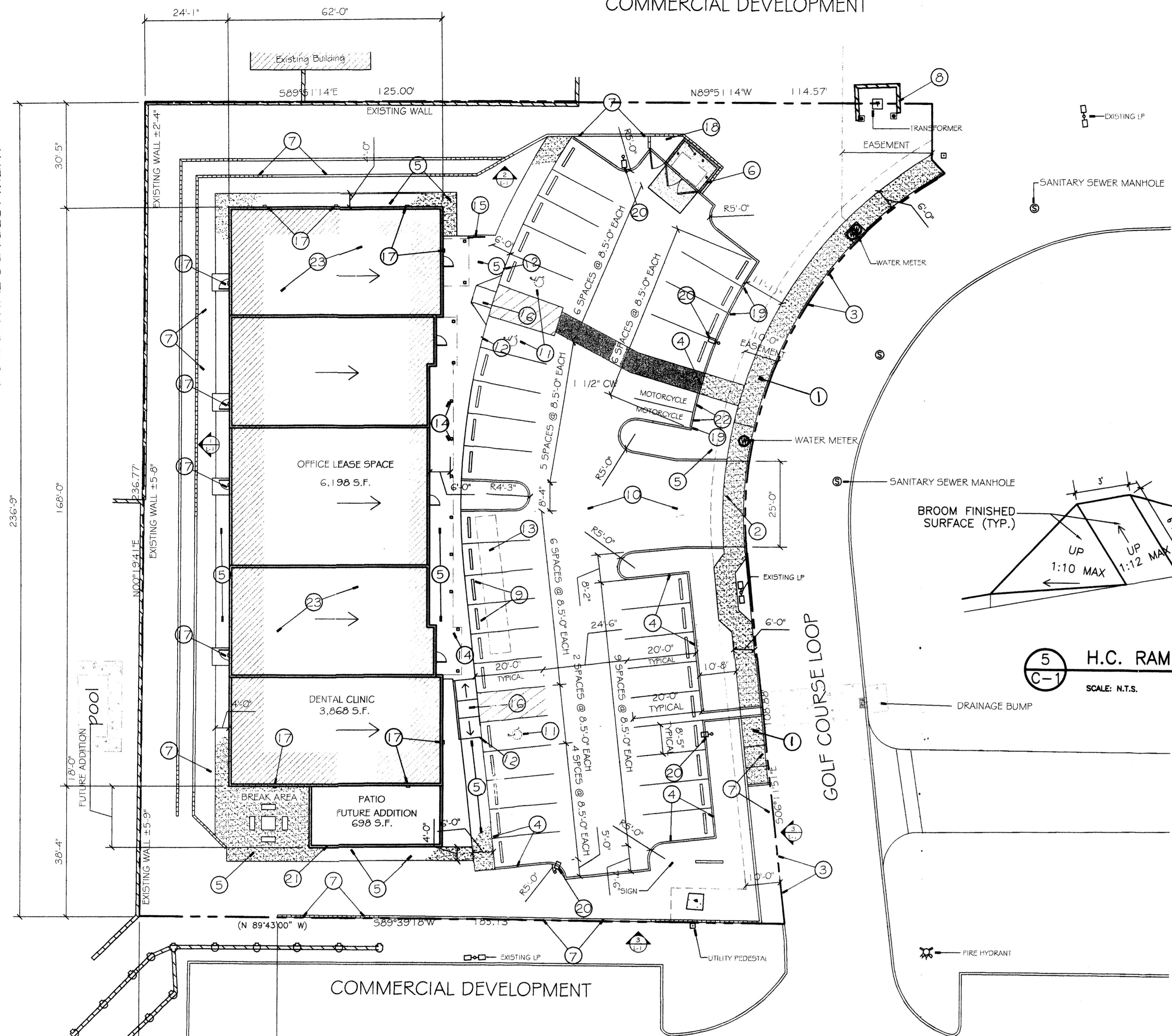
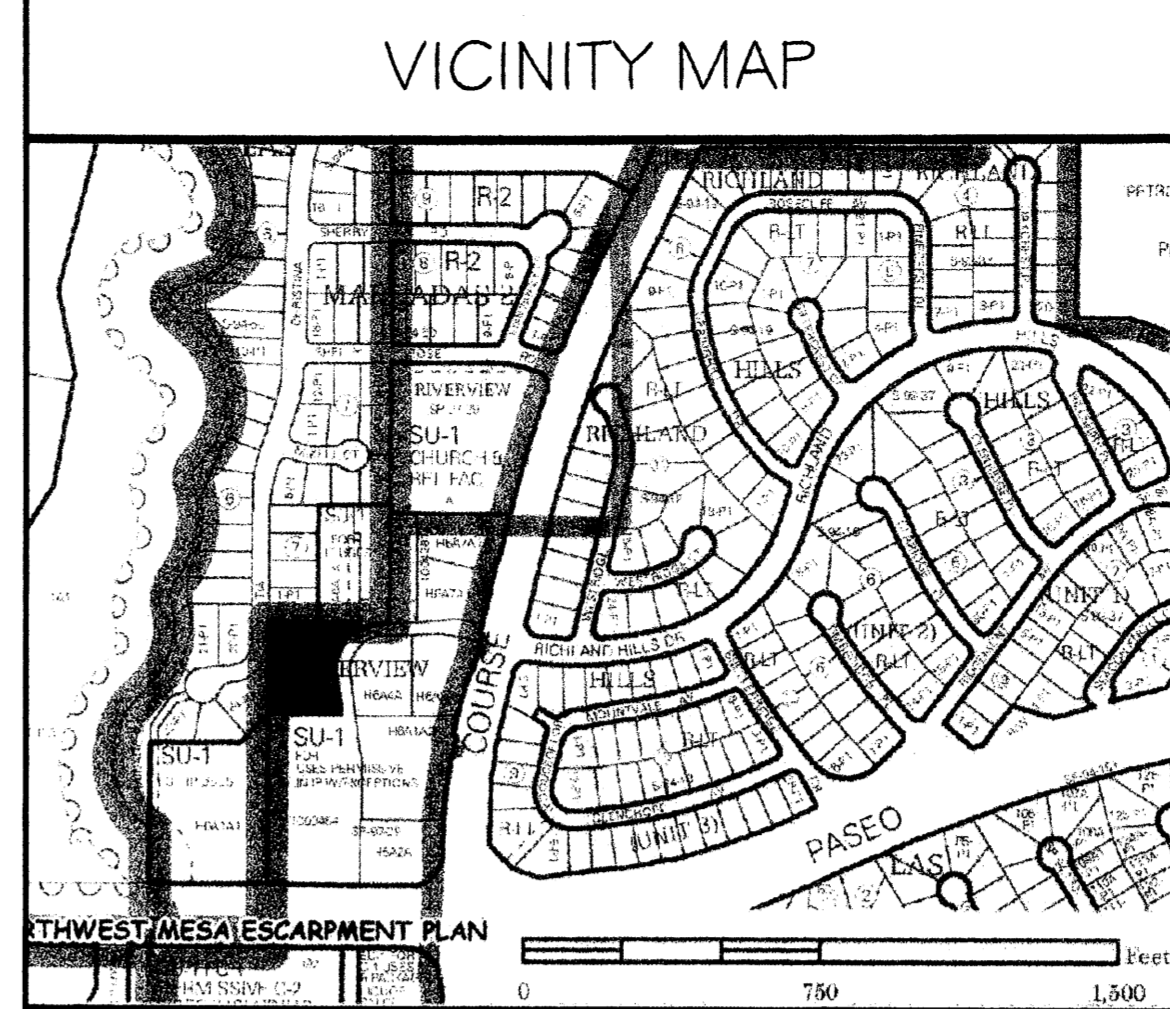
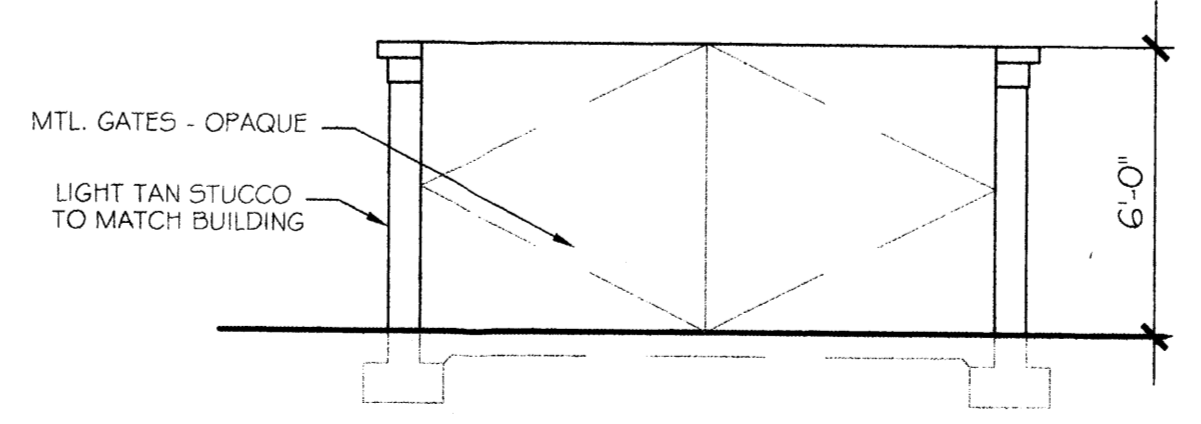
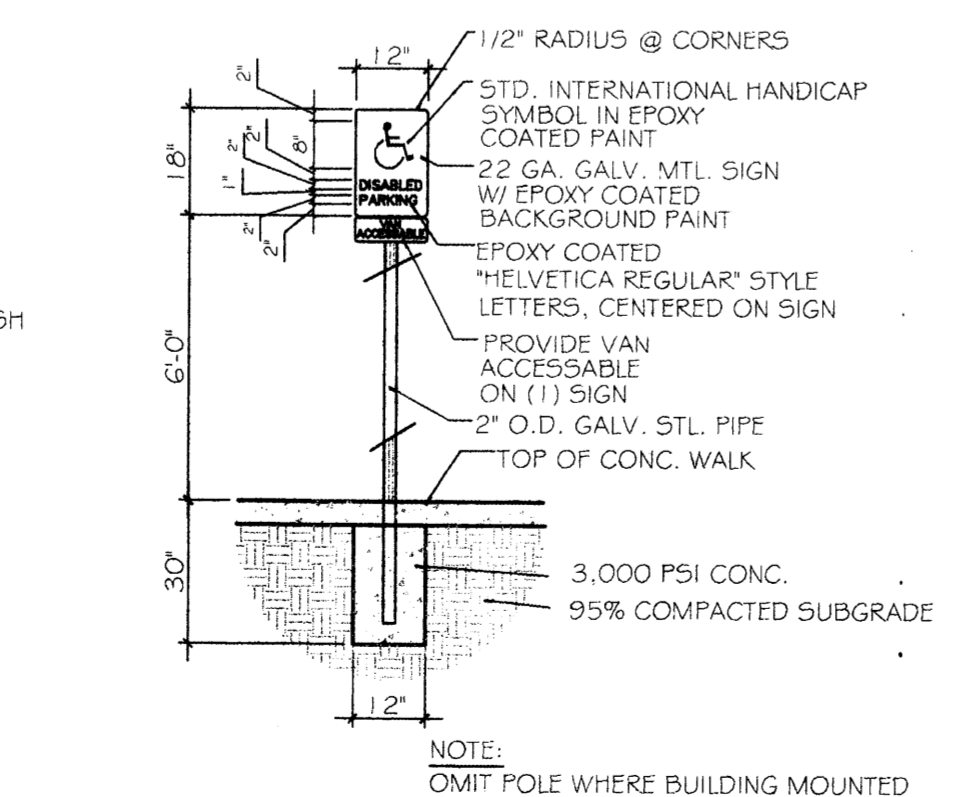
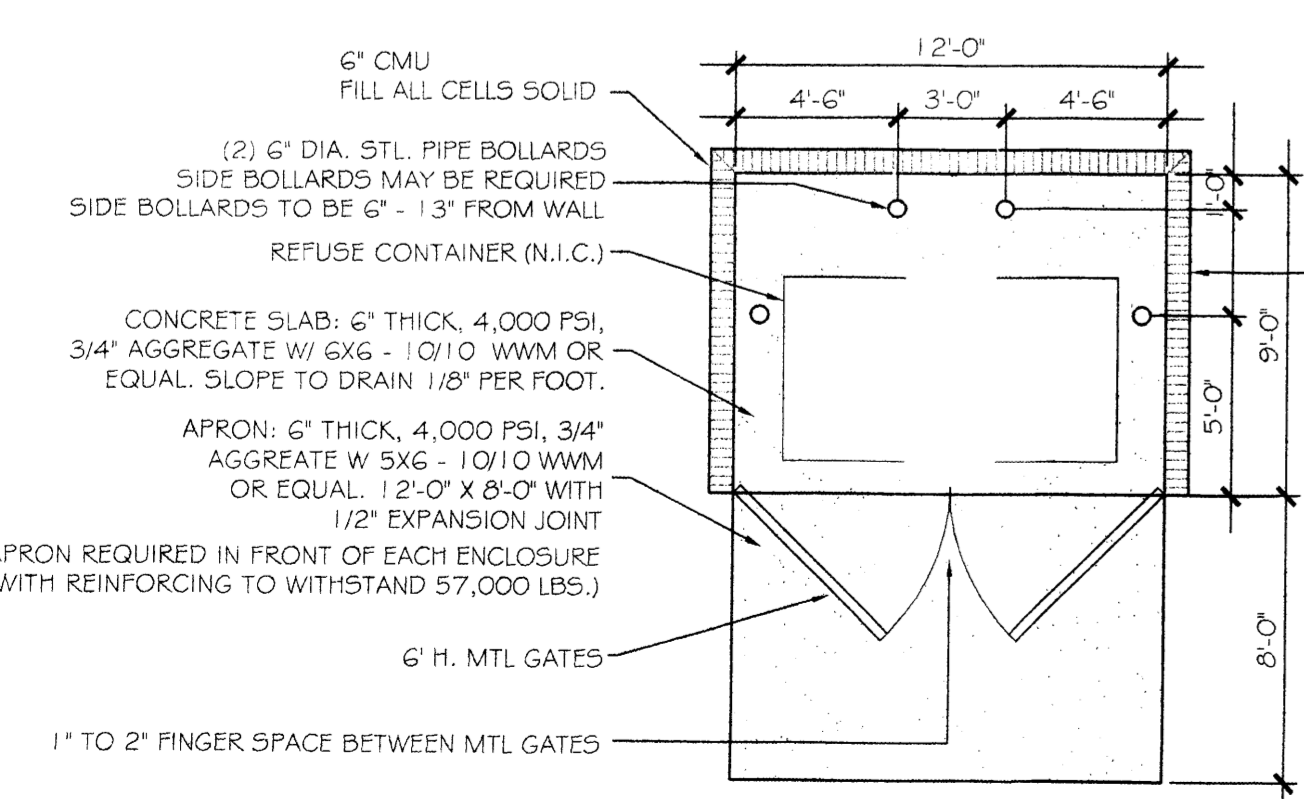


RESIDENTIAL DEVELOPMENT

COMMERCIAL DEVELOPMENT



SITE PLAN
SCALE: 1" = 20'-0"



PROJECT NUMBER 1006717
APPLICATION NUMBER 07 DRB-70397

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATES 10-18-07, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION AS SAID.

