

# Site Plan

Scale 1/16" = 1'

Engineer's Stamp

Final Drawing  
Checked By:

1. M. Rinaldi

2. M. Ortiz

3.

Sheet

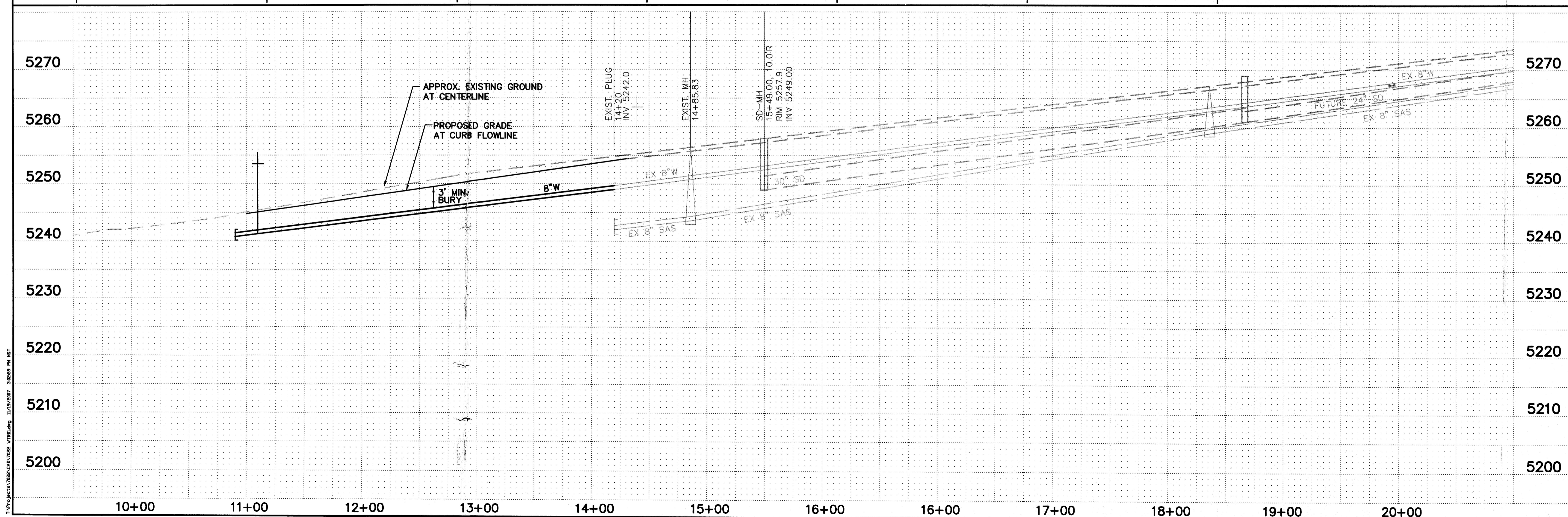
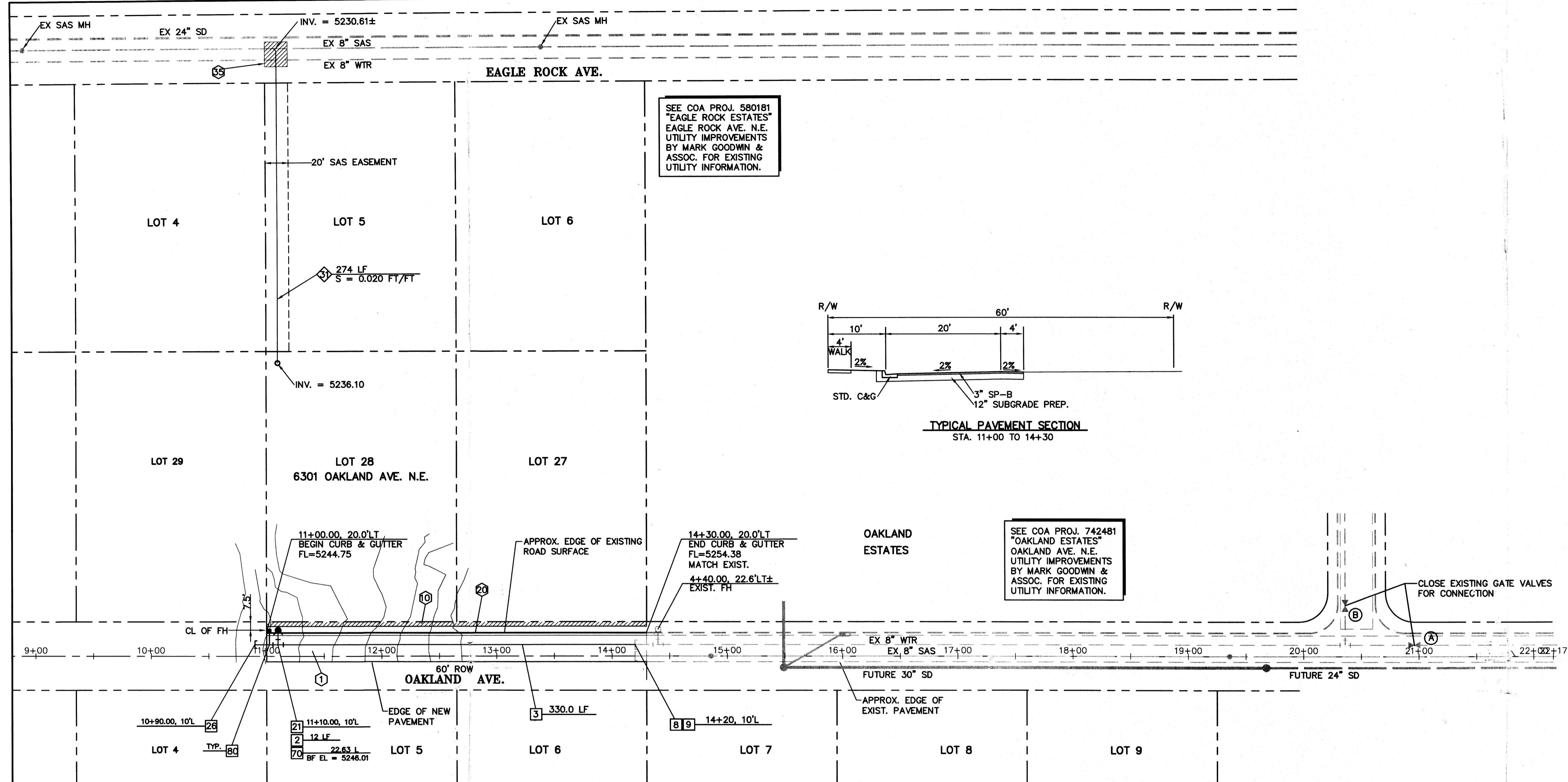
3

Of 11 Sheets

Coronado  
 Albuquerque New Mexico  
 Jan. 25, 2007  
 Site Plan

Ron Montoya Custom Designs  
 Residential Design and Drafting Services  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 823-6474 Cell: (505) 307-1003  
 Fax: 823-6487





WATER CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
2	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
3	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
8	REMOVE EXISTING FITTING
9	CONNECT NEW WATERLINE TO EXISTING WATERLINE PER COA STD. DTL. 2301
21	INSTALL 8" x 6" TEE
28	INSTALL 8" CAP
62	INSTALL 8" GATE VALVE AND VALVE BOX PER COA STD. DTL. 2326, 2328
70	INSTALL FIRE HYDRANT PER COA STD. DTL. 2340, 2347
80	INSTALL 3/4" SINGLE WATER SERVICE PER COA STD. DTL. 2361

SEWER CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
4	INSTALL 6" SEWER SERVICE PER COA STD. DTL. 2125

PAVING CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
6	BUILD ASPHALT PAVING, PER TYPICAL SECTION THIS SHEET
10	BUILD 4" PCC SIDEWALK, PER COA STD. DTL. 2430
20	BUILD PCC STD. CURB AND GUTTER, PER COA STD. DTL. 2415A
35	REMOVE AND REPLACE EXISTING PAVEMENT PER COA STD. DWG. 2465

BENCH MARKS	
NO.	FIELD NOTES
1	ACS BRASS CAP STAMPED "10-C18 1985" LOCATED 48' SOUTH OF THE ALAMEDA PL. CENTERLINE AND 22.5' EAST OF THE SNA PEDRO BLVD. CENTERLINE E.L. = 5219.41, N.G.V.029 X = 402,319.45, Y = 1,524,061.42

ENGINEER'S SEAL	
NO.	DATE

REVISIONS	
NO.	DATE

**GND, LLC**  
 CONSULTING ENGINEERS  
 5643 Paradise Blvd. NW  
 Albuquerque, NM 87114  
 Phone: (505) 899-6182  
 Fax: (505) 899-6184

CITY OF ALBUQUERQUE  
 MUNICIPAL DEVELOPMENT DEPARTMENT  
 ENGINEERING GROUP  
 CT TOWING  
 6301 OAKLAND AVE. N.E.  
 UTILITY, STORM & STREET PLAN & PROFILE

MONTH/DAY/YEAR	USER DEPARTMENT

CITY PROJECT No. 742462    ZONE MAP No. C-18    SHEET 2 OF 2



Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is this Infrastructure List required ( ) Yes ( ) No. If yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: \_\_\_\_\_ Date \_\_\_\_\_

ABC/WUA \_\_\_\_\_ Date \_\_\_\_\_

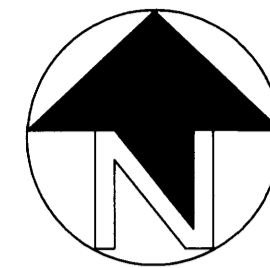
Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_

Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chair Person, Planning Department \_\_\_\_\_ Date \_\_\_\_\_



PARKING CALCULATIONS

BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

4,000 SF OFFICE RETAIL/200 = 20 SPACES

4,000 SF WAREHOUSE/2,000 = 3 SPACES

SPACES REQUIRED = 23

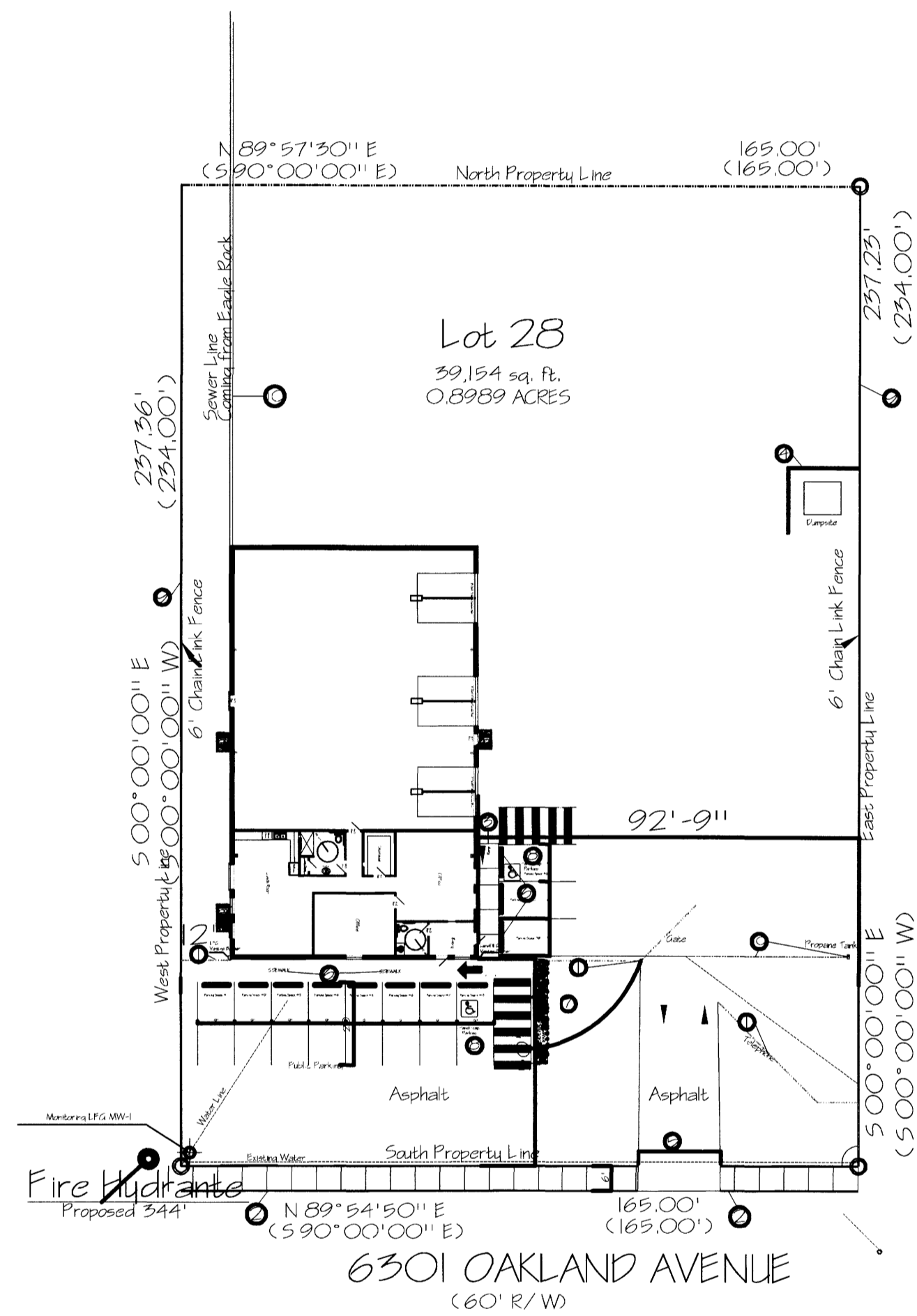
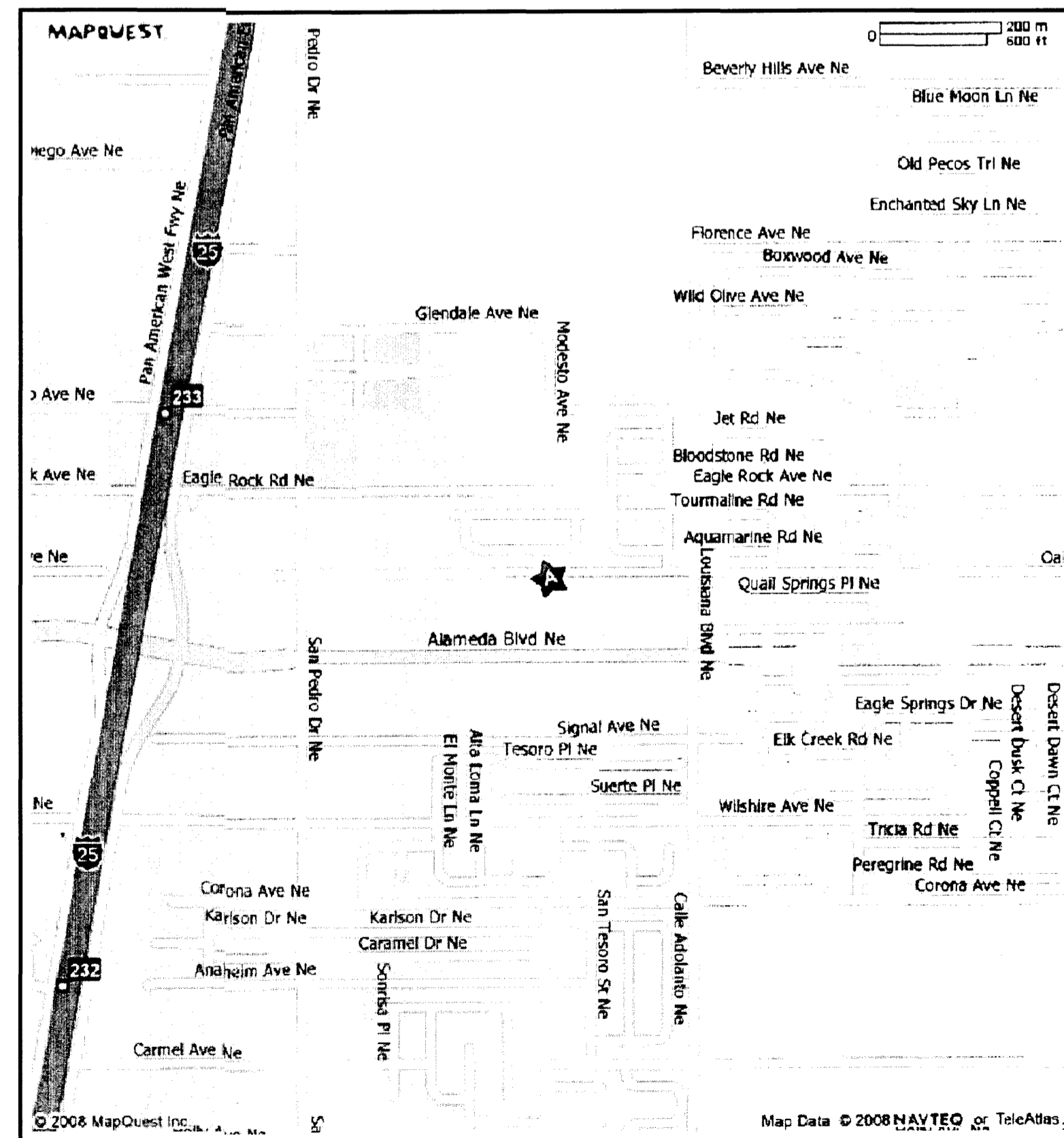
SPACES PROVIDED = 24

ACCESSIBLE SPACES REQUIRED = 1

ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1

MOTORCYCLE SPACES PROVIDED = 2



Keyed Notes

1. 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
2. CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED, ON SOUTH PROPERTY LINE
3. CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMP WILL COMPLY WITH ADA NUMBERS 4067
4. TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
5. DRIVEWAY ENTRY
6. 6" CURB TO PROTECT LANDSCAPE OR BUILDING
7. LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
8. ACCESSIBLE PARKING SIGNAGE PER CITY CODE
9. 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
10. 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE

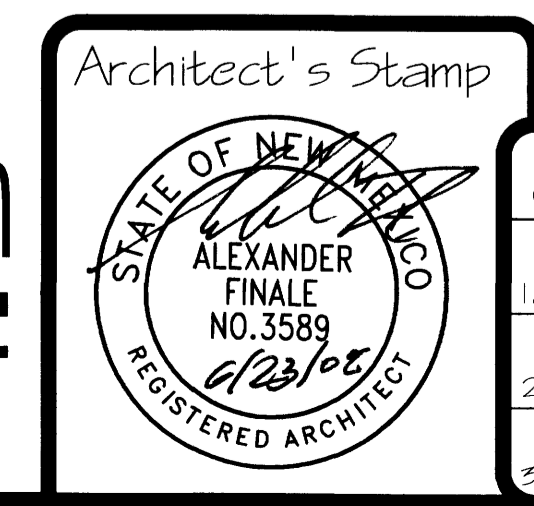
Ron Montoya Custom Designs  
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Jan. 25, 2007  
Site Development Plan

Coronado  
Albuquerque New Mexico

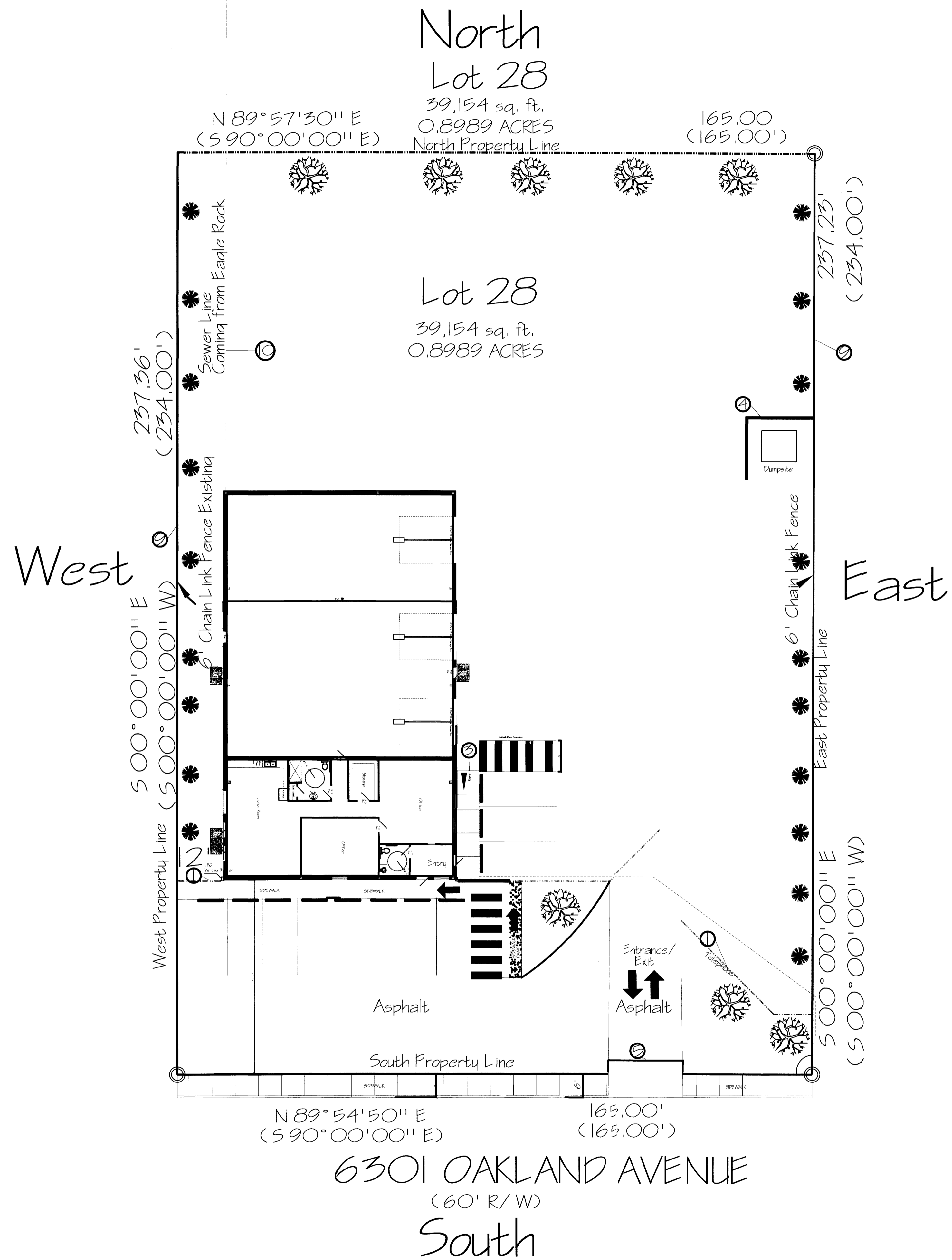
Site Development Plan

Scale 1" = 20'



Final Drawing Checked By:
1. M. Rinaldi
2. M. Ortiz
3.

Sheet  
3  
Of 11 Sheets



Plant Legend

Quantity	Symbol	Plant	Plants Size	Mature H & W	Purpose
		Deciduous Trees (Shrubs/Tolerant)			
0		Catalpa Speciosa	5.0'	50' by 60'	0
0		Gladiolus Truncatus	5.0'	40' by 25'	0
0		Fraxinus Pennsylvanica	5.0'	45' by 25'	0
0		Rosa Pratincola	5.0'	40' by 27'	0
		Deciduous Shrubs (Shrubs/Tolerant)			
0		Syringa Vulgaris	4.0'	15' by 10'	0
0		Syringa Chinensis	4.0'	9' by 7'	0
0		Platanus Northern Sun	4.0'	7' by 9'	0

Quantity	Symbol	Plant	Plants Size	Mature H & W	Purpose
		Evergreen Trees (Shrubs/Tolerant)			
0		Pinus Palustris	6.0'	70' by 25'	0
0		Cedrus Arizona Glabra	6.0'	35' by 20'	0
0		Pinus Edulis	6.0'	25' by 12'	0

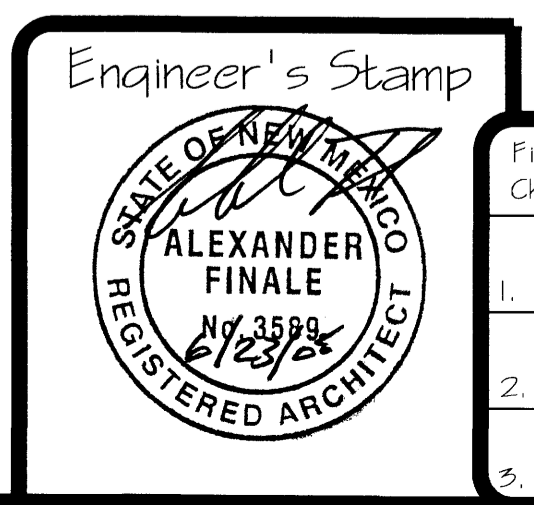
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Jan. 25, 2007  
Landscaping Plan

Coronado  
Albuquerque New Mexico

Landscaping Plan

Scale 1/16" = 1'



Final Drawing Checked By:	Sheet
1. M. Rinaldi	1
2. M. Ortiz	Of 11 Sheets



Project Number: 1006760  
 Application Number: OBRB-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/25/08 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes ( ) No ( ) if yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: Date

*[Signature]* 6/25/08  
 Date

*[Signature]* 6/25/08  
 Date

City Engineer: Date

Environmental Health Department (conditional): Date

Solid Waste Management: Date

*[Signature]* 6/25/08  
 Date

**PARKING CALCULATIONS**

**PARKING CALCULATIONS**

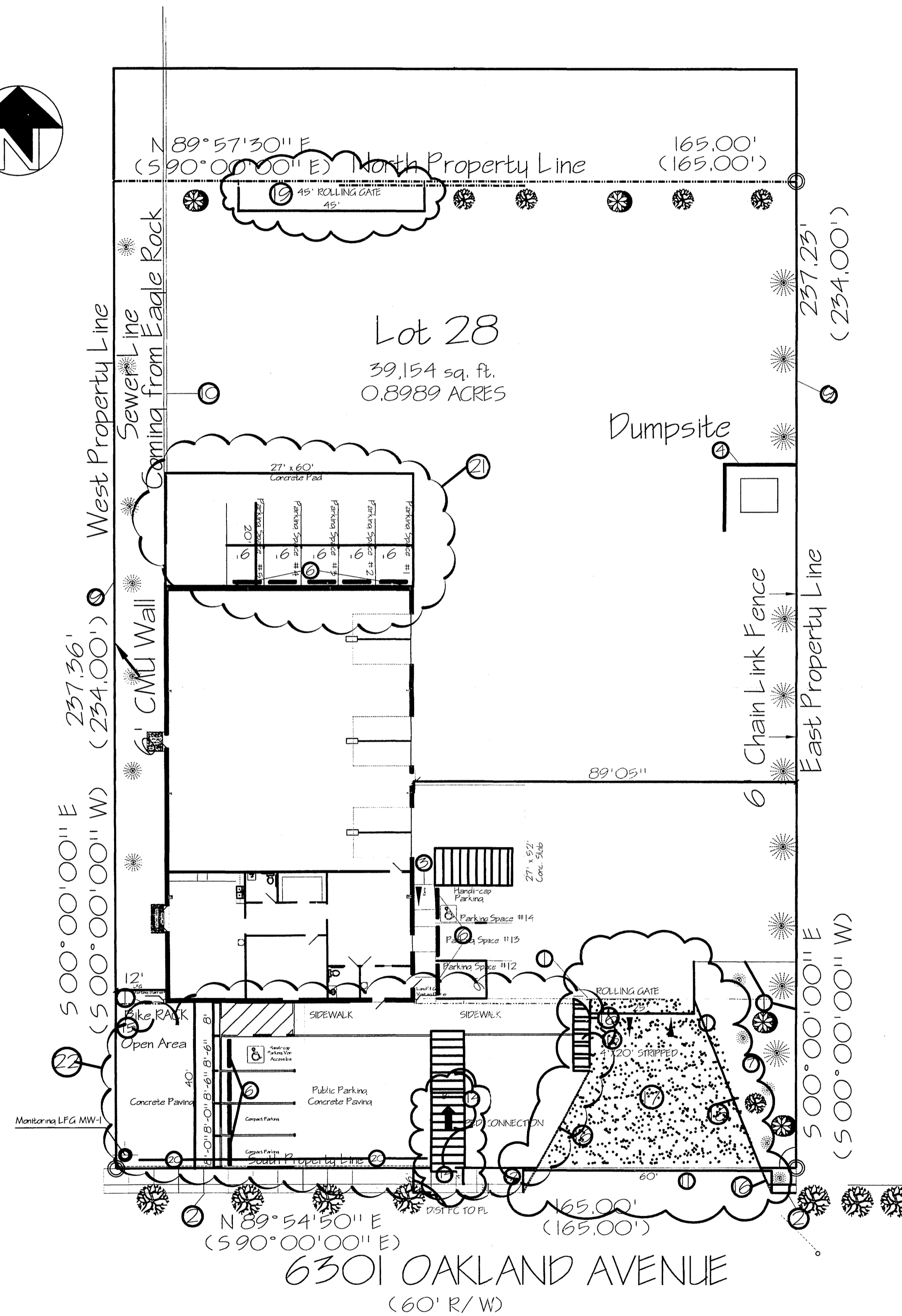
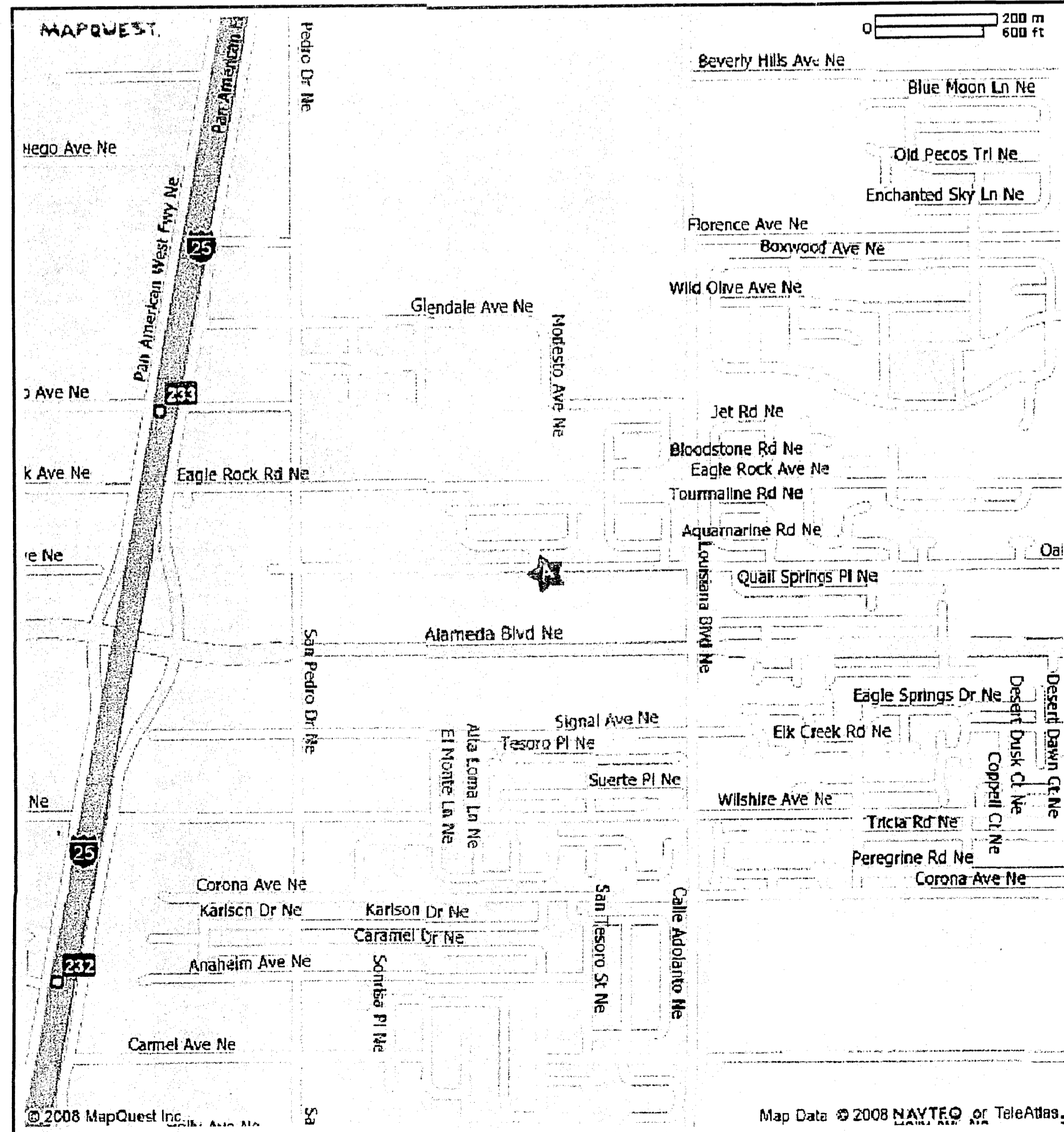
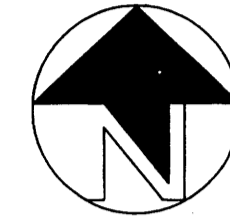
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STALL SIZE = 9'-0" WIDE X 20'-0" LONG

665 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/ 200 = 3 SPACES  
 88 SF ENTRY /200 = 1  
 SPACES PROVIDED = 14

ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Nevea Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED, ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
  - VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
  - 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
  - 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
  - BUILD 60' CURB CUT PER COA STD 2425
  - BUILD 4' WIDE SIDEWALK PER COA STD 2430 Differed
  - MOTOR CYCLE RAMP AND PARKING
  - VAN ACCESS AISLE STRIPED
  - BICYCLE RACK
  - Cut-Off Wall (Per City Standard 2415B)
  - CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
  - ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
  - 45' ROLLING GATE
  - 3' CHAIN LINK FENCE W/ IVE VINE.
  - Relocate of Parking Spaces from front of building.
  - New Parking area design do to set back.

GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

Pant Legend

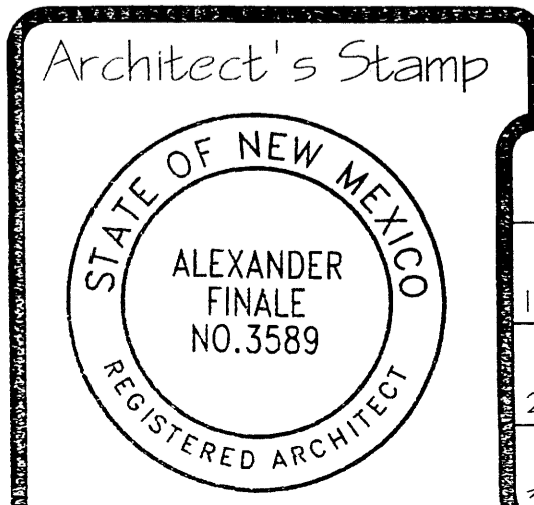
Quantity	Symbol	Plant	Planted Size	Mature H & W	Purpose
		Discolorus Shrubs (Prairie Titerans)			
		Syringa Vulgaria	4.0' 15' by 10'		
		Syringa Chinensis	4.0' 9' by 7'		
		Paraglypha Northern Sun	4.0' 7' by 9'		

Quantity	Symbol	Plant	Planted Size	Mature H & W	Purpose
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423' Existing Fire Hydrante

**Site Development Plan**

Scale 1" = 20'



Final Drawing Checked By:	Sheet
1. M. Rinaldi	
2. M. Ortiz	
3.	Of 6 Sheets

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July 2, 2010  
 Site Development Plan  
 Coronado  
 Albuquerque New Mexico



Project Number: 1006760  
 Application Number: 08788-70180

DRB This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/23/08 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required (X) Yes ( ) No if yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: Date: 6-25-08  
 ABCWUA  
 Christina Sandoral Date: 6/25/08  
 Parks and Recreation Department

City Engineer: Date:

Environmental Health Department (conditional): Date:

Solid Waste Management: Date: 6/25/08  
 DRB Chair Person, Planning Department

**PARKING CALCULATIONS**

**PARKING CALCULATIONS**

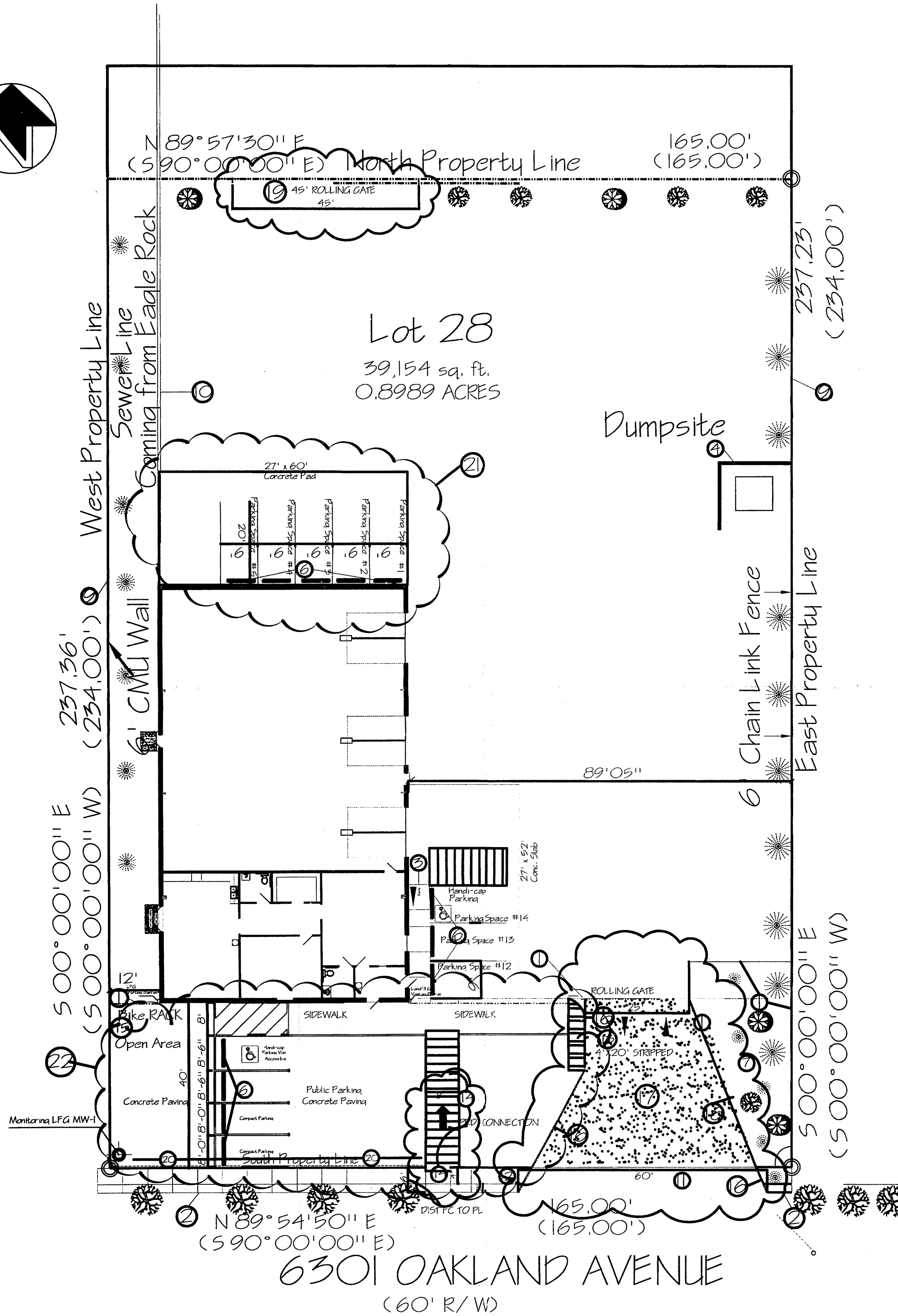
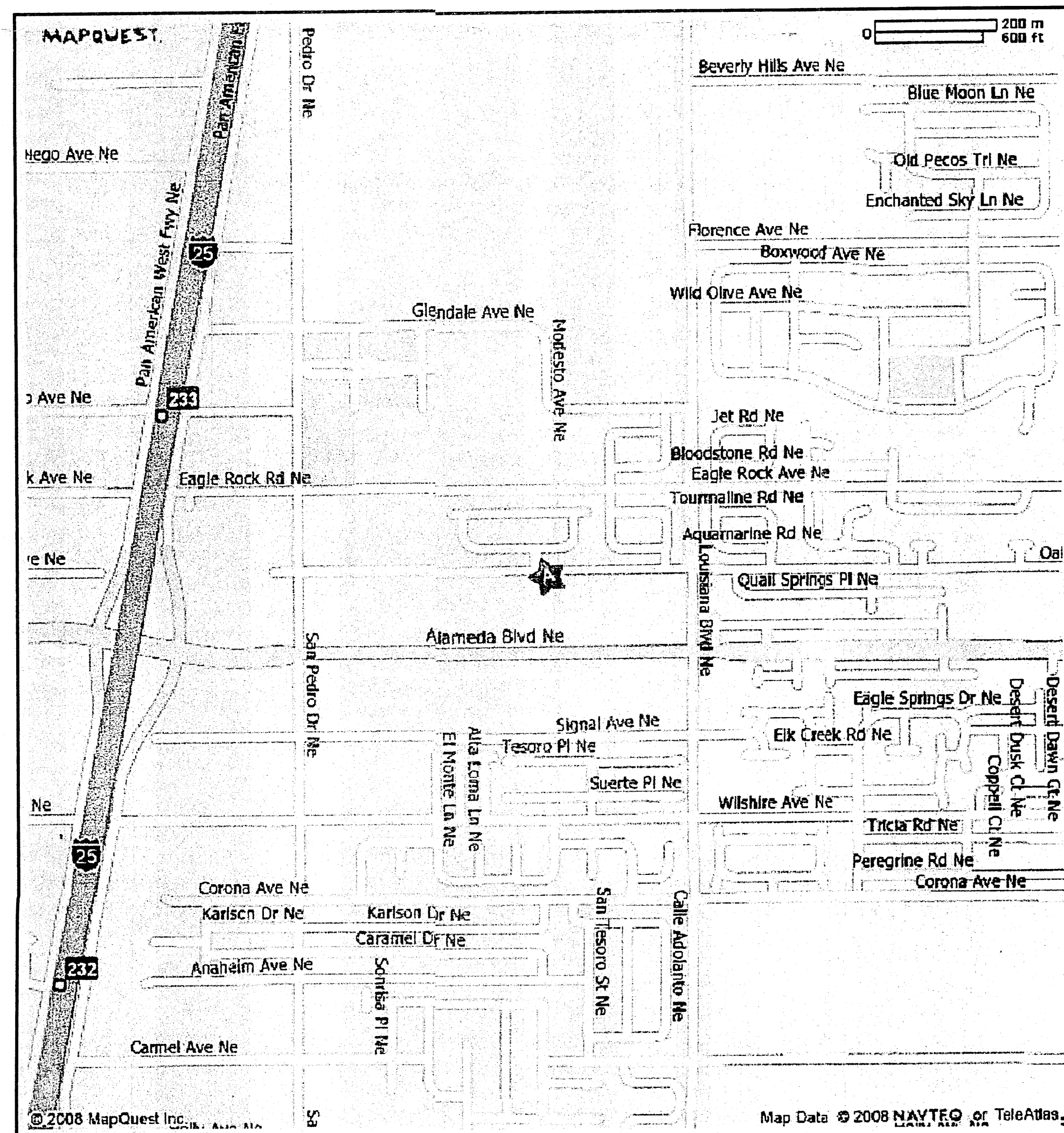
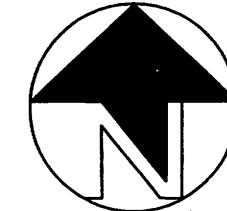
BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

665 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/200 = 3 SPACES  
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ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Nevea Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
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  - New Parking area design do to set back.

GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

**Plant Legend**

Quantity	Symbol	Plant	Planted Size	Mature H & W	Purpose
Deciduous Shrubs (Drought Tolerant)					
○	○	Spring Madroño	4.0'	18" by 10"	○
○	○	Spring Chokeberry	4.0'	9' by 7'	○
○	○	Parthenoc Northern Sun	4.0'	7' by 9'	○
Evergreen Trees (Drought Tolerant)					
○	○	Deep Landscaping	10.0'	20' by 55'	○
○	○	Common Arbutus	10.0'	50' by 20'	○
○	○	Shrub	10.0'	20' by 12'	○

423' Existing Fire Hydrante

**Site Development Plan**

Scale 1" = 20'

Architect's Stamp  
 STATE OF NEW MEXICO  
 ALEXANDER FINALE  
 NO. 3589  
 REGISTERED ARCHITECT

Final Drawing Checked By:	Sheet
1. M. Rinaldi	1
2. M. Ortiz	
3.	Of 6 Sheets

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 Residential Design and Drafting Services Fax 823-6487  
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July 2, 2010  
 Site Development Plan

Coronado  
 Albuquerque New Mexico



Project Number: 1006760  
 Application Number: 08788-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Department, dated 6/25/08 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) No ( ) Yes, then a set of approved DRG plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG Site Development Plan Sheriff Approval:

Traffic Engineering, Transportation Division: Date: 6-25-08  
 Signature: [Signature]  
 Date: 6-25-08  
 Signature: [Signature]  
 Date: 6-25-08

City Engineer: Date: \_\_\_\_\_  
 Environmental Health Department (conditional): Date: \_\_\_\_\_  
 Solid Waste Management: Date: 6/25/08  
 Other Chair Person, Planning Department: Date: \_\_\_\_\_

DRG ADMINISTRATIVE SITE PLAN AMENDMENT  
 PROJECT NO. 08788-70180  
 APPLICATION NO. 08788-70180  
 Signature: [Signature] DATE: 6-19-09  
 PLANNING DIRECTOR

PARKING CALCULATIONS

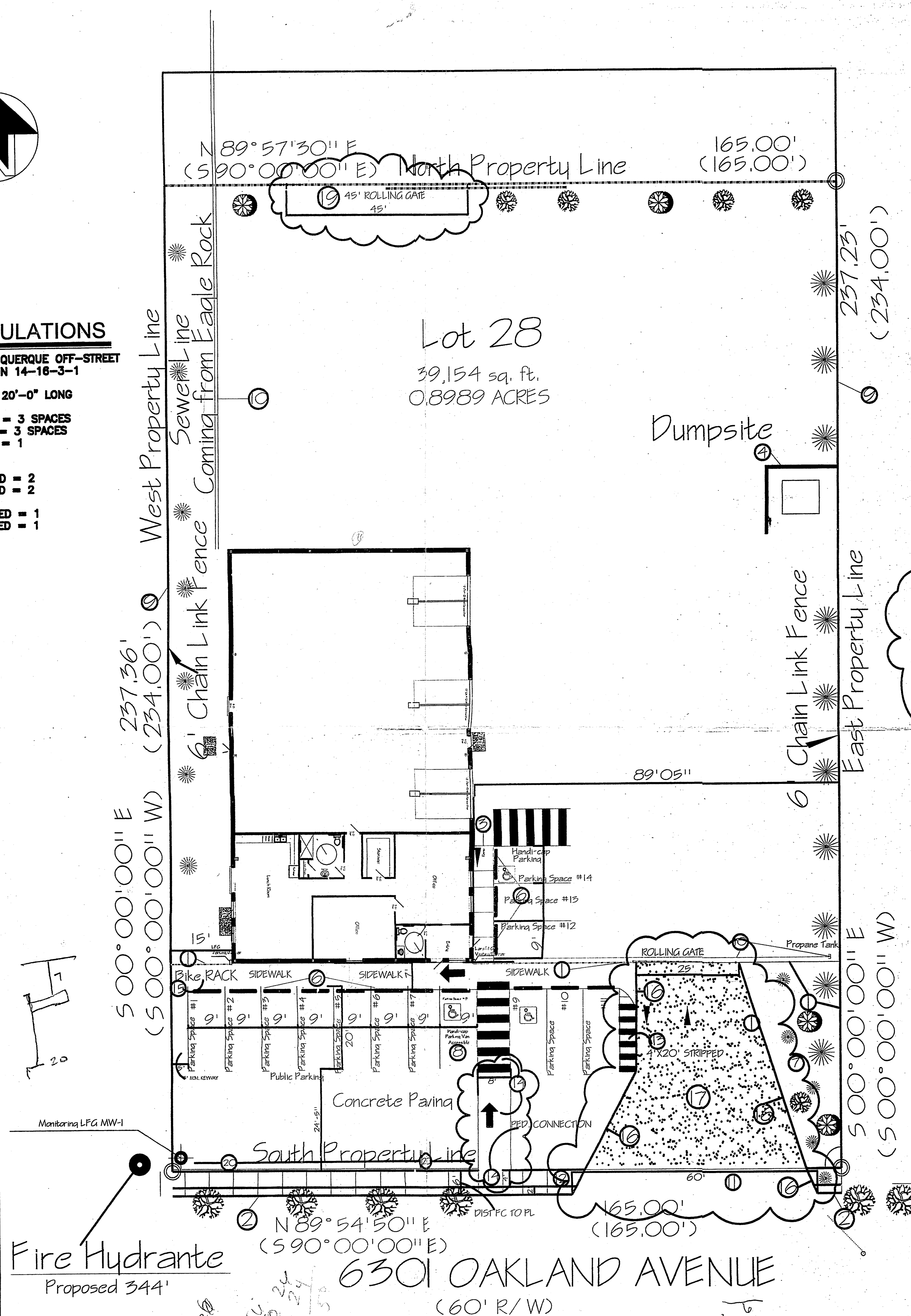
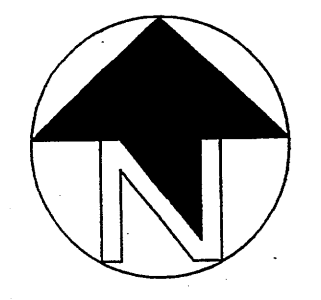
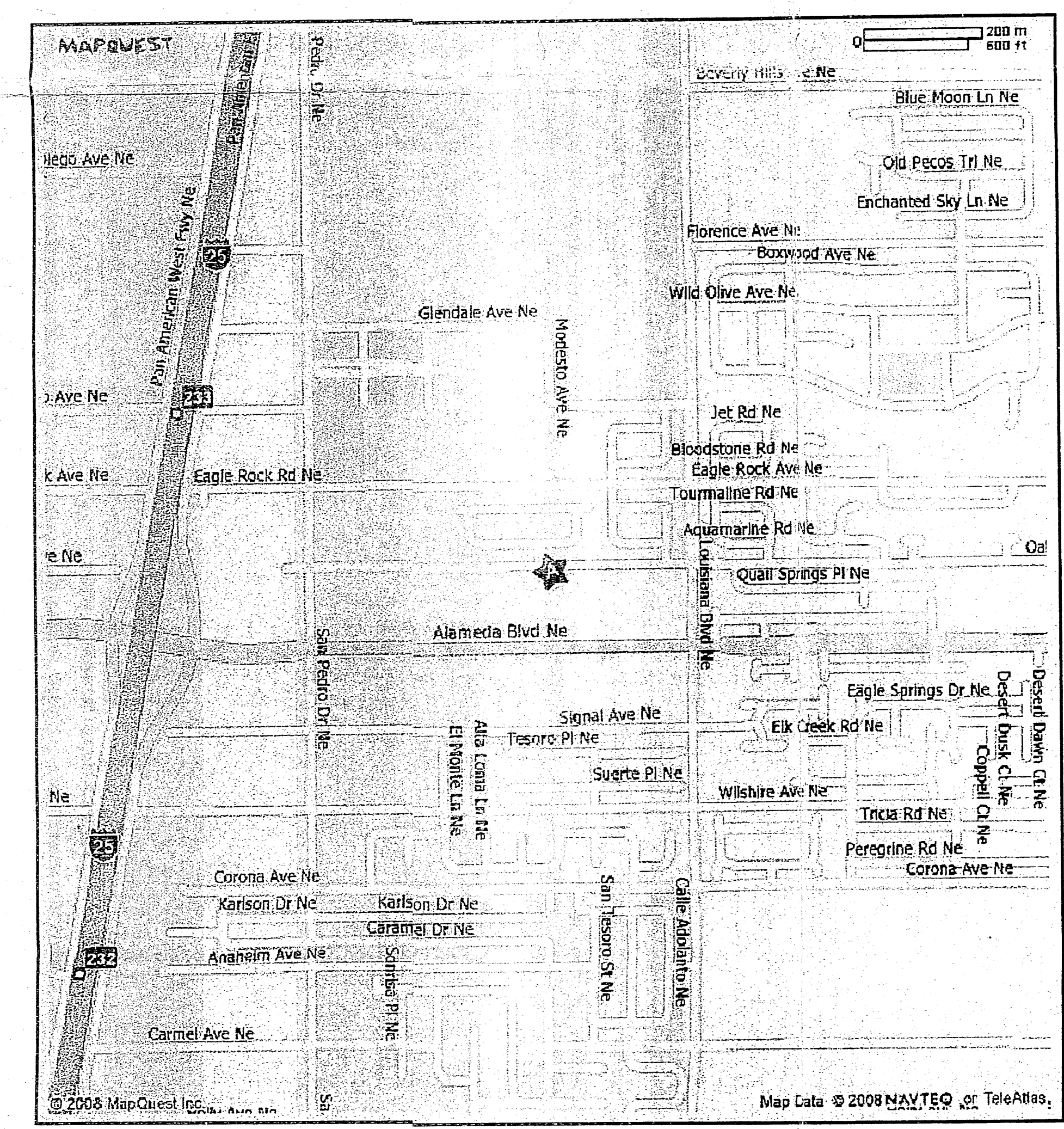
**PARKING CALCULATIONS**  
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ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
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- Keyed Notes
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GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

Plant Legend

Quantity	Symbol	Plant	Plant Size	Quantity	Symbol	Plant	Plant Size
0	(Symbol)	Spec. Walnut	4.0' 15' by 10'	0	(Symbol)	Spec. Pines	6.0' 30' by 25'
0	(Symbol)	Spec. Chromis	4.0' 9' by 7'	0	(Symbol)	Corona Arizama Globe	6.0' 55' by 20'
0	(Symbol)	Spec. Red Northern Sun	4.0' 7' by 9'	0	(Symbol)	Spec. Edulis	6.0' 25' by 12'

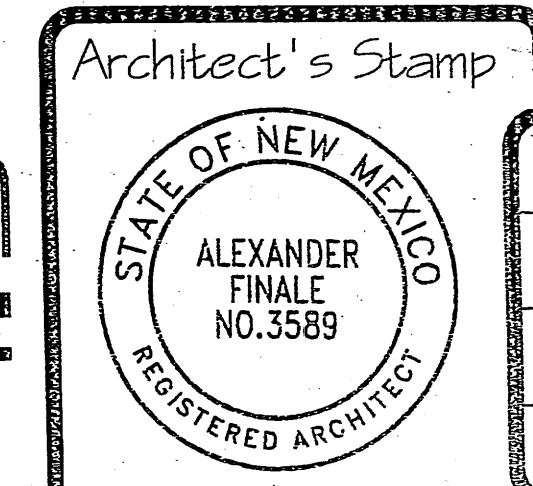
Fire Hydrante  
 Proposed 344'

423' Existing Fire Hydrante

6301 OAKLAND AVENUE  
 (60' R/W)

# Site Development Plan

Scale 1" = 30'



Final Drawing Checked By:	Sheet
1. M. Rinaldi	3
2. M. Ortiz	
3.	
Of 11 Sheets	

Coronado  
 Albuquerque New Mexico  
 Jan. 25, 2007  
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Project Number: 1006760  
 Application Number: ODRB-70180

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DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: Date: 6-25-08  
 Signature: [Signature]

City Engineer: Date: 6/25/08  
 Signature: [Signature]

City Engineer: Date: \_\_\_\_\_

Environmental Health Department (conditional): Date: \_\_\_\_\_

Solid Waste Management: Date: 6/25/08  
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PARKING CALCULATIONS

PARKING CALCULATIONS

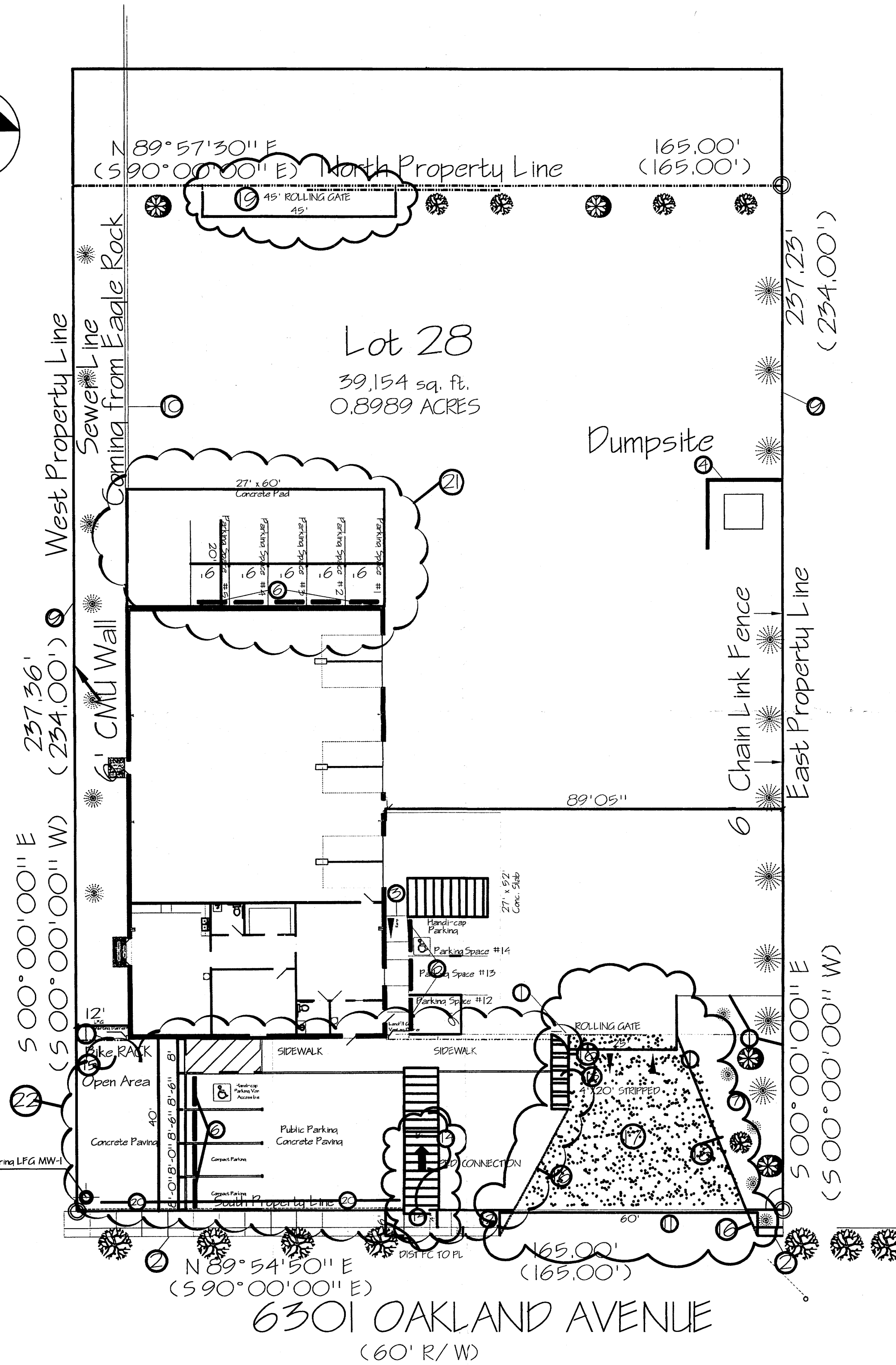
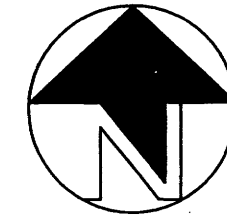
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ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1

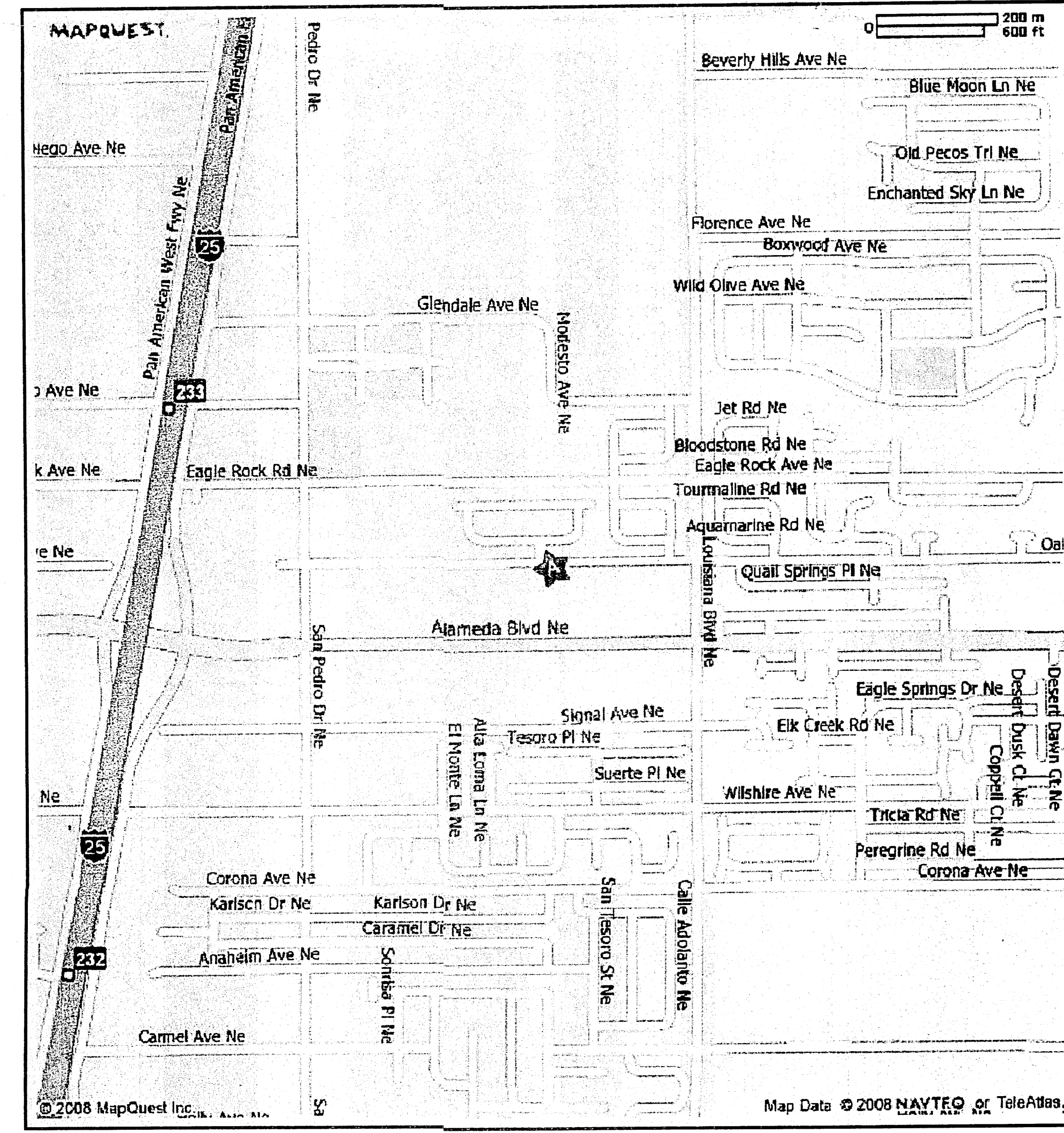


- Nevea Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED, ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
  - VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
  - 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
  - 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
  - BUILD 60' CURB CUT PER COA STD 2425
  - BUILD 4' WIDE SIDEWALK PER COA STD 2430 Differed
  - MOTOR CYCLE RAMP AND PARKING
  - VAN ACCESS AISLE STRIPED
  - BICYCLE RACK
  - Cut-Off Wall (Per City Standard 2415B)
  - CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
  - ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
  - 45' ROLLING GATE
  - 3' CHAIN LINK FENCE W/ IVE VINE.
  - Relocate of Parking spaces from front of building.
  - New Parking area design do to set back.

GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

Plant Legend

Quantity	Symbol	Plant	Planted Size	Mature H & W	Purpose
		Pecokan Shrub (Dwarfed Tidore)			
0	☉	Syring Madaris	4.0'	15' by 10'	☉
0	☉	Syring Chromis	4.0'	9' by 7'	☉
0	☉	Panapha Northern Sun	4.0'	7' by 9'	☉



Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax 825-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 825-6474 Cell: (505) 307-1003  
 July 2, 2010  
 Site Development Plan  
 Coronado  
 Albuquerque New Mexico

Site Development Plan

Scale 1" = 20'

Architect's Stamp  
 STATE OF NEW MEXICO  
 ALEXANDER FINALE  
 NO. 3589  
 REGISTERED ARCHITECT

Final Drawing Checked By:  
 1. M. Rinaldi  
 2. M. Ortiz  
 Sheet  
 Of 6 Sheets



Project Number: 1006760  
 Application Number: 08778-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/27/08 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes ( ) No ( ) If yes, then a set of approved DRG plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: 04/08/09  
 Date

6-25-08  
 Date

Christine Sandoval  
 Parks and Recreation Department  
 Date

Bradley L. Bingham  
 City Engineer  
 Date

Environmental Health Department (conditional): 4/8/08  
 Date

4/9/9  
 Date

Solid Waste Management  
 Date

6/25/08  
 Date

DRB Chair Person, Planning Department

**PARKING CALCULATIONS**

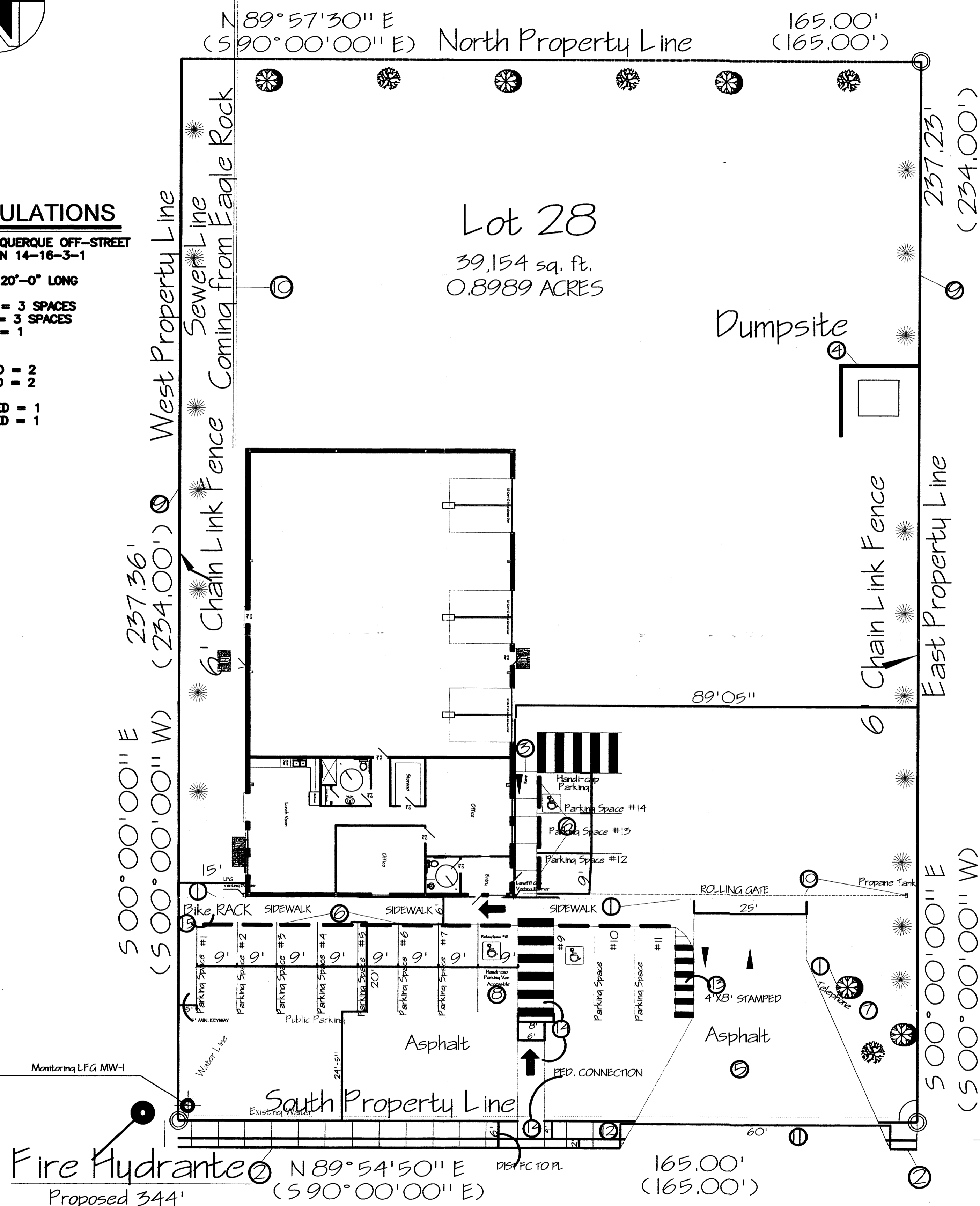
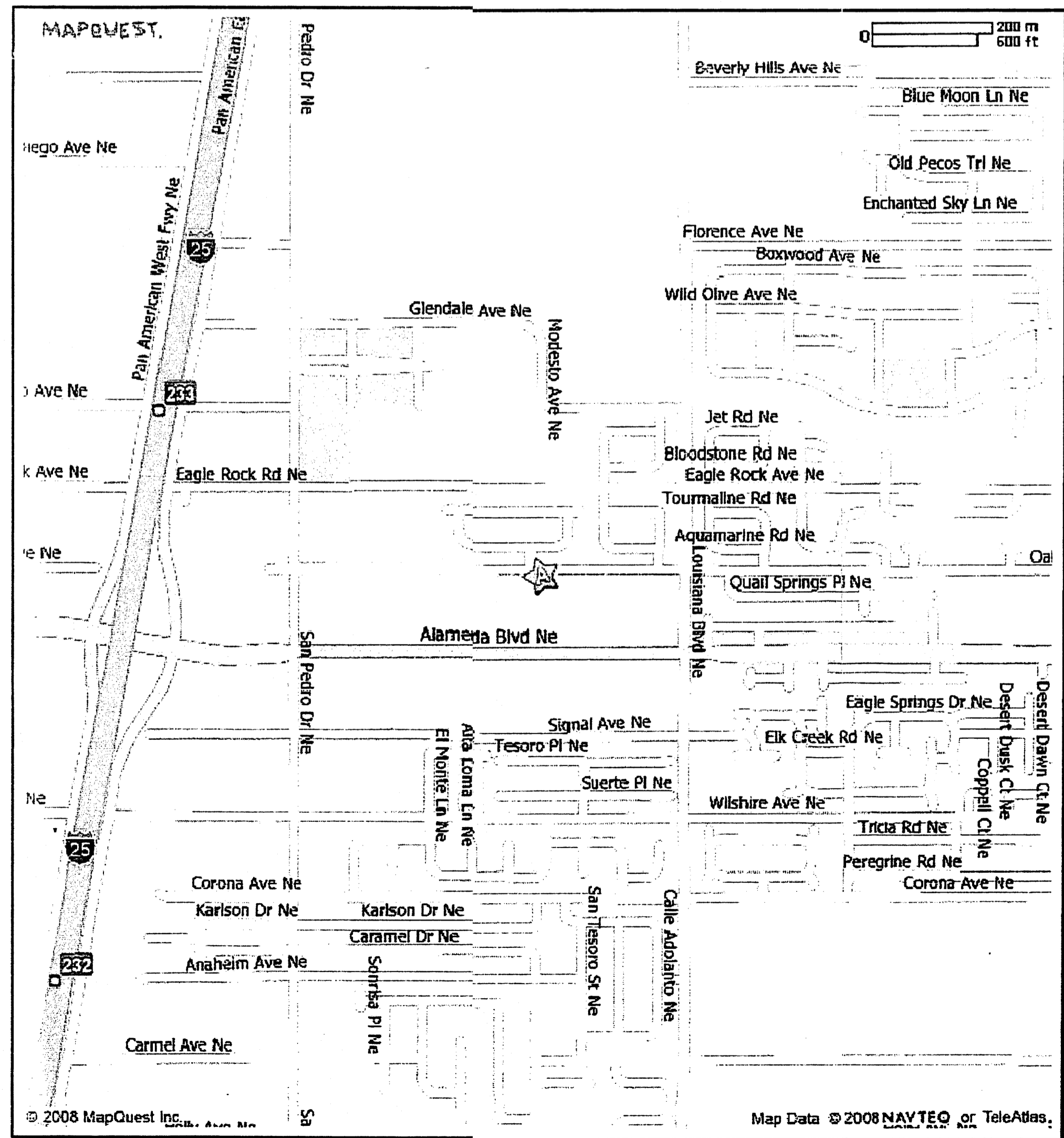
**PARKING CALCULATIONS**  
 BASED ON THE CITY OF ALBUQUERQUE OFF-STREET  
 PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

665 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/ 200 = 3 SPACES  
 88 SF ENTRY /200 = 1  
 SPACES PROVIDED = 14

ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Keyed Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED. ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
  - VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
  - 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
  - 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
  - BUILD 60' CURB CUT PER COA STD 2425
  - BUILD 4' WIDE SIDEWALK PER COA STD 2425
  - MOTOR CYCLE RAMP AND PARKING
  - PUBLIC RAMP TO HAVE A MAX 1:12 SLOPE
  - BICYCLE RACK
- GENERAL NOTES
- ALL RAMPS TO HAVE A MAX SLOPE OF 1:12
- EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

Plant Legend

Symbol	Plant	Planted	Mature	Notes
○	Platanus (Platanus Sideroxylon)	3.0'	5.0' by 6.0'	
○	Quercus agrifolia	3.0'	4.0' by 2.5'	
○	Fraxinus pennsylvanica	3.0'	4.5' by 2.5'	
○	Pinus ponderosa	3.0'	4.0' by 2.0'	
○	Platanus Sideroxylon (Platanus Sideroxylon)			
○	Syringa vulgaris	4.0'	1.5' by 1.0'	
○	Syringa chinensis	4.0'	9' by 7'	
○	Pinus strobus	4.0'	7' by 9'	
○	Platanus Sideroxylon (Platanus Sideroxylon)			
○	Pinus ponderosa	6.0'	10' by 5.0'	
○	Quercus agrifolia	6.0'	5.5' by 2.0'	
○	Pinus edulis			

City of Albuquerque  
 Building & Safety  
 APR 09 2009  
 I.B.C.  
 Plan Check Section

Architect's Stamp  
 STATE OF NEW MEXICO  
 ALEXANDER FINALE  
 NO. 3589  
 REGISTERED ARCHITECT

Site Development Plan

Scale 1" = 30'

Final Drawing  
 Checked By:  
 1. M. Rinaldi  
 2. M. Ortiz

Sheet  
 3

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 Residential Design and Drafting Services Fax 823-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 823-6474 Cell: (505) 307-1003

Jan. 25, 2007  
 Site Development Plan  
 Coronado  
 Albuquerque New Mexico



Project Number: 1006760  
 Application Number: 08788-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning & Development Center, dated 6/25/08 and the Findings and Conditions in the Official Notification of Decision are satisfied.

