



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 7, 2014

Project# 1006760

14DRB-70122 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)

GND, LLC. agent(s) for MICHAEL RAIOLA & MARTHA A. STAHNKE request(s) the above action(s) for all or a portion of Lot(s) 28A, Block(s) 27, **NORTH ALBUQUERQUE ACRES Tr A Unit B**, zoned SU-2 IP OR SU-2 NC, located on OAKLAND BETWEEN SAN PEDRO AND LOUISIANA containing approximately .89 acre(s). (C-18)

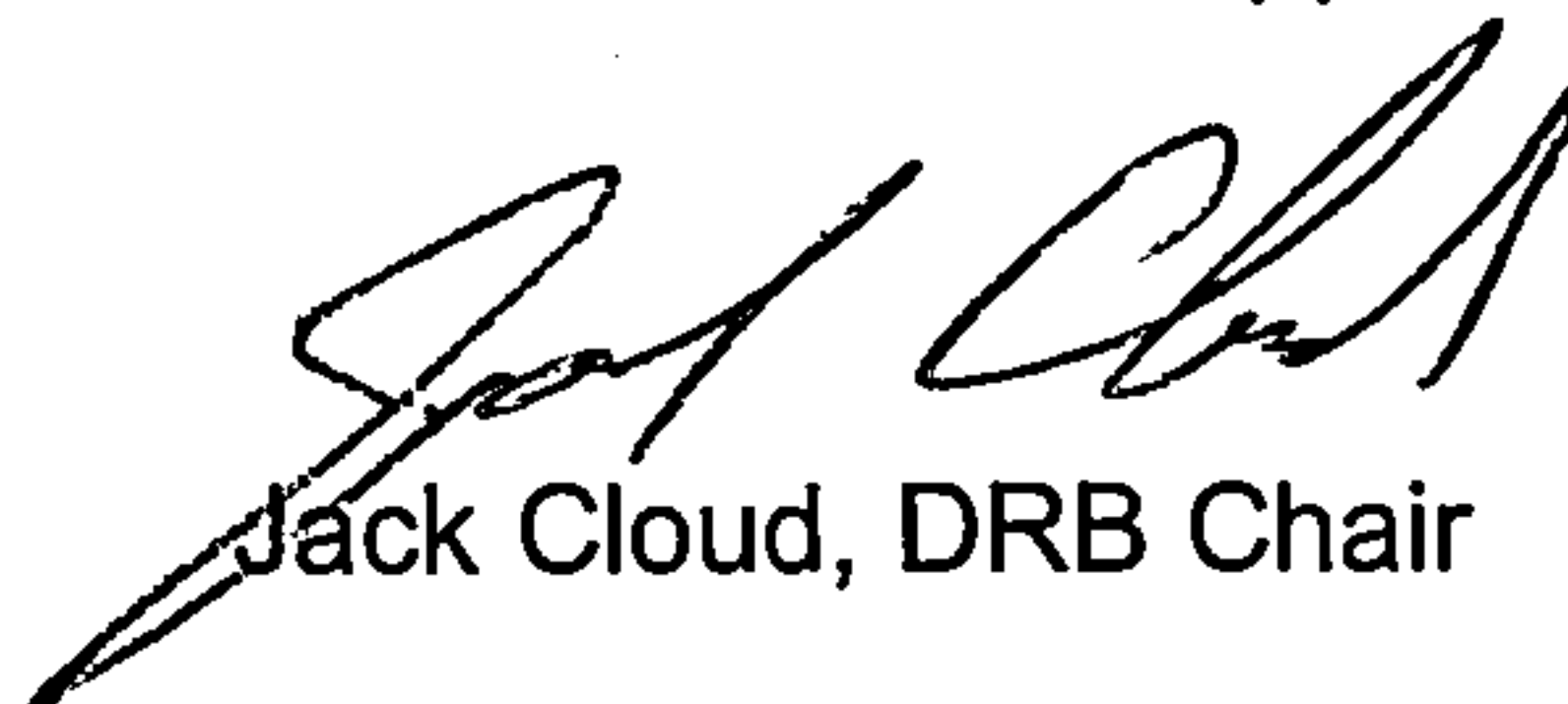
At the May 7, 2014 Development Review Board meeting, a one year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by May 22, 2014, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): SHELDON GREER GARDILL PHONE: 505-264-0472
 ADDRESS: 10224 GREEN RIVER PL FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87114 E-MAIL: sgreer@swcp.com
 APPLICANT: Michael Raiola & Martha A. Stahnke PHONE: 505-821-0909
 ADDRESS: 6301 OAKLAND AVE NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP _____ E-MAIL: _____
 Proprietary interest in site: OWNERS List all owners: MICHAEL RAIOLA & MARTHA STAHNKE

DESCRIPTION OF REQUEST: SIA Extension

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 28A Block: 27 Unit: B
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning: SU-2 IP or SU-2 NC Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): C-18-2 UPC Code: 101806434043711708

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1006760

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 0.89

LOCATION OF PROPERTY BY STREETS: On or Near: OAKLAND AVE. NE
 Between: ~~SAN PEDRO DR NE~~ and LOUISIANA BLVD NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE _____

(Print Name) SHELDON GREER Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Revised: 4/2012

Application case numbers	Action	S.F.	Fees
<u>14 DRB - 70122</u>	<u>ESIA</u>	_____	<u>\$ 50.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 70.00</u>

Hearing date May 7, 2014

4-29-14
Staff signature & Date

Project # 1006760

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
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Amended preliminary plat approval expires after one year.

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Handwritten: Minor

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
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Handwritten: N/A

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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHELDON GREER
Applicant name (print)
[Signature] 4/29/14
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
14 - DRB-70122

[Signature] 4-29-14
Planner signature / date
Project # 1006760



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SIGNATURE [Signature] DATE _____
 (Print Name) SHELDON GREER Applicant: Agent:

FOR OFFICIAL USE ONLY

INTERNAL ROUTING		Application case numbers		Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>14DRB</u>	<u>70122</u>	<u>ESIA</u>	—	<u>\$50.00</u>
<input checked="" type="checkbox"/>	All fees have been collected	—	—	<u>CMF</u>	—	<u>\$20.00</u>
<input checked="" type="checkbox"/>	All case #s are assigned	—	—	—	—	\$
<input checked="" type="checkbox"/>	AGIS copy has been sent	—	—	—	—	\$
<input checked="" type="checkbox"/>	Case history #s are listed	—	—	—	—	\$
<input type="checkbox"/>	Site is within 1000ft of a landfill	—	—	—	—	\$
<input type="checkbox"/>	F.H.D.P. density bonus	—	—	—	—	\$
<input type="checkbox"/>	F.H.D.P. fee rebate	—	—	—	—	\$
						Total
						<u>\$70.00</u>
Hearing date <u>May 7, 2014</u>						
<u>4-29-14</u>		Project # <u>1006760</u>				
Staff signature & Date						

Revised: 4/2012

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Handwritten: **MINOR**

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SHELDON GREER
Applicant name (print)
[Signature] 4/29/14
Applicant signature / date