IS AN INFRASTRUCTURE LIST REQUIRED? YES NO N/A IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

PROJECT NUMBER 1006717
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
DATE 4/4/08

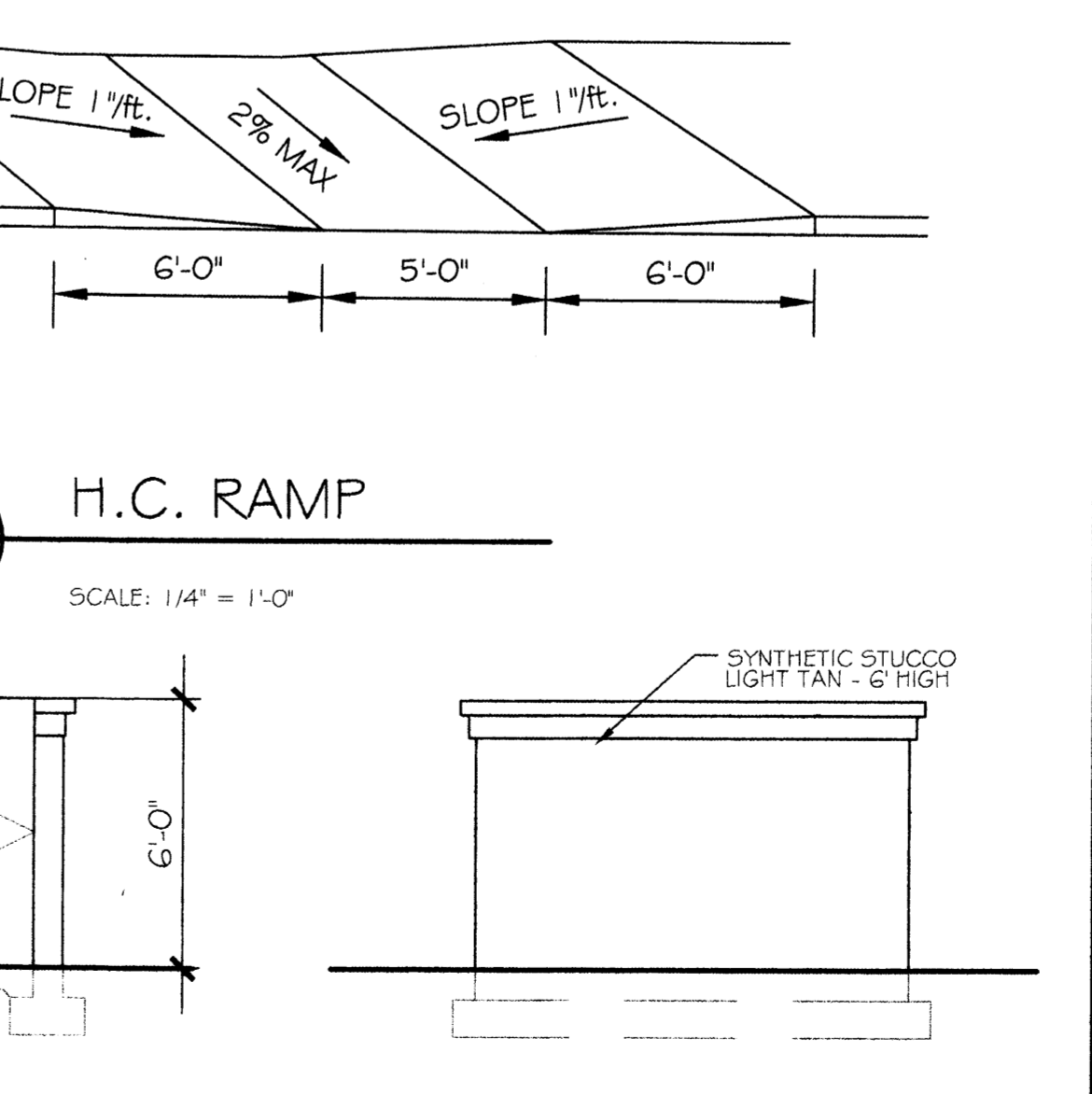
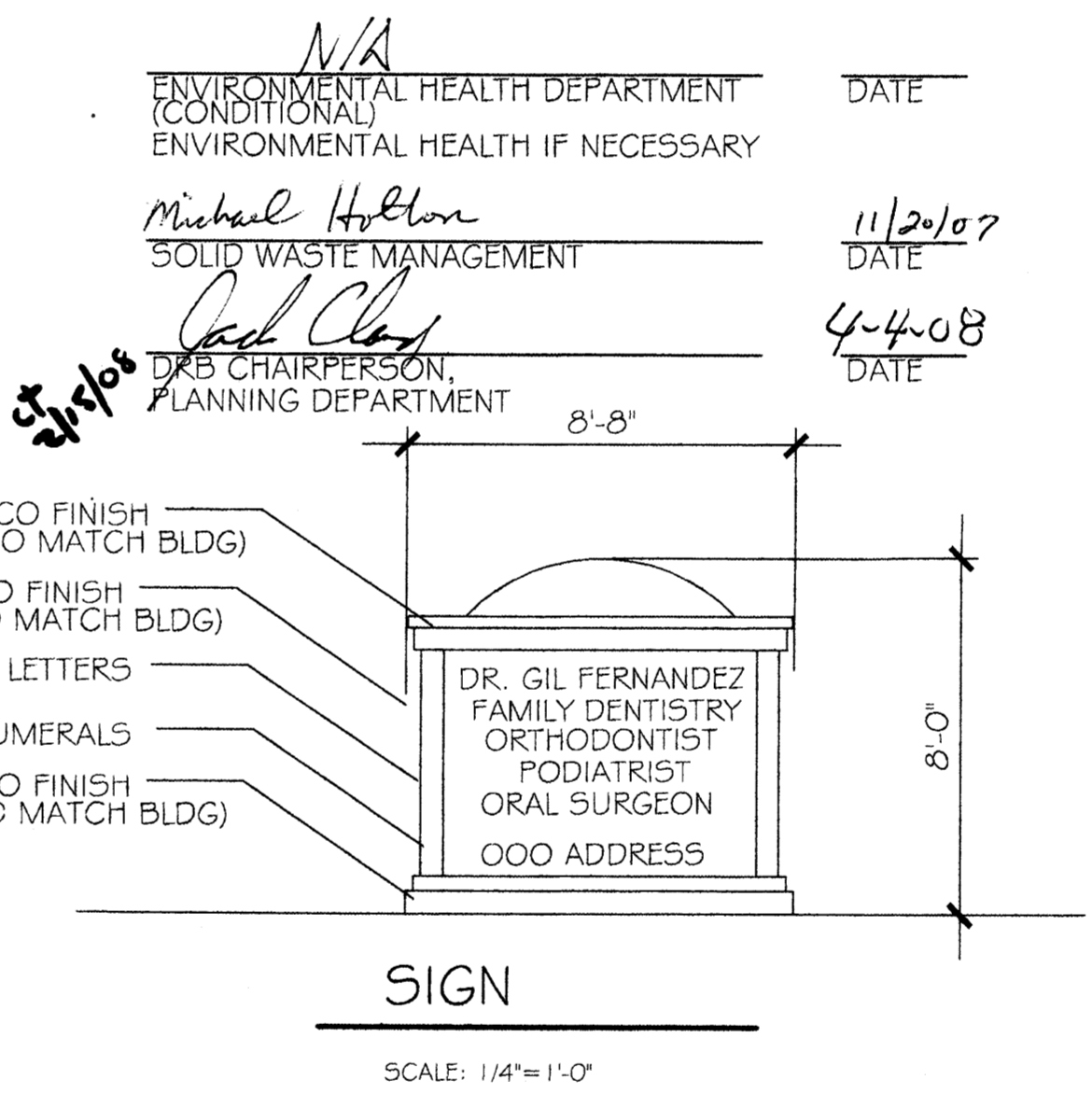
Christina Sandoval
PARKS & RECREATION DEPARTMENT
DATE 4/28/07

Robb Danks
CITY ENGINEER
DATE 4-28-07

N/A
ENVIRONMENTAL HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH IF NECESSARY
DATE

Michael Holton
SOLID WASTE MANAGEMENT
DATE 11/20/07

Carl Choy
DRB CHAIRPERSON, PLANNING DEPARTMENT
DATE 4-4-08



PROJECT DATA

OWNER: Dr. GIL FERNANDEZ D.D.S.
6911 TAYLOR RANCH ROAD SUIT C-5
ALBQ, NM 87120

PROJECT ADDRESS: GOLF COURSE RD., NW
ALBQ, NM 87120

LEGAL DESCRIPTION: PARCEL H-GASA 1A, RIVERVIEW PARCELS
ALBUQUERQUE, N.M.

TOTAL SQUARE FOOTAGE:
DENTAL CLINIC = 3,868 S.F.
FUTURE EXPANSION = 698 S.F.
OFFICE = 6,198 S.F.
TOTAL BUILDING = 10,765 S.F.

PARKING REQUIREMENTS:
DENTAL = 5 SPACES
LEASE SPACE = 31 SPACES
TRANSIT REDUCTION (10%) = 3.5 SPACE

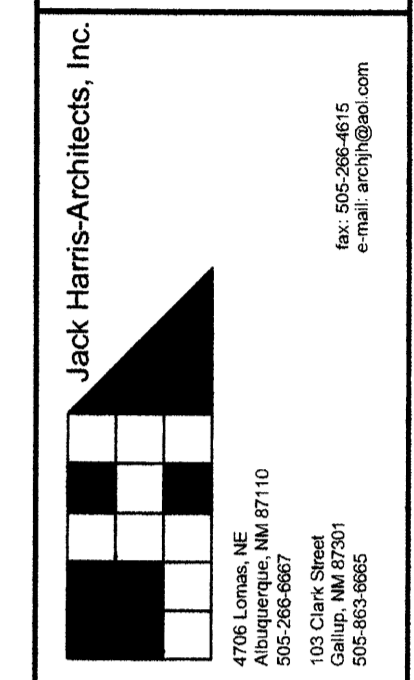
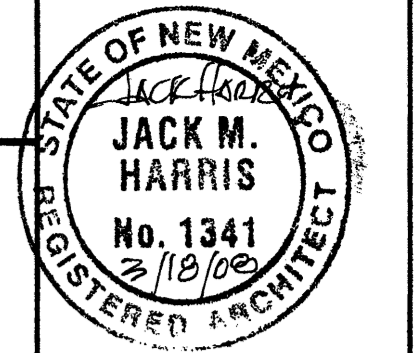
TOTAL = 32 SPACES
HANDICAPPED = 3 SPACES
MOTORCYCLE (26-50 SPACES) = 2 SPACES
BICYCLE (1/20 NO LESS THAN 2 SPACES) = 2

PARKING PROVIDED:
DENTAL = 5
LEASE SPACE = 30

TOTAL PROVIDED = 35
(HANDICAPPED PROVIDED = 3)

LANDSCAPING: SEE LANDSCAPE PLAN L-1

LIGHTING: SHALL COMPLY WITH POLICY 4.6 OF THE WEST SIDE STRATEGIC PLAN & SEC 14.16.3.9 OF THE ZONING CODE



KEY NOTES

- NEW 6" SIDEWALK PER CITY STANDARDS - DWG 2430
- NEW 25" WIDE DRIVEPAD PER CITY STANDARDS - DWG 2425
- EXISTING CURB AND GUTTER TO REMAIN
- NEW CURB AND GUTTER - SEE CIVIL DRAWINGS FOR DETAIL
- EXPOSED AGGREGATE CONCRETE SIDEWALK
- REFUSE ENCLOSURE - LIGHT TAN - SEE DETAIL 1/C-1
- NEW LIGHT TAN RETAINING WALL - SEE CIVIL DRAWINGS FOR DETAILS
- EXISTING ELECTRICAL EQUIPMENT AND SURROUND TO REMAIN
- PRECAST CONCRETE PARKING BUMPER - SET BACK 2'-0" FROM CURB
- ASPHALT PAVING - SEE CIVIL DRAWINGS AND SOILS REPORT FOR DETAILS
- HANDICAPPED SIGNAGE AND ACCESS AISLE MARKINGS (@ 36" O.C.)
- HANDICAPPED PARKING SIGNS, LEFT SIDE WITH VAN PARKING SIGNAGE - SEE DETAIL 2/C-1
- UNDERGROUND RAINWATER TANK FOR IRRIGATION
- SUPPORT COLUMNS FOR COVERED PORCH
- BICYCLE RACK
- HANDICAPPED RAMP - SEE 3/C-1
- BUILDING MOUNTED LIGHT
- RECYCLING PICKUP AREA - LIGHT TAN
- PROVIDE 12" W CUT OUT IN CURB
- 16'-0" MAX. HEIGHT LIGHT POLE W/ SHOW BOX STYLE DOWN LIGHT. STYLE TO MATCH EXISTING CENTER'S LIGHTS.
- 6'-0" WALL AROUND PATIO
- MOTORCYCLE PARKING SIGN 12"x18" 4'-0" A.F.G.
- ROOF SURFACE SHALL BE TAN GRAVEL OR NATURAL LOCAL COLOR PER APPROVED DESIGN STANDARDS.

DRB INDEX TO DRAWINGS

- C-1 SITE PLAN, PROJECT DATA
- C-2 GRADING AND DRAINAGE CALCULATIONS
- C-2.1 GRADING AND DRAINAGE PLAN
- C-2.2 CONCEPTUAL UTILITY PLAN
- L-1 LANDSCAPE PLAN
- A-2 EXTERIOR ELEVATIONS

DR FERNANDEZ
NEW DENTAL OFFICE
GOLF COURSE RD. N.W.
ALBUQUERQUE, NEW MEXICO

EPC / DRB
PRINT
DATE:
8/6/07
REVISED
11-2-07

SHEET NO.
C-1

PROJECT # 1006717

Steven Urban 11/9/07

AS-BUILT CERTIFICATION

LEGAL DESCRIPTION

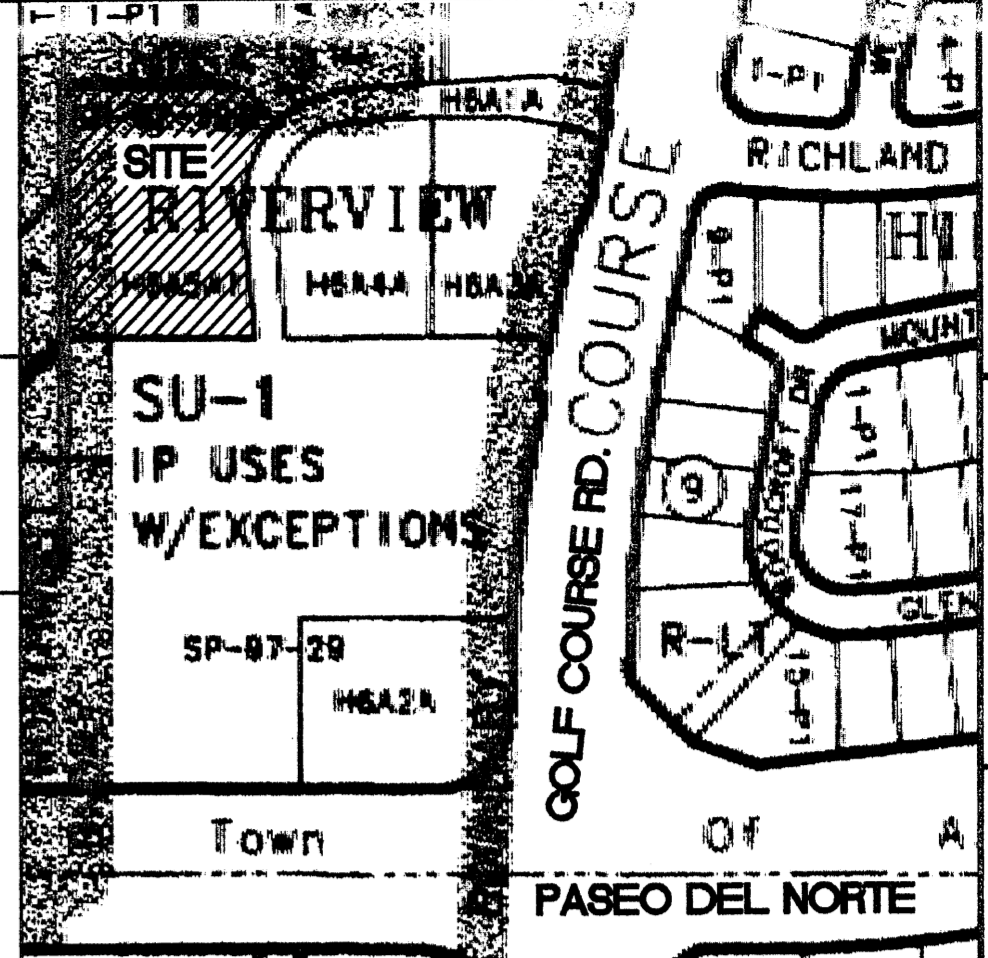
PARCEL H-6A5A1A, RIVERVIEW PARCELS, SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 2 EAST OF THE N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 21, 2000 IN BOOK 2000C, PAGE 86.

