

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1006761

Application #: 13DRB-70540, 12DRB-70377,
12DRB-70385

Project Name: TOWN OF ATRISCO GRANT Unit(s) 8

Agent: CONSENSUS PLANNING & ISAACSON & ARFMAN PA

Phone #:

Your request was approved on 5-15-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

FP - S/A

PARKS / CIP:

PLANNING (Last to sign):

SBP - file plat, case plans

FP - .dxf

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

Cloud, Jack W.

From: Gomez, Angela J.
Sent: Tuesday, May 14, 2013 4:23 PM
To: Cloud, Jack W.
Subject: FW: DRB comments for project # 1006761

From: Malak Hakim [mailto:hakim@consensusplanning.com]
Sent: Tuesday, May 14, 2013 4:07 PM
To: Gomez, Angela J.; Lehner, Catalina L.
Cc: Jim Strozier
Subject: RE: DRB comments for project # 1006761

RE: Project 1006761/13EPC-40103: Site Development Plan for Building Permit

Dear Mr. Chairman:

The purpose of this email is to explain how we have addressed Planning Staff's comments provided in the Inter-Office Memo dated May 8, 2013.

Each comment is enumerated below and our response is indicated in italics:

1. Condition 7A: ON Sheet A1.3, the Wrought Iron Fence Detail doesn't specify the pilasters as grey (Sorry but I cannot find it).

The color of the pilasters has been specified to match the building, which is grey.

2. Condition 8A: Nine plants were added to the southwestern landscape buffer area. I count 4 turpentine bush, 1 blue mist, 1 chamisa, 1 three-leaf sumac and 2 rosemary. Please update the totals on the landscape palette to correspond to this.

-
The Landscape Plan palette has been corrected.

3. Condition 8B: I still get 5 feet when I scale it out on the main sheet and on the landscape plan, especially near the site's southeastern corner.

-
The landscaping buffer along the site's western side is a total of 10 feet wide and has been dimensioned

5/14/2013

to show the easterly landscaped buffer as 6 feet wide and the westerly buffer as 4 feet wide.

4. Condition 11: The scale on the free-standing sign appears to be incorrect. I apologize, but I cannot figure out what the correct scale would be to match the dimensions.

-
The scale on the sign detail has been corrected to 1/4"=1'.

5. Condition 12B: A note has been added, but it needs to label "what the correct wall on the building's southern façade is screening". (HVAC equipment is my understanding).

HVAC equipment has been included in the note addressing the southern façade screening.

Please feel free to call Jim Strozier or me if you have any questions or need additional information.

Sincerely,

Malak Hakim
Consensus Planning, Inc.
505.764.9801
www.consensusplanning.com
www.facebook.com/consensusplanning
SAVE PAPER - Only print this e-mail if necessary

From: Jim Strozier [mailto:cp@consensusplanning.com]
Sent: Tuesday, May 14, 2013 9:32 AM
To: 'Malak Hakim'
Subject: FW: DRB comments for project # 1006761

Jim Strozier, AICP
Consensus Planning, Inc.
☎ 505.764.9801
www.consensusplanning.com

Follow us on 

 SAVE PAPER - Only print this e-mail if necessary

From: Gomez, Angela J. [mailto:agomez@cabq.gov]
Sent: Monday, May 13, 2013 4:56 PM
To: cp@consensusplanning.com
Subject: DRB comments for project # 1006761

5/14/2013

INTER-OFFICE MEMO

DATE: May 8, 2013
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner *CLL*
RE: Project #1006761, Lord Constructors/Kenworth Trucks
Zone Map Amendment and Site Development Plan for Building Permit

On April 11, 2013, the EPC voted to approve a zone map amendment and a site development plan for building permit for an approx. 9.6 acre site located on Fortuna Rd. NW, between 76th St. NW and Interstate 40.

Staff met with the agents, Jim Strozier and Malak Hakim, on May 3, 2013 to discuss how the Conditions of Approval are being met.

Staff reviewed the April 29, 2013 version of the site development plan for building permit and notes the following, minor issues:

Condition 5C (explanation): A sidewalk waiver is not being requested. Staff should have removed this condition at EPC since it pertained to the prior case (last Fall).

Condition 6D (explanation): The patio space was increased from 403 sf to 476 sf due to the increase in sidewalk width (see Conditions 5A and 5B).

Condition 7A: On Sheet A1.3, the Wrought Iron Fence Detail doesn't specify the pilasters as grey (Sorry but I cannot find it).


Condition 8A: Nine plants were added to the southwestern landscape buffer area. I count 4 turpentine bush, 1 blue mist, 1 chamisa, 1 three-leaf sumac and 2 rosemary. Please update the totals on the landscape palette to correspond to this.

Condition 8B: I still get 5 feet when I scale it out on the main sheet and on the landscape plan, especially near the site's southeastern corner.

Condition 11: The scale on the free-standing sign appears to be incorrect. I apologize, but I cannot figure out what the correct scale would be to match the dimensions.


Condition 12B: A note has been added, but it needs to label "what the concrete wall on the building's southern façade is screening". (HVAC equipment is my understanding).

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

3. **Project# 1006761**
 13DRB-70540 EPC APPROVED SDP
 FOR BUILD PERMIT
 12DRB-70377 - PRELIMINARY/ FINAL
 PLAT APPROVAL
 12DRB-70385 SUBDIVISION DESIGN
 VARIANCE 

CONSENSUS PLANNING & ISAACSON & ARFMAN PA, agent(s) for LCI, LLC request(s) the above action(s) for all or a portion of Lot(s) 185-A, 184, 183 AND THE SOUTHERLY PORTION OF TRACT 182, Block(s) AIRPORT UNIT, TOWN OF ATRISCO GRANT Unit(s) 8, zoned SU-1 FOR IP, located on FORTUNA BETWEEN 76TH ST AND I-40 containing approximately 8.9 acre(s). (J-10) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR COMPLETION OF PLAT AND AGIS DXF. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/15/13 THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER AND PLANNING FOR COMPLETION OF SIA. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE.**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
 MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

4. **Project# 1009046**
 13DRB-70518 VACATION OF PUBLIC
 EASEMENT
 13DRB-70519 EXTENSION OF MAJOR
 PRELIMINARY PLAT 

MARK GOODWIN AND ASSOCIATES, P.A. agents for SAWMILL CROSSINGS, LLC request the referenced/ above action(s) for Tract B1A2, **DUKE CITY LUMBER CO ADDITION**, zoned SU-2/SU-1 PRD, located on the south side of ASPEN AVE NW between 12TH ST NW and 19TH ST NW containing approximately 6.9292 acres. (H-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1009694**
 13DRB-70541 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL 

JACKS HIGH COUNTRY INC agent(s) for ENAWALA INC request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, Tract(s) A & B, **NETHERWOOD PARK** zoned C-3, located on MENAUL BLVD NE BETWEEN NEWTON PL NE AND PRINCTON DR NE containing approximately 4.2663 acre(s). (H-16) **INDEFINITELY DEFERRED.**

NO ACTION IS TAKEN ON THESE CASES: APPLICANT /AGENT IS REQUIRED AT THE MEETING

6. **Project# 1009619**
 13DRB-70539 SKETCH PLAT REVIEW
 AND COMMENT 

PAUL CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 107-A-1-B-2, zoned RA-2, located on PEDRONCELLI BETWEEN RIO GRANDE AND RIO GRANDE RIVER containing approximately .41 acre(s). (F-13) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 23, 2013 9:00 AM

MEMBERS:

Jack Cloud, DRB Chair

Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 1. **Project# 1006761**
12DRB-70379 EPC APPROVED SDP
FOR BUILD PERMIT
12DRB-70377 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CONSENSUS PLANNING AND ISAACSON & ARFMAN PA agent(s) for LORD CONSTRUCTORS, INC request(s) the above action(s) for all or a portion of Lot(s) 183, 184, 185-A, 185-A-1, Block(s) AIRPORT UNIT, **TOWN OF ATRISCO GRANT Unit(s) 8**, zoned SU-1 FOR IP, located on FORTUNA RD NW BETWEEN 76TH ST NW AND I-40 containing approximately 6.9 acre(s). (J-10)[*Deferred from 12/19/12, 1/2/13, 1/9/13*]
INDEFINITELY DEFERRED.


- 12DRB-70384 SIDEWALK WAIVER
- 12DRB-70385 SUBDN DESIGN
- VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for LORD CONSTRUCTION, INC request(s) the above action(s) for all or a portion of Tract(s) 185A-1 AND PORTIONS OF TRACTS 182, 183, & 184, **TOWN OF ATRISCO GRANT (TBKA TRACTS A & B, INLAND KENWORTH) Unit(s) AIRPORT**, zoned SU-1 FOR IP, located on FORTUNA BETWEEN 76TH AND I-40 containing approximately 8.86 acre(s). (J-10) [*Deferred from 1/2/13, 1/9/13*]**INDEFINITELY DEFERRED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 2. **Project# 1001970**
13DRB-70408 EXT OF SIA FOR TEMP
DEFR SDWK CONST

VIRGIL GIL request(s) the above action(s) for all or a portion of **VILLA SENDEROS**, zoned RLT, located on TALLADO CT NW BETWEEN ST JOSEPHS AND UNSER BLVD (G-10)**DEFERRED TO 1/30/13 AT THE AGENT'S REQUEST.**

3. **Project# 1009082**
 12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
 12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY 

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) *[Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/1/ 6/27/12, 7/25/12, 8/29/12, 9/26/12, 10/31/12, 11/28/12, 12/19/12]* **THE VACATIONS WERE RECOMMENDED FOR APPROVAL BASED ON EXHIBITS IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)


4. **Project# 1006761**
 12DRB-70379 EPC APPROVED SDP FOR BUILD PERMIT
 12DRB-70377 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

CONSENSUS PLANNING AND ISAACSON & ARFMAN PA agent(s) for LORD CONSTRUCTORS, INC request(s) the above action(s) for all or a portion of Lot(s) 183, 184, 185-A, 185-A-1, Block(s) AIRPORT UNIT, **TOWN OF ATRISCO GRANT Unit(s) 8**, zoned SU-1 FOR IP, located on FORTUNA RD NW BETWEEN 76TH ST NW AND I-40 containing approximately 6.9 acre(s). (J-10)*[Deferred from 12/19/12, 1/2/13]* **DEFERRED TO 1/23/13 AT THE AGENT'S REQUEST.**

- 12DRB-70384 SIDEWALK WAIVER
 12DRB-70385 SUBDN DESIGN
 VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for LORD CONSTRUCTION, INC request(s) the above action(s) for all or a portion of Tract(s) 185A-1 AND PORTIONS OF TRACTS 182, 183, & 184, **TOWN OF ATRISCO GRANT (TBKA TRACTS A & B, INLAND KENWORTH) Unit(s) AIRPORT**, zoned SU-1 FOR IP, located on FORTUNA BETWEEN 76TH AND I-40 containing approximately 8.86 acre(s). (J-10) *[Deferred from 1/2/13]* **DEFERRED TO 1/23/13 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1003523**
 12DRB-70392 EXT OF SIA FOR TEMP DEFR SDWK CONST 

MONTEREY LAND GROUP II LLC request(s) the above action(s) for all or a portion of **PRIMA ENTRADA** located on NE CORNER OF ARROYO VISTA AND I-40 containing approximately 12 acre(s). (J-8 & 9) **DEFERRED TO 1/16/13**

3. **Project# 1004776**
12DRB-70364 EPC APPROVED SDP
FOR BUILD PERMIT 

BRASHER & LORENZ agent(s) for HORIZON ACADEMY FOUNDATION request(s) the above action(s) for all or a portion of Lot(s) 12A, **VOLCANO BUSINESS PARK PH 1** zoned SU-1, located on TODOS SANTOS STREET NW/BETWEEN ORAY BLVD NW AND PAINTED RD NW containing approximately 3.43 acre(s). (G-10-Z) *[Deferred from 12/19/12]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED. 3 COPIES OF THE APPROVED SITE PLAN MUST BE PROVIDED TO THE PLANNING DEPARTMENT.**


4. **Project# 1006761**
12DRB-70379 EPC APPROVED SDP
FOR BUILD PERMIT
12DRB-70377 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CONSENSUS PLANNING AND ISAACSON & ARFMAN PA agent(s) for LORD CONSTRUCTORS, INC request(s) the above action(s) for all or a portion of Lot(s) 183, 184, 185-A, 185-A-1, Block(s) AIRPORT UNIT, **TOWN OF ATRISCO GRANT Unit(s) 8**, zoned SU-1 FOR IP, located on FORTUNA RD NW BETWEEN 76TH ST NW AND I-40 containing approximately 6.9 acre(s). (J-10)*[Deferred from 12/19/12]* **DEFERRED TO 1/9/13 AT THE AGENT'S REQUEST.**

12DRB-70384 SIDEWALK WAIVER
12DRB-70385 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for LORD CONSTRUCTION, INC request(s) the above action(s) for all or a portion of Tract(s) 185A-1 AND PORTIONS OF TRACTS 182, 183, & 184, **TOWN OF ATRISCO GRANT (TBKA TRACTS A & B, INLAND KENWORTH) Unit(s) AIRPORT**, zoned SU-1 FOR IP, located on FORTUNA BETWEEN 76TH AND I-40 containing approximately 8.86 acre(s). (J-10) **DEFERRED TO 1/9/13 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1009030**
12DRB-70387 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

ISAACSON AND ARFMAN PA agent(s) for VILLA FIRENZE HOMEOWNERS ASSOCIATION, INC request(s) the above action(s) for all or a portion of Lot(s) 7, 8, & 10, & 11, Tract(s) A, **VILLA FIRENZE** zoned R-S 5 DU/A, located on VILLA FIRENZE LANE NE BETWEEN CORONA AVE NE AND SIGNAL AVE NE containing approximately 1.2634 acre(s). (C-20) **DEFERRED TO 2/6/13 AT THE AGENT'S REQUEST.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
January 9, 2013
DRB Comments**

ITEM # 4

PROJECT # 1006761

APPLICATION # 12-70384

RE: Tracts 183-185A, Airport Unit Town of Atrisco Grant Unit 8

The adjoining Site Development Plan for Unser Crossing likely provides connection for sidewalks, so a waiver would not be appropriate.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
December 19, 2012
DRB Comments**

ITEM # 3

PROJECT # 1006761

APPLICATION # 12-70377

RE: Tracts 183- 185A-1, Airport Unit Town of Atrisco Grant Unit 8

Refer to comments from EPC staff planner regarding site plan sign-off.

The Subdivision Ordinance requires that platting conforms to an approved site development plan for property zoned SU-1 [§ 14-14-2-2 (B)(2)]; Tract 182 (proposed Tract B) was not a part of the EPC approved site plan and may not be part of this platting action.

The revised plat must have updated signatures by all parties; all utility companies will need to sign-off for final plat.

AGIS must accept the revised digital .dxf plat file for incorporation into the City geographic database.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1006761

On November 8, 2012, the Environmental Planning Commission (EPC) approved Project #1006761/12EPC 40071/40072, a zone map amendment and a site development plan for building permit for the southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8, and replat of Tract 185-A together with the southerly portion of Tract 184, Airport Unit, Town of Atrisco Grant, Unit 8, located on Fortuna Road NW, between 76th Street NW and I-40, containing approximately 6.8 acres.

The applicant has satisfied all of the EPC conditions of approval, however an explanation is needed for 6a:

6.a. The size of the proposed pylon sign (Sheet A 1.3) shall not exceed 100 s.f. as per Section 14-16-2-19(A)(25)(c)(1)(b) of the Zoning Code or a variance to size is required.

The applicant is showing a 150 s.f. sign; however, the applicant has provided a note that states the following: If a variance be unapproved for additional signage height or size, the maximum signage allowable within the site area shall not exceed 100 s.f. as regulated under 14-16-2-19(A)(25)(c)(1)(b) of the Zoning Code.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

6761

DXF Electronic Approval Form

DRB Project Case #: 1006761

Subdivision Name: INLAND KENTWORTH / TRACT A

Surveyor: RUSS P HUGG

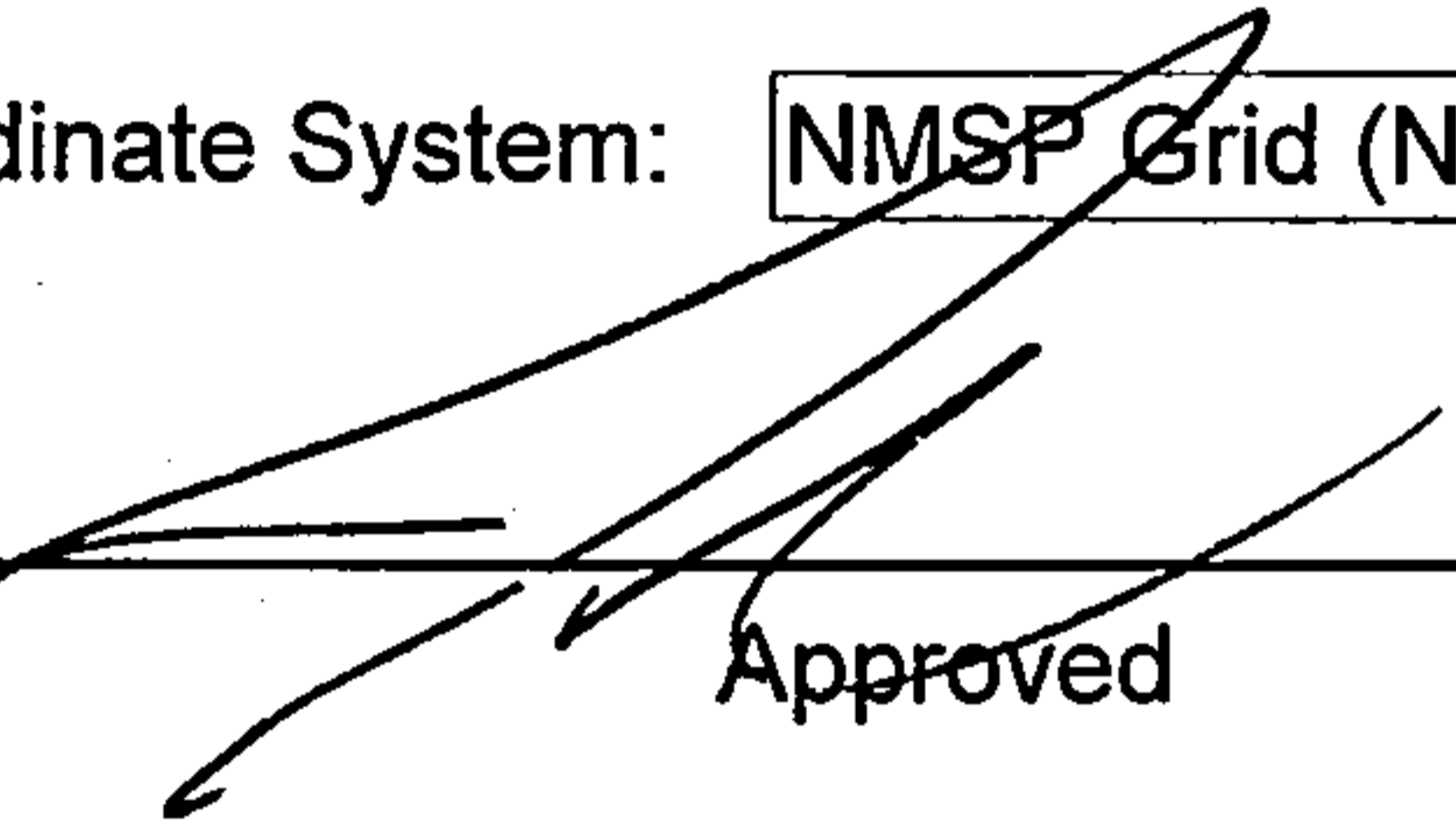
Contact Person: RUSS P HUGG

Contact Information: 5058973366

DXF Received: 4/1/2013

Hard Copy Received: 4/1/2013

Coordinate System: NMSP Grid (NAD 83)


Approved

4/1/13
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 6761 to agiscov on 4/1/2013 Contact person notified on 4/1/2013

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: May 13, 2013

Date Site Plan Approved: _____

Date Preliminary Plat Approved: 5-15-13

Date Preliminary Plat Expires: 5-15-14

DRB Project No.: 1006761

DRB Application No.: 12DRB-70377

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Tract A, Inland Kenworth
PROPOSED NAME OF PLAT**

**Tract 185-A-1 and Portions of Tracts 182, 183, and 184, Town of Atrisco Grant, Airport Unit
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		24' FF	Arterial Roadway	Fortuna Road	West Terminus Fortuna	Gallatin PI	/	/	/
		6'	Sidewalk	Fortuna Road	West of Site Entrance	west terminus/ around hammerhead	/	/	/
		1 EA	Storm Drain Manhole	Fortuna Road	SE Corner of Site		/	/	/
		20'	Temp. Turnaround Extn. (So.)	Fortuna Road	West Terminus	Rdwy Esm't.(So.)	/	/	/
		STD	PCC Curb & Gutter (north side only)	Fortuna Road	West Terminus Fortuna	Gallatin PI	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
							/	/	/	
							/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- 1 All storm drains to include catch basins, manholes (if necessary), connector pipes, and other appurtenances per DRC approved plans.
Storm drain sizes and locations are approximate and subject to change per final DRC determination.
- 2 Street lighting per DPM.
- 3 Perimeter Wall per DRB.

AGENT / OWNER

Fred C. Arfman, PE
NAME (print)
Isaacson & Arfman, P.A.
FIRM
Fred C. Arfman 5/15/2013
SIGNATURE date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 5-15-13
DRB CHAIR - date
[Signature] 5-15-13
TRANSPORTATION DEVELOPMENT - date
[Signature] 05/15/13
UTILITY DEVELOPMENT - date
[Signature] 5-15-13
CITY ENGINEER - date

Carl S. Dumont 5-15-13
PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/11/2012 Issued By: BLDAVM 173699

Category Code **910**
2012 070 379

Application Number: 12DRB-70379, Epc Approved Sdp For Build Permit

Address:

Location Description: FORTUNA RD NW BETWEEN 76TH ST NW AND I-40

Project Number: 1006761

Applicant

LORD CONSTRUCTORS, INC

1920 W ELEVENTH ST
UPLAND CA 91786
909-946-6729

Agent / Contact

CONSENSUS PLANNING
JAMES STROZIER
302 8TH ST NW
ALBUQUERQUE NM 87102

CP@CONSENSUSPLANNING

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 12/11/2012 Office: ANNEX
Stat ID: WS000006 Cashier: TRSDMR
Batch: 1119 Trans #: 11
Permit: 2012070379
Receipt Num 00078834
Payment Total: \$20.00
0901 Conflict Mgmt Fee
Check Tendered: \$20

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/11/2012 Issued By: BLDAVM 173681

Category Code **910**

2012 070 377

Application Number: 12DRB-70377, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: FORTUNA BETWEEN 76TH AND I-40

Project Number: 1006761

Applicant

LORD CONSTRUCTORS, INC

1920 WEST 11TH ST
UPLAND CA 91786

Agent / Contact

ISAACSON AND ARFMAN PA
FRED C ARFMAN
128 MONROE ST NE
ALBUQUERQUE NM 87108

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$285.00

TOTAL: \$305.00

City of Albuquerque Treasury
Date: 12/11/2012 Office: ANNEX
Stat ID: W5000006 Cashier: TRSDMR
Batch: 1119 Trans #: 7
Permit: 2012070377
Receipt Num 00078798
Payment Total: \$305.00
0901 Conflict Mgmt. Fee \$20
0903 DRB Actions \$285
Check Tendered : \$305

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/14/2012 Issued By: E08375 174177

Category Code **910**
2012 070 385

Application Number: 12DRB-70385, Subdn Design Variance From Min Dpm Stds

Address:

Location Description: FORTUNA BETWEEN 76TH AND I-40

Project Number: 1006761

Applicant

LORD CONSTRUCTORS, INC

1920 WEST 11TH ST
UPLAND CA 91786

Agent / Contact

ISAACSON AND ARFMAN PA
FRED C ARFMA
128 MONROE ST NE
ALBUQUERQUE NM 87108

IAMENGRS@SWCP.COM

Application Fees

APN Fee	\$75.00
Conflict Mgmt Fee	\$20.00
DRB Actions	

TOTAL: \$95.00

City of Albuquerque Treasury
Date: 12/14/2012 Office: ANNEX
Stat ID: W5000008 Cashier: TR551V
Batch: 1144 Trans #: 12
Permit: 2012070385
Receipt Num 00079856
Payment Total: \$95.00
0900 APN Fee \$7
0901 Conflict Mgmt. Fee \$20
Check Tendered: \$111

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/14/2012 Issued By: E08375 174175

Category Code **910**

2012 070 384

Application Number: **12DRB-70384**, Sidewalk Waiver

Address:

Location Description: FORTUNA BETWEEN 76TH AND I-40

Project Number: 1006761

Applicant

LORD CONSTRUCTION, INC

1920 WEST 11TH ST
UPLAND CA 91786

Agent / Contact

ISAACSON AND ARFMAN PA
FRED C ARFMAN
128 MONROE ST NE
ALBUQUERQUE NM 87108

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 12/14/2012 Office: ANNEX
Stat ID: W50000008 Cashier: TRSSIV
Batch: 1144 Trans #: 12
Permit: 2012070384
Receipt Num: 00079335
Payment Total: \$20.00
0901 Conflict Mgmt. Fee
Check Tendered: \$11

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

05/07/2013 Issued By: BLDAVM 189716

Category Code **910**
2013 070 540

Application Number: 13DRB-70540, Epc Approved Sdp For Build Permit

Address:

Location Description: FORTUNA BETWEEN 76TH ST AND I-40

Project Number: 1006761

Applicant

LCI, LLC

1920 W. ELEVENTH ST
UPLAND CA 91786

Agent / Contact

CONSENSUS PLANNING
JAMES STROZIER
302 8TH ST NW
ALBUQUERQUE NM 87102

CP@CONSENSUSPLANNING

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 5/7/2013 Office: ANNEX
Stat ID: W5000007 Cashier: TRSCXG
Batch: 1907 Trans #: 16
Permit: 2013070540
Receipt Num 00124869
Payment Total: \$20.00
0901 Conflict Mgmt Fee
Check Tendered: \$20.00

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1006761

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit

ENGINEERING COMMENTS:

Hydrology will approve the Site Plan with the condition that an Administrative Amendment is submitted so that the Site Plan is in conformance with the drainage report or the drainage report is modified to reflect this site plan, prior to Building Permit approval.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 12-19-12

CITY OF ALBUQUERQUE



DEVELOPMENT REVIEW BOARD MEETING – January 9, 2013

PARKS & RECREATION DEPARTMENT COMMENTS

Item #4

Project #1006761 – Town of Atrisco Grant – 183, 184, 185-A, 185 A-1

12DRB-70379 EPC Approved SDP for Building Permit

12DRB-70377 Preliminary/Final Plat Approval

The Parks & Recreation Department does not support the “separate permanent sidewalk waiver” for the western portion of Fortuna Rd. NW. The Metropolitan Transportation Plan has designated a future trail connection from the existing Unser Trail to the west end of and connecting to Fortuna Road. The Approved Site Development Plan for the property on the south side of Fortuna does indicate sidewalk across the south side of Fortuna but there are three entrance/exit breaks which are potential conflict areas for pedestrians and bicyclists. It is necessary for the 4’ sidewalk on the north side to continue to the hammerhead at the west end of Fortuna to provide a safe and complete connection to both the future sidewalk on the south side of Fortuna and to the future trail. At such time as the property to the south is developed an exact alignment for the trail connecting Fortuna to the existing trail can be developed.

P.O. Box 1293

Albuquerque

New Mexico 87103

The Parks and Recreation Department supports the SDP for Building Permit with the addition on the SDP of the sidewalk to and around the hammerhead on Fortuna and the addition of the sidewalk to the Infrastructure List. The Department supports the approval of Preliminary Plat with the conditions stated above for the SDP and the addition of the sidewalk on the Final Plat prior to approval.

www.cabq.gov

INTER-OFFICE MEMO

DATE: May 8, 2013
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner *CL*
RE: Project #1006761, Lord Constructors/Kenworth Trucks
Zone Map Amendment and Site Development Plan for Building Permit

On April 11, 2013, the EPC voted to approve a zone map amendment and a site development plan for building permit for an approx. 9.6 acre site located on Fortuna Rd. NW, between 76th St. NW and Interstate 40.

Staff met with the agents, Jim Strozier and Malak Hakim, on May 3, 2013 to discuss how the Conditions of Approval are being met.

Staff reviewed the April 29, 2013 version of the site development plan for building permit and notes the following, minor issues:

Condition 5C (explanation): A sidewalk waiver is not being requested. Staff should have removed this condition at EPC since it pertained to the prior case (last Fall).

Condition 6D (explanation): The patio space was increased from 403 sf to 476 sf due to the increase in sidewalk width (see Conditions 5A and 5B).

Condition 7A: On Sheet A1.3, the Wrought Iron Fence Detail doesn't specify the pilasters as grey (Sorry but I cannot find it).

Condition 8A: Nine plants were added to the southwestern landscape buffer area. I count 4 turpentine bush, 1 blue mist, 1 chamisa, 1 three-leaf sumac and 2 rosemary. Please update the totals on the landscape palette to correspond to this.

Condition 8B: I still get 5 feet when I scale it out on the main sheet and on the landscape plan, especially near the site's southeastern corner.

Condition 11: The scale on the free-standing sign appears to be incorrect. I apologize, but I cannot figure out what the correct scale would be to match the dimensions.

Condition 12B: A note has been added, but it needs to label "what the concrete wall on the building's southern façade is screening". (HVAC equipment is my understanding).

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

Condition 11C: A lot line between Lot B-1-A-1 and Lot B-1-A-2 needs to be shown.

Landscape Plan Note: *The 4-24-13 landscaping plan includes changes that were not on the landscaping plan approved by the EPC and are not the result of a condition (ex. design changes in the northern and western buffers). The landscaping plan needs to revert to the version the EPC saw and approved, and ONLY the conditions of approval can be shown on the revised version. Unauthorized changes must be removed at this point in the process.*

Condition 12C: Please show the curb notches on the landscaping plan as well as the grading and drainage plan.