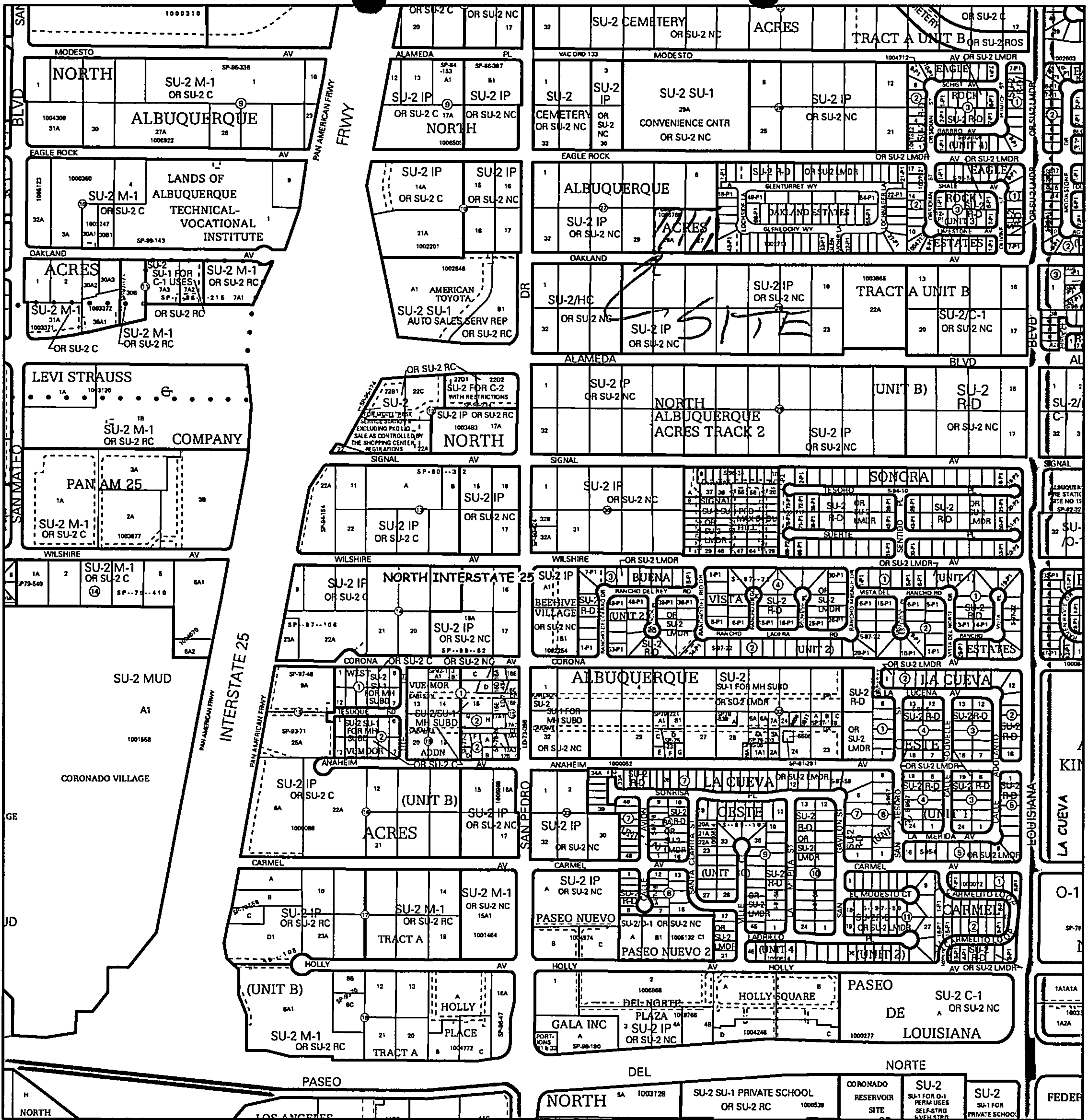


Form revised October 2007

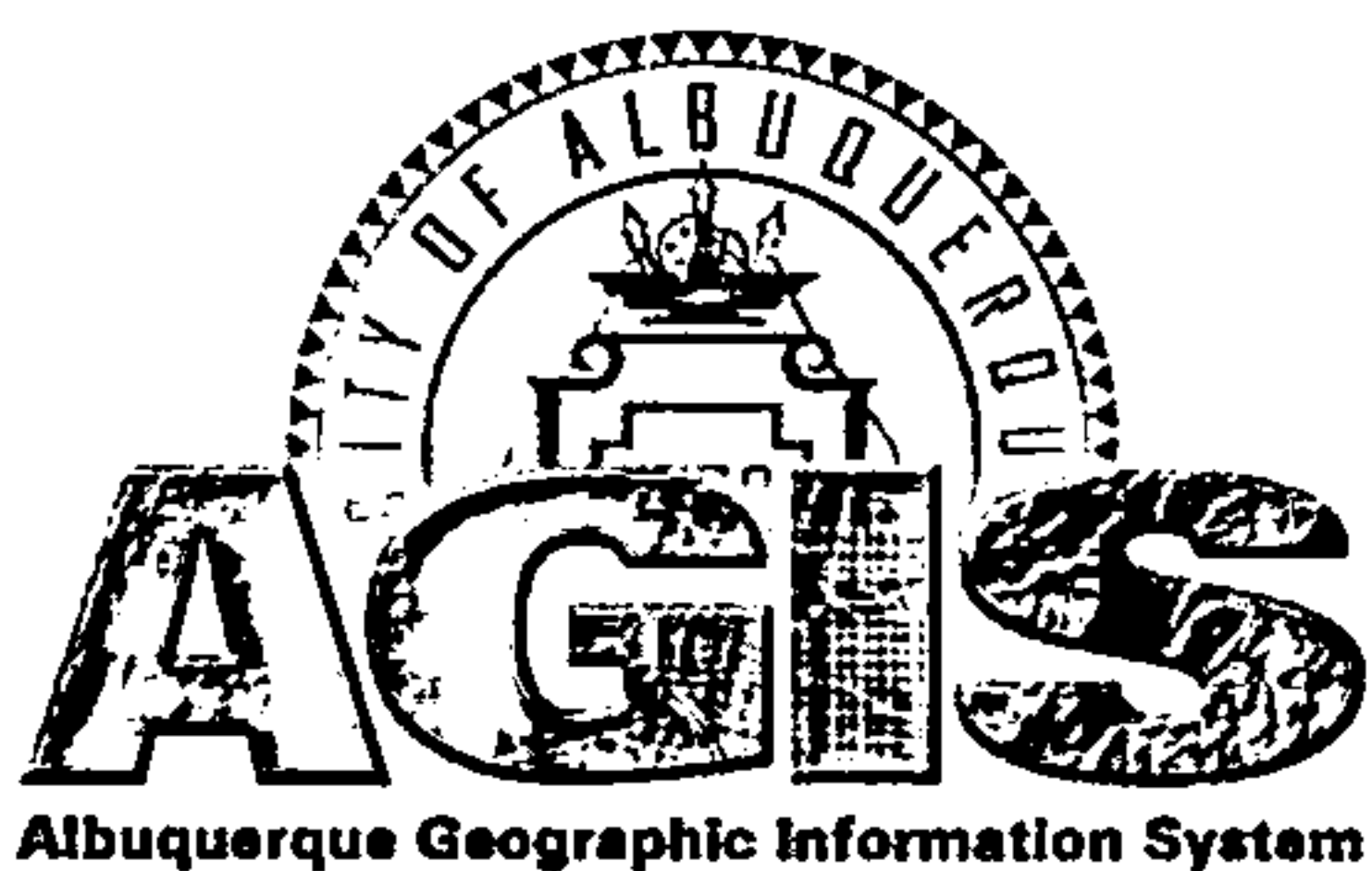
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- Fees collected
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- Related #s listed