EASEMENT NOTES

- EXISTING 10' P.U.E. (2000C-86, 3/21/00)
- EXISTING 26' INGRESS/EGRESS AND PUE (6/25/99, 9912-595)

GRADING KEY NOTES

- 25' DRIVEPAD PER DWG 2425.
- 6" SDR-35 PVC AT 0.50%.
- RETAINING WALL FROM 0.5' TO 10.0' W/TOP OF WALL 6" MIN ABOVE FINISHED GRADE (FG).
- 24" RUNDOWN PER DETAIL 4 THIS SHEET.
- HEADER CURB PER DETAIL 5 THIS SHEET.
- STANDARD CURB PER DETAIL 6 THIS SHEET.
- TURNDOWN SIDEWALK PER DETAIL 7 THIS SHEET.
- AREA DRAIN PER DETAIL 7 THIS SHEET.
- 12" CURB CUT 2.7% SURFACE RUNOFF TO SIDEWALK.
- 12" CURB CUT 1.7% SURFACE RUNOFF TO SIDEWALK.
- 12" CURB CUT 8.5% SURFACE RUNOFF TO SIDEWALK.
- 6' SIDEWALK PER DWG 2430 (NEW)



VICINITY MAP C-12
ACS BENCHMARK
ACS MONUMENT "5-C12" HAVING AN ELEVATION OF 5146.64 (NAVD 29), (CONVERTED USING CORPSON)
PROJECT BENCHMARK
CHISELED BOX ON CURB AS SHOWN ON THIS SHEET, ELEV 5415.63.



Jack Harris-Architects, Inc.
4700 Lomas, NE, Suite 10710
Albuquerque, NM 87110
505-255-0627
150 Cook Street
Albuquerque, NM 87102
505-862-8605

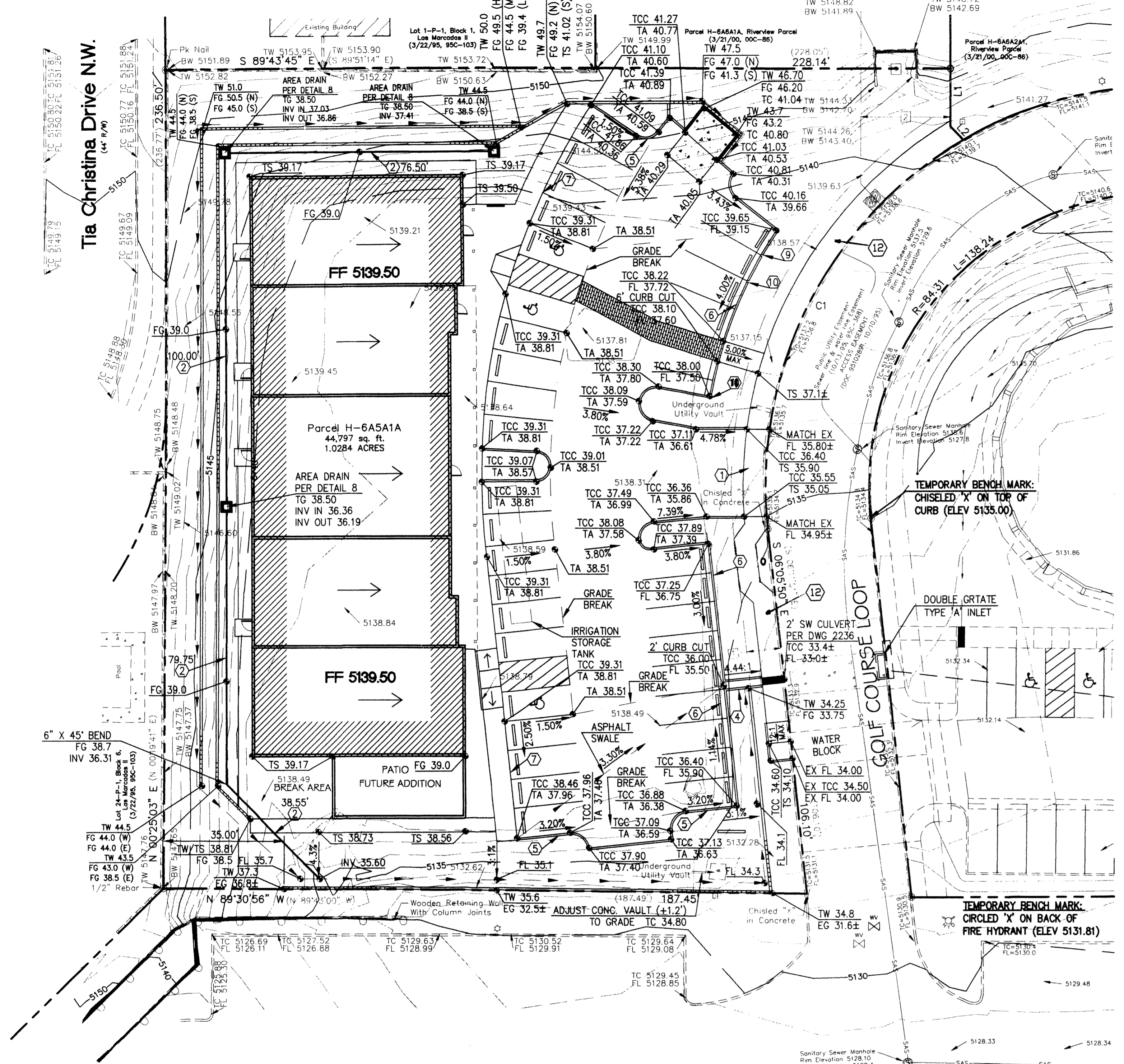
LARRY READ & ASSOCIATES
Civil Engineers
2430 Midtown Place, NE Suite C
Albuquerque, New Mexico 87107
(505) 545-0620 Fax (505) 237-8422

DR FERNANDEZ
NEW DENTAL OFFICE
GOLF COURSE RD. N.W.
ALBUQUERQUE, NEW MEXICO

DATE:
11/16/07

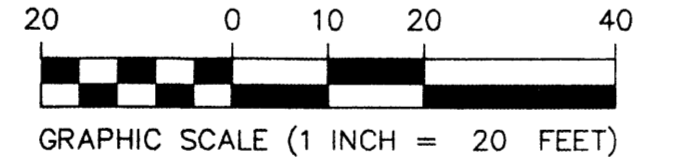
SHEET NO.

C-2.1

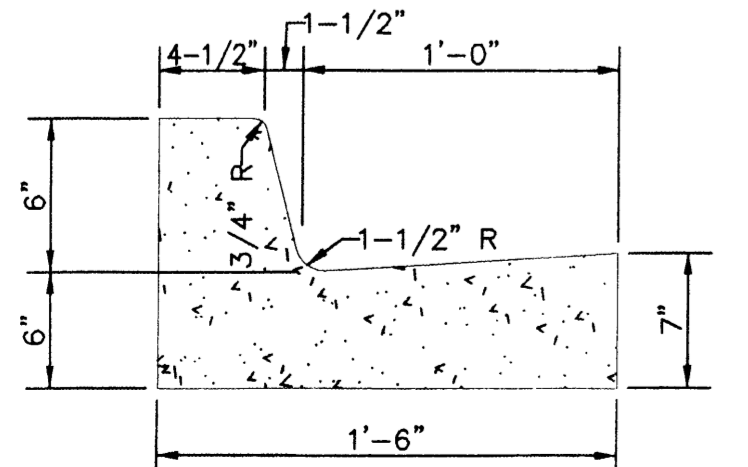


LINE	LENGTH	BEARING
L1	16.11' (16.11')	S 00°27'10" W (S 00°19'41" W)
L2	5.33' (5.42')	S 44°21'53" E (S 44°43'49" E)

CURVE	CURVE TABLE			
	RADIUS	LENGTH	DELTA	CHORD DIR. CHORD
C1	114.31' (114.31')	132.77' (132.77')	66°32'56" (S 27°10'38" W)	125.43'

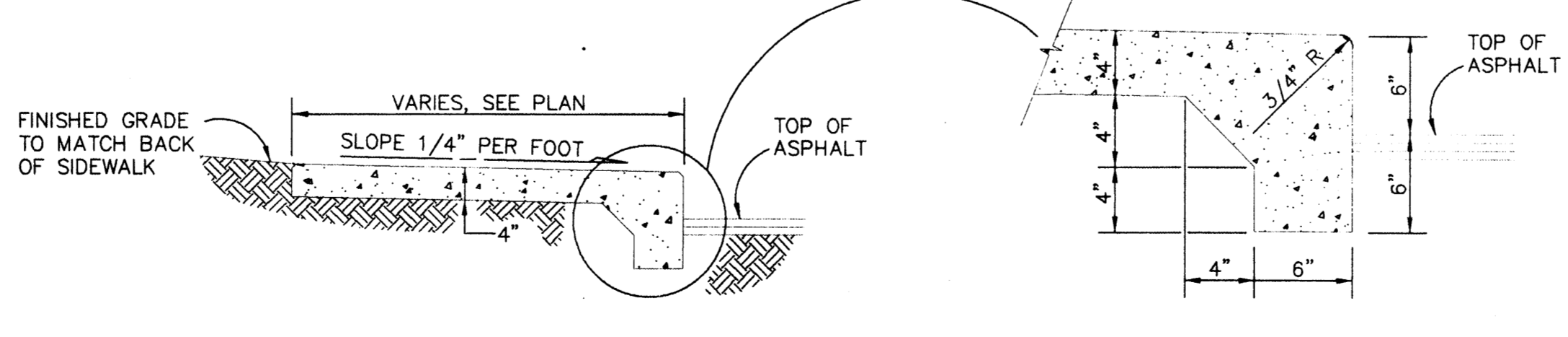


- CONSTRUCTION NOTES:
- PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
 - PROVIDE CONTRACTION JOINTS AT 6' O.C.
 - ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.

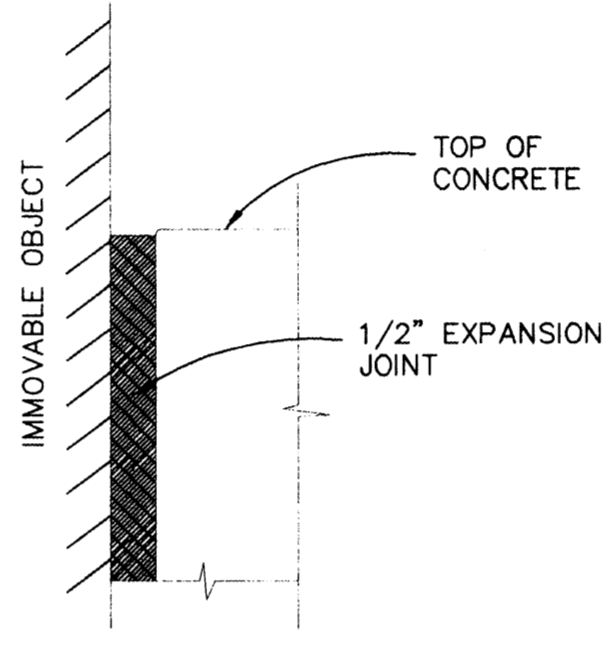


6 STANDARD CURB AND GUTTER
N. T. S.

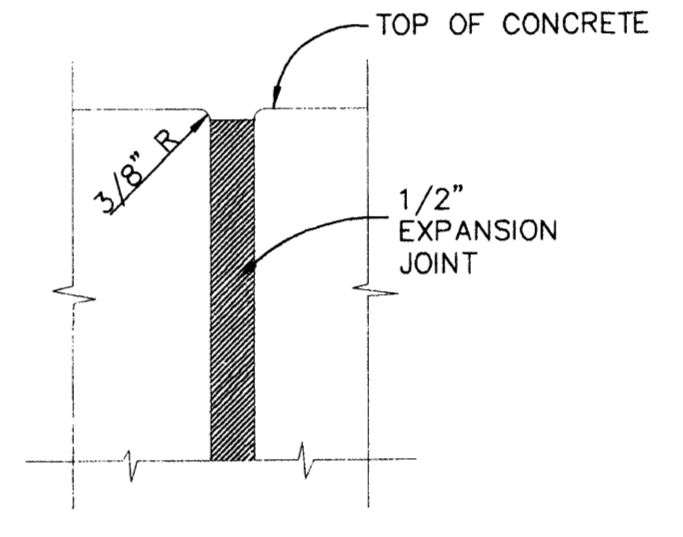
- CONSTRUCTION NOTES:
- A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AND SHALL SLOPE TOWARDS THE DIRECTION OF THE DRAINAGE AREA.
 - CONCRETE WALKS SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS. 1/2" EXPANSION JOINTS SHALL BE INSTALLED EVERY 36', UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAILS THIS SHEET.
 - 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE WALKS ABUT RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.



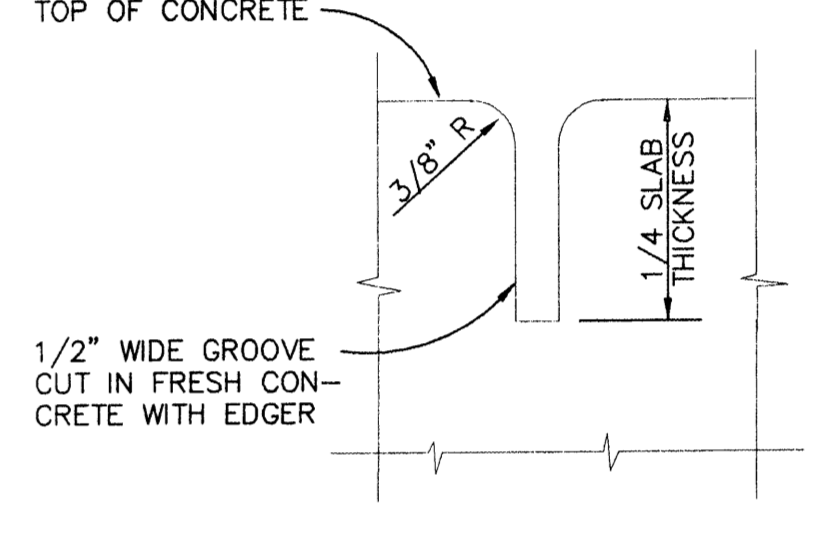
7 SIDEWALK DETAIL WITH TURNDOWN
N. T. S.



