelDec_2007.OWNADD	COAS DE.BE RNCO.ParcelDec_2007.OWNCITY	COAS DE.BE RNCO.ParcelDec_2007.OWNSTATE	COAS DE.BE RNCO.ParcelDec_2007.OWNZIP	COAS DE.BE RNCO.ParcelDec_2007.OWNPCL	COAS DE.BE RNCO.ParcelDec_2007.OWNTAX	COAS DE.BE RNCO.ParcelDec_2007.LEGALDESC	COAS DE.BE RNCO.ParcelDec_2007.ACRE	COAS DE.BE RNCO.ParcelDec_2007.OBJECTID
1	101305822314330909	AG & FIVE LLC	1113 4TH ST NW	ALBUQUERQUE	NM	87102	C	A1AM	MAP 38 TR 131	2.22952419	187789
2	101305828812331127	DELAJOKEY LLC	2609 CANDELARIA RD NW	ALBUQUERQUE	NM	87107	C	A1AM	MAP 38 TRACT 104	0.16858202	188465
3	101305824911230905	COUNTRY CLUB PLAZA PARTNERS LLC ATTN: MR JAY REMBE	724 SILVER AVE SW B	ALBUQUERQUE	NM	87102	V	A1AM	TR 129-B-1-A OF A SUMMARY PLAT OF TR A-1 LAGUNA SUBD MRG CD TR 129-B-1-A & LOT B-1 BLK 4 HUNING CASTLE ADDN	1.19024232	188468
4	101305826318231117	MANZANO DAY SCHOOL	1801 CENTRAL AVE NW	ALBUQUERQUE	NM	87104	C	A1AM	TR A PLAT FOR TR A MANZANO DAY SCHOOL TOGETHER WITH LTS 19& 20 BLK 15 PORTIONS OF TRACT 91 MRG CD MAP # 38 CONT 5.1 694AC	5.18095907	191349
5	101305825312330906	MARTINEZ DAVID S & URSULA L	500 MADEIRANE	ALBUQUERQUE	NM	87108	C	A1AM	MAP 38 TRACT 129A	0.2135343	191462
6	101305823612630907	COUNTRY CLUB PLAZA PARTNERS LLC ATTN: JAY REMBE	723 SILVER AVE SW B	ALBUQUERQUE	NM	87102	V	A1AM	TRACT B PLAT OF TRACTS A & B LANDS OF HORN & CALVIN HORN BEING A REPL	1.22781684	191956
7	101305828014231110	ANITRAS OLD TOWN POSTER CO & GALLERY INC C/O WILLIAM E & HORTENSIA SBL YTHE	6901 GEORGETOWN AVE NW	ALBUQUERQUE	NM	87120	C	A1AM	MAP 38 TRACT 107 B	0.11215573	193159
8	101305825309630931	COUNTRY CLUB PLAZA PARTNERS LLC	723 SILVER SW B	ALBUQUERQUE	NM	87102	V	A1AM	TR A-1-A PLAT OF TR A-1-A & LT 1-A LAGUNA SUBD CONT 0.1322 AC +/- 5,759 SQ FT +/-	0.15035162	193162
9	101305832008630803	THOMPSON ROBERT R & JANE G	1704 CHACOMA PL SW	ALBUQUERQUE	NM	87104	R	A1AM	* 001 005HUNING CASTLE ADDN	0.25524107	197822
10	101305824819330908	COUNTRY CLUB PLAZA PARTNERS LLC ATTN: JAY REMBE	723 SILVER AVE SW B	ALBUQUERQUE	NM	87102	C	A1AM	TRACT A PLAT OF TRACTS A & B LANDS OF HORN & CALVIN HORN BEING A REPL	0.33634639	198425
11	101305827110830936	HUETER PATRICIA H	103 LAGUNA SW	ALBUQUERQUE	NM	87104	R	A1AM	* 5 LAGUNA SUBD A SUBD IN SEC 18 T10N R 3E	0.13981045	198466
12	101305827614831	MANZANO DAY SCHOOL	1801 CENTRAL AVE	ALBUQUERQUE	NM	87104	V	A1AM	MAP 38 TRACT 108	0.53531699	198830

	935		NW								
2	10130 58203 712530 925	BRONSTEIN P AUL	1719 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	* 001 004HUNING CAST LE & E PORT L2	0.2617 5152	205659
2	10130 58199 810630 806	PETERS DAVI D B	1716 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	* 008 005HUNING CAST LE ADDN REPL PORT B LK 4 5 & 6	0 2226 4942	206463
2	10130 58260 910130 933	POORE IDA T	109 LA GUNA BLVD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 2 LAGUNA SUBD A S UBD IN SEC 18 T10N R 3E	0.1661 6684	206517
3	10130 58231 009830 929	POTTER ALBE RT F & CARA GORDON	1705 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	*B- 1 OF A SUMMARY PLA T OF TR A- 1 LAGUNA SUBD MRG CD TR 129-B-1- A & LOT B- 1 BLK 4 HUNING CAST LE ADDN	0.5010 627	206638
3	10130 58257 109830 932	BEACHAM EMI LIE SMITH	111 LA GUNA BLV S W	ALBUQ UERQ UE	NM	87104	R	A1AM	LT 1-A PLAT OF TR A-1- A & LT 1- A LAGUNA SUBD CONT 0.1631 AC+- / 7,105 SQ FT +-	0.1606 2003	206777
3	10130 58248 209330 902	ZUNIGA ROBE RT E	125 LA GUNA BLVD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 005 003HUNING CAST LE & NLY 10FT L6	0.2742 3518	206800
3	10130 58222 310830 928	RUSSELL GEO RGE L & JUDIT H R	1713 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	SLY 45FT OF LOT 9 & N WLY 61FT OF LOT 10 B LK 4 HUNING CASTLER EPL	0.2750 6456	208147
3	10130 58274 411230 937	CHAPMAN HO WARD L & BEV ERLY W	101 LA GUNA BLVD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 6 LAGUNA SUBD A S UBD IN SEC 18 T10N R 3E	0 1551 4093	208352
3	10130 58216 511430 927	IDEN ROBERT E ETUX	1715 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	* 009 004HUNING CAST LE SE35FT L8 & NLY 45 FT L9	0.2101 4005	208454
3	10130 58239 608830 901	BARR THOMA S A & JAMIE C	1701 C HACO MA PL SW	ALBUQ UERQ UE	NM	87104	R	A1AM	* A 003HUNING CASTL E PORT BLK 3&4	0.3686 6138	209402
3	10130 58203 709530 818	WALSH SUSAN A & RICHAR D C LEONG	1707 S AN CRI STOBA L RD S W	ALBUQ UERQ UE	NM	87104	R	A1AM	* 021 005HUNING CAST LE ADDN	0 2618 4226	212579
3	10130 58273 808340 708	YOUNGBERG ERIC	PO BO X 2592 4	ALBUQ UERQ UE	NM	87125	R	A1AM	* 011 001HUNING CAST LE REPLXS70FT L10	0.4726 247	212582



OR CURRENT RESIDENT
101305821011930926
ADOLPH COLLEEN K
1717 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305828114131109
ANITRAS INDIAN JEWELRY C/O
WILLIAM E & HORTENSIA S BLYTHE
6901 GEORGETOWN AVE NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
101305825709830932
BEACHAM EMILIE SMITH
111 LAGUNA BLV SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305827411230937
CHAPMAN HOWARD L & BEVERLY W
101 LAGUNA BLVD SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305825706830703
GARCIA SHEILAH P
PO BOX 26207
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT
101305827110830936
HUETER PATRICIA H
103 LAGUNA SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305821309230804
MALLORY KEITH J & SANDRA L
1708 CHACOMA SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305819910630806
PETERS DAVID B
1716 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305820609930805
PRICE JAMES THOMAS ETUX
1712 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305832008630803
THOMPSON ROBERT R & JANE G
1704 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305822314330909
AG & FIVE LLC
1113 4TH ST NW
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101305828014231110
ANITRAS OLD TOWN POSTER CO &
GALLERY INC C/O WILLIAM E &
HORTENSIA S BLYTHE
6901 GEORGETOWN AVE NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
101305826710530935
BOYDEN GEORGE M & DONA L
105 LAGUNA BLVD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305823612630907
COUNTRY CLUB PLAZA PARTNERS
LLC ATTN: JAY REMBE
723 SILVER AVE SW B
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101305828613431107
GARCIA VITA A
1617 CENTRAL AVE NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305821611430927
IDEN ROBERT E ETUX
1715 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305826318231117
MANZANO DAY SCHOOL
1801 CENTRAL AVE NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305826010130933
POORE IDA T
109 LAGUNA BLVD SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305827814431111
RAMIREZ CRISTELA
PO BOX 7231
ALBUQUERQUE, NM 87194

OR CURRENT RESIDENT
101305822608630802
THROCKMORTON REX D & BARBARA
C
201 LAGUNA BLVD SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305824105930704
ALLEN DOUGLAS C & DEBORAH Z
206 LAGUNA BLVD SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305823908830901
BARR THOMAS A & JAMIE C
1701 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305820312530925
BRONSTEIN PAUL
1719 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305828812331127
DELAJOKEY LLC
2609 CANDELARIA RD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305828413731108
GARCIA WILFRED
24322 DEL PRADO
DANA POINT, CA 92629

OR CURRENT RESIDENT
101305826210430934
KOLEHMAINEN PHILIP M & JANET P
107 LAGUNA BLV SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305825312330906
MARTINEZ DAVID S & URSULA L
500 MADEIRA NE
ALBUQUERQUE, NM 87108

OR CURRENT RESIDENT
101305823109830929
POTTER ALBERT F & CARA GORDON
1705 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305822210830928
RUSSELL GEORGE L & JUDITH R
1713 CHACOMA PL SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305828512731106
VIGIL GILBERT J & NANCY C &
ERNEST & MARGARITA ARCHIBEQUE
7401 GENE AVE NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101305820309530818
WALSH SUSAN A & RICHARD C
LEONG
1707 SAN CRISTOBAL RD SW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305827308340708
YOUNGBERG ERIC
PO BOX 25924
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT
101305824809330902
ZUNIGA ROBERT E
125 LAGUNA BLVD SW
ALBUQUERQUE, NM 87104

Project# 1004677
ISAACSON & ARFMAN PA
128 MONROE NE
ALBUQUERQUE, NM 87108

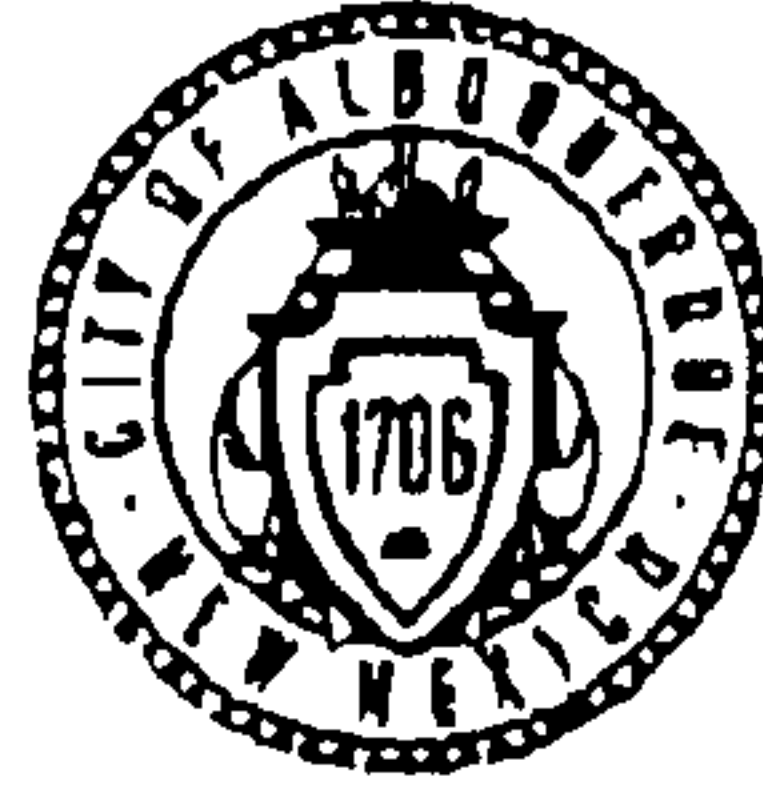
Project# 1004677
INFILL SOLUTIONS LLC
723-B SILVER SW
ALBUQUERQUE, NM 87102