Walls/Fences Notes: *The EPC approved a 6 foot security wall. The wall is now shown as 8 feet and that's not the result of a condition. A label and/or 3 foot wall has been added on the site's western side. Unauthorized changes must be removed at this point in the process.*

Regarding both above, "to match building" should be replaced with "see detail."

Condition 14A: Please specify the color of the CMU base.

Condition 15A (note): I got 8.1%.

Condition 15C: Please specify the color of the logo signs.

Condition 18B: It looks like the labeling is reversed. The internal boundaries of the premise would be to the left of Golf Course Rd. Otherwise, the lot would extend across the street. Please re-label.

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit *DRB Sign-off*
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: (505) 764-9801
 ADDRESS: 302 Eighth St. NW FAX: (505) 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: LCE, LLC PHONE: (909) 946-6729
 ADDRESS: 1920 W. Eleventh St. FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: glord@lordconstructors.com
 Proprietary interest in site: _____ List all owners: Inland Properties

DESCRIPTION OF REQUEST: Final sign off for EPC approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 185-A, 184, 183 and the southerly portion of tract 182 Block: Airport Unit Unit: 8
 Subdiv/Addn/TBKA: Town of Arisco Grant
 Existing Zoning: SU-1 for IP Proposed zoning: SU-1 for IP with truck sales and service MRGCD Map No _____
 Zone Atlas page(s): J-10-Z UPC Code: 101005806227020202; 1000580992820203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Proj # 1006761, 12 EPC 40071/40072, 13 EPC 40102/40103, 13 ZHE 80436, 1009587

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 4 No. of proposed lots: 1 Total site area (acres): 8.9

LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 7th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 8/14/2012

SIGNATURE [Signature] DATE May 7, 2013
 (Print Name) James K. Strozien, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 ORB - 70540</u>	<u>SBP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #'s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

[Signature] 5-7-13
 Staff signature & Date

Hearing date May 15, 2013
 Project # 1006761

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier, AICP
 Applicant name (print)
[Signature] 5/13
 Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers		
<input checked="" type="checkbox"/> Fees collected	<u>13 - DRB - 70540</u>	<u>[Signature]</u>	5-7-13
<input checked="" type="checkbox"/> Case #s assigned	_____	_____	Planner signature / date
<input checked="" type="checkbox"/> Related #s listed	_____	Project # <u>1006761</u>	



Supplemental Form (SF)

- | | | | | |
|--|----------------------------|----------------------------|------------------------------|---|
| <input type="checkbox"/> Major subdivision action | <input type="checkbox"/> S | <input type="checkbox"/> Z | ZONING & PLANNING | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Minor subdivision action | | | | |
| <input type="checkbox"/> Vacation | | <input type="checkbox"/> V | | <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans) |
| <input type="checkbox"/> Variance (Non-Zoning) | | | | <input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar |
| SITE DEVELOPMENT PLAN | | <input type="checkbox"/> P | | <input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations |
| <input type="checkbox"/> for Subdivision | | | | |
| <input checked="" type="checkbox"/> for Building Permit DRB Sign-off | | <input type="checkbox"/> D | | <input type="checkbox"/> Street Name Change (Local & Collector) |
| <input type="checkbox"/> Administrative Amendment/Approval (AA) | | <input type="checkbox"/> L | <input type="checkbox"/> A | APPEAL / PROTEST of... |
| <input type="checkbox"/> IP Master Development Plan | | | | <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other |
| <input type="checkbox"/> Cert. of Appropriateness (LUCC) | | | | |
| STORM DRAINAGE (Form D) | | | | |
| <input type="checkbox"/> Storm Drainage Cost Allocation Plan | | | | |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: (505) 764-9801
 ADDRESS: 302 Eighth St. NW FAX: (505) 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: LCT, LLC PHONE: (909) 946-6729
 ADDRESS: 1920 W. Eleventh St. FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: glord@lordconstructors.com

Proprietary interest in site: _____ List all owners: Inland Properties

DESCRIPTION OF REQUEST: Final sign off for EPC approved Site Development Plans for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 185-A, 184, 183 and the southerly portion of Tract 182 Block: Airport Unit Unit: 8
 Subdiv/Addn/TBKA: Town of Atasco Grant
 Existing Zoning: SU-1 for IP Proposed zoning: SU-1 for IP with truck sales and service MRGCD Map No _____
 Zone Atlas page(s): J-10-Z UPC Code: 10100580622 702 0202; 1000 580 9928 2202 03 10100581122 8120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Proj # 1006761, 12 EPC 40071/40072, 13 EPC 40102/40103, 13 ZHE 80436, 1009587

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 31 No. of proposed lots: 1 Total site area (acres): 8.9
 LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 7th Street NW and I-40
 Check if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 8/14/2012

SIGNATURE [Signature] DATE May 7, 2013
 (Print Name) James K. Strozien, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 DRB - 70540</u>	<u>SBP</u>		<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 20.00</u>

Hearing date May 15, 2013

[Signature]
 Staff signature & Date 5-7-13

Project # 1006761

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozic, AICP
 Applicant name (print)
[Signature] 5/7/13
 Applicant signature / date



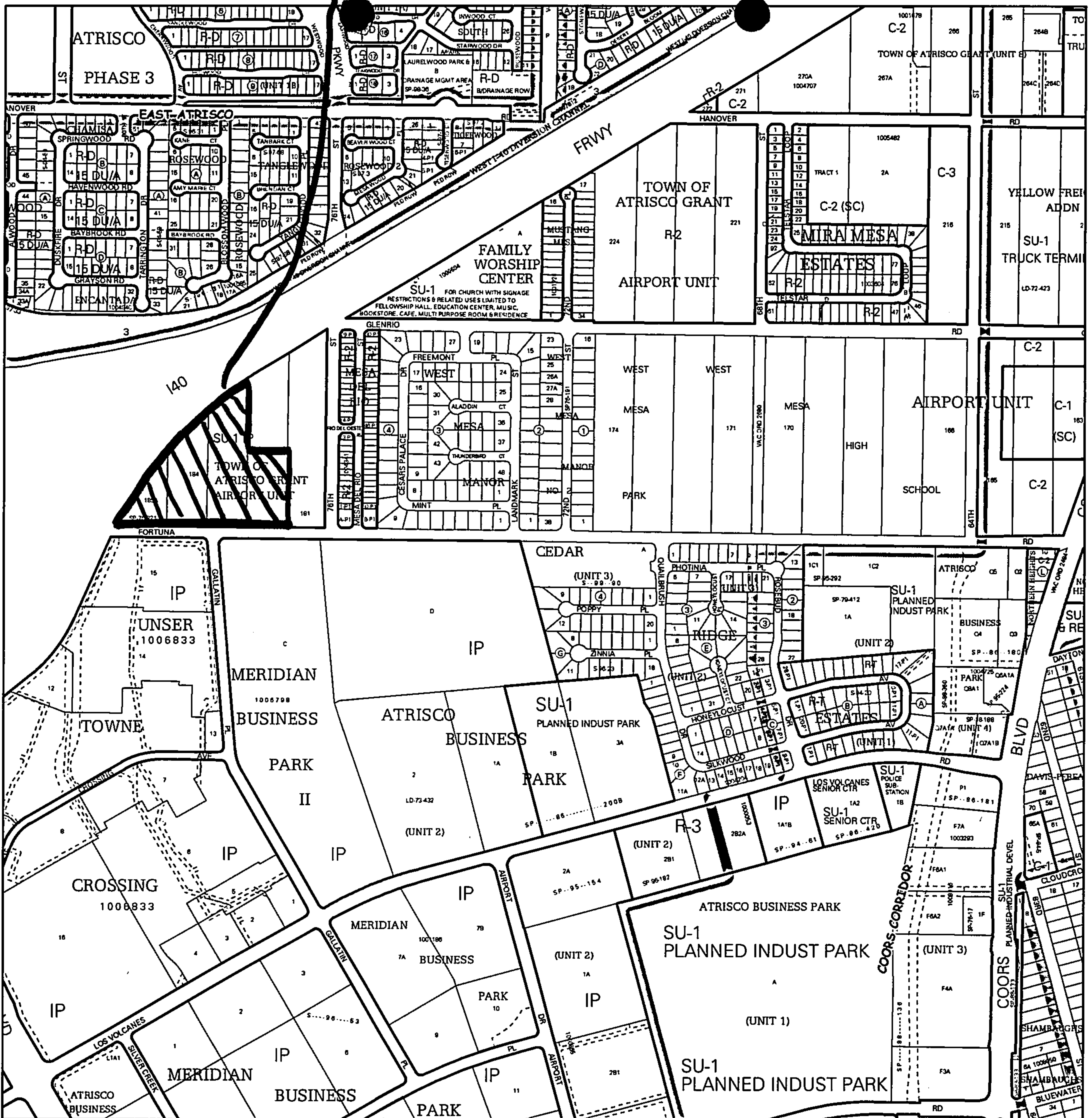
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB - 10540

[Signature] 5-7-13
 Planner signature / date
 Project # 1000761

SITE



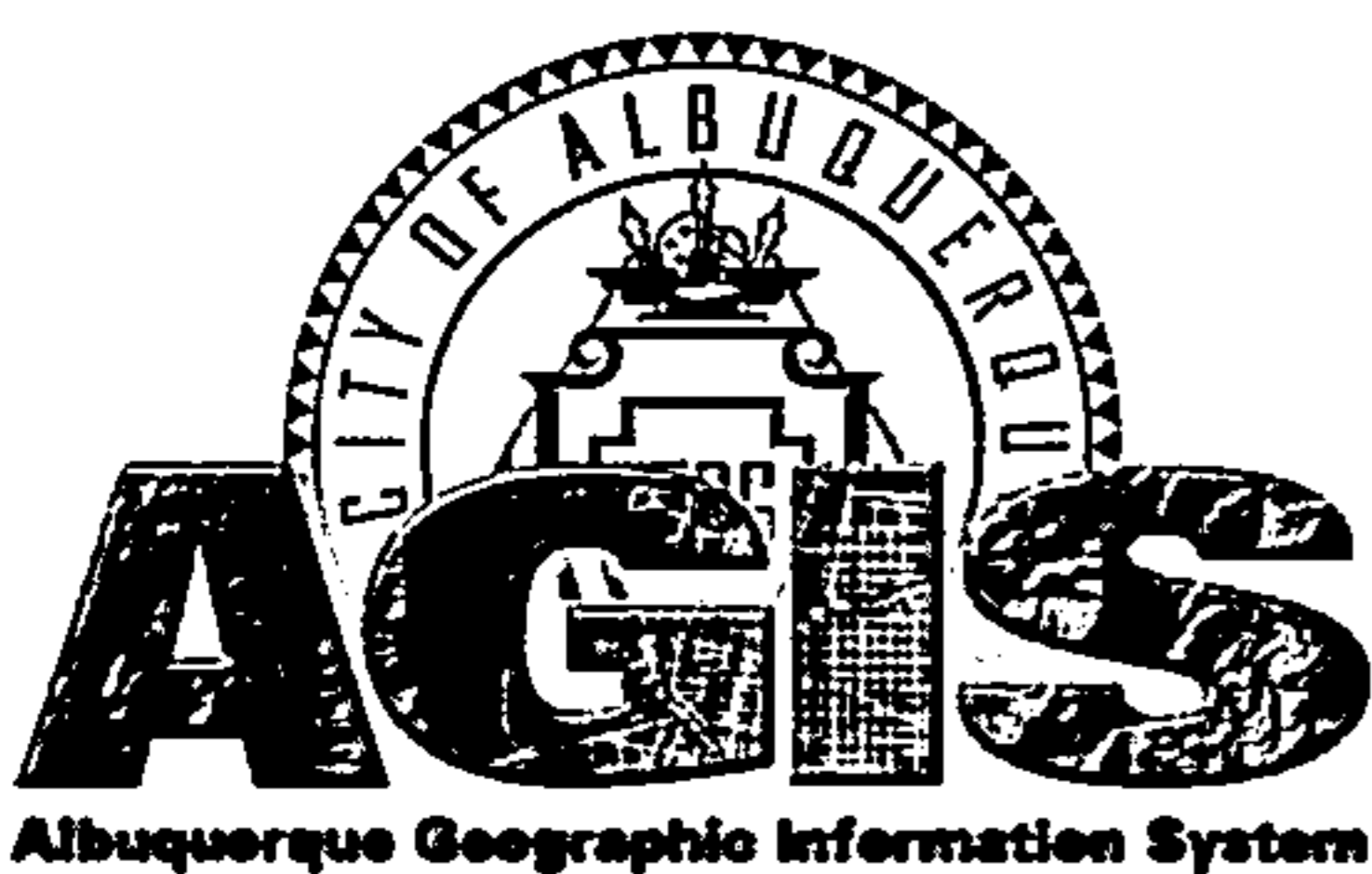
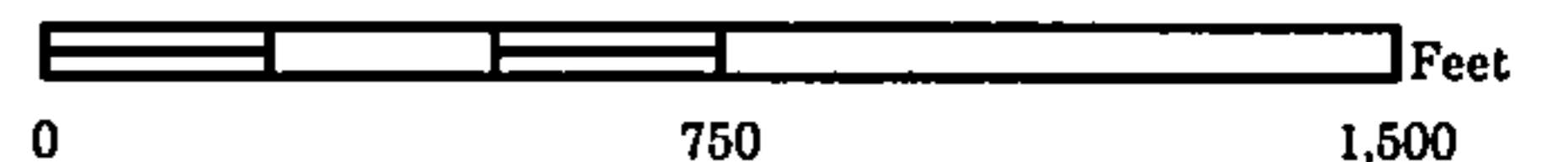
For more current information and details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:

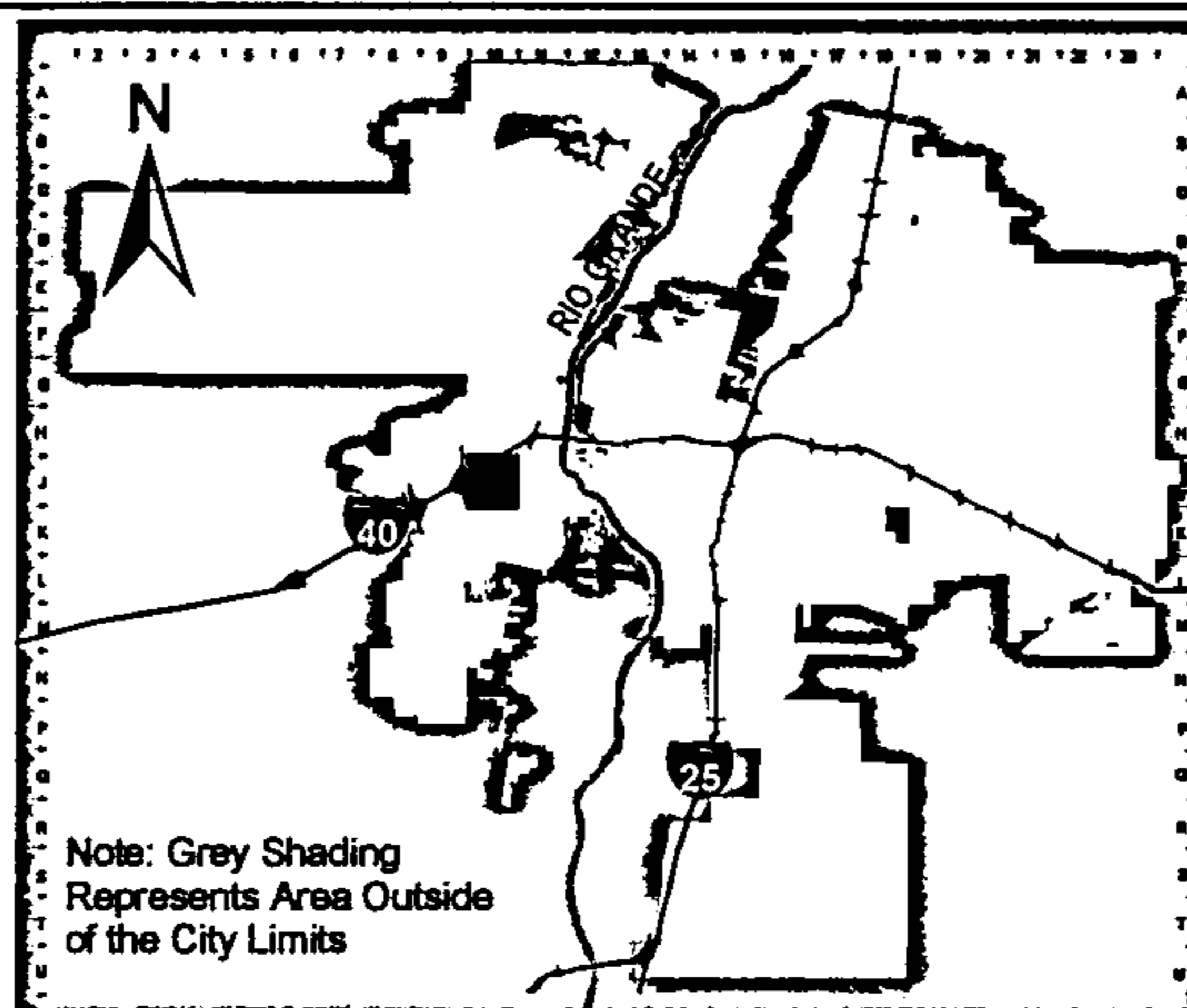
J-10-Z

Selected Symbols

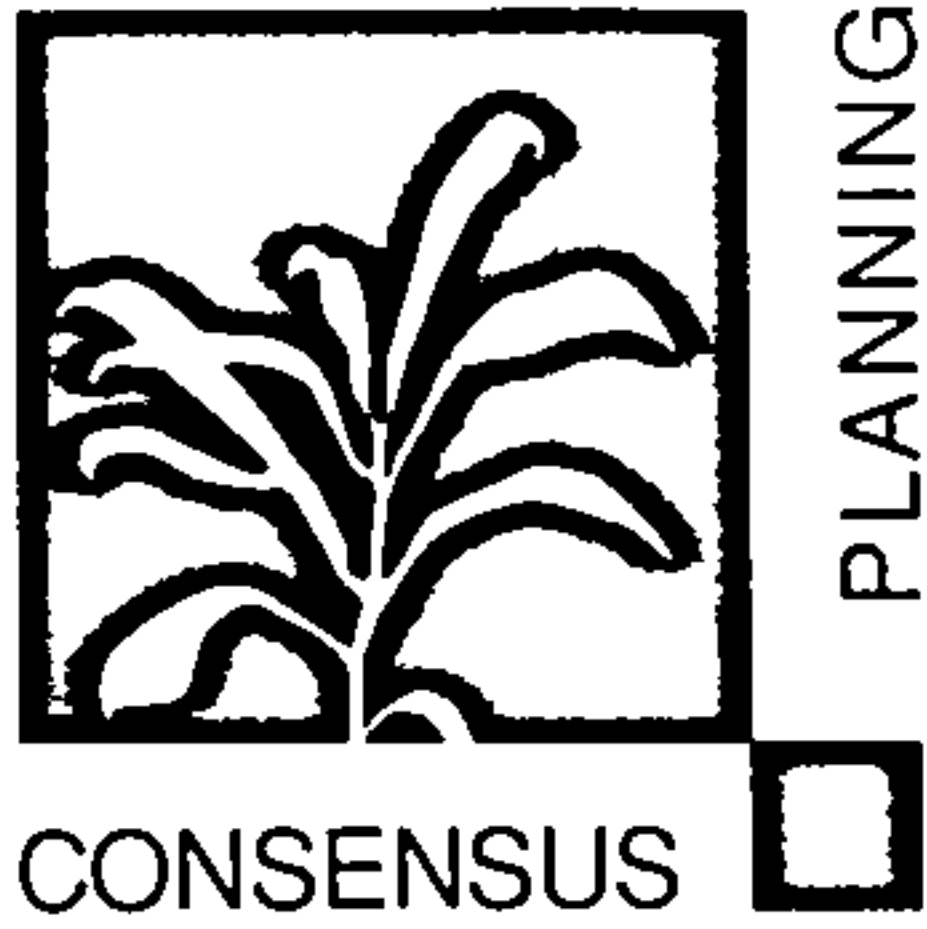
- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 1/10/2013



Note: Grey Shading Represents Area Outside of the City Limits



May 7, 2013

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Project 1006761/13EPC-40103: Site Development Plan for Building Permit

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Chairman:

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project 1006761, 13EPC-40103, a Site Development Plan for Building Permit, which was approved on April 11, 2013.

302 Eighth St. NW
Albuquerque, NM 87102

Each condition is enumerated below and our response is indicated in italics:

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that all other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

We agree and this letter satisfies that requirement.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We have met with the staff planner, Catalina Lehner on Friday, May 3, 2013 to ensure that all conditions of approval have been met.

3. Transportation and Parking:

- a. The type of non-permeable pavement shall be specified.

We have made this change to the Site Plan. Concrete has been identified as the non-permeable pavement material.

- b. Total parking required shall be listed as 84 (not 52).

This change has been made. Please see the Site Plan.

4. Pedestrian and Bicycle Access:

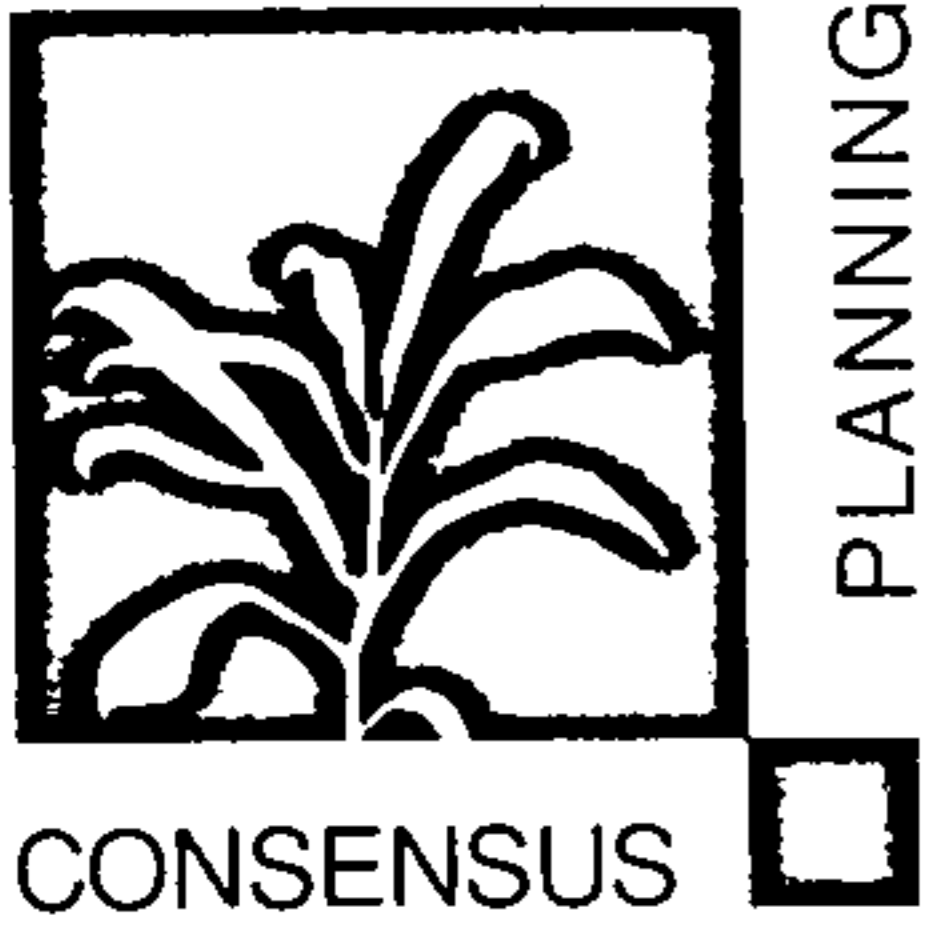
- a. The relationship between the pedestrian walkway and the security fencing shall be clarified (ex. indicate the fence opening).

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



The gate opening has been indicated and labeled on the Site and Landscape Plans.

- b. The bike rack shall be painted a lighter color than black.

The bike rack color has been changed to white.

5. Sidewalks:

- a. An 11 foot wide sidewalk shall be provided along the major (southern) façade pursuant to Zoning Code § 14-16-3-18(C)(1).

The sidewalk along the southern façade has been expanded to meet this requirement.

- b. The average required sidewalk width of 11 feet shall be maintained; the width shall not be less than 8 feet [Subsection (C)(1)(d)].

The sidewalk, as modified, meets this requirement.

- c. The applicant shall obtain a permanent sidewalk waiver through the DRB process.

This condition does not apply. No sidewalk waiver is being requested.

6. Outdoor Seating and Space:

- a. A second bench shall be provided along the building's southern (main) façade [Zoning Code § 14-16-3-18(C)(3)].

A second bench has been added to the Site and Landscape Plans.

- b. Each seat shall be a minimum of 24 inches wide.

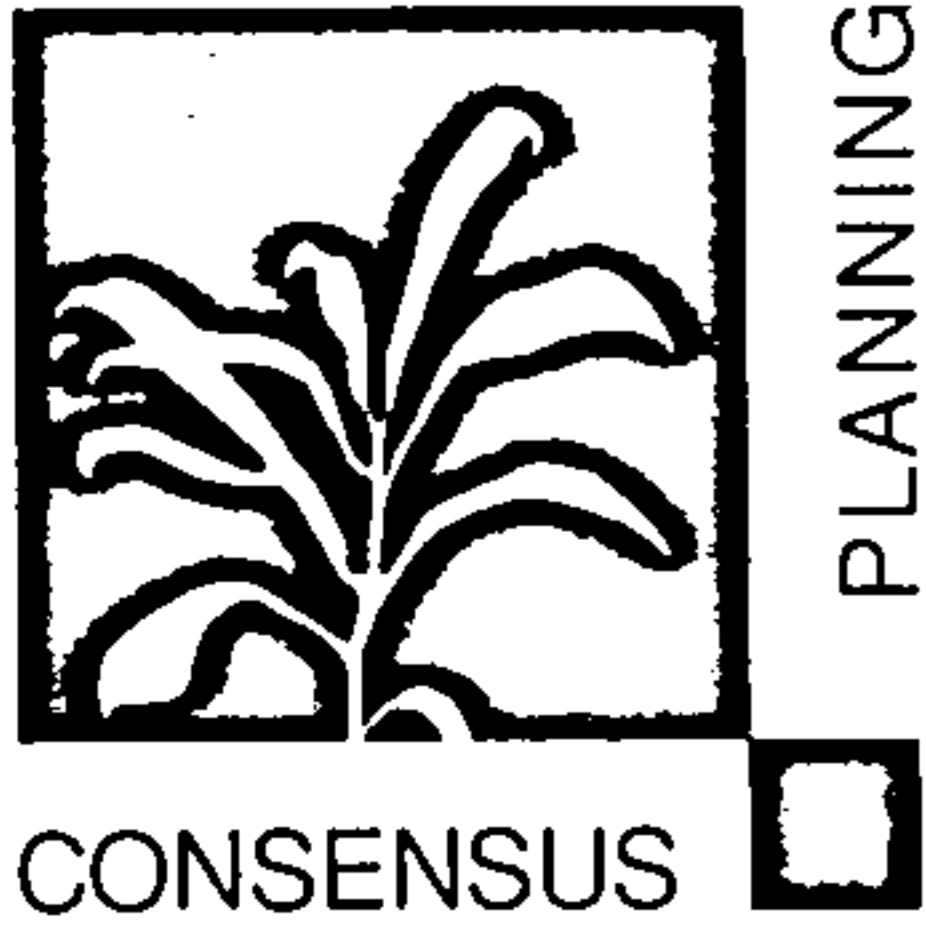
We agree to this condition, see detail 10 on Sheet A1.2.

- c. A standard bench detail shall be provided.

See sheet A1.2, detail 10.

- d. Clarify and show how the 403 sf was calculated for the patio space at the building's SW corner.

The dimensioning of the patio space is 28 feet by 17 feet has been labeled on the Site Plan, which amounts to 476 square feet.



7. Wall/Fences:

- a. The color of the wrought iron security fence and the columns shall be specified.

All pilasters have been noted as grey. A fence detail has been added to the detail sheets.

- b. A gate detail for the security fencing shall be provided.

A gate detail for the entry gate has been provided. Please see detail sheet A1.3.

- c. The concrete screen wall shall not exceed 4.5 feet high and shall be integrated with building architecture.

This change has been made. The height of the screen wall has been reduced to 4.5 feet.

- d. The color of the refuse enclosure walls shall be specified.

All walls have been noted as grey.

8. Landscaping- Requirements:

- a. To achieve the minimum of 75% coverage with living, vegetative materials, additional plant material shall be added to the landscaping beds fronting Fortuna Rd. and the west-east buffer near the site's eastern side.

This change has been made. Please see Landscape Plan for calculations. Following our meeting with the case planner, additional plants were added to the Fortuna Road frontage.

- b. The landscaping buffer along the site's western side shall be at least 6 feet wide and dimensioned.

A 10 foot setback and 6 foot landscape buffer has been verified and dimensioned, see Landscape Plan.

- c. The request shall comply with the Street Tree Ordinance.

This request complies with the Street Tree Ordinance and is demonstrated on the Landscape Plan, Street Tree calculations.

- d. Parking lot trees provided shall be listed as 15 and required listed as 8.

The Landscape Plan has been revised.

9. Landscaping and Water Harvesting:

- a. Landscaping beds shall be depressed slightly below grade.

A note has been added to the Landscape Plan to address this condition.

- b. The tree planting detail and the shrub planting detail shall show planting below grade (not "on grade").

The tree planting detail has been updated, see Landscape Plan.

- c. A minimum of 6 curb notches shall be provided at landscape islands throughout the site, and located so that water can flow into them.

The Site Plan, Landscape Plan, and Grading and Drainage Plan have been revised.

- d. Curb cuts shall be shown on the landscaping plan and match those shown on the grading and drainage plan.

We agree to this condition. Please see Site Plan, Landscape Plan, and Grading and Drainage Plan.

- e. The landscape area near the building's SW corner shall be the same size on the main site development plan sheet (BP-1) and the landscaping plan.

The Site and Landscape Plans have been corrected.

10. Elevations and Signage:

- a. Incorporate another architectural feature to break up the mass Zoning Code § 14-16-3-18(D). As required, the primary entrance is clearly defined (D)(1). (D)(2) requires that at least two architectural features listed (a – g) are used to break-up the building's mass.