Application case numbers
14 - DRB - 70122

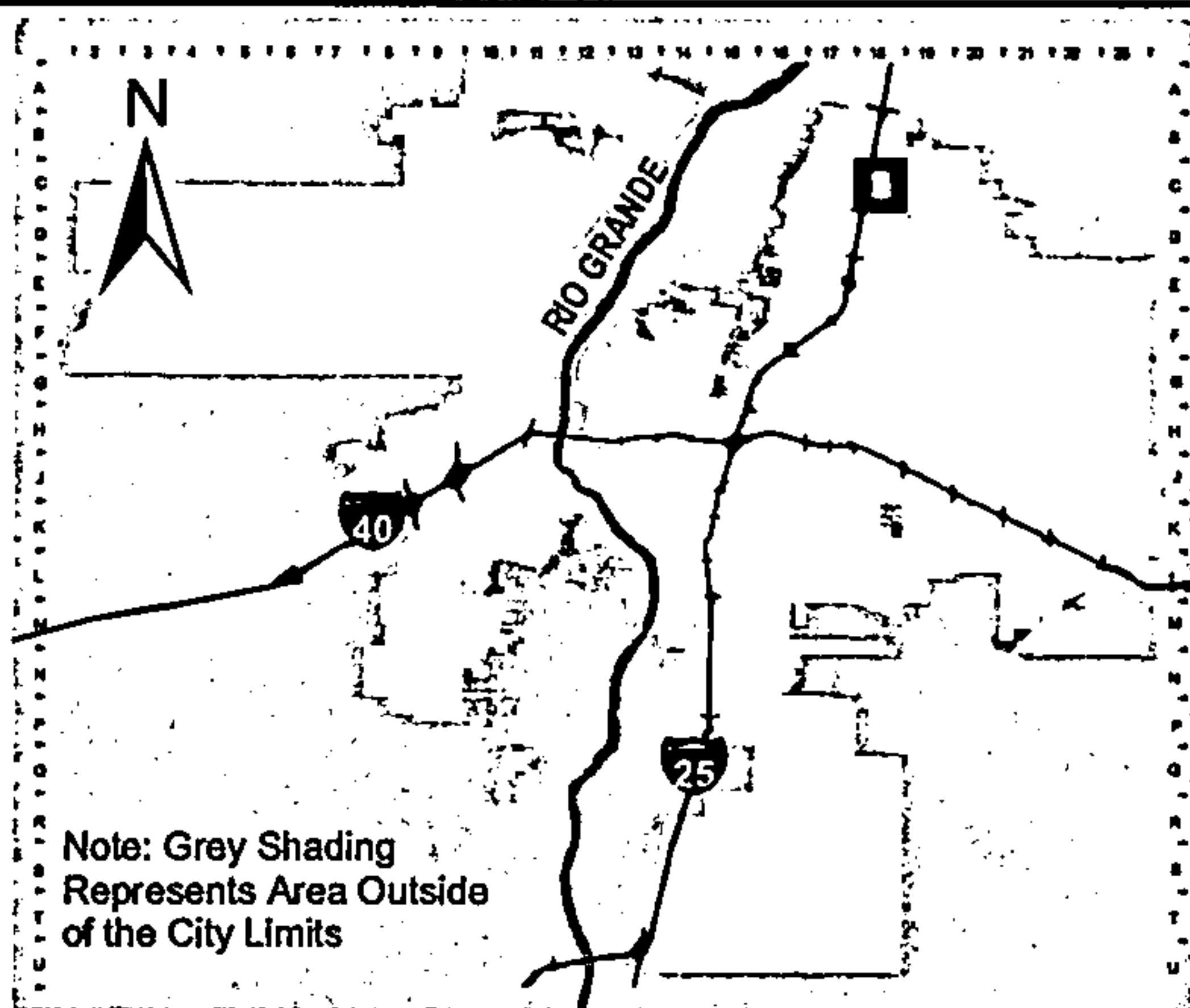
[Signature] 4-29-14
Planner signature / date
Project # 1006760



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 4/2/2012



Zone Atlas Page:

C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



GND, LLC

CONSULTING ENGINEERS

10224 Green River Place NW ◊ Albuquerque,
New Mexico 87114 Phone: 505-264-0472
Email: segreer@swcp.com

April 29, 2014

Mr. Jack Cloud, Chairman
Development Review Board

City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Project #1006760 - CT Towing, SIA Extension

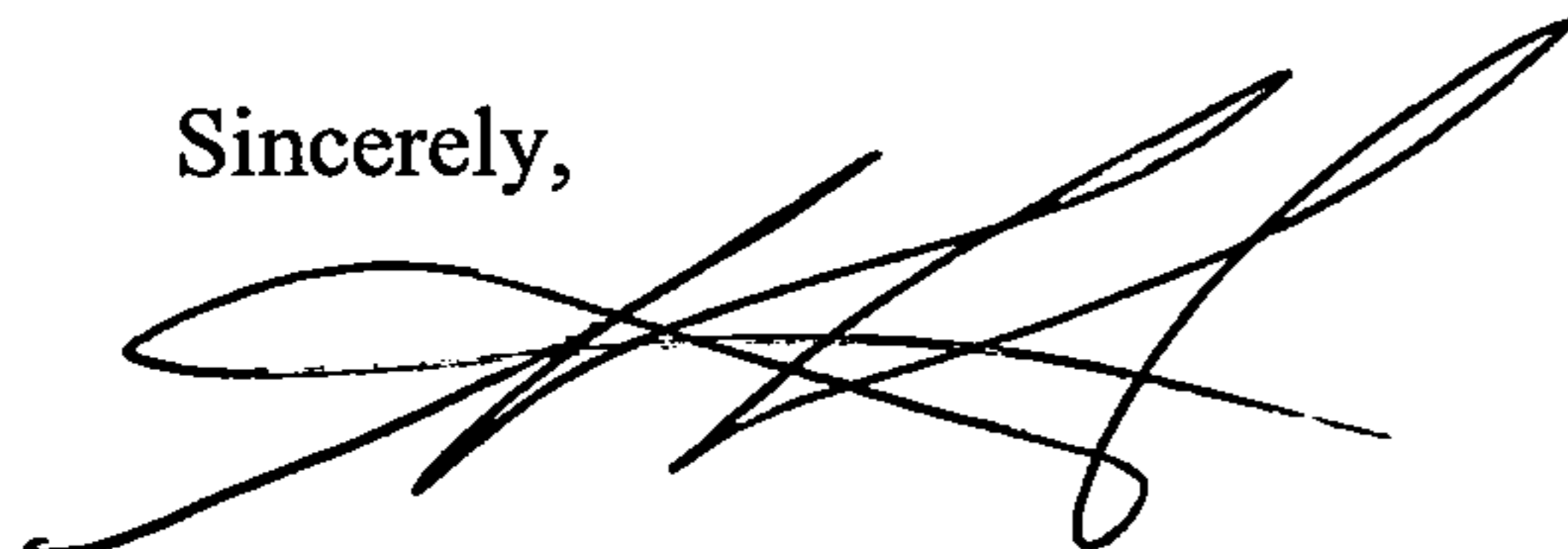
Dear Mr. Cloud,

I, Sheldon Greer, agent for Mr. Michael Raiola and Ms. Martha A. Stahnke, owners of CT Towing respectfully request the approval of an extension of the Subdivision Improvement Agreement for Lot 28, Block 27, Tract A, North Albuquerque Acres Bernalillo County, New Mexico.

The original SIA and subsequent extensions have provided the applicant sufficient time to procure the needed funds for construction of the infrastructure per the approved infrastructure list.

Upon submittal of construction drawings for approval we discovered that the project lies within an area currently under a moratorium for construction due to other construction activity in the area. It is my understanding that the soonest construction of the required improvements can begin is some time this summer of 2014. We will continue to coordinate with permitting to facilitate the earliest possible construction of said improvements and presuming all goes as planned an additional extension should not be required.