Project# 1004677
AB POTTER
Huning Castle NA
1705 CHACOMA PL SW
ALBUQUERQUE, NM 87104

Project# 1004677
REX THROCKMORTON
Huning Castle NA
201 LAGUNA SW
ALBUQUERQUE, NM 87104

Project# 1004677
TERRY BRUNNER
Downtown NA
601 LUNA NW
ALBUQUERQUE, NM 87102

Project# 1004677
JENNIFER DEGARMO
Downtown NA
1021 FORRESTER NW
ALBUQUERQUE, NM 87102



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 30, 2008

Ruth Lozano
Isaacson and Arfman, P.A.
128 Monroe St. NE/87108
Phone: 268-8828/Fax: 268-2632

Dear Ruth:

Thank you for your inquiry of July 30, 2008 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS A&B, HB HORN AND CALVIN HORN, TRACT 129BIA MRGCD MAP 35, REMAINING PORTION OF TRACT B, HUNING CASTLE ADDITION, LOT A1A, LAGUNA SUBDIVISION, LOCATED ON CENTRAL AVENUE SW BETWEEN LAGUNA BOULEVARD SW AND SAN PASQUALE AVENUE SW** zone map J-13.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

HUNING CASTLE N.A. (HCS) "R"

Ab Potter, 1705 Chacoma Pl. SW/87104 298-1534 (h)
Rex Throckmorton, 201 Laguna SW/87104 244-9066 (h)

DOWNTOWN N.A. (DNA) "R"

Terry Brunner, 601 Luna NW/87102 842-8364 (h)
Jennifer DeGarmo, 1021 Forrester NW/87102 224-9393 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani J. Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(07/23/07)

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

July 29, 2008

Mr. Jack Cloud
DRB Chair
City of Albuquerque
600 2nd St NE
Albuquerque, NM 87102

**RE: Country Club Plaza, Phase 1 (DRB Project #1004667)
Design Variance Request – curb & gutter**

Dear Mr. Cloud:

Isaacson & Arfman, P.A., as agents for the owners of the above mentioned project, requests a design variance for the mountable and median curb & gutter within the site.

The variance essentially affects the flowline to back-of-curb distance. In the City Specifications, mountable curb & gutter is 7½" from flowline to back-of-curb. We are requesting it be 6". (See the attached detail.) The City median curb has 8" for that dimension, but we are requesting it be 4½". All curb will be required to be built of 4,000 psi concrete (not 3,000 psi).

The mountable curb & gutter is throughout most of the internal roads. This will allow the mountable curb to fit in the tight dimensions around the cul-de-sac without compromising road width or creating a need for setback encroachments.

The median curb will be above the wall of the underground storm drain detention facility – a large concrete structure – and will have concrete structural slabs and pavers behind it. (See the attached details.)

All internal roads on this project are to be privately maintained by the Homeowner's Association.

Thank you for your consideration of this matter.

Sincerely Yours,
Isaacson & Arfman, P.A.

Genny Dohart, PE
GD/gld

Attachments



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 2/18/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-13-Z

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		Airport Noise Contours
H-1 Buffer Zone		Wall Overlay Zone
Petroglyph Mon.		

0 750 1,500 Feet

COUNTRY CLUB PLAZA UPC NUMBERS

PARCEL	UPC#
Tract A, HB&Calvin Horn	101305824819330908
Tract B, HB&Calvin Horn	101305823612630907
Tract 129B1A, MRGCD Map #35	101305824911230905
Remaining Portion of Tract B, Huning Castle Addition	101305826511830903
Lot A1A, Laguna Subdivision	101305825309630931



DRB CASE ACTION LOG (EPC SDP – SUBD)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70221

Project # 1004677

Project Name: COUNTRY CLUB PLAZA

Agent: INFILL SOLUTIONS

Phone No.:

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

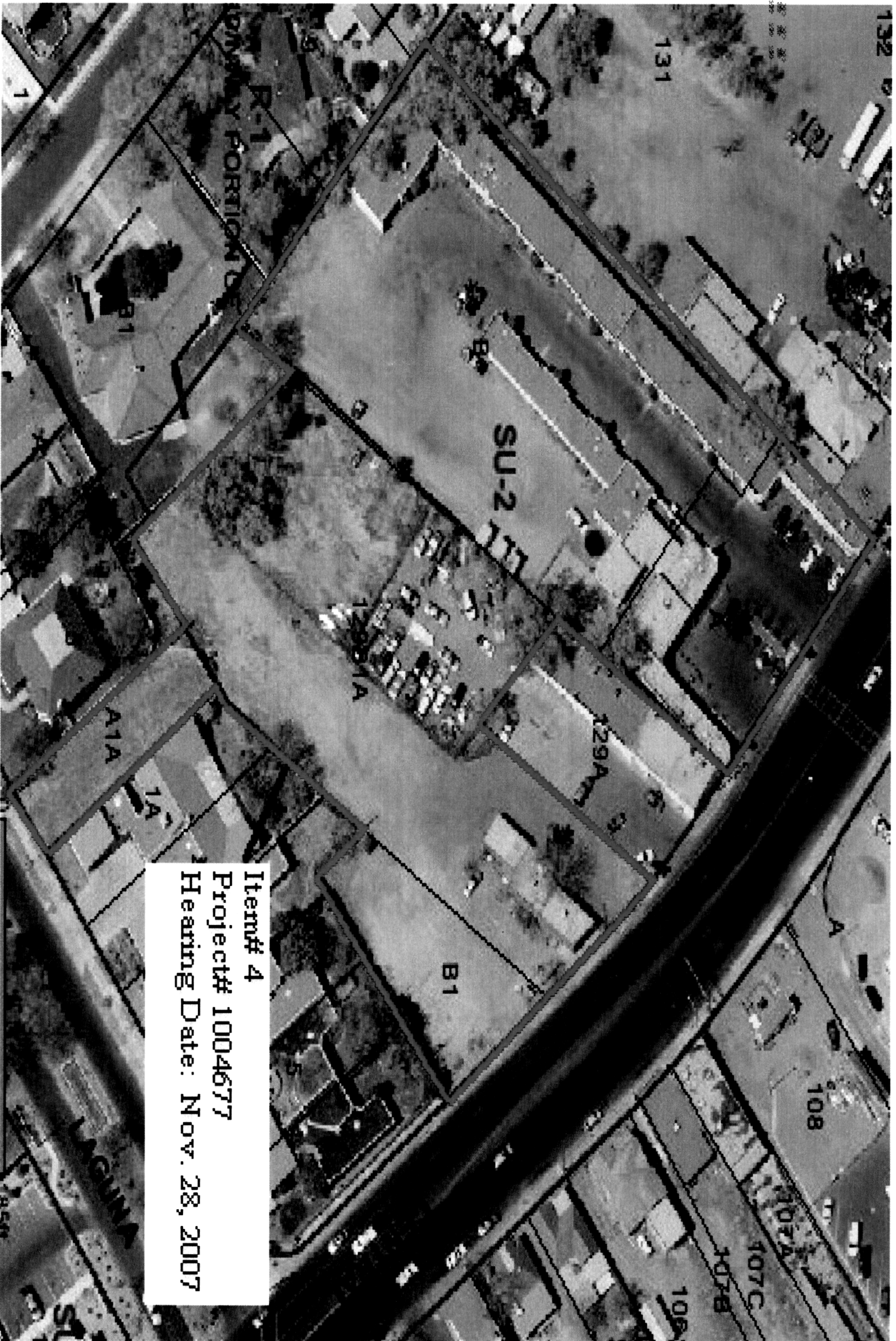
PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

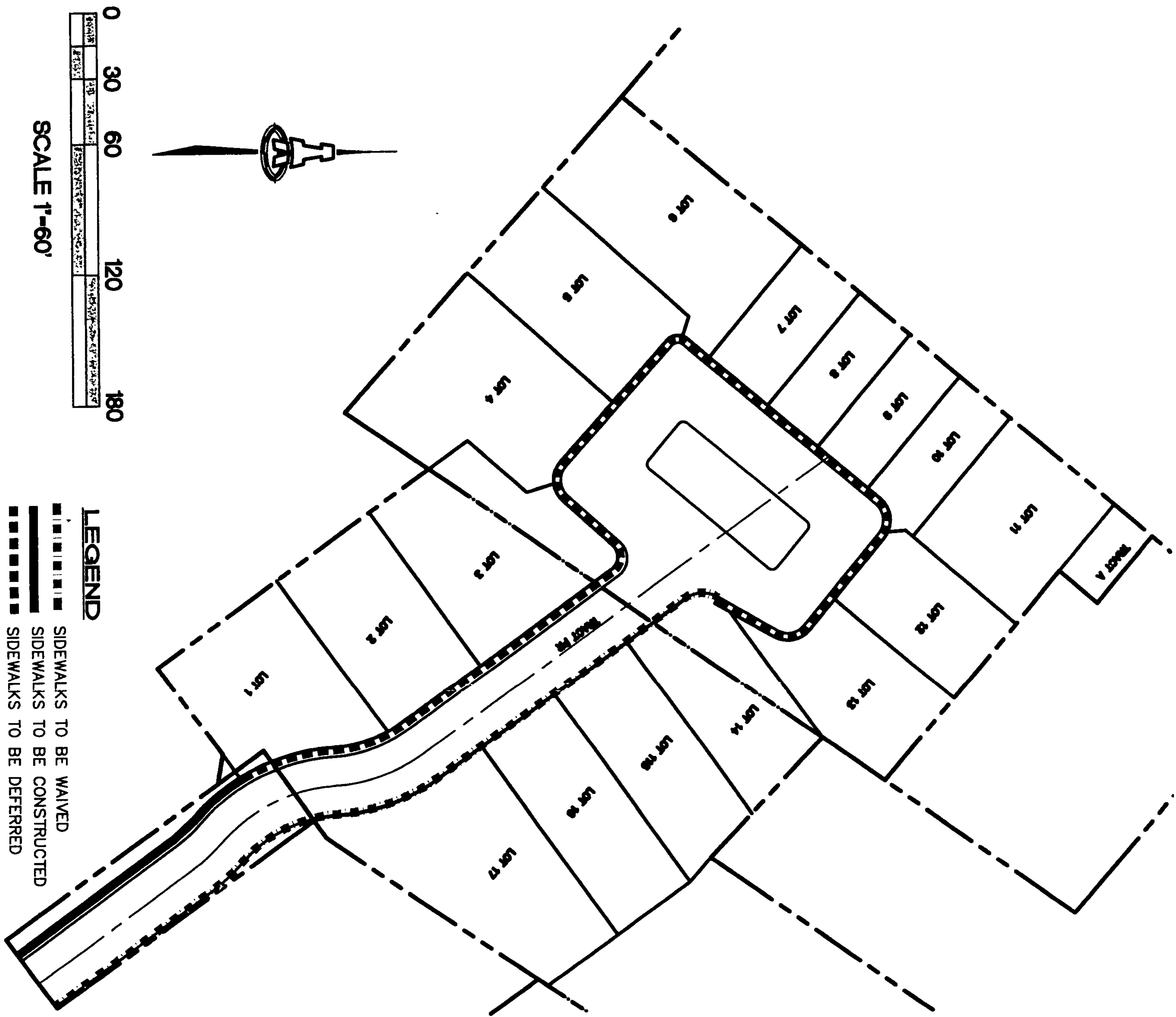
- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

