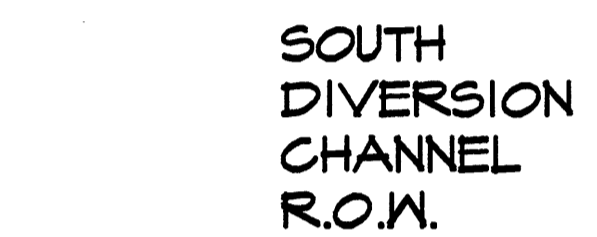
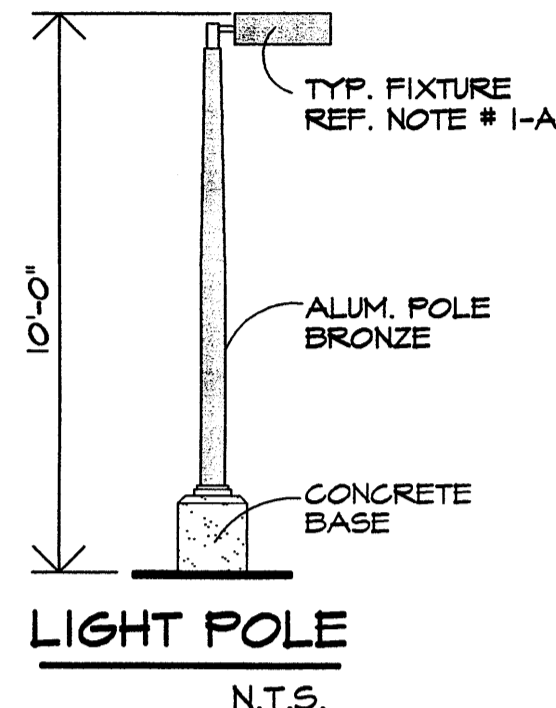


**SITE DATA - 121 Room Value Place Hotel**

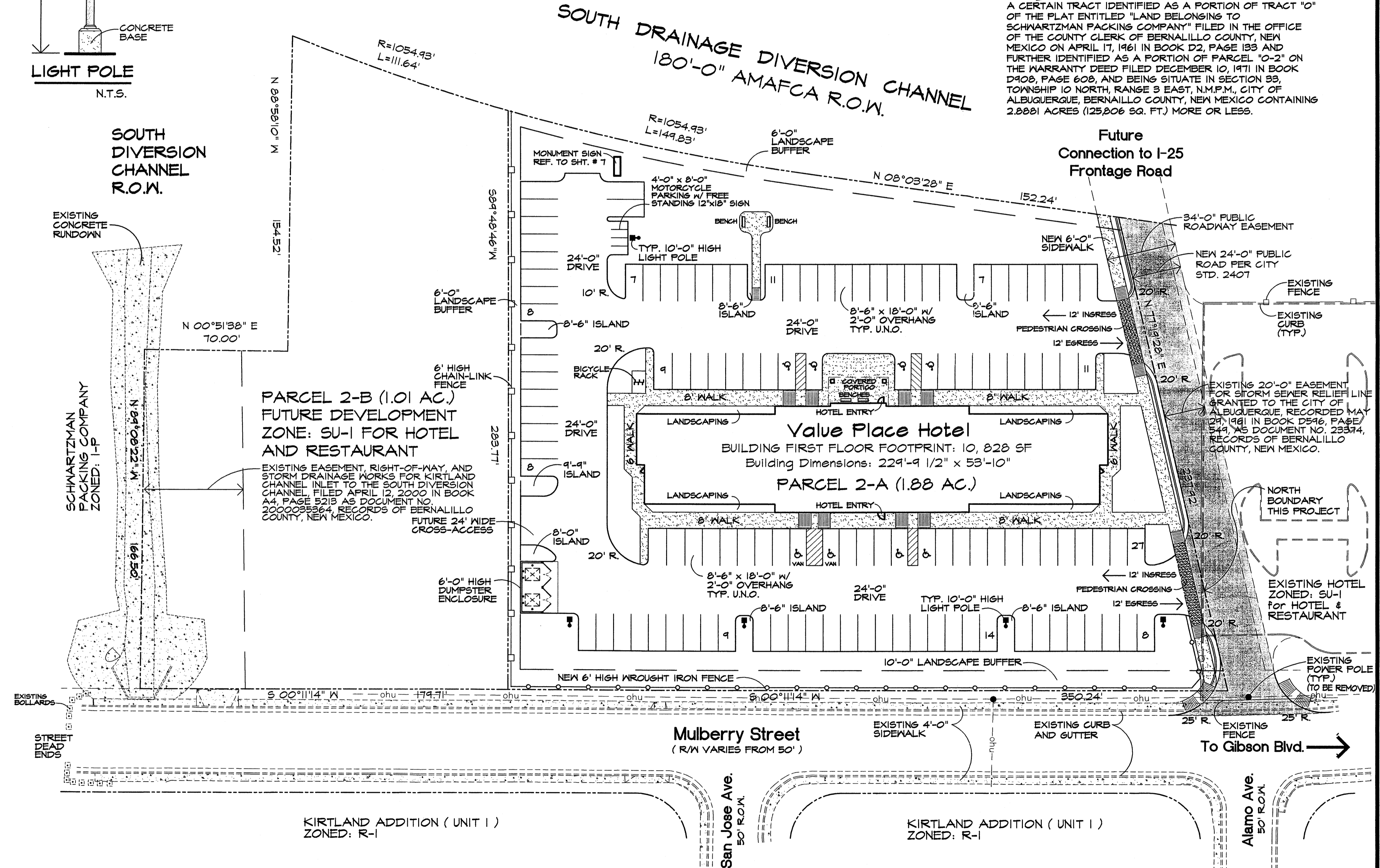
EXISTING ZONING:	SU-1 for HOTELS and RESTAURANTS
PROPOSED USE:	HOTEL
LOT AREA:	81,843 SF (1.88 ACRES)
BUILDING AREA:	10,828 SF 1st FLOOR 48,312 SF TOTAL
BUILDING TYPE:	V-A
PARKING / DRIVEWAY:	38,349 SF
LANDSCAPE AREA:	26,410 SF
LANDSCAPING REQUIRED:	14,213 SF
PARKING PROVIDED:	125 SPACES
PARKING REQUIRED:	121 SPACES / 1 per ROOM
HANDICAP PARKING REQUIRED:	8 SPACES
HANDICAP PARKING PROVIDED:	8 SPACES
MOTORCYCLE PARKING REQUIRED:	4 SPACES
MOTORCYCLE PARKING PROVIDED:	4 SPACES; CHART 14-16-3-1 (C) in ZONING ORDINANCE
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	6 SPACES; 1 / 20 PARK'G SPACES
FLOOR / AREA RATIO:	0.53