Agreed, see revised elevation sheet.

- b. The common-name colors and manufacturer's colors used in the elevations shall be specified in a color legend.

Agreed, see revised elevation sheet.

- c. The paint color of the concrete and the color of the horizontal accent band shall be specified.

Agreed, see revised elevation sheet.

11. Signage:

The sign detail shall show 150 sf of signage and shall be to scale.

The sign detail is dimensioned and the scale has been added to address this condition.

12. Minor, "Clean-Up":

- a. The current zoning shall be listed as "SU-1 IP"

SU-1 for IP for truck sales and services has been noted as the existing zoning on the Site Plan and the previous SU-1 for IP has been eliminated since the Zone Map Amendment was approved by the EPC.

- b. A keyed note shall be added to label what the concrete wall on the building's southern façade is screening.

We agree to this condition. A key note has been added.

- c. A keyed note shall be added to label the "bumped-out" items near the main door.

We agree to this condition. The canopies have been identified as a key note.

- d. The function of the lines shown by the bicycle rack and the main entrance shall be clarified and key noted.

We agree to this condition. The line work associated with the bicycle rack has been corrected.

13. Conditions from the City Engineer, Municipal Development and NMDOT:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

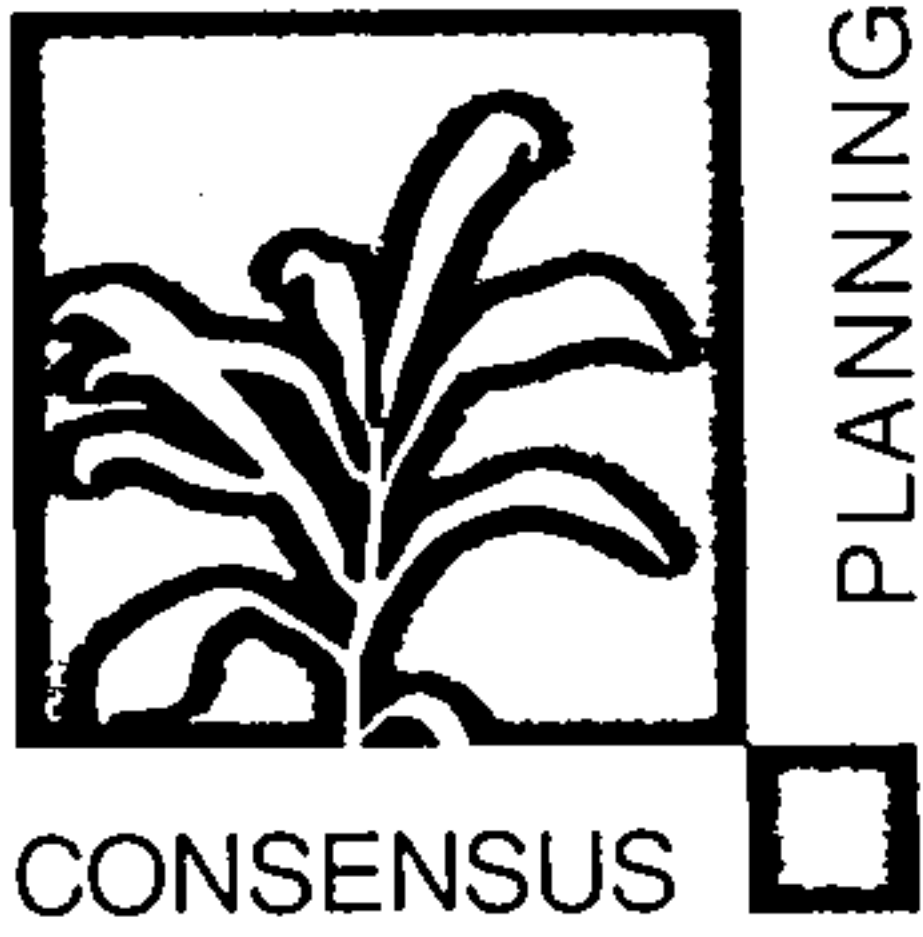
We agree to this condition.

- b. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/requirements.

We agree to this condition.

- c. A cross access easement and a shared parking agreement will be required if all four tracts are not re-platted at DRB.

The tracts are being re-platted concurrently with this request.



- d. It is not apparent the type of pavement surface being proposed or referenced. "Note: concrete pavement shall be considered..." is referenced but not a definitive statement. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.

The Site Plan has been revised to identify that the pavement surface as concrete.

- e. All Easements need to be shown and labeled on Site Plan.

We agree to this condition. Please see revised Site Plan.

- f. Please provide the route the large-heavy trucks will negotiate to and from the site via the interstate.

We have provided an updated exhibit that diagrams the truck circulation route.

- g. The largest truck size and classification that will be accessing the site, turning movements and route for entering, exiting and circulation within the site shall be provided.

We have provided an exhibit that diagrams the truck circulation route within the site.

- h. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.

We agree to this condition.

- i. Submit the plan to Hydrology for DRB approval.

We have submitted the updated plan to Hydrology.

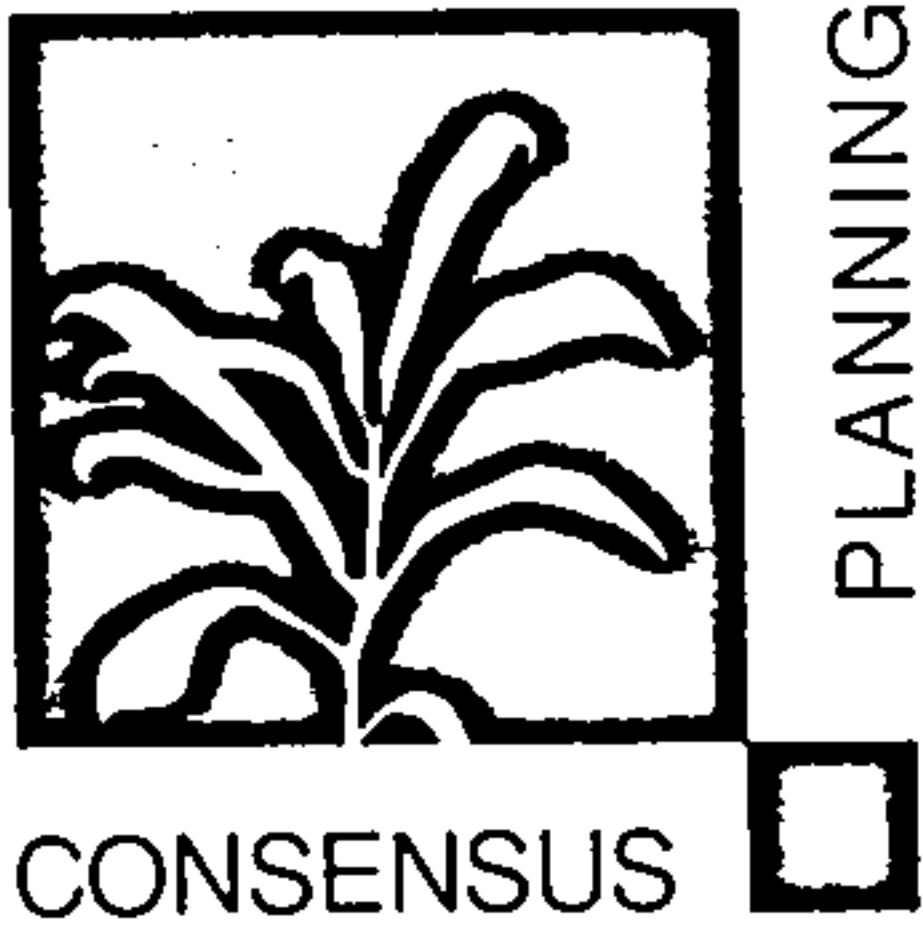
- j. Show existing grades in the area of the "Drainage Concept" narrative to ensure NMDOT flows are not being diverted.

The Grading and Drainage Plan has been revised to reflect this condition. The offsite drainage swale was eliminated and the perimeter wall along the I-25 ROW has been recessed into the tract by 4 feet to allow the storm water flow to be collected and routed to the 40 foot wide drainage easement and associated improvements to the north.

14. Conditions from the Public Service Company of New Mexico (PNM):

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.

We agree to this condition.



- b. There is an existing overhead electric distribution line between the north side of the property and Interstate 40. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department regarding proposed tree species, tree placement and height at maturity, sign location and height, and lighting height in order to ensure sufficient safety clearances and to avoid interference with the existing facilities.

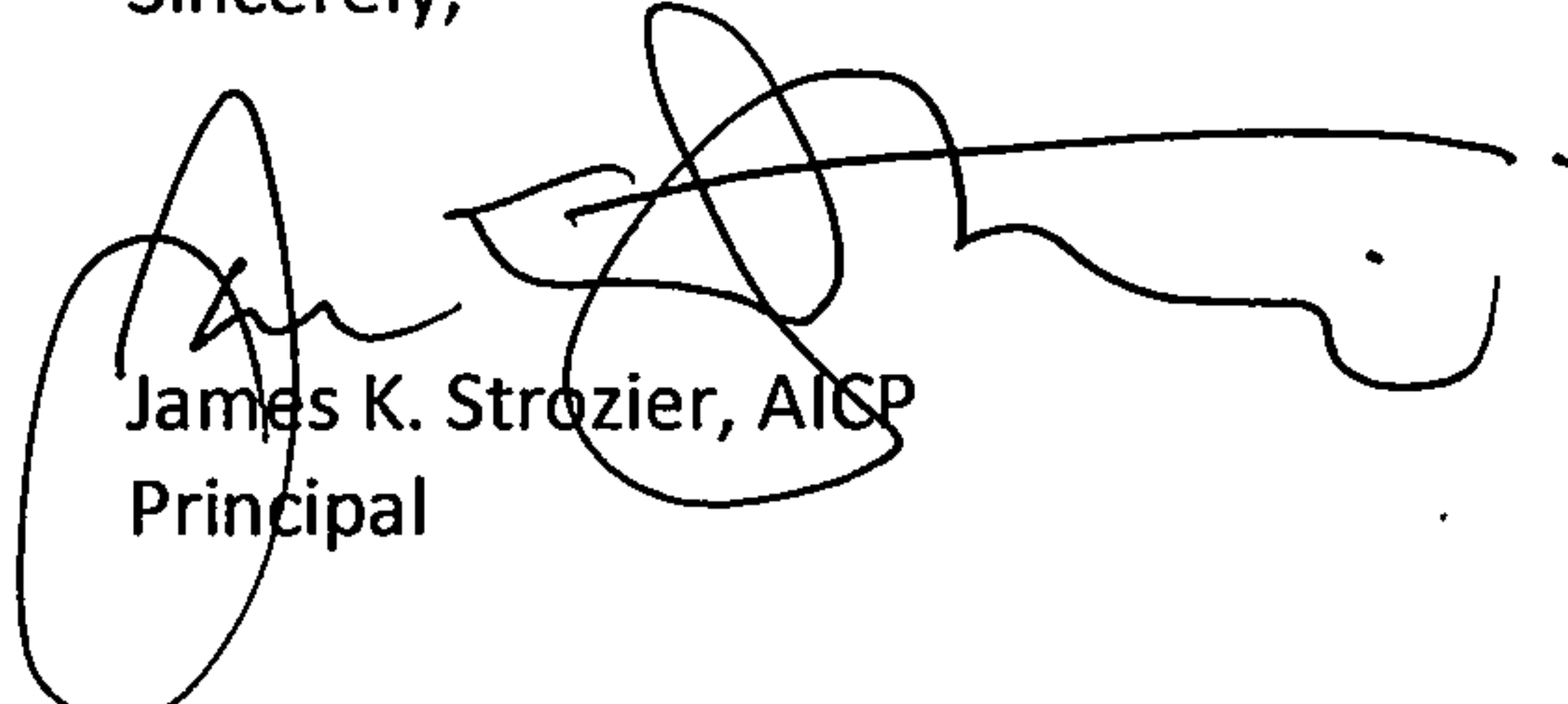
We agree to this condition and a note has been added to the Landscape Plan.

- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide at www.pnm.com for specifications.

We agree to this condition and have provided a note that addresses this condition on the Landscape Plan.

Please feel free to call me if you have any questions or need additional information.

Sincerely,



James K. Strozier, AICP
Principal

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

April 11, 2013

LCI, LLC
1920 W. Eleventh Street
Upland, CA 91786

Project# 1006761
13EPC-40102 Zone Map Amendment
13EPC-40103 Site Development Plan for Building
Permit

LEGAL DESCRIPTION:

For all or a portion of Tracts 185-A, 184, 183 and the southerly portion of Tract 182 Airport Unit, Town of Atrisco Grant Unit 8, located on Fortuna Road NW between 76th Street NW and Interstate 40, containing approximately 9.6 acres.

Staff Planner: Catalina Lehner

PO Box 1293

Albuquerque On April 11, 2013, the Environmental Planning Commission (EPC) voted to APPROVE Project #1006761, 13EPC-40102, a request for a Zone Map Amendment, based on the following Findings and Conditions:

NM 87103 FINDINGS:

- www.cabq.gov
1. This is a request for a zone map amendment from "SU-1 for IP" to "SU-1 for IP with Truck Sales and Service" for Tracts 185-A, 184, 183 and the southerly portion of Tract 182 Airport Unit, Town of Atrisco Grant Unit 8, an approximately 9.6 acre site located on Fortuna Rd. NW, between 76th St. NW and Interstate-40.
 2. The request is accompanied by a request for a site development plan for building permit (13EPC-40103) for an approximately 41,000 square foot building, a truck sales area and parking for trucks and trailers. The applicant intends to develop a sales and service center for big trucks.
 3. The proposed use, Truck Sales and Service, is not permissive under the current zoning SU-1 for IP zoning. Automotive sales, rentals, service, repair and storage are first permissive in the M-1 zone. A conditional use approved in 2007 (07ZHE-080055), to allow automotive sales, rental, service, repair, and storage in an IP zone, expired because the property was not developed within a year. Regardless, the current request is to add Truck Sales and Service and not automotive sales, rentals, service, repair and storage.

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 2 of 12

4. The subject site is located in the Established Urban Area of the Comprehensive Plan and in the boundaries of the West Side Strategic Plan. It is located in the Atrisco Park Community, just north of the Atrisco Business Park.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The applicant has demonstrated that the zone change request is justified pursuant to Resolution 270-1980 as follows:
 - A. Section 1A: The request is consistent with the City's health, safety, morals and general welfare because it furthers a preponderance of applicable Goals and policies in the Comprehensive Plan and the West Side Strategic Plan.
 - B. Section 1B: The request would not adversely affect stability of land use and zoning in the area. Adding "truck sales and service" to the current SU-1 for IP zoning would add two new uses under the framework of the SU-1 zone, which is site development plan controlled. The applicant has provided a sound justification for the proposed change.
 - C. Section 1C: The applicant has adequately demonstrated that the request furthers a preponderance of applicable Goals and policies in the Comprehensive Plan and the West Side Strategic Plan. There is no "significant conflict" with an adopted element of either.
 - D. Section 1D: A different use category is more advantageous to the community because the request furthers a preponderance of policies in the Comprehensive Plan and the West Side Strategic Plan.
 - E. Section 1E: The permissive uses in the zone would not be harmful to adjacent property, the neighborhood, or the community. The request is generally compatible with adjacent land uses and zoning, most of which is IP. The primary truck route would utilize Unser Blvd. and approach the subject site from the south, and would not go east through the nearby neighborhood.
 - F. Section 1F: The request will not require major or unprogrammed capital expenditures by the City.
 - G. Section 1G: The cost of land or other economic considerations are not the determining factor for the proposed zone change. The applicant owns the subject site.
 - H. Section 1H: Location on a collector street is not being used, in itself, as justification for the proposed zone change. The request is based on the use based upon the use being beneficial to the community as articulated in City plans and policies.

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 3 of 12

- I. Section 1I: The request would clearly facilitate realization of the Comprehensive Plan and the West Side Strategic Plan. Also, the SU-1 zoning would not be given to one, small area.
 - J. Section 1J: The request would not result in a strip zone because the subject site does not constitute a "strip of land along a street".
7. The proposal furthers the Comprehensive Plan's Economic Development Goal and the following policies pertaining to economic development:
- A. Goal- The request would provide new economic development and employment opportunities with a range of skills and salary levels, balanced with other goals (ex. recreational, social).
 - B. Policy II.D.6a- new employment/range of skills and salaries. The approximately 40 new jobs would accommodate a range of skills and salary levels. The jobs would be located convenient an area of need, the Westside, which is characterized by an imbalance in the jobs/housing ratio.
 - C. Policy II.D.6b- local and outside business development. The proposed development will employ local residents and help remedy the jobs-housing imbalance on the Westside.
8. The request furthers and partially furthers the following Comprehensive Plan land use policies:
- A. Policy II.B.5.d-neighborhood/environmental conditions/resources. The location and intensity would respect neighborhood values by being as far west as possible, next to I-40, and by being buffered by vacant land zoned SU-1 IP. Neighbors have expressed concern about truck traffic, though the primary truck route to access the site would use Unser Blvd. and approach the subject site from the south. However, trucks would not be prohibited from passing the neighborhood by using Fortuna Rd. A letter of support has been received.
 - B. Policy II.B.5e-new growth/urban services/ neighborhood integrity. The proposal would facilitate new growth in an area where full urban services are available. Utilities exist along Fortuna Rd. The integrity of the neighborhood would be ensured because a vacant tract zoned SU-1 IP would buffer it from the subject site and truck service would occur inside the building. However, it may be difficult to ensure that trucks don't use Fortuna Rd.
9. The proposal furthers and partially furthers the following, applicable West Side Strategic Plan (WSSP) policies:

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 4 of 12

- A. WSSP Policy 1.6- Though not located in the Atrisco Business Park, a designated Employment Center, the subject site is just north of it. The request may help encourage more employers to locate in this area, which could generally help improve the jobs-housing ratio on the Westside.
 - B. WSSP Policy 3.33 (Atrisco Park)- The request would constitute new, non-residential development in the Atrisco Park Community, which is considered an appropriate and desirable location for new development.
10. The affected neighborhood organizations are the Los Volcanes Neighborhood Association (NA), Laurelwood NA, Parkway NA, South Valley Coalition of NAs, South West Alliance of Neighbors, and the Westside Coalition of NAs. Property owners within 100 feet of the subject site were also notified. A facilitated meeting was neither recommended nor held. Neighbors to the east in the West Mesa Manor neighborhood expressed concern regarding truck traffic along Fortuna Rd. A neighbor submitted a letter of support.

CONDITIONS:

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to Zoning Code §14-16-4-1(C)(11). If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.
2. The subject site shall be replatted at the DRB.

On April 11, 2013, the Environmental Planning Commission (EPC) voted to APPROVE Project #1006761, 13EPC-40103, a request for a Site Development Plan for Building Permit, based on the following Findings and Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tracts 185-A, 184, 183 and the southerly portion of Tract 182 Airport Unit, Town of Atrisco Grant Unit 8, an approximately 9.6 acre site located on Fortuna Rd. NW, between 76th St. NW and Interstate-40.

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 5 of 12

2. The applicant intends to develop a sales and service center for semi-trucks. The proposed, approximately 41,000 sf building will contain office and truck sales and service uses.
3. The subject site is located in the Established Urban Area of the Comprehensive Plan and in the boundaries of the West Side Strategic Plan. It is located in the Atrisco Park Community, just north of the Atrisco Business Park.
4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. A request for a zone map amendment (13EPC-40102) accompanies this request.
6. The proposal furthers the Comprehensive Plan's Economic Development Goal and the following policies pertaining to economic development:
 - A. Goal- The request would provide new economic development and employment opportunities with a range of skills and salary levels, generally balanced with other goals (ex. recreational, social). A pedestrian connection would be provided.
 - B. Policy II.D.6a- new employment/range of skills and salaries. The approximately 40 new jobs would accommodate a range of skills and salary levels. The jobs would be located convenient an area of need, the Westside, which is characterized by an imbalance in the jobs/housing ratio.
 - C. Policy II.D.6b- local and outside business development. The proposed development will employ local residents and help remedy the jobs-housing imbalance on the Westside.
7. The request furthers and partially furthers the following Comprehensive Plan land use policies:
 - A. Policy II.B.5i-employment/ service use location (furthers). The proposed use would be located approximately 265 feet east of a residential area. A vacant strip of land zoned SU-1 IP and the building's location near the center of the subject site would help minimize adverse effects of noise, lighting and pollution. Service work would occur indoors. Trucks would use Unser Blvd. and not pass by the neighborhood, though this may be difficult to ensure.
 - B. Policy II.B.5.d- neighborhood/environmental conditions/resources. The location and intensity would respect neighborhood values by being as far west as possible, next to I-40, and by being buffered by vacant land zoned SU-1 IP. Neighbors have expressed concern about truck traffic, though the primary truck route to access the site would use Unser Blvd. and approach the subject site from the south. However, trucks would not be

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 6 of 12

prohibited from passing the neighborhood by using Fortuna Rd. A letter of support has been received.

- C. Policy II.B.5e-new growth/urban services/ neighborhood integrity. The proposal would facilitate new growth in an area where full urban services are available. Utilities exist along Fortuna Rd. The integrity of the neighborhood would be ensured because a vacant tract would buffer it from the subject site and truck service would occur inside the building. However, it may be difficult to ensure that trucks don't use Fortuna Rd.
 - D. Policy II.B.5l-quality design/new development. The proposed building and site design is tailored to meet the particular needs of semi-trailer trucks. The building design is not franchise architecture and is generally appropriate for the area.
8. The proposal furthers and partially furthers the following, applicable West Side Strategic Plan (WSSP) policies:
- A. WSSP Policy 1.6- Though not located in the Atrisco Business Park, a designated Employment Center, the subject site is just north of it. The request may help encourage more employers to locate in this area, which could generally help improve the jobs-housing ratio on the Westside.
 - B. WSSP Policy 3.33 (Atrisco Park)- The request would constitute new, non-residential development in the Atrisco Park Community, which is considered an appropriate and desirable location for new development.
 - C. WSSP Policy 4.6.h (partially furthers)- The proposed number of parking spaces does not exceed 10% of the required number of parking spaces. The proposed site development plan shows a pedestrian connection to the existing sidewalk and future bike route. It would be safe, but it's unclear if pedestrians would be able to get through the security fencing.
9. On March 19, 2013, the Zoning Hearing Examiner (ZHE) heard a request for a two variances pertaining to proposed signage on the subject site. The applicant requested that an additional 9 feet of height and 50 sf of area be allowed in addition to what the underlying IP zoning allows.
10. A Traffic Impact Study (TIS) was not required because the proposed development does not meet applicable thresholds. A certificate of no effect, pursuant to the Archaeological Ordinance, was obtained.
11. Per the Long Range Bike System, a proposed trail is to be installed along Fortuna Rd. near I-40 east to 76th St. and proposed bike lanes are to be installed along Fortuna Rd. from 76th St. to Coors Blvd.

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 7 of 12

12. The affected neighborhood organizations are the Los Volcanes Neighborhood Association (NA), Laurelwood NA, Parkway NA, South Valley Coalition of NAs, South West Alliance of Neighbors, and the Westside Coalition of NAs. Property owners within 100 feet of the subject site were also notified. A facilitated meeting was neither recommended nor held. Neighbors to the east in the West Mesa Manor neighborhood expressed concern regarding truck traffic along Fortuna Rd. A neighbor submitted a letter of support.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Transportation & Parking:
 - A. The type of non-permeable pavement shall be specified.
 - B. Total parking required shall be listed as 84 (not 52).
4. Pedestrian & Bicycle Access:
 - A. The relationship between the pedestrian walkway and the security fencing shall be clarified (ex. indicate the fence opening).
 - B. The bike rack shall be painted a lighter color than black.
5. Sidewalks:
 - A. An 11 foot wide sidewalk shall be provided along the major (southern) façade pursuant to Zoning Code §14-16-3-18(C)(1).
 - B. The average required sidewalk width of 11 feet shall be maintained; the width shall not be less than 8 feet [Subsection (C)(1)(d)].
 - C. The applicant shall obtain a permanent sidewalk waiver through the DRB process.
6. Outdoor Seating & Space:

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 8 of 12

- A. A second bench shall be provided along the building's southern (main) façade [Zoning Code §14-16-3-18(C)(3)].
 - B. Each seat shall be a minimum of 24 inches wide.
 - C. A standard bench detail shall be provided.
 - D. Clarify and show how the 403 sf was calculated for the patio space at the building's SW corner.
7. Walls/Fences:
- A. The color of the wrought iron security fence and the columns shall be specified.
 - B. A gate detail for the security fencing shall be provided.
 - C. The concrete screen wall shall not exceed 4.5 feet high and shall be integrated with building architecture.
 - D. The color of the refuse enclosure walls shall be specified.
8. Landscaping- Requirements:
- A. To achieve the minimum of 75% coverage with living, vegetative materials, additional plant material shall be added to the landscaping beds fronting Fortuna Rd. and the west-east buffer near the site's eastern side.
 - B. The landscaping buffer along the site's western side shall be at least 6 feet wide and dimensioned.
 - C. The request shall comply with the Street Tree Ordinance.
 - D. Parking lot trees provided shall be listed as 15 and required listed as 8.
9. Landscaping & Water Harvesting:
- A. Landscaping beds shall be depressed slightly below grade.
 - B. The tree planting detail and the shrub planting detail shall show planting below grade (not "on grade").
 - C. A minimum of 6 curb notches shall be provided at landscape islands throughout the site, and located so that water can flow into them.

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 9 of 12

- D. Curb cuts shall be shown on the landscaping plan and match those shown on the grading and drainage plan.
- E. The landscape area near the building's SW corner shall be the same size on the main site development plan sheet (BP-1) and the landscaping plan.

10. Elevations & Signage:

- A. Incorporate another architectural feature to break up the mass Zoning Code §14-16-3-18(D). As required, the primary entrance is clearly defined (D)(1). (D)(2) requires that at least two architectural features listed (a – g) are used to break-up the building's mass.
- B. The common-name colors and manufacturer's colors used in the elevations shall be specified in a color legend.
- C. The paint color of the concrete and the color of the horizontal accent band shall be specified.

11. Signage:

The sign detail shall show 150 sf of signage and shall be to scale.

12. Minor, "Clean-Up":

- A. The current zoning shall be listed as "SU-1 IP"
- B. A keyed note shall be added to label what the concrete wall on the building's southern façade is screening.
- C. A keyed note shall be added to label the "bumped-out" items near the main door.
- D. The function of the lines shown by the bicycle rack and the main entrance shall be clarified and key noted.

13. Conditions from the City Engineer, Municipal Development and NMDOT:

- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- B. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/requirements.
- C. A cross access easement and a shared parking agreement will be required if all four tracts are not re-plated at DRB.
- D. It is not apparent the type of pavement surface being proposed or referenced. "Note: concrete pavement shall be considered..." is referenced but not a definitive statement. A

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 10 of 12

hard driving surface will be required as part of this proposed project for parking area and drive aisles.

- E. All Easements need to be shown and labeled on Site Plan.
- F. Please provide the route the large-heavy trucks will negotiate to and from the site via the interstate.
- G. The largest truck size and classification that will be accessing the site, turning movements and route for entering, exiting and circulation within the site shall be provided.
- H. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.
- I. Submit the plan to Hydrology for DRB approval.
- J. Show existing grades in the area of the "Drainage Concept" narrative to ensure NMDOT flows are not being diverted.