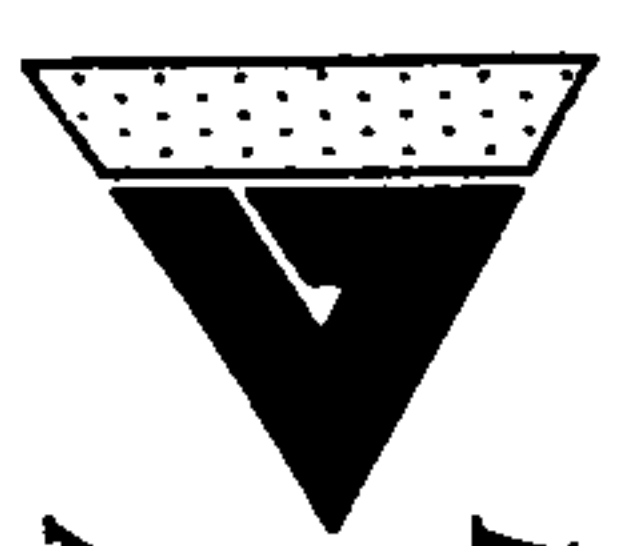
Created For:



Item# 4
Project# 1004677
Hearing Date: Nov. 28, 2007



SIDEWALK EXHIBIT


ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque
1462EXH-SDWK.dwg Oct 31, 2007
New Mexico



#8
4

Complete
1/30/08

DRB CASE ACTION LOG (SITE PLAN SUBD)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70221 (SPS)

Project # 1004677

Project Name: COUNTRY CLUB PLAZA

Agent: INFILL SOLUTIONS

Phone No. 401-7844

Your request for (SDP for SUB), (~~SDP for BP~~), (~~FINAL PLATS~~), (~~MASTER DEVELOP. PLAN~~), was approved on 11/28/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Need exhibits for Central & Laguna; does site have median access along Central?; Entrances off Central do not meet DPM guidelines - need mtg to determine if variances are warranted; build notes for items in ROW; location of ramps/details; lots 6, 13, 14 do not have adequate frontage

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): replot 3 copies

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1004677

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

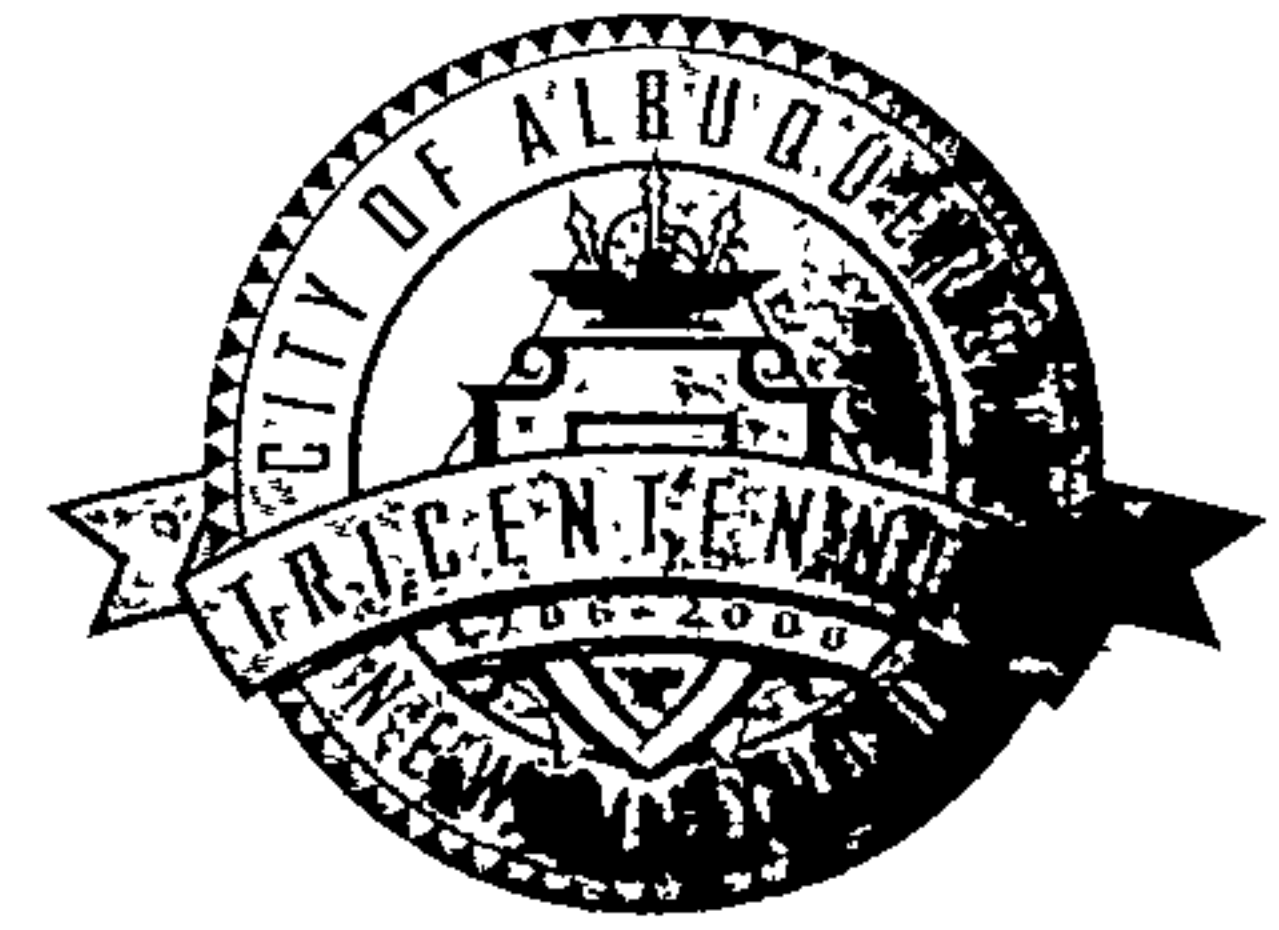
6. **Project# 1006801**
07DRB-70240 MINOR - SDP FOR
BUILDING PERMIT
CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT COMPANY, LTD request(s) the above action(s) for all or a portion of Tract(s) C, **BRUNACINI AT ATRISCO BUSINESS PARK**, zoned IP, located on LOS VOLCANES RD NW BETWEEN UNSER BLVD NW AND COORS BLVD NW containing approximately 22.5074 acre(s). (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.**

7. **Project# 1005513**
07DRB-70241 EPC APPROVED SDP
FOR BUILD PERMIT
07DRB-70242 EPC APPROVED SDP
FOR SUBDIVISION
FRANK AND EVELYN BARELA request(s) the above action(s) for all or a portion of Tract(s) 2, **LANDS OF ALBERT L. MATTHEW**, zoned SU-1/R-LT USES, located on 12TH ST NW BETWEEN DON FRANCISCO NW AND CANDELARIA NW containing approximately 0.3788 acre(s). [Anna Di Mambro, EPC Planner] (G-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project# 1004677**
07DRB-70221 EPC APPROVED SDP
FOR SUBDIVISION
INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Parcel 1, Tract(s) 133A1, 133A2, 133B, 134 & 135A and Parcel 2 Tract(s) 129B1A, MRGCD Map 38, Tract(s) A & B, **LANDS OF HB AND CALVIN HORN & LAGUNA SUBDIVISION**, Tract(s) A1A, **LAGUNA SUBDIVISION** (to be known as **COUNTRY CLUB PLAZA**) zoned SU-2/CLD, located on CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE AVE SW containing approximately 4.45 acre(s). [Deferred from 09/05/07] [Carmen Morrone, EPC Planner] (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project# 1003359**
07DRB-70226 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
07DRB-70227 MINOR - SDP FOR
BUILDING PERMIT
RIO GRANDE SURVEYING agent(s) for KASSAM BUSINESS CENTER LLC request(s) the above action(s) for all or a portion of Lot(s) 8-10 & 23-25, Tract(s) A, Block(s) 26, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 6.01 acre(s). [Deferred from 09/05/07] (C-18) **INDEFINITELY DEFERRED DUE TO A NO SHOW.**

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004677

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for Subdivision

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan must be on file prior to site plan approval.
Concurrent platting action required.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

Indef

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

505-924-3986

DATE: SEPTEMBER 12, 2007

(J-13/D011)

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Division

INTER-OFFICE MEMO

August 31, 2007

TO: Sheran Matson, DRB Chair
FROM: Carmen Marrone, Senior Planner
RE: **Project #1004677, Country Club Plaza**

On March 16, 2006, the EPC approved a Site Development Plan for Subdivision for approximately 4.5 acres located on Central Ave. SW between Laguna Blvd. and San Pasquale Ave.

I have reviewed the DRB Site Development Plan and find that the applicant has complied with all of the EPC conditions.

If you have any questions regarding this case, please call me at 924-3814.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 5, 2007 9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 12:10 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1006739**
07DRB-70187 VACATION OF PUBLIC
RIGHT-OF-WAY

JACK'S HIGH COUNTRY INC. agent(s) for MANUEL AND MARTHA P. BARRARA request(s) the above action(s) for all or a portion of the AMOLE DEL NORTE DIVERSION FACILITY, located on SAGE RD SW BETWEEN RAELE ST SW AND AMOLE DEL NORTE DIVERSION CHANNEL containing approximately 0.32 acre(s). (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 09/12/07.**

5. **Project# 1005464**
07DRB-70082 VACATION OF PUBLIC RIGHT-OF-WAY
- THOMPSON ENGINEERING CONSULTANTS INC agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 32, Tract(s) A, **NORTH ALBUQUERQUE ACRES**, zoned R-LT, located on PALOMAR AVE NE between BARSTOW ST NE and VENTURA ST NE containing approximately 0.73 acre(s). *[Deferred at the Board's request from 07/18/07 & deferred from 08/15/07]*(D-19) **OFFICIALLY WITHDRAWN AT THE AGENT'S REQUEST.**
6. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK
- SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). *[Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07 & 08/22/07]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.**
7. **Project # 1005546**
07DRB-00589 Major-Vacation of Pub Right-of-Way
- SURV TEK INC agent(s) for BLACK FARMS LLC request(s) the above action(s) for **BLACK FARMS ESTATE, UNIT 2**, zoned RA-1 located on IRVING BLVD NW between VALLEY VIEW DR NW and RIVERFRONTE DR NW. *[Deferred from 06/06/07]* (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/07/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

8. ~~Project#-1004677~~
07DRB-70221 EPC APPROVED SDP FOR SUBDIVISION
- INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Parcel 1, Tract(s) 133A1, 133A2, 133B, 134 & 135A and Parcel 2 Tract(s) 129B1A, MRGCD Map 38, Tract(s) A & B, LANDS OF HB AND CALVIN HORN & LAGUNA SUBDIVISION, Tract(s) A1A, LAGUNA SUBDIVISION (to be known as **COUNTRY CLUB PLAZA**) zoned SU-2/CLD, located on CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE AVE SW containing approximately 4.45 acre(s). **[Carmen Morrone, EPC Planner]** (J-13) ~~DEFERRED AT THE AGENT'S REQUEST TO 09/12/07.~~