1 EXPANSION JOINT AT IMMOVABLE OBJECT
N. T. S.

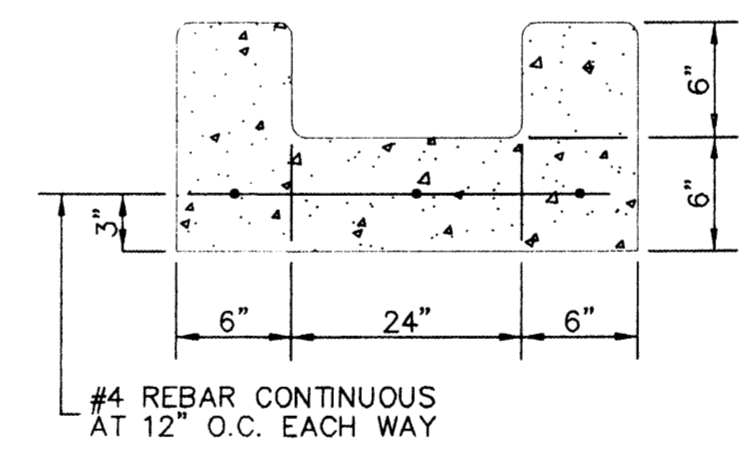


2 EXPANSION JOINT DETAIL
N. T. S.



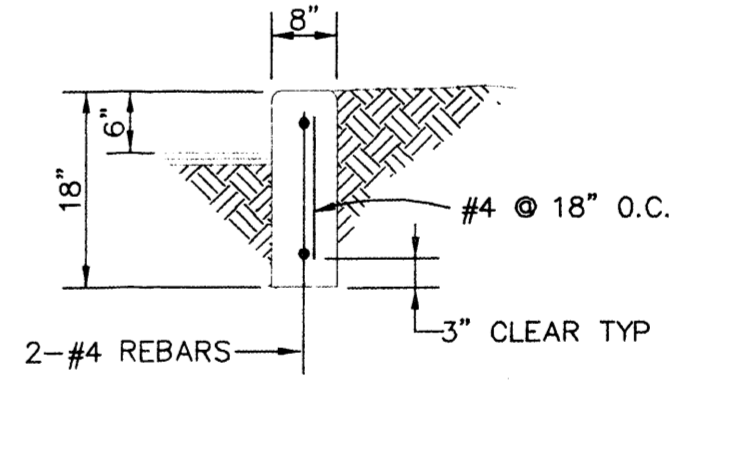
3 CONTRACTION JOINT DETAIL
N. T. S.

- CONSTRUCTION NOTES:
- PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
 - PROVIDE CONTRACTION JOINTS @ 6' O.C.
 - ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.

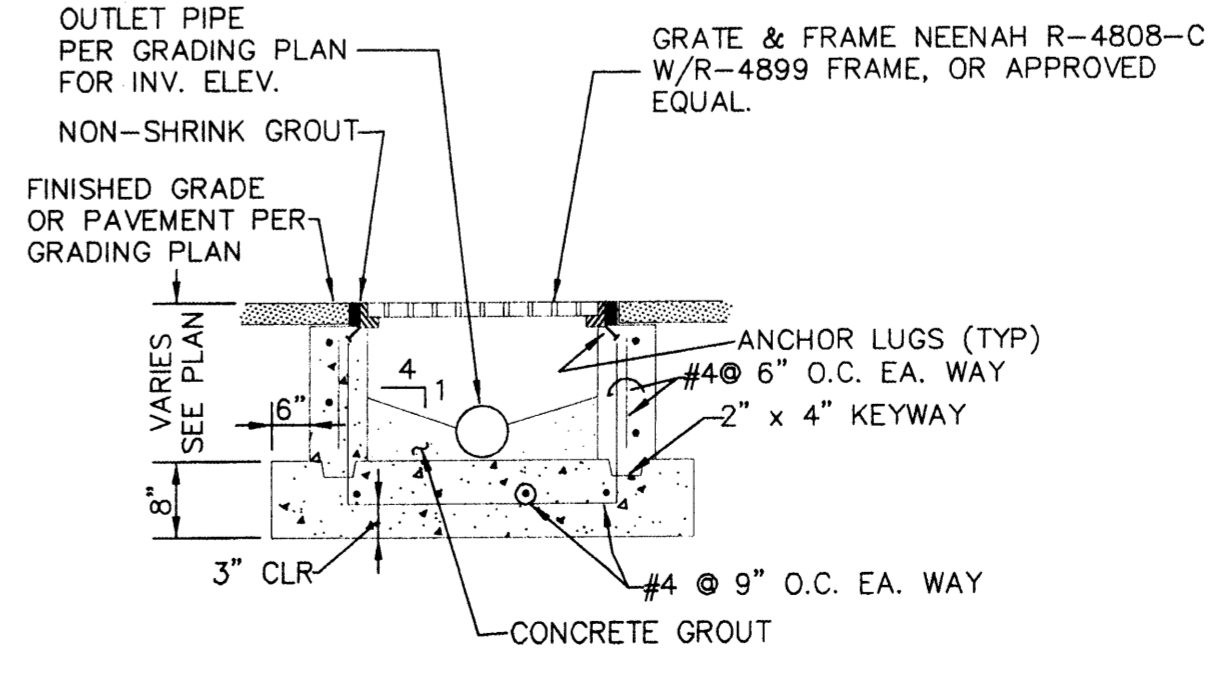


4 CONCRETE RUNDOWN
N. T. S.

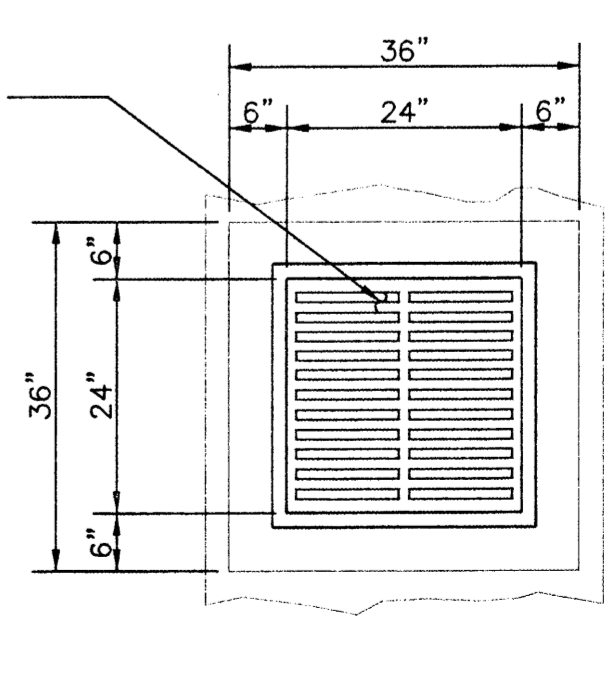
- CONSTRUCTION NOTES:
- PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS, AND AT THE BEGINNING AND END OF CURVES.
 - PROVIDE CONTRACTION JOINTS @ 6' O.C.
 - ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.

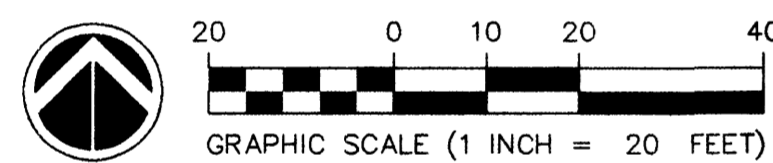
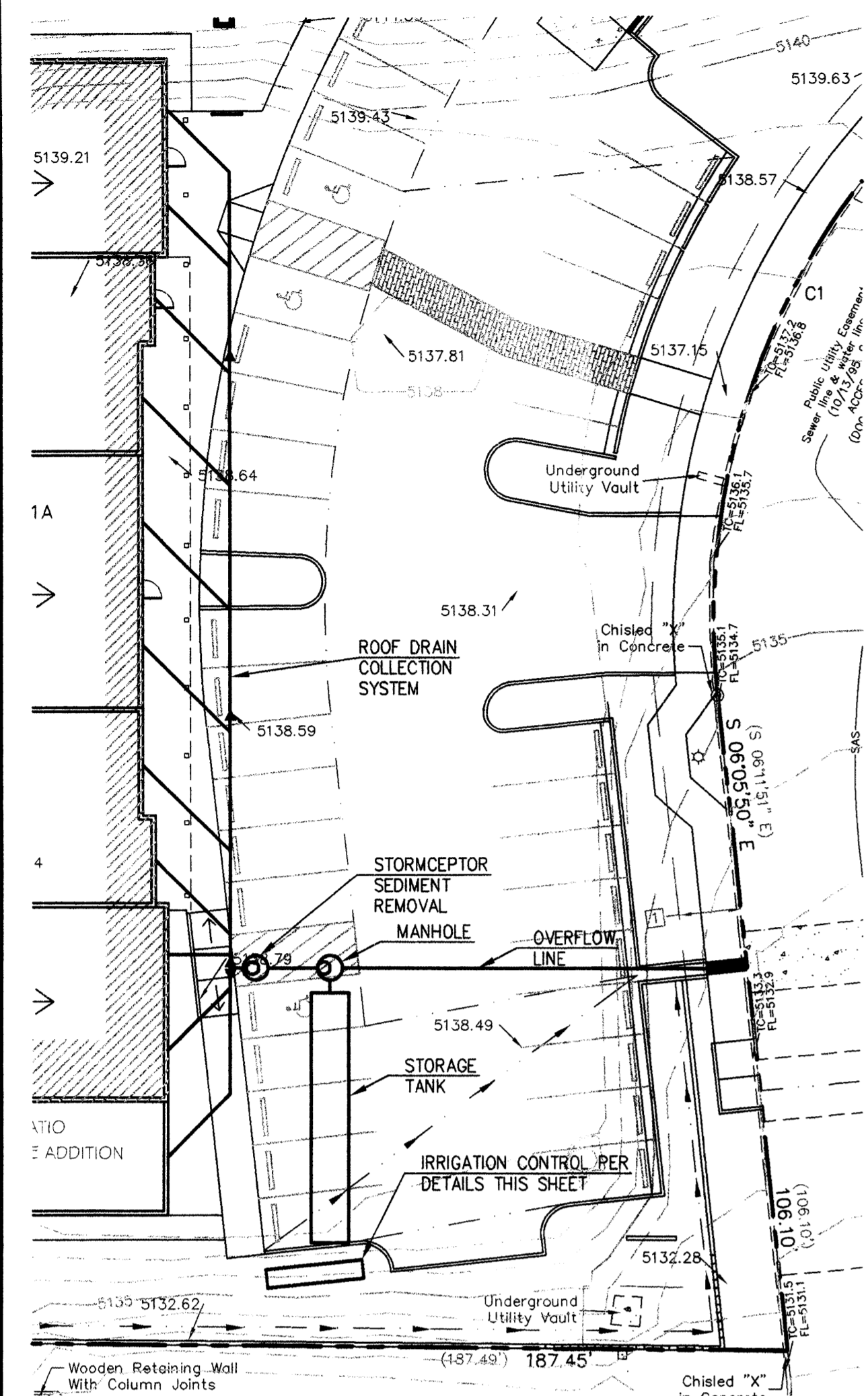


5 CONCRETE HEADER CURB DETAIL
N. T. S.



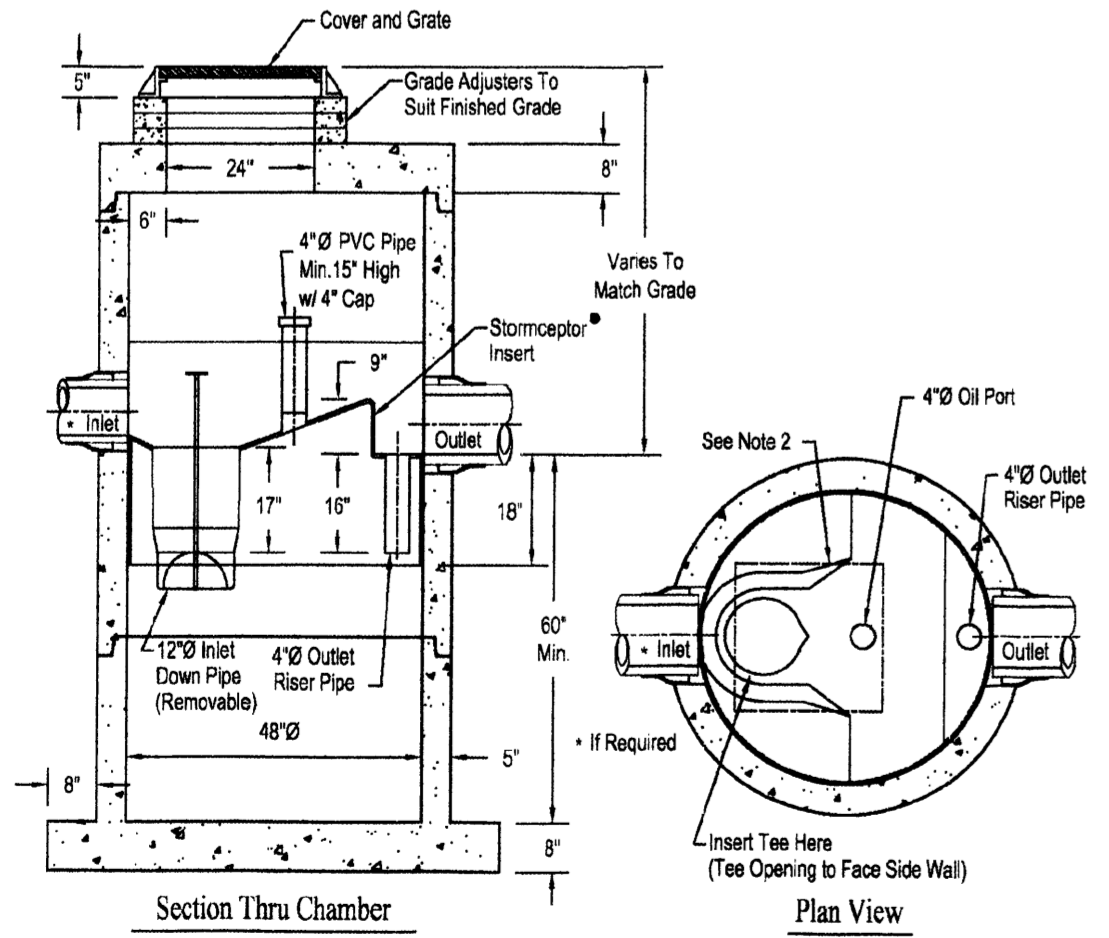
8 AREA DRAIN
N. T. S.