THE DESIGN OF THIS SITE PLAN FOLLOWS THE "DESIGN GUIDELINES" OUTLINED IN THE "AMENDED SITE PLAN FOR SUBDIVISION APPROVED OCTOBER 6, 2000 (REFER TO SHEETS 2 and 3)

- PROJECT DATA**
- SITE LIGHTING:**
    - ONE LSI "CHALLENGER" FIXTURE WITH A 175 watt MH BT-28 CLEAR LAMP MOUNTED ON A 10'-0" HIGH POLE.
    - SIX WALL MOUNTED FLOODPACK SIZE 2 -22.5 DEGREE FIXTURE WITH A 175 watt METAL HALIDE CLEAR E-17 LAMP.

REFER TO SHEETS # 6A and # 6B FOR LOCATIONS OF FIXTURES ON THE BUILDING.
  - BUILDING ELEVATIONS ARE SHOWN ON SHEETS # 6A and # 6B. SIGNAGE INFORMATION IS SHOWN ON SHEET # 7.
  - LANDSCAPING SHALL BE IN COMPLIANCE WITH WATER CONSERVATION ORDINANCE.
  - NO STANDARD, GENERIC FRANCHISE DESIGN BUILDING ELEVATIONS ARE PERMITTED.
  - NO FREESTANDING CELL TOWERS OR SIMILAR ANTENNAE ARE ALLOWED. ANTENNAE SHALL BE INTEGRATED INTO BUILDING ARCHITECTURE.
  - ALL SITE PLANS FOR BUILDING PERMIT MUST BE APPROVED BY EPC.
  - FOR SIGNAGE INFORMATION and DETAILS, REFER TO SHEET # 7.
  - ANY DAMAGED AREAS OF THE EXISTING SIDEWALK SHALL BE REPLACED TO ENSURE A UNIFORM SURFACE WITH THE NEW 6" ASPHALT TRAIL.
  - NO ARCHITECTURAL ELEMENTS, LANDSCAPING OR SLOPES GREATER THAN 1:6 SLOPE SHALL OCCUR WITHIN 2' OF THE EDGE OF A PUBLIC EASEMENT.



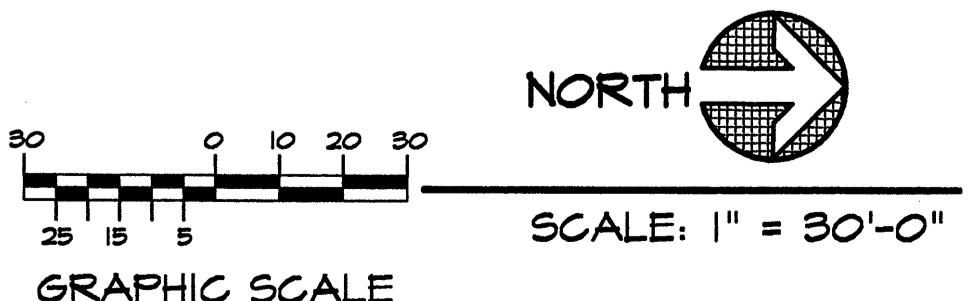
PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes (X) No

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	DATE
Utilities Development	DATE
Parks and Recreation Department	DATE
City Engineer	DATE
Solid Waste Management	DATE
DRB Chairperson, Planning Department	DATE

REFER TO SHEET # 5 FOR THE GRADING PLAN and UTILITY PLAN



**DRAWING INDEX**

- SITE PLAN for BUILDING PERMIT
- ORIGINAL SITE PLAN for SUBDIVISION
- AMENDED (ADMINISTRATIVELY) SITE PLAN for SUBDIVISION
- SECOND AMENDED SITE PLAN for SUBDIVISION (THIS PROJECT)
- LANDSCAPING PLAN
- GRADING PLAN and UTILITY PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- SIGNAGE

**VALUE PLACE HOTEL**  
MULBERRY STREET - ALBUQUERQUE, NEW MEXICO  
GUANAH HOSPITALITY PARTNERS, LP

**IKEMIRE ARCHITECTS**  
ARCHITECTURE ° PLANNING ° INTERIORS  
16660 DALLAS PKWY. SUITE 2900 DALLAS, TX 972-248-2486 FAX 972-248-1557

**DESIGN GUIDELINES**

The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives for high quality development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code and other pertinent City ordinances. These standards shall apply to all properties within the Park.

**LANDSCAPE CONCEPT**

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

A minimum of 20 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with street-level exposure.

Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.

A minimum of 20 percent of the provided landscape area shall be covered with turf grasses. Areas of turf shall be located at prominent visual points to create view corridors into specific sites.

All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar material which extends completely under the plant material.

Appropriated landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/2" x 4" steel construction.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.

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In addition to the street trees, one tree for every thirty linear feet of the remaining site perimeter is required. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten parking stalls with no stall being more than 85 feet from a tree.

Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.

An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.

All plant material, including trees, shrubs, groundcover, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filter material and shall be of the size, quantity, and species in the City of Albuquerque's Landscape Ordinance.

**SIDEWALKS/BIKEWAYS**

To encourage and enhance the pedestrian nature of the Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. All streets within the site are required to have sidewalks on at least one side of the street. Two pedestrian connections are identified on the site plan to physically connect the business park to the surrounding neighborhoods. See NOTES 13 & 14 FOR ADDITIONAL INFORMATION.

**SCREENING/WALLS AND FENCES**

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

The following are standards to ensure effective screening of negative elements:

Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade.

All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable).

Barbed wire or concertina wire will not be allowed.