13. **Project# 1002962**
07DRB-70224 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS, INC. request(s) the above action(s) for all or a portion of Tract(s) A, B, & C, **CANTATA AT THE TRAILS, UNIT 2**, zoned SU-2, SU-1 FOR PARK & SU2 FOR UR, located on OAKRIDGE ST NW BETWEEN WOODMONT AVE NW AND PASEO DEL NORTE NW containing approximately 20.7395 acre(s). (C-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENT AND TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**
14. **Project# 1006788**
07DRB-70223 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for KKY PROPERTIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-A, Tract(s) B-3-A-1 (to be known as **LOT 10-A-1 WASHINGTON BUSINESS PARK**) zoned SU-2/M-1, located on WASHINGTON ST NE BETWEEN WASHINGTON PL NE AND ALAMEDA BLVD NE containing approximately 5.9162 acre(s). (C-17) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE, ENVIRONMENTAL HEALTH'S SIGNATURE, TO BE SURE SIDEWALKS EXISTING, AGIS DXF FILE AND TO RECORD.**
15. **Project# 1000029**
07DRB-70225 SIDEWALK WAIVER
- BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or a portion of **ARBOLERA DE VIDA PHASE 2B**, zoned SU2-M1, S-1, located on 18TH ST NW BETWEEN AGUA FRESCA NW AND MIS ABUELITOS DR NW containing approximately 23.8439 acre(s). (H-13) **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
16. **Project# 1004355**
07DRB-70230 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WILSON AND COMPANY INC agent(s) for KB HOMES NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 1-4, Block(s) 2, Lot(s) 1-4, Block(s) 3, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW containing approximately 1.35 acre(s). (D-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE, REAL PROPERTY'S SIGNATURE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

21. **Project# 1003674**
07DRB-70075 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) A, RICH COURT SUBDIVISION (to be known as **Lot(s) 7, 8, & 9 and Tract(s) A-1, RICH COURT SUBDIVISION**) zoned R-D 3DU/A, located on ALAMEDA AVE NE between BARSTOW ST NE and VENTURA ST NE containing approximately 1.0376 acre(s). *[Deferred from 06/27/07]* (C-20) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA'S SIGNATURE, MAINTANENCE AND BENEFICIARIES OF ALL ACCESS EASEMENTS, ACCESS EASEMENTS TO LOT A-1, SANITARY SEWER EASEMENTS TO FUTURE CUL-DE-SAC AND STREET AND TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT AND TO RECORD.**

22. **Project # 1003800**
07DRB-70212 MINOR - FINAL PLAT
APPROVAL

LLAVE DEVELOPMENT INC. request(s) the above action(s) for all or any portion of Lot(s) 1-4, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area located on EAGLE ROCK NE between BARSTOW NE and VENTURA NE containing approximately 4 acre(s). [REF: 05DRB01906, 05DRB01907, 05DRB01908] *[Deferred from 08/29/07]* (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

23. **Project# 1006783**
07DRB-70218 SKETCH PLAT REVIEW
AND COMMENT

RUDY RAEL request(s) the above action(s) for all or a portion of Lot(s) B-1, **ROZZI**, zoned R-1, located on MOUNTAIN RD NW BETWEEN RIO GRANDE BLVD NW AND MONTOYA RD NW containing approximately 0.21 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

Other Matters: None.

ADJOURNED: 12:10 P.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004677

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for Subdivision

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan must be on file prior to site plan approval.
Concurrent platting action required.
Infrastructure List comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

505-924-3986

DATE: SEPTEMBER 5, 2007

(J-13/D011)

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

01/27/2009 Issued By: E08375

Permit Number: 2009 070 033 **Category Code 910**

Application Number: 09DRB-70033, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: CENTRAL AVE SW BETWEEN SAN PASQUALE AV SW AND LAGUNA BLVD SW

Project Number: 1004677

Applicant

Abq Engineering
Martin Garcia
6739 Academy Rd Ne Suite130
Albuquerque NM 87109

mjgarcia@abqeng.com

Agent / Contact

Abq Engineering
Martin Garcia
6739 Academy Rd Ne Suite130
Albuquerque NM 87109

mjgarcia@abqeng.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$285.00
TOTAL:		\$305.00

City Of Albuquerque
Treasury Division

1/27/2009 10:43AM LOC: ANX
USID 007 TRANS# 0006
RECEIPT# 00109847-00109847
PERMIT# 2009070033 TRSLJS
Trans Amt \$305.00
Conflict Manag. Fee \$20.00
DRB Actions \$285.00
CK \$305.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/30/2008 Issued By: E08375

Permit Number: 2008 070 346

Category Code 910

Application Number: 08DRB-70346, Subdn Design Variance From Min Dpm Stds

Address:

Location Description:

Project Number: 1004677

Applicant
Infill Solutions, Llc

 723 - B Silver Sw
 Albuquerque NM 87102
 242-1871

Agent / Contact
Isaacson And Arfman Pa
 Jenny Donart
 128 Monroe St Ne
 Albuquerque NM 87108

 iamengrs@swcp.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
 Treasury Division

7/30/2008 3:50PM LOC: ANNX
 WS# 008 TRANS# 0030
 RECEIPT# 00094562-00094562
 PERMIT# 2008070346 TRSSVG
 Trans Amt \$20.00
 Conflict Manag. Fee \$20.00
 CK \$20.00
 CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

02/26/2008 Issued By: E08375

Permit Number: 2008 070 101 **Category Code 910**

Application Number: 08DRB-70101, Epc Approved Sdp For Subdivision

Address:

Location Description: CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE SW

Project Number: 1004677

Applicant

Jay Rembe And/Or His Assigns

733 B. Silver Ave Nw
Albuquerque NM 87102
242-1875

Agent / Contact

C David Day, Moule & Polyzoides Architects

1913 Gabaldon Ct Nw
Albuquerque NM 87104
515-1333

Application Fees

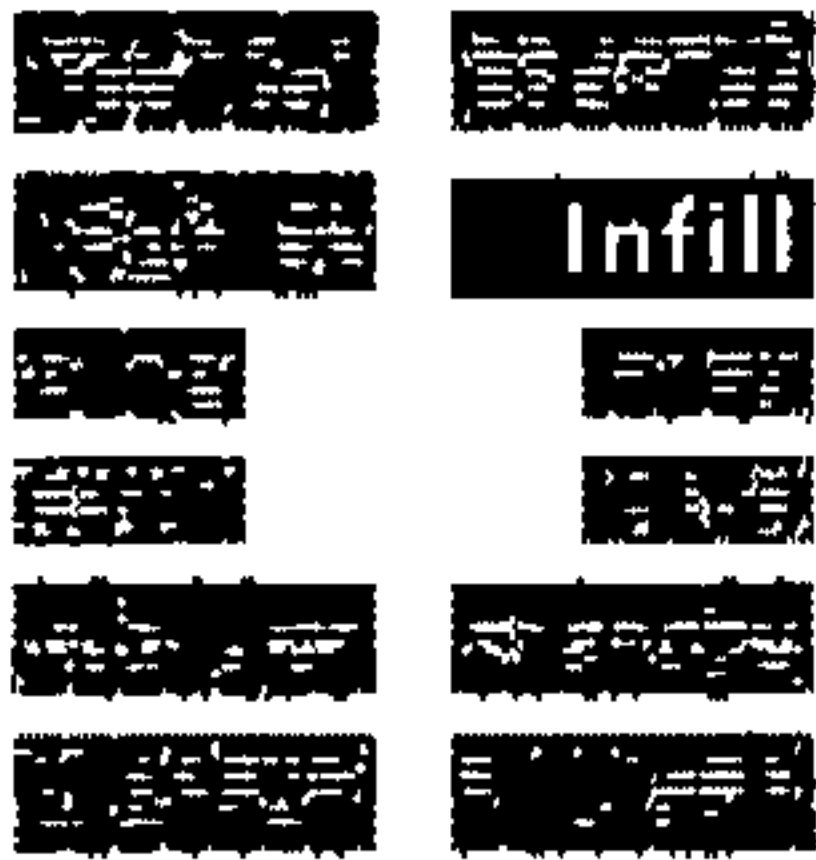
441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

2/26/2008 11:15AM LDC: ANX
USH GSE TRANCH 0012
RECEIPT# 00027895-00027895
PERMIT# 2008070101 TRSDMG
Trans Amc \$20.00
Conflict Manag. Fee \$20.00
OK \$20.00
CHANGE \$0.00

Thank You

#8



Infill Solutions
Innovative Urban Design and Development

FAX TO: Ms. Sheran Matson (924-3864)
Chair, Development Review Board
City of Albuquerque

RE: Deferral of Project #1004677 , Country Club Plaza

FROM: Christopher Calott
INFILL SOLUTIONS

DATE: September 11, 2007

Dear Chair Matson,

I am writing to request a deferral of our Project #1004677 which is scheduled as item #8 on your September 12, 2007 AGENDA. We would request an indefinite deferral and notify you when we will be ready to be reviewed in the near future.

Very Best and Thank You,

Christopher Calott
Partner, INFILL SOLUTIONS

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/27/2007 Issued By: PLNSDH

1896
1896
1896

Permit Number: 2007 070 221

Category Code 910

Application Number: 07DRB-70221, Epc Approved Sdp For Subdivision

Address:

Location Description: CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE AVE SW

Project Number: 1004677

Applicant
Infill Solutions

Agent / Contact
Infill Solutions

723-B Silver Ave Sw
Albuquerque, NM 87102
401-7844
callot@infillsolutions.com

723-B Silver Ave Sw
Albuquerque, NM 87102
401-7844
callot@infillsolutions.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

8/27/2007 4:01PM LOC: ANNX
WSH 008 TRANSH 0042
RECEIPT# 00080606-00080606
PERMIT# 2007070221 TRSLJ6
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
MC \$20.00
CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Subdivision		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan		L A APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	D	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: CHRISTOPHER CALOTT / INFILL SOLUTIONS PHONE: 505-401-7844
 ADDRESS: 723-B SILVER AVENUE, S.W. FAX: 505-242-1872
 CITY: ALBUQUERQUE STATE: N.M. ZIP: 87102 E-MAIL: CALOTT@INFILLSOLUTIONS.COM
 Proprietary interest in site: OWNER List all owners: JAY REMBE

DESCRIPTION OF REQUEST: FINAL SIGN-OFF FOR EPC APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: PARCEL 1: TRACTS 133A1; 133A2; 133B; 134 & 135A MRGCD MAP 38.
 Subdiv/Addn/TBKA: PARCEL 2: TRACTS 129B1A, MRGCD MAP 38; TRACTS A & B LANDS OF H.B. & CALVIN HORN; TRACT A1A, LAGUNA SUBDIVISION.
 Existing Zoning: SU-2/CLD Proposed zoning: SAME
 Zone Atlas page(s): J-13 UPC Code: SEE ATTACHED SHEET MRGCD Map No: 38

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
CASE # 06EPC 00143; PROJECT # 1004677

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 5 No. of proposed lots: 51 Total area of site (acres): 4.45 ACRES
 LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL AVENUE, S.W.
 Between: LAGUNA BOULEVARD SW. and SAN PASQUALE AVENUE SW.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____ DATE 8/28/2007
 (Print) CHRISTOPHER CALOTT Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB</u>	<u>SPS</u>	<u>P(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>70221</u>	<u>CMP</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>September 5, 2007</u>			Total \$ <u>20.00</u>

Rudew Garcia 8/27/07 Project # 1004677
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

CHRISTOPHER CALOTT
 Applicant name (print)
[Signature] 8/28/2007
 Applicant signature / date



Form revised APRIL 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07 DRB - _____ - 70221

[Signature] 8/27/07
 Planner signature / date
Project # 1004677

Country Club Plaza is comprised of two Parcels with the properties listed below:

PARCEL 1

Property: Tracts 133A1; 133A2; 133B; 134 & 135A MRGCD Map 38
UPC #: 101305820716630911

PARCEL 2

Property: Tracts 129B1A MRGCD Map 38
UPC #: 101305824911230905

Property: Tract A, Lands of H.B. and Calvin Horn
UPC #: 101305824819330908

Property: Tract B, Lands of H.B. and Calvin Horn
UPC #: 101305823612630907

Property: Tract A1A, Laguna Subdivision
UPC #: 101305825309630931



Ms. Sheran Matson
Section Manager
Development Review Board
Planning Department
City of Albuquerque
Albuquerque, New Mexico
8 7 1 0 2

RE: Final sign-off for EPC approved Site Development Plan for Subdivision

PROJECT NUMBER: 1004677

CASE NUMBER: 06EPC 00143

Dear Ms. Matson,

August 28, 2007

Please find here a written description and acknowledgement of all modifications that have been made to our site plan for the Country Club Plaza since our March 16, 2006 EPC Hearing in order to comply with all Conditions listed in our Official Notice of Decision dated March 17, 2006. We have already met with Senior Staff Planner Ms. Carmen Marrone on August 27th to review all EPC Conditions and to ensure our compliance with these Conditions in our revised plans. The following items addressed coincide with the numbered Conditions in the Official Notice of Decision and modifications can be referenced in our revised plans submitted with this application.