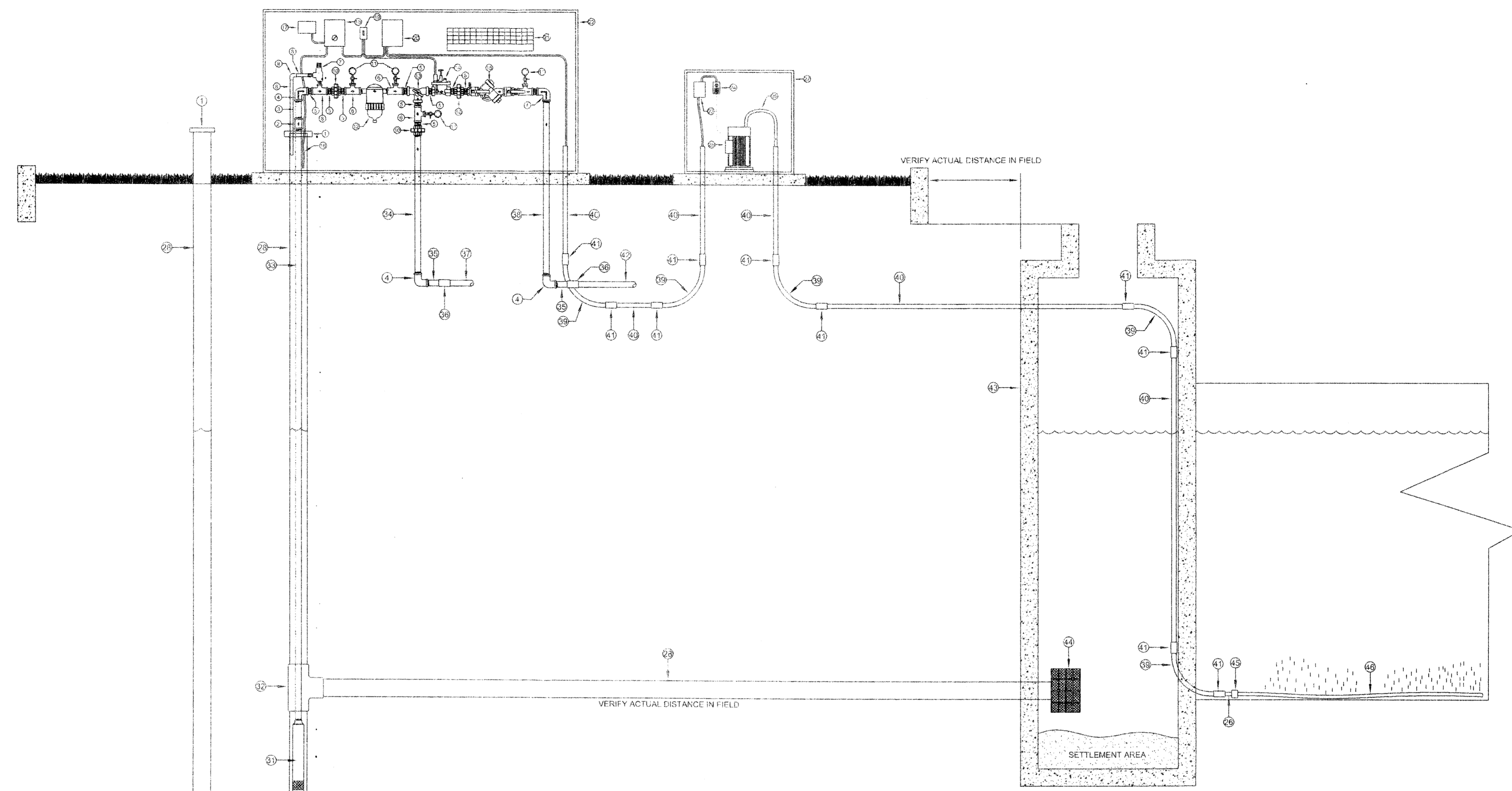
Rinker Concrete Pipe Division

STC 4501 Precast Concrete Stormceptor®
(450 U.S. Gallon Capacity)



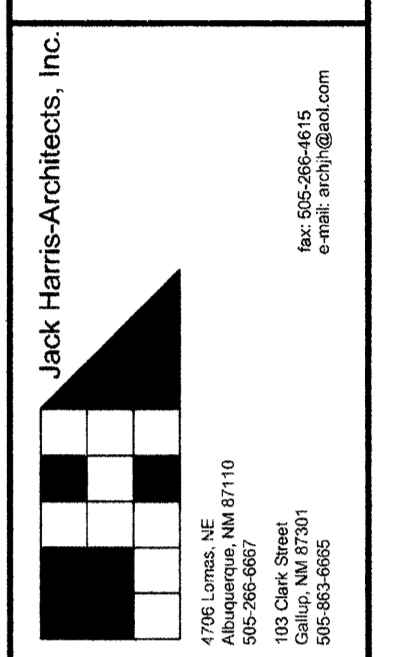
- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

Rinker 027



KEYED LEGEND

- 1 SIMMONS #755 6" STEEL WELL HEAD CAP
- 2 2" GALVANIZED COUPLING
- 3 2" x 6" GALVANIZED NIPPLE
- 4 2" GALVANIZED ELL
- 5 2" x CLOSE GALVANIZED NIPPLE
- 6 2" x 2" x 1/2" GALVANIZED TEE WITH 1/2" x 1/4" GALVANIZED REDUCER BUSHING
- 7 WATTS #530C 3/4" PRESSURE RELIEF VALVE (DISCHARGE TO WELL)
- 8 3/4" SCH 80 PVC PIPE (LENGTH AS REQUIRED)
- 9 3/4" SCH 80 PVC ELL (SLIP x SLIP)
- 10 2" GALVANIZED UNION
- 11 1 - 100 PSI PRESSURE GAUGE WITH 1/4" BRASS NIPPLES AND 1/4" BALL VALVE
- 12 AM AD #12-0054-130 2" T-FILTER WITH 120 MESH DISC FILTER CARTRIDGE
- 13 MARVIN VALVE #3T-3200FTS-200 NON-TRANSFLOW, TH-REE-WAY BRASS BALL VALVE
- 14 HUNTER #HBV-201E 2" BRASS ELECTRIC VALVE WITH FLOW CONTROL
- 15 FERCO #R25Y-2 2" REDUCED PRESSURE BACKFLOW PREVENTER
- 16 HIGH-VOLTAGE SUBMERSIBLE PUMP POWER CABLES (SEE WIRING DIAGRAM)
- 17 COYOTE #1PH-230V 230 VOLT SINGLE PHASE PUMP PROTECTION CIRCUIT
- 18 FURNAS SINGLE PHASE PUMP STARTER WITH HOA SWITCH (SEE DETAIL)
- 19 ELECTRICAL SWITCH (SEE WIRING DIAGRAM)
- 20 IRRIGATION CONTROLLER (SEE IRRIGATION LEGEND)
- 21 1500 WATT HEATER (SUPPLIED WITH ENCLOSURE)
- 22 HOTBOX #HBN INSULATED ENCLOSURE WITH ELECTRIC HEATER(S)
- 23 24V / 120V RELAY SWITCH FOR AIR PUMP OPERATION (SEE WIRING DIAGRAM)
- 24 120V ELECTRICAL POWER OUTLET (SEE WIRING DIAGRAM)
- 25 6 CFM LOW PRESSURE AIR PUMP (AS SUPPLIED BY CANADIANPOND PRODUCTS LIMITED)
- 26 SELF WEIGHTED 1/2" AIR SUPPLY TUBING +F-50 (AS SUPPLIED BY CANADIANPOND PRODUCTS LIMITED)
- 27 HOTBOX INSULATED FIBERGLASS ENCLOSURE (SIZE TO BE DETERMINED)
- 28 6" CLASS 200 PVC GASKET END PIPE (LENGTH AS REQUIRED)
- 29 6" CLASS 200 PVC SOLVENT WELD ELL
- 30 6" CLASS 200 PVC SOLVENT WELD 45 DEGREE ELL
- 31 FLINT & WALLING SUBMERSIBLE PUMP (SEE NOTES)
- 32 6" CLASS 200 PVC SOLVENT WELD TEE
- 33 2" GALVANIZED DROP PIPE (LENGTH AS REQUIRED)
- 34 2" GALVANIZED NIPPLE (LENGTH AS REQUIRED)
- 35 2" x 6" SCH 80 PVC TOE NIPPLE
- 36 2" SCH 80 PVC COUPLING
- 37 2" SCH 40 PVC MAINLINE (OUT TO IRRIGATION SYSTEM)
- 38 2" GALVANIZED NIPPLE (LENGTH AS REQUIRED)
- 39 1 1/2" ELECTRICAL SWEEP ELL - 12" RADIUS
- 40 1 1/2" ELECTRICAL CONDUIT
- 41 1 1/2" SCH 40 PVC COUPLING
- 42 2" SCH 40 PVC FROM POTABLE WATER SOURCE
- 43 CONCRETE STORAGE TANK OUTLET STRUCTURE (SEE ENGINEERS PLANS)
- 44 LARGE MESH INTAKE SCREEN (TO BE DETERMINED)
- 45 1/2" TRANSITION COUPLING FOR AIR TUBING (AS SUPPLIED BY CANADIANPOND PRODUCTS LIMITED)
- 46 SELF WEIGHTED 1/2" BUBBLE TUBING LINEAR AERIFICATION SYSTEM +F-150 (AS SUPPLIED BY CANADIANPOND PRODUCTS LIMITED)



LARRY READ & ASSOCIATES
Civil Engineers
2430 Midtown Place, NE Suite C
Albuquerque, New Mexico 87110
(505) 345-0620 Fax (505) 237-8422

DR FERNANDEZ
NEW DENTAL OFFICE
GOLF COURSE RD. N.W.
ALBUQUERQUE, NEW MEXICO

DATE:
11/16/07

SHEET NO.
C-2.2

Jack Harris Architects, Inc.
4706 Lomas NE
Albuquerque, NM 87110
100 Cook Street
Culham, NM 87701
Tel: 505-246-4415
email: jack@jha.com

WATER HARVESTING PLAN

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

ABBREVIATIONS

AD = AREA DRAIN	DTL = DETAIL	GV = GATE VALVE	RCP = REINFORCED CONCRETE PIPE	TCC =
AIP = ABANDONED IN PLACE	DWG = DRAWING	HI PT = HIGH POINT	R/W = RIGHT-OF-WAY	TG = TOP OF GRATE
BLDG = BUILDING	E = ELECTRIC LINE	INV = INVERT ELEVATION	SAS = SANITARY SEWER	TS = TOP OF SIDEWALK
BM = BENCHMARK	ELEC. = ELECTRIC	LF = LINEAL FEET	SD = STORM DRAIN	TW = TOP OF WALL
CATV = CABLE TELEVISION LINE	ELEV = ELEVATION	MH = MANHOLE	STA = STATION	TYP = TYPICAL
CMP = CORRUGATED METAL PIPE	EX = EXISTING	NG = NATURAL GROUND	STD = STANDARD	TB = TELEPHONE BOX
CO = CLEANOUT	FF = FINISHED FLOOR ELEVATION	OE = OVERHEAD ELECTRIC LINE	SW = SIDEWALK	UE =
COA = CITY OF ALBUQUERQUE	FG = FINISHED GRADE	PCC = PORTLAND CEMENT CONCRETE	T = TELEPHONE	UT =
CONC = CONCRETE	FH = FIRE HYDRANT	PP = POWER POLE	TA = TOP OF ASPHALT PAVEMENT	W = WATER
CL = CENTERLINE	FL = FLOW LINE	PROP = PROPOSED	TAC = TOP OF ASPHALT CURB	WM = WATER METER
DIA = DIAMETER	GM = GAS METER	PVC = POLYVINYL CHLORIDE PIPE	TC = TOP OF CONCRETE SLAB (PAVEMENT)	WV = WATER VALVE

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

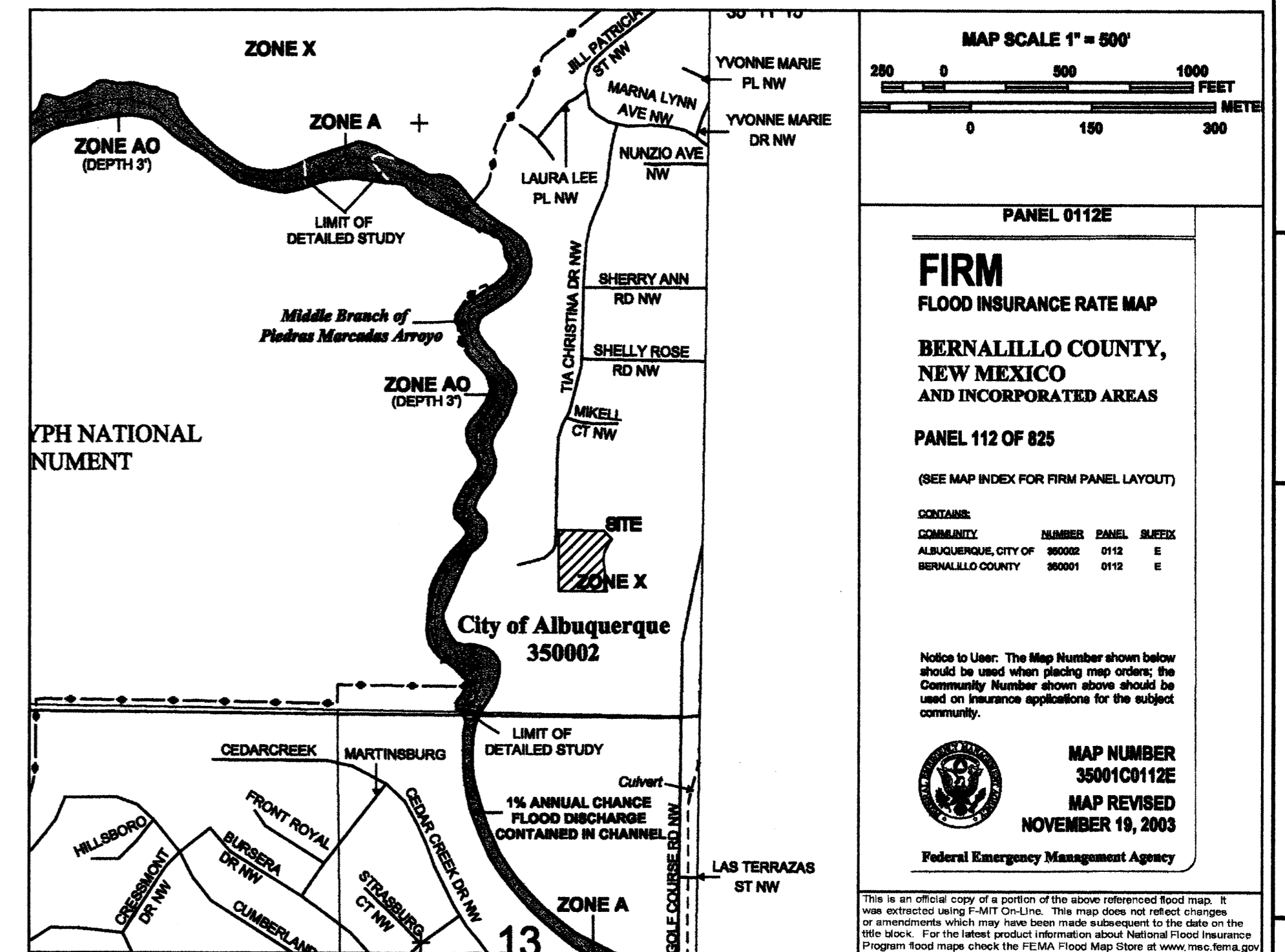
ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.