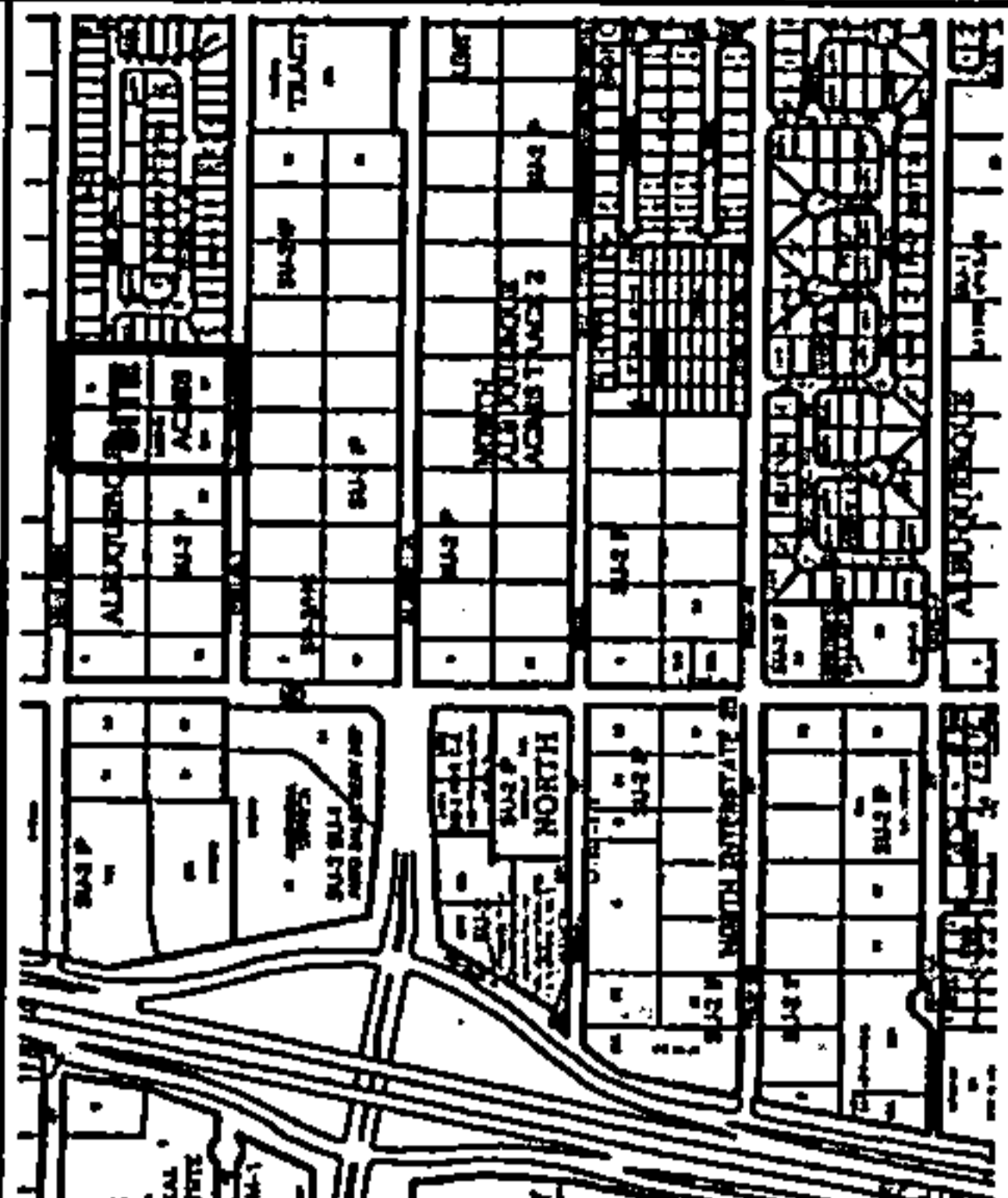
Sincerely,



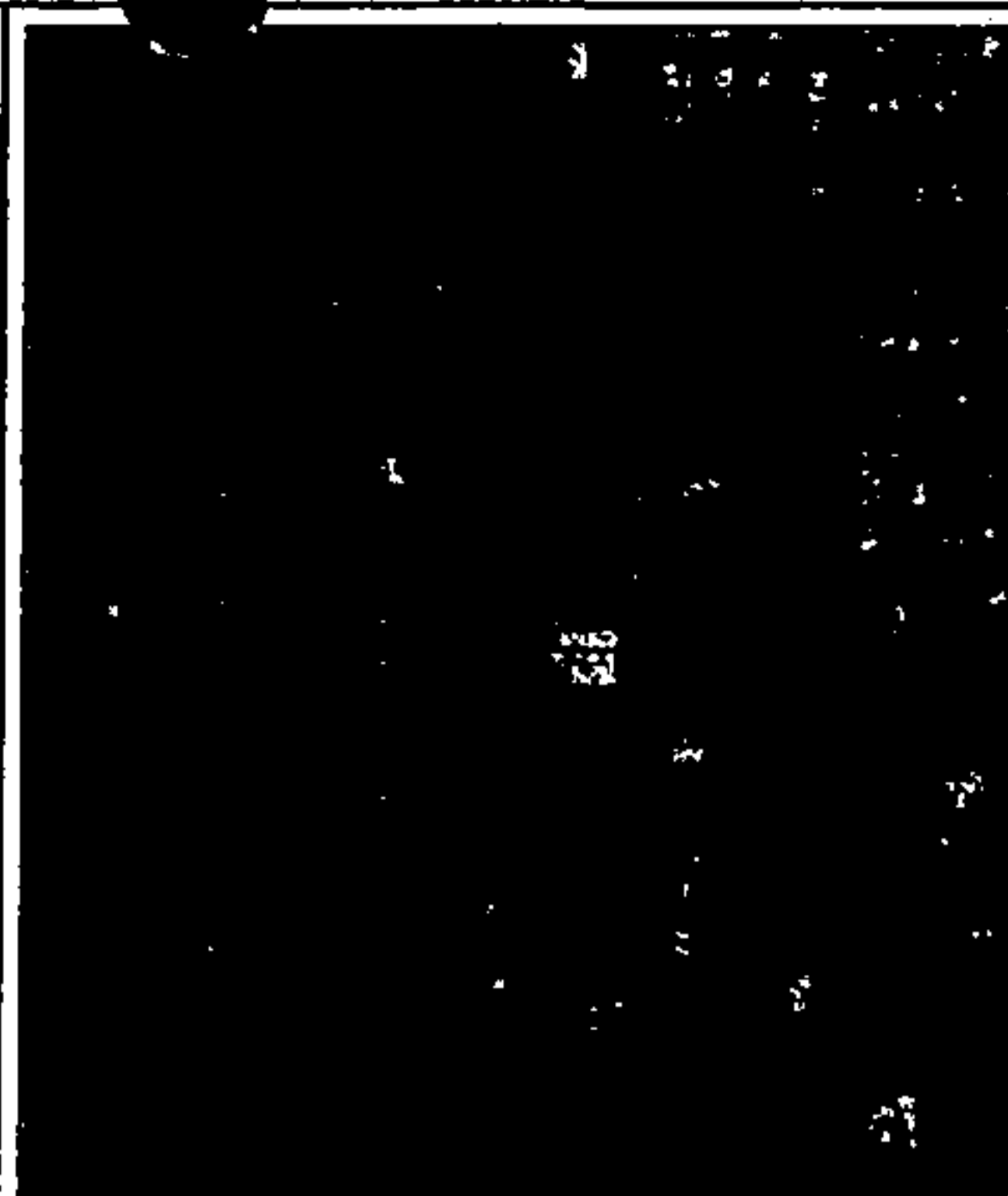
Sheldon Greer P.E.
Agent for CT Towing

GND Project No. 7022

VICINITY MAP NO. C-18



FEMA FIRM PANEL NO. 137



LEGAL DESCRIPTION

LOTS 4, 5, 27 & 28A, BLOCK 27, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

PERMANENT BENCHMARK

ACS 19-C18 ELEVATION 5222.080 (NAD 86)

GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 248-1989 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE AND LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND PUBLIC HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE ORDINANCES AND PROCEDURES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL EXPOSED FOR THE DURATION OF CONSTRUCTION IS LEFT UNPROTECTED. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF EROSION CONTROL MEASURES AT PROPOSED LINES AND WITHIN SOIL TO PREVENT IT FROM BLANKETING THE SITE IS CONTROLLED BY A SWEEP PLAN. EROSION CONTROL SHALL BE ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXPOSED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADES, SIGNS AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

TEMPORARY BENCHMARK
FINISH FLOOR
FINISH GRADE
FLOWLINE
TOP OF ASPHALT
TOP OF CONCRETE
TOP OF CURB
TOP OF EARTH PAD
TOP OF SIDEWALK
TOP OF WALL
FIRE HYDRANT
WATER METER
WATER VALVE
MANHOLE
CATCH BASIN GRATE
GAS WATER
GAS VALVE
LIGHT POLE
POWER POLE
CUY WIRE
ELEC. OR TEL. PEDESTAL
ROOF DRAINAGE POINT