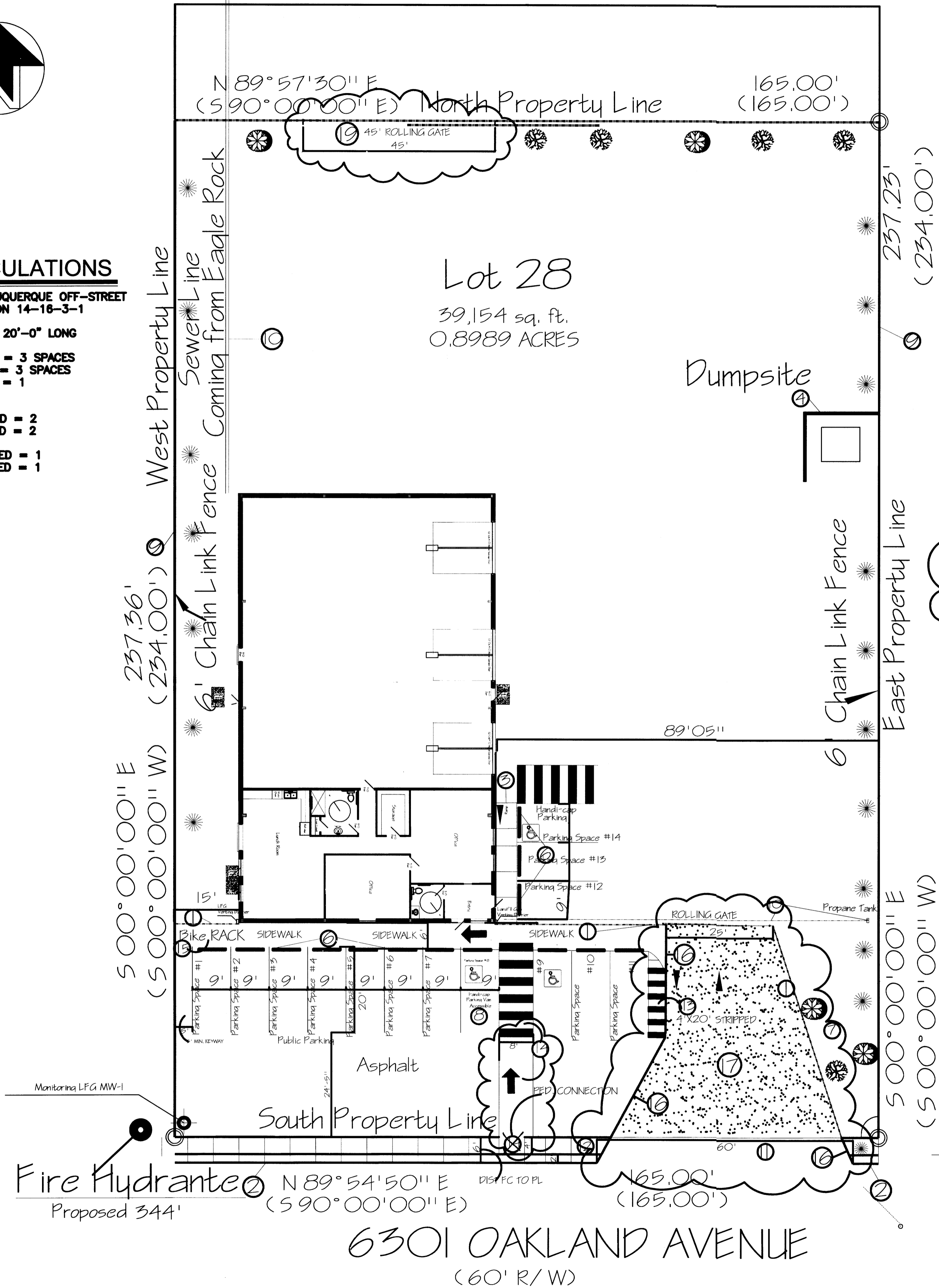
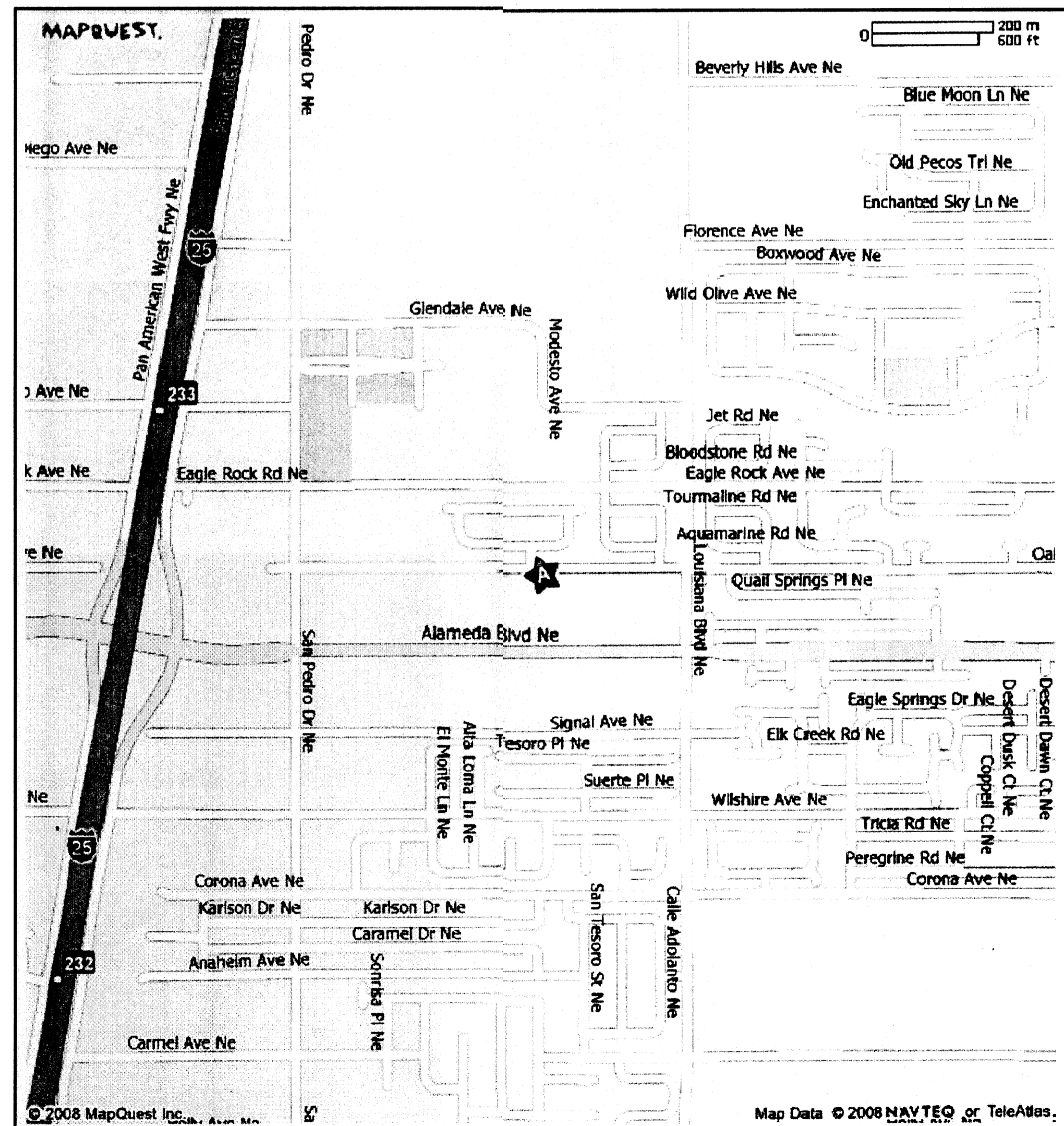
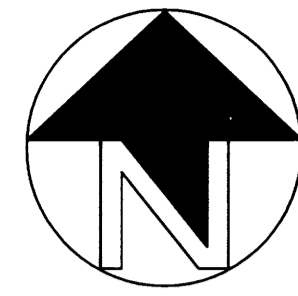
Is an Infrastructure List required? Yes ( ) No (X) If yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DNR Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: Date: 6-25-08  
[Signature]  
 Date: 6/25/08  
[Signature]  
 Parks and Recreation Department  
 City Engineer: Date: \_\_\_\_\_  
 Environmental Health Department (conditional) Date: \_\_\_\_\_  
 Solid Waste Management: Date: \_\_\_\_\_  
[Signature]  
 Date: 6/25/08  
 Design Chair, Person, Planning Department

**PARKING CALCULATIONS**

**PARKING CALCULATIONS**  
 BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1  
 STALL SIZE = 9'-0" WIDE X 20'-0" LONG  
 665 SF OFFICE RETAIL/200 = 3 SPACES  
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 88 SF ENTRY /200 = 1 SPACES PROVIDED = 14  
 ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2  
 MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Keyed Notes**
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED. ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
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  - BUILD 60' CURB CUT PER COA STD 2425 30
  - BUILD 4' WIDE SIDEWALK PER COA STD 2426
  - MOTOR CYCLE RAMP AND PARKING (DEFERRED)
  - PUBLIC RAMP TO HAVE A MAX 1:12 SLOPE
  - BICYCLE RACK
  - Cut-Off Wall (Per City Standard 2415B)
  - CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
  - ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
  - 45' ROLLING GATE

**GENERAL NOTES**  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

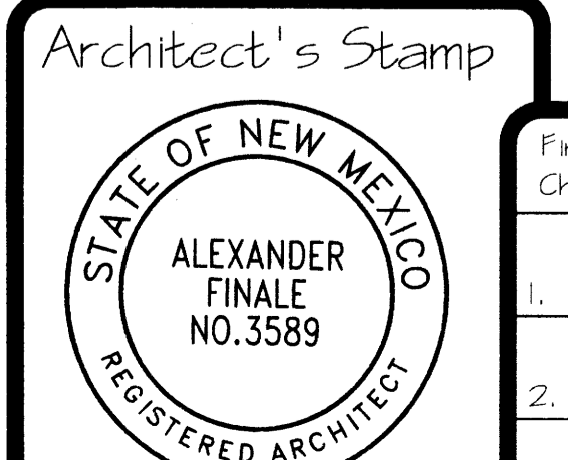
**Plant Legend**

Quantity	Symbol	Plant	Plant Size	Material	Material	Quantity
	○	Decorative Shrubs (Dwarfed)				
	○	Sumac Virens	4'-0"	10'	10'	○
	○	Sumac + Clematis	4'-0"	9'	12'	○
	○	Parashola Northern Star	4'-0"	7'	14'	○

423' Existing Fire Hydrante

# Site Development Plan

Scale 1" = 30'



Final Drawing Checked By:  
 1. M. Rinaldi  
 2. M. Ortiz

Sheet

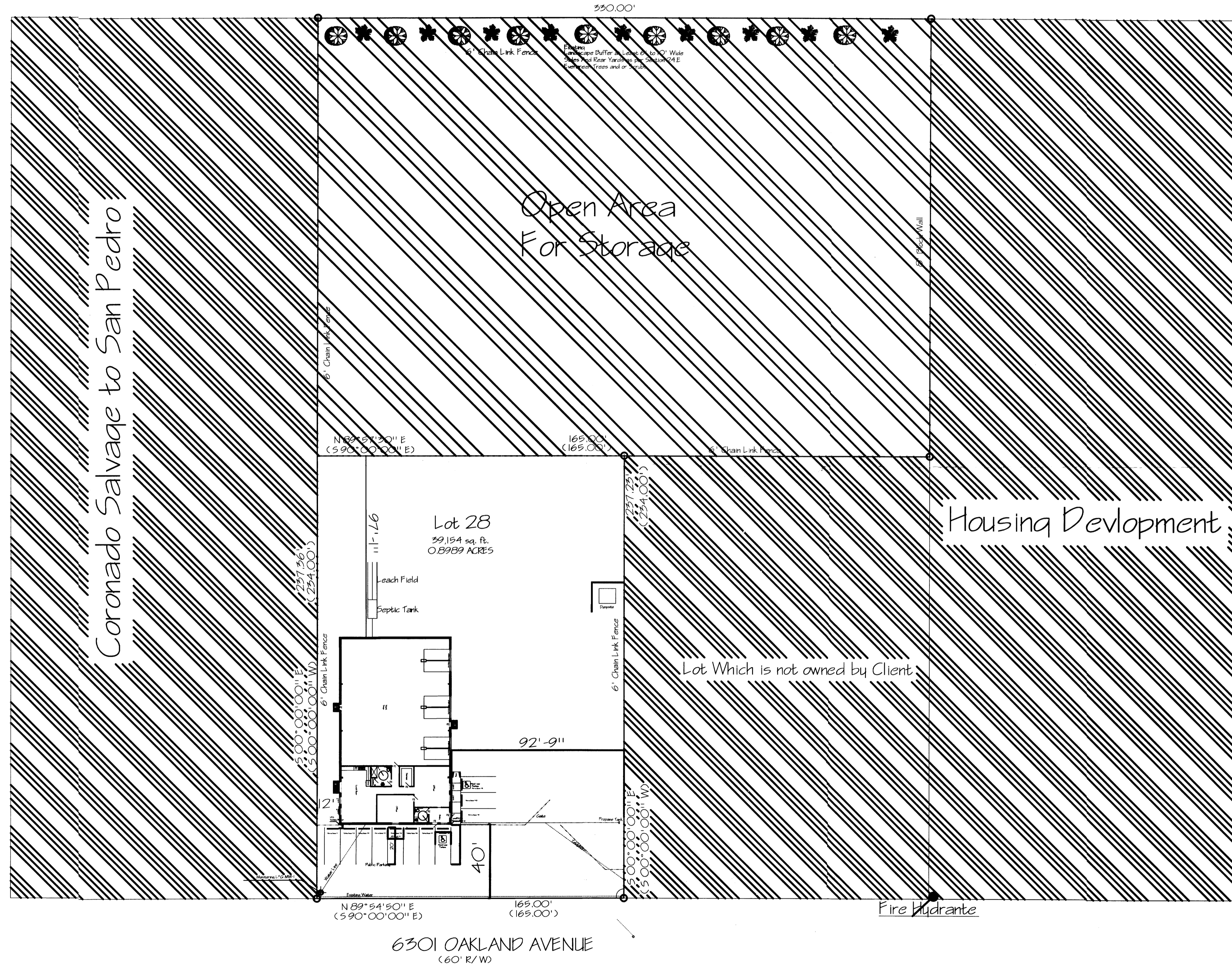
3

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Jan. 25, 2007  
 Site Development Plan

Coronado  
 Albuquerque New Mexico





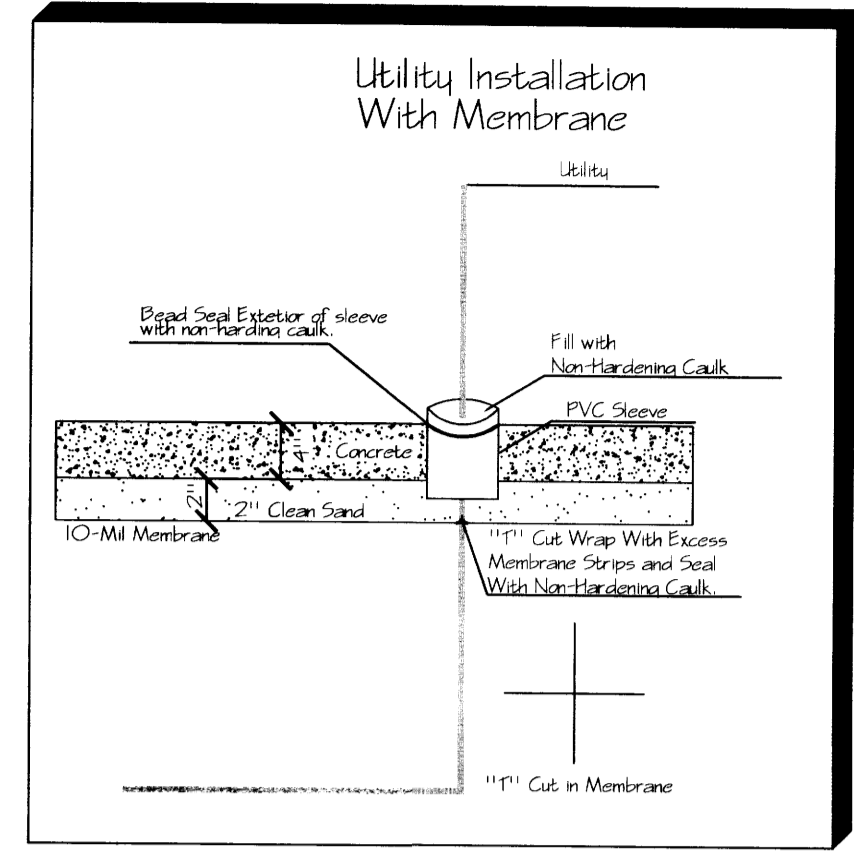
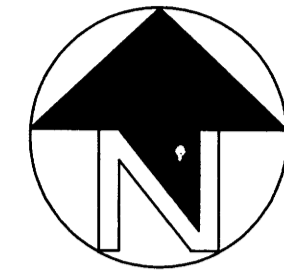
Coronado Salvage to San Pedro

Open Area For Storage

Housing Development

Lot Which is not owned by Client

6301 OAKLAND AVENUE  
(60' R/W)



-----	Metal Fence and Gate As 10' High
-----	Propane
-----	Water Line
-----	Telephone

Ron Montoya Custom Designs  
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Coronado  
Albuquerque New Mexico  
Jan. 25, 2007  
Site Plan

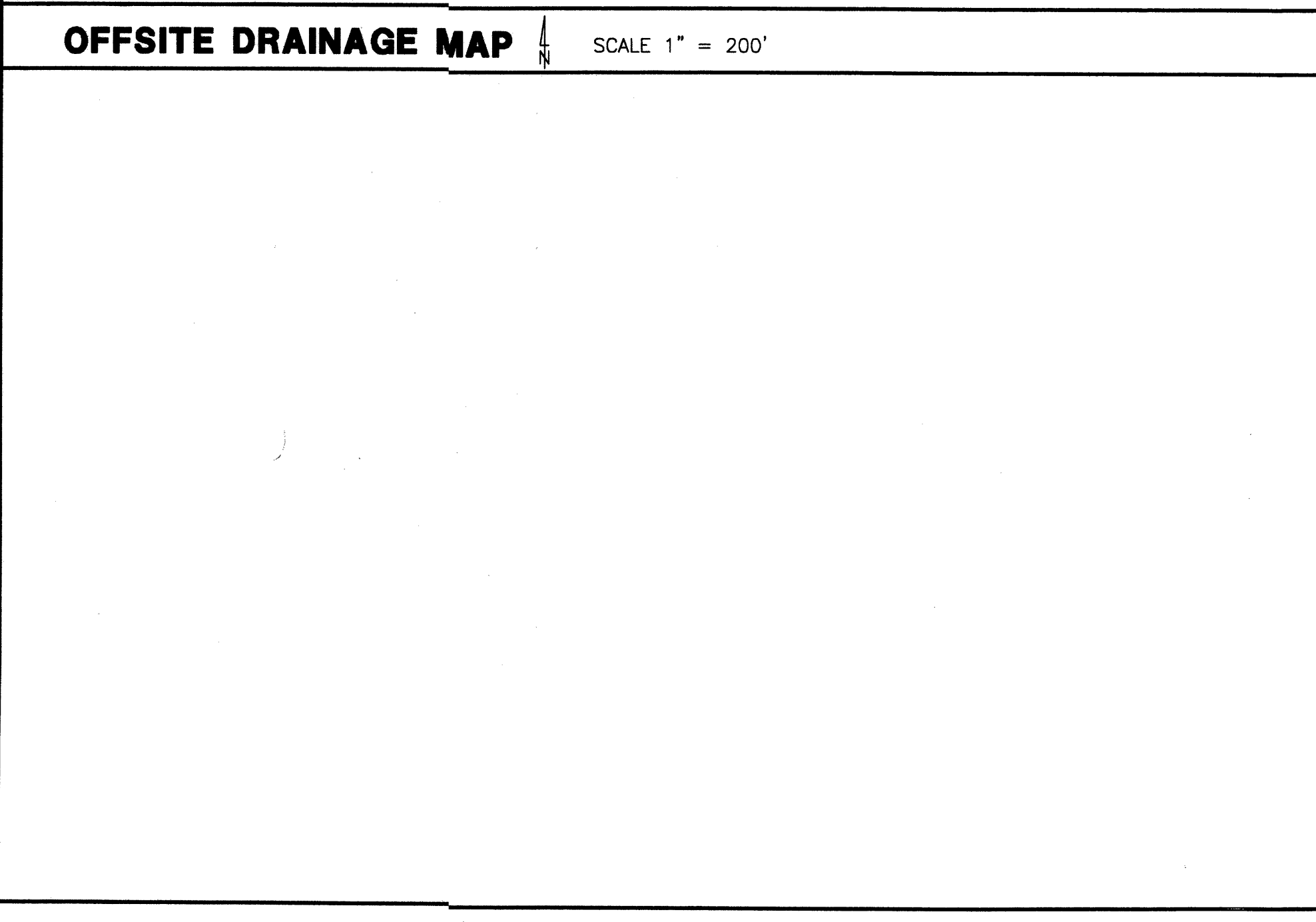
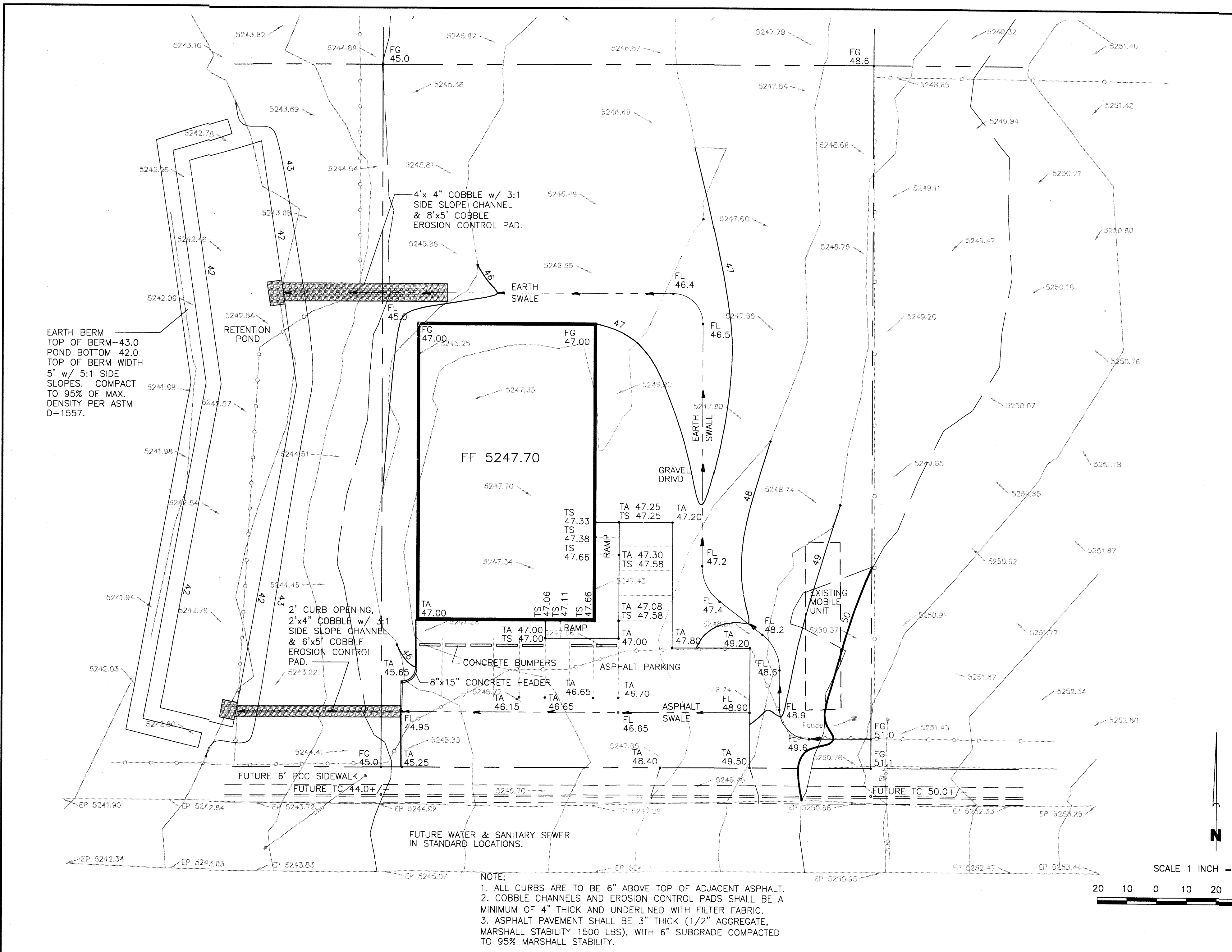
# Site Plan

Scale 1/32" = 1'

Engineer's Stamp

Final Drawing Checked By:	Sheet
1. M. Rinaldi	3
2. M. Ortiz	
3.	Of 11 Sheets





**NOTE:**

- ALL CURBS ARE TO BE 6" ABOVE TOP OF ADJACENT ASPHALT.
- COBBLE CHANNELS AND EROSION CONTROL PADS SHALL BE A MINIMUM OF 4" THICK AND UNDERLINED WITH FILTER FABRIC.
- ASPHALT PAVEMENT SHALL BE 3" THICK (1/2" AGGREGATE, MARSHALL STABILITY 1500 LBS), WITH 6" SUBGRADE COMPACTED TO 95% MARSHALL STABILITY.

**SCALE 1 INCH = 20 FEET**

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA (sq. ft.)	EXCESS PRECIPITATION (in.)	PEAK RUNOFF (cfs/acre)	RUNOFF VOLUME (cu. ft.)	RUNOFF RATE (cfs)
EXISTING	10	A	0	0.19	0.58	0	0.00
		B	0	0.36	1.19	0	0.00
		C	39153	0.62	2	2023	1.80
		D	0	1.5	3.39	0	0.00
		TOTAL	39153			2023	1.80
DEVELOPED	10	A	0	0.19	0.58	0	0.00
		B	0	0.36	1.19	0	0.00
		C	28601	0.62	2	1374	1.22
		D	12552	1.5	3.39	1569	0.98
		TOTAL	39153			2943	2.20
EXISTING	100	A	0	0.66	1.87	0	0.00
		B	0	0.92	2.6	0	0.00
		C	39153	1.29	3.45	4209	3.10
		D	0	2.36	5.02	0	0.00
		TOTAL	39153			4209	3.10
DEVELOPED	100	A	0	0.66	1.87	0	0.00
		B	0	0.92	2.6	0	0.00
		C	28601	1.29	3.45	2860	2.11
		D	12552	2.36	5.02	2489	1.45
		TOTAL	39153			5328	3.55

**RETENTION POND**

REQUIRED VOLUME (FROM DRAINAGE CALCULATIONS)

ACTUAL VOLUME  
 $V_{10 \text{ day}} = 5328 + (12552)((4.90-2.60)/12) = 7734$

ALLOWED VOLUME  
 $V_{10 \text{ day}} = 4209 + (0)((4.90-2.60)/12) = 4209$

PROVIDED VOLUME (FROM GRADING PLAN)

ELEVATION	AREA	VOLUME
42.0	4852	5999
43.0	7146	

**LEGAL DESCRIPTION**

LOT 28, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

**PERMANENT BENCHMARK**

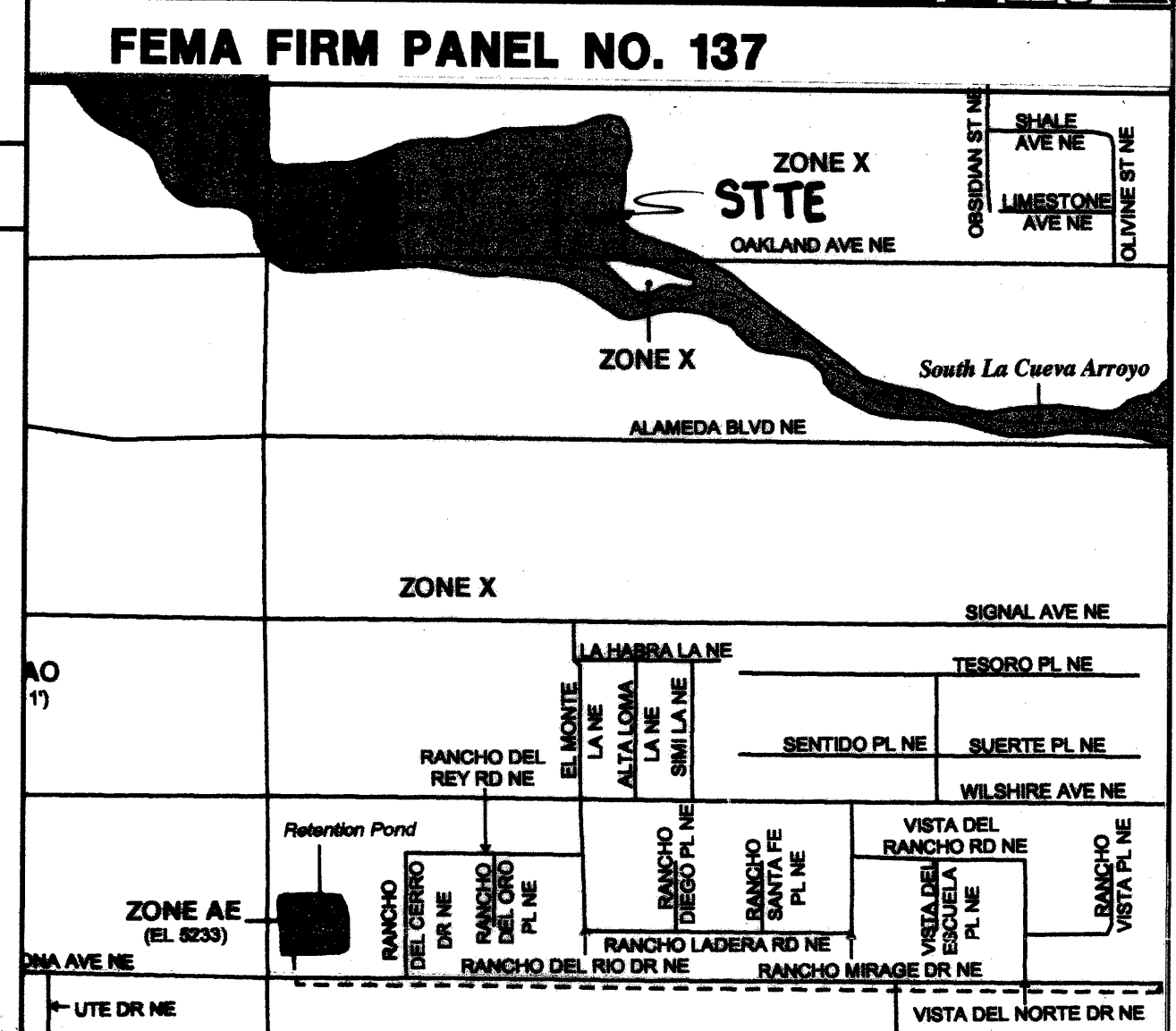
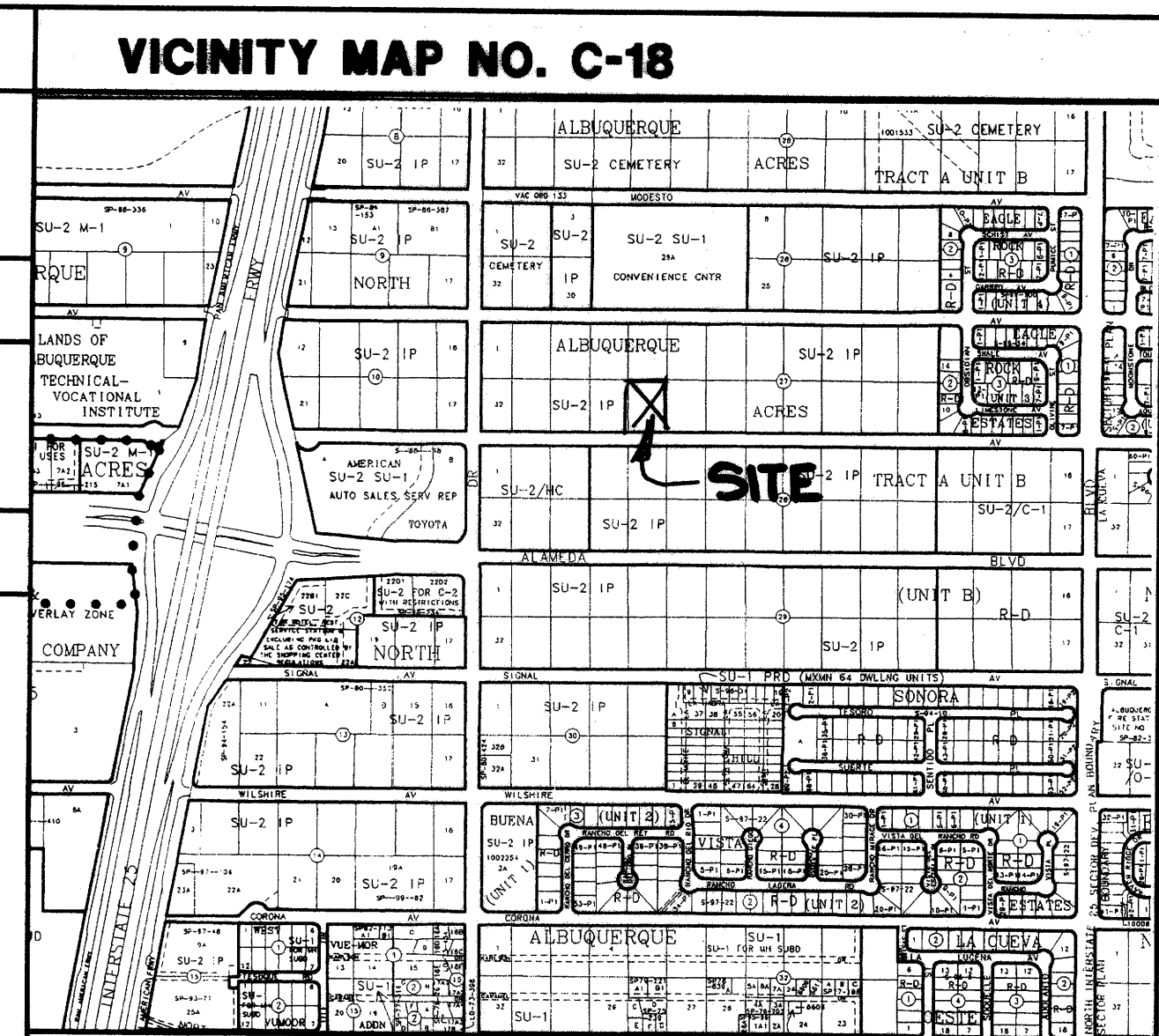
ACS 10-C18 ELEVATION 5222.09 (NAD 88)

**GRADING NOTES**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RELES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

**EROSION CONTROL NOTES**

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



**LEGEND**

TBM TEMPORARY BENCHMARK  
 FF FINISH FLOOR  
 FG FINISH GRADE  
 FL FLOWLINE  
 TA TOP OF ASPHALT  
 TCP TOP OF CONCRETE  
 TC TOP OF CURB  
 TP TOP OF EARTH PAD  
 TS TOP OF SIDEWALK  
 TW TOP OF WALL  
 FH FIRE HYDRANT  
 WM WATER METER  
 WW WATER VALVE  
 MH MANHOLE  
 CB CATCH BASIN GRATE  
 GM GAS METER  
 GV GAS VALVE  
 LP LIGHT POLE  
 PP POWER POLE  
 GW GUY WIRE  
 PED ELEC. OR TEL. PEDESTAL  
 RD ROOF DRAINAGE POINT

FEMA FLOODPLAIN BOUNDARY  
 DRAINAGE BASIN BOUNDARY  
 EROSION SETBACK LINE  
 EXISTING CONTOUR  
 PROPOSED CONTOUR  
 EXISTING SPOT ELEVATION  
 PROPOSED SPOT ELEVATION  
 RECORD SPOT ELEVATION

**GENERAL NOTES**

- THE SITE HAS BEEN USED FOR AN AUTO WRECKING YARD FOR A NUMBER OF YEARS AND IS DEVOID OF VEGETATION AND THERE ARE NO DEFINED FLOW PATHS. DRAINAGE ENTERING THE SITE IS IN A SHEET FLOW CONDITION AND IS LIMITED TO THE ADJUTING NORTH AND EAST LOTS. THE AREAS NORTH AND EAST OF THAT ARE ROUTED TO AN EXISTING DRAIN SYSTEM.
- A MASTER DRAINAGE PLAN WAS PREPARED FOR THE AREA BY RESOURCE TECHNOLOGIES, INC. IN OCTOBER, 1998. THAT PLAN WAS REVISED IN THE AREA OF THE SUBJECT SITE MARK GOODWIN AND ASSOC. IN APRIL, 2004 UNDER THE TITLE "EAGLE ROCK STORM DRAIN ALLOCATION PLAN". THE ALLOCATION PLAN MOVED THE PROPOSED STORM DRAIN OAKLAND AVE. TO EAGLE ROCK AVE. AND ALLOCATED CONSTRUCTION COSTS OF THE SYSTEM TO AFFECTED PROPERTIES. THE ALLOCATED COST FOR THE SUBJECT PROPERTY IS \$9008.65.
- THE SUBJECT PROPERTY WILL BE A DEVELOPED ?ISLAND? SURROUNDED BY UNDEVELOPED PROPERTIES. IT IS PROPOSED THAT A SUBDIVISION IMPROVEMENT AGREEMENT BE USED TO GUARANTEE FINANCING OF FUTURE CONSTRUCTION OF INFRASTRUCTURE IN OAKLAND AVE. IN THE MEANTIME A RETENTION POND WILL BE CONSTRUCTED ON THE LOT ADJACENT TO THE SUBJECT LOT. THE POND WILL BE SIZED TO RETAIN THE RUNOFF INCREASE FROM EXISTING CONDITIONS FOR THE 100 YEAR, 10 DAY STORM. THE POND WILL BE ELIMINATED AND RUNOFF ROUTED TO THE STREET, WHEN OAKLAND AVE. IS PAVED, AT THE SUBJECT LOT OWNER'S EXPENSE.
- THERE IS A FLOW INCREASE OF 0.40 AND 0.45 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY DUE TO DEVELOPMENT. THE 6 HOUR RUNOFF VOLUMES FOR THE TWO STORMS INCREASE BY 920 AND 1117 CUBIC FEET, RESPECTIVELY. THE REQUIRED RETENTION POND IS 3525 C.F. AND THE PROVIDED POND HAS A MAXIMUM CAPACITY OF 5999 C.F.
- THE SITE IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA (ZONE AO) PER FEMA FIRM PANEL NO. 137, DATED NOVEMBER, 2003. THE MAP IS BEING UPDATED BASED ON CONSTRUCTION DISCUSSED IN ITEM 2.
- TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED HALL CARTESIAN SURVEYS, INC., DATED SEPTEMBER, 2007.