14. Conditions from the Public Service Company of New Mexico (PNM):

- A. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- B. There is an existing overhead electric distribution line between the north side of the property and Interstate 40. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department regarding proposed tree species, tree placement and height at maturity, sign location and height, and lighting height in order to ensure sufficient safety clearances and to avoid interference with the existing facilities.
- C. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide at www.pnm.com for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **APRIL 26, 2013** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC's RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC's DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by

OFFICIAL NOTICE OF DECISION

PROJECT #1006761

April 11, 2013

Page 11 of 12

submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



for Suzanne Lubar
Acting Director, Planning Department

SL/CLL/mc

cc: Consensus Planning, Inc., 302 Eighth Street NW, Albuquerque, NM 87102
Margaret K. Woods, 6503 Honeylocust Avenue NW, Albuquerque, NM 87121
Ann McCoy Chavez, 6700 Silkwood Avenue NW, Albuquerque, NM 87121

OFFICIAL NOTICE OF DECISION

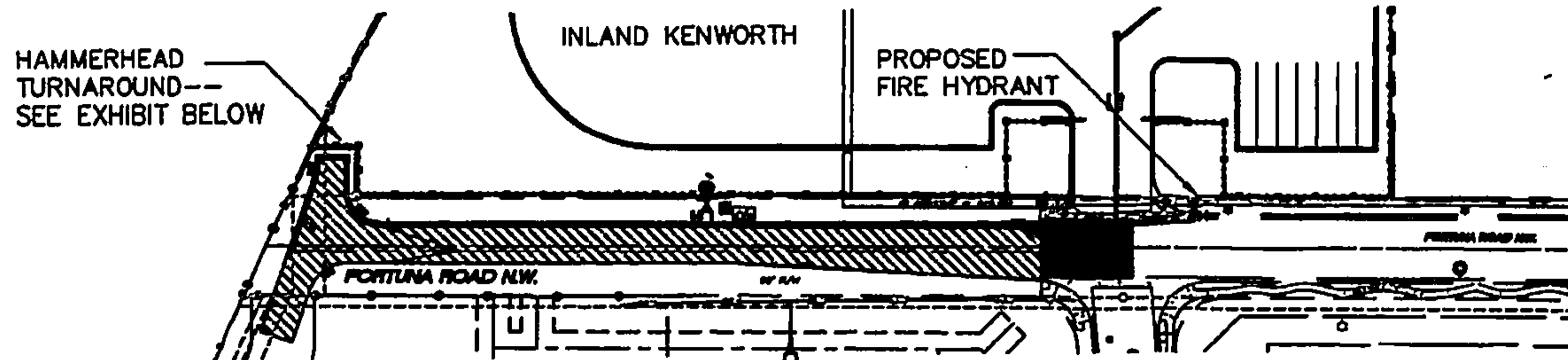
PROJECT #1006761

April 11, 2013

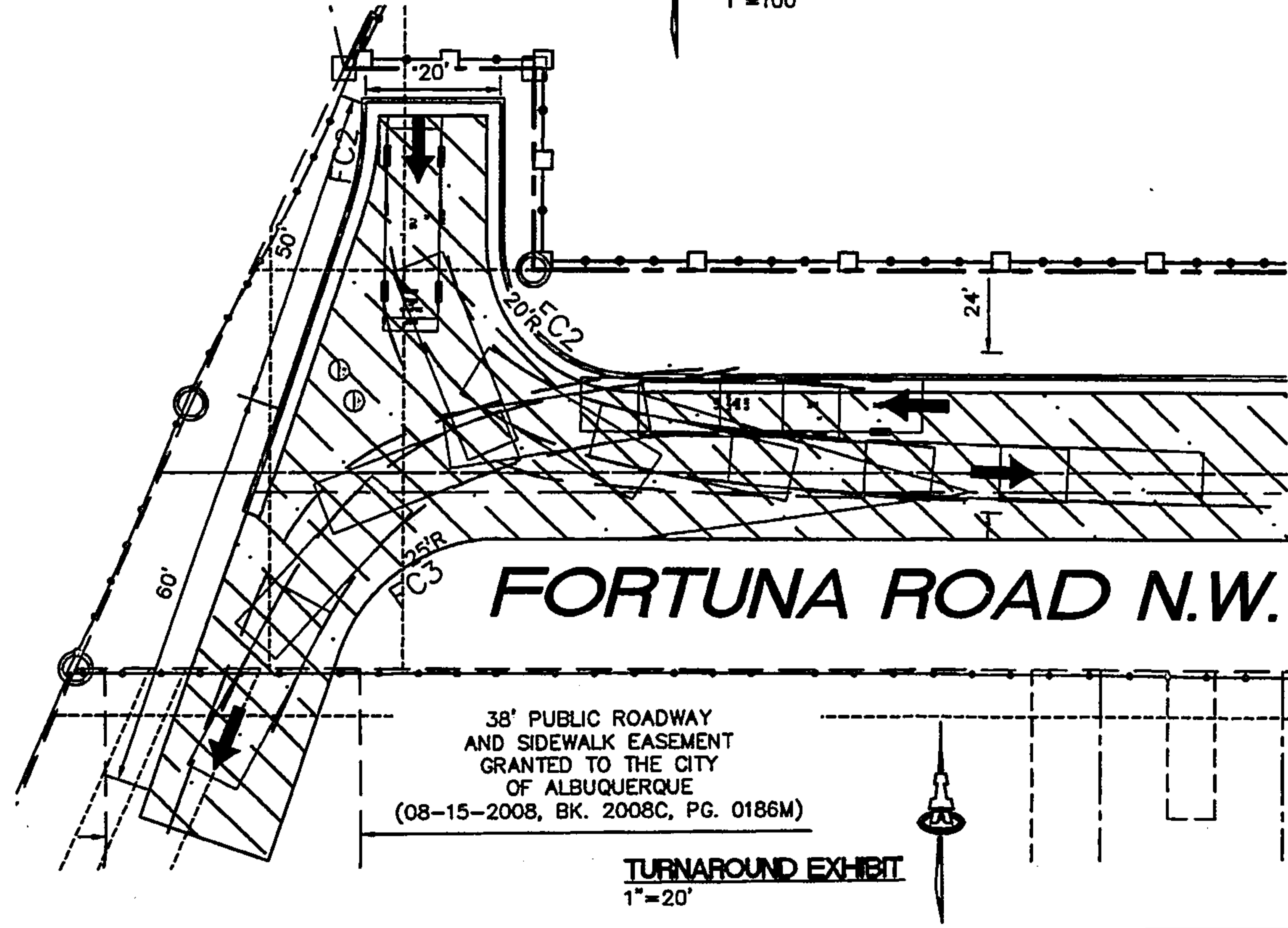
Page 12 of 12

Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120
Marie Barr, 7625 Maplewood Drive NW, Albuquerque, NM 87120
Carol Cunningham, 8012 Bridgewater NW, Albuquerque, NM 87120
Mary Loughran, 8015 Fallbrook NW, Albuquerque, NM 87120
Andres Lazo, 3220 Grasshopper Drive SW, Albuquerque, NM 87121
Marcia Fernandez, 2401 Violet SW, Albuquerque, NM 87105
Klarissa Pena, 6525 Sunset Gardens SW, Albuquerque, NM 87121
Louis Tafoya, 6411 Avalon Road NW, Albuquerque, NM 87105
Gerald (Jerry) C. Worrall, 1039 Pinatubo Place, Albuquerque, NM 87120

M:\CAD FILES\1900-1999\1941\1941.dwg 1941 G-701 TURNAROUND EXHIBIT.dwg 12/20/2012 11:34:11 AM, thir



OVERALL EXHIBIT
1"=100'



38' PUBLIC ROADWAY
AND SIDEWALK EASEMENT
GRANTED TO THE CITY
OF ALBUQUERQUE
(08-15-2008, BK. 2008C, PG. 0186M)

TURNAROUND EXHIBIT
1"=20'

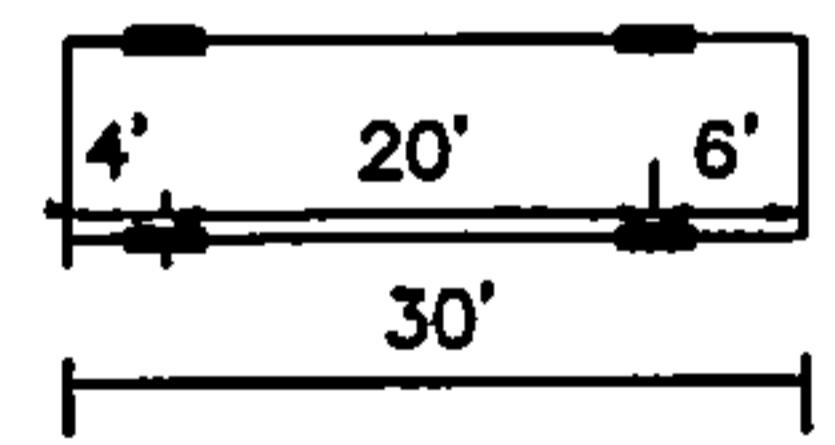
INLAND KENWORTH--
FORTUNA RD W. OF
76TH ST.

FIRE DEPT.
TURNAROUND EXHIBIT

NOVEMBER 26, 2012

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED *J. White*
12-26-12

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
R.C. Jan 12-20-12
SIGNATURE & DATE



SU-30 DESIGN VEHICLE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaif.com
1941 G-701 TURNAROUND EXHIBIT.dwg Nov 26, 2012

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

12DRB-70379

Project #: 1006761

Application #: 12DRB-70377

Project Name: Town OF ATRISCO GRANT - UNITY

Agent: Consensus Planning & Isaacson & Artman

Phone #:

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1006761 Application #: 12DRB-70379
Project Name: TOWN OF ATASCOCITA GRANT - UNIT 8 Application #: 12DRB-70377
Agent: _____ Phone #: _____

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

- TRANSPORTATION: _____

- ABCWUA: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): _____

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

Tract A, Inland Kenworth

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 185-A and Portions of Tracts 182,183 and 184, Town of Atrisco Grant, Airport Unit

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24" FF	Arterial Roadway	Fortuna Road	W. Terminus Fortuna	Gallatin Pl	/	/	/
<input type="text"/>	<input type="text"/>	6'	sidewalk	Fortuna Road	W of site entrance	135' west	/	/	/
<input type="text"/>	<input type="text"/>	18" dia.	storm drain extension & inlet	Fortuna Road	west side of site entrance		/	/	/
<input type="text"/>	<input type="text"/>	50'	Entrance w/ PCC Returns & Valley Gutter	Fortuna Road	Gallitan Pl. Intersection	(north side)	/	/	/
<input type="text"/>	<input type="text"/>	Std.	PCC Curb & Gutter (north side only)	Fortuna Road	W. terminus Fortuna	Gallatin Pl.	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- 1 Grading & Drainage Certification required per DPM (prior to release of financial guarantee) to include private retaining walls as defined on the proposed grading plan.
- 2 All storm drains to include catch basins, manholes (if necessary), connector pipes, and other appurtenances per DRC approved plans. Storm drais sizes and locations are approximate and subject to change per final DRC determination.
- 3 Street lighting per DPM
- 4 Perimeter Wall per DRB
- 5

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Fred C. Arfman, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 12.11.12
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DEVELOPMENT REVIEW BOARD MEETING – January 9, 2013

PARKS & RECREATION DEPARTMENT COMMENTS

Item #4

Project #1006761 – Town of Atrisco Grant – 183, 184, 185-A, 185 A-1

12DRB-70379 EPC Approved SDP for Building Permit
12DRB-70377 Preliminary/Final Plat Approval

The Parks & Recreation Department does not support the “separate permanent sidewalk waiver” for the western portion of Fortuna Rd. NW. The Metropolitan Transportation Plan has designated a future trail connection from the existing Unser Trail to the west end of and connecting to Fortuna Road. The Approved Site Development Plan for the property on the south side of Fortuna does indicate sidewalk across the south side of Fortuna but there are three entrance/exit breaks which are potential conflict areas for pedestrians and bicyclists. It is necessary for the 4’ sidewalk on the north side to continue to the hammerhead at the west end of Fortuna to provide a safe and complete connection to both the future sidewalk on the south side of Fortuna and to the future trail. At such time as the property to the south is developed an exact alignment for the trail connecting Fortuna to the existing trail can be developed.

P.O. Box 1293

Albuquerque

New Mexico 87103

The Parks and Recreation Department supports the SDP for Building Permit with the addition on the SDP of the sidewalk to and around the hammerhead on Fortuna and the addition of the sidewalk to the Infrastructure List. The Department supports the approval of Preliminary Plat with the conditions stated above for the SDP and the addition of the sidewalk on the Final Plat prior to approval.

www.cabq.gov



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 West 11th Street FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com

Proprietary interest in site: Developer List all owners: Inland Properties, Inc.

DESCRIPTION OF REQUEST: Approval of Subdivision Design Variance

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 185A-1 and Portions of Tracts 182, 183, & 184 Block: _____ Unit: Airport
 Subdiv/Addn/TBKA: Town of Atrisco Grant (tbka Tracts A & B, Inland Kenworth)
 Existing Zoning: SU-1 for IP Proposed zoning: Same As Existing MRGCD Map No N/A
 Zone Atlas page(s): J-10 UPC Code: 101005806227020202; 101005809928220203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 12EPC-40071; 12EPC-70072; 12DRB-70377

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 5 No. of proposed lots: 2 Total site area (acres): 8.8600

LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE _____
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB - 70385 (minor)</u>	<u>SDY</u>	_____	\$ _____
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date January 2, 2012
12-14-12
12-14-12
 Staff signature & Date

Project # 1006761

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

- Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance or waiver
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the deferral or extension
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- Letter of authorization from the grantors and the beneficiaries (private easement only)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Dea Wilson Weber for Fred Arfman 12-14-12
Applicant signature / date

Applicant name (print)



Form revised 4/07

[Signature] 12-14-12
Planner signature / date

Project # 1006761

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12DRB - - -
- - -
- - -



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**

Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 West 11th Street FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com
 Proprietary interest in site: Developer List all owners: Inland Properties, Inc.

DESCRIPTION OF REQUEST: Approval of Subdivision Design Variance

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 185A-1 and Portions of Tracts 182, 183, & 184 Block: _____ Unit: Airport
 Subdiv/Addn/TBKA: Town of Atrisco Grant (tbka Tracts A & B, Inland Kenworth)
 Existing Zoning: SU-1 for IP Proposed zoning: Same As Existing MRGCD Map No N/A
 Zone Atlas page(s): J-10 UPC Code: 101005806227020202; 101005809928220203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 12EPC-40071; 12EPC-70072; 12DRB-70377

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 5 No. of proposed lots: 2 Total site area (acres): 8.8600

LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

(Print Name) Fred C. Arfman

DATE _____

Applicant: Agent:

Revised: 4/2012

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

12DRB - 70385 (minor)

Action

SDY

S.F.

Fees

\$ _____
 \$ _____
 \$ _____
 \$ _____
 \$ _____
 Total
 \$ _____

Hearing date January 9, 2012

Project # 1006761

Staff signature & Date

BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

- ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
- ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance or waiver
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the deferral or extension
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman
Applicant signature / date

Fred C. Arfman
Applicant name (print)



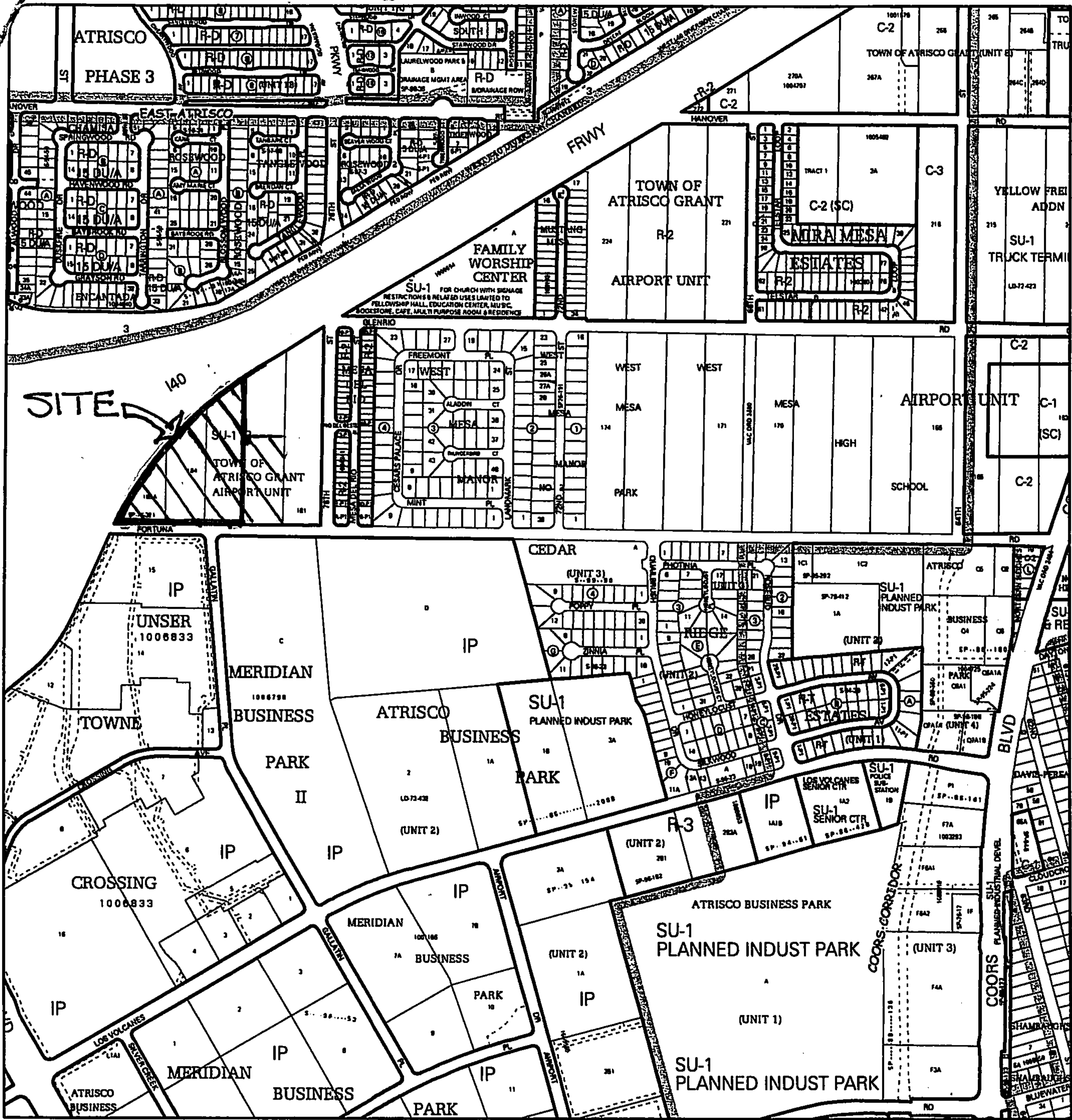
Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

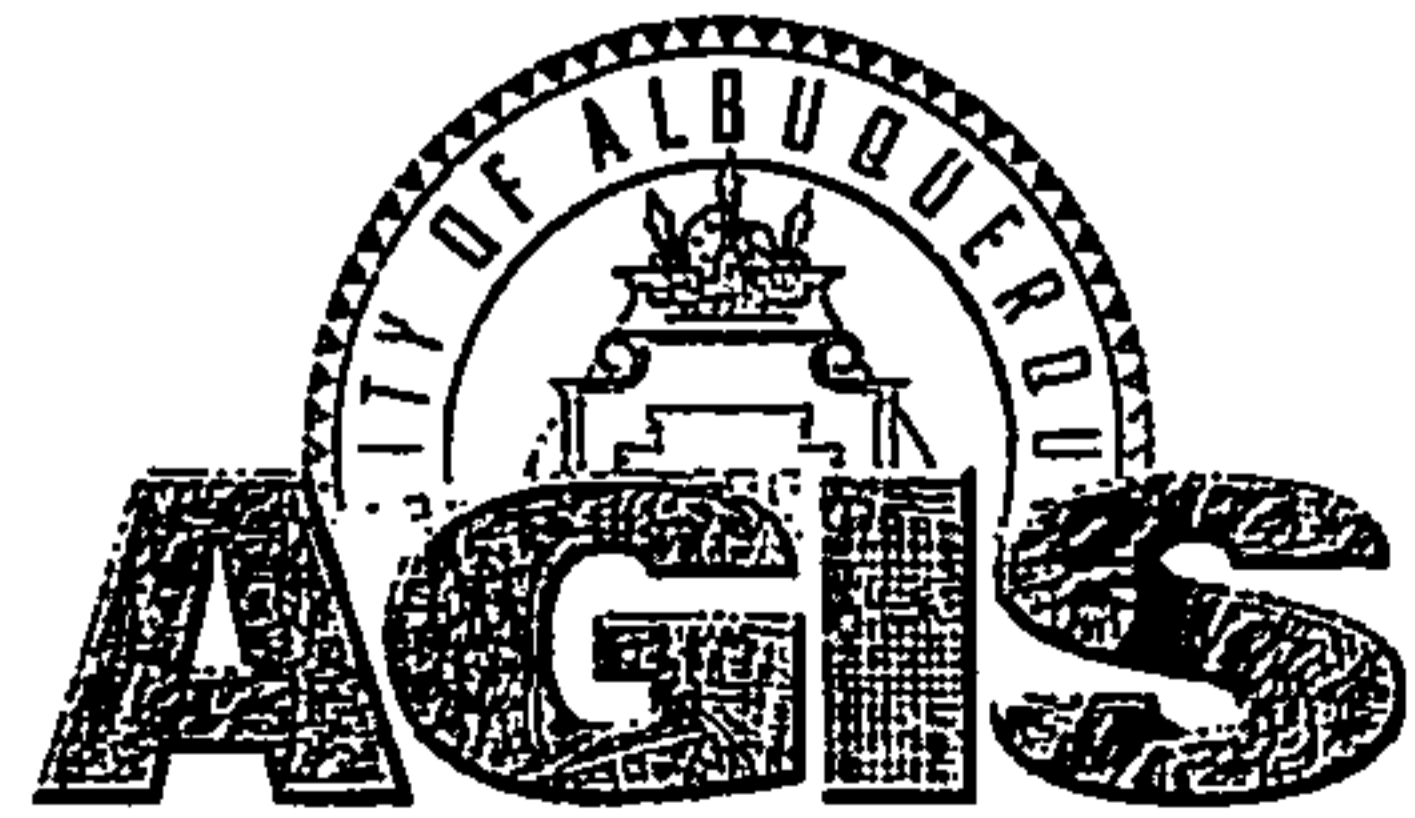
Application case numbers
12DRB - - - - -
- - - - -
- - - - -

[Signature] 12-14-12
Planner signature / date

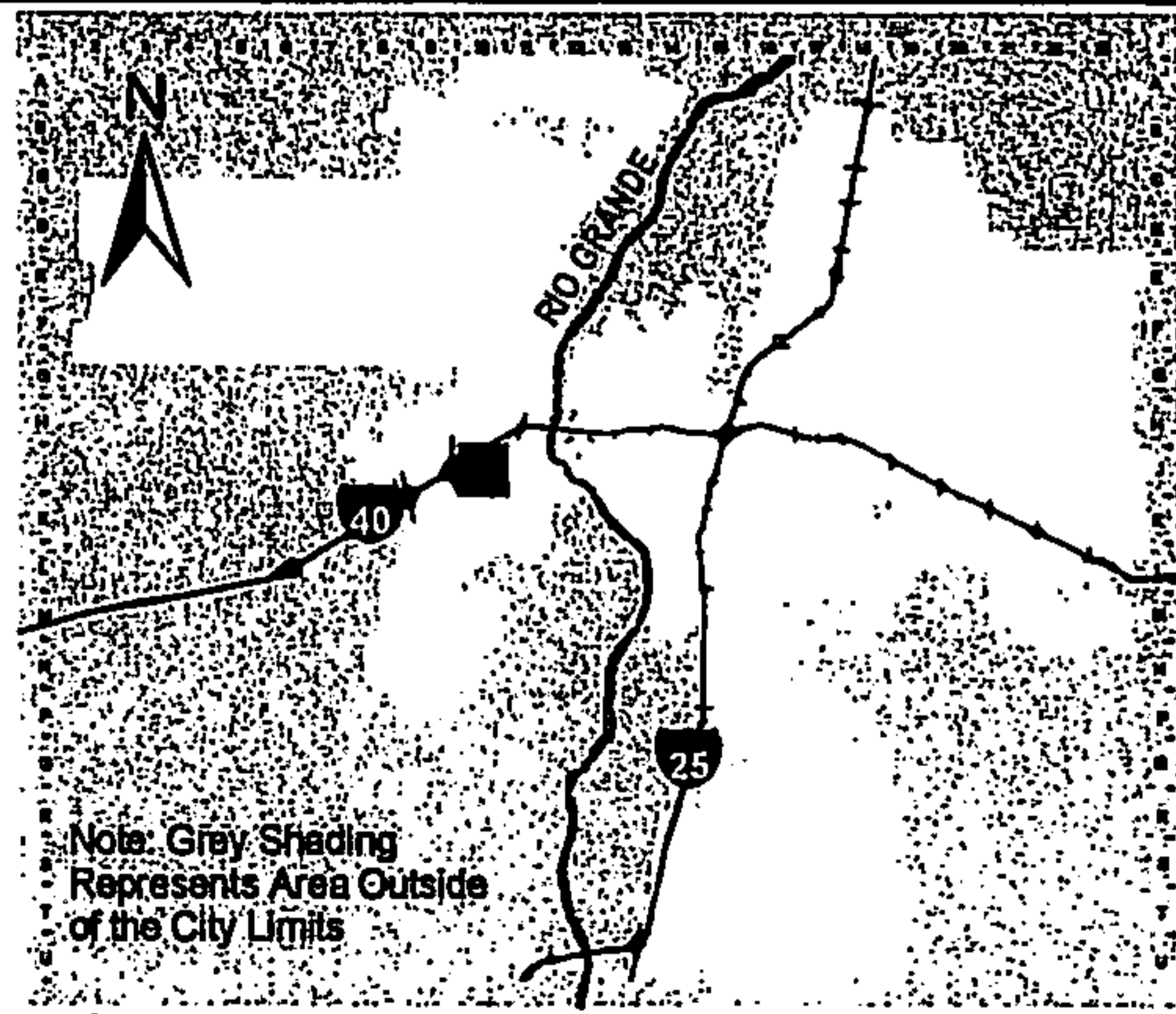
Project # 1006761



For more current information and details visit: <http://www.cabq.gov/gis>












Map amended through: 4/2/2012

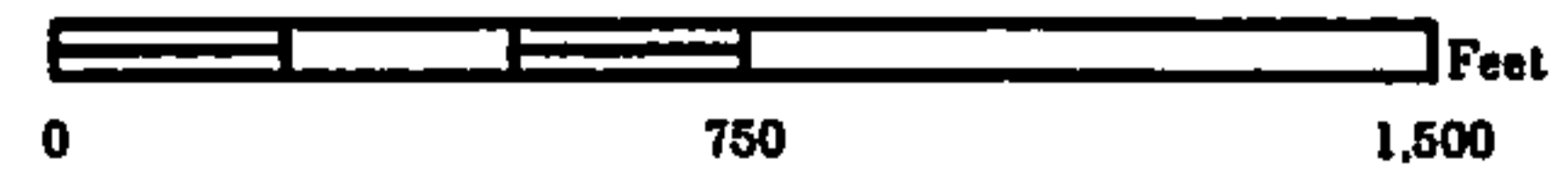


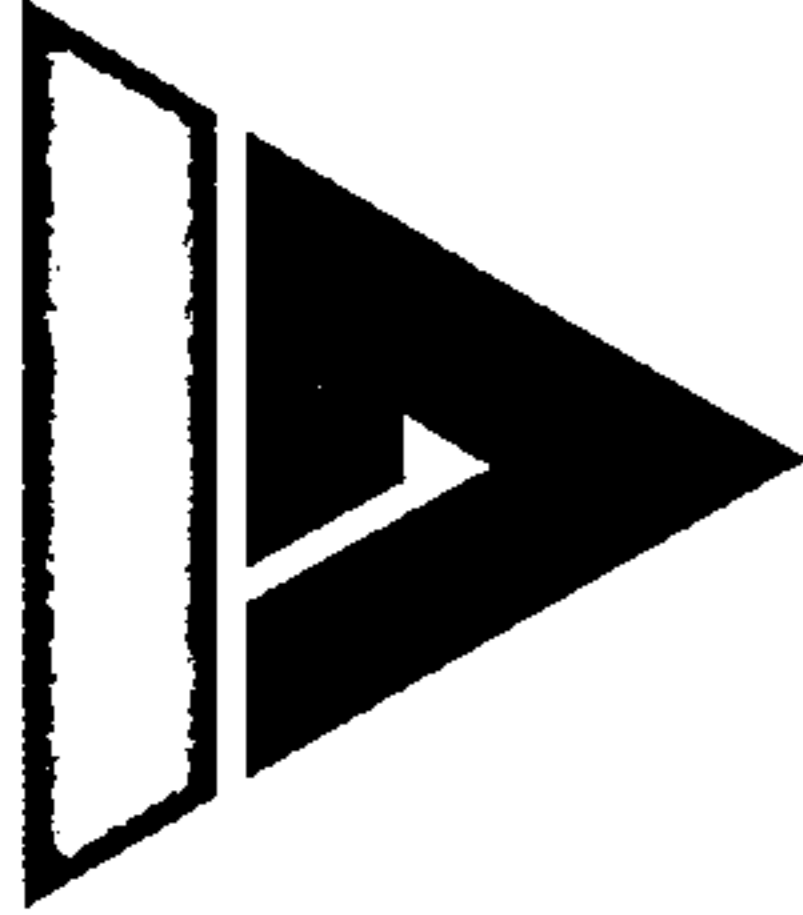
Zone Atlas Page:

J-10-Z

Selected Symbols

-  SECTOR PLANS
-  Design Overlay Zones
-  City Historic Zones
-  H-1 Buffer Zone
-  Petroglyph Mon.
-  Escarpment
-  2 Mile Airport Zone
-  Airport Noise Contours
-  Wall Overlay Zone





December 14, 2012

Mr. Jack Cloud, Chairman
Development Review Board, Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico

RE: Inland/Kenworth SDP/Plat (12 DRB 70377)
C.O.A. Project No. 1006761 (J-10)

Subject: Request for Subdivision Design Variance(s)

Dear Mr. Cloud,

Isaacson & Arfman, PA are the consulting engineers for the Inland-Kenworth Truck Sales & Service project on Fortuna Rd NW. The three variances are within the ROW of Fortuna Rd. and are listed below with their corresponding justifications for the variances:

1. Reduction of the sidewalk width from 6' to 4' along the north ROW line of Fortuna RS being east of Gallatin Pl to the SE property corner of the subject site.
 - The sidewalk exists as four feet in width.
 - It connects to an existing four foot wide sidewalk to the east.
 - The sidewalks across the street are relatively new and are four feet wide.
 - There pedestrian usage of the sidewalk is very low due to the dead end of Fortuna Rd to the west.
 - The proposed development will not create any foreseeable pedestrian traffic.
2. Allow for the ultimate pavement centerline to be offset three feet to the south:
 - A typical 36 foot wide street section would conflict with the existing Water Authority Pressure Reducing Valve (PRV) structure along the northerly curb line.
 - The Water Authority has been briefed on the matter and they are not in the position to relocate their facility.
 - The centerline shift will allow for a ten (10) distance from the face of curb to the southerly right-of-way line when combined with Variance Request No #3.
3. A reduction of the ultimate face-to-face width of Fortuna Rd west of Gallatin to a 34" dimension:
 - The roadway dead ends at the ROW line of I-40 and is expected to have a low trip generation value.
 - A 38' wide Public Roadway Easement intersects the end of Fortuna RD from the south at the westerly terminus. The easement is a remnant of the platting action for the proposed

commercial development to the south and would have served as a minor secondary entrance.

- A 34' wide road would accommodate parking along the south curb and will safely pass two-way traffic. The northerly curb line could be posted as "No Parking".

Per the DPM; 14-14-7; the test listed below are satisfied:

- (1) The public welfare is in no way served by retaining the sidewalk; or
- (2) There is a net benefit to the public welfare because the development made possible by the wavier is clearly more beneficial to the public welfare than the minor detriment resulting from the wavier; and in addition to divisions (1) or (2) of this division (B):
- (3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

Please accept his submittal as a supplement to DRB Case No. 12DRB 70377 and contact our office if there are any questions.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

Attachment: submittal



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 West 11th Street FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com
 Proprietary interest in site: Developer List all owners: Inland Properties, Inc.