**LIGHTING STANDARDS**

In order to enhance the safety, security and visual aesthetics of the Park, careful consideration must be given to lighting design and standards. It is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

Placement of fixtures and standards shall conform to state and local safety and illumination requirements. Individual site lighting standards should blend with the architectural character of the building and other site fixtures.

A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.

Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either ground level "bullet" lights concealed by plant materials, flush mounted "can" lights with waterproof enclosures, or be mounted in trees to "moonlight" areas.

**SIGNAGE STANDARDS**

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

All elements of a sign shall be maintained in a visually appealing manner.

Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices and shall be limited to 20' in height.

No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.

All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.

No sign shall overhang into the public right-of-way or extend above the building roof line.

Each building site is limited to one free-standing monument-type sign of no greater than 150 square feet per face and be limited to 20' in height.

Individual buildings are allowed one facade mounted sign whose area shall not exceed 15% of the area of the facade to which it is applied.

**SITE/ARCHITECTURAL OBJECTIVES**

The creation of an active pedestrian environment in the Park is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street. Too often buildings are placed in the center of the site and surrounded by parking, with no pedestrian connection between the structure and the street.

Parking areas shall be designed so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking aisles and landscaped islands.

Pedestrian linkages shall be clearly visible and highlighted with enhanced paving and/or signage.

Long stretches of parking facilities adjacent to the streets should be avoided whenever possible.

Structures should be sited, keeping in mind the creation of "outdoor rooms" which may be used for pedestrian activities.

All pedestrian paths shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

**Architectural**

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Each style has common detailing and plan form that is related to the environmental design requirements of the region. Common elements and preferred features of these styles include: smooth textured stucco as the primary surface treatment; the use of earth tone colors, such as white, beige, tan, and sand; and, the limited use of accent colors along with tile or brick.

Additionally, all buildings shall conform to the following requirements:

Buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.

Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.

Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.

Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.

Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.

All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic material. Roof treatment for all buildings shall be complementary; building roofs shall have one or more common elements including similar colors, materials and/or pitch angle.

**UTILITIES**

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Park:

All electric distribution lines within the Park shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when

**SITE DATA (RED ROOF INN)**

**PHASE I**

PROPOSED USAGE:	HOTEL
LOT AREA:	119,276 SF (2.7382 ACRES)
BUILDING AREA:	13,985 SF 1ST FLOOR (41,955 SF TOTAL)
BUILDING TYPE:	V-1
PARKING/DRIVEWAY:	69,766 SF ±
LANDSCAPE AREA:	35,525 SF ±
LANDSCAPING REQUIRED:	15,794 SF ±
PARKING PROVIDED:	75 SPACES
PARKING REQUIRED: 1/UNIT:	74 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
1 SPACES VAN ACCESSIBLE:	1 SPACES VAN ACCESSIBLE
FLOOR/AREA RATIO=	0.12