**REVISIONS**

no.	date	remarks	by

project title  
**CORONADO**  
**6301 OAKLAND AVE NE**  
**ALBUQUERQUE, NM**

sheet title  
**GRADING & DRAINAGE PLAN**

sheet date 09/27/07 design by JJB project no. 0710

**BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)823-1344 FAX (505)821-9105



Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required ( ) Yes ( ) No. If yes, then a set of approved DRC Plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

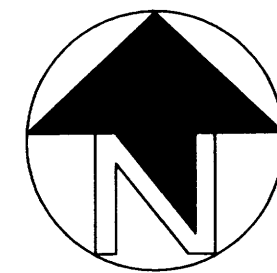
Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_

Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chair Person, Planning Department \_\_\_\_\_ Date \_\_\_\_\_



### PARKING CALCULATIONS

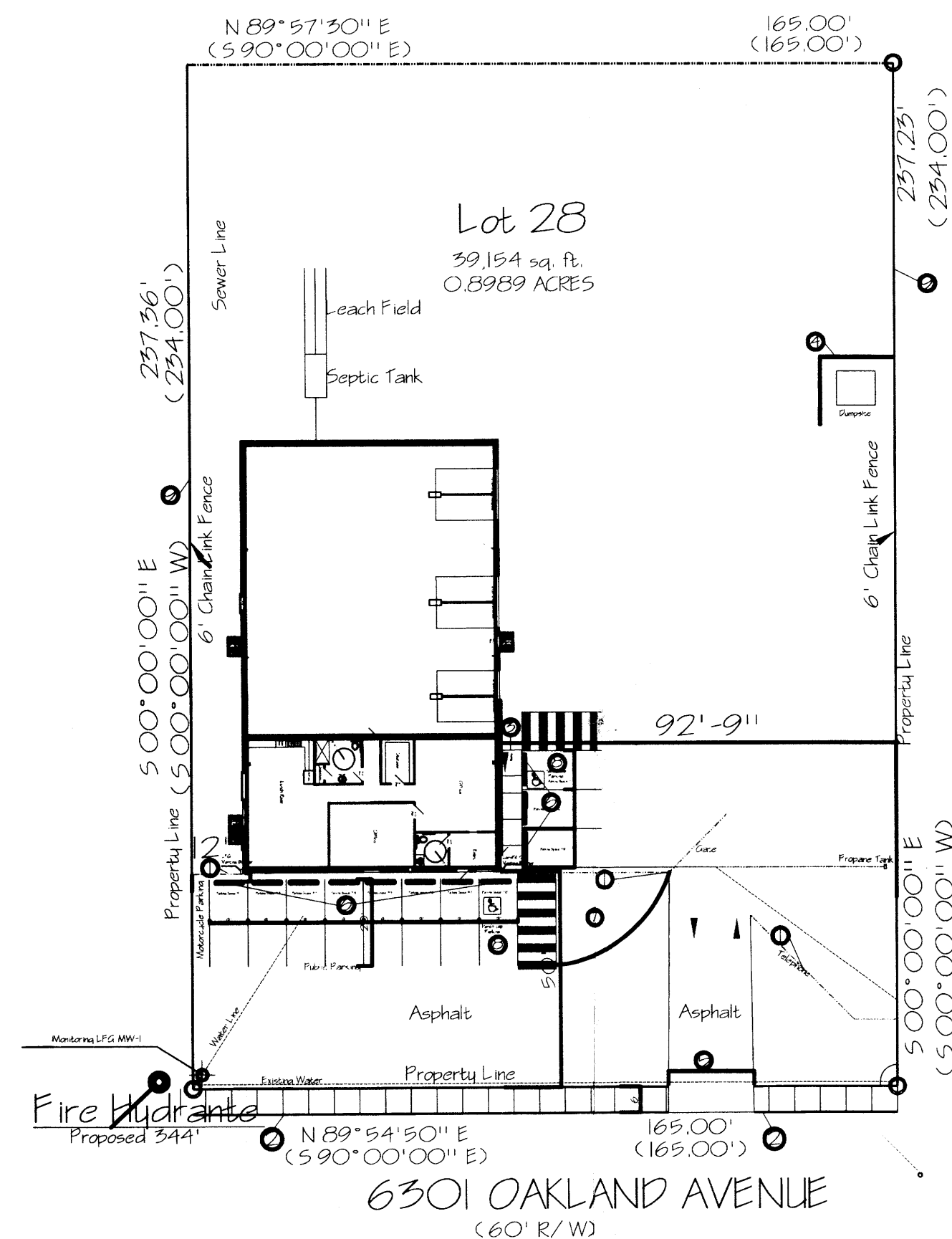
BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

1,746 SF OFFICE RETAIL/200 = 9 SPACES  
4,900 SF WAREHOUSE/ 2,000 = 2 SPACES  
SPACES REQUIRED = 11  
SPACES PROVIDED = 11

ACCESSIBLE SPACES REQUIRED = 1  
ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
MOTORCYCLE SPACES PROVIDED = 2



423' Existing Fire Hydrante

#### Keyed Notes

- 8' EXISTING HIGH METAL FENCE ON FRONTAGE OF STREET
- CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED
- CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
- TRASH ENCLOSURE, STUCCO
- DRIVEWAY ENTRY
- 6" CURB TO PROTECT LANDSCAPE OR BUILDING
- LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
- ACCESSIBLE PARKING SIGNAGE PER CITY CODE
- 6' EXISTING CHAIN LINK FENCE TO COMPLY WITH CITY ORDINANCE

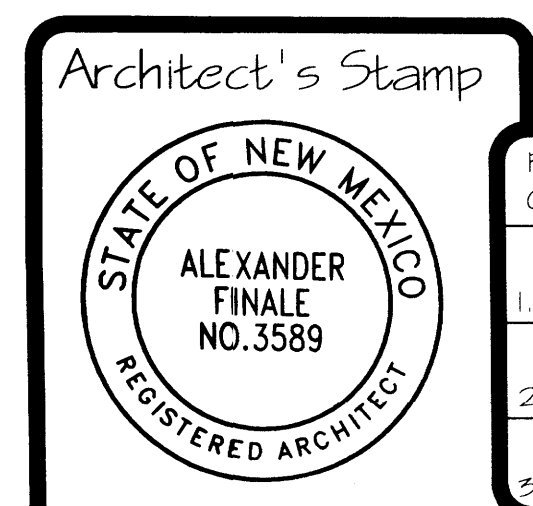
Ron Montoya Custom Designs  
Residential Design and Drafting Services  
4801 Alameda N.E., Suite G-1 New Mexico Design Center  
(505) 823-6474 Cell: (505) 823-6474 Fax: 823-6487

Coronado  
Albuquerque New Mexico  
Jan. 25, 2007  
Site Development Plan

Foot 1/16"  
Keyway (or 20')

# Site Development Plan

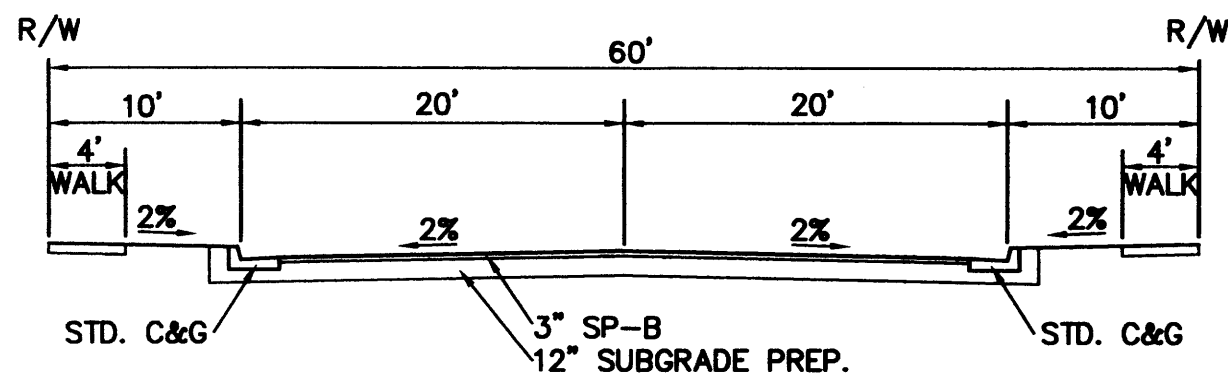
Scale 1/32" = 1'



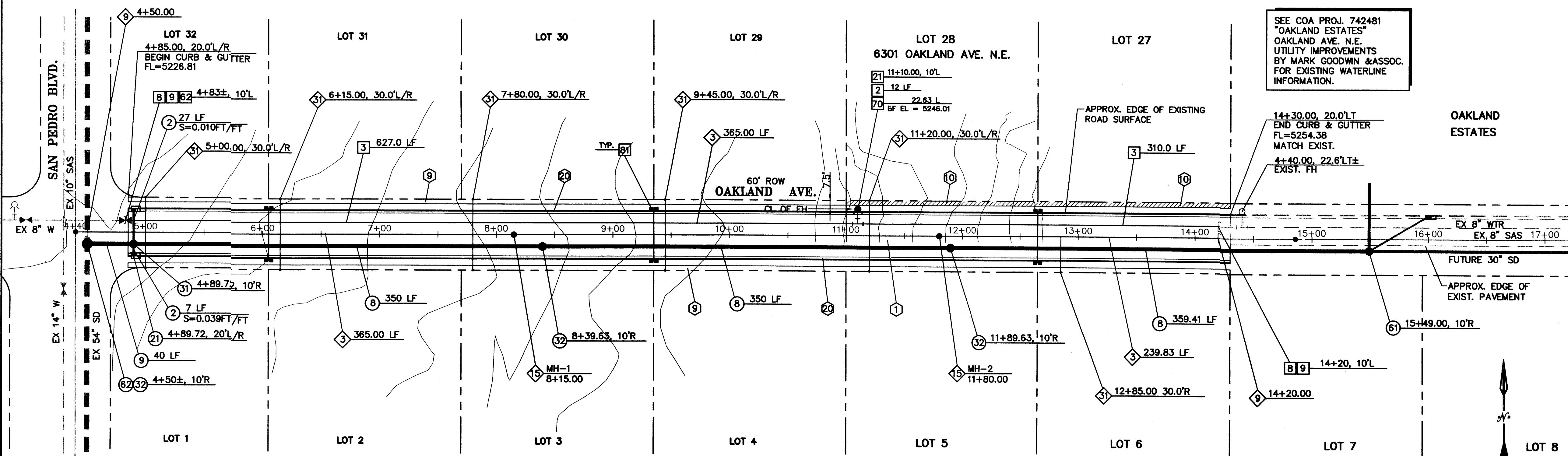
Final Drawing Checked By:  
1. M. Rinaldi  
2. M. Ortiz

Sheet  
3  
OF 11 Sheets

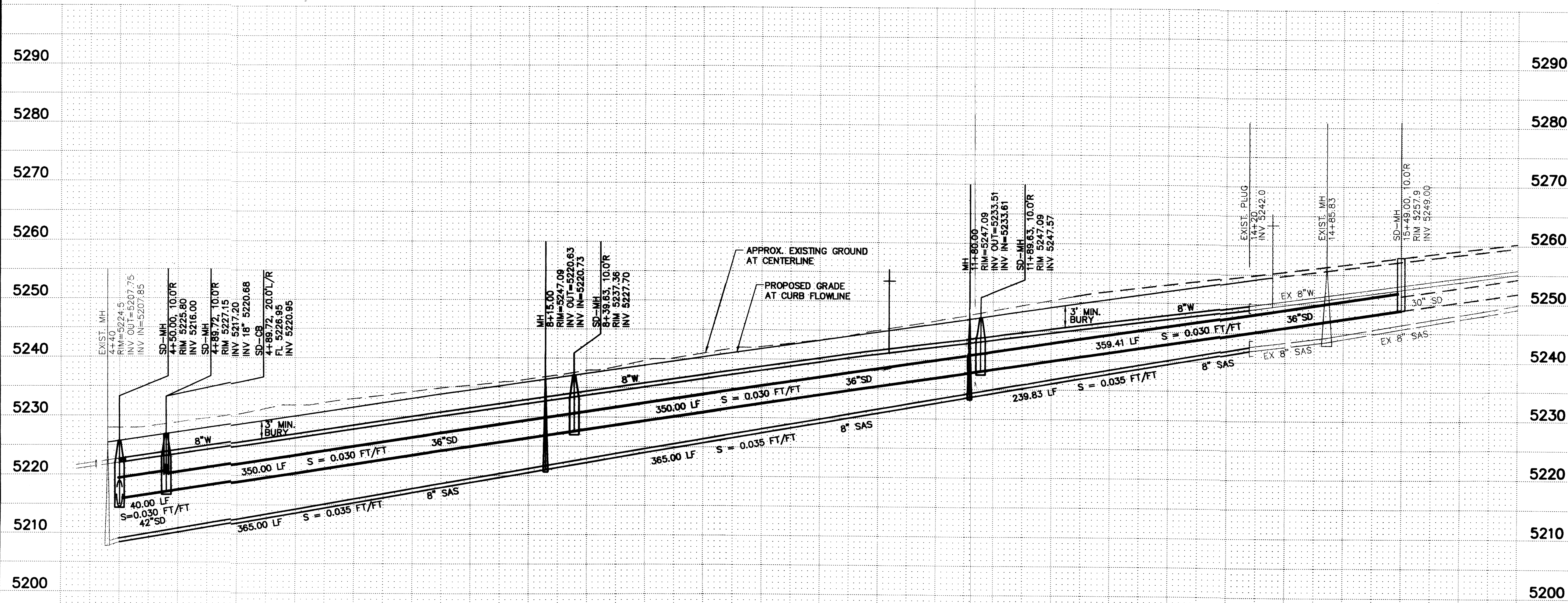




TYPICAL PAVEMENT SECTION  
STA. 4+85 TO 14+30



SCALE: 1" = 50' HORIZ.  
1" = 10' VERT.



WATER CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
2	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
3	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
8	REMOVE EXISTING FITTING
9	CONNECT NEW WATERLINE TO EXISTING WATERLINE PER COA STD. DTL. 2301
21	INSTALL 8" x 6" TEE
28	INSTALL 8" CAP
62	INSTALL 8" GATE VALVE AND VALVE BOX PER COA STD. DTL. 2326, 2328
70	INSTALL FIRE HYDRANT PER COA STD. DTL. 2340, 2347
81	INSTALL 3/4" DOUBLE WATER SERVICE PER COA STD. DTL. 2361

SEWER CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
3	INSTALL 8" SEWER PIPE PER STD. SPEC. SEC. 901
15	REMOVE EXISTING PLUG AND CONNECT NEW SEWER LINE TO EXISTING SEWER LINE
15	INSTALL 4" DIA. MANHOLE PER COA STD. DTL. 2101
31	INSTALL 6" SEWER SERVICE PER COA STD. DTL. 2125

STORM DRAIN CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
2	INSTALL 18" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
9	INSTALL 42" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DTL. 2201, 2202
31	INSTALL 6" DIA. MANHOLE PER COA STD. DTL. 2101
32	INSTALL 8" DIA. MANHOLE PER COA STD. DTL. 2101
61	CONNECT NEW STORM DRAIN LINE TO EXISTING STORM DRAIN MANHOLE
62	CONSTRUCT NEW STORM DRAIN MANHOLE ON EXISTING STORM DRAIN LINE

PAVING CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
1	BUILD ASPHALT PAVING, PER TYPICAL SECTION THIS SHEET
4	BUILD 4" PCC SIDEWALK, PER COA STD. DTL. 2430 (DEFERRED)
10	BUILD 4" PCC SIDEWALK, PER COA STD. DTL. 2430
20	BUILD PCC STD. CURB AND GUTTER, PER COA STD. DTL. 2415A

AS BUILT INFORMATION	
CONTRACTOR	DATE

BENCH MARKS	
CONTRACTOR	DATE

SURVEY INFORMATION	
NO.	DATE

**ENGINEER'S SEAL**

NO. DATE REMARKS BY

REVISIONS

DESIGN

DESIGNED BY: DATE: \_\_\_\_\_

DRAWN BY: DATE: \_\_\_\_\_

CHECKED BY: DATE: \_\_\_\_\_

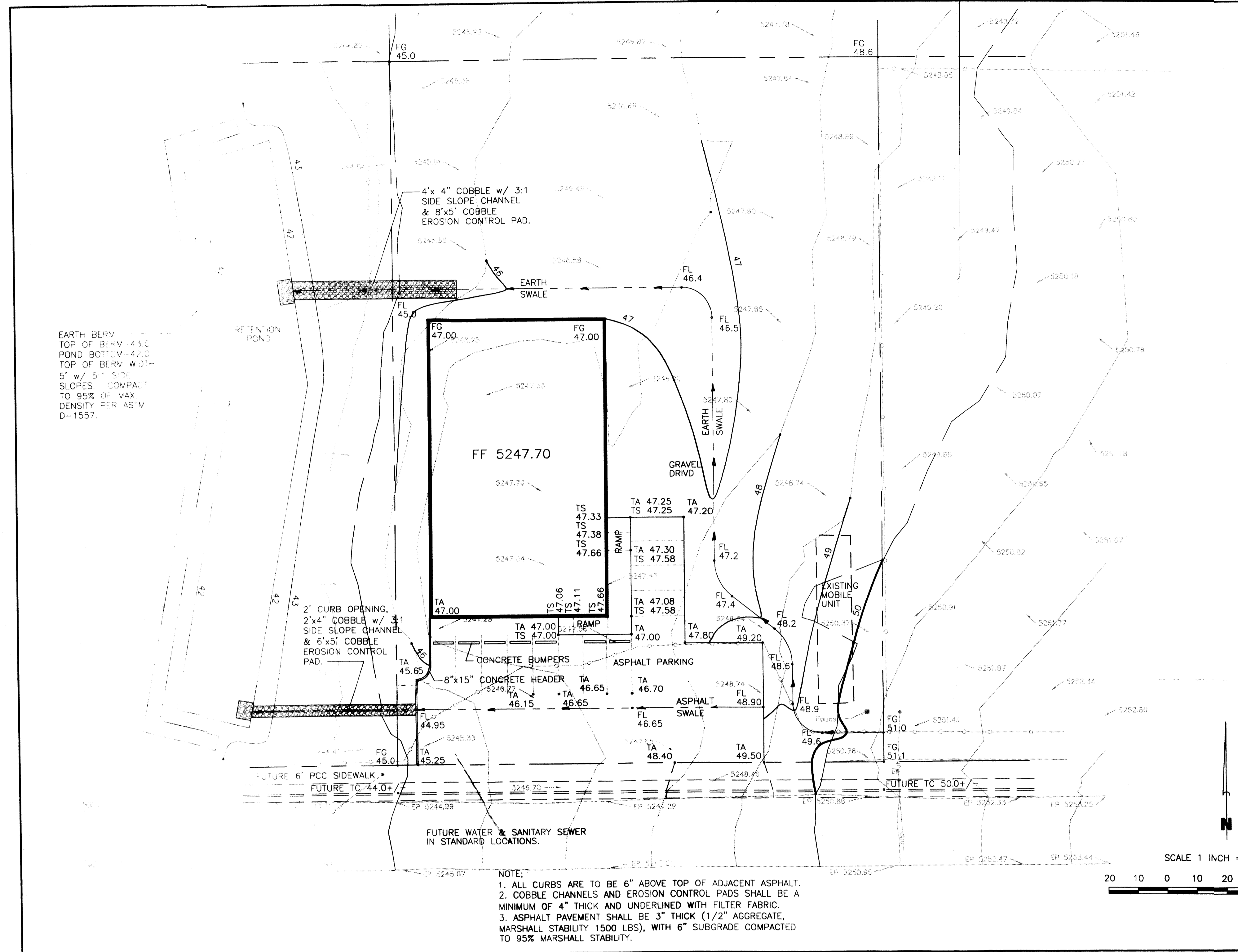
**GND, LLC**  
CONSULTING ENGINEERS  
5443 Paradise Blvd. NW  
Albuquerque, NM 87114  
Phone: (505) 899-6182  
Fax: (505) 899-6184

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING GROUP

CT TOWING  
6301 OAKLAND AVE. N.E.  
UTILITY, STORM & STREET PLAN & PROFILE

LATEST DESIGN UPDATE: MONTH/DAY/YEAR USER DEPARTMENT

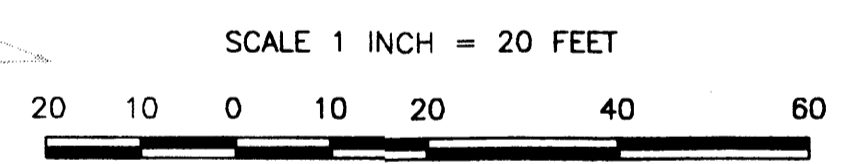




EARTH BERM  
TOP OF BERM 45.0  
POND BOTTOM 42.0  
TOP OF BERM W/ 5' w/ 5' SLOPES, COMPACT TO 95% OF MAX DENSITY PER ASTM D-1557.

2' CURB OPENING,  
2"x4" COBBLE W/ 3:1 SIDE SLOPE CHANNEL & 6'x5' COBBLE EROSION CONTROL PAD.

NOTE:  
1. ALL CURBS ARE TO BE 6" ABOVE TOP OF ADJACENT ASPHALT.  
2. COBBLE CHANNELS AND EROSION CONTROL PADS SHALL BE A MINIMUM OF 4" THICK AND UNDERLINED WITH FILTER FABRIC.  
3. ASPHALT PAVEMENT SHALL BE 3" THICK (1/2" AGGREGATE, MARSHALL STABILITY 1500 LBS), WITH 6" SUBGRADE COMPACTED TO 95% MARSHALL STABILITY.



**LEGAL DESCRIPTION**  
LOT 28, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

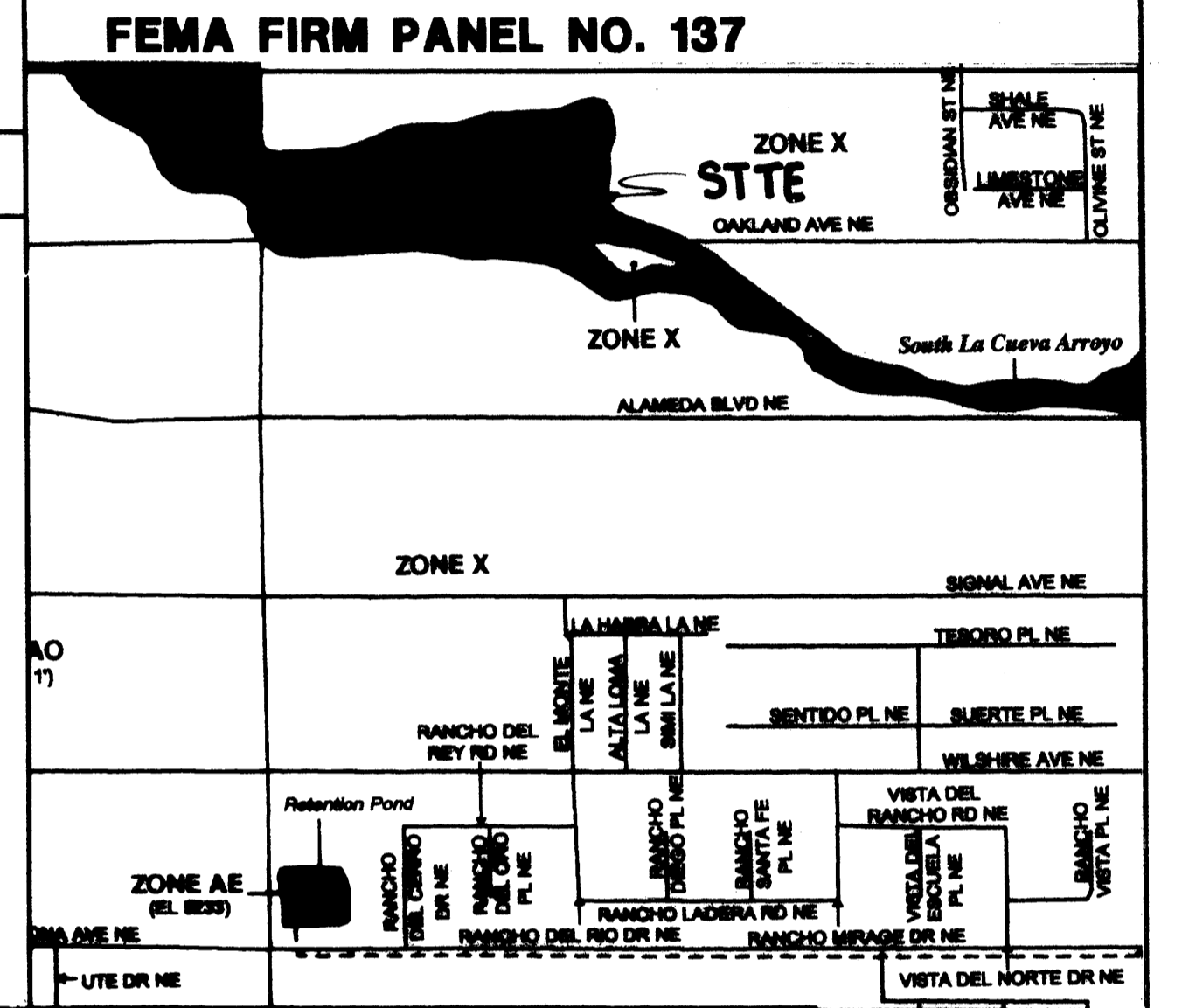
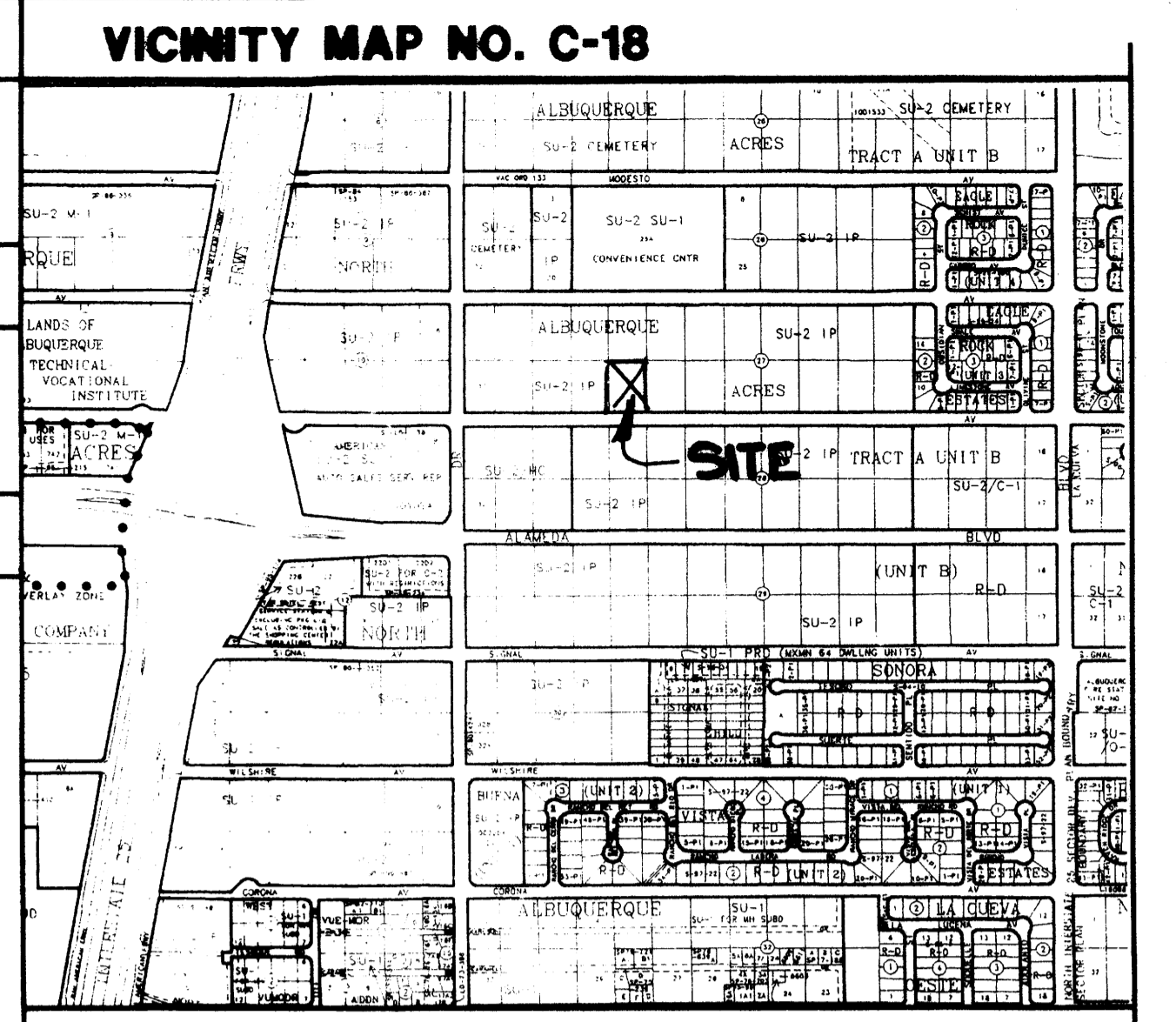
**PERMANENT BENCHMARK**  
ACS 10-C18 ELEVATION 5222.09 (NAD 88)

**GRADING NOTES**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

**EROSION CONTROL NOTES**

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



**LEGEND**

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS WATER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

**GENERAL NOTES**

- THE SITE HAS BEEN USED FOR AN AUTO WRECKING YARD FOR A NUMBER OF YEARS AND IS DEVOID OF VEGETATION AND THERE ARE NO DEFINED FLOW PATHS. DRAINAGE ENTERING THE SITE IS IN A SHEET FLOW CONDITION AND IS LIMITED TO THE ADJUTING NORTH AND EAST LOTS. THE AREAS NORTH AND EAST OF THAT ARE ROUTED TO AN EXISTING STORM DRAIN SYSTEM.
- A MASTER DRAINAGE PLAN WAS PREPARED FOR THE AREA BY RESOURCE TECHNOLOGIES, INC. IN OCTOBER, 1998. THAT PLAN WAS REVISED IN THE AREA OF THE SUBJECT SITE, MARK GOODWIN AND ASSOC. IN APRIL, 2004 UNDER THE TITLE "EAGLE ROCK STORM DRAIN ALLOCATION PLAN". THE ALLOCATION PLAN MOVED THE PROPOSED STORM DRAIN OAKLAND AVE. TO EAGLE ROCK AVE. AND ALLOCATED CONSTRUCTION COSTS OF THE SYSTEM TO AFFECTED PROPERTIES. THE ALLOCATED COST FOR THE SUBJECT PROPERTY IS \$9008.65.
- THE SUBJECT PROPERTY WILL BE A DEVELOPED (ISLAND) SURROUNDED BY UNDEVELOPED PROPERTIES. IT IS PROPOSED THAT A SUBDIVISION IMPROVEMENT AGREEMENT BE USED TO GUARANTEE FINANCING OF FUTURE CONSTRUCTION OF INFRASTRUCTURE IN OAKLAND AVE. IN THE MEANTIME A RETENTION POND WILL BE CONSTRUCTED ON THE LOT ADJACENT TO THE SUBJECT LOT. THE POND WILL BE SIZED TO RETAIN THE RUNOFF INCREASE FROM EXISTING CONDITIONS FOR THE 100 YEAR, 10 DAY STORM. THE POND WILL BE ELIMINATED AND RUNOFF ROUTED TO THE STREET, WHEN OAKLAND AVE. IS PAVED, AT THE SUBJECT LOT OWNER'S EXPENSE.
- THERE IS A FLOW INCREASE OF 0.40 AND 0.45 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY DUE TO DEVELOPMENT. THE 6 HOUR RUNOFF VOLUMES FOR THE TWO STORMS INCREASE BY 920 AND 1117 CUBIC FEET, RESPECTIVELY. THE REQUIRED RETENTION POND IS 3525 C.F. AND THE PROVIDED POND HAS A MAXIMUM CAPACITY OF 5999 C.F.
- THE SITE IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA (ZONE AO) PER FEMA FIRM PANEL NO. 137, DATED NOVEMBER, 2003. THE MAP IS BEING UPDATED BASED ON CONSTRUCTION DISCUSSED IN ITEM 2.
- TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED HALL CARTESIAN SURVEYS, INC., DATED SEPTEMBER, 2007.

**OFFSITE DRAINAGE MAP** SCALE 1" = 200'

**DRAINAGE DATA**

CONDITION	STORM PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cfs/acre	cu. ft. / cfs
EXISTING	10	A	0	0.19	0.58	0	0.00
		B	0	0.36	1.19	0	0.00
		C	39153	0.62	2	2023	1.80
		D	0	1.5	3.39	0	0.00
		TOTAL	39153			2023	1.80
DEVELOPED	100	A	0	0.66	1.87	0	0.00
		B	0	0.92	2.6	0	0.00
		C	39153	1.29	3.45	4209	3.10
		D	0	2.36	5.02	0	0.00
		TOTAL	39153			4209	3.10
DEVELOPED	10	A	0	0.19	0.58	0	0.00
		B	0	0.36	1.19	0	0.00
		C	26601	0.62	2	1374	1.22
		D	12552	1.5	3.39	1569	0.98
		TOTAL	39153			2943	2.20
DEVELOPED	100	A	0	0.66	1.87	0	0.00
		B	0	0.92	2.6	0	0.00
		C	26601	1.29	3.45	2860	2.11
		D	12552	2.36	5.02	2469	1.45
		TOTAL	39153			5328	3.55

**RETENTION POND**

**REQUIRED VOLUME (FROM DRAINAGE CALCULATIONS)**

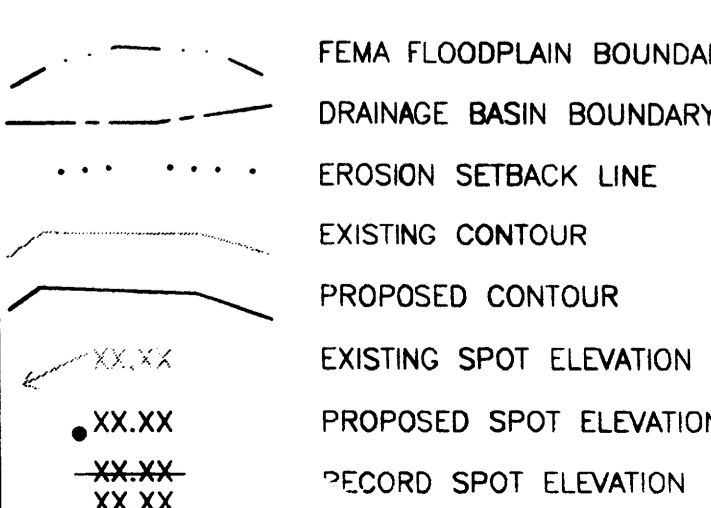
ACTUAL VOLUME  
 $V_{10\text{ day}} = 5328 + (12552)((4.90-2.60)/12) = 7734$

ALLOWED VOLUME  
 $V_{10\text{ day}} = 4209 + (0)((4.90-2.60)/12) = 4209$   
 3525 CF

**PROVIDED VOLUME (FROM GRADING PLAN)**

ELEVATION	AREA	VOLUME
42.0	4852	4852
43.0	7146	5999

Albuquerque  
Building & Safety  
JAN - 4 2008  
I.B.C.  
Plan Check Section



project title  
**CORONADO 6301 OAKLAND AVE NE ALBUQUERQUE, NM**

sheet title  
**GRADING & DRAINAGE PLAN**

sheet date 09/27/07 design by JJB project no. 0710

no. date remarks by

REVISIONS

Professional Engineer Seal: I.B.C. No. 5110, State of New Mexico

**BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105



Keyed Notes

- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
- CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED, ON SOUTH PROPERTY LINE
- CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
- TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
- DRIVEWAY ENTRY
- PARKING BUMPERS
- LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
- VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
- 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
- 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
- BUILD 60' CURB CUT PER COA STD 2425 30
- BUILD 4' WIDE SIDEWALK PER COA STD 2425
- MOTOR CYCLE RAMP AND PARKING VAN ACCESS AISLE (STIPED) (DEFERRED)
- PUBLIC RAMP TO HAVE A MAX 1:2 SLOPE
- BICYCLE RACK
- Cut-Off Wall (Per City Standard 24153)
- CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
- ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
- 45' ROLLING GATE

GENERAL NOTES

ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT, ALL EXISTING CONDITIONS DEMOLISHED.