DESCRIPTION OF REQUEST: Approval of Sidewalk Waiver

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 185A-1 and Portions of Tracts 182, 183, & 184 Block: _____ Unit: Airport
 Subdiv/Addn/TBKA: Town of Atrisco Grant (tbka Tracts A & B, Inland Kenworth)
 Existing Zoning: SU-1 for IP Proposed zoning: Same As Existing MRGCD Map No N/A
 Zone Atlas page(s): J-10 UPC Code: 101005806227020202; 101005809928220203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 12EPC-40071; 12EPC-70072; 12DRB-70377

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 5 No. of proposed lots: 2 Total site area (acres): 8.8600
 LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE _____

(Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70384</u>	<u>SW</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>Jan. 2, 2012</u>				Total \$ <u>20.00</u>

[Handwritten Signature]
 Staff signature & Date
12-14-12

Project # 1006761

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

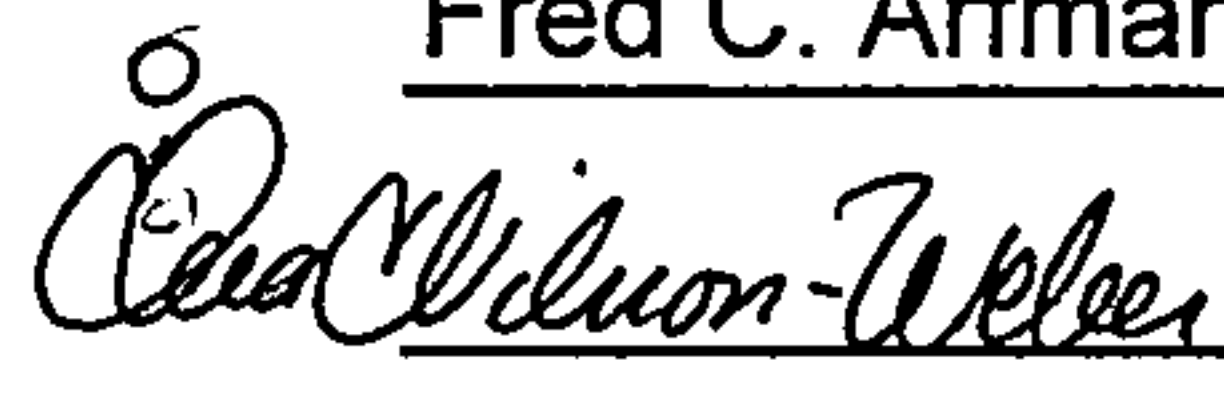
- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.


- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

 Applicant name (print)
 Applicant signature / date 12-14-12



<input checked="" type="checkbox"/> Checklists complete	Application case numbers	Form revised 4/07	
<input checked="" type="checkbox"/> Fees collected	<u>12 - DRB - 70384</u>		<u>12-12-12</u>
<input checked="" type="checkbox"/> Case #s assigned	_____	Planner signature / date	
<input checked="" type="checkbox"/> Related #s listed	_____	Project # <u>1006761</u>	

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from December 25, 2012 to January 9, 2012

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ruth Lozano
(Applicant or Agent)

12/14/12
(Date)

I issued 1 signs for this application,

12-14-12
(Date)

Kay
(Staff Member)

DRB PROJECT NUMBER: 1006761



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828

ADDRESS: 128 Monroe Street NE FAX: 268-2632

CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729

ADDRESS: 1920 West 11th Street FAX: (909) 946-3626

CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com

Proprietary interest in site: Developer List all owners: Inland Properties, Inc.

DESCRIPTION OF REQUEST: Approval of Sidewalk Waiver

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 185A-1 and Portions of Tracts 182, 183, & 184 Block: _____ Unit: Airport

Subdiv/Addn/TBKA: Town of Atrisco Grant (tbka Tracts A & B, Inland Kenworth)

Existing Zoning: SU-1 for IP Proposed zoning: Same As Existing MRGCD Map No N/A

Zone Atlas page(s): J-10 UPC Code: 101005806227020202; 101005809928220203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 12EPC-40071; 12EPC-70072; 12DRB-70377

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 5 No. of proposed lots: 2 Total site area (acres): 8.8600

LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW

Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

(Print Name) Fred C. Arfman

DATE

Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
12DRB-70384

Hearing date Jan. 2, 2012

Action	S.F.	Fees
<u>SW</u>	_____	<u>\$ 20.00</u>
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
Total		<u>\$ 20.00</u>

Revised: 4/2012

[Signature]
Staff signature & Date
12-14-12

Project # 1006761

(PUBLIC HEARING CASE)

BULK LAND VARIANCE (DRB04)

- ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
- ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance or waiver
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the deferral or extension
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman

Applicant name (print)
Applicant signature / date

for Fred Arfman 12-14-12

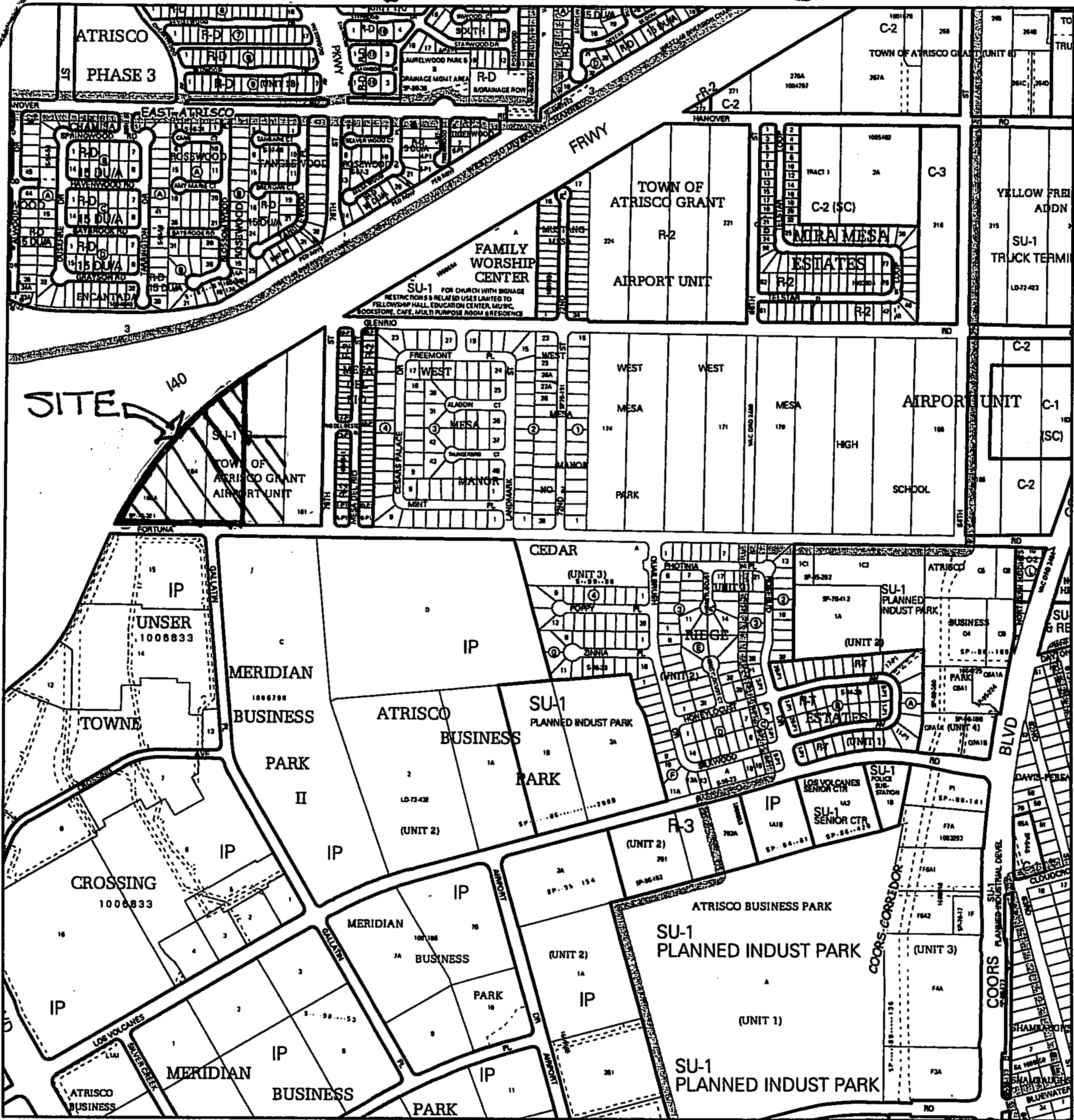


Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70384

[Signature] 12-12-12
Planner signature / date
Project # 1006761



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 4/2/2012

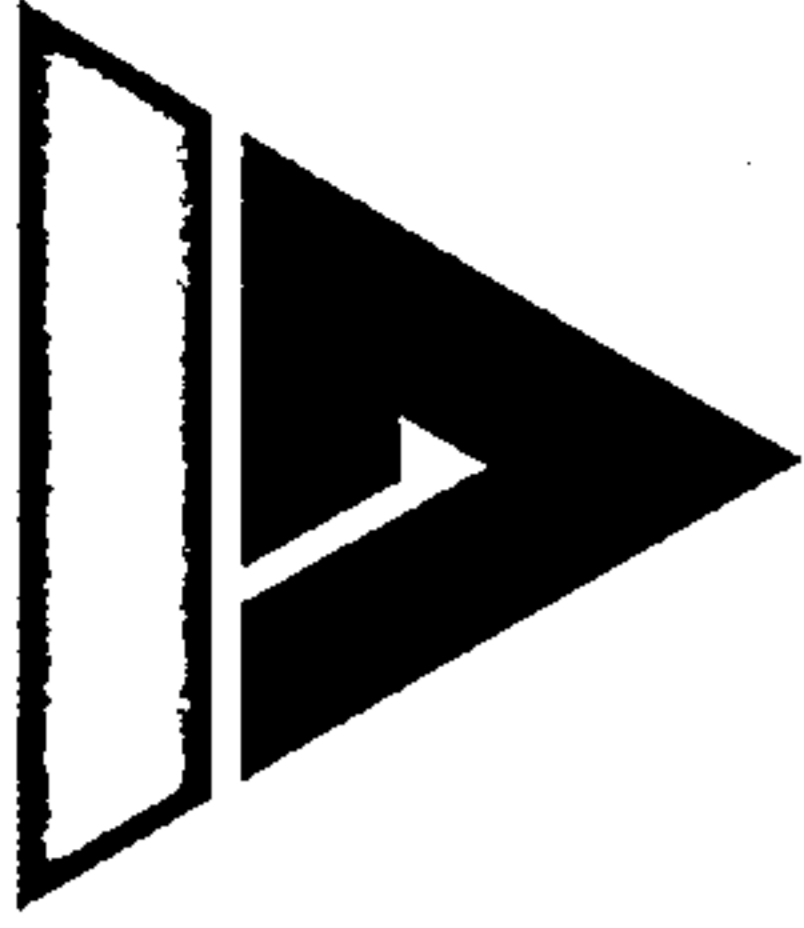
Note: Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-10-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

December 14, 2012

Mr. Jack Cloud, Chairman
Development Review Board, Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico

RE: Inland/Kenworth SDP/Plat (12 DRB 70377)
C.O.A. Project No. 1006761 (J-10)

Subject: Request of a Sidewalk Wavier

Dear Mr. Cloud,

Isaacson & Arfman, PA are the consulting engineers for the Inland-Kenworth Truck Sales & Service project on Fortuna Rd NW. The subject sidewalk is that length of sidewalk starting 135 feet west of the site entrance and extending west to the modified hammerhead turnaround; thence, around the turnaround to the extension of the Fortuna Rd centerline. The justification of this request is as follows:

1. Fortuna Rd dead ends at the I-40 Right-of-Way line of the Unser on ramp.
2. The NMDOT right-of-way is "access controlled".
3. There are no connecting pedestrian routes for the sidewalk to continue; therefore, the encouragement of a pedestrian route to a dead end should not be allowed.
4. The land area of the sidewalk would be a benefit to the community as landscaping.
5. Per the DPM ; 14-14-7; the test listed below are satisfied:
 - (1) The public welfare is in no way served by retaining the sidewalk; or
 - (2) There is a net benefit to the public welfare because the development made possible by the wavier is clearly more beneficial to the public welfare than the minor detriment resulting from the wavier; and in addition to divisions (1) or (2) of this division (B):
 - (3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

Please accept his submittal as a supplement to DRB Case No. 12DRB 70377 and contact our office if there are any questions.

Sincerely,
ISAACSON & ARFMAN P.A.

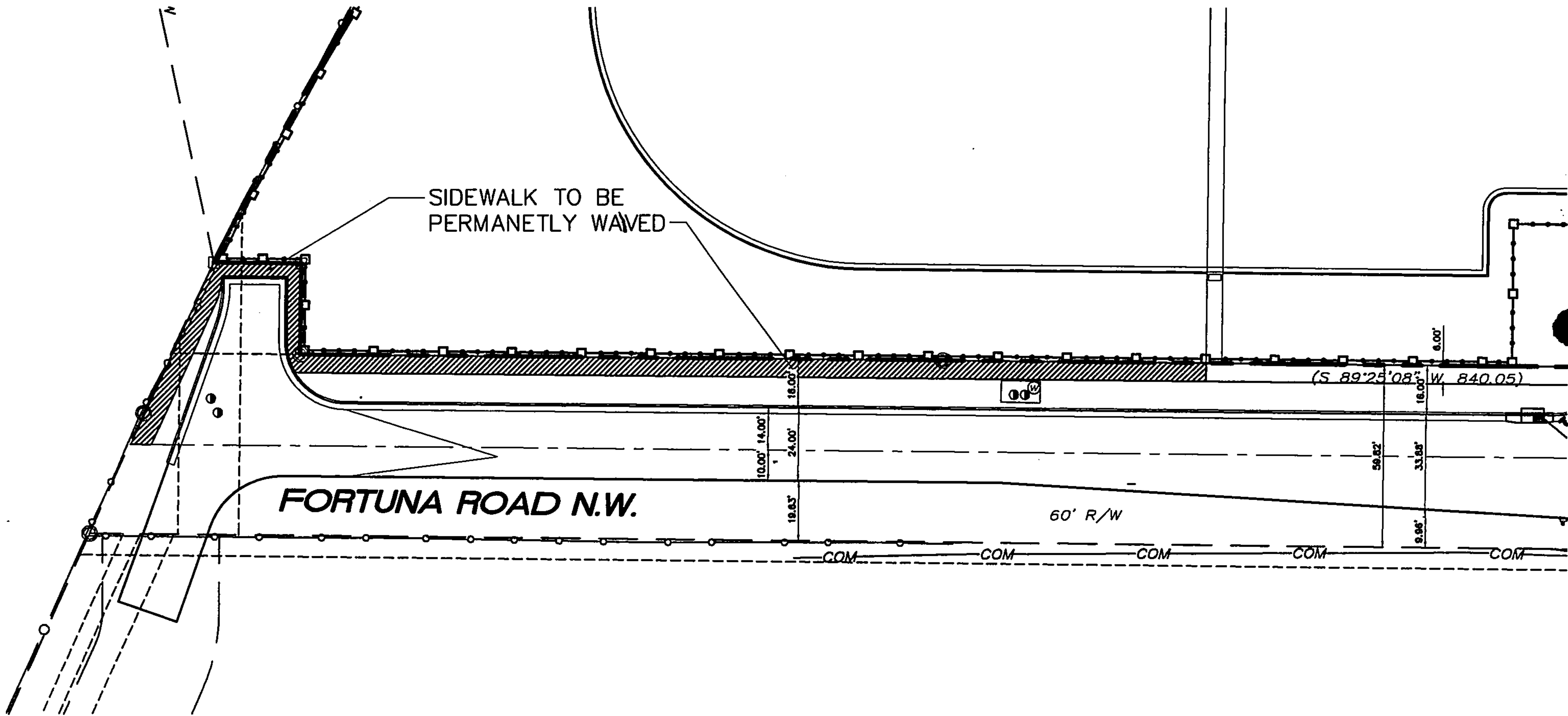

Fred C. Arfman, PE

Attachment: submittal

DRB Sdwb Wavier Letter 12 13 12.docx

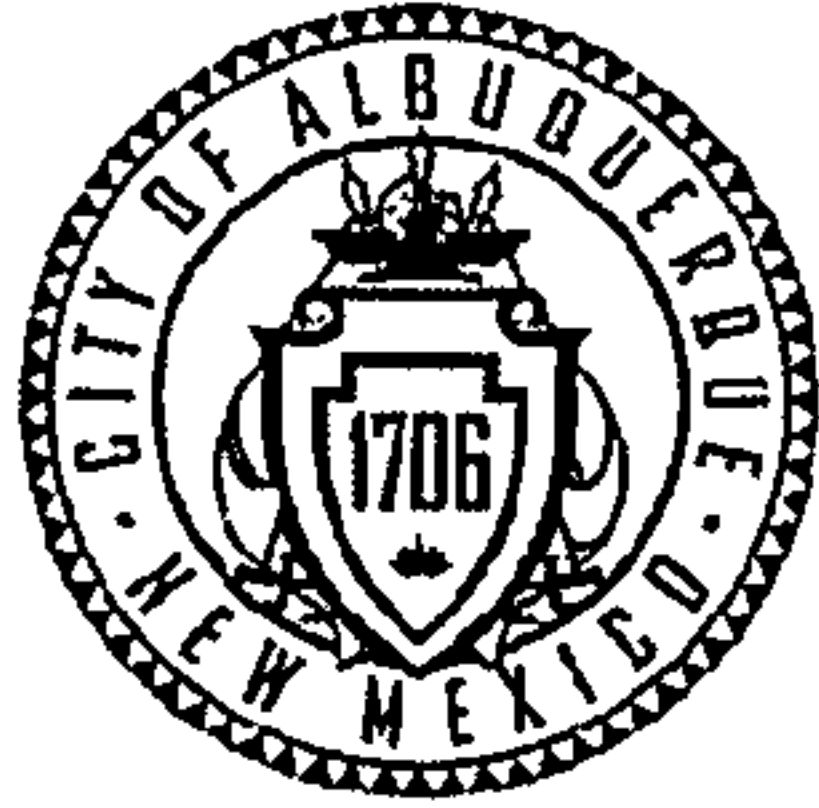
Page 1 of 1

12/13/2012



1" = 50'

	ISAACSON & AREMAN, P.A. Consulting Engineering Associates Ph. 505-268-8828 www.iacivil.com 1941SIDEWALK WAIVER EXH.dwg Dec 13,2012
	INLAND / KENWORTH FORTUNA RD / GALLATIN PL N.W.
SIDEWALK WAIVER EXHIBIT	



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

December 12, 2012

Ruth Lozano

Isaacson and Arfman, P.A.

128 Monroe St. NE/87108

Phone: (505) 268-8828/Fax: (505) 268-2632

E-Mail: Ruthl@iacivil.com

Dear Ruth:

Thank you for your inquiry of **December 12, 2012** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, AIRPORT UNIT, TOWN OF ATRISCO GRANT, LOCATED ON FORTUNA ROAD NW BETWEEN 76TH STREET NW AND I-40 FREEWAY** zone map **J-10**.

Our records indicate that the **ALL Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR THE NAMES OF THE NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS THAT NEED TO BE CONTACTED IN REGARDS TO THIS DRB SUBMITTAL – please attach this letter and Attachment A to your application packet – siw.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabaq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningnaform(03/20/12)

“ATTACHMENT A”

Ruth Lozano

Isaacson and Arfman, P.A.

128 Monroe St. NE/87108

Phone: (505) 268-8828/Fax: (505) 268-2632

E-Mail: Ruthl@iacivil.com

Zone Map: J-10

LOS VOLCANES N.A. (LVC) “R”

***Margaret K. Woods**

6503 Honeylocust Ave. NW/87121 331-6007 (h)

Ann McCoy/Chavez

6700 Silkwood Ave. NW/87121

LAURELWOOD N.A. (LWD) “R”

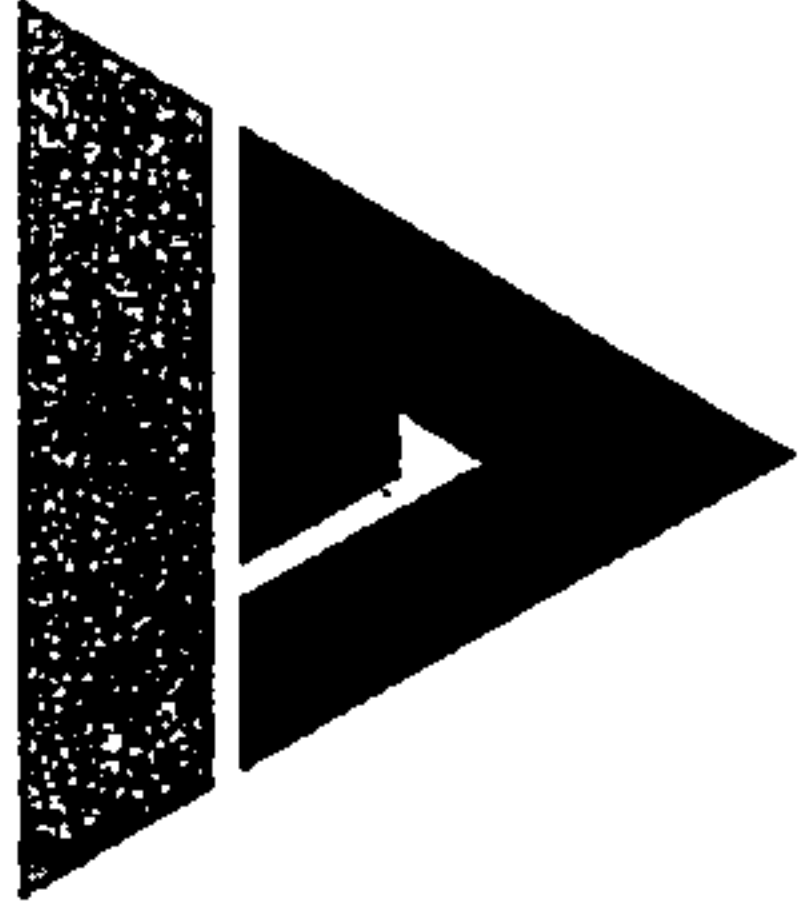
***Candelaria Patterson**

7608 Elderwood NW/87120 321-1761 (c)

Marie Barr

7625 Maplewood Dr. NW/87120 833-5362 (h)

*** President of Neighborhood Association**



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret). • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

December 14, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8792

Ms. Margaret K Woods
Los Volcanes Neighborhood Association
6503 Honeylocust Ave. NW
Albuquerque, NM 87121

**RE: Tracts A & B, Inland Kenworth
(DRB Project No. 1006761)**

Dear: Ms. Woods:

As the consulting engineers for the Inland Kenworth Sales & Service site located north of Fortuna Road NW at Gallatin Place NW (see attached zone map), we are writing this letter to inform the Los Volcanes Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for approval of subdivision design variance.

The variance is for that portion of Fortuna Road adjacent to the project to have the new roadway offset 3' south of the right-of-way centerline, reduce the face-to-face width to 34' and to allow the existing 4' wide sidewalk to remain as is.

We anticipate that this case will be heard at the regularly scheduled DRB hearing on January 9, 2013.

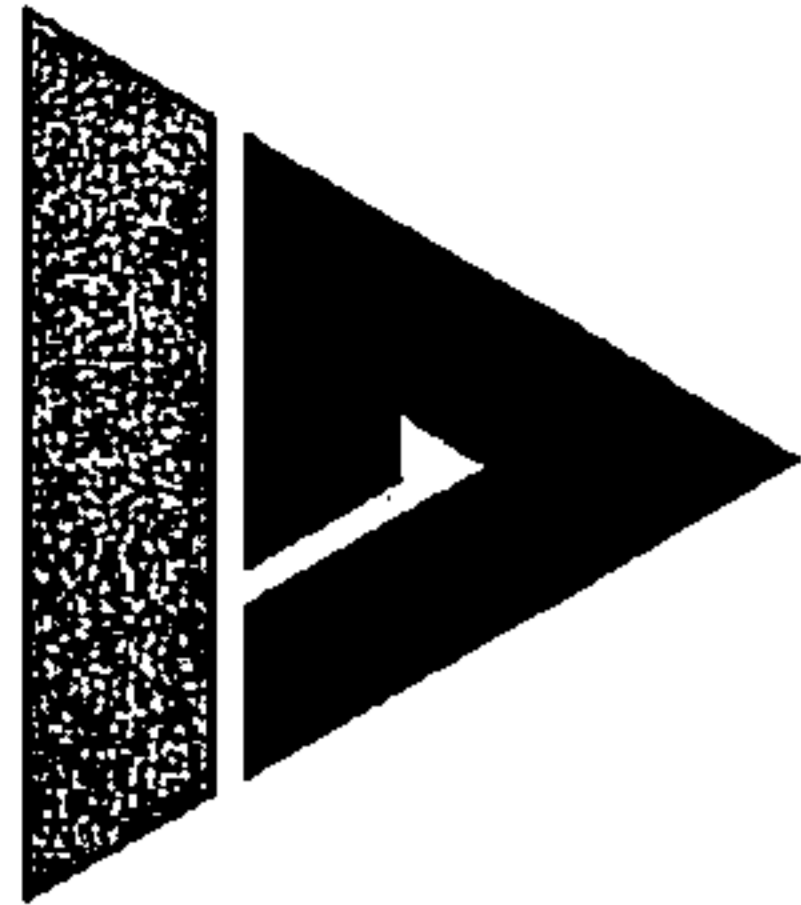
Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE
Attachment

7005 1160 0001 1329 8792

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>	
For delivery information visit our website at www.usps.com ®	
ALBUQUERQUE NM 87121	
OFFICIAL USE	
Postage	\$ 0.45
Certified Fee	\$2.95
Return Receipt Fee (Endorsement Required)	\$2.35
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.75
0108	
ALBUQUERQUE NM 87121 Postmark Here DEC 14 2012 ST. HIGHLAND ST. ALBUQUERQUE NM 87121	
Sent To	Margaret K. Woods
Street, Apt. No.; or PO Box No.	Los Volcanes N.A.
City, State, ZIP+4	6503 Honeylocust Ave. NW Albuquerque, NM 87121
PS Form 3800, June 2002	
See Reverse for Instructions	



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

December 14, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8839

Ms. Ann McCoy/Chavez
Los Volcanes Neighborhood Association
6700 Silkwood Ave. NW
Albuquerque, NM 87121

**RE: Tracts A & B, Inland Kenworth
(DRB Project No. 1006761)**

Dear: Ms. McCoy/Chavez:

As the consulting engineers for the Inland Kenworth Sales & Service site located north of Fortuna Road NW at Gallatin Place NW (see attached zone map), we are writing this letter to inform the Los Volcanes Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for approval of subdivision design variance.

The variance is for that portion of Fortuna Road adjacent to the project to have the new roadway offset 3' south of the right-of-way centerline, reduce the face-to-face width to 34' and to allow the existing 4' wide sidewalk to remain as is.

We anticipate that this case will be heard at the regularly scheduled DRB hearing on January 9, 2013.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE
Attachment

7005 1160 0001 1329 8839

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

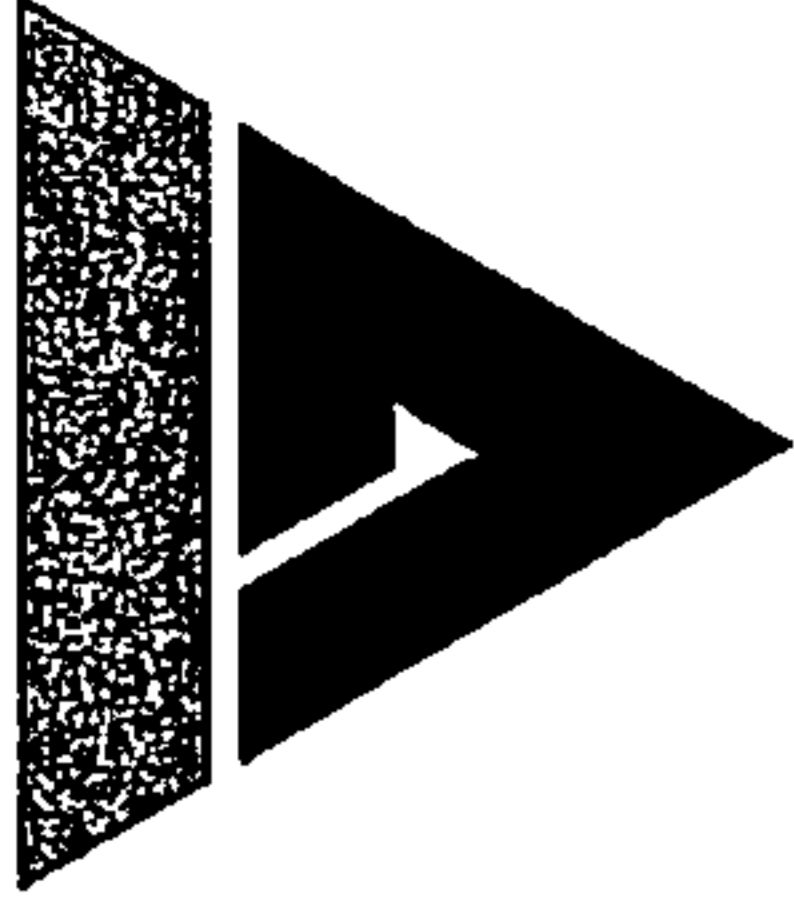
ALBUQUERQUE NM 87121 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.75

ALBUQUERQUE NM 87121
DEC 14 2012
Postmark Here
12/14/2012

Sent To: Ann McCoy/Chavez
Street, Apt. No.; or PO Box No.: Los Volcanes N.A.
City, State, ZIP+4: 6700 Silkwood Ave. NW Albuquerque, NM 87121

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret). • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

December 14, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8846

Candelaria Patterson
Laurelwood Neighborhood Association
7608 Elderwood NW
Albuquerque, NM 87120

**RE: Tracts A & B, Inland Kenworth
(DRB Project No. 1006761)**

Dear: Candelaria Patterson:

As the consulting engineers for the Inland Kenworth Sales & Service site located north of Fortuna Road NW at Gallatin Place NW (see attached zone map), we are writing this letter to inform the Laurelwood Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for approval of subdivision design variance.

The variance is for that portion of Fortuna Road adjacent to the project to have the new roadway offset 3' south of the right-of-way centerline, reduce the face-to-face width to 34' and to allow the existing 4' wide sidewalk to remain as is.