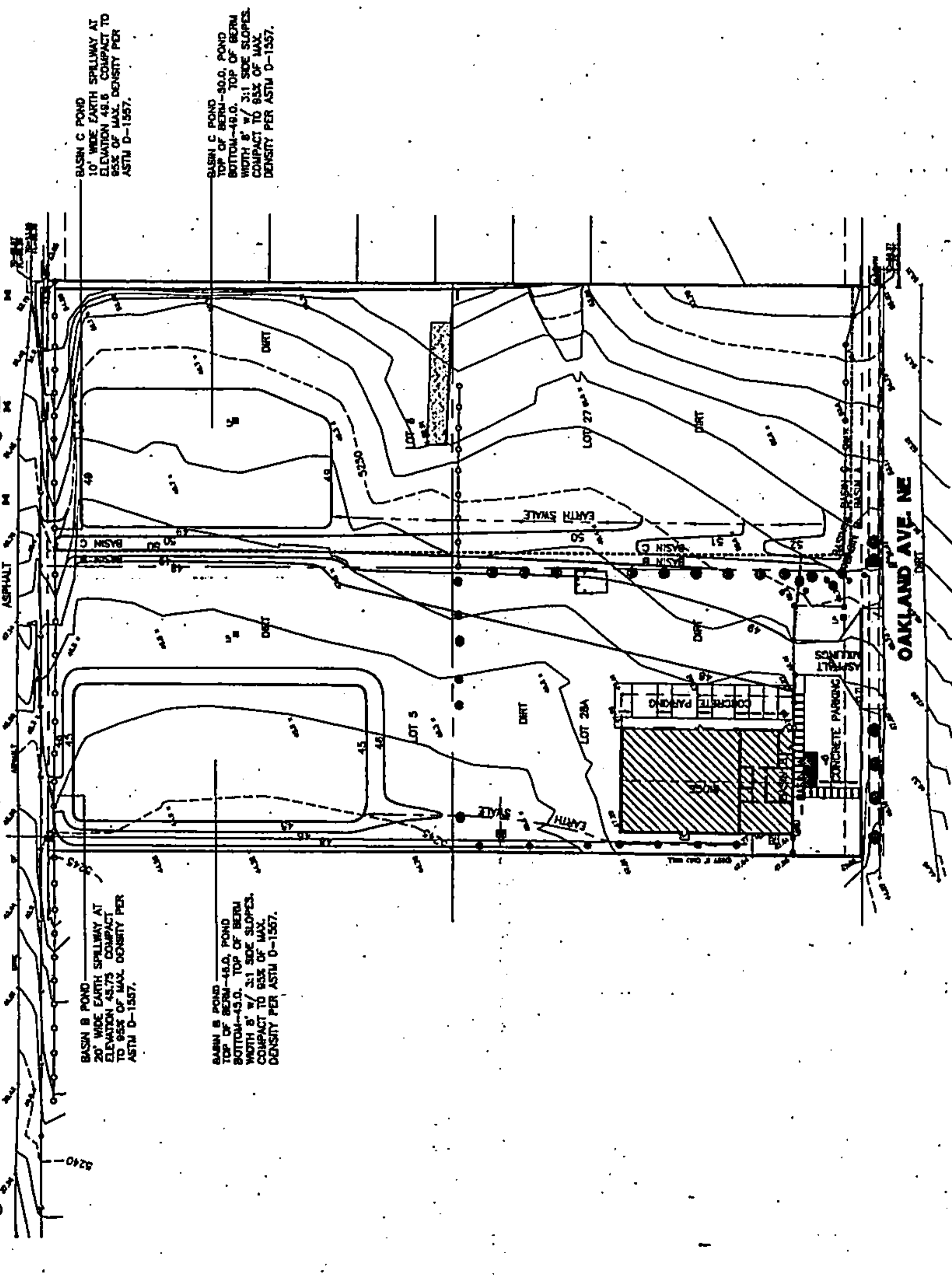
GENERAL NOTES

1. THIS SHEET SHOWS THE AS-BUILT CONDITIONS OF THE BUILDING, PAVING AND LAND GRADING AS OF JULY 14, 2010 AS WELL AS FUTURE PROPOSED CONSTRUCTION.
2. A MASTER DRAINAGE PLAN WAS PREPARED FOR THE AREA BY RESURANCE ENGINEERING, INC. IN ALBUQUERQUE, NM. THIS PLAN IS REFERRED TO AS THE "MASTER DRAINAGE PLAN". THE MASTER DRAINAGE PLAN WILL BE USED TO RETURN THE LOT TO ITS ORIGINAL GRADE. THE ALLOCATION PLAN WOULD BE THE PROPOSED STORM DRAIN ALLOCATION PLAN. THE ALLOCATION PLAN WOULD BE USED TO DETERMINE THE FUTURE DRAINAGE SYSTEM TO BE CONSTRUCTED TO RETURN THE LOT TO ITS ORIGINAL GRADE. THE ALLOCATION PLAN WOULD BE USED TO DETERMINE THE FUTURE DRAINAGE SYSTEM TO BE CONSTRUCTED TO RETURN THE LOT TO ITS ORIGINAL GRADE.
3. THE STREETSIDE PARKING LOT ON LOT 28A AND A SMALL STRIP ALONG THE STREET BALANCE OF LOTS 27A AND 28 AND ALL OF LOTS 4 AND 5 WILL BE EXCAVATED TO TEMPORARY RETENTION PONDS. THE RETENTION PONDS WILL BE CONSTRUCTED TO RETURN THE LOT TO ITS ORIGINAL GRADE. THE RETENTION PONDS WILL BE USED TO RETURN THE LOT TO ITS ORIGINAL GRADE.
4. THERE IS A FLOW INCREASE OF 0.40 AND 0.45 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY DUE TO DEVELOPMENT. THE 6 HOUR RAINFALL VOLUME OF THE 100 YEAR STORM INCREASE BY 629 AND 1117 CUBIC FEET, RESPECTIVELY. THE 6 HOUR RAINFALL VOLUME INCREASE BY 385 CFS, AND THE PROVIDED POND HAS A MAXIMUM CAPACITY OF 3849 CFS.
5. THE SITE IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA (ZONE AO) PER FEMA FIRM PANEL NO. 137. DATED 06/18/10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE IMMEDIATELY EAST OF THE PROPOSED DEVELOPMENT.
6. TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED BY ALDRICH SURVEYING, INC. DATED JULY, 2010.



BORDENAVE DESIGNS
P.O. BOX 81184, ALBUQUERQUE, NM 87189
(505)823-1344 FAX (505)821-8108

EAGLE ROCK AVE. NE



Basin B Pond
30' WIDE EARTH SPILLWAY AT ELEVATION 43.75 COMPACT TO 85% OF MAX. DENSITY PER ASTM D-1557.

Basin C Pond
TOP OF BERM - 44.0, POND BOTTOM - 43.0. TOP OF BERM WIDTH 8' W/ 3:1 SIDE SLOPES. COMPACT TO 85% OF MAX. DENSITY PER ASTM D-1557.

Basin G Pond
10' WIDE EARTH SPILLWAY AT ELEVATION 49.5 COMPACT TO 85% OF MAX. DENSITY PER ASTM D-1557.

Basin G Pond
TOP OF BERM - 50.0, POND BOTTOM - 49.0. TOP OF BERM WIDTH 8' W/ 3:1 SIDE SLOPES. COMPACT TO 85% OF MAX. DENSITY PER ASTM D-1557.

OFFSITE DRAINAGE MAP

SCALE 1" = 200'