Paint Legend

Quantity	Symbol	Plant	Proposed Size	Mature Size	Notes
	○	Discussion Shrub (Discour. 'Silver')			
	○	Shrub 'Valencia'	4'-0"	10' by 10'	1
	○	Shrub 'Chocoma'	4'-0"	9' by 7'	1
	○	Flowering Northern Star	4'-0"	7' by 9'	1
	○	Discussion Tree (Discour. 'Silver')			
	○	Tree 'Pavane'	6'-0"	12' by 8'	1
	○	Concordia 'Arctica' Shrub	6'-0"	35' by 20'	1
	○	Tree 'Eaton'	6'-0"	25' by 12'	1

423' Existing Fire Hydrante

Project Number: 1505760  
 Application Number: 08788-70180

This plan is consistent with the specific Site Development Plan approved by the Development Planning Commission (DPC), dated 6/27/08, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes ( ) No ( ) If yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRC Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: Date: 6-25-08  
 Signature: [Signature]  
 Date: 6/25/08  
 Signature: [Signature]  
 Date: 6/25/08

City Engineer: Date: \_\_\_\_\_

Environmental Health Department (conditional): Date: \_\_\_\_\_

Solid Waste Management: Date: 6/25/08  
 Signature: [Signature]  
 Date: 6/25/08

PARKING CALCULATIONS

PARKING CALCULATIONS

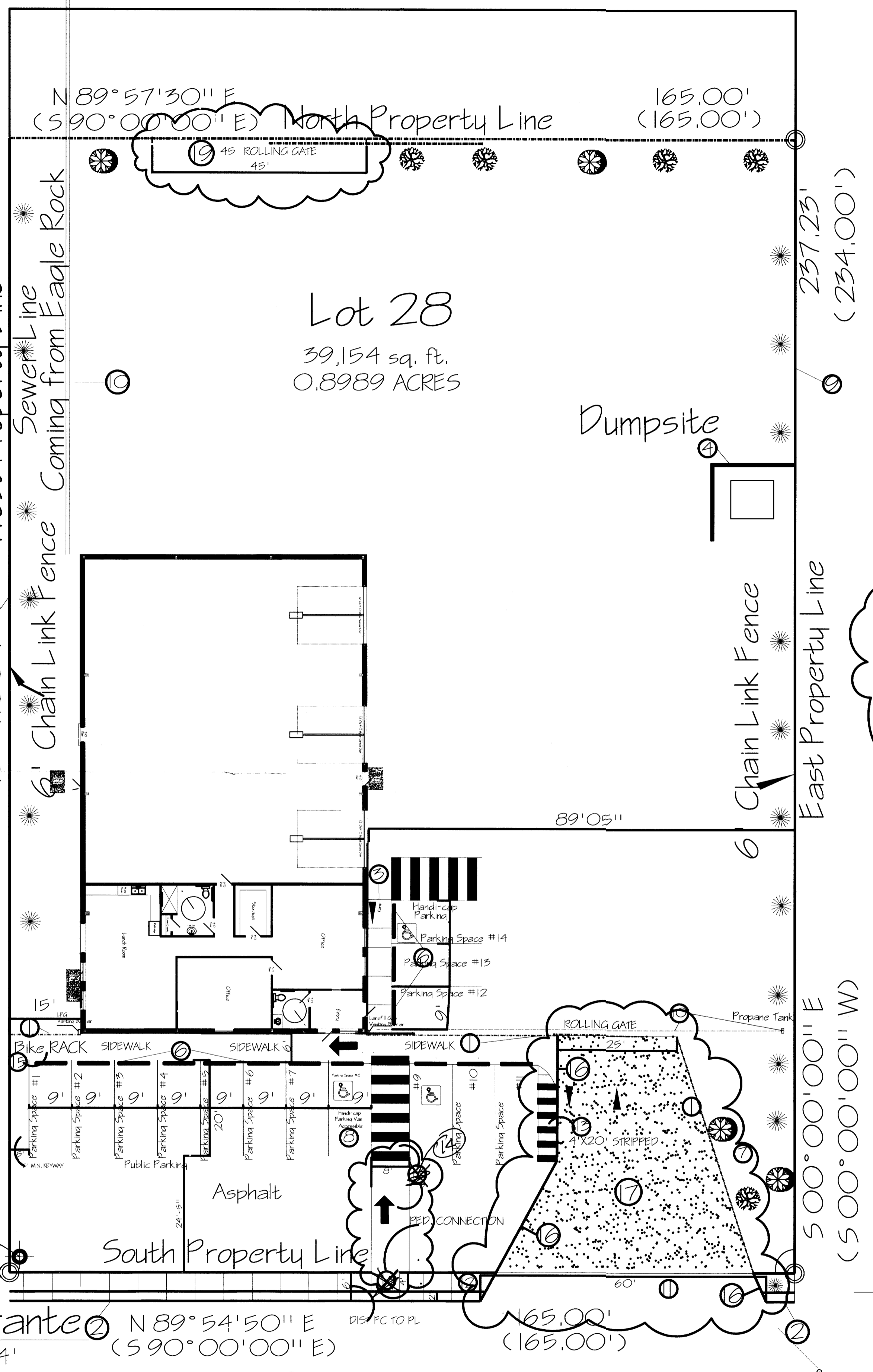
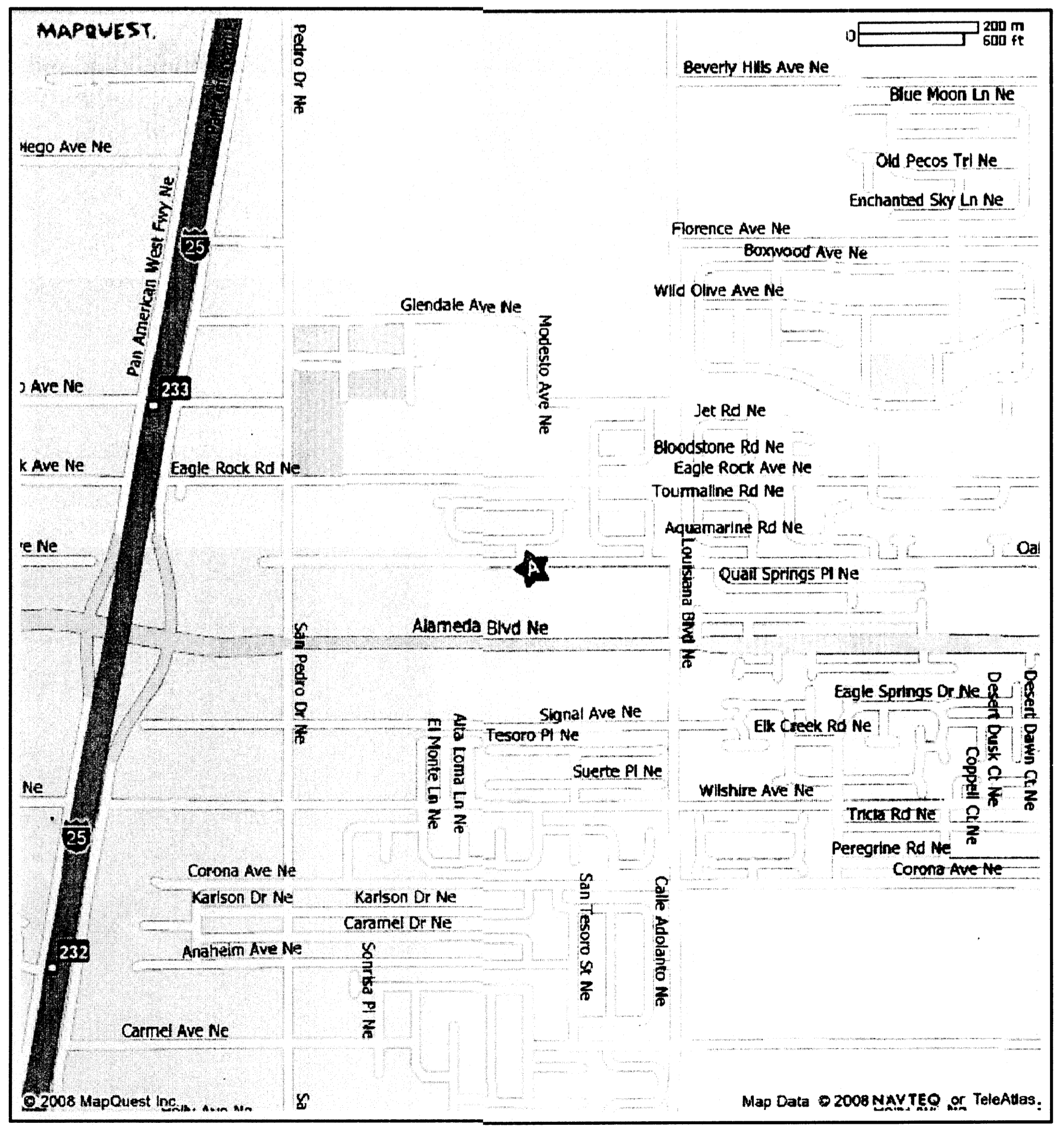
BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

665 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/ 200 = 3 SPACES  
 88 SF ENTRY /200 = 1  
 SPACES PROVIDED = 14

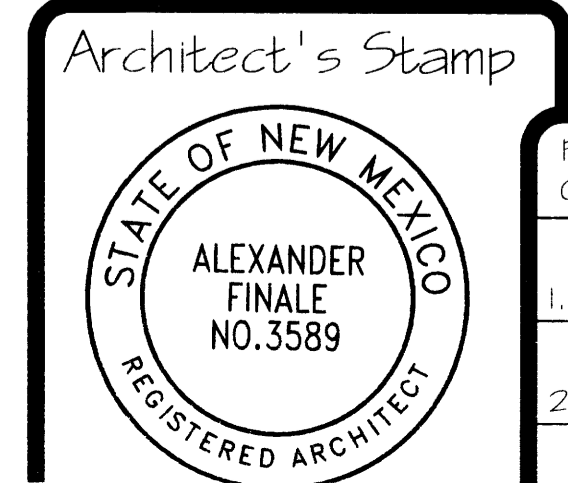
ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



Site Development Plan

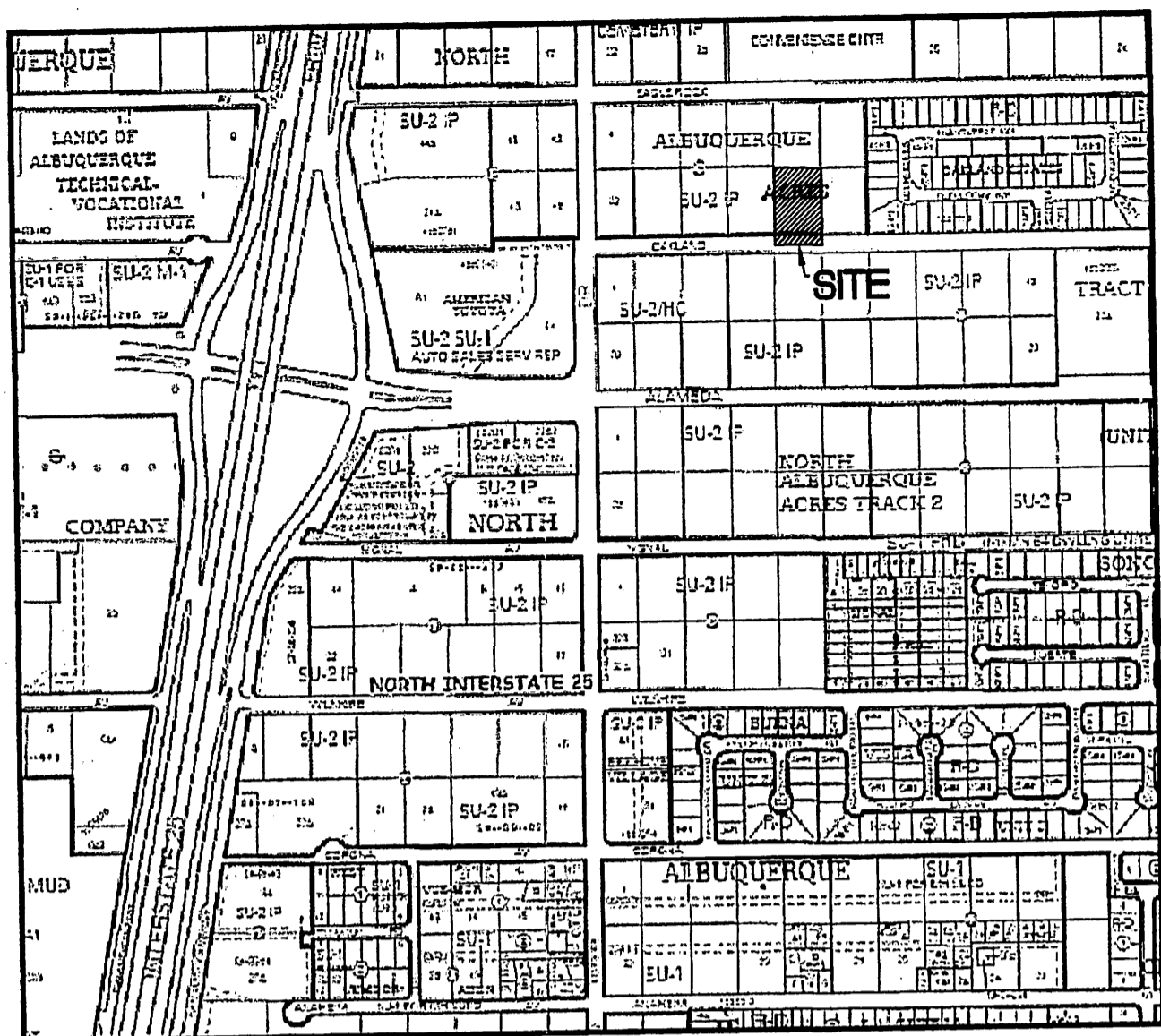
Scale 1" = 30'



Final Drawing Checked By:	Sheet
1. M. Rinaldi	3
2. M. Ortiz	

Jan. 25, 2007  
 Site Development Plan  
 Coronado  
 Albuquerque New Mexico  
 Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax 823-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Cent  
 (505) 823-6474 Cell. (505) 307-1003





Vicinity Map Zone Atlas C-18-Z n.t.s.



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101806433843611708  
 PROPERTY OWNER OF RECORD:  
**Colorado Auto Salvage**  
 BERNALILLO COUNTY TREASURER'S OFFICE  
*Victoria*

Plat of  
**Lot 28-A, Block 27**  
**North Albuquerque Acres**  
**Tract A, Unit B**  
 comprised of  
**Lot 28, Block 27**  
**North Albuquerque Acres Unit A, Tract B**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 June 2008

**Approved and Accepted by:**

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 08DRB-70265  
 Application Number 1006760

**City Approvals:**

	<u>6/6/08</u>
City Surveyor	Date
	<u>8/6/08</u>
Traffic Engineer	Date
	<u>6-18-08</u>
Roger A. Green	Date
	<u>6/18/08</u>
Christina Sandoval	Date
	<u>8/6/08</u>
Bradley L. Bingham	Date
AMAFCA	Date
	<u>6-18-08</u>
Anita A. Chene	Date
City Engineer	Date
	<u>6-18-08</u>
Greg Clark	Date
DBS Chairperson, Planning Department	Date
	<u>6/18</u>
Environmental Health Department	Date

- Notes**
1. FIELD SURVEY PERFORMED IN NOVEMBER 2006 AND JUNE 2008.
  2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
  3. BENCHMARK-REFERENCES ACS MONUMENT "9\_C18" HAVING AN ELEVATION OF 5232.470 (NAVD 1988)
  4. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE GRID COORDINATES (GRID-NAD 83).
  5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST. ELENA GALLEGOS GRANT.

**Free Consent & Dedication**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY DEDICATE IN FEE SIMPLE, TO THE CITY OF ALBUQUERQUE, THE NORTHERLY 30 FEET OF OAKLAND AVE., NE AS SHOWN HEREON AND GRANT ALL UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

MARTHA A. STAHNKE 6-6-08  
 DATE

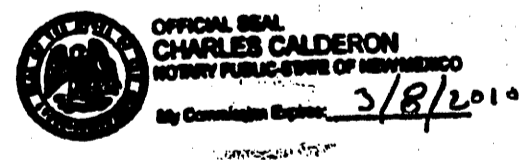
MIKE RAIOLA 6-6-08  
 DATE

**Solar Collection Note**

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:  
 NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**Acknowledgment**

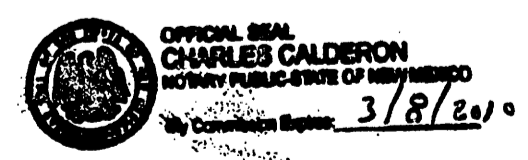
STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 6-6-08  
 MARTHA A. STAHNKE



NOTARY PUBLIC 3/8/2010  
 MY COMMISSION EXPIRES

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 6-6-08  
 MIKE RAIOLA



NOTARY PUBLIC 3/8/2010  
 MY COMMISSION EXPIRES

**Legal**

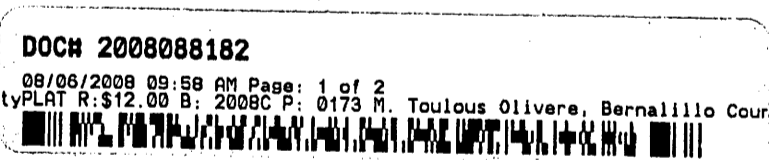
LOT NUMBERED TWENTY-EIGHT (28), BLOCK NUMBERED TWENTY-SEVEN (27), TRACT LETTERED "A", UNIT LETTERED "B" OF NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, IN BOOK D, PAGE 130.

**Purpose of Plat**

1. DEDICATE RIGHT OF WAY AS SHOWN HEREON

**Subdivision Data**

GROSS ACREAGE 1.0125 ACRES  
 ZONE ATLAS PAGE NO. C-18-2  
 NUMBER OF EXISTING TRACTS 1  
 NUMBER OF TRACTS CREATED 1  
 NUMBER OF TRACTS ELIMINATED 0  
 MILES OF FULL WIDTH STREETS 0.00  
 MILES OF HALF WIDTH STREETS 0.00  
 STREET DEDICATED TO THE CITY OF ALBUQUERQUE 0.1136 ACRES  
 DATE OF SURVEY JUNE 2008  
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER 2008232630  
 ZONING SU-2 IP



**Surveyor's Certificate**

"I, BRIAN J. MARTINEZ, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

BRIAN J. MARTINEZ 6/6/08  
 N.M.P.S. No. 18374 DATE

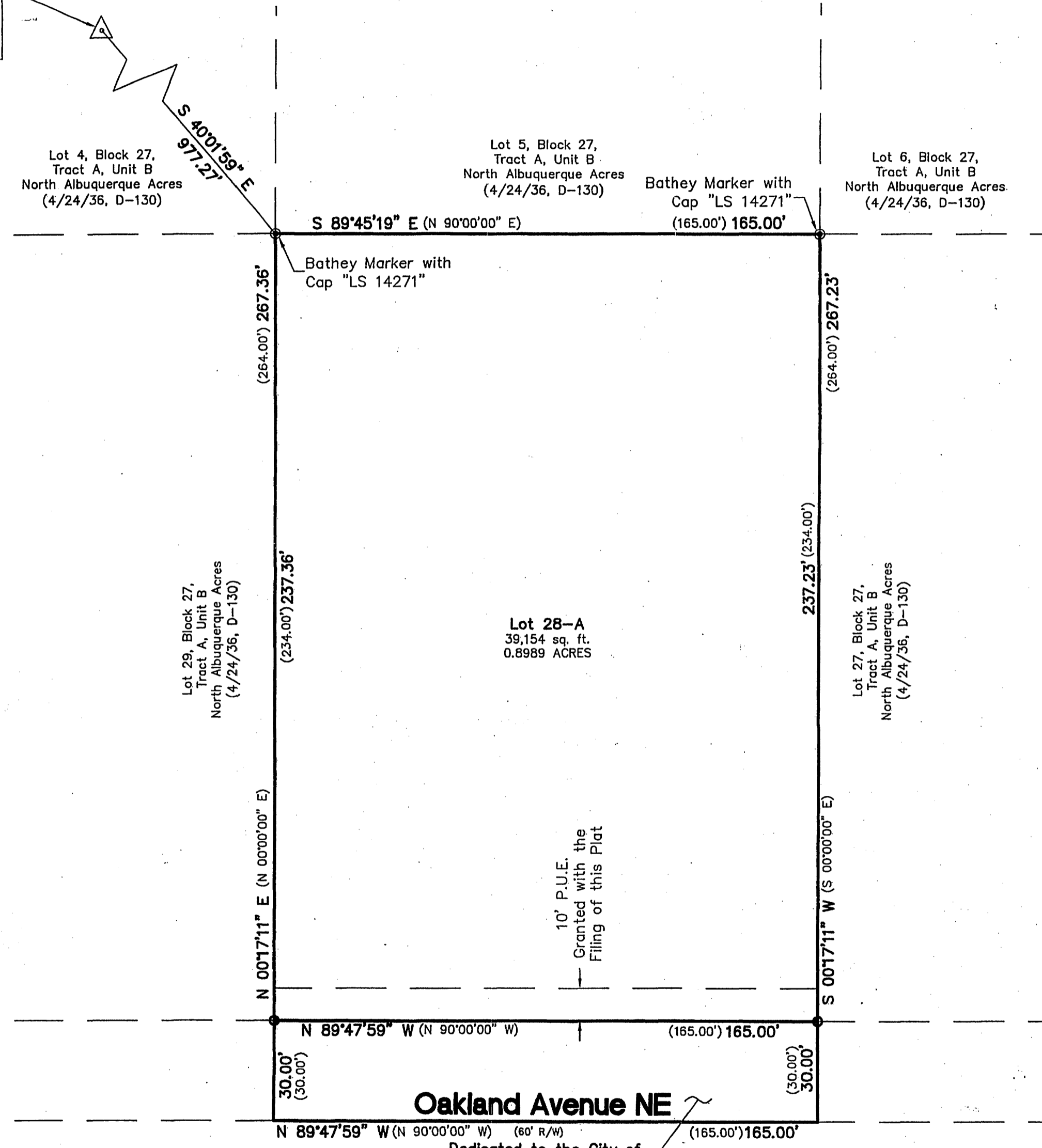


**CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



Plat of  
**Lot 28-A, Block 27**  
**North Albuquerque Acres**  
**Tract A, Unit B**  
 comprised of  
**Lot 28, Block 27**  
**North Albuquerque Acres Unit A, Tract B**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 June 2008

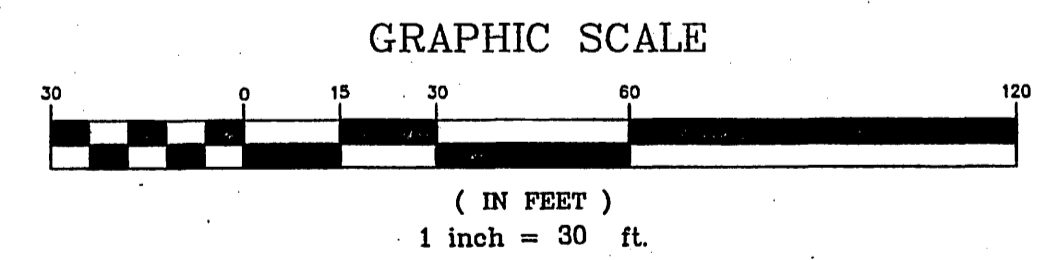
ACS Monument "10\_C18"  
 NAD 1983 CENTRAL ZONE  
 X=1542565.263  
 Y=1524123.885  
 Z=5222.090 (NAVD 1988)  
 G-G=0.999665042  
 Mapping Angle=-0°11'19.43"



**Oakland Avenue NE**  
 Dedicated to the City of Albuquerque in Fee Simple  
 4,950 sq. ft.  
 0.1136 ACRES

**Legend**

N 90°00'00" E MEASURED BEARING AND DISTANCES  
 FOUND AS INDICATED  
 SET BATHEY MARKER "LS 18374"



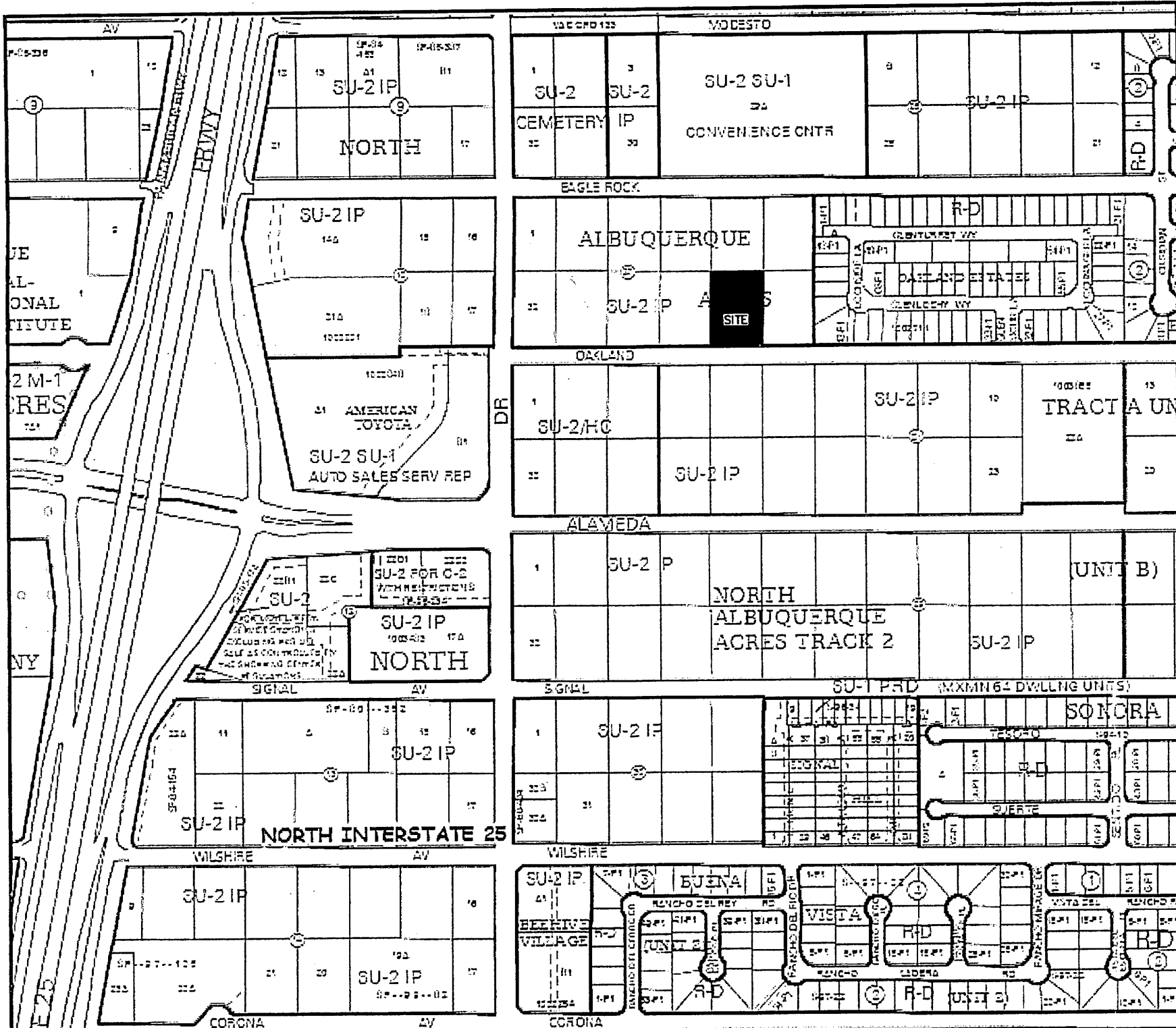
DOCH 2008088182  
 08/08/2008 09:58 AM Page: 2 of 2  
 PLAT R: \$12.00 B: 2008C P: 0173 M. Touiss Olivera, Bernalillo Cour



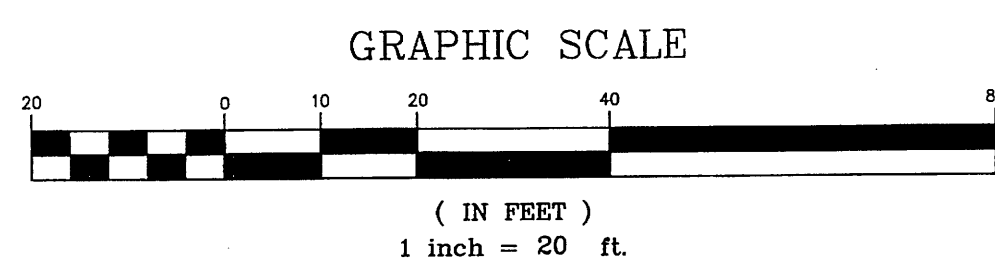
**CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



Topographic Map  
for  
Lot 28, Block 27  
Tract A, Unit B  
North Albuquerque Acres  
City of Albuquerque  
Bernalillo County, New Mexico  
September 2007

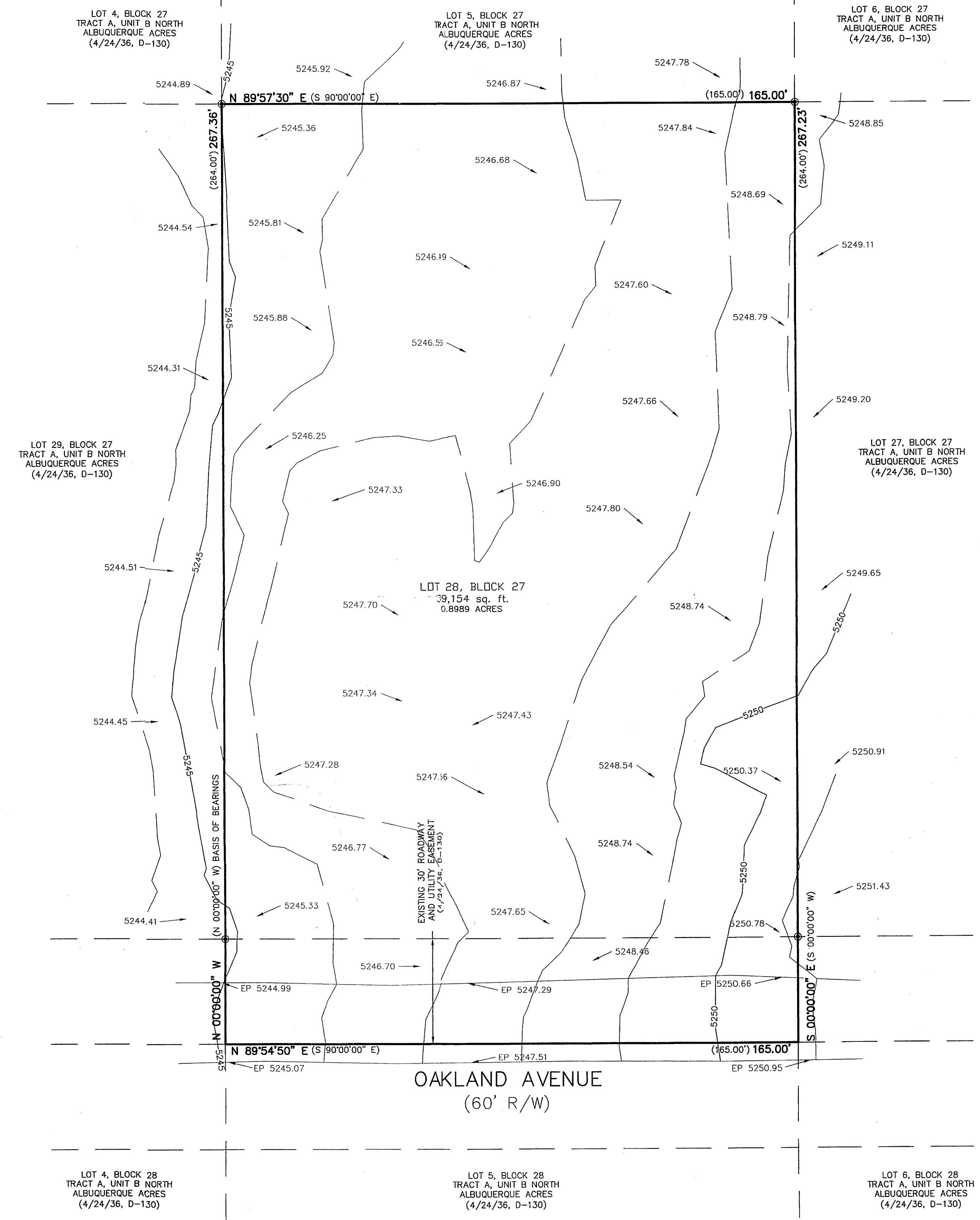
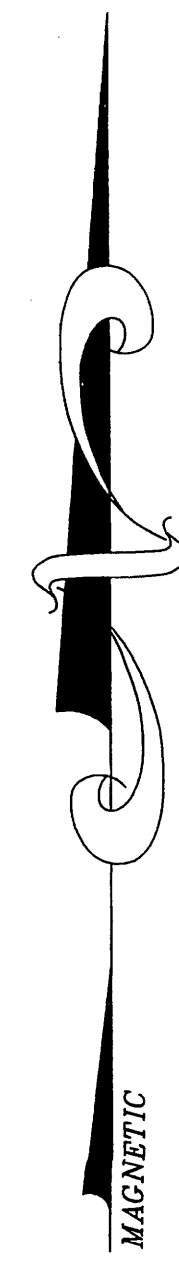


Vicinity Map



Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
N 90°00'00" E	MEASURED BEARING AND DISTANCES
⊙	FOUND BATHEY MARKER WITH CAP "14271"
EP 5245.07	EDGE OF PAVEMENT ELEVATION
5245.07	GROUND SPOT ELEVATION



THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

Benchmark

ACS MONUMENT "10-C18", HAVING AN ELEVATION OF 5222.09 FEET (NAVD 1988).

Notes

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2007.
2. ALL DISTANCES ARE GROUND DISTANCES; U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE PLAT OF RECORD.
4. THIS PROPERTY IS LOCATED ON ZONE ATLAS PAGE C-12-Z.
5. THIS PROPERTY IS CURRENTLY ZONED SU-2 IP.
6. A REMONUMENTATION SURVEY WAS PERFORMED BY THIS SURVEYOR PRIOR TO THE TOPOGRAPHIC SURVEY, THUS THE REASON FOR SHOWING MEASURED BEARINGS AND DISTANCES.

Legal

LOT TWENTY EIGHT (28), BLOCK TWENTY SEVEN (27), TRACT A, UNIT B, OF NORTH ALBUQUERQUE ACRES, WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST OF N.M.P.M., THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, IN BOOK D, PAGE 130.

Flood Notes

BASED UPON SCALING, THIS SUBJECT PROPERTY APPEARS TO BE IN ZONE "AO DEPTH 1 FOOT" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3500100137F, WHICH BEARS AN EFFECTIVE DATE OF 11/19/03 AND BEING DEFINED AS AN AREA WITH FLOOD DEPTHS OF 1 TO 3 FEET.

Surveyor's Certificate

I, WILL PLOTNER JR., A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

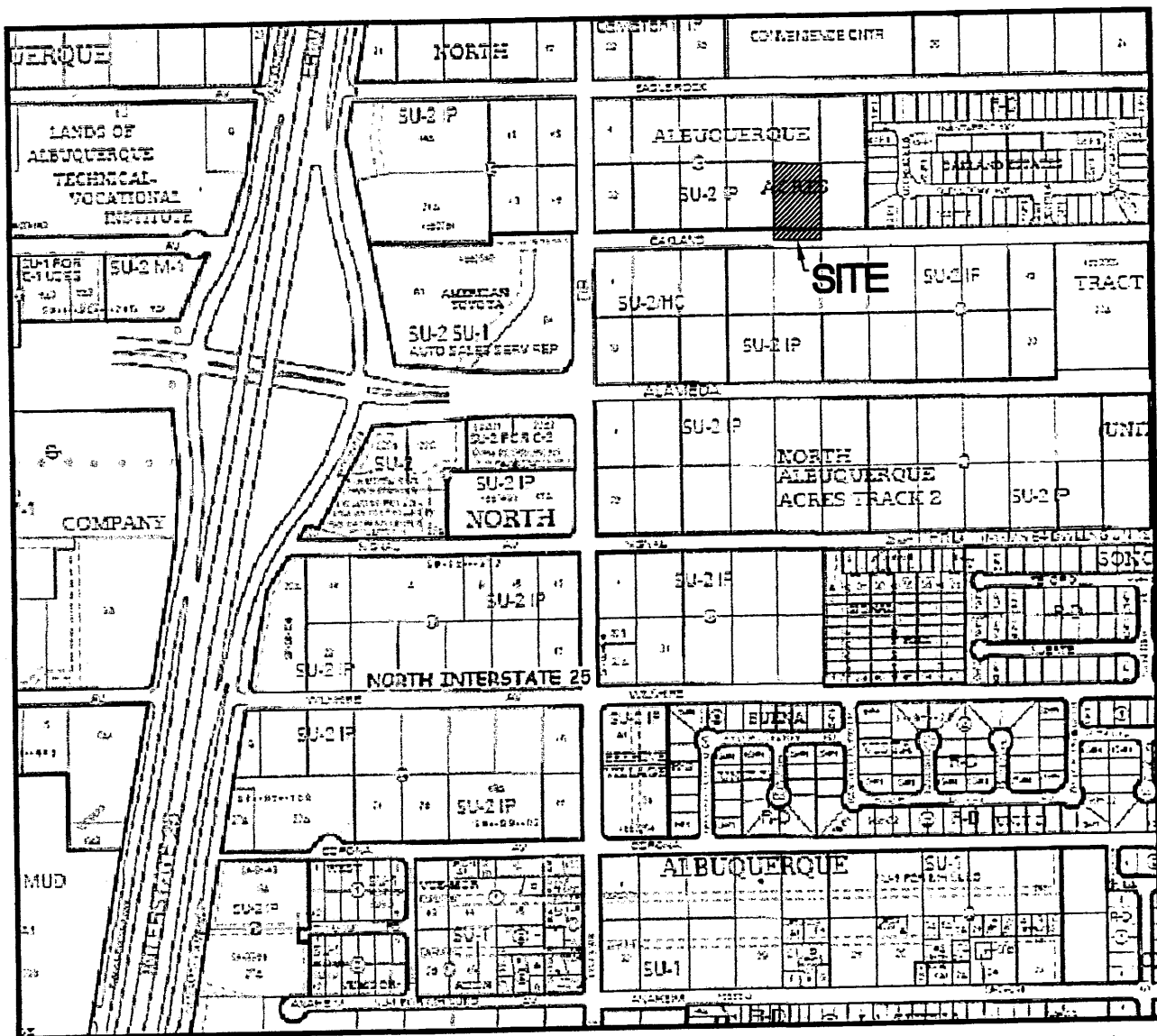
Will Plotner Jr. 9/17/07  
WILL PLOTNER JR.  
N.M.P.S. No. 14271 DATE

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244





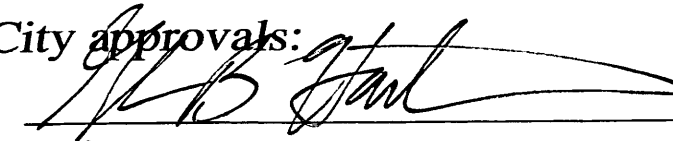


Vicinity Map Zone Atlas C-18-Z n.t.s.