100-YEAR HYDROLOGIC CALCULATIONS

N	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
	A AREA (acre)	A (%)	B (%)	C (%)						
EXISTING CONDITIONS										
TH	1.0284	0.00	13.62	0.00	86.38	1.79	0.15	6.693	0.26	11,433
TH	1.0284	0.00	20.00	20.00	60.00	1.51	0.13	5.652	0.21	8,944
PROPOSED CONDITIONS										
SS PRECIP.	0.44	0.67	0.99	1.97	E (in)					
DISCHARGE	1.29	2.03	2.87	4.37	Q _m (cfs)					
IHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D) (acre-ft) = (WEIGHTED E)(AREA)/12 (acre-ft) = V _{6-hr} + (A ₁)(P _{10day} - P _{6-hr})/12 Q = (Q _{6-hr})(A ₁) + (Q _{10day})(A ₂) + (Q _{10day})(A ₃) + (Q _{10day})(A ₄)										
ZONE = 1 P _{6-hr} (in.) = 2.20 P _{24-hr} (in.) = 2.66 P _{10day} (in.) = 3.67										

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 1.03 ACRES LOCATED JUST NORTH AND WEST OF THE GOLF COURSE AND PASEO DEL NORTE INTERSECTION AS SHOWN ON THE COMMUNITY MAP ON SHEET C3. THE LOT IS UNDEVELOPED WITH DEVELOPED LOTS ALL AROUND IT. THE AREA HAS BEEN MASTER PLANNED BY D. MARK GOODWIN AND ASSOCIATES IN THEIR REPORT "DRAINAGE REPORT FOR FURR'S - LAS MARCADAS." THE SITE HAS BEEN MASS GRADED AND WALLS HAVE BEEN CONSTRUCTED ALONG THE WEST AND PORTIONS OF THE NORTH AND SOUTH SIDES OF THE LOT.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0112E, DATED NOVEMBER 19, 2003 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. A PORTION OF THIS PANEL WITH THE SITE DESIGNATED ON IT IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

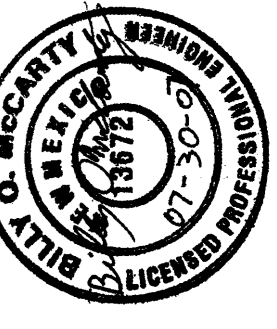
THE 100-YR, 6-HR AND 100-YR, 10 DAY DURATION STORM EVENTS WERE USED AS THE DESIGN STORMS FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR, 24-HOUR, AND 10-DAY PRECIPITATION VALUES, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

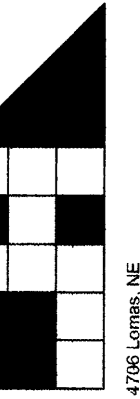
THE SITE IS UNDEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." THE ABOVE MENTIONED STUDY IDENTIFIES THE SITE WITHIN BASIN III. THIS REPORT IDENTIFIED AN ALLOWABLE DISCHARGE OF 35.7-CFS FOR BASIN III BUT THAT THE ACTUAL DEVELOPED DISCHARGE WOULD BE 16.46-CFS AND THAT PONDING IS NOT REQUIRED. THE 16.46-CFS ASSUMES A DEVELOPMENT DENSITY OF 13.62% LAND TREATMENT 'B' AND 86.38% LAND TREATMENT 'D' FOR THE 3.9969 ACRE BASIN. THIS SITE IS A 1.03 ACRE PORTION OF THE 3.9969 ACRE DRAINAGE BASIN AND IS PLANNED TO DRAIN TO A PRIVATE STREET ALONG THE EAST SIDE OF THE PROPERTY. A WATER BLOCK NEAR THE SOUTHEAST CORNER OF THIS SITE DIVERTS THE RUNOFF TO A DOUBLE GRATE TYPE A INLET AND THEN TO THE GOLF COURSE ROAD STORM DRAIN. ONLY A SMALL CORNER WITHIN THIS PARCEL BUT BELOW THIS WATER BLOCK IS PLANNED TO DRAIN TO THE ADJACENT DEVELOPMENT.

DEVELOPED CONDITION

THE SITE WILL BE DEVELOPED IN ACCORDANCE WITH THE MASTER DRAINAGE STUDY AND DRAIN TO THE STREET ABOVE THE WATER BLOCK. A 1130-CF STORAGE TANK WILL ALSO BE CONSTRUCTED ON SITE TO HARVEST THE ROOF RUNOFF. HOWEVER, THE SITE WILL BE CONSTRUCTED TO RELEASE THE FULL 100-YEAR RUNOFF TO THE STREET IN THE EVENT THAT THE TANK IS FULL. THE WATER STORED IN THE TANK WILL BE USED TO IRRIGATE THE LANDSCAPING. SINCE THE PROPERTY ABOVE THIS SITE IS ALREADY WALLED AND THE LOT TO THE NORTH IS GRADED TO DRAIN AWAY FROM THE SITE, THE ONLY OFFSITE RUNOFF IS A NEGLIGIBLE AMOUNT BETWEEN THE PROPERTY LINE AND THE BUILDING TO THE NORTH. THIS RUNOFF WILL CONTINUE TO DRAIN INTO THIS SITE. THEREFORE, THIS DEVELOPMENT WILL NOT ADVERSELY IMPACT THE PROPERTY AROUND IT. THE CALCULATIONS ABOVE ALSO DEMONSTRATE THAT THIS SITE WILL DISCHARGE LESS THAN THE AMOUNT ANTICIPATED IN THE MASTER DRAINAGE STUDY. THEREFORE, THIS SITE CAN BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN INTENT OF THE MASTER DRAINAGE PLAN.



Jack Harris-Architects, Inc.



LARRY READ & ASSOCIATES
Civil Engineers

2430 Midtown Place, NE Suite C
Albuquerque, New Mexico 87110
(505) 345-0620 Fax (505) 237-8422

CIVIL GENERAL NOTES

DR FERNANDEZ
NEW DENTAL OFFICE
GOLF COURSE RD. N.W.
ALBUQUERQUE, NEW MEXICO

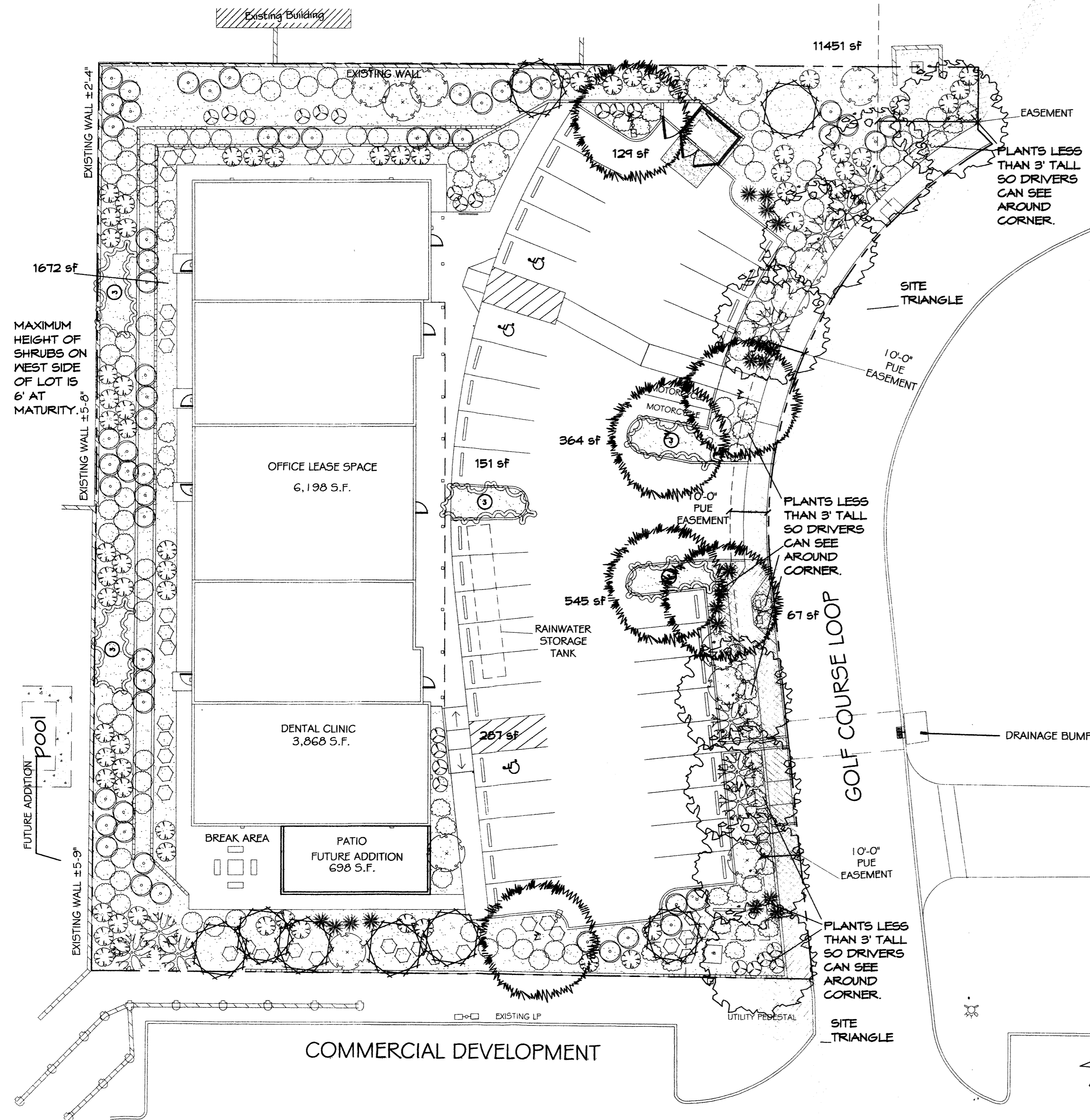
DATE:
07/30/07

SHEET NO.

C-2.0

RESIDENTIAL DEVELOPMENT

COMMERCIAL DEVELOPMENT



PLANT LEGEND

- CHINESE PISTACHE (M) 8
Pistacia chinensis
2' Gal. 60" H x 60" W
* STREET TREES *
- RAYWOOD ASH (M+) 6
Fraxinus oxycarpa
2' Gal. 35" H x 30" W
* PARKING LOT AND STREET TREES *
- DESERT WILLOW (L) 8
Chilopsis linearis
15 Gal. 20" H x 25" W
** USED IN LANDSCAPE BEDS ONLY.
NOT USED NEAR STREETS. **
- RED YUCCA (L) 18
Hesperaloe parviflora
5 Gal. 48" H x 4" W
- BROOM BACCHARIS (L+) 11
Baccharis sarothroides
5 Gal. 100sf, 10" H x 10" W
- DESERT HONEYSUCKLE (M) 16
Anisacanthus thurberi
5 Gal. 100sf, 5" H x 4" W
- THREE-LEAF SUMAC (L) 55
Rhus trilobata
5 Gal. 36sf, 6" H x 6" W
- APACHE PLUME (L) 76
Fallugia paradoxa
5 Gal. 44sf, 6" H x 7" W
- CHAMISA (L) 69
Chrysothamnus nauseosus
1 Gal. 25sf, 5" H x 5" W
- POINCS CASTLE SAGE (L+) 39
Artemisia x Poinc Castle
1 Gal. 25sf, 2" H x 5" W
- FRICKLY PEAR (L) 41
Opuntia macrocentra
9 sf, 3" H x 3" W
- CRIMSON PYGMY BARBERRY (M) 21
Berberis thunbergii
1 Gal. 4sf, 2" H x 2" W
- GREYLEAF COTONEASTER (M) 15
Cotoneaster buxifolius
5 Gal. 81sf, 2" H x 4" W
Symbol indicates 3 plants
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- * DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	44797	square feet
TOTAL BUILDINGS AREA	10807	square feet
NET LOT AREA	33990	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5099	square feet
TOTAL BED PROVIDED	14667	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11000	square feet
TOTAL GROUND COVER PROVIDED	12734 (87%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	14667 (43%)	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
25' On Center per EPC comments
Name of Street: Golf Course Loop
Required # 10 Provided # 10

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 4 Provided # 4

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

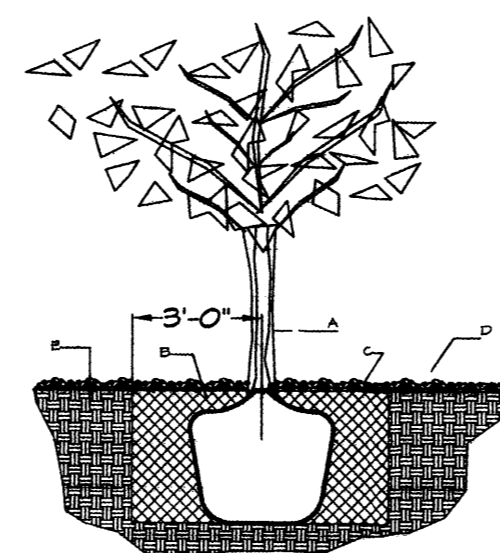
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



TREE PLANTING DETAIL

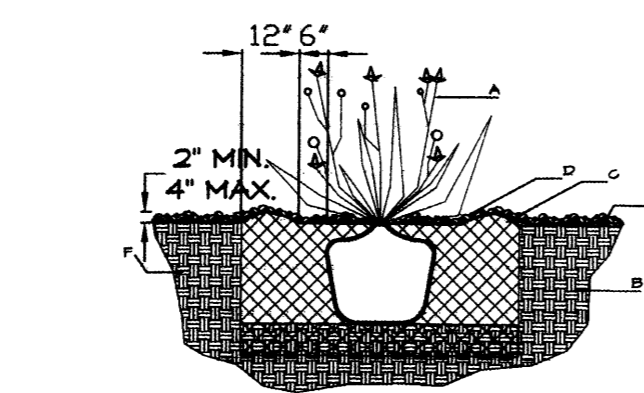
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

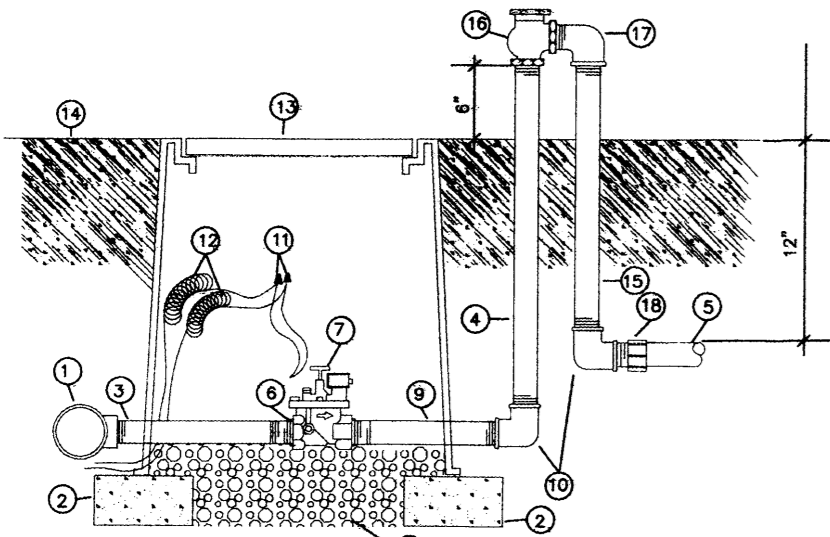
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GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

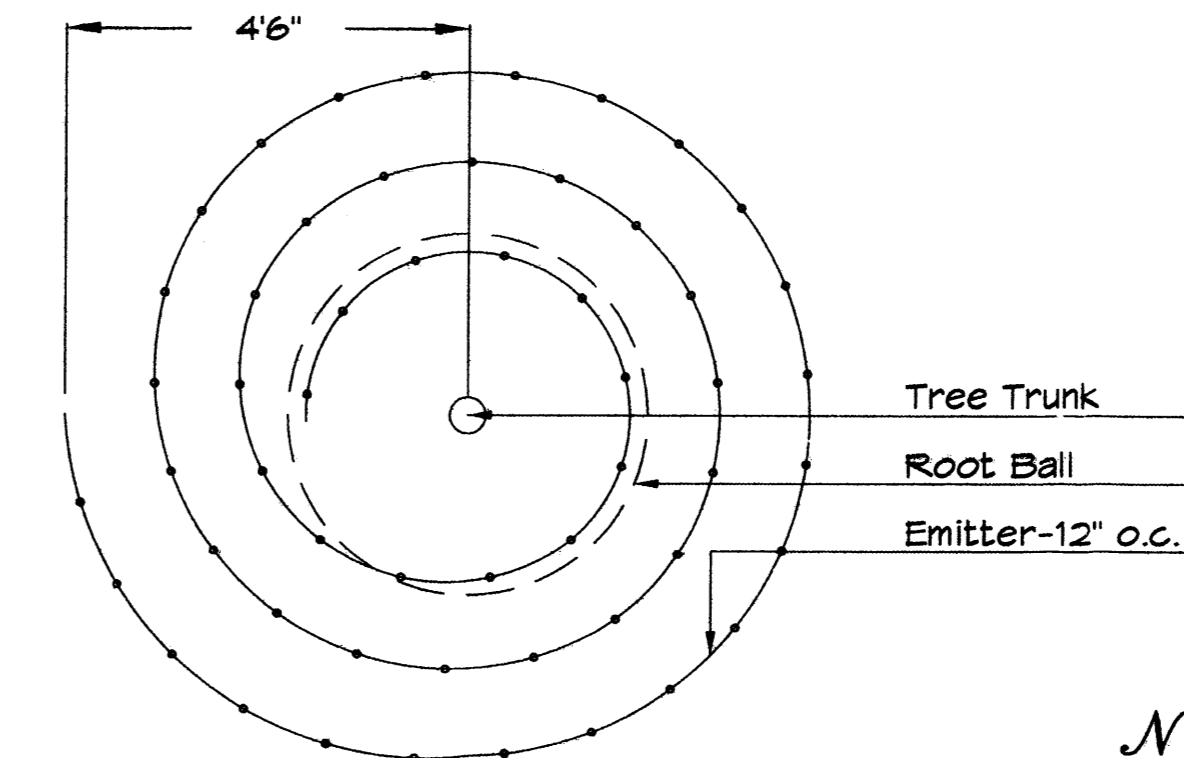
- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