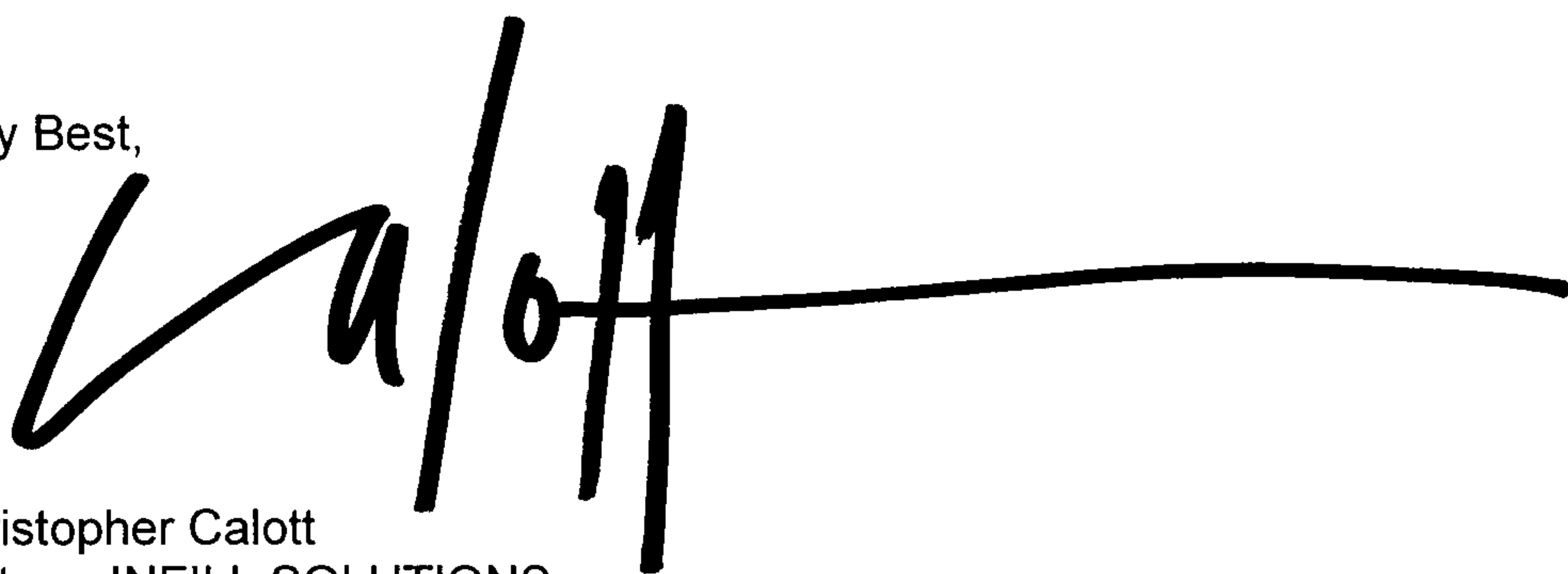
1. Applicant acknowledges this Condition.
2. See copies of three ZHE Notifications of Decision dated 4/5/2006 provided with this submission.
3. Applicant acknowledges this Condition.
4. Corrected on all Sheets submitted here.
5. Corrected on all Sheets submitted here.
6. Corrected on Sheet A.1 submitted here.
7. Corrected on Sheet A.1 submitted here.
8. See notes added on Sheets A.2, A.3 and within the Design Guidelines submitted here.
9. See section added on Streets and Landscaped Oval in the Design Guidelines submitted here.

10. Access easement has been eliminated on all Sheets submitted here.
11. Corrected on all Sheets submitted here.
12. See revised note 14 on Sheet A.2 submitted here.
13. This Condition will be satisfied through a future application of an Administrative Amendment.
14. Corrected on Sheet A.1 submitted here.
15. New residential units above the shops are not being proposed in this submission.
16. New residential units above the shops are not being proposed in this submission.
17. See revised note on Sheet A.4 submitted here.
18. See revised note on Sheet A.5 submitted here.
19. Existing perimeter walls are indicated on Sheets A.2 and A.3 submitted here.
20. See revised note on Sheet A.3 submitted here.
21. There are no perimeter walls provided on Parcel 1.
22. There are no perimeter walls provided on Parcel 1.
23. See new Design Guideline section on Parking added to Sheet A.5.
24. See revised Sheet A.3 for new 4'-wide sidewalk provided.
25. See revised Sheets A.3 and A.5 for deletion of Pedestrian Access Easement submitted here.
26. See revised Sheets A.2 and A.3 for deletion of bollard lighting submitted here.
27. See revised note on Sheet L.1.2 submitted here.
28. See revised note on Sheet L.1.2 submitted here.
29. See deleted note on Sheet L.1.2 submitted here.
30. See revised landscape calculations on Sheet L.1.2 submitted here.
31. See revised Landscape Plan L.1 submitted here.
32. See revised Landscape Plan L.1 submitted here.
33. See revised note on Sheet A.5 to include Motor Court and Lofts submitted here.
34. See revised note on Sheet A.5 submitted here.
35. See further detail of signage location on Sheet A.3 submitted here.
36. See revised note on Sheet A.4 submitted here.
37. Applicant acknowledges this Condition.
38. Applicant acknowledges this Condition.
39. See revised note on Sheet A.4 submitted here.

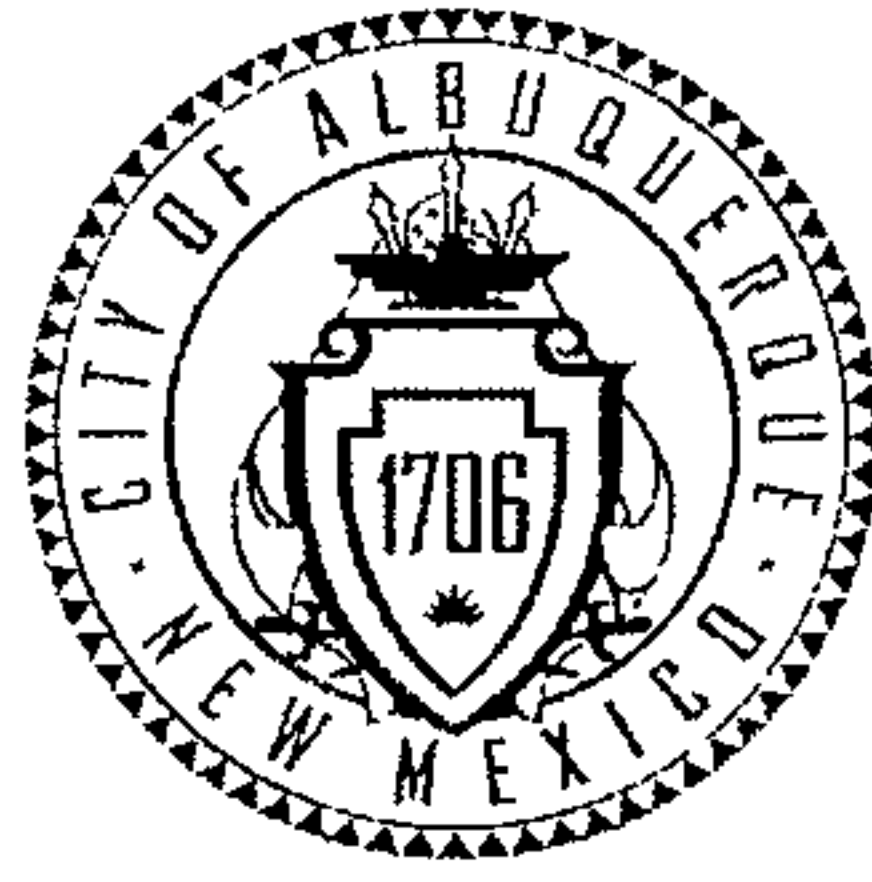
40. These are presently indicated on Sheets A.2 and A.3 submitted here.
41. Applicant acknowledges this Condition and will satisfy all COA Fire Department codes and directives.
42. See revised note and location required transit shelter on Sheet A.3.
43. Applicant acknowledges this Condition.
44. Applicant acknowledges this Condition.
45. Applicant acknowledges this Condition.
46. Applicant acknowledges this Condition.
47. Applicant acknowledges this Condition.
48. Applicant acknowledges these Conditions.

Please do not hesitate to contact me for any further clarifications to these site plan modifications and acknowledgements made to comply with all Conditions in our Official Notice of Decision for the Country Club Plaza.

Very Best,

A handwritten signature in black ink, appearing to read 'C. Calott', with a long horizontal flourish extending to the right.

Christopher Calott
Partner, INFILL SOLUTIONS



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 17, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004677**
06EPC-00143 EPC Site Development Plan-
Subdivision

Christopher Calott
723 B Silver Ave. SW
Albuq. NM 87102

LEGAL DESCRIPTION: for Tract A-1-A, Laguna Subdivision; Tracts A and B, Lands of H.B. and Calvin Horn; and Tracts 129B1A, 133A1, 133A2, 133B, 134, & 135A, MRGCD Map 38, zoned SU-2/CLD, located on CENTRAL AVE. SW, between LAGUNA BLVD. SW and SAN PASQUALE AVE. SW, containing approximately 4.5 acres. (J-13)
Carmen Marrone, Staff Planner

On March 16, 2006 the Environmental Planning Commission voted to approve Project 1004677/06EPC 00143, a Site Development Plan for Subdivision, for Tract A1A, Laguna Subdivision; Portion of Tract B, Block 3 and Parcels 1, 2, and 3, Huning Castle Addition; Tract A & B, Lands of H.B. Horn and Calvin Horn, for 30 days, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for subdivision, with associated design guidelines, for approximately 4.5 acres located along Central Avenue between Laguna and San Pasqual SW. The purpose of the request is to develop 17 courtyard houses, 32 loft-style townhouses and approximately 11,000 sq. ft. of new commercial buildings, including 3771 square feet of studio/office space. Also proposed is the rehabilitation of a portion of the historic Horn Oil Company building and demolition of the tourist court portion of the building.
2. The subject properties are all zoned SU-2/CLD (Commercial and Low Density Apartment) per the *Huning Castle and Raynolds Addition Neighborhood Sector Development Plan* (HCRSDP). The proposed uses are in compliance with the current zoning. In addition, the site plan generally complies with the development standards of the SU-2/CLD zone.