Plat of  
**Lot 28-A, Block 27**  
**North Albuquerque Acres**  
**Tract A, Unit B**  
 comprised of  
**Lot 28, Block 27**  
**North Albuquerque Acres Unit A, Tract B**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 June 2008

Approved and Accepted by:  
 APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

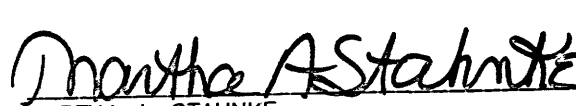
Project Number \_\_\_\_\_  
 Application Number \_\_\_\_\_


City Surveyor		6/6/08
Traffic Engineer	_____	Date
Water Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date
Environmental Health Department	_____	Date

- Notes**
1. FIELD SURVEY PERFORMED IN NOVEMBER 2006 AND JUNE 2008.
  2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
  2. BENCHMARK-REFERENCES ACS MONUMENT "9\_C18" HAVING AN ELEVATION OF 5232.470 (NAVD 1988)
  3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE GRID COORDINATES (GRID-NAD 83).
  4. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT.

**Free Consent & Dedication**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY DEDICATE IN FEE SIMPLE, TO THE CITY OF ALBUQUERQUE, THE NORTHERLY 30 FEET OF OAKLAND AVE., NE AS SHOWN HEREON AND GRANT ALL, UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

 6-6-08  
 MARTHA A. STAHNKE DATE

 6-6-08  
 MIKE RAIOLA DATE

**Solar Collection Note**  
 PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

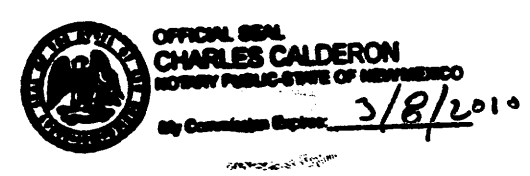
NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 6-6-08

MARTHA A. STAHNKE



**Legal**

LOT NUMBERED TWENTY-EIGHT (28), BLOCK NUMBERED TWENTY-SEVEN (27), TRACT LETTERED "A", UNIT LETTERED "B" OF NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, IN BOOK D, PAGE 130.

 3/8/2010  
 NOTARY PUBLIC MY COMMISSION EXPIRES

**Purpose of Plat**

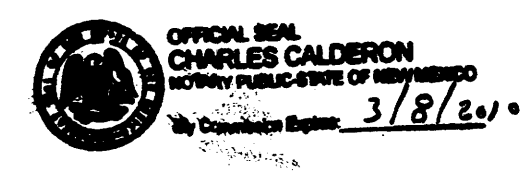
1. DEDICATE RIGHT OF WAY AS SHOWN HEREON

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 6-6-08

MIKE RAIOLA

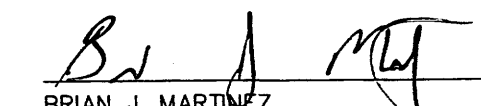


**Subdivision Data**

GROSS ACREAGE	1.0125 ACRES
ZONE ATLAS PAGE NO.	C-18-Z
NUMBER OF EXISTING TRACTS	1
NUMBER OF TRACTS CREATED	1
NUMBER OF TRACTS ELIMINATED	0
MILES OF FULL WIDTH STREETS	0.00
MILES OF HALF WIDTH STREETS	0.00
STREET DEDICATED TO THE CITY OF ALBUQUERQUE	0.1136 ACRES
DATE OF SURVEY	JUNE 2008
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER	2008232630
ZONING	SU-2 IP


**Surveyor's Certificate**

"I, BRIAN J. MARTINEZ, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

 6/6/08  
 BRIAN J. MARTINEZ DATE  
 N.M.P.S. No. 18374

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244

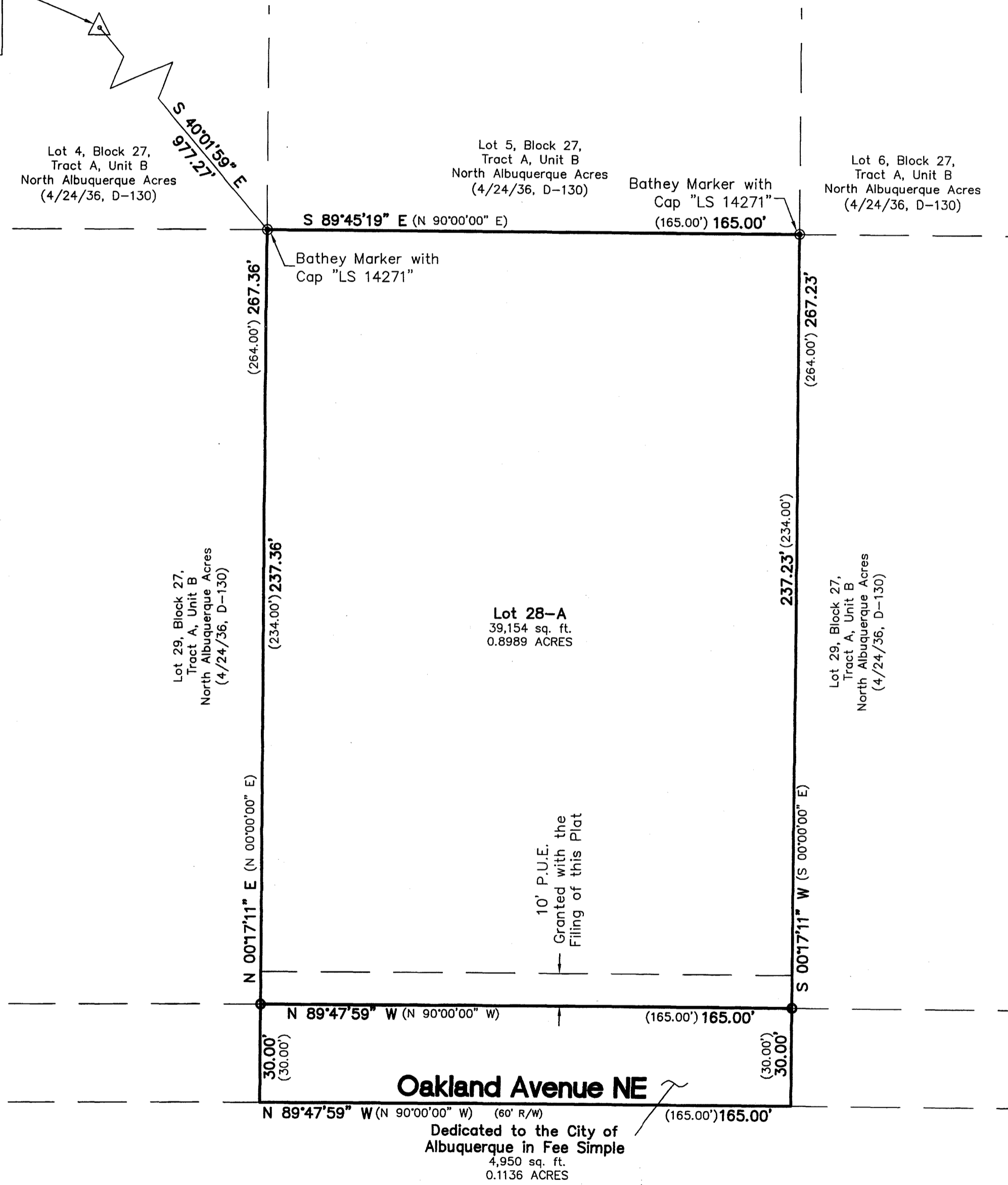


Sheet 1 of 2  
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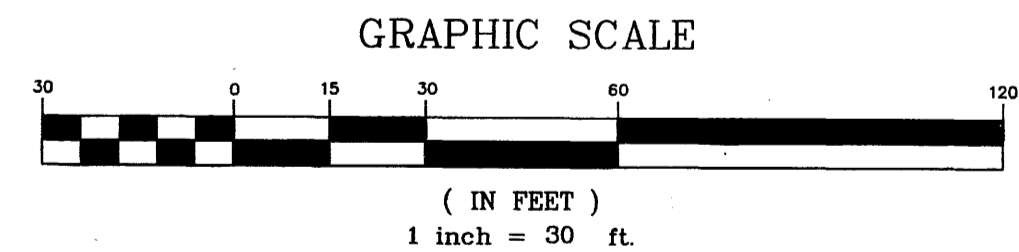
Plat of  
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**Tract A, Unit B**  
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 X=1542565.263  
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 G-G=0.999665042  
 Mapping Angle=-0°11'19.43"



**Legend**

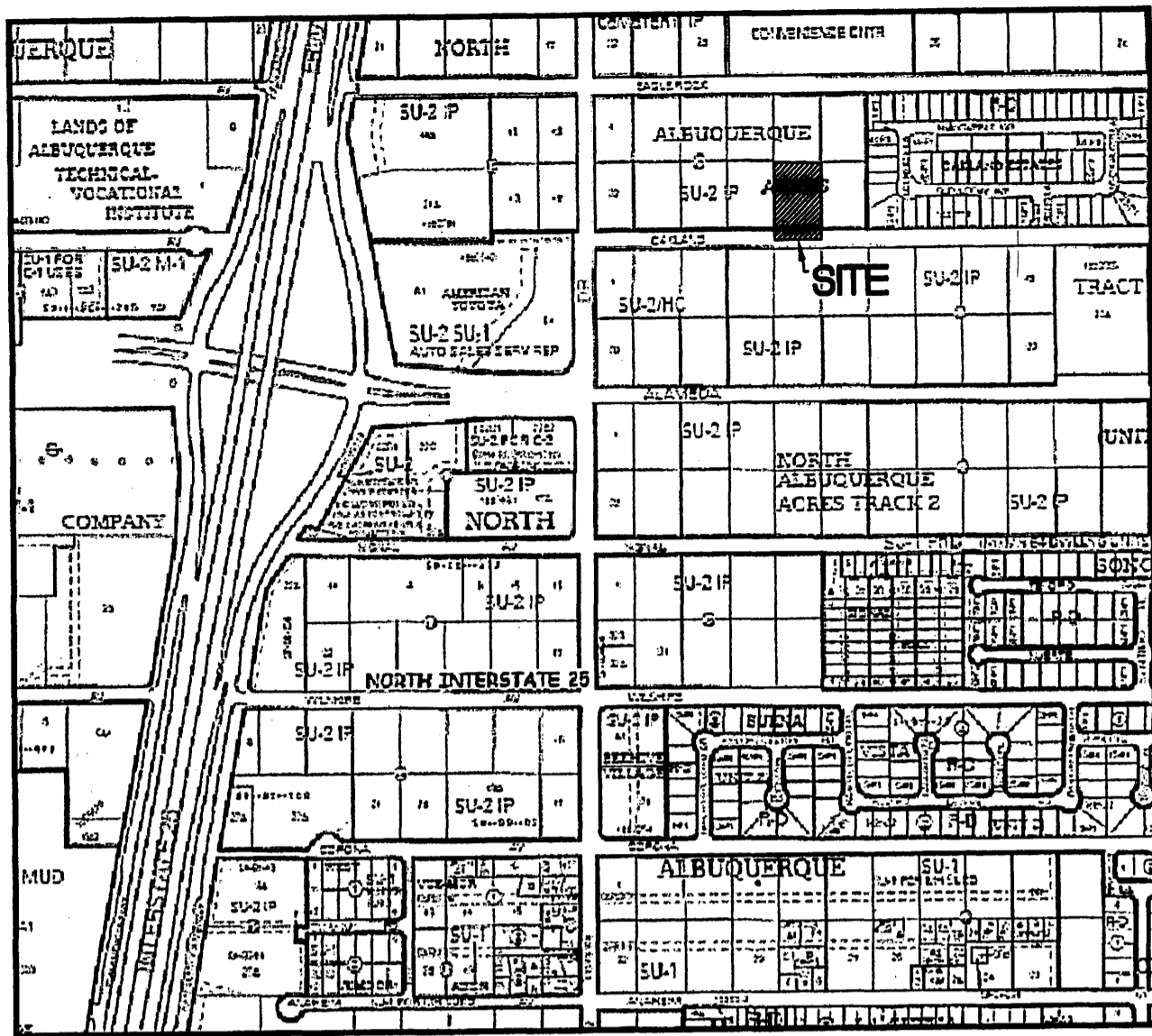
N 90°00'00" E MEASURED BEARING AND DISTANCES  
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 Phone (505) 896-3050 Fax (505) 891-0244





Vicinity Map Zone Atlas C-18-Z n.t.s.



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101806433843611708  
 PROPERTY OWNER OF RECORD:  
**COLONADO AUTO SALVAGE**  
 BERNALILLO COUNTY TREASURER'S OFFICE  
*Wick*

Plat of  
**Lot 28-A, Block 27**  
**North Albuquerque Acres**  
**Tract A, Unit B**  
 comprised of  
**Lot 28, Block 27**  
**North Albuquerque Acres Unit A, Tract B**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 June 2008

**Approved and Accepted by:**

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 08DRB-70265  
 Application Number 1006760

**Notes**

1. FIELD SURVEY PERFORMED IN NOVEMBER 2006 AND JUNE 2008.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK-REFERENCES ACS MONUMENT "9\_C18" HAVING AN ELEVATION OF 5232.470 (NAVD 1988)
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*Martha A. Stahnke* 6-6-08  
 MARTHA A. STAHNKE DATE

*Mike Raiola* 6-6-08  
 MIKE RAIOLA DATE

**Acknowledgment**

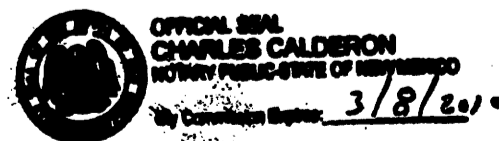
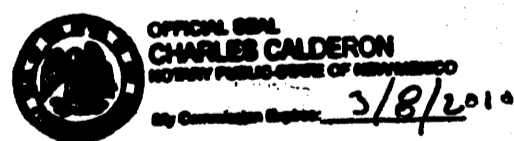
STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 6-6-08  
 MARTHA A. STAHNKE

*Charles Calderon* 3/8/2010  
 NOTARY PUBLIC MY COMMISSION EXPIRES

**Acknowledgment**

STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }  
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 MIKE RAIOLA

*Charles Calderon* 3/8/2010  
 NOTARY PUBLIC MY COMMISSION EXPIRES



**Solar Collection Note**

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

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**Purpose of Plat**

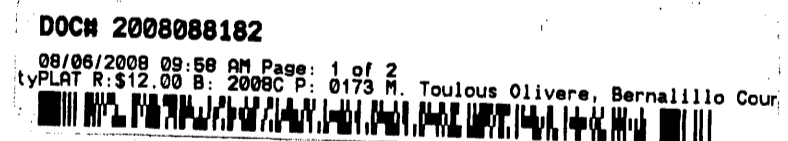
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**Subdivision Data**

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 ZONE ATLAS PAGE NO. C-18-Z  
 NUMBER OF EXISTING TRACTS \_\_\_\_\_  
 NUMBER OF TRACTS CREATED 1  
 NUMBER OF TRACTS ELIMINATED 0  
 MILES OF FULL WIDTH STREETS 0.00  
 MILES OF HALF WIDTH STREETS 0.00  
 STREET DEDICATED TO THE CITY OF ALBUQUERQUE 0.1136 ACRES  
 DATE OF SURVEY JUNE 2008  
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER 2008232630  
 ZONING SU-2 IP

**City Approvals:**

*[Signature]* 6/6/08  
 City Surveyor Date  
*[Signature]* 8/6/08  
 Traffic Engineer Date  
*Roger A. Green* 6-18-08  
 Water Utilities Development, ABCWUA Date  
*Christina Sandoval* 6/18/08  
 Parks and Recreation Department Date  
*Bradley L. Bisher* 5/6/08  
 AMAFCA Date  
*Carla A. Chae* 6-18-08  
 City Engineer Date  
*[Signature]* 6-18-08  
 DBS Chairperson, Planning Department Date  
*[Signature]* \_\_\_\_\_  
 Environmental Health Department Date



**Surveyor's Certificate**

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*Brian J. Martinez* 6/6/08  
 BRIAN J. MARTINEZ DATE  
 N.M.P.S. No. 18374

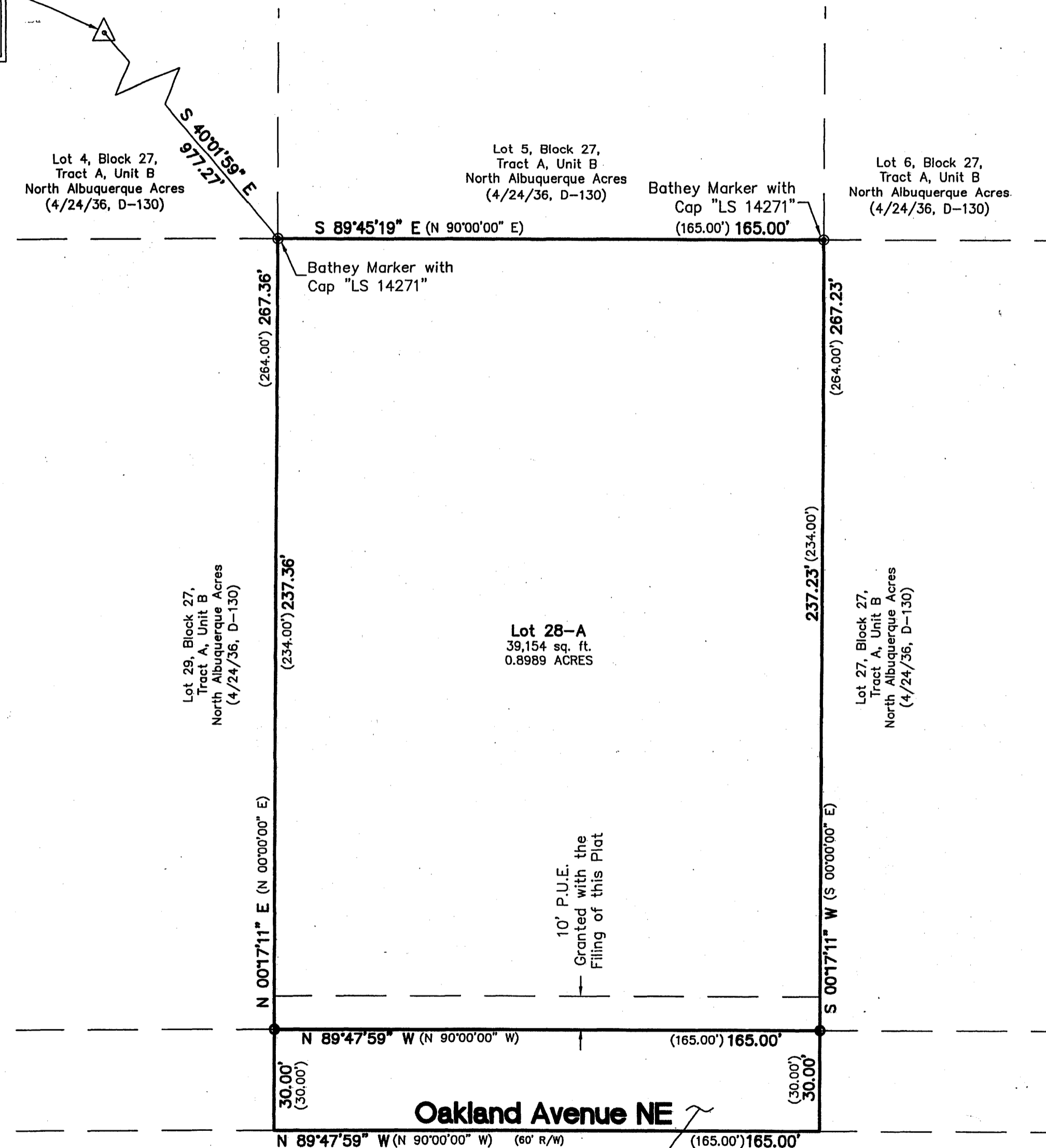


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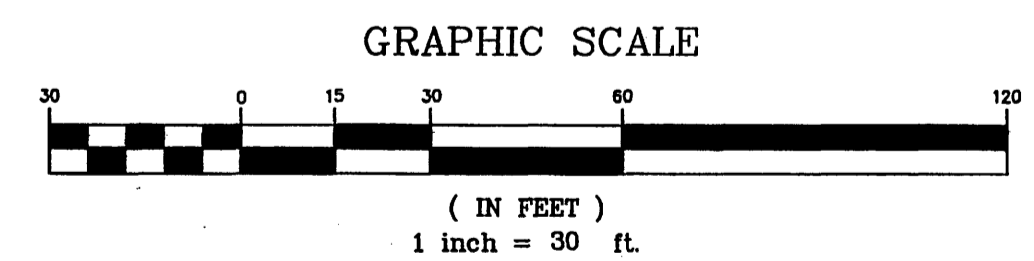
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 Bernalillo County, New Mexico  
 June 2008

ACS Monument "10\_C18"  
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 Y=1524123.885  
 Z=5222.090 (NAVD 1988)  
 G-G=0.999665042  
 Mapping Angle=-0°11'19.43"



**Oakland Avenue NE**  
 Dedicated to the City of Albuquerque in Fee Simple  
 4,950 sq. ft.  
 0.1136 ACRES

**Legend**  
 N 90°00'00" E MEASURED BEARING AND DISTANCES  
 ● FOUND AS INDICATED  
 ○ SET BATHEY MARKER "LS 18374"



DOCH 2008088182  
 08/06/2008 09:58 AM Page: 2 of 2  
 tyPLAT R: \$12.00 B: 2008C P: 0173 R. Toulous Olivere, Bernalillo Cour.



**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



Project Number: 1006760  
 Application Number: 08788-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Department dated 6/22/04 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes ( ) No ( ) If yes, then a set of approved IRC plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.

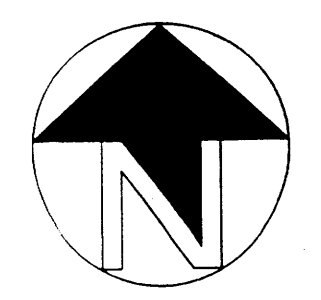
URS Site Development Plan Stamp Approval

Public Engineering, Transportation Division: Date: 6-25-08  
 Public Works and Recreation Department: Date: 6/25/08  
 City Engineer: Date: \_\_\_\_\_  
 Environmental Health Department (conditional): Date: \_\_\_\_\_  
 Solid Waste Management: Date: 6/25/08  
 Other City Personnel, Working Department: Date: \_\_\_\_\_

URS ADMINISTRATIVE SITE PLAN AMENDMENT  
 PROJECT NO. 1006760  
 APPLICATION NO. 08788-70180  
 PLANNING DIRECTOR: [Signature] DATE: 06-17-09

PARKING CALCULATIONS

PROJECT 1006760 AA



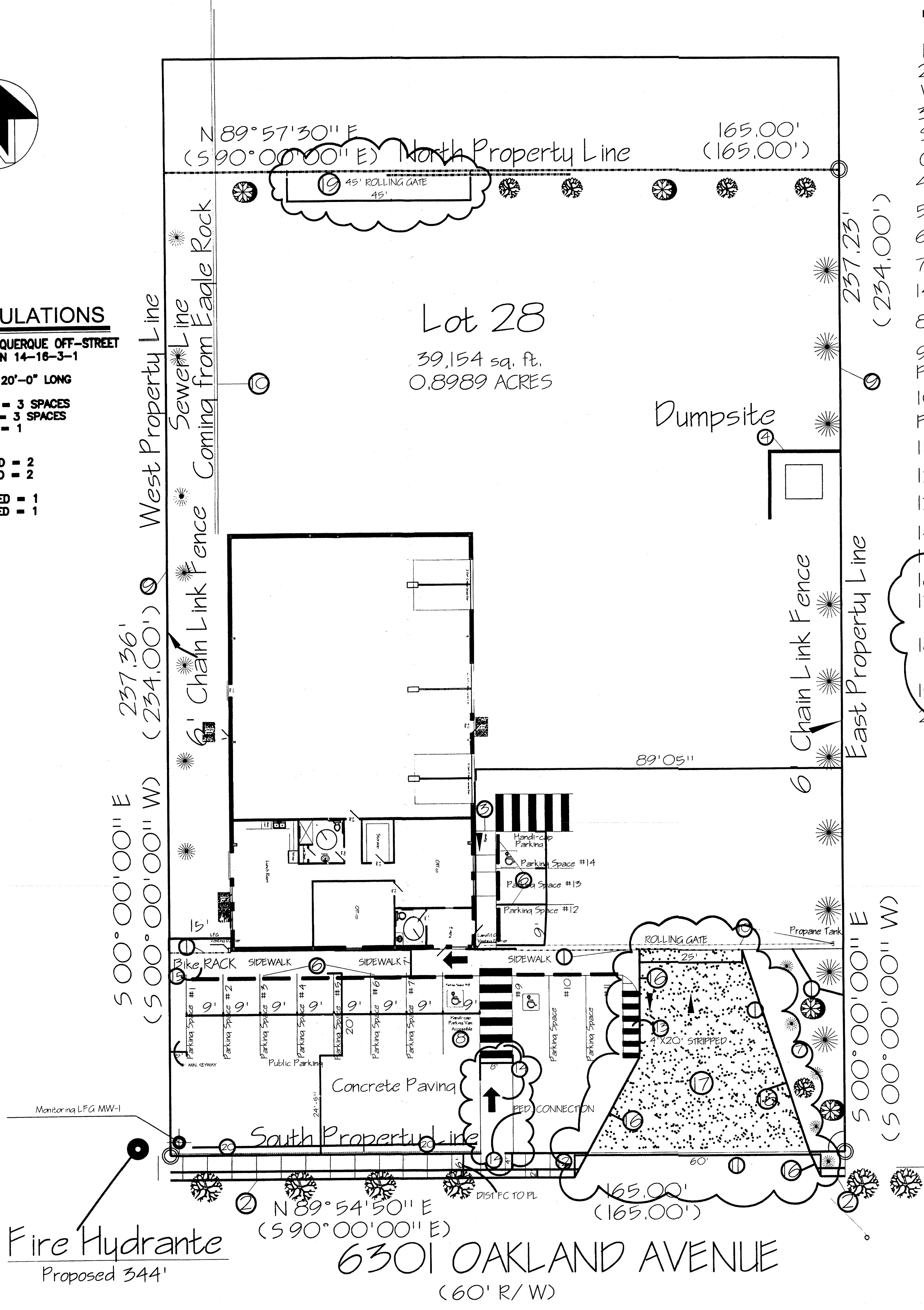
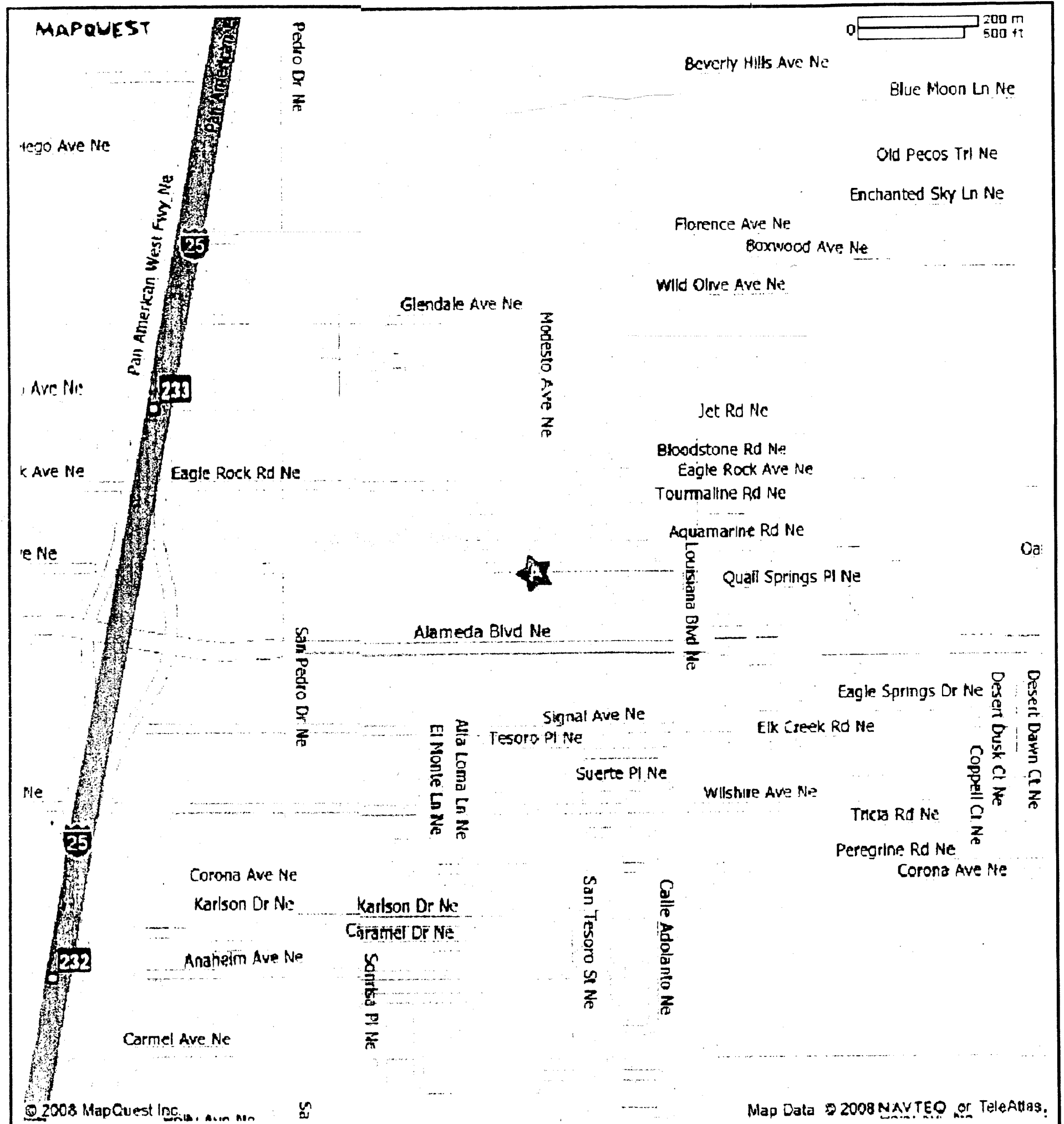
**PARKING CALCULATIONS**  
 BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

885 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/ 200 = 3 SPACES  
 88 SF ENTRY / 200 = 1  
 SPACES PROVIDED = 14

ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Keyed Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED, ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4061
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
  - VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
  - 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
  - 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
  - BUILD 60' CURB CUT PER COA STD 2425
  - BUILD 4' WIDE SIDEWALK PER COA STD 2430 Differentiated
  - MOTOR CYCLE RAMP AND PARKING
  - VAN ACCESS AISLE STRIPED
  - BICYCLE RACK
  - Cut-Off Wall (Per City Standard 2415B)
  - CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
  - ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
  - 45' ROLLING GATE
  - 3' CHAIN LINK FENCE W/ LIVE VINE

GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS TO BE MAINTAINED, ALL EXISTING CONDITIONS DEMOLISHED.

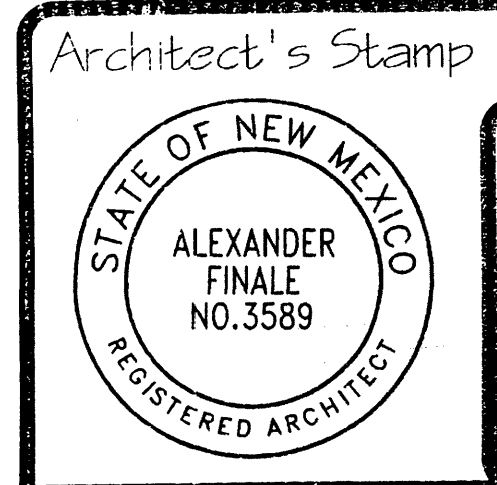
Plant Legend

Symbol	Plant Name	Plant Size	Plant Spacing
(Symbol)	Arundo donax (Cane)	4.00' x 4.00'	10' x 10'
(Symbol)	Arundo donax (Cane)	4.00' x 4.00'	10' x 10'
(Symbol)	Arundo donax (Cane)	4.00' x 4.00'	10' x 10'

423' Existing Fire Hydrante

# Site Development Plan

Scale 1" = 30'



Final Drawing Checked By:

1. M. Rinaldi
2. M. Ortiz
3.

Sheet 3  
 Of 11 Sheets

Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax 825-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 825-6474 Cell: (505) 507-1005

Jan. 25, 2007  
 Site Development Plan

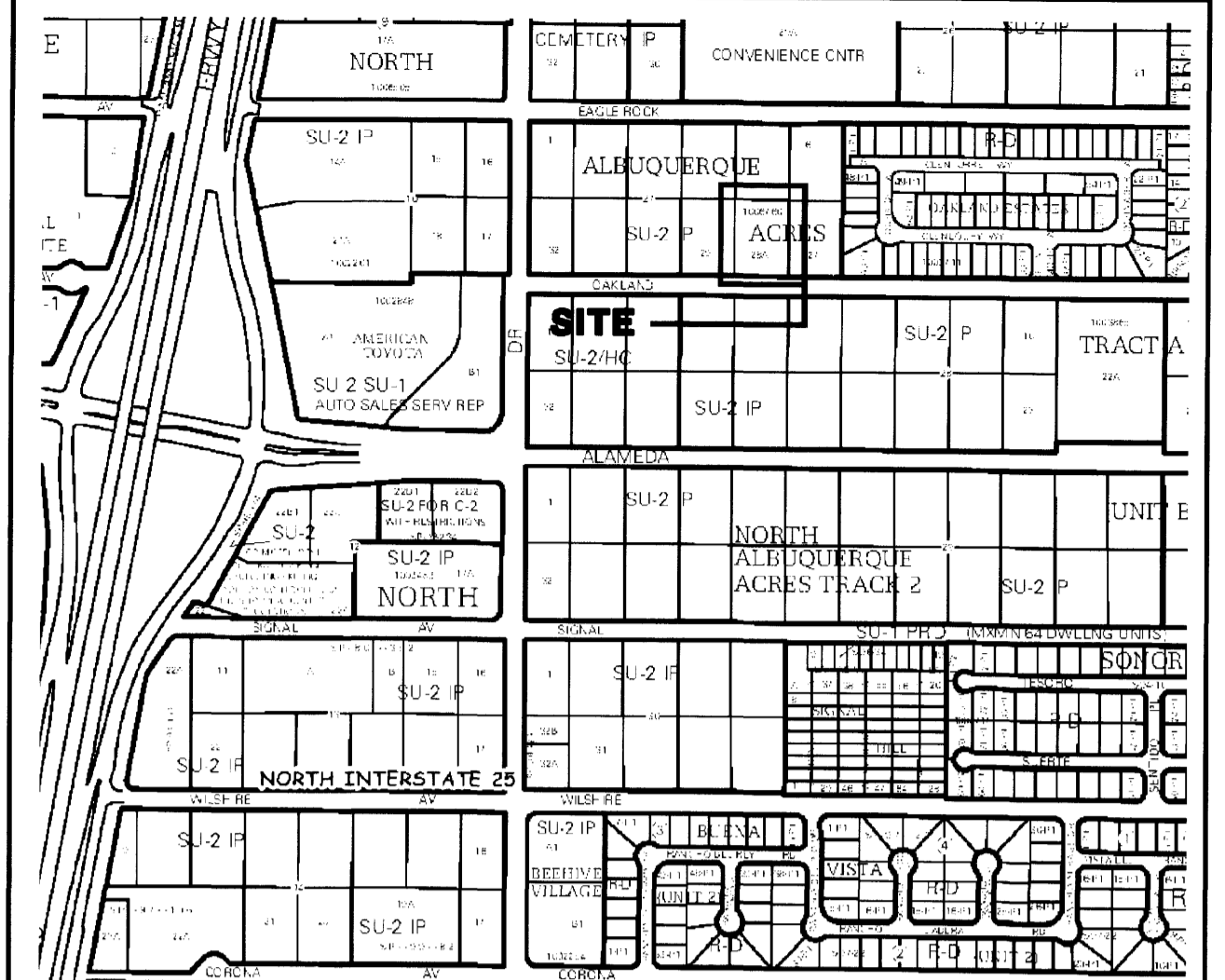
Coronado  
 Albuquerque New Mexico







**VICINITY MAP NO. C-18**



**PLANT LEGEND**

Quantity	Symbol	Plant	Planted Size	Mature H & W
<i>Deciduous Shrubs (Drought Tolerant)</i>				
		Syringa Vulgaris	4'-0"	15' by 10'
		Syringa chinensis	4'-0"	9' by 7'
		Parosphia Northern Sun	4'-0"	7' by 9'
<i>Evergreens Trees (Drought Tolerant)</i>				
		Ulmus Parvifolia Lacinated Elm	8'-10"	70' by 35'
		Cupressus Arizonica Glebea	6'-0"	35' by 20'
		Pinus Edulis	6'-0"	25' by 12'

**KEYED NOTES**

1. FUTURE CONCRETE STD. CURB & GUTTER PER COA STD. DWG. 2415A.
2. FUTURE 4' WIDE CONCRETE SIDEWALK ACROSS FRONTAGE PER COA STD. DWG. 2430.
3. FUTURE 60' WIDE CONCRETE DRIVEPAD PER COA STD. DWG. 2425.
4. REFUSE ENCLOSURE. STUCCO EAST SIDE OF EAST WALL. NOTE: OWNER IS REQUIRED TO REMOVE DUMPSTER FROM FENCED ENCLOSURE AND PLACE IT AT STREET SIDE ON CITY COLLECTION DAYS DUE TO CONTROLLED ACCESS INTO FENCED ENCLOSURE.
5. ENTRY DRIVEWAY. SURFACE WITH ASPHALT MILLINGS.
6. CONCRETE PARKING BUMPERS. ANCHOR TO CONCRETE SLAB.
7. LANDSCAPING IN COMPLIANCE WITH CITY ZONING ORDINANCE 14.16.3.10.
8. VAN ACCESSIBLE HC PARKING AND SIGN.
9. EXISTING 6' CMU WALL FENCE ON WEST PROPERTY LINE.
10. SAS AND WATER SERVICE LINES TO EXISTING MAINS IN EAGLE ROCK. AVE.
11. MOTORCYCLE PARKING.
12. BICYCLE RACK.
13. CUTOFF WALL PER COA STD. DWG. 2415B.
14. ALL CONCRETE WALKWAYS TO BE FLUSH WITH ADJACENT CONCRETE PAVEMENT.
15. 45' ROLLING GATE.
16. 20' ROLLING GATE.
17. WALK GATE.
18. CONCRETE PAVEMENT.
19. EXISTING 8' HIGH METAL FENCE AT FRONT OF LOT.
20. 4" WIDE PAINTED WHITE STRIPE.
21. 12" WIDE PAINTED WHITE STRIPE AT 4.0' ON CENTER.