- 1 MAINLINE FITTING
- 2 GNU BLOCK
- 3 GALVANIZED NIPPLE
- 4 3/4" TO 3/8" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 1/8" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

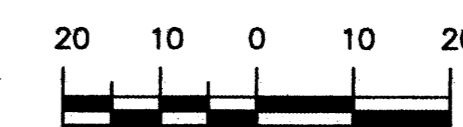
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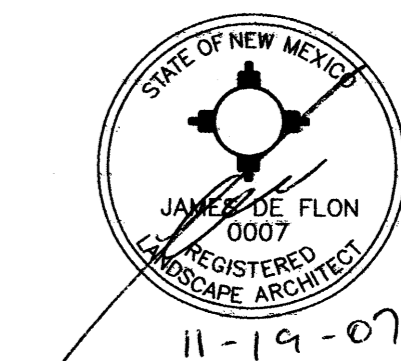
Netafim Spiral Detail



GRAPHIC SCALE



SCALE: 1"=20'



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

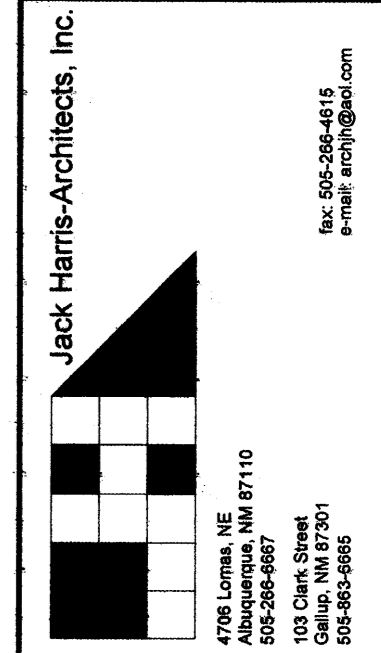
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

DR FERNANDEZ
NEW DENTAL OFFICE
GOLF COURSE RD. N.W.
ALBUQUERQUE, NEW MEXICO

DATE:
8-31-07 RMM
REVISED:
10-8-07 RMM
11-09-07 RMM
11-12-07 RMM

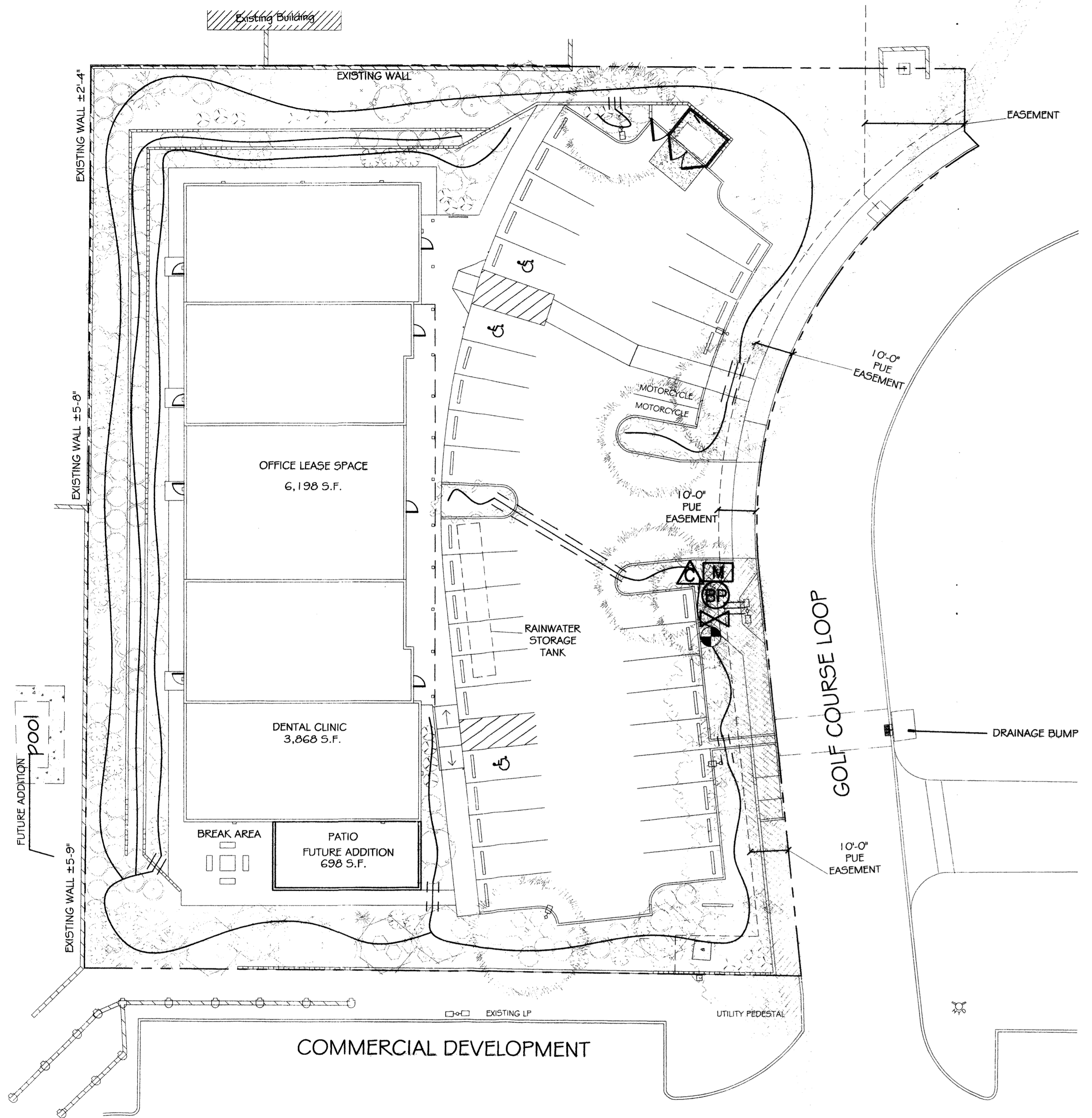
SHEET NO.

L-1



RESIDENTIAL DEVELOPMENT

COMMERCIAL DEVELOPMENT



IRRIGATION LEGEND

- BACKFLOW PREVENTOR
- CONTROLLER, LOCATION TO BE DETERMINED IN FIELD
- WATER METER
- MASTER VALVE
- PGA VALVE, LOCATION TBD IN FIELD
- LATERAL, SIZE PER PLAN
(UNSIZE PIPE TO BE 3/4")
- DRIP LINE, SIZE PER PLAN
(UNSIZE DRIP LINE TO BE 1/2")
- SLEEVE, 2X PIPE TO BE SLEEVED.

Briefly described, water from the roof is piped to the first section storage tank. This is where dirt and large objects are filtered out. Then water is piped into a larger tank section where it is then pumped to irrigation system. The pump will be an electric submersible pump, controlled by a system of floats and controls. In times of drought, the tank will have a monitors and controls to bypass the tank and irrigate from a 1" landscape line and meter. The pump will be accessed through a steel manhole cover for maintenance. There will be a second clean-out cover to remove sediment and objects.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

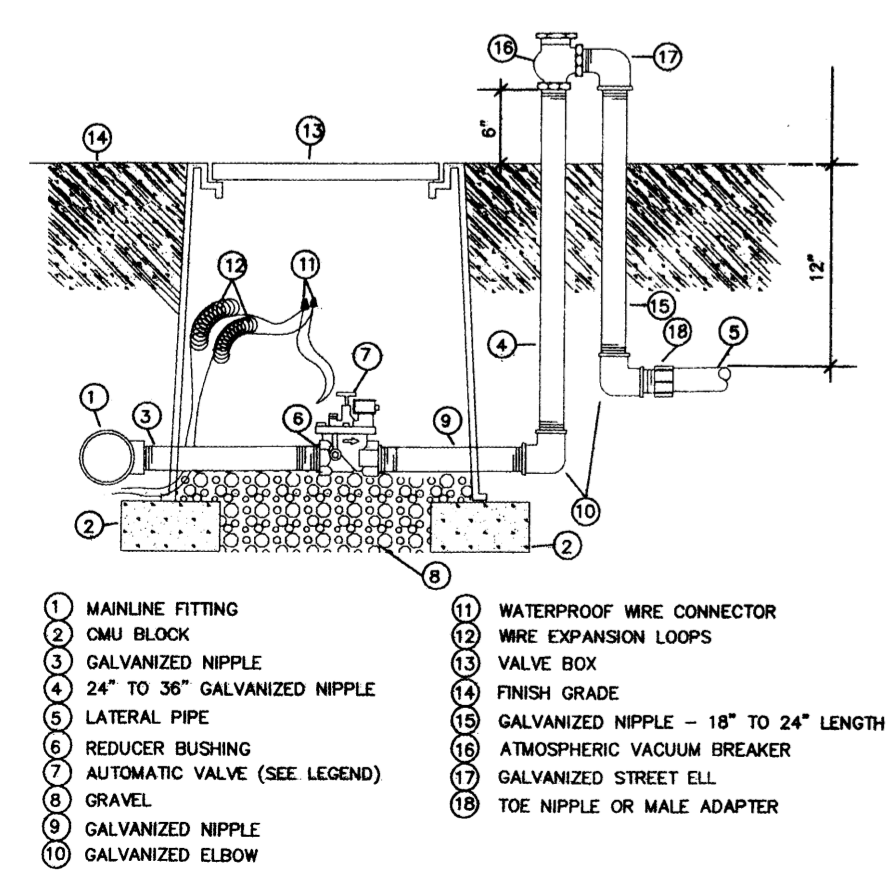
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

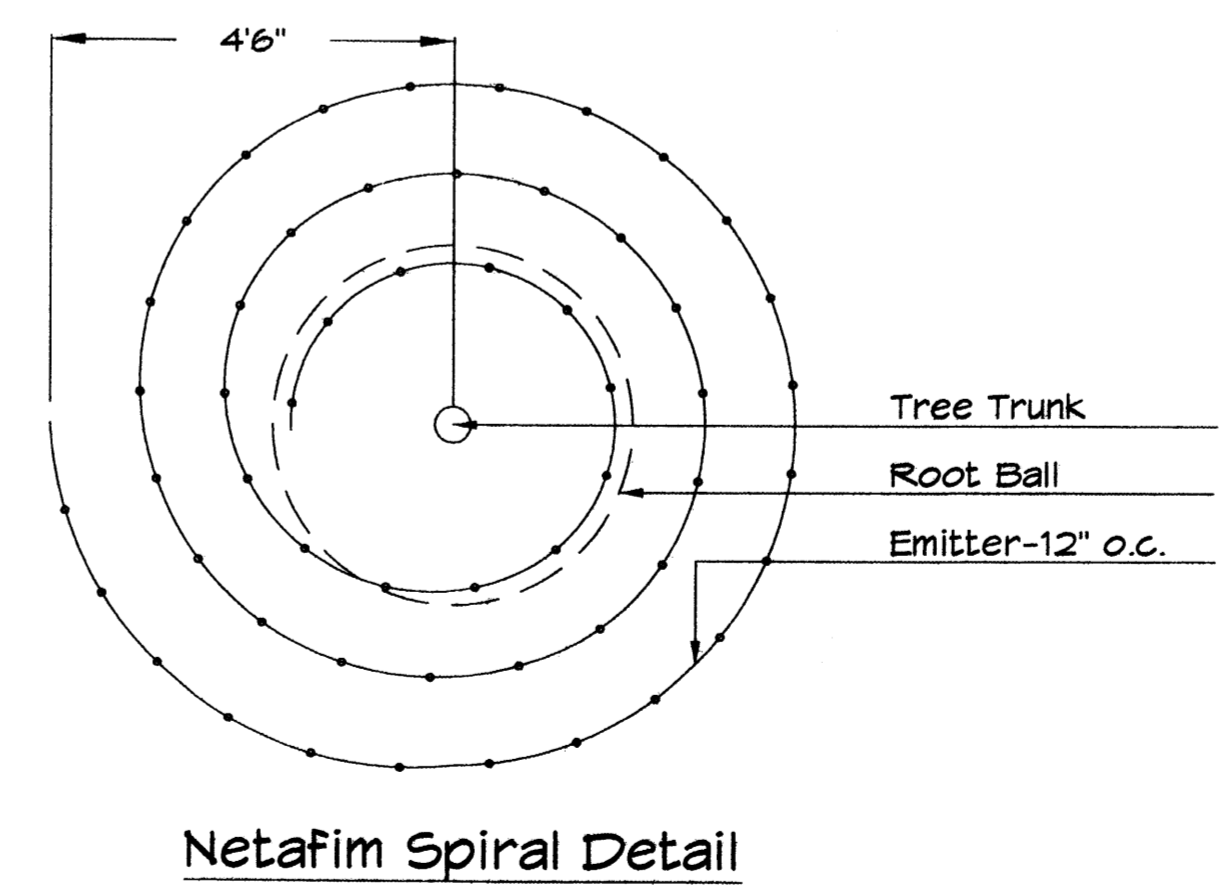
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

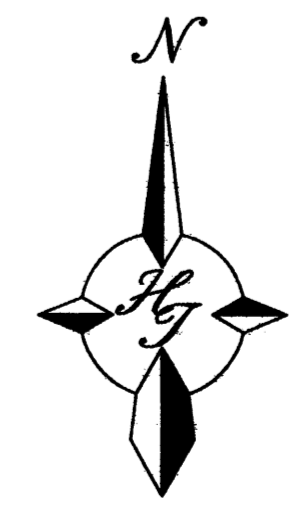


- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

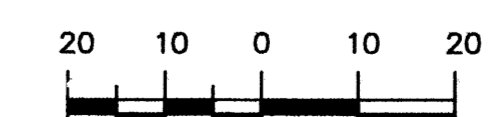
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



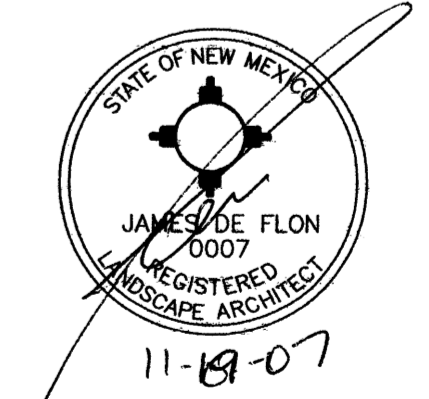
Netafim Spiral Detail



GRAPHIC SCALE



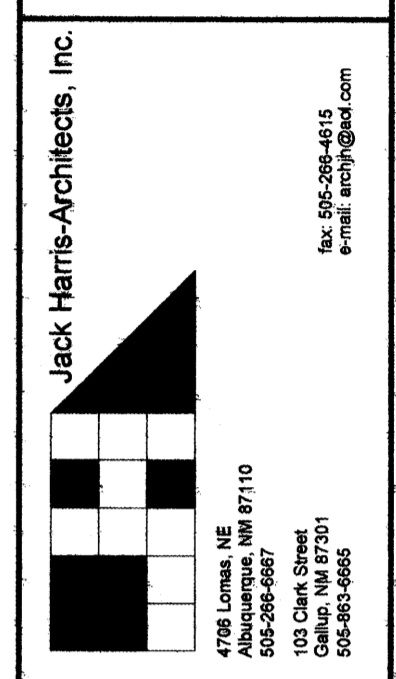
SCALE: 1" = 20'