THERE IS NO OFFSITE DRAINAGE

DRAINAGE DATA

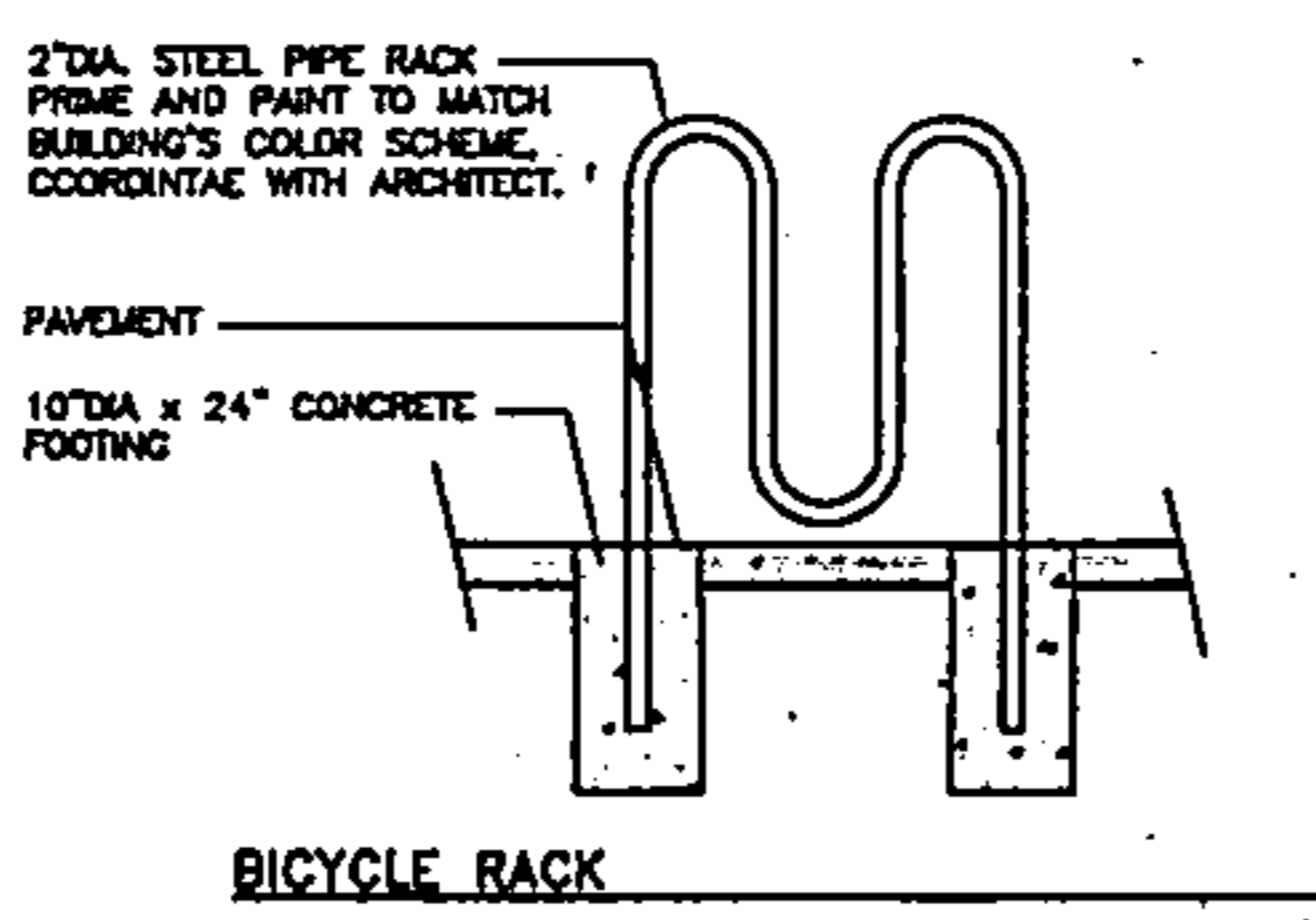
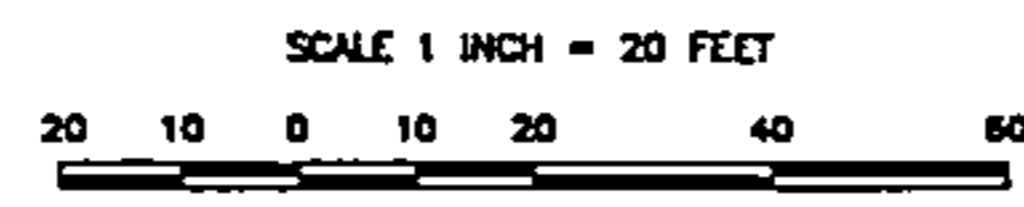
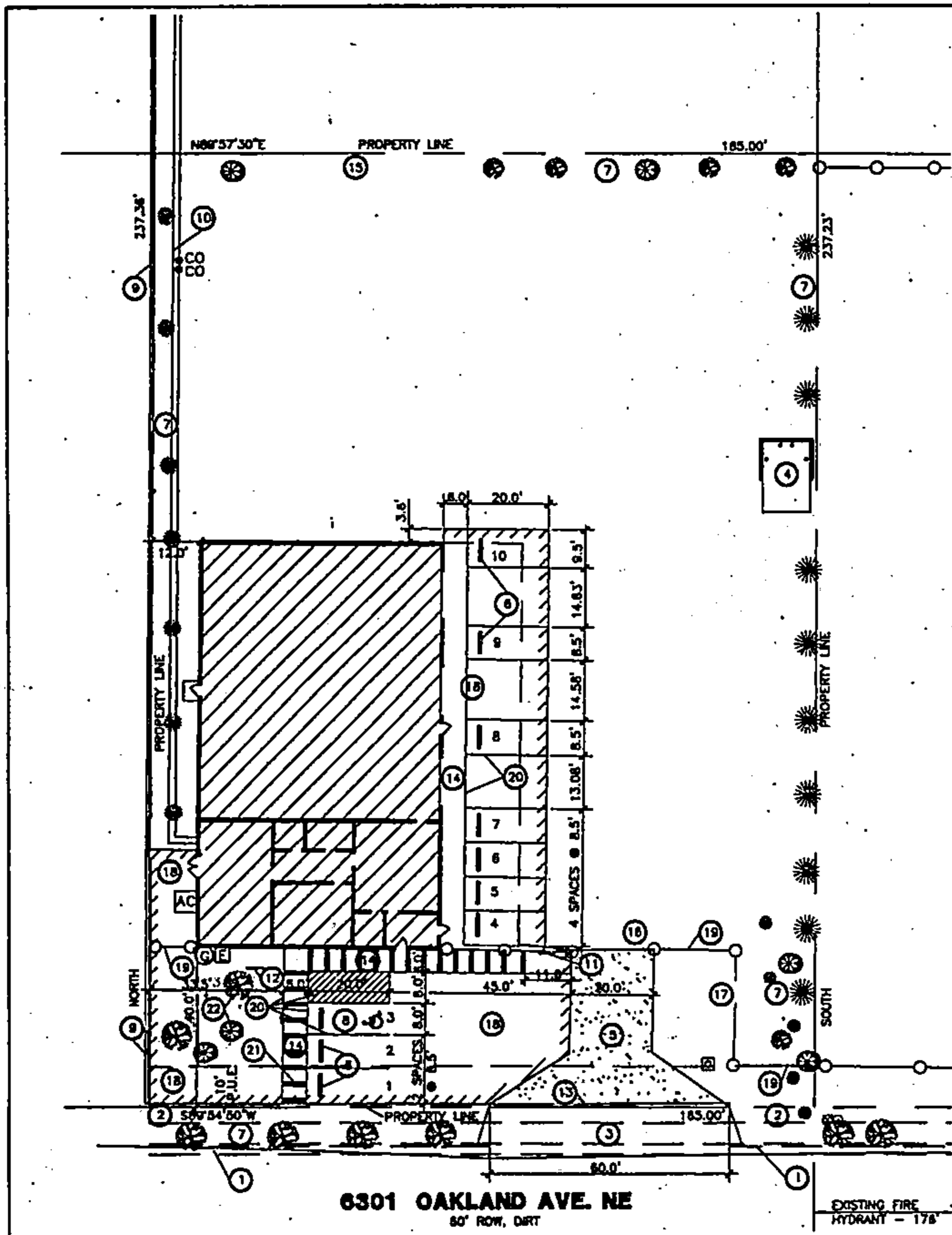
NO.	PERIOD	AREA	CATCHMENT				TOTAL	CATCHMENT	AREA	CATCHMENT	TOTAL	CATCHMENT	AREA	CATCHMENT	TOTAL
			A	B	C	D									
1	10	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	
2	10	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	
3	10	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	
4	10	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	10000	

RETENTION PONDS

Basin B Pond
REQUIRED POND VOLUME (FROM DRAINAGE CALCULATIONS)
10 DAY RUNOFF VOLUME
 $V = 10 \text{ day} = 8644 + (0.25)(4.90 - 2.80)/12 = 10718 \text{ CF}$
PROVIDED POND VOLUME (FROM DRAINAGE PLAN)
ELEVATION 43.0
VOLUME 11386 CF

Basin C Pond
REQUIRED POND VOLUME (FROM DRAINAGE CALCULATIONS)
10 DAY RUNOFF VOLUME
 $V = 10 \text{ day} = 7844 + (0.25)(4.90 - 2.80)/12 = 8101 \text{ CF}$
PROVIDED POND VOLUME (FROM DRAINAGE PLAN)
ELEVATION 49.0
VOLUME 8629 CF

Basin G Pond
REQUIRED POND VOLUME (FROM DRAINAGE CALCULATIONS)
10 DAY RUNOFF VOLUME
 $V = 10 \text{ day} = 7844 + (0.25)(4.90 - 2.80)/12 = 8101 \text{ CF}$
PROVIDED POND VOLUME (FROM DRAINAGE PLAN)
ELEVATION 49.5
VOLUME 8629 CF