**SITE DATA (HOTEL 'A')**

**PHASE I**

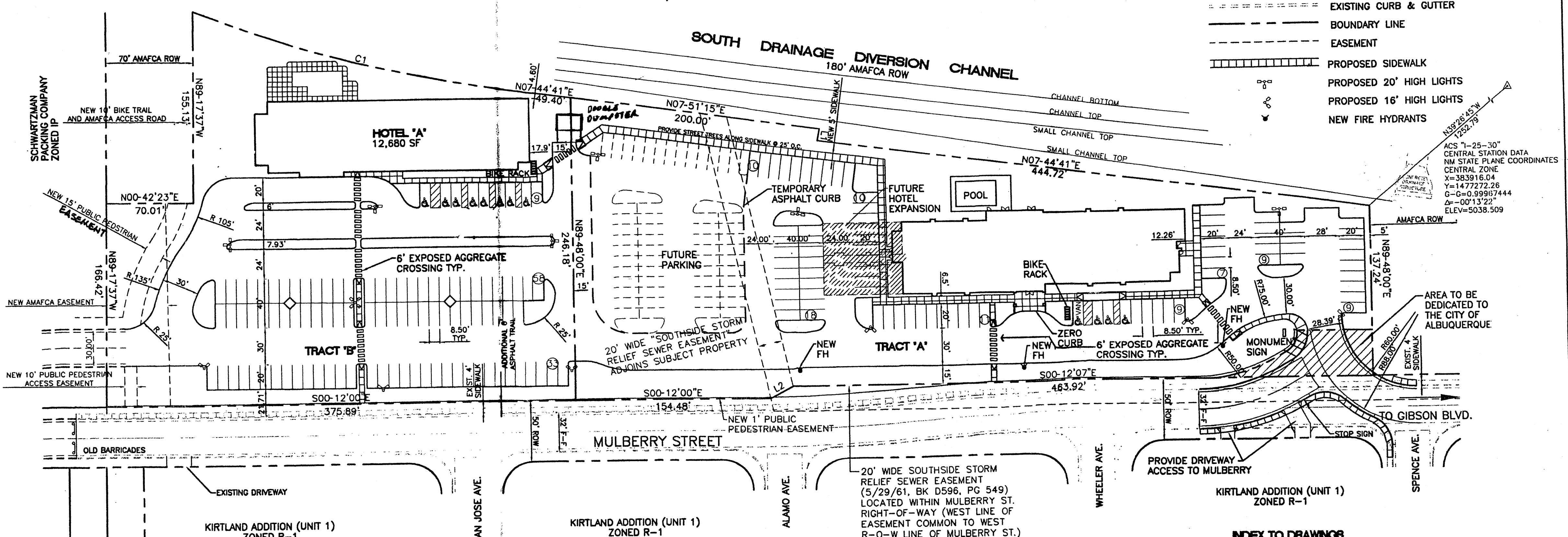
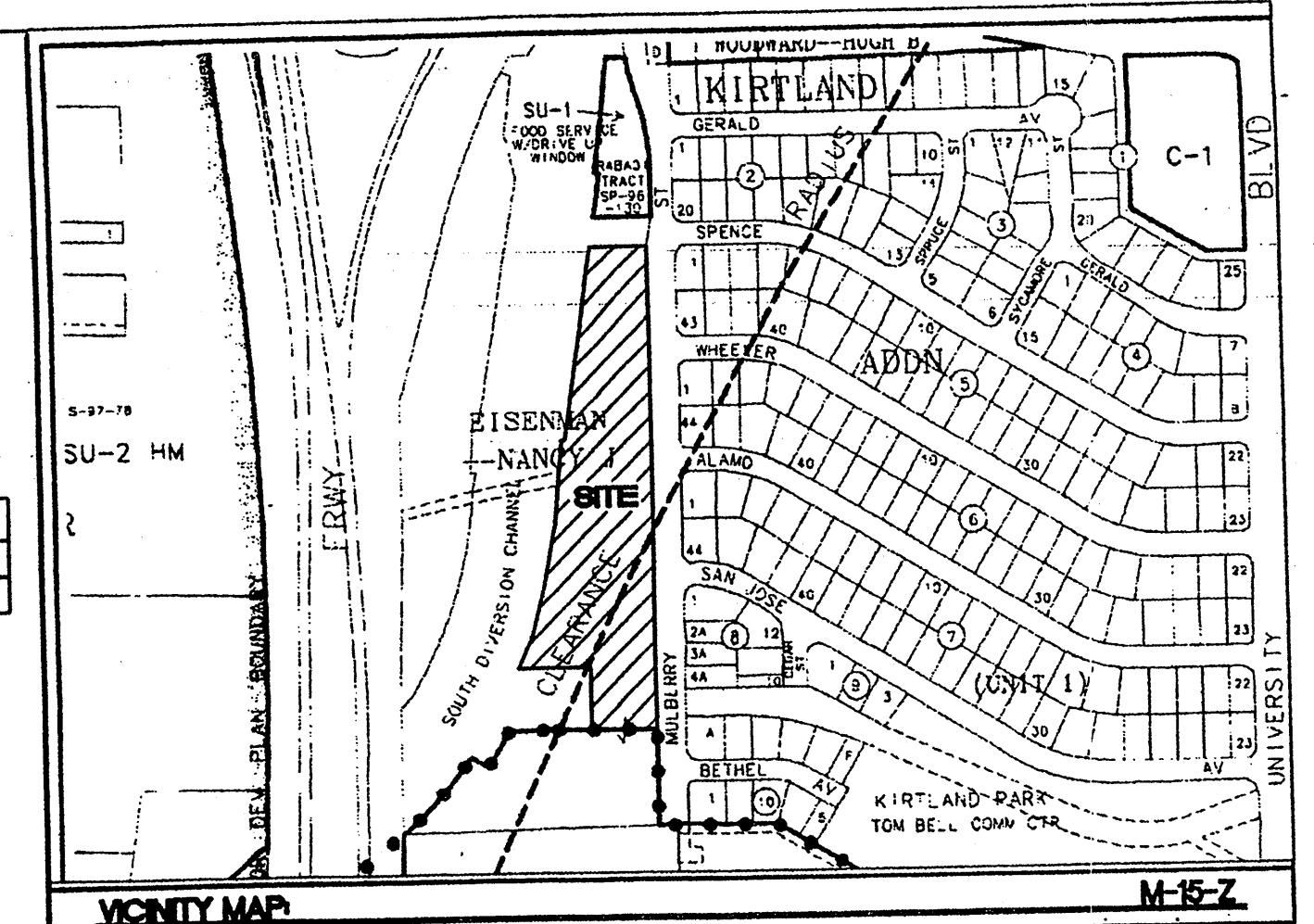
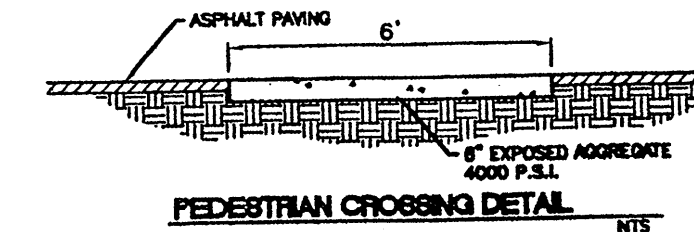
PROPOSED USAGE:	HOTEL
LOT AREA:	95,416 SF (2.1904 ACRES)
BUILDING AREA:	12,880 SF 1ST FLOOR (38,040 SF TOTAL)
BUILDING TYPE:	V-1N
PARKING/DRIVEWAY:	58,927 SF ±
LANDSCAPE AREA:	23,809 SF ±
LANDSCAPING REQUIRED:	12,408 SF ±
PARKING PROVIDED:	100 SPACES
PARKING REQUIRED: 1/UNIT:	100 SPACES
HC PARKING PROVIDED:	8 SPACES
HC PARKING REQUIRED:	8 SPACES
1 SPACES VAN ACCESSIBLE:	1 SPACES VAN ACCESSIBLE
FLOOR/AREA RATIO=	0.13

**LINE TABLE**

LINE	LENGTH	BEARING
L1	9.93	S79-40'46"E
L2	20.72	S27-58'37"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	261.48	1035.32	131.44	14-28'13"



**PROJECT DATA**

1. LEGAL DESCRIPTION:	KIRTLAND ADDITION, UNIT 1, (AN UNPLATTED TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 10, NORTH, RANGE 3 EAST, NMPM, LOCATED IN THE SOUTHEAST QUADRANT OF THE GIBSON BOULEVARD/1-25 INTERCHANGE, CONTAINING APPROXIMATELY 10.16 ACRES)
2. OVERALL SITE DATA:	
PROPOSED USAGE:	HOTELS
LOT AREA:	214,692 SF (4.9286 ACRES)
BUILDING FOOTPRINT AREA:	26,665 SF
PARKING/DRIVEWAY:	128,693 SF ±
LANDSCAPE AREA:	59,334 SF ±
LANDSCAPING REQUIRED:	28,202 SF ±
PARKING PROVIDED:	175 SPACES
PARKING REQUIRED:	173 SPACES
HC PARKING PROVIDED:	12 SPACES
HC PARKING REQUIRED:	12 SPACES
2 SPACES VAN ACCESSIBLE:	2 SPACES VAN ACCESSIBLE
FLOOR/AREA RATIO=	0.15
3. LIGHTING:	EXISTING LIGHTING IS METAL HALIDE MULTI-VAPOR LAMPS ON 18' HIGH POLES NEAR RESIDENTIAL LAMPS ON 18' HIGH POLES TOWARDS THE WEST OF THE PROJECT THROUGH THE PARKING LOT.
4. BUILDINGS:	BUILDING ELEVATIONS AND SIGNAGE WILL BE SUBMITTED TO EPC ONCE THE ZONE CHANGE IS APPROVED. APPROXIMATE HEIGHT OF HOTEL BUILDING WILL BE 3 STORY AND 54' HIGH.