We anticipate that this case will be heard at the regularly scheduled DRB hearing on January 9, 2013.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE
Attachment

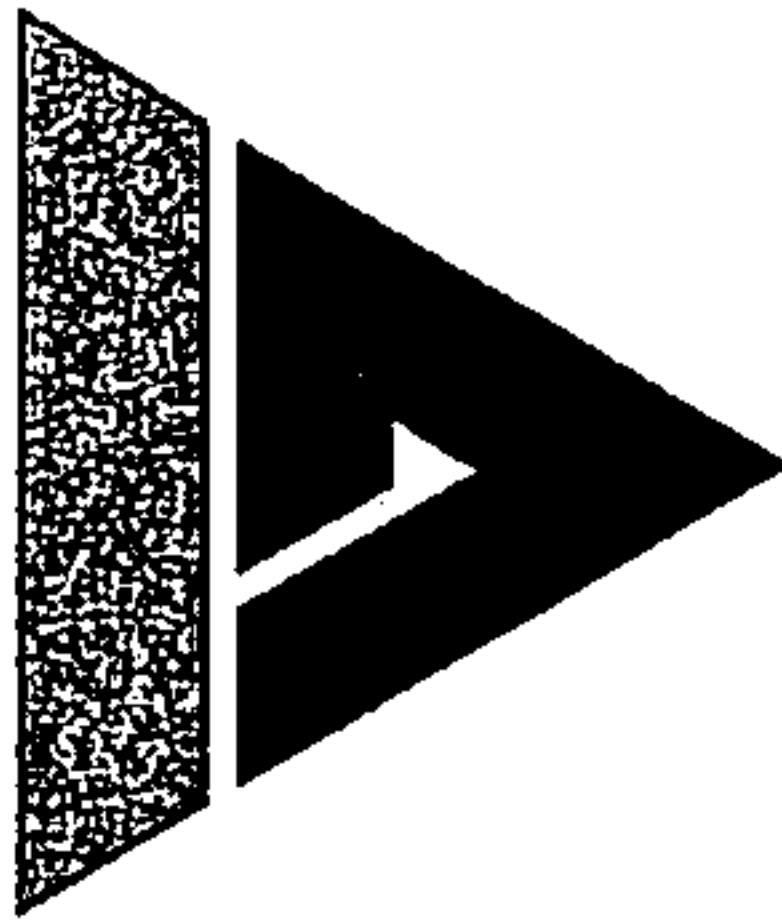
9499 8846
6221 1329
1000 0911
5002 7005

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>	
For delivery information visit our website at www.usps.com	
OFFICIAL USE	
Postage	\$ 0.45
Certified Fee	\$2.95
Return Receipt Fee (Endorsement Required)	\$2.35
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.75

ALBUQUERQUE NM 87120
DEC 14 2012
Postmark Here
12/14/2012

Sent To	Candelaria Patterson
Street, Apt. No.; or PO Box No.	Laurelwood N.A. 7608 Elderwood NW
City, State, ZIP+4	Albuquerque, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret). • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

December 14, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8853

Ms. Marie Barr
Laurelwood Neighborhood Association
7625 Maplewood Drive NW
Albuquerque, NM 87120

**RE: Tracts A & B, Inland Kenworth
(DRB Project No. 1006761)**

Dear: Ms. Barr:

As the consulting engineers for the Inland Kenworth Sales & Service site located north of Fortuna Road NW at Gallatin Place NW (see attached zone map), we are writing this letter to inform the Laurelwood Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for approval of subdivision design variance.

The variance is for that portion of Fortuna Road adjacent to the project to have the new roadway offset 3' south of the right-of-way centerline, reduce the face-to-face width to 34' and to allow the existing 4' wide sidewalk to remain as is.

We anticipate that this case will be heard at the regularly scheduled DRB hearing on January 9, 2013.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE
Attachment

7005 1160 0001 1329 8853

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>	
For delivery information visit our website at www.usps.com	
OFFICIAL USE	
Postage	\$ 0.45
Certified Fee	\$2.95
Return Receipt Fee (Endorsement Required)	\$2.35
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.75

ALBUQUERQUE NM 87121
DEC 14 2012
POSTAGE HERE
HIGHLAND STA ALBUQUERQUE NM 87121
12/14/2012

Sent To	Marie Barr
Street, Apt. No., or PO Box No.	Laurelwood N.A. 7625 Maplewood Drive NW
City, State, ZIP+4	Albuquerque, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

JANUARY 2, 2012



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 West 11th Street FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com
 Proprietary interest in site: Developer List all owners: Inland Properties, Inc.

DESCRIPTION OF REQUEST: Approval of Minor Subdivision Preliminary/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 185A-1 and Portions of Tracts 182, 183, & 184 Block: _____ Unit: Airport
 Subdiv/Addn/TBKA: Town of Atrisco Grant (tbka Tracts A & B, Inland Kenworth)
 Existing Zoning: SU-1 for IP Proposed zoning: Same As Existing MRGCD Map No N/A
 Zone Atlas page(s): J-10 UPC Code: 101005806227020202; 101005809928220203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 12EPC-40071; 12EPC-70072

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 5 No. of proposed lots: 2 Total site area (acres): 8.8600
 LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 12.11.12
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12 DRB - 70377</u>	<u>Pt F</u>	_____	<u>\$ 285.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>Dec. 19, 2012</u>			Total <u>\$ 305.00</u>

12-11-12
 Staff signature & Date

Project # 1006761

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- ~~NA~~ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ~~NA~~ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required. **Forthcoming**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman Applicant name (print)
12-11-12 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12-DRB-70377

[Signature] 12-11-12
 Planner signature / date
 Project # **1006761**



SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 West 11th Street FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com

Proprietary interest in site: Developer List all owners: Inland Properties, Inc.

DESCRIPTION OF REQUEST: Approval of Minor Subdivision Preliminary/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 185A-1 and Portions of Tracts 182, 183, & 184 Block: _____ Unit: Airport
 Subdiv/Addn/TBKA: Town of Atrisco Grant (tbka Tracts A & B, Inland Kenworth)
 Existing Zoning: SU-1 for IP Proposed zoning: Same As Existing MRGCD Map No N/A
 Zone Atlas page(s): J-10 UPC Code: 101005806227020202; 101005809928220203; 101005811228120207

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 12EPC-40071; 12EPC-70072

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 5 No. of proposed lots: 2 Total site area (acres): 8.8600
 LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 12-11-12
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

12 DRB - 70377

Hearing date Dec. 19, 2012

12-11-12
 Staff signature & Date

Project # 1006761

Revised: 4/2012

Action	S.F.	Fees
<u>RAF</u>	—	<u>\$285.00</u>
<u>CMF</u>	—	<u>\$20.00</u>
—	—	\$
—	—	\$
—	—	\$
Total		<u>\$305.00</u>

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL REVIEW

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - ___ Preliminary Plat reduced to 8.5" x 11"
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Copy of DRB approved infrastructure list
 - ___ Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - ___ List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - ___ Design elevations & cross sections of perimeter walls **3 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ Copy of recorded SIA
 - ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - ___ List any original and/or related file numbers on the cover application
 - ___ DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required. **Forthcoming**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman Applicant name (print)
 Applicant signature / date 12-11-12

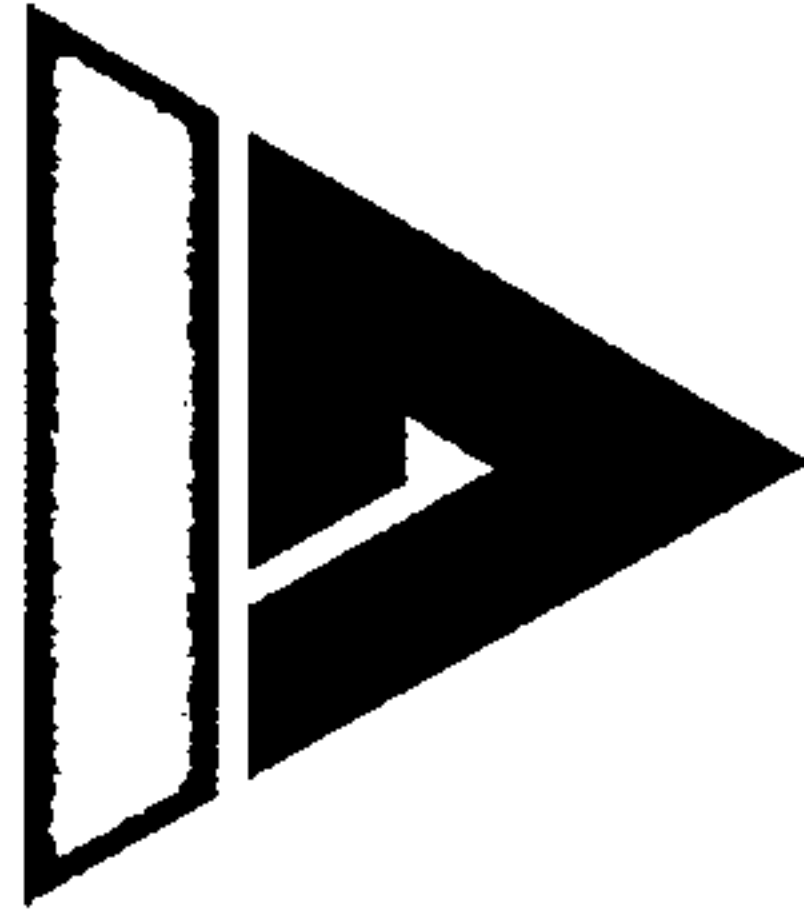


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12-DRB-70377

[Signature] 12-11-12
 Planner signature / date
 Project # **1006761**



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

December 11, 2012

Mr. Jack Cloud, Chairman
Development Review Board, Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico

RE: Inland/Kenworth SDP/Plat
C.O.A. Project No. 1006761

Subject: Entry into the DRB Process for Minor Plat

Dear Mr. Cloud,


Isaacson & Arfman, PA are the engineers acting in concert with Surv-Tek, Inc., preparer of the accompanying plat and the authorized agent appointed by the Owner (see attached letter). As such, we are requesting to be heard on the upcoming DRB Agenda along with the Final sign-off of the Site Development Plan for Building Permit being submitted by Consensus Planning.

The EPC condition requiring a subdivision plat to consolidate the individual three tracts will be satisfied by the recording of the Final Plat. Public infrastructure is required for a portion of Fortuna Road adjacent to the property; therefore, an Infrastructure List has been developed as part of this submittal.

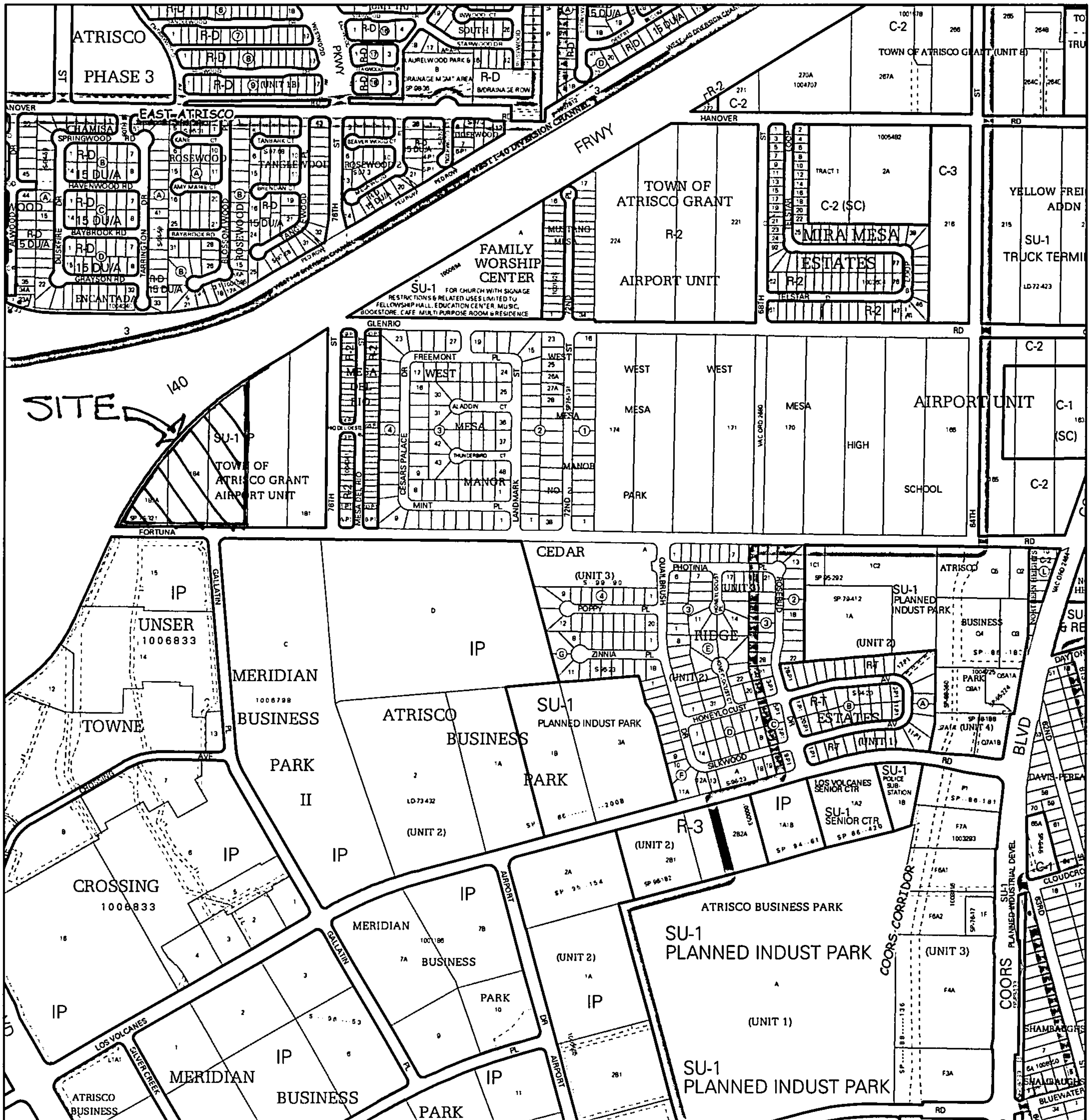
No right-of-way or easements are being dedicated by this plat action. All onsite utility extensions are programmed as private.

Please accept his submittal as a DRB case and contact our office if there are any questions.

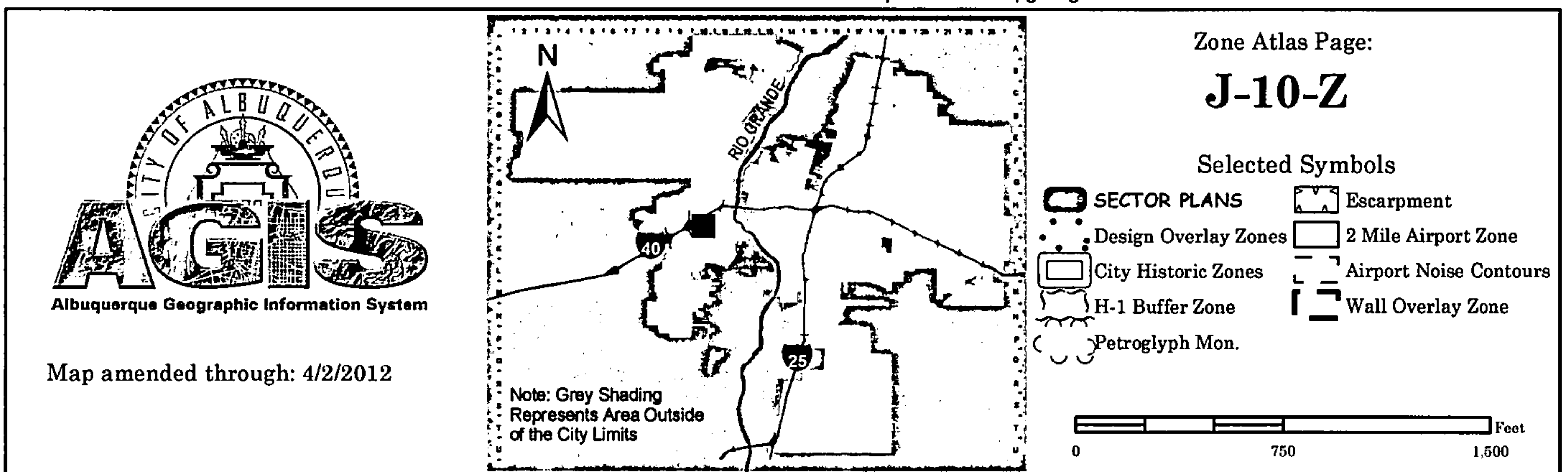
Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

Attachment: submittal



For more current information and details visit: <http://www.cabq.gov/gis>



November 27, 2012

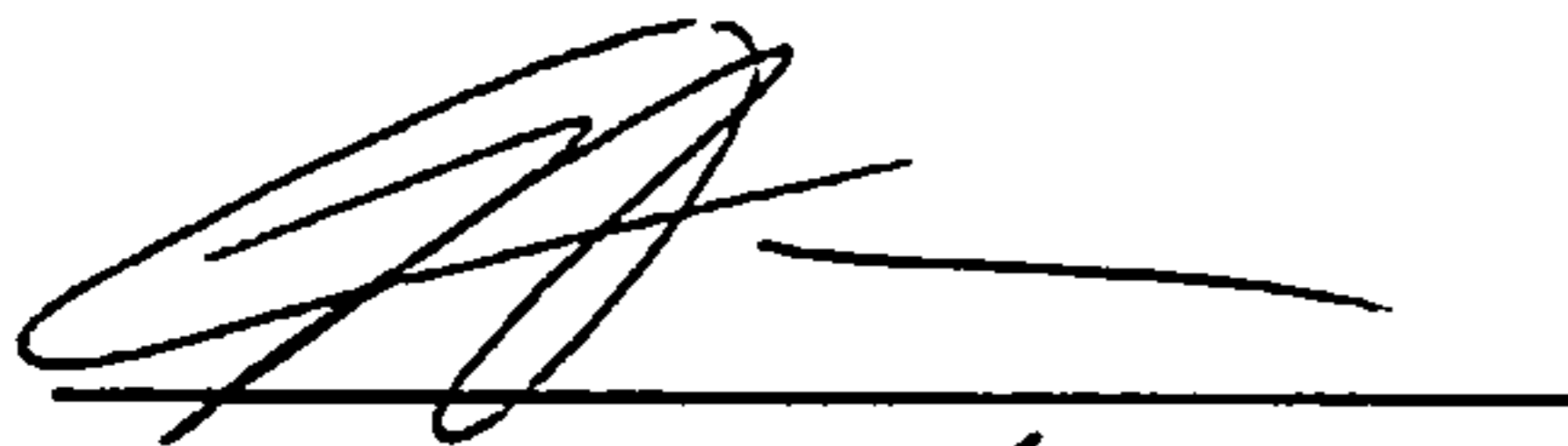
Mr. Russ Hugg
Surv-Tek, Inc.
9384 Valley View Drive N.W.
Albuquerque, New Mexico 87114

Dear Russ:

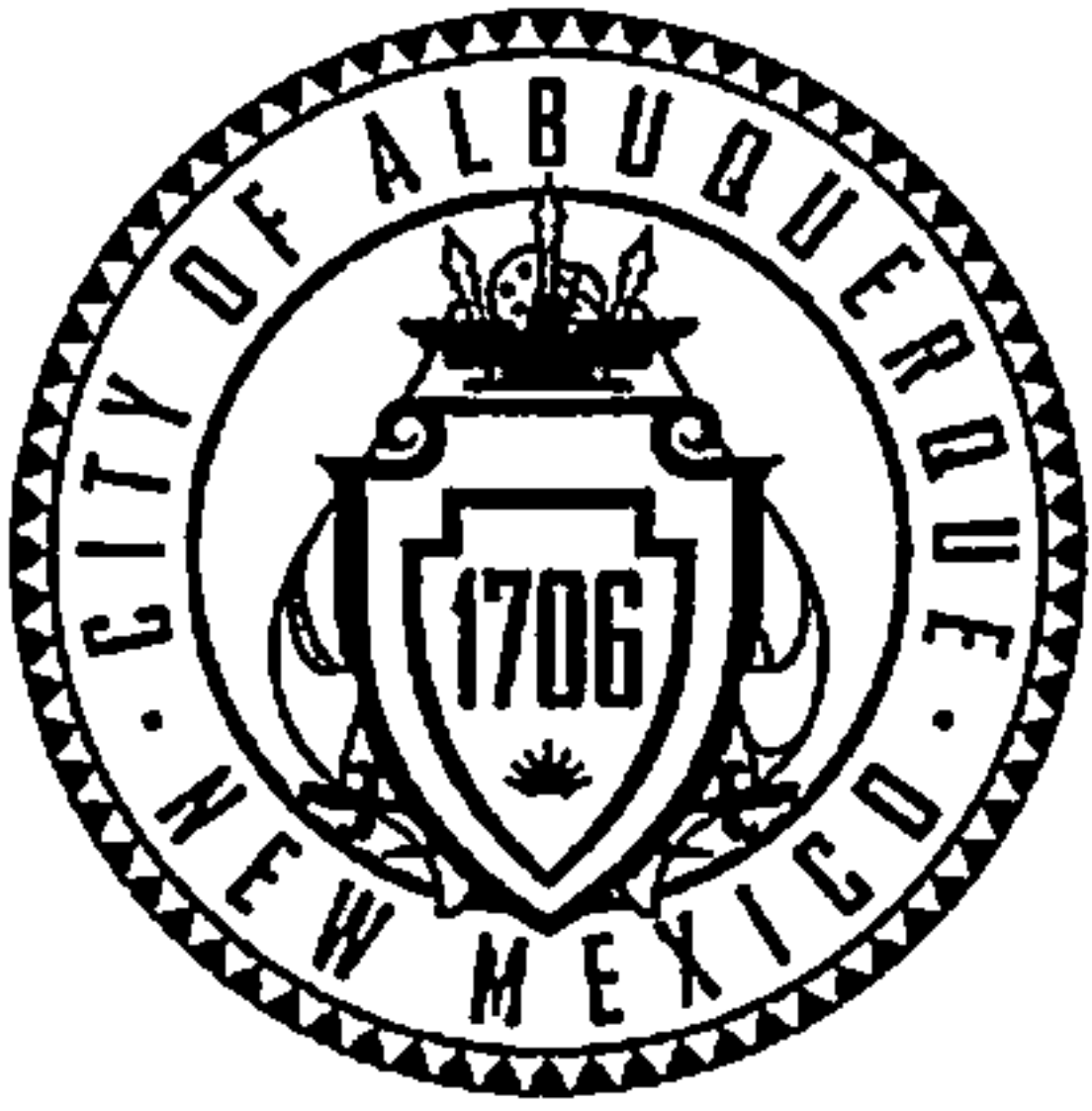
By this letter, we hereby authorize you to act as agent on our behalf for the purpose of replatting Tracts 182 thru 184 and Tract 185-A, Town of Atrisco Grant Airport Unit, City of Albuquerque, Bernalillo County, New Mexico.

Sincerely,

Inland Properties (US), Inc.

A handwritten signature in black ink, appearing to read "Ranjit B. Singh", is written over a horizontal line.

By: *Ranjit B. Singh*, Secretary



City of Albuquerque

P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Suzanne Lubar, Director

Richard J. Berry, Mayor
September 26, 2012

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s):

Case Number(s):

Agent: Consensus Planning

Applicant: Mark Allman and Lord Constructors, Inc.,

Legal Description: Southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8; Tract 185-A-1, replat of Tract 185-A together with the southerly portion of Tract 184, Airport unit, Town of Atrisco Grant, Unit 8.

Zoning: SU-1 for IP

Acreage: 7.26 acres +/-

Zone Atlas Page: J-10

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION:

A Cultural Resource Investigation of Approximately 7.26 Acres along Fortuna Road South of Interstate Highway 40 within Albuquerque, Bernalillo County, New Mexico. by R. Stanley Kerr and Hollis Paul Lawrence (Marron and Associates, Toni Goar PI, NMCRIS #125450).

NIAF form dated October 15, 2012

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)***

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

City Archaeologist



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit <u>DRB Sign-off</u>			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: (505) 764-9801
 ADDRESS: 302 Eighth St. NW FAX: (505) 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 W. Elsworth St. FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com

Proprietary interest in site: Developer List all owners: Inland Properties

DESCRIPTION OF REQUEST: Final sign off for EPC approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 183, 184, 185-A, 185-A-1 Block: Airport Unit Unit: 8
 Subdiv/Addn/TBKA: Town of Atriseo Grant
 Existing Zoning: SU-1 for IP Proposed zoning: SU-1 for IP with MRGCD Map No
 Zone Atlas page(s): J-10-Z UPC Code: 101005806227020202; 1010058099282202

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Project # 1006761

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 3 No. of proposed lots: 1 Total site area (acres): 609 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 76th Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 8-14-12

SIGNATURE [Signature] DATE 12-11-12
 (Print Name) James F. Strozier, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB -70379</u>	<u>SBP</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>December 19, 2012</u>			Total \$ <u>20.00</u>

Revised: 4/2012

[Signature] 12-11-12 Staff signature & Date Project # 1006761

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit *provided as an exhibit*
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan *(submitted with plat)*
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision) *provided as an exhibit*
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozian, ACP
 Applicant name (print)
[Signature] 12-11-12
 Applicant signature / date
 Form revised October 2007
[Signature] 12-11-12
 Planner signature / date
 Project # 1006761



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 DRB - 70379



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit *DRB Sign-off*
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: (505) 764-9801
 ADDRESS: 302 Eighth St. NW FAX: (505) 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: Lord Constructors, Inc. PHONE: (909) 946-6729
 ADDRESS: 1920 W. Flueveth St. FAX: (909) 946-3626
 CITY: Upland STATE CA ZIP 91786 E-MAIL: jallman@lordconstructors.com
 Proprietary interest in site: Developer List all owners: Inland Properties

DESCRIPTION OF REQUEST: Final sign off for EPC approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 183, 184, 185-A, 185-A-1 Block: Airport Unit Unit: 8
 Subdiv/Addn/TBKA: Town of Atrisco Grant
 Existing Zoning: SU-1 for IP Proposed zoning: SU-1 for IP with MRGCD Map No
 Zone Atlas page(s): J-10-Z UPC Code: 101005 806 227 020202; 101005 809 928 220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z, V, S, etc.): Project # 1006761

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 3 No. of proposed lots: 1 Total site area (acres): 6.9 acres

LOCATION OF PROPERTY BY STREETS: On or Near: Fortuna Road NW
 Between: 71st Street NW and I-40

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 8-11-12

SIGNATURE

[Signature] DATE 12-11-12
 (Print Name) James F. Strozier, NACP Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
<u>12DRB 70379</u>

Action	S.F.	Fees
<u>SBP</u>	_____	\$ <u>0</u>
<u>CUF</u>	_____	\$ <u>20.00</u>
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
Total		\$ <u>20.00</u>

Hearing date December 19, 2012

[Signature] 12-11-12
 Staff signature & Date

Project # 1006761

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Copy of the document delegating approval authority to the DRB
- ___ Completed Site Plan for Subdivision Checklist
- ___ Infrastructure List, if relevant to the site plan
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- ___ Solid Waste Management Department signature on Site Plan
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Copy of the document delegating approval authority to the DRB
- ___ Infrastructure List, if relevant to the site plan
- ___ Completed Site Plan for Building Permit Checklist
- ___ Copy of Site Plan with Fire Marshal's stamp
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)

Maximum Size: 24" x 36"

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Infrastructure List, if relevant to the site plan
- ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit *provided as an exhibit*
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan *(submitted with Plat)*
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision) *provided as an exhibit*
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozian, Alder
 Applicant name (print)
[Signature] 12-11-12
 Applicant signature / date

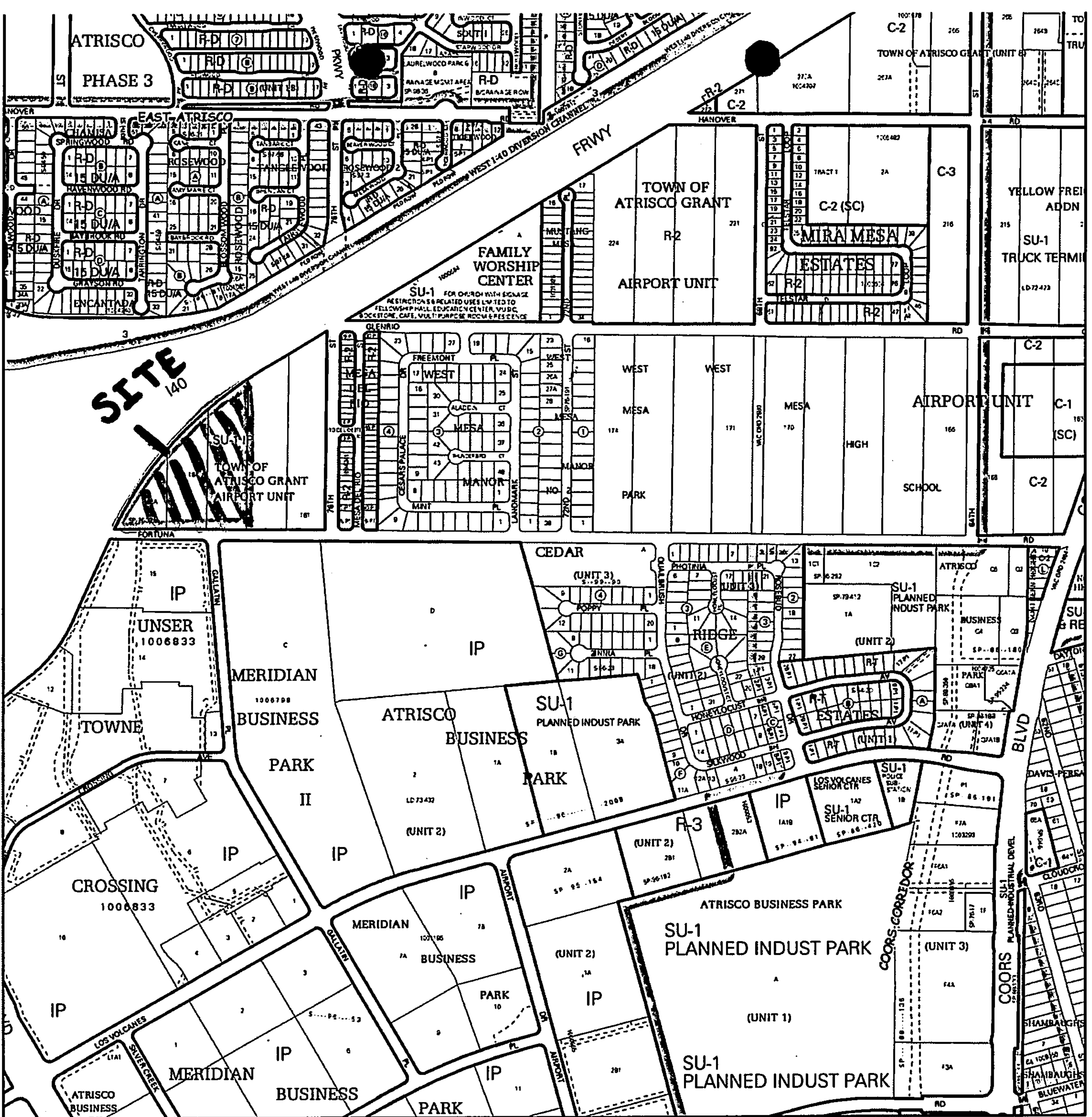


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12DRB - 70379

V. [Signature] 12-11-12
 Planner signature / date
 Project # 1006761



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 4/2/2012

RIO GRANDE

40

25

Note: Grey Shading Represents Area Outside of the City Limits

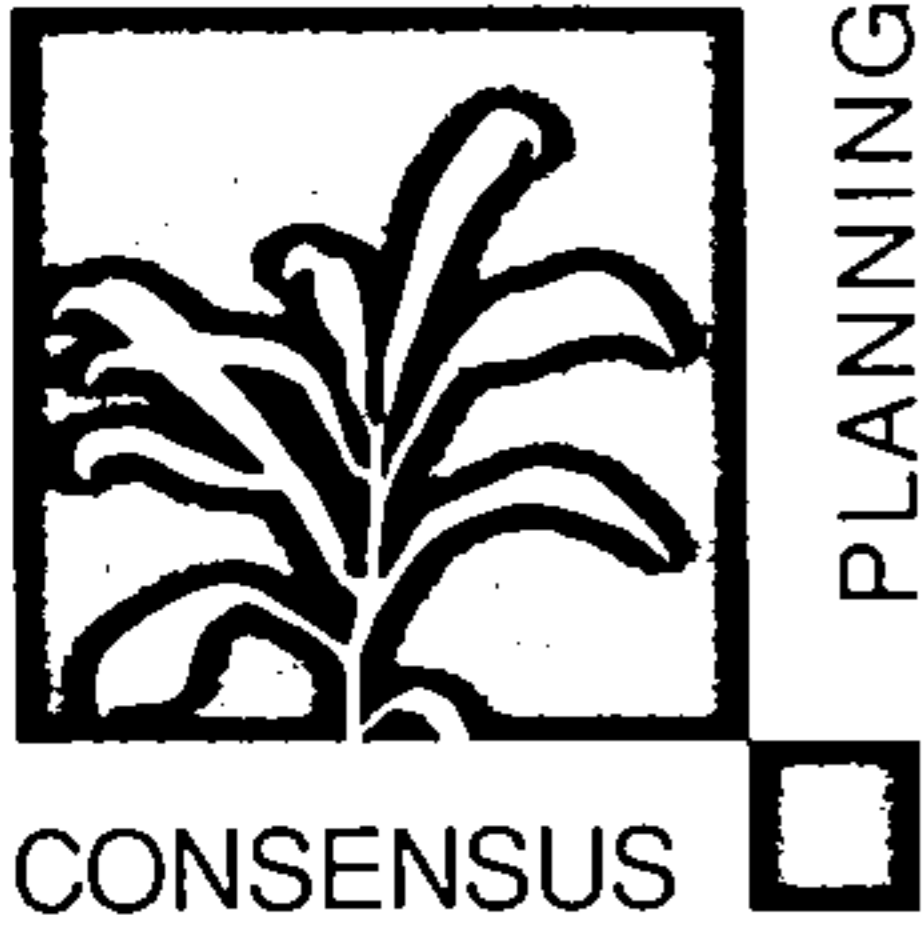
Zone Atlas Page:

J-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



December 11, 2012

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Project 1006761/12EPC-40072: Site Development Plan for Building Permit

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Chairman:

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project 1006761, 12EPC-40072, a Site Development Plan for Building Permit, which was approved on November 13, 2012.