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1004677

PAGE 2 OF 9

3. The applicant has applied for several variances in order to develop the site as proposed. The Zoning Hearing Examiner will hear these variance requests on March 21, 2006. The request for a variance to the 50' setback requirement on Lots 1-6 of the Villas @ Country Club Plaza respects the intent of the *Huning Castle and Raynolds Addition Sector Development Plan* to minimize negative impacts of development on adjacent R-1 zoned lots. Development on Lots 1-6 of the Villas will be similar to the adjacent R-1 zoned properties; therefore the 50' separation requirement is not necessary.
4. Approval of a variance to the 50' setback requirement should not be considered a precedent for future development projects in the SU-2/CLD zone.
5. The request is consistent with the Established Urban goals of the *Comprehensive Plan* by providing urban infill development that perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.
6. The request supports the City's land use goals to rehabilitate and revitalize the area and to support economic vitality of the region. The request will provide a mixture of uses where residents and business owners alike can have a sense of ownership and pride. The request will not destabilize the existing residential character of the area and will enhance the positive aspects of the area through its distinctive architecture, landscaping, and human scale. High quality and compatible design will be encouraged through the associated design guidelines, which will also help to maintain the character of the area. (*Established Urban Policies 5d, 5e, 5i, 5l, 5m and 5o; Central Avenue Streetscape Plan; and Huning Castle & Raynolds S.D.P.*)
7. The request furthers the City's Transportation and Transit goals by providing higher density housing and contiguous storefronts in close proximity to Central Avenue, a Major Transit Corridor that offers multi-modal transportation options. The site plan facilitates use by pedestrians, bicyclists, shoppers, and commuters by providing wide sidewalks, street trees, on-street parking and limited off-street parking. (*Comp. Plan Transportation & Transit Goal D.4; Policies 5h and 5j; Central Avenue Streetscape Plan; and Huning Castle & Raynolds S.D.P.*)
8. The request furthers the City's Economic goals to achieve diversified economic development balanced with other important social, cultural, and environmental goals. Development of the shops, studios and live-work units will encourage development of local business enterprises that will serve the surrounding neighborhoods and will help stabilize and upgrade existing businesses. (*Comp. Plan Economic Development, Policies a, b and f; Central Avenue Streetscape Plan; and Huning Castle & Raynolds S.D.P.*)

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1004677

PAGE 3 OF 9

9. The Horn Oil Company buildings, proposed as the Motor Court, are listed in the State Register of Cultural Properties and the National Register of Historic Places and are considered significant for architectural and transportation reasons. The complex is not a protected City Landmark nor is it within a historic zone. The site plan proposes to rehabilitate the service station portion of the building and to demolish the tourist court. Demolition of the entire tourist court may jeopardize the building's registration status and may not comply with the Secretary of the Interior's Standards for Rehabilitation of significant buildings.
10. The proposal to demolish the entire tourist court of the Horn Oil Co. building may be in conflict with several City goals and policies to protect, reuse, or enhance significant historic buildings (*Comp. Plan, Historic Resources Goal, C.5*); to design and develop Central Avenue in a way that reinforces the roadway's unique identity (*Comp. Plan, Community Identity and Urban Design, Policy 9e*); to conserve and preserve vintage and historic buildings and other features that convey the history of Route 66 (*Central Ave. Streetscape Plan, Urban Design from 8th Street*); and to preserve structures of historic significance (*Huning Castle and Raynolds Addition Sector Development Plan*).
11. The tourist court currently operates as weekly and monthly rental units. Police records for the past year, 2/21/05 to 2/21/06, indicate that the Horn Oil Company property has attracted over 225 disturbance calls for such things as murder, stabbings, aggravated assaults, drug dealing and sex offenses. The current property owner has attempted to address these disturbances by working with the City Police and by conducting background checks. The Huning Castle Neighborhood Association and adjacent residents and businesses are in support of demolition of the tourist court. Demolition of the tourist court is supported by the City's Public Safety goal to "develop a safe and secure community in cooperation with the public and other governmental agencies".
12. In order to comply with the Secretary of the Interior's Standards for Rehabilitation of significant buildings, all building plans related to the Horn Oil Company site should be reviewed and approved by the Planning Director prior to application for a building permit.
13. In order to further the City's Established Urban and Transportation and Transit goals, the applicant requests that the current submittal be revised to include four residential units above the proposed shops along Central Avenue. This requires revisions to the site development plan and the Design Guidelines.
14. The proposed development will affect Lew Wallace Elementary, Washington Middle School, and Albuquerque High School. The type of development proposed is likely to attract few families with children. All three schools have the capacity to absorb any student growth generated from the proposed development.

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1004677

PAGE 4 OF 9

15. The applicant notified and met with the Downtown and Huning Castle Neighborhood Associations regarding this request. The Huning Castle N.A. supports the request with certain conditions. Adjacent residents and businesses are also in support of the request. Route 66 enthusiasts are opposed to the demolition of the Horn Oil Company tourist court.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Approval of the site plan for subdivision is contingent on ZHE approval of three variance requests.
3. All building plans related to the Horn Oil Company site shall be reviewed and approved by the Planning Director prior to application for building permit.
4. The legal description on all Sheets shall be corrected as follows: Parcel 1 includes Tracts 133A1, 133A2, 133B, 134, and 135A, MRGCD Map 38; Parcel 2 includes Tracts 129B1A, MRGCD Map 38, Tracts A & B Lands of H.B. and Calvin Horn, and Tract A1A, Laguna Subdivision.
5. The area of Parcel 1 is 1.3 acres which equals 56, 628 square feet. The site plan incorrectly calculates the square footage to be 57,014. All references to 57,014 sq. ft. on Parcel 1 shall be corrected to reflect the correct number.
6. The F.A.R. shall be figured for each parcel and then averaged out. This requires revisions to Sheet A.1. The F.A.R. for Parcel 1 is .76. The F.A.R. for Parcel 2 is .44. The overall F.A.R. is .60. The "Density" statements under "Commercial Buildings" and under "Residential" shall be deleted.
7. Provide residential building sizes on Sheet A.1.
8. The site plan shall indicate where and how much open space will be provided. The Design Guidelines shall address usable open space, how and where it will be provided.
9. The Design Guidelines shall include language pertaining to the common ownership of the landscaped oval, access easements, and internal streets and maintenance responsibility of these commonly held features.
10. Remove the 125' long access easement adjacent to Lot 7 in the courtyard lots.

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1004677

PAGE 5 OF 9

11. The lot numbering on the loft-style townhouses shall be corrected to begin with the number 1. Also, amend the Design Guidelines to correspond to the correct numbering of the lots.
12. At a minimum, the private access easement at the courtyard buildings shall be treated with paving or crusher fine to facilitate pedestrian access.
13. The precise use of the studios shall be indicated on the site plan to determine the correct parking calculations.
14. The building calculations for the studios do not add up. According to Sheet A.1, the first floor of the studios is 1803 sf and the second floor is 1668 sf, which adds up to 3471 sf not 3771 sf.
15. A revised site plan shall be submitted indicating the newly proposed residential units above the shops. The new residential units will require revisions to the parking and open space calculations and revisions to the Design Guidelines.
16. The residential units above the shops shall include a protruding balcony that can be utilized by the tenant.
17. Replace the building height language on Sheet A.4 for the shops to reflect a new height restriction of 36', with the provision for 46' at the northeast corner of the building to accommodate signage fronting Central Avenue.
18. Revise Design Guideline I.1 to refer to the General Height and Design Regulations for Walls, Fences, and Retaining Walls, Section 14-16-3-19 of the Zoning Code.
19. Indicate all existing perimeter walls and their height.
20. The wall height on the Sheet A.3 (6') is not consistent with the Design Guideline I.2 (8'). This needs to be corrected.
21. Indicate whether perimeter walls will be provided on Parcel 1.
22. The upper portion of the retaining walls on Parcel 1 shall be converted to wrought iron fencing or include at least one window type opening per lot.
23. A new Design Guideline section shall be added regarding parking. The new parking design guidelines shall state the following:
 - a. Parking along Central Avenue will be placed to the rear or side of all new buildings.
 - b. On-street parking is allowed on Central Avenue in front of the Motor Court and in front of the Central Lofts. Every effort shall be made to utilize this on-street parking.
 - c. Shared parking between the Studios, Shops and Residential Units shall be strongly encouraged.

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1004677

PAGE 6 OF 9

24. A 4' wide sidewalk shall be provided in front of Lots 11-17 of the Villas.
25. Delete Design Guideline H.2 since it refers to the 15' wide access easement adjacent to Lot 7 of the Courtyard Lots.
26. All reference to bollard lighting shall be deleted. This includes Note 18 on Sheet A.3 and the illustration on Sheet A.2.
27. A second species of shade tree shall be introduced on Parcel 1 for variety and to prevent infestation of a single species of tree.
28. The Landscape Plan layout indicates that sod will be provided in the central courtyard; however the landscape calculations indicate that no sod will be provided. One or the other needs to be corrected.
29. A landscape note states that the final landscaping layout and design will be determined upon receipt of the final grading plan. This note shall be deleted since the landscaping plan provided is the final approved plan.
30. The landscape calculation will have to be revised since the numbers for the lot area and the buildings are incorrect (see Conditions 5 and 14).
31. Pear trees shall be provided along the western boundary of the Paint and Body Shop, adjacent to the residential lot. The Pear trees and landscaping along the 15' access easement adjacent to Lot 7 shall be eliminated since staff is recommending that the access easement be deleted.
32. Some form of landscaping and/or tree shall be provided in front of Lots 1-3 and 7-10 of the Courtyard Lots and in front of the Central and Fairway Lofts.
33. Design Guideline L.2 shall be amended to include dumpsters at the Motor Court and the Lofts.
34. The Signage Design Guidelines (K) shall include a note stating, "At a maximum, signs are regulated per the C-1 zone in the Zoning Code".
35. Provide further details regarding Design Guidelines K.1 and K.2 that state "entry signage shall be incorporated into the landscaping".
36. The first paragraph on Sheet A.4 shall include language stating that all non-residential buildings will comply with the Building and Site Design Regulations of the Zoning Code, Section 14-16-3-18.
37. To be consistent with the adjacent Country Club neighborhood, buildings on Lots 11-17 shall employ Mediterranean Revival Style characteristics.

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1004677

PAGE 7 OF 9

38. If the EPC approves the demolition of the tourist court and allows construction of the proposed commercial building, it should employ Moderne features to be compatible with the head buildings.
39. The Design Guidelines shall include Pueblo Revival Style, as described under the Architecture section of this staff report, for the shops, the studios and the lofts.
40. Provide three Solid Waste enclosures or roll-off compactor.
41. The site plan shall address the Fire Department's comments.
42. Provide a transit shelter and associated bench and trash can at the east end of the project, just to the east of Lot 18. The shelter will be located on the landscaped area adjacent to the driveway and will require a public access easement to accommodate the shelter.
43. The infringement within the 50-foot setback that backs up to the existing R-1 zoned property shall only be allowed with R-1 and R-T type developments.
44. All buildings or structures in the 50-foot setback shall be no higher than 26' at any point, including the roofline.
45. No building, structure, balcony or covered patio shall be allowed within the 15' rear yard setback for all buildings or structures that back up to the R-1 zoned property.
46. No carports shall be allowed anywhere on the project site.
47. Builders will provide a new six to eight foot wall between the R-1 zoned properties and the new development.
48. **CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Internal streets will need to meet DPM standards for P2 designated lots (i.e. street widths, r.o.w., sidewalks, etc.).
 - c. Platting must be a concurrent DRB action.