5. LANDSCAPING:
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED PARCEL "C" THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. AN ENCROACHMENT AGREEMENT FOR LANDSCAPING WILL BE SUBMITTED TO AMAFCA FOR FINAL APPROVAL.
7. SEE LANDSCAPE PLAN FOR LIMITS OF LANDSCAPING.
8. NO STANDARD, GENERIC FRANCHISE DESIGN BUILDING ELEVATIONS ARE PERMITTED.
9. NO FREESTANDING CELL TOWERS OR SIMILAR ANTENNAE ARE ALLOWED. ANTENNAE SHALL BE INTEGRATED INTO BUILDING ARCHITECTURE.
10. ALL SITE PLANS FOR BUILDING PERMIT MUST BE APPROVED BY EPC.
11. A TRANSPORTATION MANAGEMENT PLAN (OR PARTICIPATION IN A TRANSPORTATION MANAGEMENT ASSOCIATION), CONTAINING SEVERAL ELEMENTS APPLICABLE TO A HOTEL DEVELOPMENT, SHALL BE APPROVED BY THE TRANSIT DEPARTMENT.
12. ALL SIGNS SHALL HAVE INDIVIDUALLY LIT LETTERS OR BACKLIT LOGOS. NO OTHER BACKLIT LOGOS, PLASTIC OR FABRIC FASCIAS WILL BE PERMITTED.
13. ANY DAMAGED AREAS OF THE EXISTING SIDEWALK SHALL BE REPLACED TO ENSURE A UNIFORM SURFACE WITH THE NEW 6" ASPHALT TRAIL.
14. NO ARCHITECTURAL ELEMENTS, LANDSCAPING OR SLOPES GREATER THAN A 1:5 SLOPE SHALL OCCUR WITHIN 2' OF THE EDGE OF A PUBLIC EASEMENT.

Project # 100073  
Application # 99420-00000-00072

**CASE NUMBER: Z-98-14**

This plan is consistent with the specific site development plan for subdivision purposes approved by the Environmental Planning Commission (EPC) on April 16, 1998, and that the findings and conditions in the Official Notice of Notification of Decision have been complied with: All future site specific plans will be submitted and approved by the Environmental Planning Commission.

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	3-23-00
Parks and Recreation	4-30-00
Public Works, Water, Utilities Division	4-19-00
City Engineer, Engineering Division / AMAFCA	6-29-00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo	7/6/00
County Planning Division	
PLNZ (10706) 4/96	

4-25-00 DATE

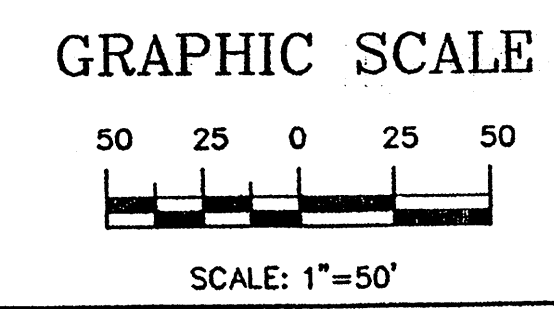
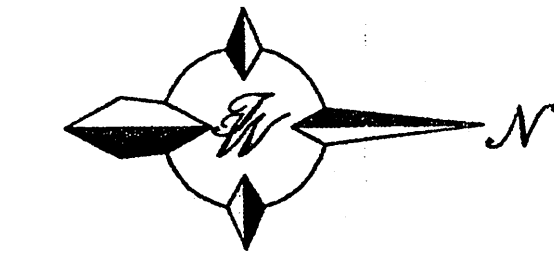
**SOLID WASTE**

**LEGEND**

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED 20' HIGH LIGHTS
- PROPOSED 16' HIGH LIGHTS
- NEW FIRE HYDRANTS

**INDEX TO DRAWINGS**

- SITE PLAN FOR SUBDIVISION
- OVERALL LANDSCAPING PLAN
- OVERALL GRADING AND DRAINAGE PLAN
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- BUILDING ELEVATIONS



<b>ENGINEER'S SEAL</b>	<b>RED ROOF INN</b>	DRAWN BY JDN
	<b>SITE PLAN FOR SUBDIVISION</b>	DATE 04-10-00
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	99340VSP.DWG
		SHEET # 2 OF 9
		JOB # 990034

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 These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

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No sign shall overhang into the public right-of-way or extend above the building roof line.

Each building site is limited to one freestanding monument-type sign of no greater than 150 square feet per face and be limited to 20' in height. Individual buildings are allowed one facade mounted sign whose area shall not exceed 15% of the area of the facade to which it is applied.

**SITE/ARCHITECTURAL OBJECTIVES**  
 Site  
 The creation of an active pedestrian environment in the Park is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street. Too often buildings are placed in the center of the site and surrounded by parking, with no pedestrian connection between the structure and the street.

Parking areas shall be designed so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking aisles and landscaped islands.

Pedestrian linkages shall be clearly visible and highlighted with enhanced paving and/or signage.

Long stretches of parking facilities adjacent to the streets should be avoided whenever possible.

Structures should be sited, keeping in mind the creation of "outdoor rooms" which may be used for pedestrian activities.

All pedestrian paths shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

**Architectural**  
 The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Each style has common elements and preferred features of these styles include: smooth textured stucco as the primary surface treatment; the use of earth tone colors, such as white, beige, tan, and sand; and, the limited use of accent colors along with tile or brick.

Additionally, all buildings shall conform to the following requirements:  
 Buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.

Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic quality of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.

Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.

Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.

Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.