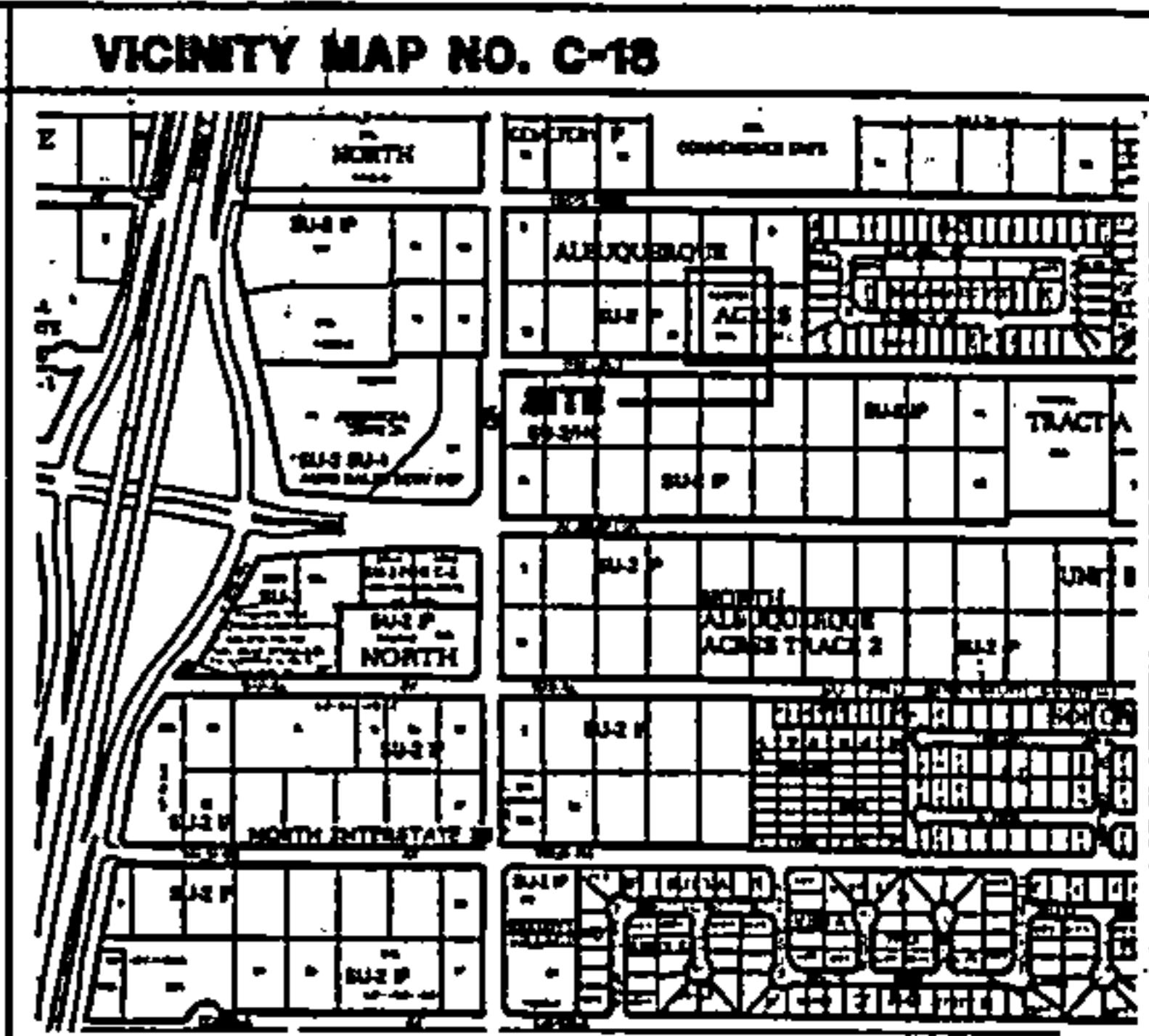
KEYED NOTES

1. FUTURE CONCRETE STD. CURB & GUTTER PER COA STD. DWG. 2415A.
2. FUTURE 4' WIDE CONCRETE SIDEWALK ACROSS FRONTAGE PER COA STD. DWG. 2430.
3. PRESENT ASPHALT MILLINGS ACCESS POINT. FUTURE 60' WIDE CONCRETE DRIVEPAD PER COA STD. DWG. 2423.
4. REFUSE ENCLOSURE. STUCCO EAST SIDE OF EAST WALL. NOTE: OWNER IS REQUIRED TO REMOVE DUMPSTER FROM FENCED ENCLOSURE AND PLACE IT AT STREET SIDE ON CITY COLLECTION DAYS DUE TO CONTROLLED ACCESS INTO FENCED ENCLOSURE.
5. ENTRY DRIVEWAY. SURFACE WITH ASPHALT MILLINGS.
6. CONCRETE PARKING BUMPERS. ANCHOR TO CONCRETE SLAB.
7. LANDSCAPING IN COMPLIANCE WITH CITY ZONING ORDINANCE 14.18.3.10.
8. VAN ACCESSIBLE HC PARKING AND SIGN.
9. EXISTING 8' CMU WALL FENCE ON WEST PROPERTY LINE.
10. SAS AND WATER SERVICE LINES TO EXISTING MAINS IN EAGLE ROCK AVE.
11. MOTORCYCLE PARKING.
12. BICYCLE RACK.
13. CUTOFF WALL PER COA STD. DWG. 2415B.
14. ALL CONCRETE WALKWAYS TO BE FLUSH WITH ADJACENT CONCRETE PAVEMENT.
15. 45' ROLLING GATE.
16. 20' ROLLING GATE.
17. WALK GATE.
18. CONCRETE PAVEMENT.
19. EXISTING 8' HIGH METAL FENCE AT FRONT OF LOT.
20. 4" WIDE PAINTED WHITE STRIPE.
21. 12" WIDE PAINTED WHITE STRIPE AT 4.0' ON CENTER.
22. 5"x4" OPENINGS AT TREES & 3"x3" OPENINGS AT SHRUBS.

DRB AMMENDMENT APPROVAL

DRB PROJECT NO. : 1006760

Christian Sandoval	9/1/10
PARKS AND RECREATION DEPARTMENT	DATE
Bredley J. Bingham	9/1/10
CITY ENGINEER	DATE
Allan Pate	09/01/10
UTILITY DEVELOPMENT	DATE
[Signature]	09-01-10
TRANSPORTATION DEVELOPMENT	DATE
Stephanie Busch	09/24/10
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
[Signature]	8/24/2010
SOLID WASTE MANAGEMENT	DATE
[Signature]	9-14-10
DRB CHAIRPERSON	DATE



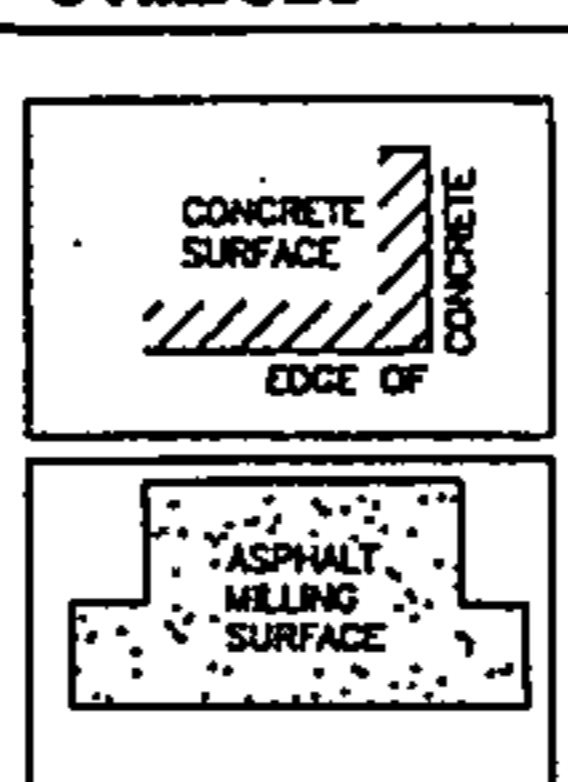
PLANT LEGEND

Symbol	Plant	Plant Spacing	Quantity
[Symbol]	Deciduous Shrub (Drought Tolerant)		
[Symbol]	Sprinklerless Lawn	4'0"	15' by 10'
[Symbol]	Sprinklered Lawn	4'0"	9' by 7'
[Symbol]	Ternstroemia Northern Sun	4'0"	7' by 9'
[Symbol]	Perennials (Drought Tolerant)		
[Symbol]	Linear Perennial Landscape Elm	6'0"	70' by 25'
[Symbol]	Cyperus Arvensis Clusters	6'0"	35' by 20'
[Symbol]	Flame Eddo Plant	6'0"	25' by 12'