302 Eighth St. NW
Albuquerque, NM 87102

Each condition is enumerated below and our response is indicated in italics:

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that all other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

We agree and this letter satisfies that requirement.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We have met with the staff planner, Randall Falkner on November 26, 2012 to ensure that all conditions of approval have been met.

3. A signature block for DRB approval is required on the site development plan for building permit.

We agree to this condition. See revised sheet 1.

4. The vicinity map indicates the southern ½ of Tract 182 is included as part of the site development plan for building permit. This needs to be corrected to only show Tracts 183, 184, and 185A as part of the vicinity map.

We agree to this condition. See revised sheet 1.

5. Trees shall not be in conflict with proposed external lighting.

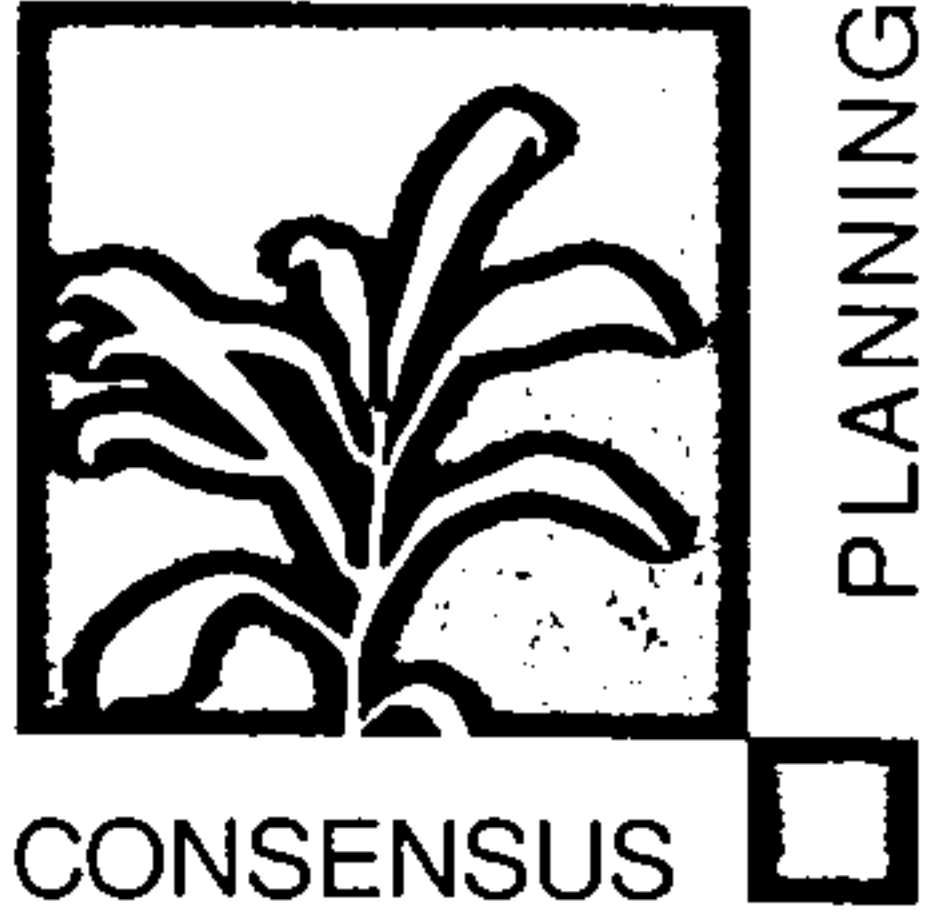
This condition has been met. See Site Plan for light pole locations and Landscape Plan for tree locations.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



6. Signage:

- a. The size of the proposed pylon sign (Sheet A 1.3) shall not exceed 100 s.f. as per Section 14-16-2-19(A)(25)(c)(1)(b) of the Zoning Code or a variance to size is required.

The owner plans to request a variance. The sign detail sheet indicates that if the variance is not approved, then the above conditions shall be met.

- b. The sign detail for the proposed pylon sign (Sheet A1.3) shall state the color of the steel support column, CMU perimeter base, and the sign letters.

We agree to this condition. See revised sign detail sheet.

- c. The pylon sign detail (Sheet A 1.3) shall indicate the type of letters contained (plastic, channel or other).

We agree to this condition. See revised sign detail sheet.

7. Conditions of Approval from City Engineer, Municipal Development, and NMDOT:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

We agree to this condition. The infrastructure list has been submitted with the plat.

- b. A reserved right-of-way turnaround at the western terminus of Fortuna Road is shown, please provide supporting documentation (recorded plat) and evaluate if it's an adequate turnaround design for design vehicle.

This condition has been met, see sheet 1.

- c. A cross access easement and a shared parking agreement will be required if all three tracts are not re-plated at DRB.

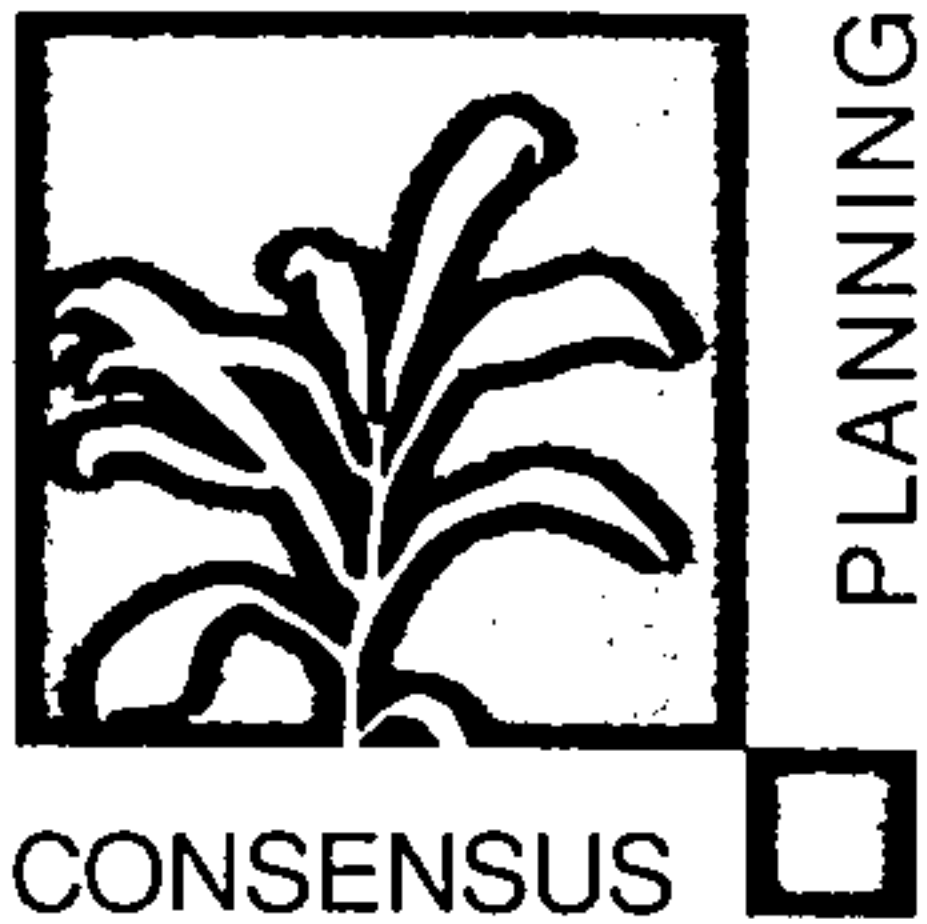
A replat has been submitted to replat the existing 3 lots into 1.

- d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/requirements.

We agree to this condition.

- e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.

We agree to this condition.



- f. It is not apparent the type of surface being proposed or referenced. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.

This condition has been met. The type of surface is concrete and has been indicated on the Site Plan.

- g. All easements need to be shown and labeled on Site Plan.

This condition has been met.

- h. For DRB, the Conceptual Grading and Drainage Plan should include offsite basins and the allowed flow from the site per the applicable DMP.

We agree and the hydrology submittal addresses this condition.

- i. The plan proposes grading on Lot 182. A retaining wall may need to be constructed along the eastern edge of the site.

The client has provided a letter of permission from the owner (note: the client and the owner are the same).

8. Conditions of Approval from Public Service Company of New Mexico:

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.

There is no utility easement that crosses the property.

- b. There is an existing overhead electric distribution line between the north side of the property and Interstate 40. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department regarding proposed tree species, tree placement and height at maturity, sign location and height, and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing facilities.

We agree to this condition. Please see Landscape Plan notes under "PNM Coordination."

- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

We agree to this condition. Please see Landscape Plan notes under "PNM Coordination."

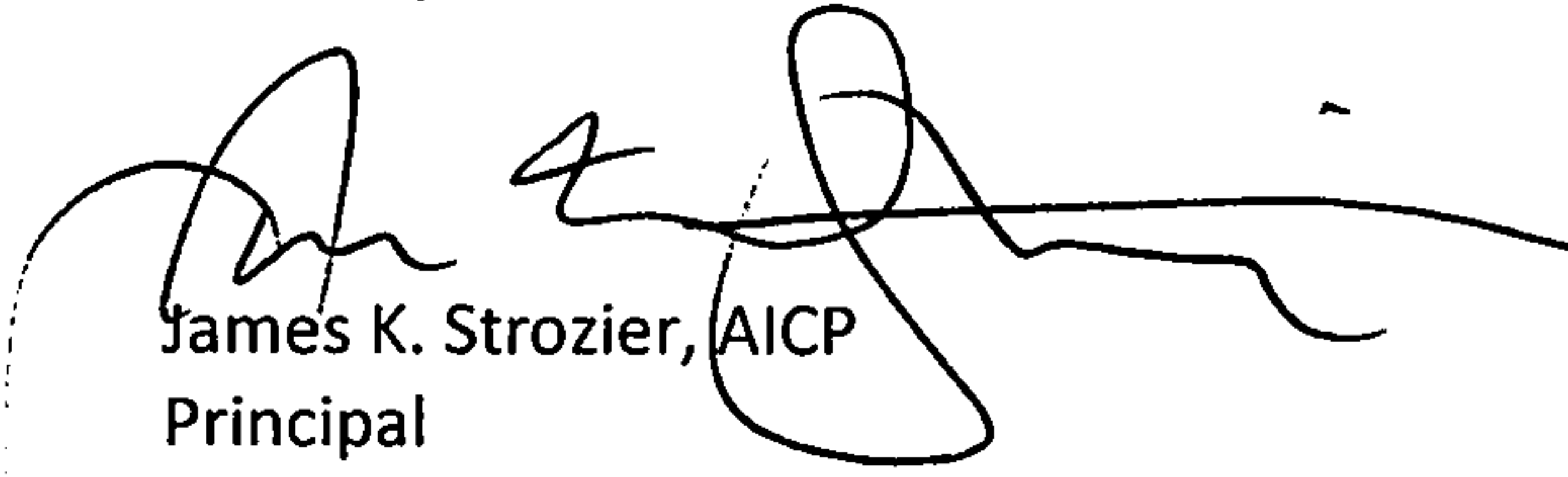


PLANNING

CONSENSUS

Please feel free to call me if you have any questions or need additional information.

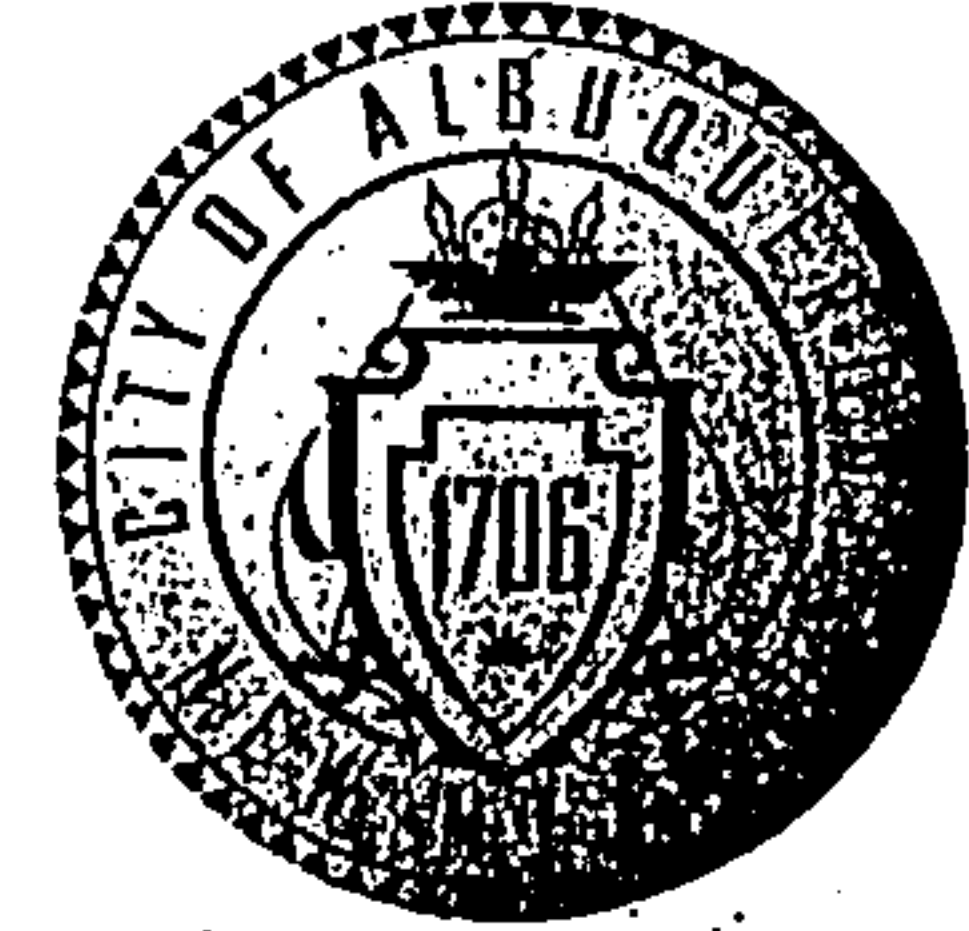
Sincerely,



James K. Strozier, AICP
Principal

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

November 13, 2012

Lord Constructors, Inc.
1920 W. Eleventh Street
Upland, CA 91786

Project# 1006761
12EPC-40071 Amendment to Zone Map (Zone
Change)
12EPC-40072 Site Development Plan for
Building Permit

LEGAL DESCRIPTION:

For the southerly portion of Tract 183, Airport
Unit, Town of Atrisco Grant, Unit 8, and replat of
Tract 185-A together with the southerly portion of
Tract 184, Airport Unit, Town of Atrisco Grant,
Unit 8, located on Fortuna Road NW, between
76th Street NW and I-40, containing
approximately 6.8 acres.
Randall Falkner, Planner

PO Box 1293

Albuquerque

NM 87103

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1006761/12EPC-40071, a request for an Amendment to the Zone map, based on the following Findings and subject to the following Conditions:

www.cabq.gov

FINDINGS:

1. This is a request for a zone map amendment from SU-1 for IP to SU-1 for IP with Truck Sales and Service. The legal description of the site is as follows: southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8; Replat of Tract 185-A together with the southerly portion of Tract 184, Airport Unit, Town of Atrisco Grant, Unit 8. The property is on Fortuna Road NW, between 76th Street NW and I-40 and comprises approximately 6.8 acres.
2. The applicant intends to develop a sales and service center for trucks. The proposed building is 30,233 square feet and will contain office and truck sales and service uses.

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 2 of 9

3. The proposed use (Truck Sales and Service) is not permissive under the current zoning (SU-1 for IP). Automotive sales, rentals, service, repair and storage are first permissive in the M-1 zone. In 2007 the ZHE approved a request for a conditional use (07ZHE 80055) on the subject property to allow for automotive sales, rental, service, repair, and storage in an IP zone. However, the conditional use expired since the property was not developed within a year.
4. The site is located in the Established Urban Area of the Comprehensive Plan and is within the boundaries of the West Side Strategic Plan. The subject site is within a vacant area just north of the Atrisco Business Park.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. A request for a site development plan for building permit (12EPC 40072) accompanies this request.
7. The applicant provided an adequate justification for the zone change request pursuant to Resolution 270-1980:
 - A. The zone change would be consistent with the health, safety, morals and general welfare of the City. The request for SU-1 for IP with Truck Sales and Service would complement adjacent zoning, which is IP to the south and SU-1 for IP to the east. The site is located just south of I-40 and would not jeopardize the health, safety and welfare of the City. Truck servicing will occur inside the building. The primary truck route would be to I-40 via Gallatin Place and not along Fortuna Road. The proposed truck service would occur inside the proposed building.
 - B. The request provides stability of land use and zoning. The subject site is located adjacent to I-40 on the north and west and IP zoning to the south and east. Atrisco Business Park is located immediately south of the site which is zoned for IP uses.
 - C. The request furthers applicable policies of the Comprehensive Plan and the West Side Strategic Plan, including the following:
 1. Policy II.B.5d – The zone change request respects neighborhood values by allowing zoning that is consistent with that found to the east (SU-1 for IP) and to the south (IP). To the north and west is I-40. The request does not abut a residential neighborhood. Truck servicing will occur inside the building. The request would have little to no impact on natural environmental conditions and

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 3 of 9

- carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.
2. Policy II.B.5e – The request will provide infill development on a site that is vacant. Full urban services are currently available along Fortuna Road, which is adjacent to the proposed subject site. Residential neighborhoods do not abut the site and are approximately 470 feet to the east.
 3. Policy II.D.6a – The request will provide new employment opportunities which will accommodate a wide range of occupational skills and salary levels, while locating new jobs convenient to areas of most need. The request is projected to add 32-47 jobs to the area.
 4. Policy II.D.6b – The request will emphasize the development of an outside firm that provides the opportunity to be staffed primarily by local residents. The request will help to alleviate the jobs-housing imbalance on the West side by adding additional jobs to the area.
 5. WSSP Objective 1 – The request would provide for a mix of land uses on the West Side, offer opportunities for employment, and minimize the needs for cross-metro trips. The request is projected to provide 32-47 jobs, thereby minimizing the need to cross the river to Albuquerque's East Side.
 6. WSSP Objective 8 – The request would promote job opportunities and business growth in an appropriate area of the West Side. The subject site is located just north of the Atrisco Business Park which is a Major Activity Center. The site contains uses that are compatible with neighboring uses (industrial) and is close to I-40. The subject site is vacant and the request provides appropriate infill development in an area that would benefit the West Side and the City.
 7. WSSP Policy 1.6 – The subject site is located just north of the Atrisco Business Park and would actively encourage more employers to locate in this important area, which would help to improve the jobs-housing ratio of the West Side.
 8. WSSP Policy 3.33 – The request is appropriate for new development, and will help to develop a site that is vacant and has never been developed. The request will provide jobs for the West Side, provide infill development, and is not adjacent to residential housing.
- D. The applicant has shown that a different use category is more advantageous to the community by furthering a preponderance of policies in the Comprehensive Plan and the West Side Strategic Plan.
- E. The request would not be harmful to adjacent property, the neighborhood, or the community. The site is surrounded mostly by industrial and vacant land uses. The nearest residential neighborhood is approximately 470 feet to the east and West Mesa High School is approximately 2,200 feet to the east. The primary truck route will be

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 4 of 9

west to Unser and not to Coors to the east. The request is compatible with adjacent uses and zoning.

- F. The request does not require major or unprogrammed capital expenditures by the City.
 - G. The cost of land or other economic considerations are not the determining factor for the proposed zone change.
 - H. The site is not located on a collector or major street. Fortuna Road is considered a local street.
 - I. Technically the request could be considered a spot zone since the proposed SU-1 for IP with Truck Sales and Service is different from any surrounding zoning; however, the zoning is very similar to that surrounding the subject site, and the applicant has clearly facilitated realization of the Comprehensive Plan and the West Side Strategic Plan.
 - J. The request would not result in a strip zone.
8. Planning staff has received no letters of opposition to the request.

CONDITIONS:

- 1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1006761/12EPC-40072, a request for a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

- 1. This is a request for a site development plan for building permit. The legal description of the site is as follows: southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8; Replat of Tract 185-A together with the southerly portion of Tract 184, Airport Unit, Town of Atrisco Grant, Unit 8. The property is on Fortuna Road NW, between 76th Street NW and I-40 and comprises approximately 6.8 acres.

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 5 of 9

2. The applicant intends to develop a sales and service center for trucks. The proposed building is 30,233 square feet and will contain office and truck sales and service uses.
3. The site is located in the Established Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan. The subject site is within a vacant area just north of the Atrisco Business Park.
4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. A request for a zone change (12EPC 40071) accompanies this request.
6. The request furthers the following policies of the Comprehensive Plan and the West Side Strategic Plan:
 - A. Policy II.B.5d – The request respects neighborhood values by allowing a site plan that is consistent with uses found to the south (FedEx property). To the north and west is I-40, and to the east is vacant land and is zoned SU-1 for IP. The request does not abut a residential neighborhood. Truck servicing will occur inside the building. The request would have little to no impact on natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern. Access to the site is from Gallatin Place and not Fortuna Road, in order to protect the integrity of the neighborhood east of the site.
 - B. Policy II.B.5e – The request will provide infill development on a site that is vacant. Full urban services are currently available along Fortuna Road adjacent to the proposed subject site and the integrity of the neighborhood would be ensured by adding similar uses to what is already in the area (FedEx facility to the south). Residential neighborhoods do not abut the site and are approximately 470 feet to the east.
 - C. Policy II.B.5i – Adverse effects of development (lighting, pollution, traffic, and noise) have been minimized by appropriate site design. The site is in a location that is surrounded by similar land uses and zoning and is generally isolated from most residential uses.
 - D. Policy II.B.5k – The subject site is not adjacent to an arterial street (Fortuna and Gallatin are local streets) and the applicant has stated that the primary route to I-40 is via Unser, Los Volcanes and Gallatin, and not east towards the residential neighborhood (approximately 470 feet east from the subject site) and West Mesa High School (approximately 2,200 feet east from the site).

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 6 of 9

- E. WSSP Objective 1 – The request would provide for a mix of land uses on the West Side, offer opportunities for employment, and minimize the needs for cross-metro trips. The request is projected to provide 32-47 jobs, thereby minimizing the need to cross the river to Albuquerque's East Side.
 - F. WSSP Objective 8 – The request would promote job opportunities and business growth in an appropriate area of the West Side. The subject site is located just north of the Atrisco Business Park which is a Major Activity Center. The site contains uses that are compatible with neighboring uses (industrial) and is close to I-40. The subject site is vacant and the request provides appropriate infill development in an area that would benefit the West Side and the City.
 - G. WSSP Policy 1.6 – The subject site is located just north of the Atrisco Business Park and would actively encourage more employers to locate in this important area, which would help to improve the jobs-housing ratio of the West Side.
 - H. WSSP Policy 3.33 – The request is appropriate for new development and will help to develop a site that is vacant and has never been developed. The request will provide jobs for the West Side, provide infill development, and is not adjacent to residential housing.
7. Planning staff has received no letters of opposition to the request.
8. The parking as shown on the site development plan for building permit is sufficient for the proposed development. There is no category in the zoning code for the type of use proposed. The EPC has authority to approve parking different from what is required in the zoning code.

CONDITIONS:

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 7 of 9

3. A signature block for DRB approval is required on the site development plan for building permit.
4. The vicinity map indicates the southern ½ of Tract 182 is included as part of the site development plan for building permit. This needs to be corrected to only show Tracts 183, 184, and 185A as part of the vicinity map.
5. Trees shall not be in conflict with proposed external lighting.
6. Signage:
 - a. The size of the proposed pylon sign (Sheet A1.3) shall not exceed 100 s.f. as per Section 14-16-2-19(A)(25)(c)(1)(b) of the Zoning Code or a variance to size is required.
 - b. The sign detail for the proposed pylon sign (Sheet A1.3) shall state the color of the steel support column, CMU perimeter base, and the sign letters.
 - c. The pylon sign detail (Sheet A1.3) shall indicate the type of letters contained (plastic, channel or other).
7. Conditions of Approval from City Engineer, Municipal Development, and NMDOT:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. A reserved right-of-way turnaround at the western terminus of Fortuna Road is shown, please provide supporting documentation (recorded plat) and evaluate if it's an adequate turnaround design for design vehicle.
 - c. A cross access easement and a shared parking agreement will be required if all three tracts are not re-plated at DRB.
 - d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.
 - f. It is not apparent the type of surface being proposed or referenced. A hard driving surface will be required as part this proposed project for parking area and drive aisles.
 - g. All easements need to be shown and labeled on Site Plan.
 - h. For DRB, the Conceptual Grading and Drainage Plan should include offsite basins and the allowed flow from the site per the applicable DMP.
 - i. The plan proposes grading on Lot 182. A retaining wall may need to be constructed along the eastern edge of the site.
8. Conditions of Approval from Public Service Company of New Mexico:

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 8 of 9

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- b. There is an existing overhead electric distribution line between the north side of the property and Interstate 40. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department regarding proposed tree species, tree placement and height at maturity, sign location and height, and lighting height in order to ensure sufficient safety clearances and to avoid interference with the existing facilities.
- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 26, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 9 of 9

any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

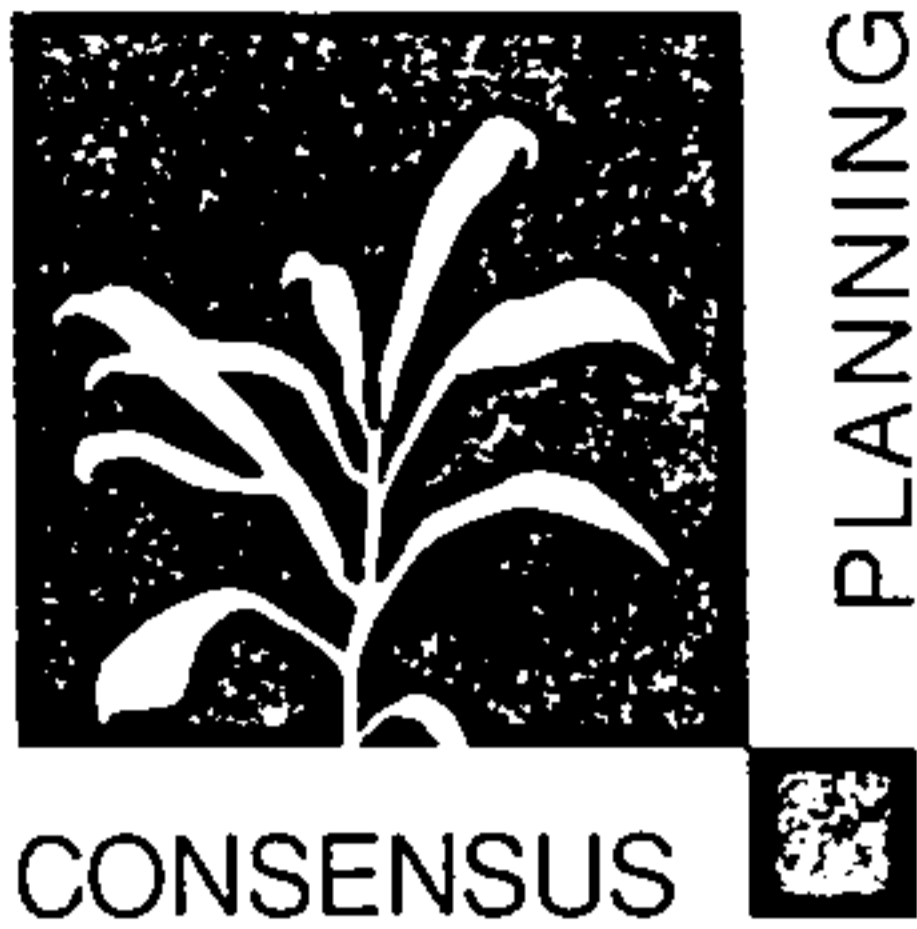


for

Suzanne Lubar
Acting Director, Planning Department

SL/RF/mc

cc: Consensus Planning, Inc., 302 Eighth Street NW, Albuquerque, NM 87102
Margaret K. Woods, 6503 Honeylocust Avenue NW, Albuquerque, NM 87121
Ann McCoy/Chavez, 6700 Silkwood Avenue NW, Albuquerque, NM 87121
Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120
Marie Barr, 7625 Maplewood Drive NW, Albuquerque, NM 87120
Carol Cunningham, 8012 Bridgewater NW, Albuquerque, NM 87120
Mary Loughran, 8015 Fallbrook NW, Albuquerque, NM 87120
Andres Lazo, 3220 Grasshopper Drive SW, Albuquerque, NM 87121
Marcia Fernandez, 2401 Violet SW, Albuquerque, NM 87105
Klarissa Pena, 6525 Sunset Gardens SW, Albuquerque, NM 87121
Louis Tafoya, 6411 Avalon Road NW, Albuquerque, NM 87105
Gerald (Jerry) C. Worrall, 1039 Pinatubo Place, Albuquerque, NM 87120
Candelaria (Candy) Patterson, 7608 Elderwood NW, Albuquerque, NM 87120



December 11, 2012

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Project 1006761/12EPC-40072: Site Development Plan for Building Permit

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Chairman:

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project 1006761, 12EPC-40072, a Site Development Plan for Building Permit, which was approved on November 13, 2012.