**DRB AMMENDMENT APPROVAL**

DRB PROJECT NO. : 1006760

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

TRANSPORTATION DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

SOLID WASTE MANAGEMENT \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

**GENERAL INFORMANTION**

LEGAL DESCRIPTION: LOT 28A, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO

PROPOSED USE: VEHICLE IMPOUND LOT

CURRENT ZONING: SU-2/IP

STRUCTURE DATA: OFFICE AREA - 1891 S.F.  
WAREHOUSE AREA - 4175 S.F.  
TOTAL AREA - 6066 S.F.  
SINGLE STORY - LESS THAN 26 FT. HIGH

PHASING: NO PHASING IS PROPOSED FOR THIS PROJECT.

**PARKING CALCULATIONS**

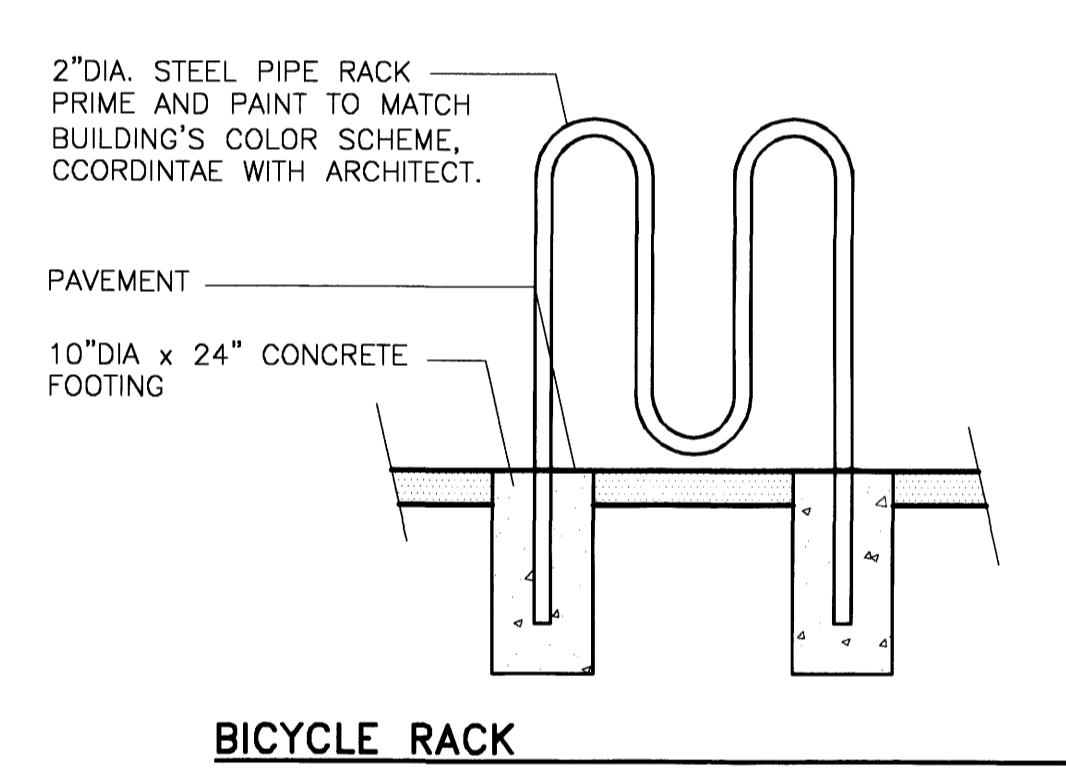
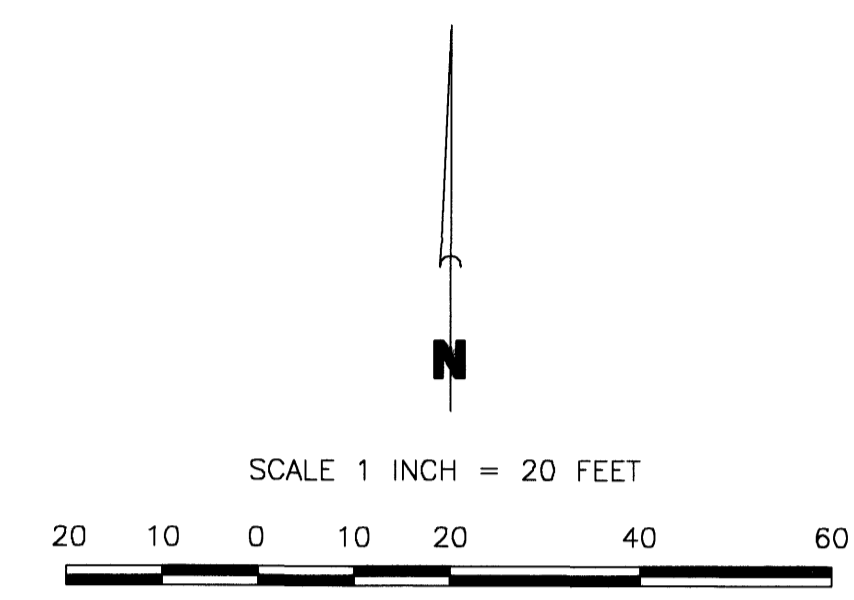
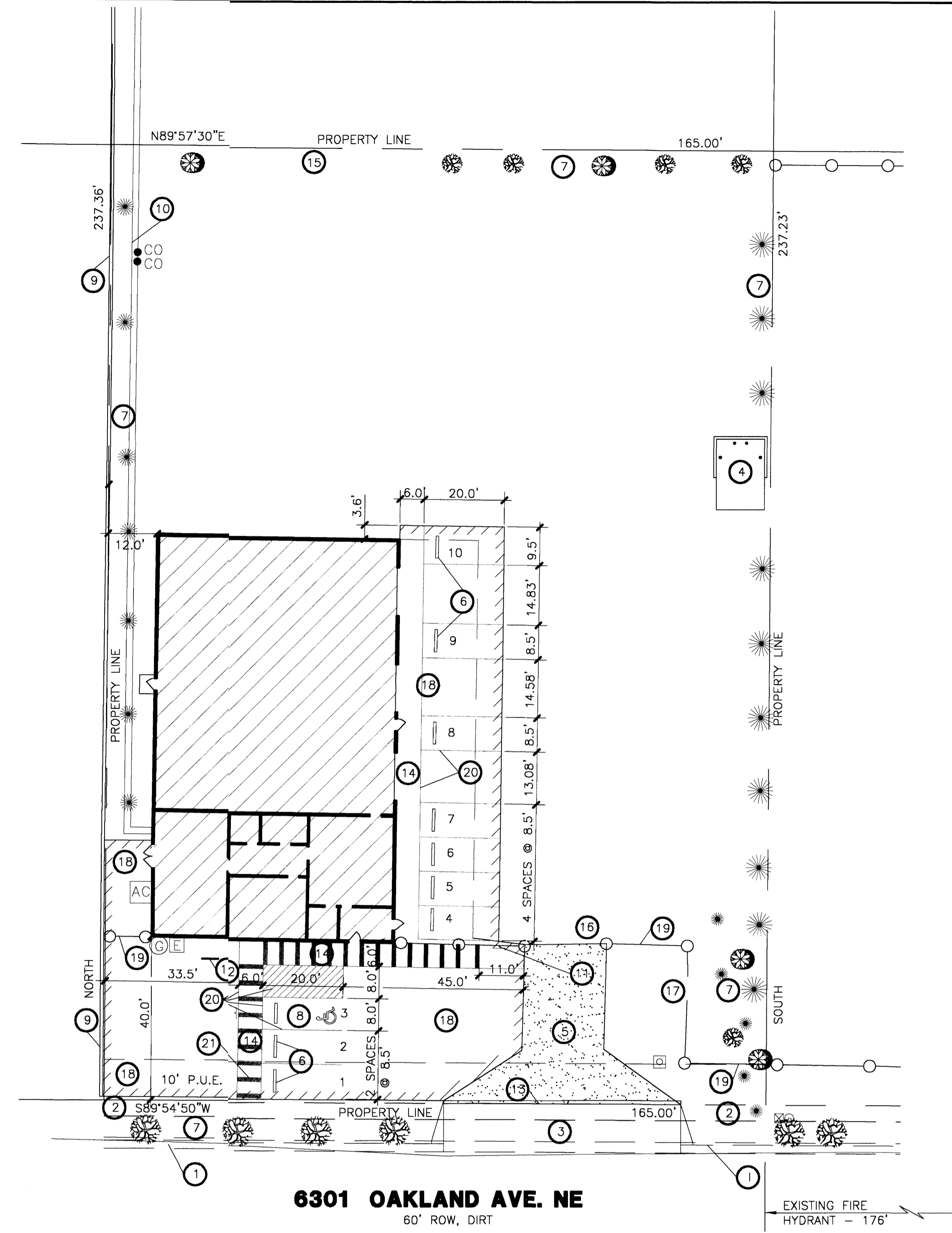
PARKING, REGULAR: REQUIRED PER COA CODE- OFFICE: 1,538 SF NET LEASABLE SF = 7.7 SPACES  
WAREHOUSE: 4,048 SF NET LEASABLE SF = 2.0 SPACES  
PROVIDED: 10 TOTAL SPACES  
9.7 REQUIRED

PARKING, HANDICAP: REQUIRED PER COA CODE: 1 SPACES (1 SPACE FOR 1-25 REGULAR SPACES)  
PROVIDED: 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 1 SPACE (1 SPACE PER 25 REGULAR SPACES)  
PROVIDED: 1 SPACE

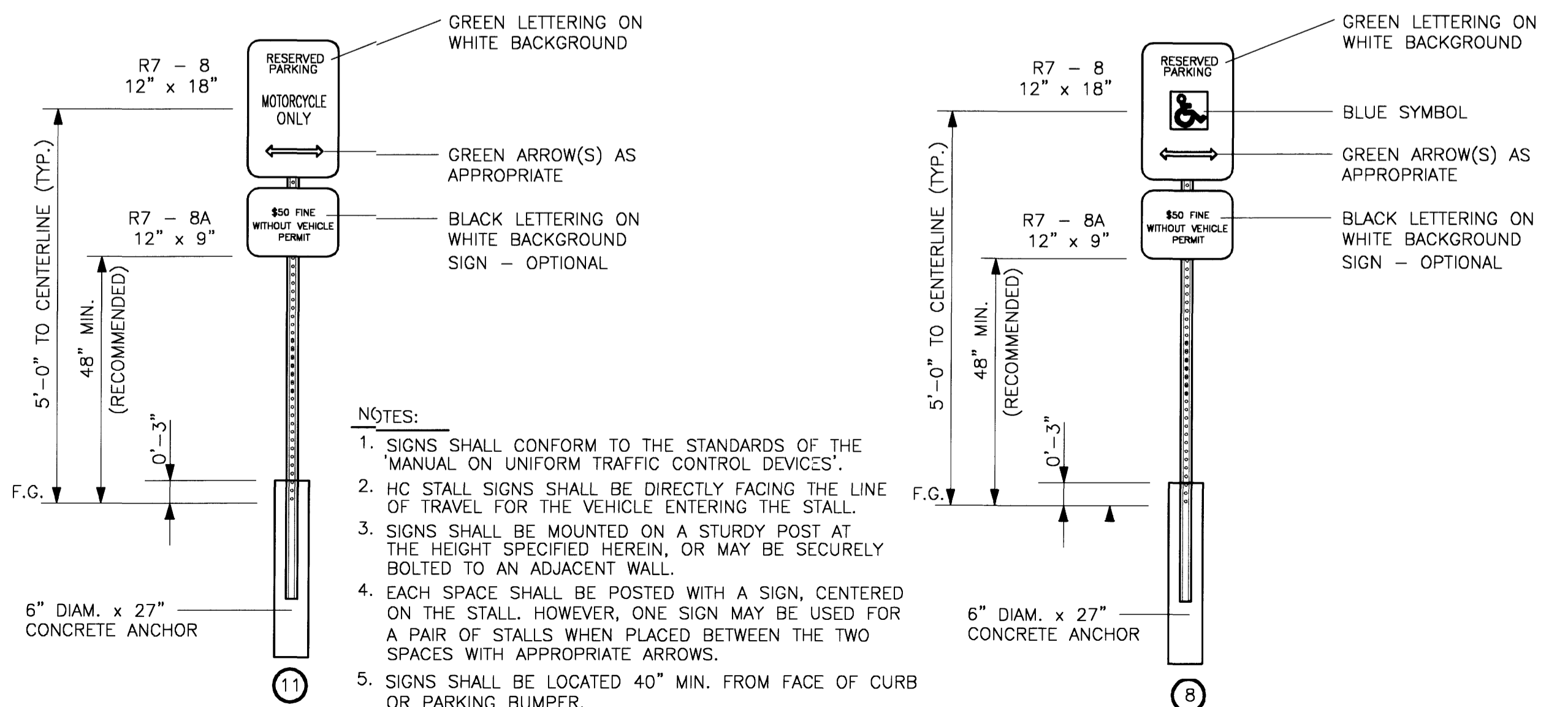
BICYCLE RACKS: REQUIRED PER COA CODE: 1 SPACE (1 SPACE PER 20 REGULAR SPACES)  
PROVIDED: 1 SPACE

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.



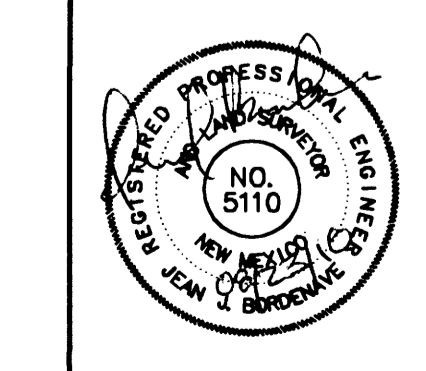
**6301 OAKLAND AVE. NE**  
60' ROW, DIRT

EXISTING FIRE HYDRANT - 176'



- NOTES:**
1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES'.
  2. HC STALL SIGNS SHALL BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL.
  3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
  4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
  5. SIGNS SHALL BE LOCATED 40" MIN. FROM FACE OF CURB OR PARKING BUMPER.

**SITE SIGNS**



project title  
**CORONADO**  
**6301 OAKLAND AVE NE**  
**ALBUQUERQUE, NM**  
sheet title  
**AMENDED SITE DEVELOPMENT PLAN**  
sheet date: 08/16/10 design by: JJB project no.: 0710

**BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105

Project Number: 1006760  
 Application Number: 08788-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/25/08 and the findings and conditions in the Official Notification of Decision are satisfied.

is an infrastructure List required? Yes ( ) No ( ) If yes, then a set of approved DRG plans with work order is required for city construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Approval

Traffic Engineering, Transportation Division: Date: 6-25-08  
 APPROVA: [Signature] Date: 6/25/08  
 Christine Sanderson, Parks and Recreation Department, Date: 6/25/08  
 City Engineer: Date: \_\_\_\_\_  
 Environmental Health Department (conditional): Date: \_\_\_\_\_  
 Solid Waste Management: Date: 6/25/08  
 Chair Person, Planning Department: Date: 6/25/08

DRB ADMINISTRATIVE  
 SITE PLAN AMENDMENT  
 PROJECT NO. 1006760  
 APPLICATION NO. 08788-70180  
 PLANNING DIRECTOR: [Signature] DATE: 06/19/08

PARKING CALCULATIONS

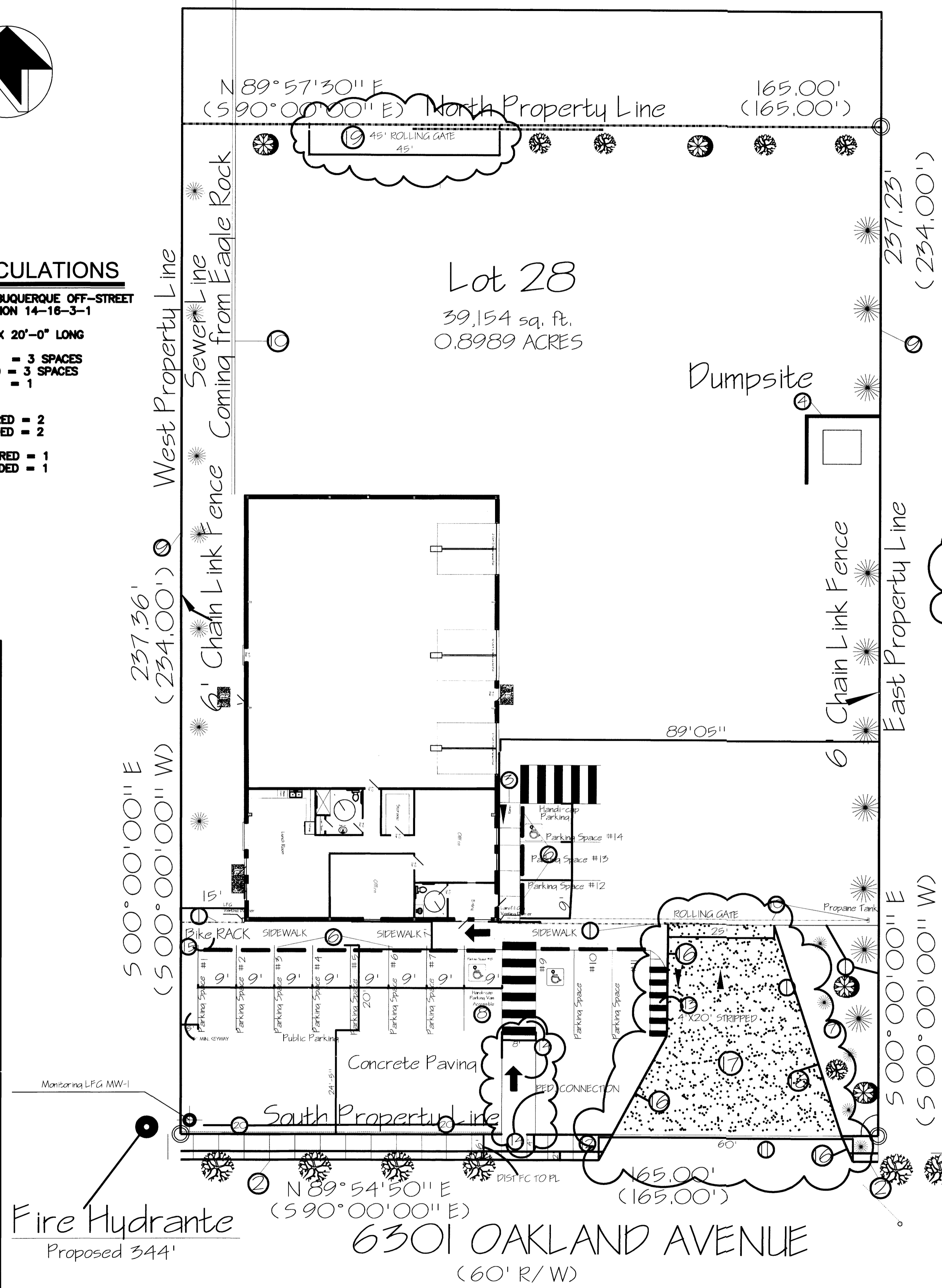
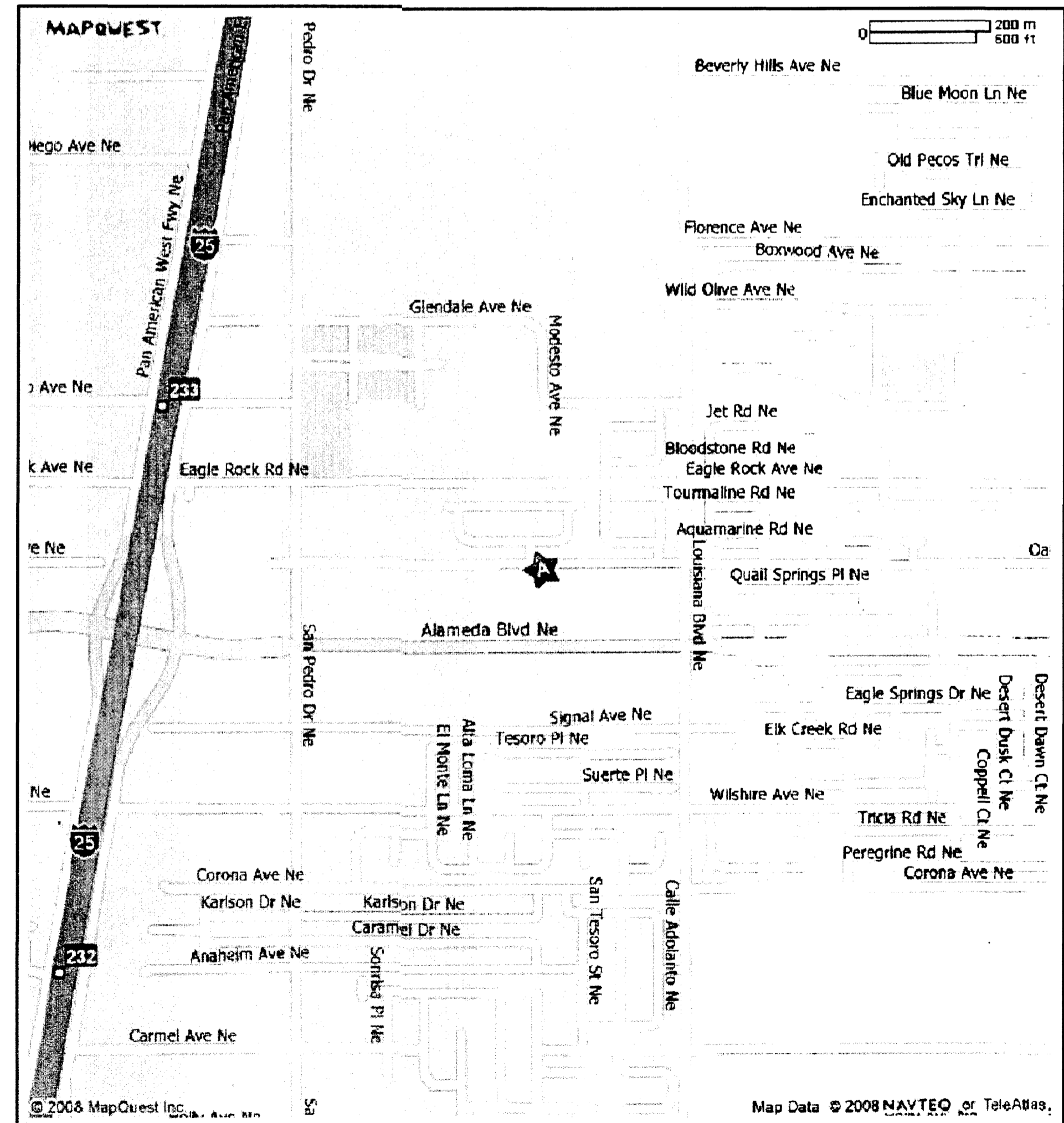
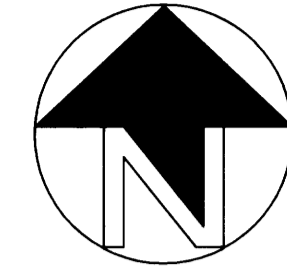
**PARKING CALCULATIONS**  
 BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

665 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/200 = 3 SPACES  
 88 SF ENTRY /200 = 1 SPACES PROVIDED = 14

ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Keyed Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED. ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
  - VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
  - 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
  - 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
  - BUILD 60' CURB CUT PER COA STD 2425
  - BUILD 4' WIDE SIDEWALK PER COA STD 2430 Different
  - MOTOR CYCLE RAMP AND PARKING
  - VAN ACCESS AISLE STRIPED
  - BICYCLE RACK
  - Cut-Off Wall (Per City Standard 2415B)
  - CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
  - ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
  - 45' ROLLING GATE
  - 3' CHAIN LINK FENCE W/ IVE VINE.

GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS SITE IS VACANT. ALL EXISTING CONDITIONS DEMOLISHED.

Plant Legend

Symbol	Plant Name	Plant Height	Plant Spacing
(Symbol)	Discoloration Orange (Cinnabara)	4'0"	15' by 15'
(Symbol)	Spirea Vanessae	4'0"	15' by 15'
(Symbol)	Yucca Filifera	4'0"	15' by 15'
(Symbol)	Yucca Filifera	4'0"	15' by 15'
(Symbol)	Yucca Filifera	4'0"	15' by 15'

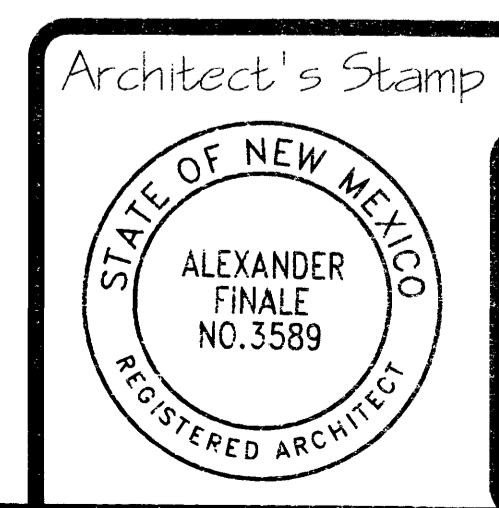
Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax 823-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 823-6474 Cell: (505) 307-1003

Jan. 25, 2007  
 Site Development Plan

Coronado  
 Albuquerque New Mexico

# Site Development Plan

Scale 1" = 30'



Final Drawing Checked By:  
 1. M. Rinaldi  
 2. M. Ortiz  
 3.

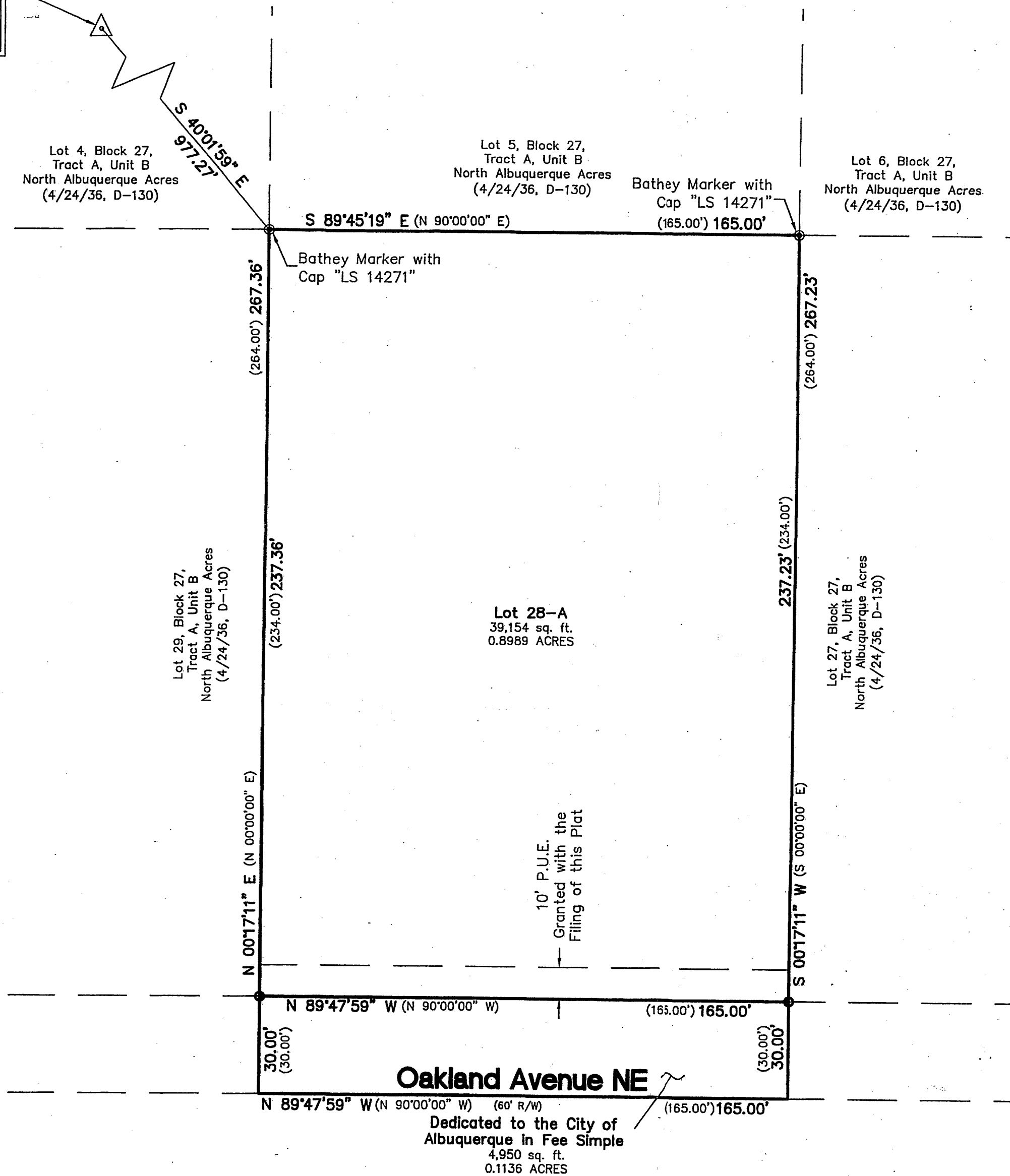
Sheet  
 3  
 Of 11 Sheets





Plat of  
**Lot 28-A, Block 27**  
**North Albuquerque Acres**  
**Tract A, Unit B**  
 comprised of  
**Lot 28, Block 27**  
**North Albuquerque Acres Unit A, Tract B**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 June 2008

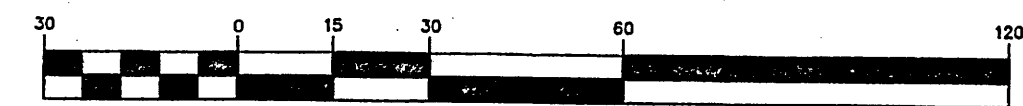
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 Z=5222.090 (NAVD 1988)  
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 Mapping Angle=-0°11'19.43"



**Legend**

N 90°00'00" E MEASURED BEARING AND DISTANCES  
 ⊙ FOUND AS INDICATED  
 ○ SET BATHEY MARKER "LS 18374"

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 30 ft.