All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic material. Roof treatments for all buildings shall be complementary; building roofs shall have one or more common elements including similar colors, materials and/or pitch angle.

**UTILITIES**  
 To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Park:  
 All electric distribution lines within the Park shall be placed underground.

Transformers, utility pods, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

**PROJECT DATA**

1. LEGAL DESCRIPTION:  
 KIRTLAND ADDITION, UNIT 1, (AN UNPLATTED TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 10, NORTH, RANGE 3 EAST, NMPM, LOCATED IN THE SOUTHEAST QUADRANT OF THE GIBSON BOULEVARD/1-25 INTERCHANGE, CONTAINING APPROXIMATELY 10.16 ACRES)

2. OVERALL SITE DATA:  
 PROPOSED USAGE: HOTELS  
 LOT AREA: 214,693 SF (4.9286 ACRES)  
 BUILDING FOOTPRINT AREA: 26,179 SF  
 PARKING/DRIVEWAY: 132,029 SF ±  
 LANDSCAPE AREA: 58,485 SF ±  
 LANDSCAPING REQUIRED: 28,277 SF ±  
 PARKING PROVIDED: 230 SPACES  
 PARKING REQUIRED: 174 SPACES  
 HC PARKING PROVIDED: 12 SPACES  
 HC PARKING REQUIRED: 12 SPACES  
 2 SPACE VAN ACCESSIBLE  
 FLOOR/AREA RATIO= 0.12

3. LIGHTING: EXISTING LIGHTING IS METAL HALIDE MULTI-VAPOR LAMPS ON 18' HIGH POLES NEAR RESIDENTIAL LAMPS ON 20' HIGH POLES TOWARDS THE WEST OF THE PROJECT THROUGH THE PARKING LOT.

4. BUILDINGS: BUILDING ELEVATIONS AND SIGNAGE WILL BE SUBMITTED TO EPC ONCE THE ZONE CHANGE IS APPROVED. APPROXIMATE HEIGHT OF HOTEL BUILDING WILL BE 3 STORY AND 54' HIGH.

5. LANDSCAPING:  
 ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED PARCEL "C" THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. AN ENCROACHMENT AGREEMENT FOR LANDSCAPING WILL BE SUBMITTED TO AMAFCA FOR FINAL APPROVAL. SEE LANDSCAPE PLAN FOR LIMITS OF LANDSCAPING. NO STANDARD, GENERIC FRANCHISE DESIGN BUILDING ELEVATIONS ARE PERMITTED. NO FREESTANDING CELL TOWERS OR SIMILAR ANTENNAE ARE ALLOWED. ANTENNAE SHALL BE INTEGRATED INTO BUILDING ARCHITECTURE. ALL SITE PLANS FOR BUILDING PERMIT MUST BE APPROVED BY EPC. A TRANSPORTATION MANAGEMENT PLAN (OR PARTICIPATION IN A TRANSPORTATION MANAGEMENT ASSOCIATION), CONTAINING SEVERAL ELEMENTS APPLICABLE TO A HOTEL DEVELOPMENT, SHALL BE APPROVED BY THE TRANSIT DEPARTMENT. ALL SIGNS SHALL HAVE INDIVIDUALLY LIT LETTERS OR BACKLIT LOGOS. NO OTHER BACKLIT LOGOS, PLASTIC OR FABRIC FASCIA'S WILL BE PERMITTED. ANY DAMAGED AREAS OF THE EXISTING SIDEWALK SHALL BE REPLACED TO ENSURE A UNIFORM SURFACE WITH THE NEW 6" ASPHALT TRAIL. NO ARCHITECTURAL ELEMENTS, LANDSCAPING OR SLOPES GREATER THAN A 1:6 SLOPE SHALL OCCUR WITHIN 2' OF THE EDGE OF A PUBLIC EASEMENT.

6. APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo  
 County Planning Division  
 PLNZ (10706) 4/96

DATE

**SOLID WASTE**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

PARKS AND RECREATION

PUBLIC WORKS, WATER UTILITIES DIVISION

CITY ENGINEER, ENGINEERING DIVISION / AMAFCA

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

CITY PLANNER, ALBUQUERQUE / BERNALILLO  
 COUNTY PLANNING DIVISION  
 PLNZ (10706) 4/96

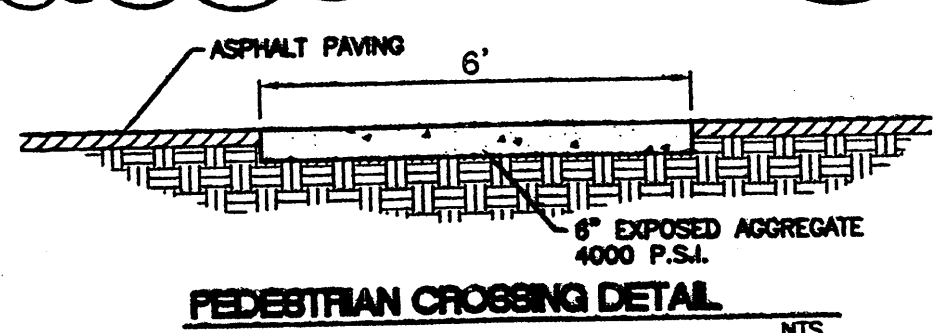
DATE

**SITE DATA-PARCEL 1 (RED ROOF INN) PHASE I**

PROPOSED USAGE:	HOTEL
LOT AREA:	84,128 SF (1.9313 ACRES)
BUILDING AREA:	13,499 SF 1ST FLOOR (41,955 SF TOTAL)
BUILDING TYPE:	V-1
PARKING/DRIVEWAY:	48,122 SF ±
LANDSCAPE AREA:	21,507 SF ±
LANDSCAPING REQUIRED:	10,594 SF ±
PARKING PROVIDED:	80 SPACES
PARKING REQUIRED:	1/UNIT 74 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
1 SPACES VAN ACCESSIBLE	
FLOOR/AREA RATIO=	0.37
	0.50