- d. *Unless otherwise approved by the Traffic Engineer, the following applies (Central is a principal arterial):*
1. 1 –2 drives per 300' of frontage is allowed (evenly spaced).
 2. With medians - where drives are constructed on opposite sides of the street, the drives need to be centered on the median opening or centerlines need to be within 10' of each other (Central and Laguna drives).
 3. Without medians – drives need to be offset 50' minimum or centerlines need to be within 15' of each other (Central and Laguna drives).
 4. Curb return radii at site drives to be 25' to 30'
 5. Site drives to be 36' to 40' in width.
 6. Site drives to be located at least 20' from the property line or shared with the adjacent property.
 7. Provide turning templates demonstrating adequate circulation by trucks and/or approval from Fire and Solid Waste for internal turning radii.
 8. Site plan shall comply and be designed per DPM Standards.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 31, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
APRIL 20, 2006
PROJECT #1004677
PAGE 9 OF 9

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



Richard Dineen
Planning Director

RD/CM/ac

cc: Richard Deutsch, Downtown NA, 410 Luna Blvd. NW, Albuquerque, NM 87102
Laura Ferrary, Downtown NA, 1211 Roma Ave. NW, Albuquerque, NM 87102
Lynn Hightower, Huning Castle NA, 1711 Los Alamos SW, Albuquerque, NM 87104
Diane Souder, Huning Castle NA, 1709 Kit Carson SW, Albuquerque, NM 87104
Mike Taylor, 52 Sunset Rd., Santa Fe, NM 87507
Barbara Throckmorton, 201 Laguna Blvd. SW, Albuquerque, NM 87104
Emilie Beacham, 111 Laguna Blvd. SW, Albuquerque, NM 87104
Robert Adeu, 1719 Chacoma Pl. SW, Albuquerque, NM 87104
Patricia Hueter, 103 Laguna Blvd. SW, Albuquerque, NM 87104
George Russell, 1713 Chacoma Pl. SW, Albuquerque, NM 87104
Chris Buchalter, 1615 Kit Carson SW, Albuquerque, NM 87104
Howard Chapin, 101 Laguna Blvd. SW, Albuquerque, NM 87104
Richard Deutsch, 410 Luna Blvd., Albuquerque, NM 87104
Ab Potter, 1705 Chacoma SW, Albuquerque, NM 87104
Joan Taitte, 8323 Calle Sofuelle NE, Albuquerque, NM 87113
Larry Parker, 724 San Pasque Ave. SW, Albuquerque, NM 87104
David Campbell, 6100 Uptown NE, Albuquerque, NM 87110
Laura Bruzzese, 412 13th St. NW, Albuquerque, NM 87104
Anna Muller, 501 11th St. NW, Albuquerque, NM 87102
Dora Wang, 1405 Roma Ave. NW, Albuquerque, NM 87104
Barbara Grothus, 905 Silver SW, Albuquerque, NM 87102
Susanne Kinney, 125 Laguna SW, Albuquerque, NM 87104



CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

CHRISTOPHER CALOTT / INFILL SOLUTIONS request(s) a special exception to Section 14. 16. 2. 23. (A). Reference Huning Castle and Raynolds Addition Sector Plan, Page AH-31, Section 3. b.: a VARIANCE of 35 feet to the 50 foot setback requirement between a building and a R-1 zone AND Section 14. 16. 2. 23. (A). Reference Huning Castle and Raynolds Addition Sector Plan, Page AH-31, Section 3. b.: a VARIANCE of 5 feet to the 15 foot setback requirement between a building and any other lot line on all or a portion of Block(s) 3, Tract(s) B, Huning Castle Addition, zoned SU-2/CLD and located at **1700 CENTRAL AVE. SW (J-13)**

Special Exception No:..... ~~06ZHE-00196~~
~~06ZHE-00197~~
Project No: **1004700**
Hearing Date: 03-21-06
Closing of Public Record: 03-21-06
Date of Decision: 04-05-06

STATEMENT OF FACTS: The Applicant is requesting the above cited variances which will be part of the Country Club Plaza and will run along Central Avenue. It is a proposed infill project for existing vacant land. The proposal is for a residential mixed use infill. The project falls within the jurisdiction of the Huning Castle Neighborhood Association. The Applicant indicated that he has met with the association at least thirty times. There are many letters of support in the file. The Huning Highland Association has suggested a number of conditions. This matter was also presented before the Environmental Planning Commission which approved the request, subject to approval of these variances, on a vote of six to two. The Applicant has indicated a willingness to comply with all of the recommended conditions cited by the Environmental Planning Commission, and they will be made part of the record.

Present at the hearing and in support of this request was Mr. Michael Keleder, former Chairman of the Board of Appeals and member of the Environmental Planning Commission. His family has developed a number of parcels in this vicinity, and he feels that this request will enhance the neighborhood and is supportive thereof.

FINDINGS AND CONCLUSIONS: Based on all the exceptionalities as well as an on-sight inspection and a review of the entire file, it is determined that there is sufficient exceptionality attached to these properties to warrant approval of the above described variances. These infill projects will greatly enhance the community by development of vacant lots in this area. The conditions which are to follow will also assure minimal impact to the neighborhood. I find that this parcel is exceptional as compared to other parcels in the vicinity and, therefore, it meets the test for the granting of a variance as

provided for by Section 14.16.3.3.(A).(4). I further find that, as a result of the exceptional aspect of these properties, the regulations produce an unnecessary hardship in that it will limit the owner's reasonable use of the properties and/or deprive the owner of a reasonable return on the properties. Furthermore, I find that the particular variances are appropriate to prevent the unnecessary hardship and further find that the variances will differ from development which will be permitted under the existing regular Zoning Regulations no more than what is necessary to overcome the unnecessary hardship. Finally, the variances will not significantly interfere with the enjoyment of other land in the vicinity and are consistent with the spirit of the Zoning Ordinance, substantial justice and the general public interest.

DECISION: Approved with conditions.

CONDITIONS:

- 1) The site plan shall indicate where and how much open space will be provided. The Design Guidelines shall address usable open space, how, and where it will be provided.
- 2) Remove the 125 foot long access easement adjacent to Lot 7 in the courtyard lots.
- 3) At minimum the private access easement at the courtyard buildings shall be treated with paving or crusher fine to facilitate pedestrian access.
- 4) The precise use of the studios shall be indicated on the site plan to determine the correct parking calculations.
- 5) A revised site plan shall be submitted indicating the newly proposed residential units above the shops. The new residential units will require revisions to the parking and open space calculations and revisions to the Design Guidelines.
- 6) A new Design Guideline section shall be added regarding parking. The new parking design guidelines shall state the following:
 - a. Parking along Central Avenue will be placed to the rear or side of all new buildings.
 - b. On-street parking is allowed on Central Avenue in front of the Motor Court and in front of the Central Lofts. Every effort shall be made to utilize this on-street parking.
 - c. Shared parking between the Studios, Shops, and Residential Units shall be strongly encouraged.

- 7) A four foot sidewalk shall be provided in front of Lots 11 through 17 of the Villas.
- 8) Compliance with the Landscaping Ordinance.
- 9) To be consistent with the adjacent Country Club Neighborhood, buildings on Lots 11 through 17 shall employ Mediterranean Revival Style characteristics.
- 10) The infringement within the fifty foot setback that backs up to the existing R-1 zoned property shall only be allowed with R-1 and R-T type developments.
- 11) All buildings or structures in the fifty foot setback shall be no higher than twenty-six feet at any point including the roofline.
- 12) No building, structure, balcony or covered patio shall be allowed within the fifteen foot rear yard setback for all buildings or structures that back up to the R-1 zoned property.
- 13) No carports shall be allowed anywhere on the project side.
- 14) Builders will provide a new six to eight foot wall between the R-1 zoned properties and the new development.

If you wish to appeal this decision, you may do so by 5:00 PM in the manner described below:

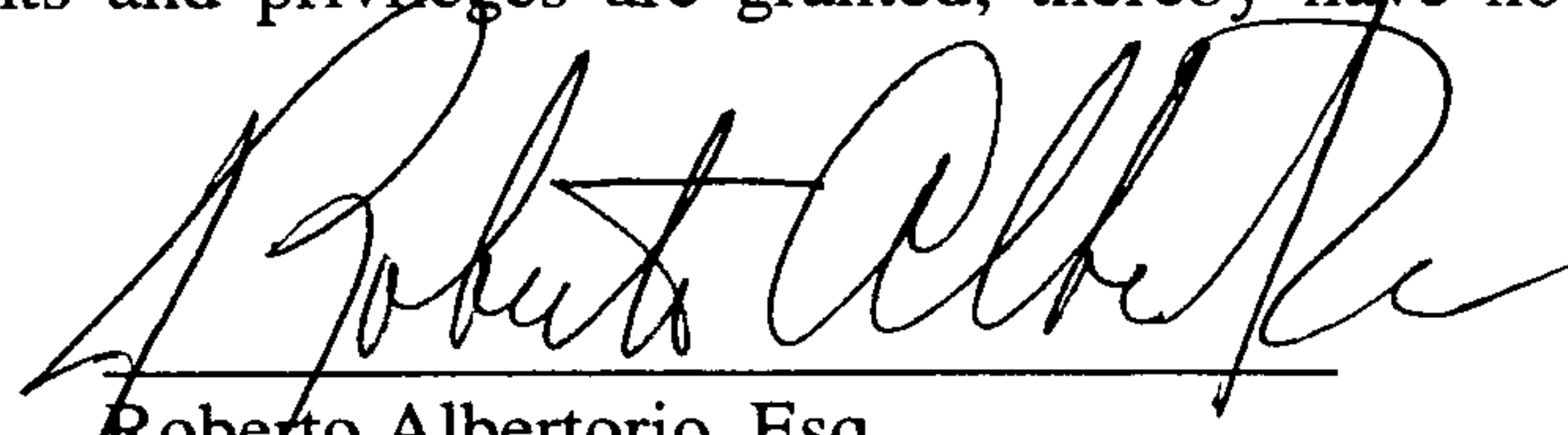
APPEAL IS TO THE BOARD OF APPEALS WITHIN 15 DAYS OF THE DECISION. A filing fee of \$55.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B)., of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement (2)
ZHE File

~~Christopher~~ Christopher Calott/Infill Solutions, 723-B Silver SW, 87102
Suzanne Kinney, Duncan Scott, 125 Laguna Blvd SW, 87104
Eric Lanphere, Harvest Homes, LLC, PO Box 92246, 87199
Neal Pilch, Head of School, Manzano Day School, 1801 Central Ave NW, 87104
Emily Beacham, 111 Laguna Blvd SW, 87104
Ida Poore, 109 Laguna Blvd SW, 87104
Daniel Martinez, 710 Central Ave SW, 87104
Lynn Hightower, President, Huning Castle NA, 1711 Los Alamos SW, 87104



CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

CHRISTOPHER CALOTT / INFILL SOLUTIONS request(s) a special exception to Section 14. 16. 2. 23. (A). Reference Huning Castle and Raynolds Addition Sector Plan, Page AH-31, Section 3. b.: a **VARIANCE** of 5 feet to the 15 foot setback requirement between a refuse bin and any other lot line on all or a portion of Lot(s) 1, 2 & 3, Huning Castle Addition, zoned SU-2/CLD and located at **1816 CENTRAL AVE SW (J-13)**

Special Exception No:.....~~06ZHE-00203~~
Project No: **1004702**
Hearing Date: 03-21-06
Closing of Public Record: 03-21-06
Date of Decision: 04-05-06

STATEMENT OF FACTS: The Applicant is requesting the above cited variances which will be part of the Country Club Plaza and will run along Central Avenue. It is a proposed infill project for existing vacant land. The proposal is for a residential mixed use infill. The project falls within the jurisdiction of the Huning Castle Neighborhood Association. The Applicant indicated that he has met with the association at least thirty times. There are many letters of support in the file. The Huning Highland Association has suggested a number of conditions. This matter was also presented before the Environmental Planning Commission which approved the request, subject to approval of these variances, on a vote of six to two. The Applicant has indicated a willingness to comply with all of the recommended conditions cited by the Environmental Planning Commission, and they will be made part of the record.