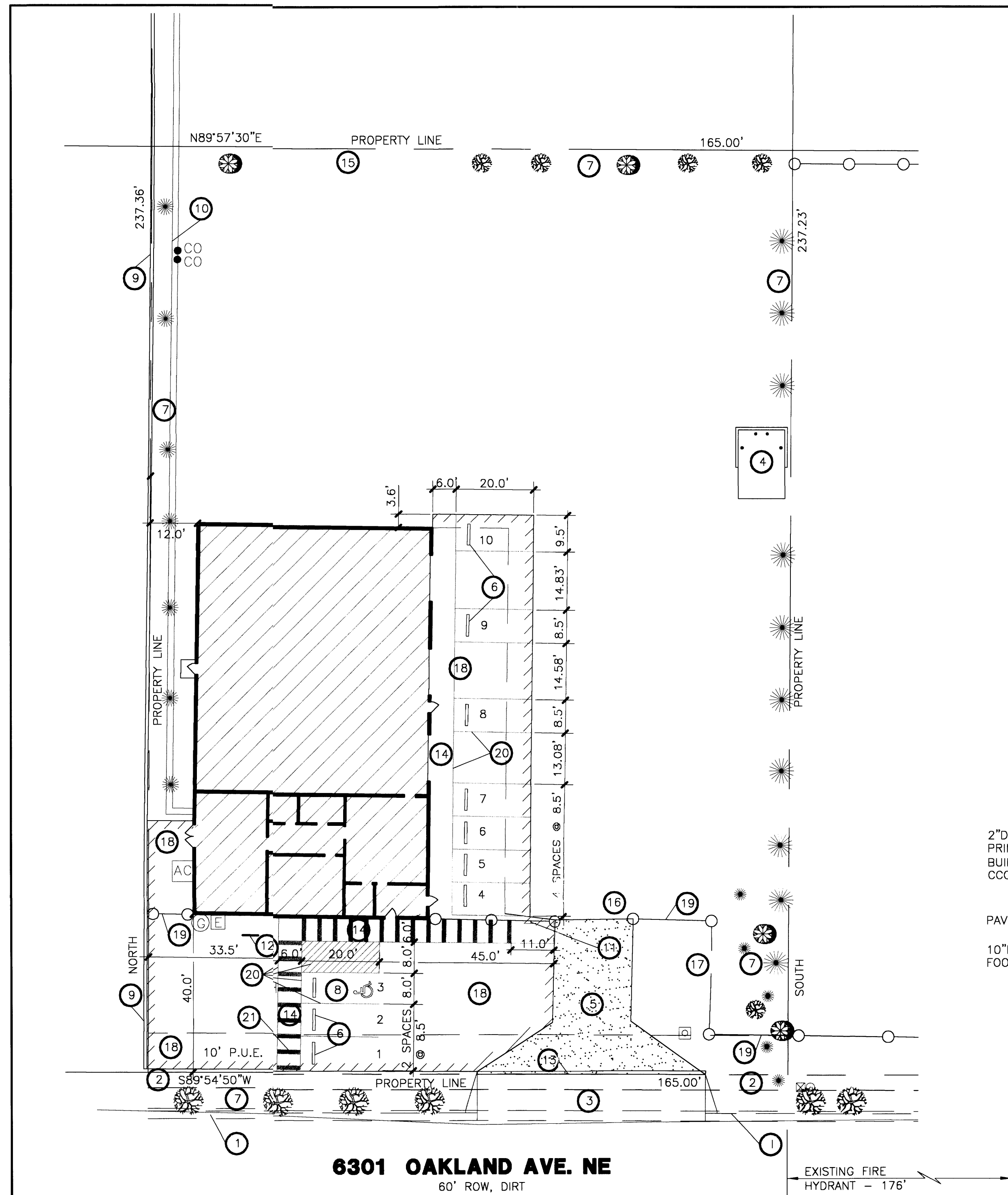
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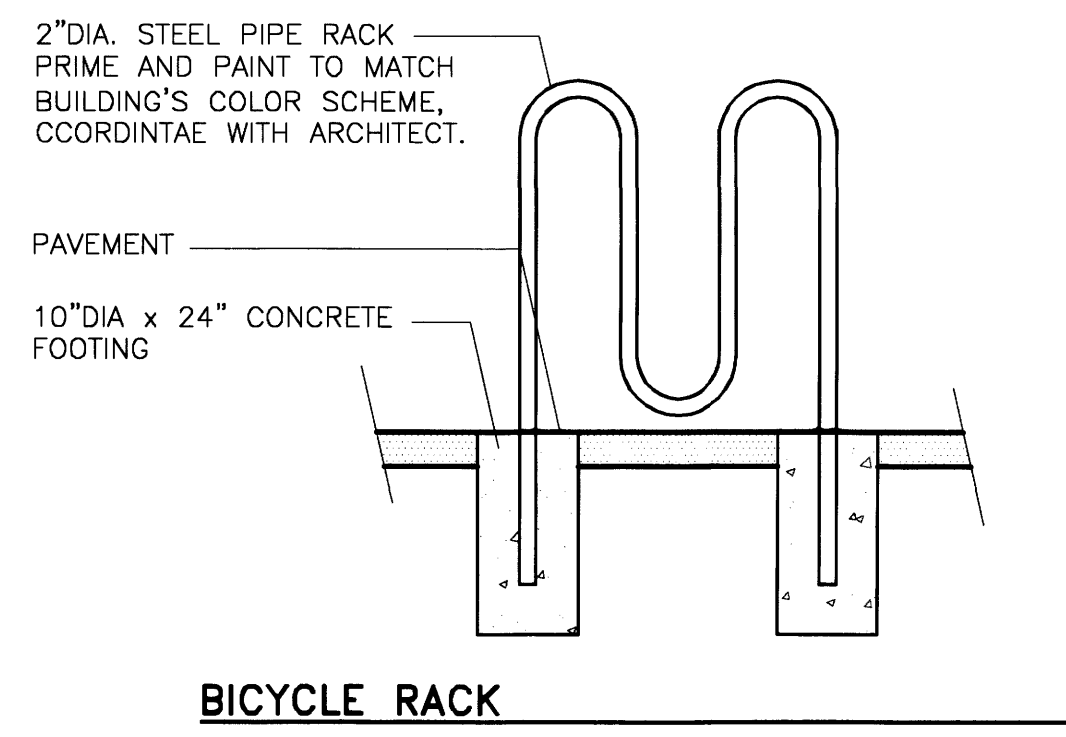
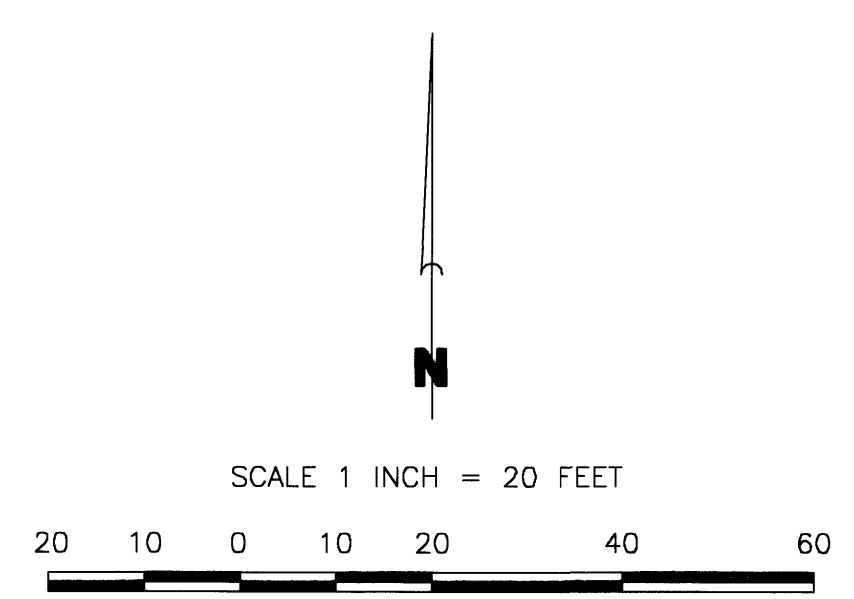
**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244





**6301 OAKLAND AVE. NE**  
60' ROW, DIRT



**BICYCLE RACK**

**KEYED NOTES**

1. FUTURE CONCRETE STD. CURB & GUTTER PER COA STD. DWG. 2415A.
2. FUTURE 4' WIDE CONCRETE SIDEWALK ACROSS FRONTAGE PER COA STD. DWG. 2430.
3. FUTURE 60' WIDE CONCRETE DRIVEPAD PER COA STD. DWG. 2425.
4. REFUSE ENCLOSURE. STUCCO EAST SIDE OF EAST WALL. NOTE: OWNER IS REQUIRED TO REMOVE DUMPSTER FROM FENCED ENCLOSURE AND PLACE IT AT STREET SIDE ON CITY COLLECTION DAYS DUE TO CONTROLLED ACCESS INTO FENCED ENCLOSURE.
5. ENTRY DRIVEWAY. SURFACE WITH ASPHALT MILLINGS.
6. CONCRETE PARKING BUMPERS. ANCHOR TO CONCRETE SLAB.
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8. VAN ACCESSIBLE HC PARKING AND SIGN.
9. EXISTING 6' CMU WALL FENCE ON WEST PROPERTY LINE.
10. SAS AND WATER SERVICE LINES TO EXISTING MAINS IN EAGLE ROCK. AVE.
11. MOTORCYCLE PARKING.
12. BICYCLE RACK.
13. CUTOFF WALL PER COA STD. DWG. 2415B.
14. ALL CONCRETE WALKWAYS TO BE FLUSH WITH ADJACENT CONCRETE PAVEMENT.
15. 45' ROLLING GATE.
16. 20' ROLLING GATE.
17. WALK GATE.
18. CONCRETE PAVEMENT.
19. EXISTING 8' HIGH METAL FENCE AT FRONT OF LOT.
20. 4" WIDE PAINTED WHITE STRIPE.
21. 12" WIDE PAINTED WHITE STRIPE AT 4.0' ON CENTER.

**DRB AMMENDMENT APPROVAL**

DRB PROJECT NO. : 1006760

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

TRANSPORTATION DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

SOLID WASTE MANAGEMENT \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

**GENERAL INFORMATION**

LEGAL DESCRIPTION: LOT 28A, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO

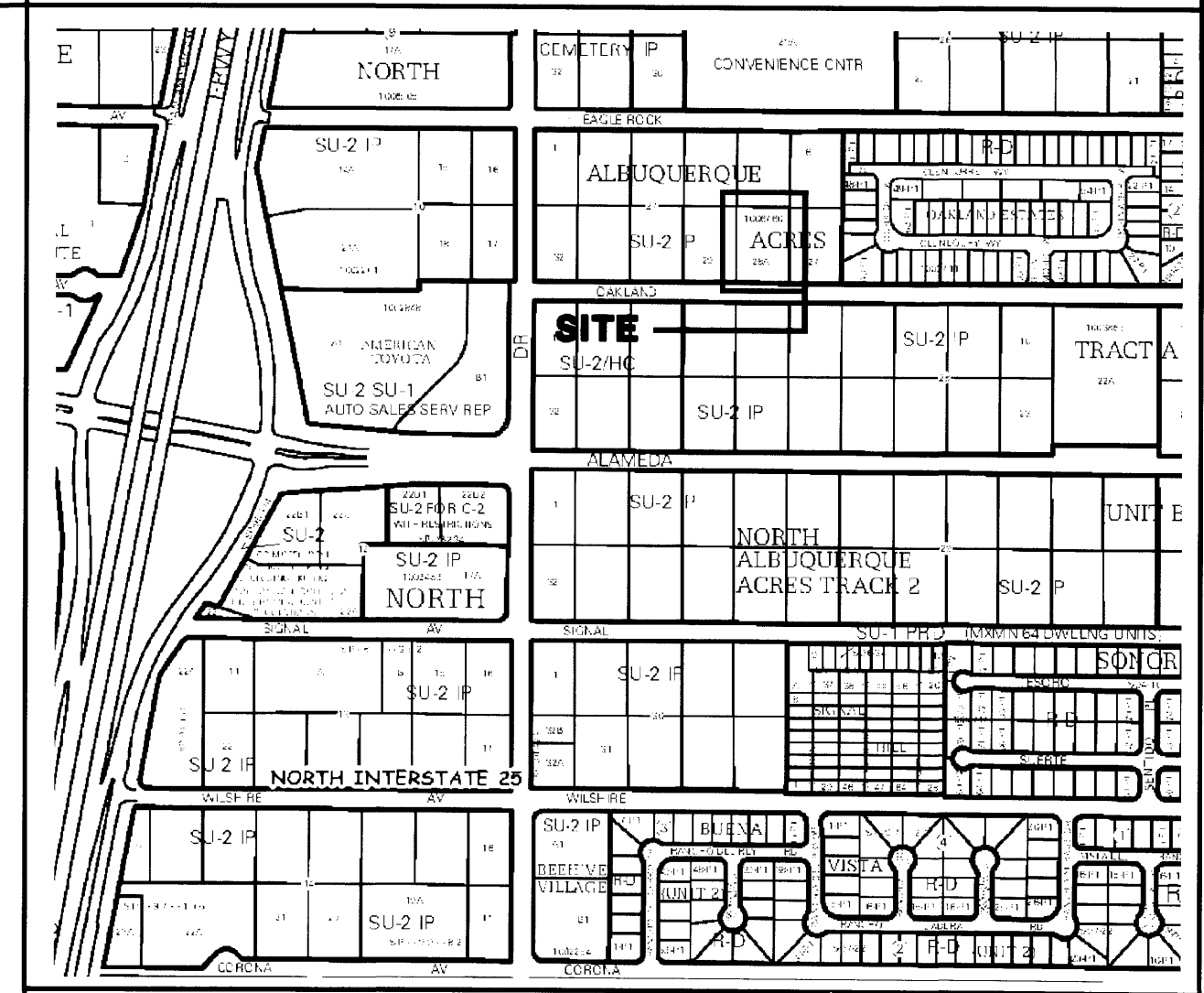
PROPOSED USE: VEHICLE IMPOUND LOT

CURRENT ZONING: SU-2/IP

STRUCTURE DATA: OFFICE AREA - 1891 S.F.  
WAREHOUSE AREA - 4175 S.F.  
TOTAL AREA - 6066 S.F.  
SINGLE STORY - LESS THAN 26 FT. HIGH

PHASING: NO PHASING IS PROPOSED FOR THIS PROJECT.

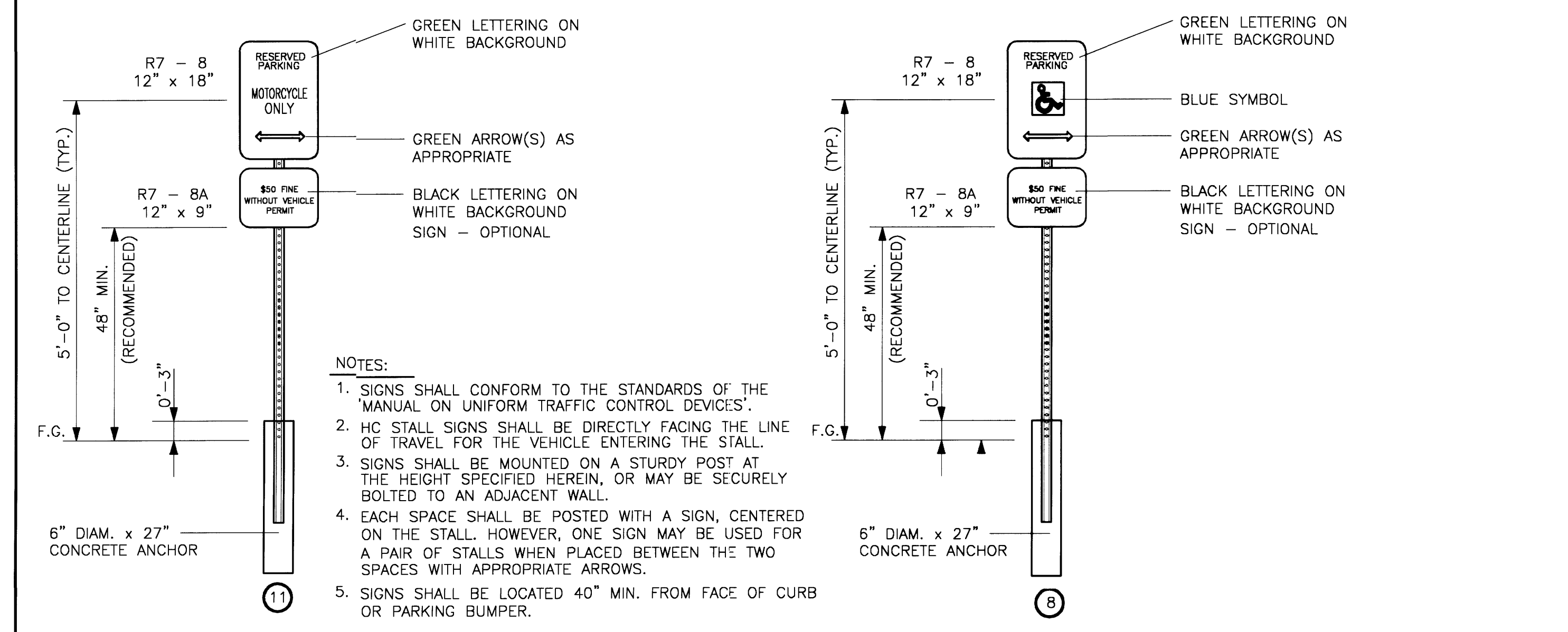
**VICINITY MAP NO. C-18**



**PLANT LEGEND**

Quantity	Symbol	Plant	Planted Size	Mature H & W
<i>Deciduous Species (Drought Tolerant)</i>				
		Spring Vulgaris	4.0'	15' by 10'
		Spring x Chinese	4.0'	9' by 7'
		Paraphia Northern Sun	4.0'	7' by 9'
<i>Evergreens Trees (Drought Tolerant)</i>				
		Ulmus Parvifolia Lacinated Elm	8'-10'	70' by 35'
		Cupressus Arizonica Glabra	6.0'	35' by 20'
		Pinus Edulis	6.0'	25' by 12'

*Handwritten notes:*  
1 L 10  
500 corners  
Elevation  
M. Chapman  
No Parking  
Grand Canyon



- NOTES:**
1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  2. HC STALL SIGNS SHALL BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL.
  3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
  4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
  5. SIGNS SHALL BE LOCATED 40" MIN. FROM FACE OF CURB OR PARKING BUMPER.

**SITE SIGNS**

**PARKING CALCULATIONS**

PARKING, REGULAR:	REQUIRED PER COA CODE-	OFFICE: 1,538 SF	NET LEASABLE SF = 7.7 SPACES
		WAREHOUSE: 4,048 SF	NET LEASABLE SF = 2.0 SPACES
			9.7 REQUIRED
	PROVIDED:	10 TOTAL SPACES	
PARKING, HANDICAP:	REQUIRED PER COA CODE:	1 SPACES (1 SPACE FOR 1-25 REGULAR SPACES)	
	PROVIDED:	1 VAN ACCESSIBLE	
PARKING, MOTORCYCLE:	REQUIRED PER COA CODE:	1 SPACE (1 SPACE PER 25 REGULAR SPACES)	
	PROVIDED:	1 SPACES	
BICYCLE RACKS:	REQUIRED PER COA CODE:	1 SPACE (1 SPACE PER 20 REGULAR SPACES)	
	PROVIDED:	1 SPACE	
ADA NOTE:	THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.		

2	08/16/10	REVISE PARKING CALCULATIONS AND ORIENTATION	JJB
no.	date	remarks	by
REVISIONS			
project title			
<b>CORONADO</b>			
<b>6301 OAKLAND AVE NE</b>			
<b>ALBUQUERQUE, NM</b>			
sheet title			
<b>AMENDED SITE DEVELOPMENT PLAN</b>			
sheet date	design by	project no.	
08/16/10	JJB	0710	
			sheet
<b>BORDENAVE DESIGNS</b>			of
P.O. BOX 91194, ALBUQUERQUE, NM 87199			
(505)823-1344 FAX (505)821-9105			

Project Number: 1006760  
 Application Number: 08788-70180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/25/08 and the Findings and Conditions in the Official Notification of Decision are satisfied.

is an Infrastructure List required (Y) Yes ( ) No. If yes, then a set of approved IBC plans with work order is required for city construction within Public Right-of-Way or for construction of public improvements.

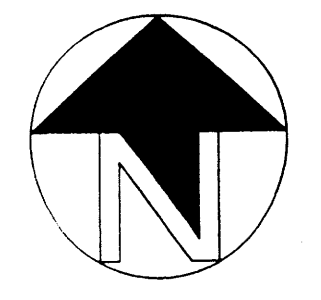
Site Development Plan Approval

Public Engineering, Transportation Division: Date: 6-25-08  
 Date: 6/25/08  
 City Engineer: Date:  
 Environmental Health Department (conditional) Date:  
 Solid Waste Management: Date: 6/25/08  
 Other: Person: Planning Department: Date:

City Administrator  
 PROJECT NO. 1006760  
 APPLICATION NO. 08-70180  
 PLANNING DIRECTOR: 06-25-08 DATE

PARKING CALCULATIONS

PROJECT 1006760 AA



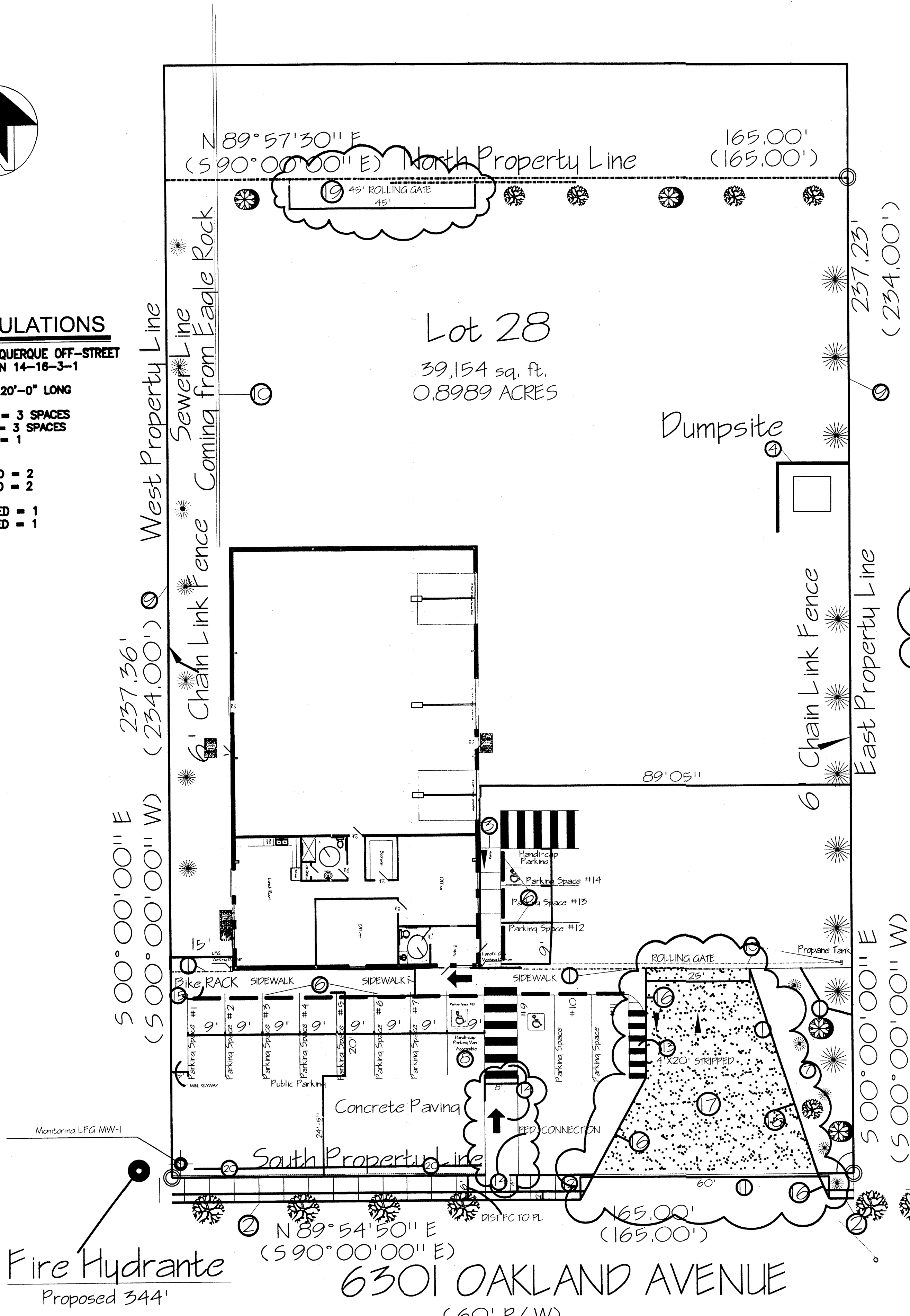
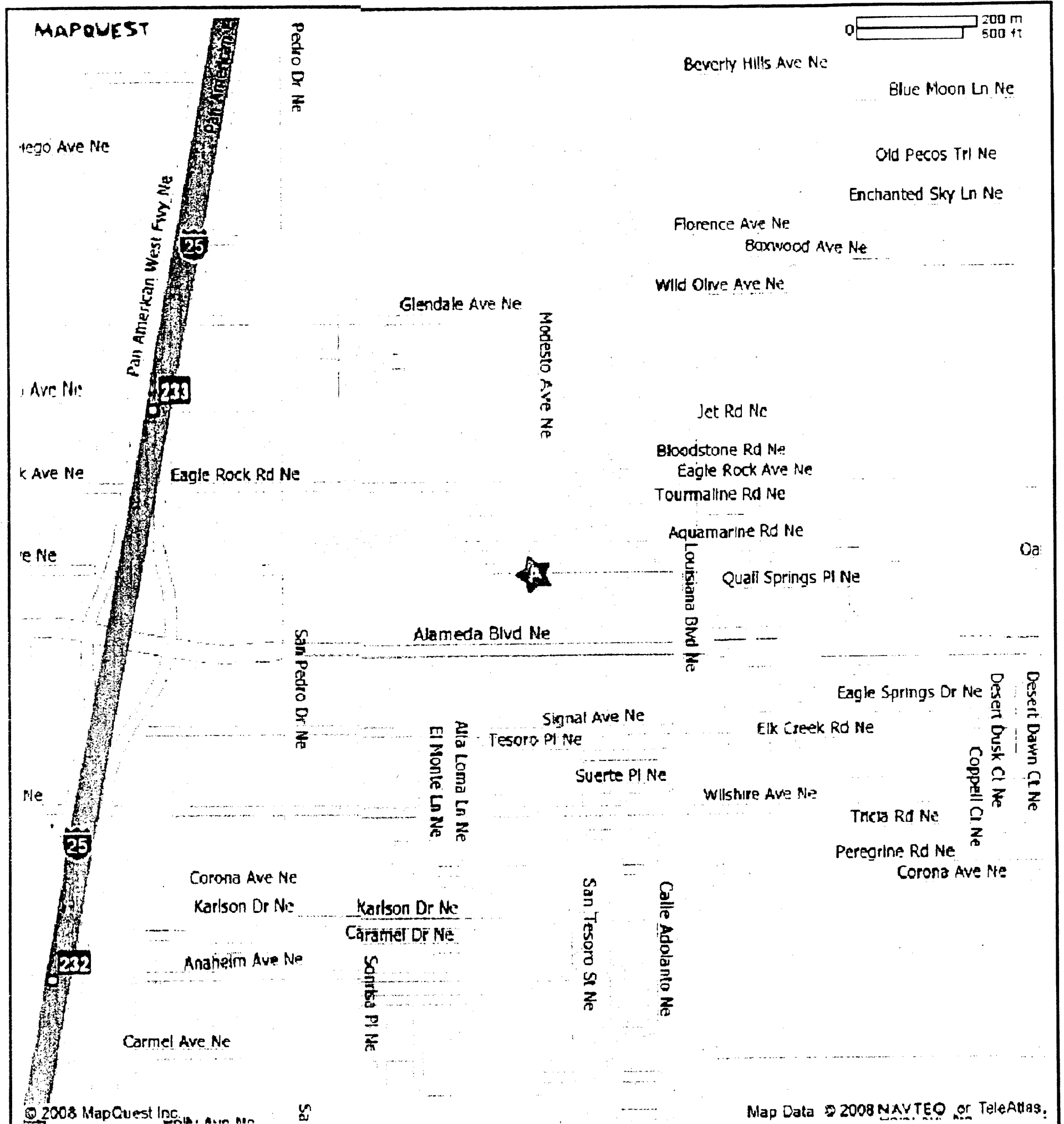
**PARKING CALCULATIONS**  
 BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

STALL SIZE = 9'-0" WIDE X 20'-0" LONG

685 SF OFFICE RETAIL/200 = 3 SPACES  
 570 SF LUNCH ROOM/ 200 = 3 SPACES  
 88 SF ENTRY /200 = 1  
 SPACES PROVIDED = 14

ACCESSIBLE SPACES REQUIRED = 2  
 ACCESSIBLE SPACES PROVIDED = 2

MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1



- Keyed Notes
- 8' EXISTING HIGH METAL FENCE ON SOUTH PROPERTY LINE FRONTAGE
  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED. ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 406/
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
  - VAN ACCESSIBLE PARKING SIGNAGE PER CITY CODE
  - 6' EXISTING CHAIN LINK FENCE ON EAST AND WEST PROPERTY LINES TO COMPLY WITH CITY ORDINANCE
  - 4" SEWER LINE COMING FROM NORTH PROPERTY FROM EAGLE ROCK FRONTAGE
  - BUILD 60' CURB CUT PER COA STD 2425
  - BUILD 4' WIDE SIDEWALK PER COA STD 2430 Different
  - MOTOR CYCLE RAMP AND PARKING
  - VAN ACCESS AISLE STRIPED
  - BICYCLE RACK
  - Cut-Off Wall (Per City Standard 2415B)
  - CTB or MILLINGS DUE TO LOW CLEARANCE AND DRAGING OF TOWED OBJECTS.
  - ALL CONCRETE SIDEWALKS TO BE FLUSH WITH ASPHALT AND CUT-OFF WALLS.
  - 45' ROLLING GATE
  - 3' CHAIN LINK FENCE W/ IVE VINE.

GENERAL NOTES  
 ALL RAMPS TO HAVE A MAX SLOPE OF 1:12  
 EXISTING SITE CONDITIONS WILL BE MAINTAINED, ALL EXISTING CONDITIONS DEMOLISHED.

Plant Legend

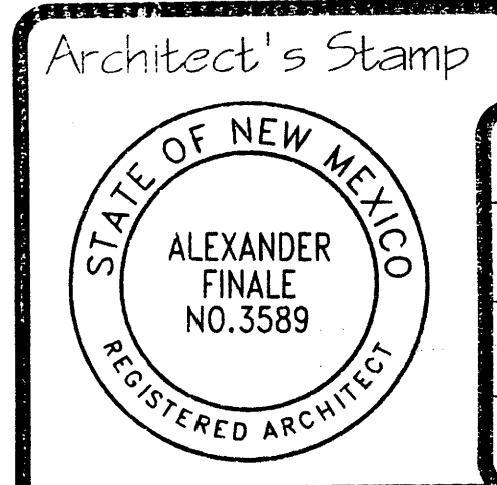
Symbol	Plant Name	Quantity	Plant Size
(Symbol)	Agave Schottii	40	12" x 12"
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423' Existing Fire Hydrante

# Site Development Plan

Scale 1" = 30'



Checked By	Date
1. M. Rosales	
2. M. Ortiz	

Sheet  
 3  
 Of 11 Sheets

Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax 823-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 823-6474 Cell: (505) 307-1003

Jan. 25, 2007  
 Site Development Plan

Coronado  
 Albuquerque New Mexico



Project Number: 1006760  
 Application Number: 08188-70180

This plan is consistent with the specific Site Development Plan approved by the Governmental Planning Commission (GPC) and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes  No. If yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB Site Development Plan Signoff Approval:

Traffic Engineering, Transportation Division: [Signature] Date: 04/08/09  
 Planning: [Signature] Date: 6-25-08  
 Parks and Recreation Department: [Signature] Date: 6/25/08  
 City Engineer: [Signature] Date: 4/6/09  
 Environmental Health Department (conditional): [Signature] Date: 4/8/08  
 Solid Waste Management: [Signature] Date: 4/9/09  
 Design Chair Person, Planning Department: [Signature] Date: 6/25/08

**PARKING CALCULATIONS**

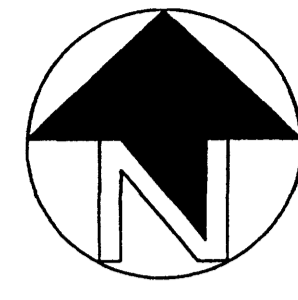
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**PARKING CALCULATIONS**

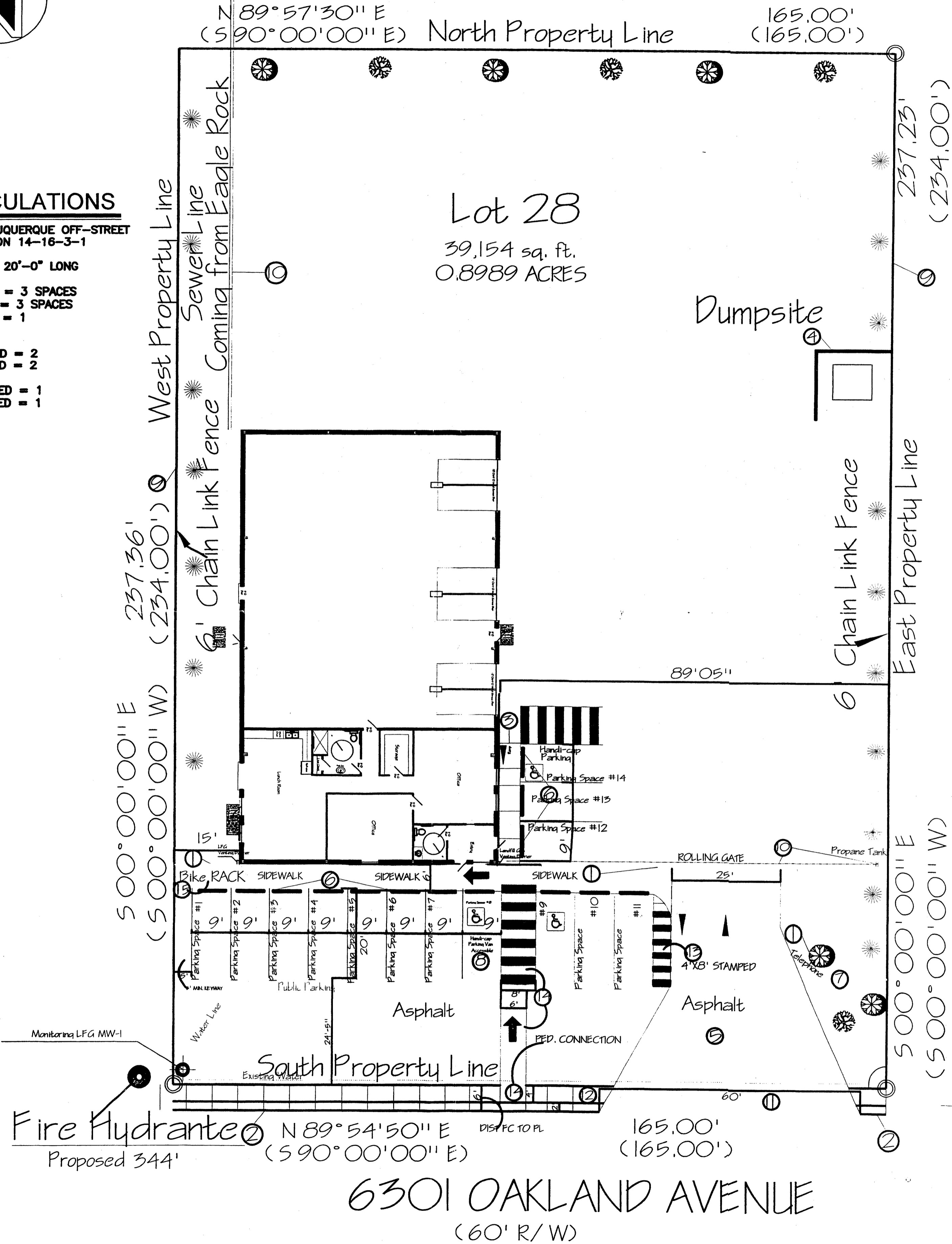
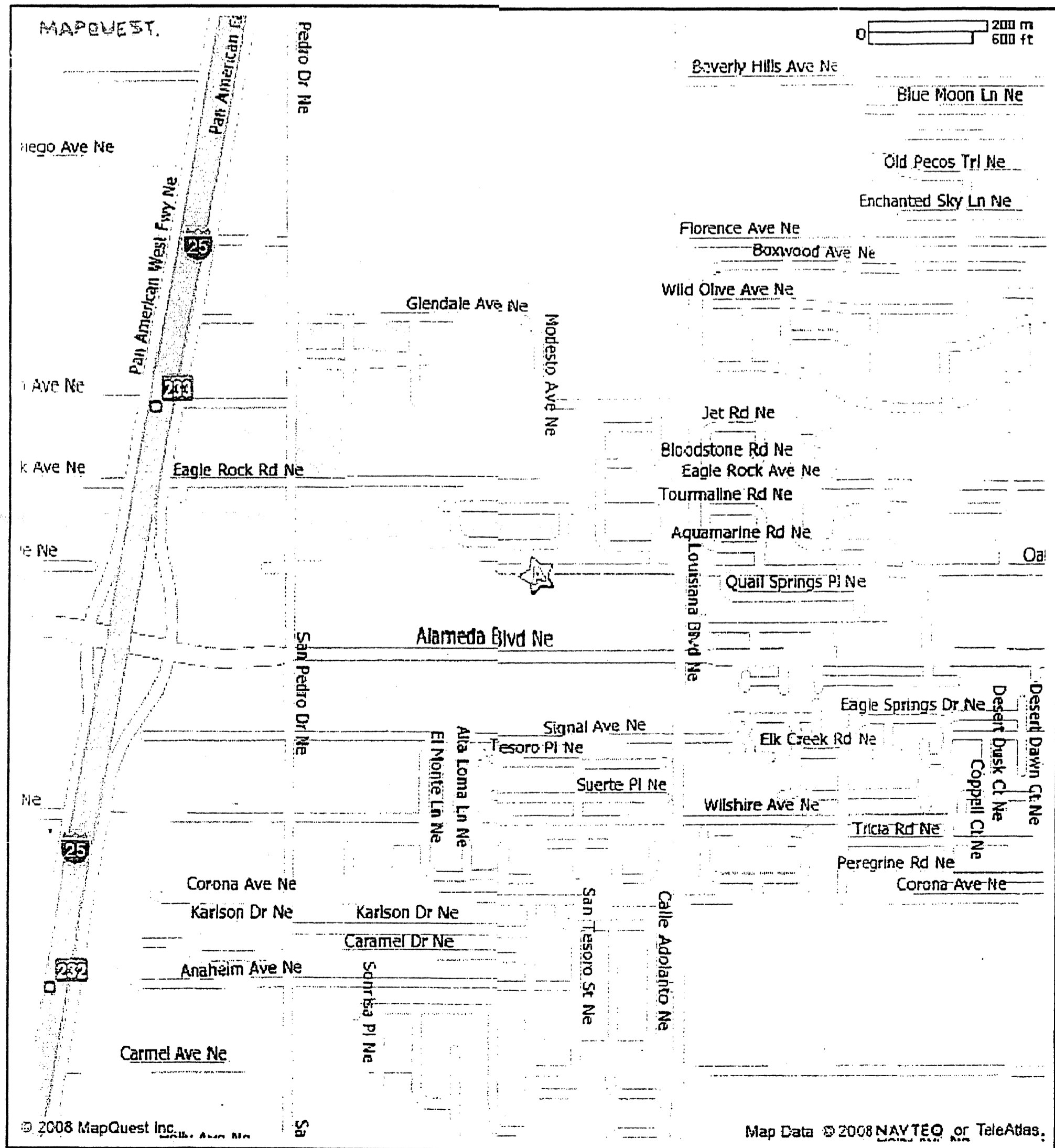
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- Keyed Notes**
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  - CONCRETE SIDE WALK PER COA STD 2430 WIDTH AS NOTED, ON SOUTH PROPERTY LINE
  - CONCRETE RAMP 12:1 SLOPE MAX, PER COA STD DWG 2426 ALL LANDINGS AND RAMPS WILL COMPLY WITH ADA NUMBERS 4067
  - TRASH ENCLOSURE, STUCCO ON EAST PROPERTY LINE
  - DRIVEWAY ENTRY
  - PARKING BUMPERS
  - LANDSCAPE TO COMPLY WITH CITY ORDINANCE 14-16-3-10
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  - BUILD 4' WIDE SIDEWALK PER COA STD 2425
  - MOTOR CYCLE RAMP AND PARKING
  - PUBLIC RAMP TO HAVE A MAX 1:12 SLOPE
  - BICYCLE RACK
- GENERAL NOTES**
- ALL RAMPS TO HAVE A MAX SLOPE OF 1:12
- EXISTING SITE CONDITIONS SITE IS VACANT. ALL EXISTING CONDITIONS DEMOLISHED.

**Plant Legend**

Symbol	Plant	Plant	Plant	Plant
○	Golden Pothos	3.0'	30" by 60"	○
○	Golden Tinsel	3.0'	40" by 50"	○
○	Flamingo Fern	3.0'	45" by 55"	○
○	Small Ficus	3.0'	40" by 20"	○
○	Flowering Shrub (Shrub)			○
○	Shrub	4.0'	15" by 20"	○
○	Large Shrub	4.0'	15" by 20"	○
○	Flowering Shrub	4.0'	15" by 20"	○
○	Flowering Shrub	6.0'	20" by 20"	○
○	Flowering Shrub	6.0'	20" by 20"	○
○	Flowering Shrub	6.0'	20" by 20"	○

Symbol	Plant	Plant	Plant	Plant
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○	Flowering Shrub	6.0'	20" by 20"	○

423' Existing Fire Hydrante

6301 OAKLAND AVENUE (60' R/W)

**Site Development Plan**

Scale 1" = 30'

Architect's Stamp



Final Drawing Checked By:

1. M. Rinaldi
2. M. Ortiz

Sheet **3**

Jan. 25, 2007  
 Site Development Plan

Coronado Albuquerque New Mexico

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