**SITE DATA-PARCEL 2 PHASE I**

PROPOSED USAGE:	HOTEL
LOT AREA:	130,565 SF (2.9973 ACRES)
BUILDING AREA:	12,680 SF 1ST FLOOR (38,040 SF TOTAL)
BUILDING TYPE:	V-N
PARKING/DRIVEWAY:	82,907 SF ±
LANDSCAPE AREA:	34,978 SF ±
LANDSCAPING REQUIRED:	17,683 SF ±
PARKING PROVIDED:	150 SPACES
PARKING REQUIRED:	1/UNIT 100 SPACES
HC PARKING PROVIDED:	8 SPACES
HC PARKING REQUIRED:	8 SPACES
1 SPACES VAN ACCESSIBLE	
FLOOR/AREA RATIO=	0.10

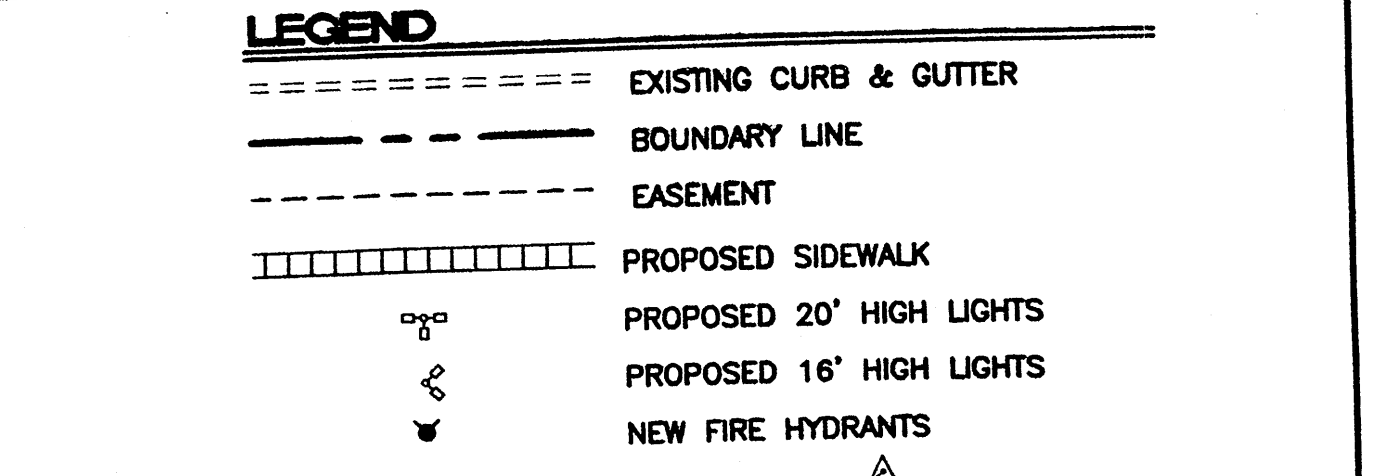
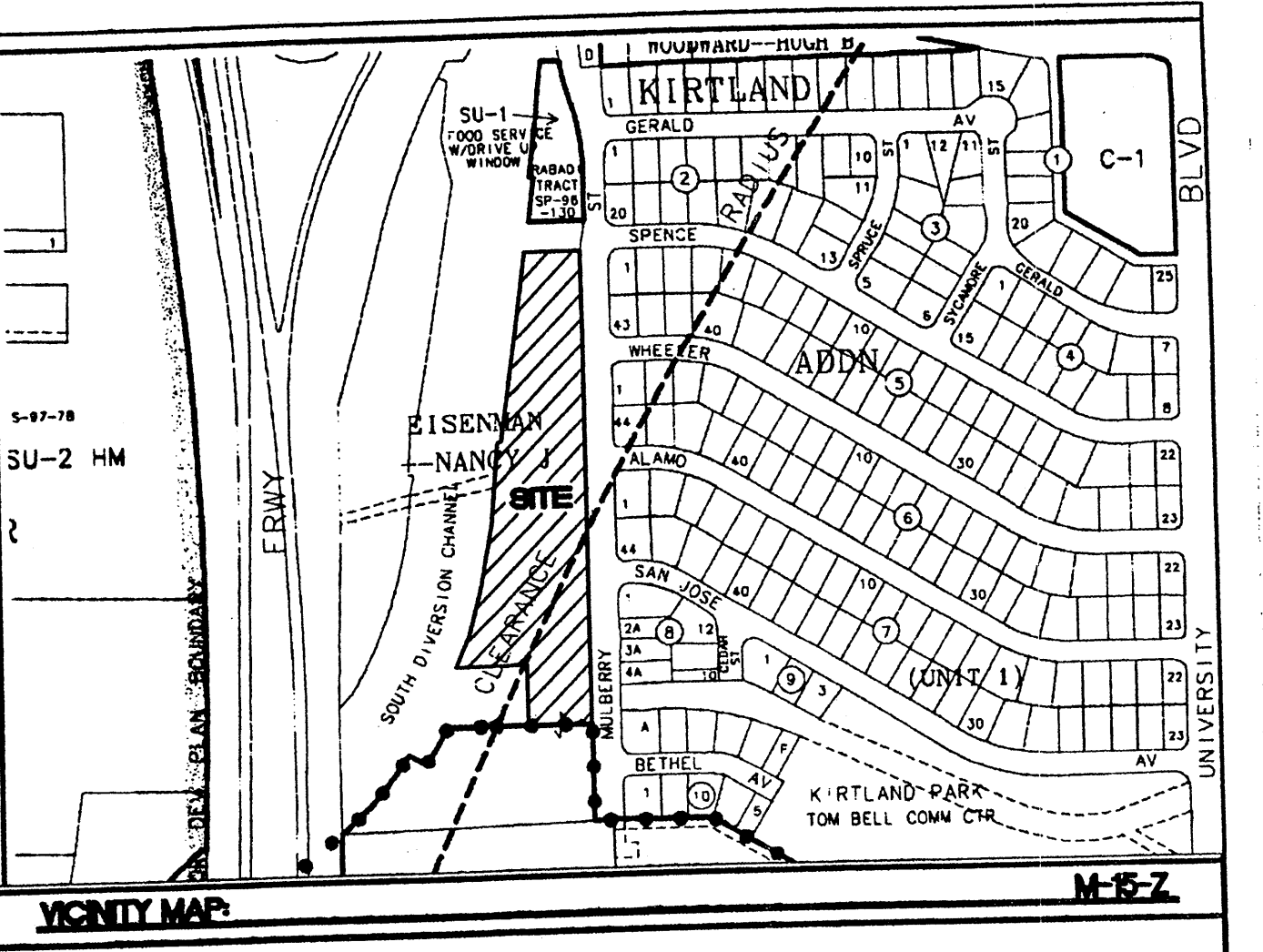
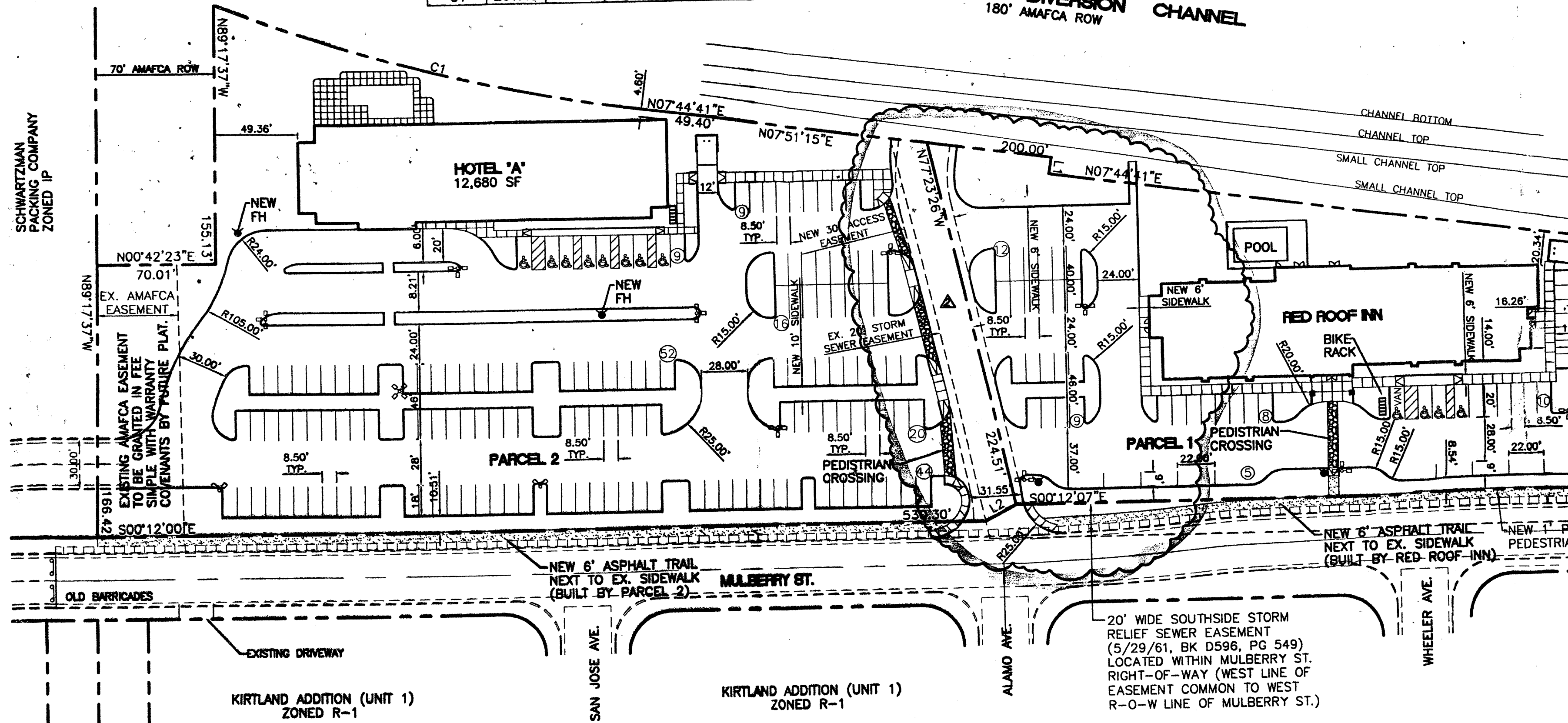