6301 OAKLAND AVE NE
60' ROW, DART

EXISTING FIRE HYDRANT - 178

SYMBOLS



GENERAL INFORMATION

LEGAL DESCRIPTION: LOT 28A, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO

PROPOSED USE: VEHICLE IMPOUND LOT

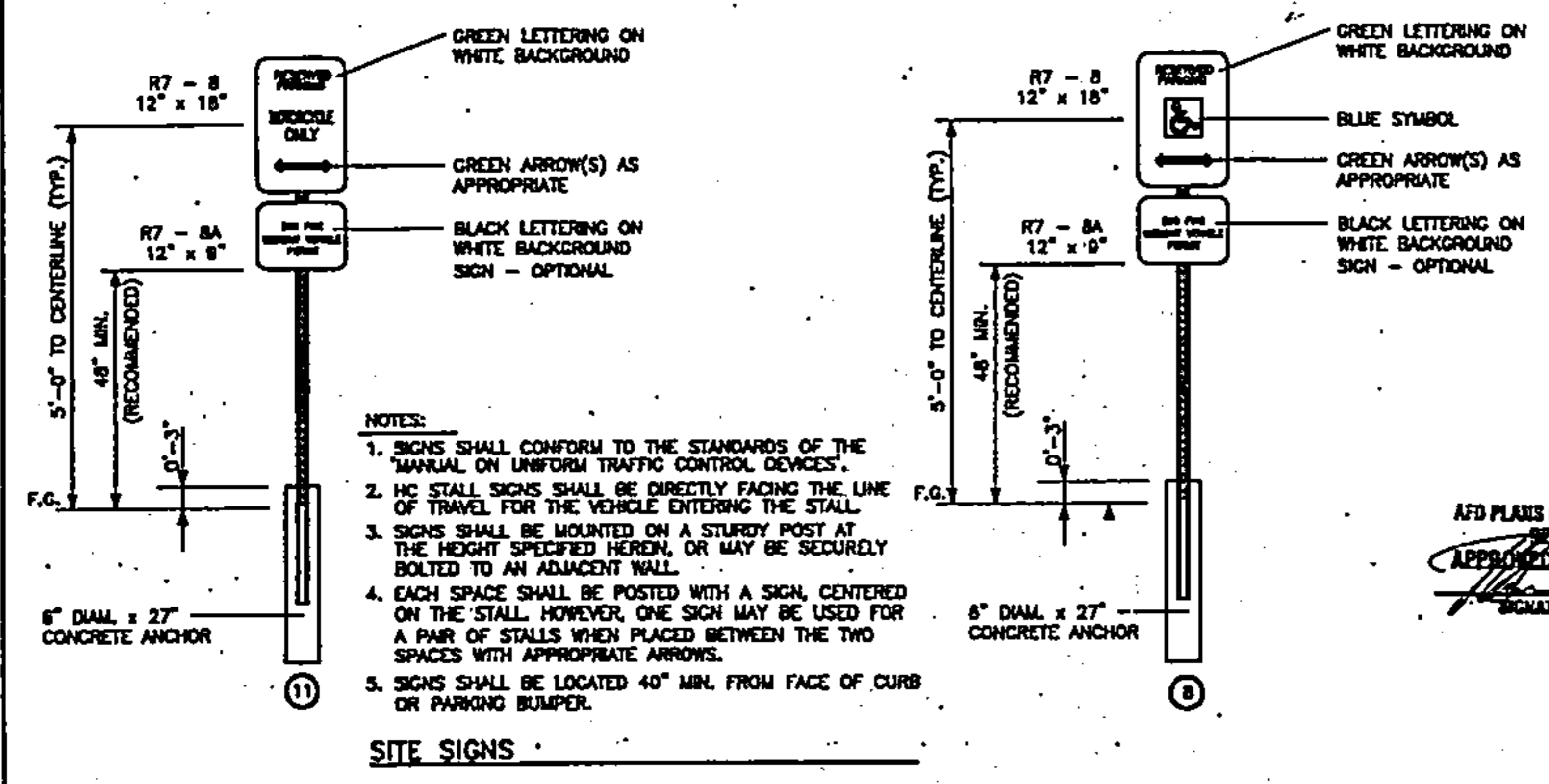
CURRENT ZONING: SU-2/P

STRUCTURE DATA: OFFICE AREA - 1891 S.F.
WAREHOUSE AREA - 4173 S.F.
TOTAL AREA - 6068 S.F.
SINGLE STORY - LESS THAN 26 FT. HIGH

PHASING: NO PHASING IS PROPOSED FOR THIS PROJECT.

PARKING CALCULATIONS

PARKING, REGULAR:	REQUIRED PER COA CODE-- OFFICE: 1,538 SF NET LEASABLE SF = 7.7 SPACES WAREHOUSE: 4,048 SF NET LEASABLE SF = 2.0 SPACES 9.7 REQUIRED
	PROVIDED: 10 TOTAL SPACES
PARKING, HANDICAP:	REQUIRED PER COA CODE: 1 SPACES (1 SPACE FOR 1-25 REGULAR SPACES) PROVIDED: 1 VAN ACCESSIBLE
PARKING, MOTORCYCLE:	REQUIRED PER COA CODE: 1 SPACE (1 SPACE PER 25 REGULAR SPACES) PROVIDED: 1 SPACES
BICYCLE RACKS:	REQUIRED PER COA CODE: 1 SPACE (1 SPACE PER 20 REGULAR SPACES) PROVIDED: 1 SPACE
ADA NOTE:	THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.



- NOTES:**
1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 2. HC STALL SIGNS SHALL BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL.
 3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
 4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
 5. SIGNS SHALL BE LOCATED 40" MIN. FROM FACE OF CURB OR PARKING BUMPER.

AFD PLANS CHECKING OFFICE
APPROVED/DISEAPPROVED
[Signature]
SIGNATURE & DATE
8/24/10

ADD 4 TREES & 9M CORNER OF LOT.		
no.	date	remarks
2	08/18/10	REVERSE PARKING CALCULATIONS AND ORIENTATION
REVISIONS		
project title CORONADO 6301 OAKLAND AVE NE ALBUQUERQUE, NM		
sheet title AMENDED SITE DEVELOPMENT PLAN		
sheet date	design by	project no.
08/18/10	JUB	0710

B BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

CT TOWING

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 28A, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	SANITARY SEWER w/ SERVICES	OAKLAND AVE.	WEST P/L LOT 28A	EAST P/L LOT 27	/	/	/
		8"	WATERLINE w/ SERVICES & F.H.'s	OAKLAND AVE.	WEST P/L LOT 28A	EAST P/L LOT 27	/	/	/
		24' F-E	COLLECTOR STREET PAVING w/ C&G & 4' SIDEWALK	OAKLAND AVE, N SIDE	WEST P/L LOT 28A	EAST P/L LOT 27	/	/	/
							/	/	/
							/	/	/
							/	/	/
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							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JEAN J. (JAKE) BORDENAIVE
NAME (print)

BORDENAIVE DESIGNS
FIRM

[Signature]
SIGNATURE - date

[Signature] 4-6-11
DRB CHAIR - date

[Signature] 04-06-11
TRANSPORTATION DEVELOPMENT - date

Allen Porter 04/06/11
UTILITY DEVELOPMENT - date

Centia A. Chene 4-6-11
CITY ENGINEER - date

[Signature] 4/6/11
PARKS & RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 3, 2013

Project# 1006760

13DRB-70472 MAJOR - 2YEAR SUBDIVISION IMPROVEMENTS AGREEMENT
EXTENSION (2YR SIA)

LYLE E. RANDALL agent for CT TOWING requests the referenced/ above action for Lot 28A, Block 27, **NORTH ALBUQUERQUE ACRES Tract A, Unit B**, zoned SU-2/ IP or NC, located on the north side of OAKLAND AVE NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately .8988 acre. (C-18)

At the April 3, 2013 Development Review Board meeting, a one year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by April 18, 2013, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: LYLE E. RANDALL
Marilyn Maldonado
file