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

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Jack Harris Architects, Inc.
4798 Lomas, N.E.
Albuquerque, NM 87110
1000 Central Avenue, N.E.
Albuquerque, NM 87105
Tel: 505-264-4915
Fax: 505-264-4915
e-mail: arh@jha.com

DR FERNANDEZ
NEW DENTAL OFFICE
GOLF COURSE RD. N.W.
ALBUQUERQUE, NEW MEXICO

DATE:
8-31-07 RMM
REVISED:
10-8-07 RMM
11-09-07 RMM
11-12-07 RMM

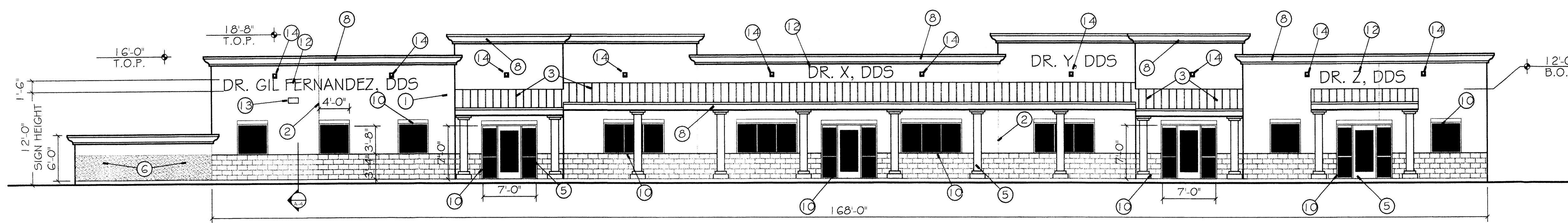
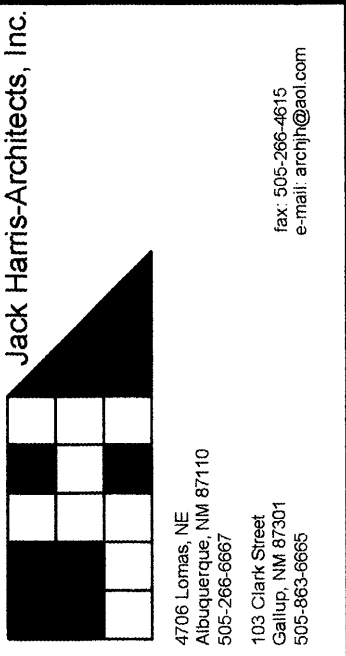
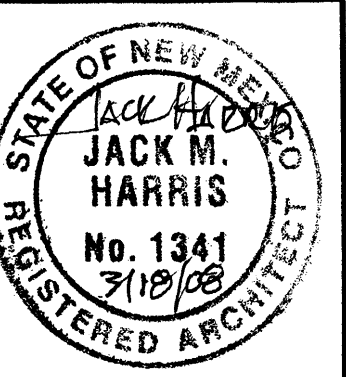
SHEET NO.

IRR-1

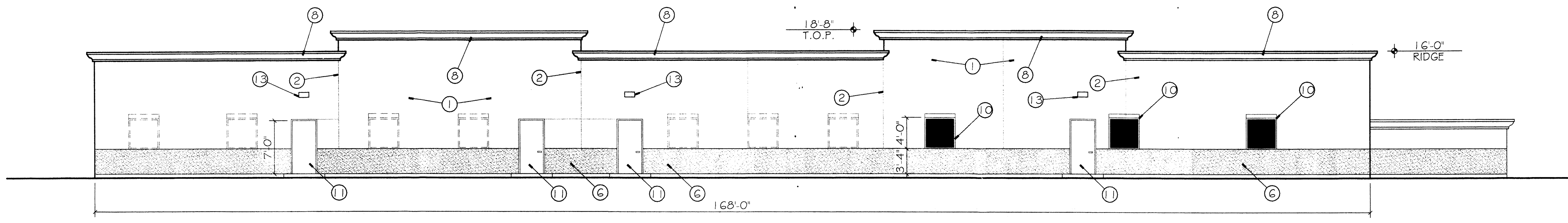
KEYNOTES

1. LIGHT TAN SYNTHETIC STUCCO SYSTEM (2 COAT SYS. EL REY "CASA" #827) ON SELF FURRING MTL. LATH ON (2) LAYERS BLD. PAPER ON 2"x6" WD STUDS @ 16" O.C. W/ r=19 BATT ISUL.
2. STUCCO EXPANSION JOINT WHERE SHOWN
3. STANDING SEAM METAL ROOF - SLATE BLUE
4. NOT USED
5. 8" STUCCO COLUMNS - LIGHT TAN (EL RAY "CASA" #827)
6. SYNTHETIC STUCCO - MEDIUM TAN TO MATCH CMU
7. NOT USED
8. FOAM PARAPET RELIEF STUCCO - MEDIUM TAN (EL REY- HUSK, #1567)
9. 5'-0" SCREEN AROUND ALL MECHANICAL EQUIPMENT. COLOR TO BE LIGHT TAN
10. ALUM. STOREFRONT SYSTEM - "SAND" COLOR- LOW "E" GLAZING W/ LIGHT GREY TINT HEADER ON TOP - MED TAN
11. INSULATED METAL DOOR - PANTED TO MATCH STUCCO
12. CHANNEL LETTERING - INTERNALLY ILLUMINATED
13. BLD. MOUNTED LIGHTS
14. OVERFLOW SCUPPERS

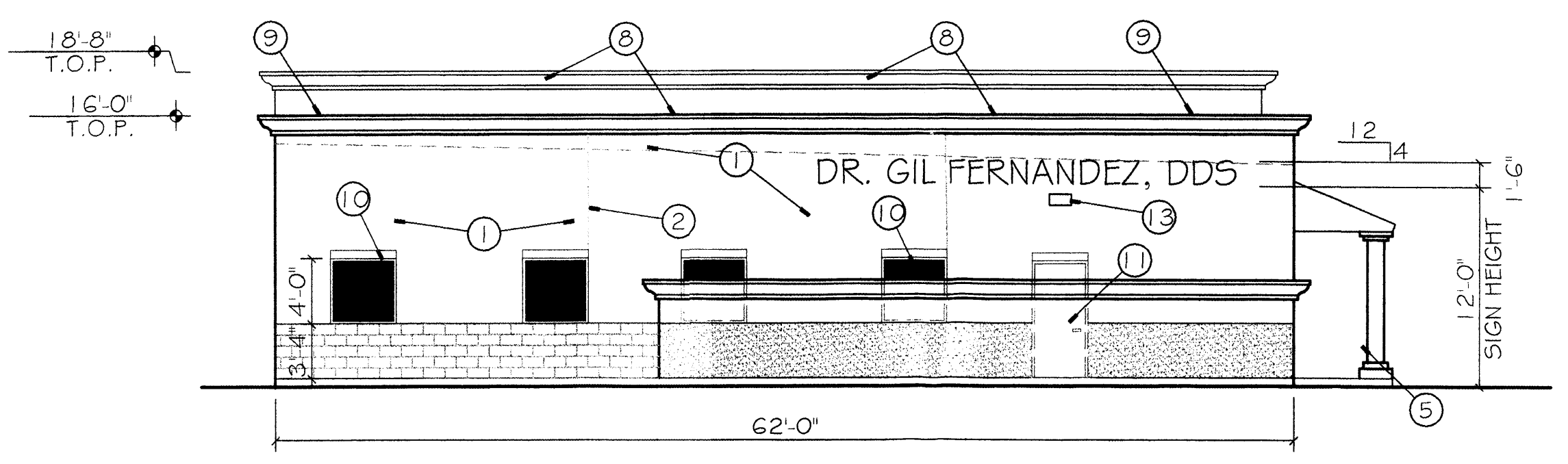
NOTE:
ROOF TOP AND OTHER EQUIPMENT WILL BE TOTALLY SCREENED FROM VIEW FROM ADJACENT RESIDENTIAL AREA.
ROOF SURFACE SHALL BE TAN GRAVEL OR NATURAL LOCAL COLOR PER APPROVED DESIGN STANDARDS.



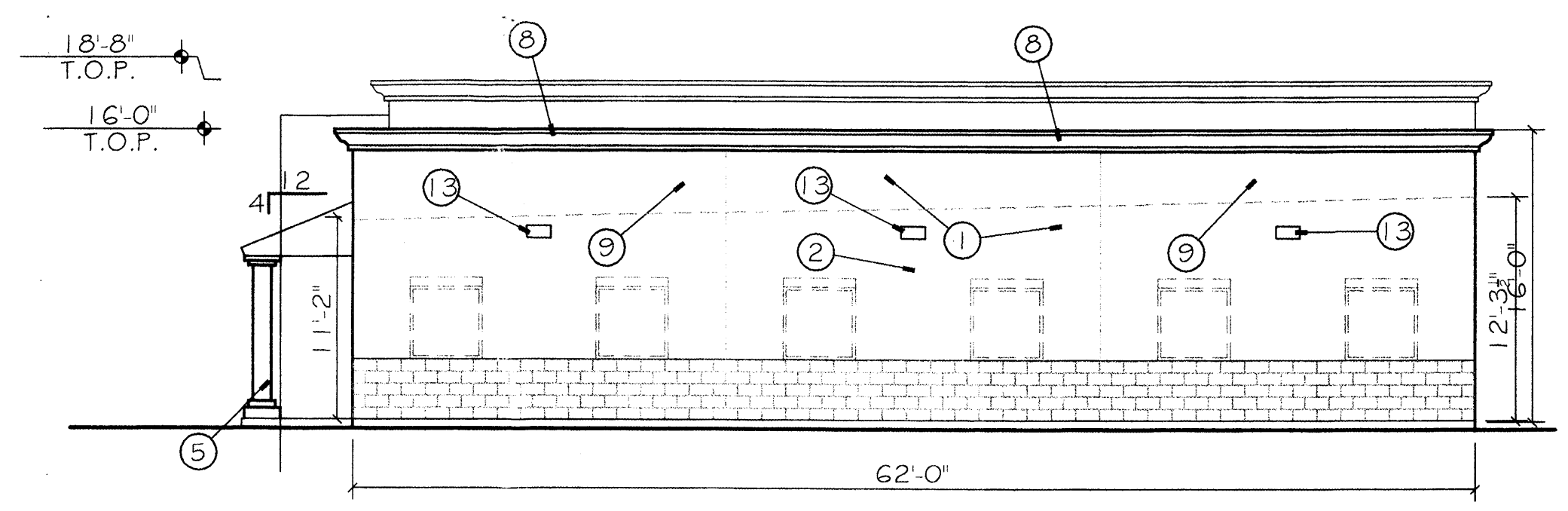
EAST ELEVATION
SCALE: 1/8" = 1'-0"



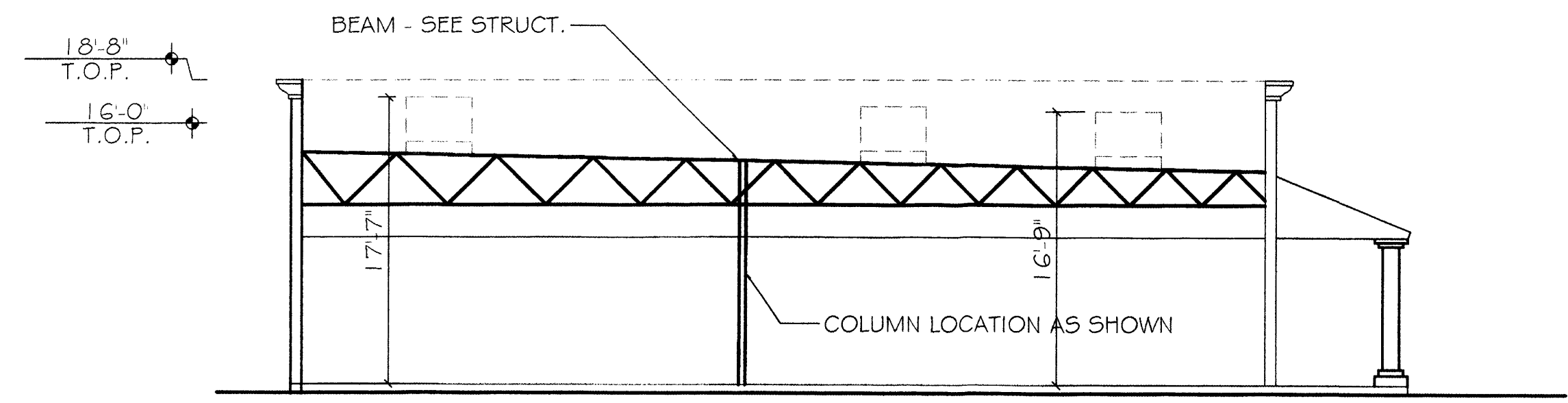
WEST ELEVATION
SCALE: 1/8" = 1'-0"



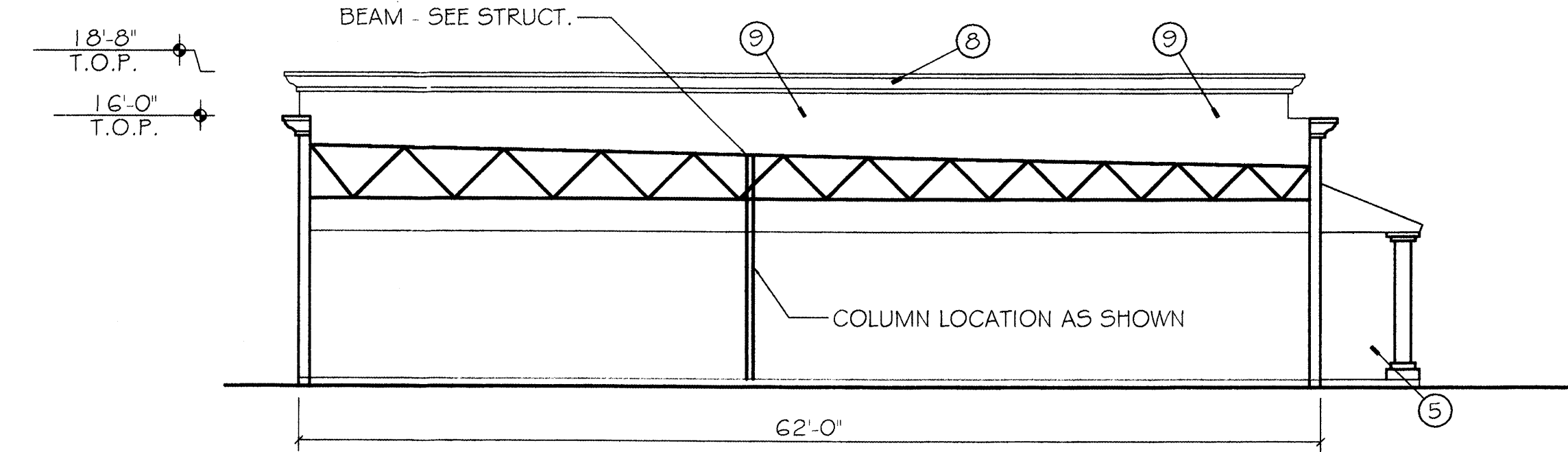
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A HIGH PARAPET BUILDING SECTION
SCALE: 1/8" = 1'-0"



B NORTH BUILDING SECTION
SCALE: 1/8" = 1'-0"

DR GIL FERNANDEZ
NEW DENTAL OFFICE
ALBUQUERQUE, NM

EPC DWG

DATE:
8-6-07
REVISED:
2-25-08

SHEET NO.

A-2