Present at the hearing and in support of this request was Mr. Michael Keleder, former Chairman of the Board of Appeals and member of the Environmental Planning Commission. His family has developed a number of parcels in this vicinity, and he feels that this request will enhance the neighborhood and is supportive thereof.

FINDINGS AND CONCLUSIONS: Based on all the exceptionalities as well as an on-sight inspection and a review of the entire file, it is determined that there is sufficient exceptionality attached to these properties to warrant approval of the above described variances. These infill projects will greatly enhance the community by development of vacant lots in this area. The conditions which are to follow will also assure minimal impact to the neighborhood. I find that this parcel is exceptional as compared to other parcels in the vicinity and, therefore, it meets the test for the granting of a variance as provided for by Section 14.16.3.3.(A).(4). I further find that, as a result of the exceptional aspect of these properties, the regulations produce an unnecessary hardship in that it will limit the owner's reasonable use of the properties and/or deprive the owner of a reasonable return on the properties. Furthermore, I find that the particular variances

ares appropriate to prevent the unnecessary hardship and further find that the variances will differ from development which will be permitted under the existing regular Zoning Regulations no more than what is necessary to overcome the unnecessary hardship. Finally, the variances will not significantly interfere with the enjoyment of other land in the vicinity and are consistent with the spirit of the Zoning Ordinance, substantial justice and the general public interest.

DECISION: Approved with conditions.

CONDITIONS:

- 1) The site plan shall indicate where and how much open space will be provided. The Design Guidelines shall address usable open space, how, and where it will be provided.
- 2) Remove the 125 foot long access easement adjacent to Lot 7 in the courtyard lots.
- 3) At minimum the private access easement at the courtyard buildings shall be treated with paving or crusher fine to facilitate pedestrian access.
- 4) The precise use of the studios shall be indicated on the site plan to determine the correct parking calculations.
- 5) A revised site plan shall be submitted indicating the newly proposed residential units above the shops. The new residential units will require revisions to the parking and open space calculations and revisions to the Design Guidelines.
- 6) A new Design Guideline section shall be added regarding parking. The new parking design guidelines shall state the following:
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 - b. On-street parking is allowed on Central Avenue in front of the Motor Court and in front of the Central Lofts. Every effort shall be made to utilize this on-street parking.
 - c. Shared parking between the Studios, Shops, and Residential Units shall be strongly encouraged.
- 7) A four foot sidewalk shall be provided in front of Lots 11 through 17 of the Villas.
- 8) Compliance with the Landscaping Ordinance.

- 9) To be consistent with the adjacent Country Club Neighborhood, buildings on Lots 11 through 17 shall employ Mediterranean Revival Style characteristics.
- 10) The infringement within the fifty foot setback that backs up to the existing R-1 zoned property shall only be allowed with R-1 and R-T type developments.
- 11) All buildings or structures in the fifty foot setback shall be no higher than twenty-six feet at any point including the roofline.
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- 13) No carports shall be allowed anywhere on the project side.
- 14) Builders will provide a new six to eight foot wall between the R-1 zoned properties and the new development.

If you wish to appeal this decision, you may do so by 5:00 PM in the manner described below:

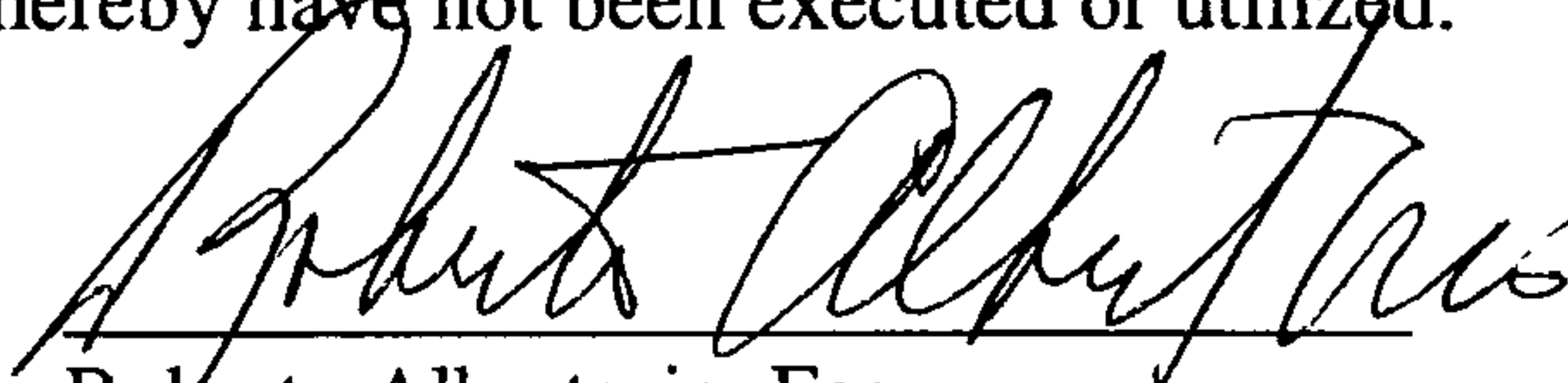
APPEAL IS TO THE BOARD OF APPEALS WITHIN 15 DAYS OF THE DECISION. A filing fee of \$55.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14.16.4.4.(B), of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined. You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement (2)
ZHE File

~~XXXX~~ Christopher Calott/Infill Solutions, 723-B Silver SW, 87102
Suzanne Kinney, Duncan Scott, 125 Laguna Blvd SW, 87104
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CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

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Special Exception No:.....~~06ZHE - 00198~~,
~~06ZHE - 00200~~
~~06ZHE - 00202~~
Project No: 1004701
Hearing Date: 03-21-06
Closing of Public Record: 03-21-06
Date of Decision: 04-05-06

STATEMENT OF FACTS: The Applicant is requesting the above cited variances which will be part of the Country Club Plaza and will run along Central Avenue. It is a proposed infill project for existing vacant land. The proposal is for a residential mixed use infill. The project falls within the jurisdiction of the Huning Castle Neighborhood Association. The Applicant indicated that he has met with the association at least thirty times. There are many letters of support in the file. The Huning Highland Association has suggested a number of conditions. This matter was also presented before the Environmental Planning Commission which approved the request, subject to approval of these variances, on a vote of six to two. The Applicant has indicated a willingness to comply with all of the recommended conditions cited by the Environmental Planning Commission, and they will be made part of the record.

Present at the hearing and in support of this request was Mr. Michael Keleder, former Chairman of the Board of Appeals and member of the Environmental Planning Commission. His family has developed a number of parcels in this vicinity, and he feels that this request will enhance the neighborhood and is supportive thereof.

FINDINGS AND CONCLUSIONS: Based on all the exceptionalities as well as an on-sight inspection and a review of the entire file, it is determined that there is sufficient exceptionality attached to these properties to warrant approval of the above described

variances. These infill projects will greatly enhance the community by development of vacant lots in this area. The conditions which are to follow will also assure minimal impact to the neighborhood. I find that this parcel is exceptional as compared to other parcels in the vicinity and, therefore, it meets the test for the granting of a variance as provided for by Section 14.16.3.3.(A).(4). I further find that, as a result of the exceptional aspect of these properties, the regulations produce an unnecessary hardship in that it will limit the owner's reasonable use of the properties and/or deprive the owner of a reasonable return on the properties. Furthermore, I find that the particular variances are appropriate to prevent the unnecessary hardship and further find that the variances will differ from development which will be permitted under the existing regular Zoning Regulations no more than what is necessary to overcome the unnecessary hardship. Finally, the variances will not significantly interfere with the enjoyment of other land in the vicinity and are consistent with the spirit of the Zoning Ordinance, substantial justice and the general public interest.

DECISION: Approved with conditions.

CONDITIONS:

- 1) The site plan shall indicate where and how much open space will be provided. The Design Guidelines shall address usable open space, how, and where it will be provided.
- 2) Remove the 125 foot long access easement adjacent to Lot 7 in the courtyard lots.
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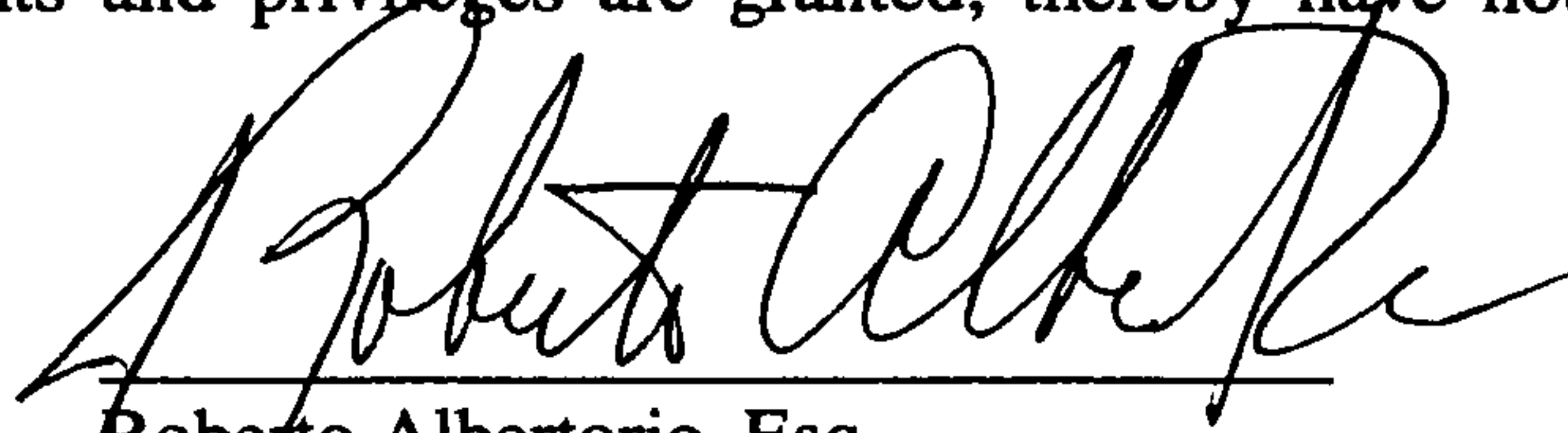
APPEAL IS TO THE BOARD OF APPEALS WITHIN 15 DAYS OF THE DECISION. A filing fee of \$55.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B)., of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement (2)
ZHE File

~~Christopher Calott/Infill Solutions, 723-B Silver SW, 87102~~
Suzanne Kinney, Duncan Scott, 125 Laguna Blvd SW, 87104
Eric Lanphere, Harvest Homes, LLC, PO Box 92246, 87199
Neal Piltch, Head of School, Manzano Day School, 1801 Central Ave NW, 87104
Emily Beacham, 111 Laguna Blvd SW, 87104
Ida Poore, 109 Laguna Blvd SW, 87104
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