**LINE TABLE**

LINE	LENGTH	BEARING
L1	9.93	S79°40'46"E
L2	20.72	S27°58'37"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	261.48	1035.32	131.44	14°28'13"



ACS 7-25-30°  
 CENTRAL STATION DATA  
 NM STATE PLANE COORDINATES  
 CENTRAL ZONE  
 X=383916.04  
 Y=147272.26  
 Q-G=0.9997444  
 A=0°13'22"  
 ELEV=5038.509

#1000013

ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. AA-001340000-0263  
*Melody Gutierrez*  
*Melody Gutierrez*  
 PLANNING DIRECTOR DATE

GRAPHIC SCALE  
 50 25 0 25 50  
 SCALE: 1"=50'

- INDEX TO DRAWINGS**
- AMENDED SITE PLAN FOR SUBDIVISION
  - APPROVED SITE PLAN FOR SUBDIVISION (FOR REFERENCE ONLY)
  - OVERALL LANDSCAPING PLAN
  - OVERALL GRADING AND DRAINAGE PLAN
  - AMENDED SITE PLAN FOR BUILDING PERMIT
  - APPROVED SITE PLAN FOR BUILDING PERMIT (FOR REFERENCE ONLY)
  - LANDSCAPING PLAN
  - GRADING AND DRAINAGE PLAN
  - BUILDING ELEVATIONS

**REVISIONS**

NO.	DATE	REMARKS	BY
1	08-03-00	ADD ACCESS ROAD TO SERVICE PARCELS 1, 2 AND 4	RRB
2	08-03-00	CHANGE ENTRANCE INTO SITE BY SPENCE AVE.	RRB

**ENGINEER'S SEAL**  
 RONALD R. BOHANNAN  
 P.E. #7868

**RED ROOF INN**  
 AMENDED SITE PLAN FOR SUBDIVISION  
 DRAWN BY JDN  
 DATE 08-21-00  
 99340VSPA.DWG  
 SHEET # 1 OF 9  
 2A OF 7  
 JOB # 990034

**TERRA WEST, LLC**  
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