302 Eighth St. NW
Albuquerque, NM 87102

Each condition is enumerated below and our response is indicated in italics:

(505) 764-9801
Fax 842-5495

cp@consensusplanning.com
www.consensusplanning.com

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that all other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

We agree and this letter satisfies that requirement.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We have met with the staff planner, Randall Falkner on November 26, 2012 to ensure that all conditions of approval have been met.

3. A signature block for DRB approval is required on the site development plan for building permit.

We agree to this condition. See revised sheet 1.

4. The vicinity map indicates the southern ½ of Tract 182 is included as part of the site development plan for building permit. This needs to be corrected to only show Tracts 183, 184, and 185A as part of the vicinity map.

We agree to this condition. See revised sheet 1.

5. Trees shall not be in conflict with proposed external lighting.

This condition has been met. See Site Plan for light pole locations and Landscape Plan for tree locations.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



6. Signage:

- a. The size of the proposed pylon sign (Sheet A 1.3) shall not exceed 100 s.f. as per Section 14-16-2-19(A)(25)(c)(1)(b) of the Zoning Code or a variance to size is required.

The owner plans to request a variance. The sign detail sheet indicates that if the variance is not approved, then the above conditions shall be met.

- b. The sign detail for the proposed pylon sign (Sheet A1.3) shall state the color of the steel support column, CMU perimeter base, and the sign letters.

We agree to this condition. See revised sign detail sheet.

- c. The pylon sign detail (Sheet A 1.3) shall indicate the type of letters contained (plastic, channel or other).

We agree to this condition. See revised sign detail sheet.

7. Conditions of Approval from City Engineer, Municipal Development, and NMDOT:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

We agree to this condition. The infrastructure list has been submitted with the plat.

- b. A reserved right-of-way turnaround at the western terminus of Fortuna Road is shown, please provide supporting documentation (recorded plat) and evaluate if it's an adequate turnaround design for design vehicle.

This condition has been met, see sheet 1.

- c. A cross access easement and a shared parking agreement will be required if all three tracts are not re-plated at DRB.

A replat has been submitted to replat the existing 3 lots into 1.

- d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/requirements.

We agree to this condition.

- e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.

We agree to this condition.



- f. It is not apparent the type of surface being proposed or referenced. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.

This condition has been met. The type of surface is concrete and has been indicated on the Site Plan.

- g. All easements need to be shown and labeled on Site Plan.

This condition has been met.

- h. For DRB, the Conceptual Grading and Drainage Plan should include offsite basins and the allowed flow from the site per the applicable DMP.

We agree and the hydrology submittal addresses this condition.

- i. The plan proposes grading on Lot 182. A retaining wall may need to be constructed along the eastern edge of the site.

The client has provided a letter of permission from the owner (note: the client and the owner are the same).

8. Conditions of Approval from Public Service Company of New Mexico:

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.

There is no utility easement that crosses the property.

- b. There is an existing overhead electric distribution line between the north side of the property and Interstate 40. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department regarding proposed tree species, tree placement and height at maturity, sign location and height, and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing facilities.

We agree to this condition. Please see Landscape Plan notes under "PNM Coordination."

- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

We agree to this condition. Please see Landscape Plan notes under "PNM Coordination."



PLANNING

CONSENSUS

Please feel free to call me if you have any questions or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "James K. Strozier". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

James K. Strozier, AICP
Principal

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

November 13, 2012

Lord Constructors, Inc.
1920 W. Eleventh Street
Upland, CA 91786

Project# 1006761
12EPC-40071 Amendment to Zone Map (Zone
Change)
12EPC-40072 Site Development Plan for
Building Permit

LEGAL DESCRIPTION:

For the southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8, and replat of Tract 185-A together with the southerly portion of Tract 184, Airport Unit, Town of Atrisco Grant, Unit 8, located on Fortuna Road NW, between 76th Street NW and I-40, containing approximately 6.8 acres.
Randall Falkner, Planner

PO Box 1293

Albuquerque

NM 87103

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1006761/12EPC-40071, a request for an Amendment to the Zone map, based on the following Findings and subject to the following Conditions:

www.cabq.gov

FINDINGS:

1. This is a request for a zone map amendment from SU-1 for IP to SU-1 for IP with Truck Sales and Service. The legal description of the site is as follows: southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8; Replat of Tract 185-A together with the southerly portion of Tract 184, Airport Unit, Town of Atrisco Grant, Unit 8. The property is on Fortuna Road NW, between 76th Street NW and I-40 and comprises approximately 6.8 acres.
2. The applicant intends to develop a sales and service center for trucks. The proposed building is 30,233 square feet and will contain office and truck sales and service uses.

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 2 of 9

3. The proposed use (Truck Sales and Service) is not permissive under the current zoning (SU-1 for IP). Automotive sales, rentals, service, repair and storage are first permissive in the M-1 zone. In 2007 the ZHE approved a request for a conditional use (07ZHE 80055) on the subject property to allow for automotive sales, rental, service, repair, and storage in an IP zone. However, the conditional use expired since the property was not developed within a year.
4. The site is located in the Established Urban Area of the Comprehensive Plan and is within the boundaries of the West Side Strategic Plan. The subject site is within a vacant area just north of the Atrisco Business Park.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. A request for a site development plan for building permit (12EPC 40072) accompanies this request.
7. The applicant provided an adequate justification for the zone change request pursuant to Resolution 270-1980:
 - A. The zone change would be consistent with the health, safety, morals and general welfare of the City. The request for SU-1 for IP with Truck Sales and Service would complement adjacent zoning, which is IP to the south and SU-1 for IP to the east. The site is located just south of I-40 and would not jeopardize the health, safety and welfare of the City. ~~Truck servicing will occur inside the building. The primary truck route would be to I-40 via Gallatin Place and not along Fortuna Road. The proposed truck service would occur inside the proposed building.~~
 - B. The request provides stability of land use and zoning. The subject site is located adjacent to I-40 on the north and west and IP zoning to the south and east. Atrisco Business Park is located immediately south of the site which is zoned for IP uses.
 - C. The request furthers applicable policies of the Comprehensive Plan and the West Side Strategic Plan, including the following:
 1. Policy II.B.5d – The zone change request respects neighborhood values by allowing zoning that is consistent with that found to the east (SU-1 for IP) and to the south (IP). To the north and west is I-40. The request does not abut a residential neighborhood. Truck servicing will occur inside the building. The request would have little to no impact on natural environmental conditions and

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 3 of 9

carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

2. Policy II.B.5e – The request will provide infill development on a site that is vacant. Full urban services are currently available along Fortuna Road, which is adjacent to the proposed subject site. Residential neighborhoods do not abut the site and are approximately 470 feet to the east.
 3. Policy II.D.6a – The request will provide new employment opportunities which will accommodate a wide range of occupational skills and salary levels, while locating new jobs convenient to areas of most need. The request is projected to add 32-47 jobs to the area.
 4. Policy II.D.6b – The request will emphasize the development of an outside firm that provides the opportunity to be staffed primarily by local residents. The request will help to alleviate the jobs-housing imbalance on the West side by adding additional jobs to the area.
 5. WSSP Objective 1 – The request would provide for a mix of land uses on the West Side, offer opportunities for employment, and minimize the needs for cross-metro trips. The request is projected to provide 32-47 jobs, thereby minimizing the need to cross the river to Albuquerque's East Side.
 6. WSSP Objective 8 – The request would promote job opportunities and business growth in an appropriate area of the West Side. The subject site is located just north of the Atrisco Business Park which is a Major Activity Center. The site contains uses that are compatible with neighboring uses (industrial) and is close to I-40. The subject site is vacant and the request provides appropriate infill development in an area that would benefit the West Side and the City.
 7. WSSP Policy 1.6 – The subject site is located just north of the Atrisco Business Park and would actively encourage more employers to locate in this important area, which would help to improve the jobs-housing ratio of the West Side.
 8. WSSP Policy 3.33 – The request is appropriate for new development, and will help to develop a site that is vacant and has never been developed. The request will provide jobs for the West Side, provide infill development, and is not adjacent to residential housing.
- D. The applicant has shown that a different use category is more advantageous to the community by furthering a preponderance of policies in the Comprehensive Plan and the West Side Strategic Plan.
- E. The request would not be harmful to adjacent property, the neighborhood, or the community. The site is surrounded mostly by industrial and vacant land uses. The nearest residential neighborhood is approximately 470 feet to the east and West Mesa High School is approximately 2,200 feet to the east. The primary truck route will be

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 4 of 9

west to Unser and not to Coors to the east. The request is compatible with adjacent uses and zoning.

- F. The request does not require major or unprogrammed capital expenditures by the City.
- G. The cost of land or other economic considerations are not the determining factor for the proposed zone change.
- H. The site is not located on a collector or major street. Fortuna Road is considered a local street.
- I. Technically the request could be considered a spot zone since the proposed SU-1 for IP with Truck Sales and Service is different from any surrounding zoning; however, the zoning is very similar to that surrounding the subject site, and the applicant has clearly facilitated realization of the Comprehensive Plan and the West Side Strategic Plan.
- J. The request would not result in a strip zone.

8. Planning staff has received no letters of opposition to the request.

CONDITIONS:

- 1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1006761/12EPC-40072, a request for a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

- 1. This is a request for a site development plan for building permit. The legal description of the site is as follows: southerly portion of Tract 183, Airport Unit, Town of Atrisco Grant, Unit 8; Replat of Tract 185-A together with the southerly portion of Tract 184, Airport Unit, Town of Atrisco Grant, Unit 8. The property is on Fortuna Road NW, between 76th Street NW and I-40 and comprises approximately 6.8 acres.

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 5 of 9

2. The applicant intends to develop a sales and service center for trucks. The proposed building is 30,233 square feet and will contain office and truck sales and service uses.
3. The site is located in the Established Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan. The subject site is within a vacant area just north of the Atrisco Business Park.
4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. A request for a zone change (12EPC 40071) accompanies this request.

6. The request furthers the following policies of the Comprehensive Plan and the West Side Strategic Plan:
 - A. Policy II.B.5d – The request respects neighborhood values by allowing a site plan that is consistent with uses found to the south (FedEx property). To the north and west is I-40, and to the east is vacant land and is zoned SU-1 for IP. The request does not abut a residential neighborhood. Truck servicing will occur inside the building. The request would have little to no impact on natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern. Access to the site is from Gallatin Place and not Fortuna Road, in order to protect the integrity of the neighborhood east of the site.
 - B. Policy II.B.5e – The request will provide infill development on a site that is vacant. Full urban services are currently available along Fortuna Road adjacent to the proposed subject site and the integrity of the neighborhood would be ensured by adding similar uses to what is already in the area (FedEx facility to the south). Residential neighborhoods do not abut the site and are approximately 470 feet to the east.
 - C. Policy II.B.5i – Adverse effects of development (lighting, pollution, traffic, and noise) have been minimized by appropriate site design. The site is in a location that is surrounded by similar land uses and zoning and is generally isolated from most residential uses.
 - D. Policy II.B.5k – The subject site is not adjacent to an arterial street (Fortuna and Gallatin are local streets) and the applicant has stated that the primary route to I-40 is via Unser, Los Volcanes and Gallatin, and not east towards the residential neighborhood (approximately 470 feet east from the subject site) and West Mesa High School (approximately 2,200 feet east from the site).

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 6 of 9

- E. WSSP Objective 1 – The request would provide for a mix of land uses on the West Side, offer opportunities for employment, and minimize the needs for cross-metro trips. The request is projected to provide 32-47 jobs, thereby minimizing the need to cross the river to Albuquerque's East Side.
 - F. WSSP Objective 8 – The request would promote job opportunities and business growth in an appropriate area of the West Side. The subject site is located just north of the Atrisco Business Park which is a Major Activity Center. The site contains uses that are compatible with neighboring uses (industrial) and is close to I-40. The subject site is vacant and the request provides appropriate infill development in an area that would benefit the West Side and the City.
 - G. WSSP Policy 1.6 – The subject site is located just north of the Atrisco Business Park and would actively encourage more employers to locate in this important area, which would help to improve the jobs-housing ratio of the West Side.
 - H. WSSP Policy 3.33 – The request is appropriate for new development and will help to develop a site that is vacant and has never been developed. The request will provide jobs for the West Side, provide infill development, and is not adjacent to residential housing.
-
- 7. Planning staff has received no letters of opposition to the request.
 - 8. The parking as shown on the site development plan for building permit is sufficient for the proposed development. There is no category in the zoning code for the type of use proposed. The EPC has authority to approve parking different from what is required in the zoning code.

CONDITIONS:

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 7 of 9

3. A signature block for DRB approval is required on the site development plan for building permit.
4. The vicinity map indicates the southern ½ of Tract 182 is included as part of the site development plan for building permit. This needs to be corrected to only show Tracts 183, 184, and 185A as part of the vicinity map.
5. Trees shall not be in conflict with proposed external lighting.
6. Signage:
 - a. The size of the proposed pylon sign (Sheet A1.3) shall not exceed 100 s.f. as per Section 14-16-2-19(A)(25)(c)(1)(b) of the Zoning Code or a variance to size is required.
 - b. The sign detail for the proposed pylon sign (Sheet A1.3) shall state the color of the steel support column, CMU perimeter base, and the sign letters.
 - c. The pylon sign detail (Sheet A1.3) shall indicate the type of letters contained (plastic, channel or other).
7. Conditions of Approval from City Engineer, Municipal Development, and NMDOT:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. A reserved right-of-way turnaround at the western terminus of Fortuna Road is shown, please provide supporting documentation (recorded plat) and evaluate if it's an adequate turnaround design for design vehicle.
 - c. A cross access easement and a shared parking agreement will be required if all three tracts are not re-plated at DRB.
 - d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.
 - f. It is not apparent the type of surface being proposed or referenced. A hard driving surface will be required as part this proposed project for parking area and drive aisles.
 - g. All easements need to be shown and labeled on Site Plan.
 - h. For DRB, the Conceptual Grading and Drainage Plan should include offsite basins and the allowed flow from the site per the applicable DMP.
 - i. The plan proposes grading on Lot 182. A retaining wall may need to be constructed along the eastern edge of the site.
8. Conditions of Approval from Public Service Company of New Mexico:

OFFICIAL NOTICE OF DECISION

Project #1006761

November 8, 2012

Page 8 of 9

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- b. There is an existing overhead electric distribution line between the north side of the property and Interstate 40. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department regarding proposed tree species, tree placement and height at maturity, sign location and height, and lighting height in order to ensure sufficient safety clearances and to avoid interference with the existing facilities.
- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 26, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and

DONE 6-26-13

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1006761

Application #: 13DRB-70540, 12DRB-70377, 12DRB-70385

Project Name: TOWN OF ATRISCO GRANT Unit(s) 8

Agent: CONSENSUS PLANNING & ISAACSON & ARFMAN PA

Phone #:

Your request was approved on 5-15-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: FP - S/A

PARKS / CIP:

PLANNING (Last to sign): SBP - file plat
OK FP - dwp

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

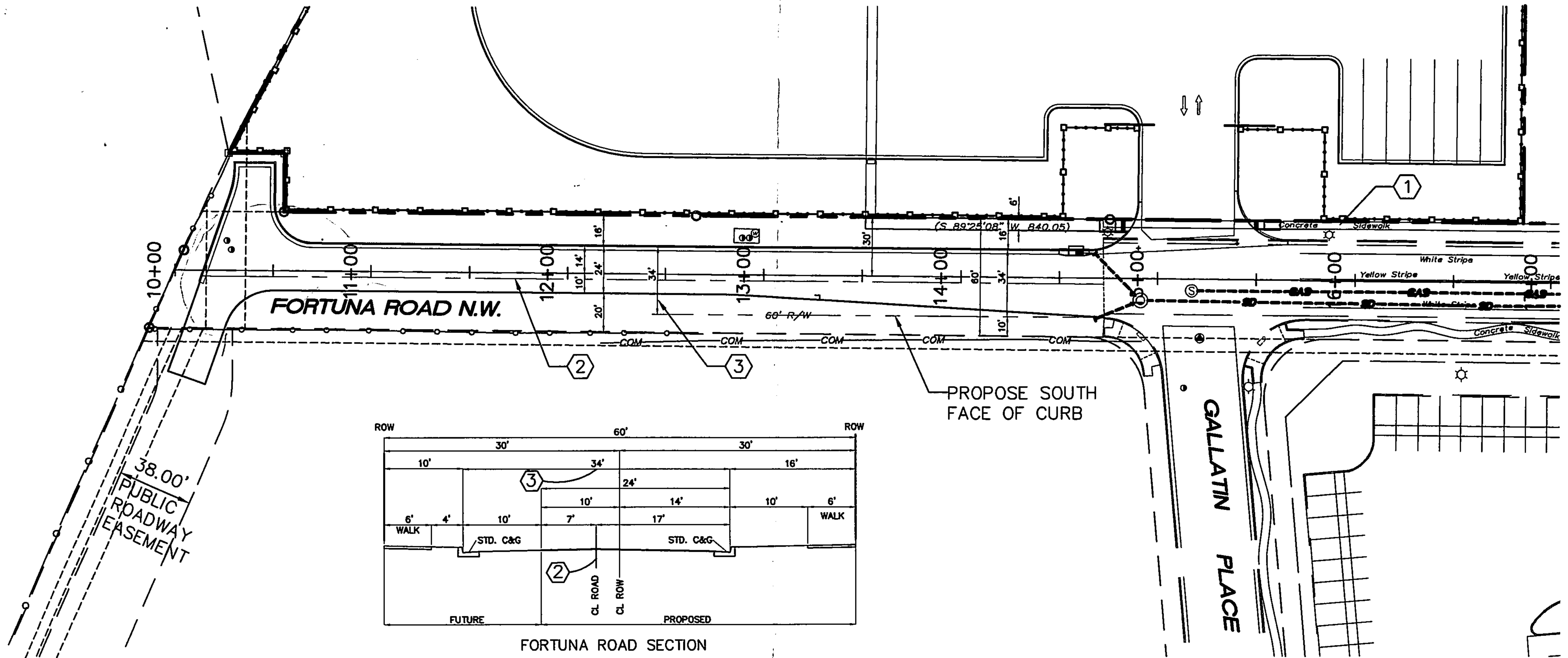
AGIS DXF File approval required.

Copy of recorded plat for Planning. _____

ALL SITE PLANS:

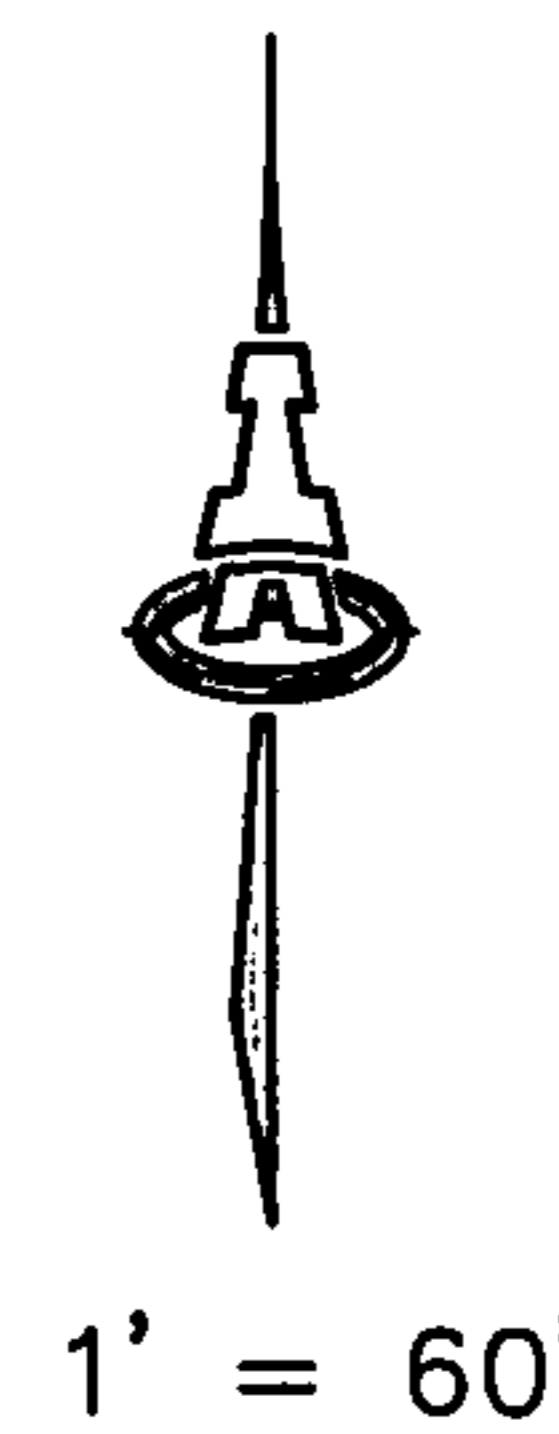
3 copies of the approved site plan. Include all pages.

[Handwritten signature]



VARIANCES ⬡

1. ALLOW THE EXISTING 4' WIDE PCC SIDEWALK ALONG NORTH RIGHT-OF-WAY OF FORTUNA RD, WEST OF GALLATIN PL. TO REMAIN AS A 4' WIDE SIDEWALK.
2. ALLOW FOR THE ULTIMATE PAVING CENTERLINE TO BE OFFSET 3' TO THE SOUTH.
3. A REDUCTION OF THE ULTIMATE FACE-TO-FACE DIMENSION TO 34'.





**ISAACSON &
ARFMAN, P.A.**

Consulting Engineering Associates
Ph. 505-268-8828 www.iacivil.com
1941DESIGN VARIANCE EXH.dwg Dec 13,2012

INLAND / KENWORTH
FORTUNA RD / GALLATIN PL N.W.

DESIGN VARIANCE EXHIBIT

PROJECT

1006761

App #

Action

Date

12DRB-70379

SBP

12-19-12



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1006761

TO: Application No. 12DRB-70377; 12DRB-70384; 12DRB-70385

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: January 9, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Revised Infrastructure List (01/07/13)
Revised Landscape Plan
Clear-Sight Exhibit (PROVIDED AT HEARING)
Truck Access/Turning Exhibit
Fortuna Road (East of Gallatin) Fully Developed Cross-Section
Revised Conceptual Grading Plan
Letter of Justification; Sidewalk Waiver (Rev 01/07/13)
Letter of Justification; Subdivision Design Variance (12/14/12)

CONTACT NAME: Fred C. Arfman

TELEPHONE: 268-8828 EMAIL: freda@iacivil.com

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: December 14, 2012

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1006761

DRB Application No.: 12DRB-70377

Tracts A, Inland Kenworth

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 185-A and Portions of Tracts 183 and 184, Town of Atrisco Grant, Airport Unit

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		24' FF	Arterial Roadway	Fortuna Road	W. Terminus Fortuna	Gallatin Pl	/	/	/
		6'	sidewalk	Fortuna Road	W of site entrance	135' west	/	/	/
			Remove 18" RCP SD Conn. (no. side)	Fortuna Road	west side of site entrance		/	/	/
		20'	Temp. Turnaround Extn. (So.)	Fortuna Road	West Terminus	Rdwy Esm't.(So.)	/	/	/
		Std.	PCC Curb & Gutter (north side only)	Fortuna Road	W. terminus Fortuna	Gallatin Pl.	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

listing. The items listed below are subject to the standard SIA requirements.


Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- 1 All storm drains to include catch basins, manholes (if necessary), connector pipes, and other appurtenances per DRC approved plans.
Storm drains sizes and locations are approximate and subject to change per final DRC determination.
- 2 Street lighting per DPM
- 3 Perimeter Wall per DRB

AGENT / OWNER

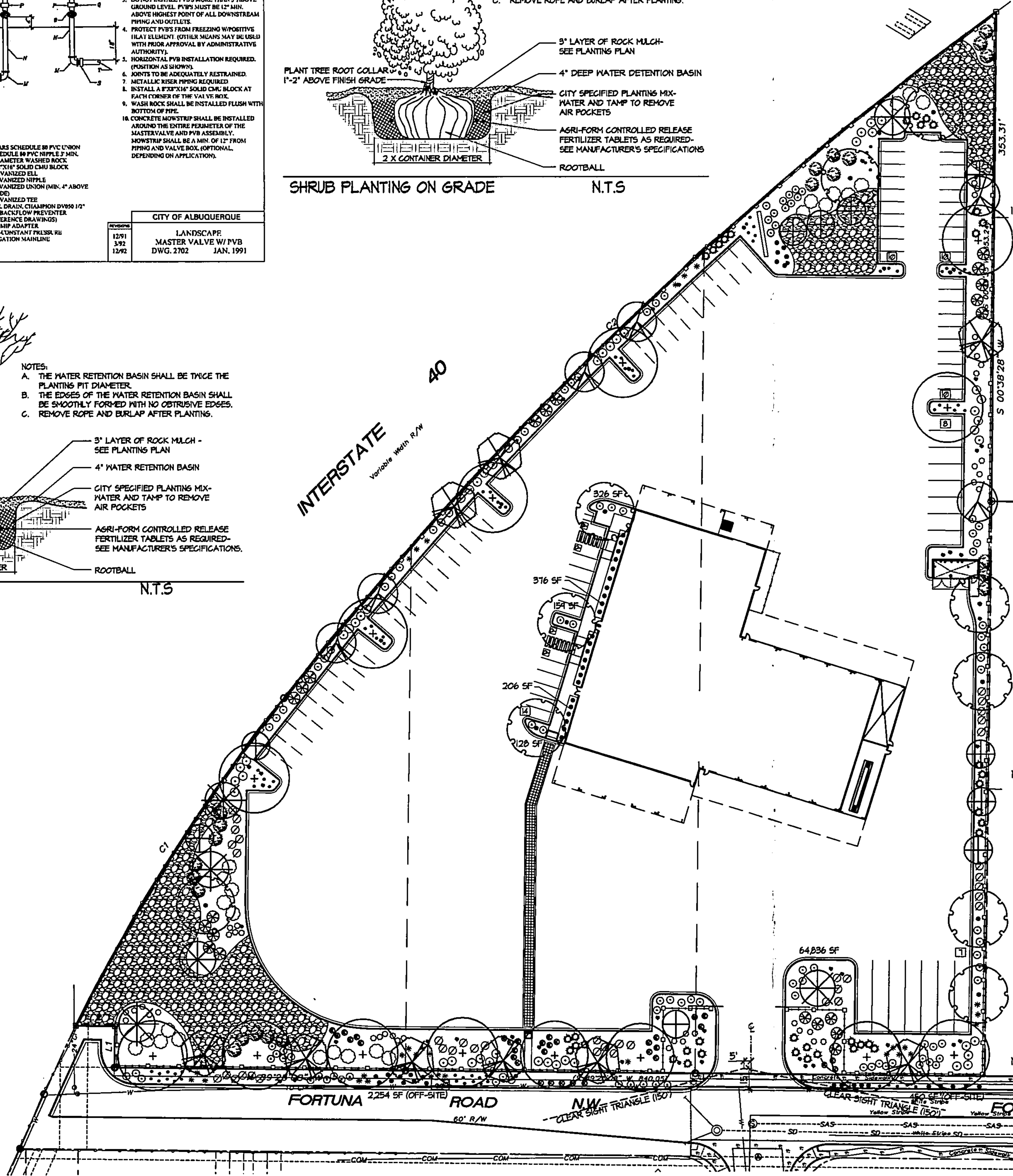
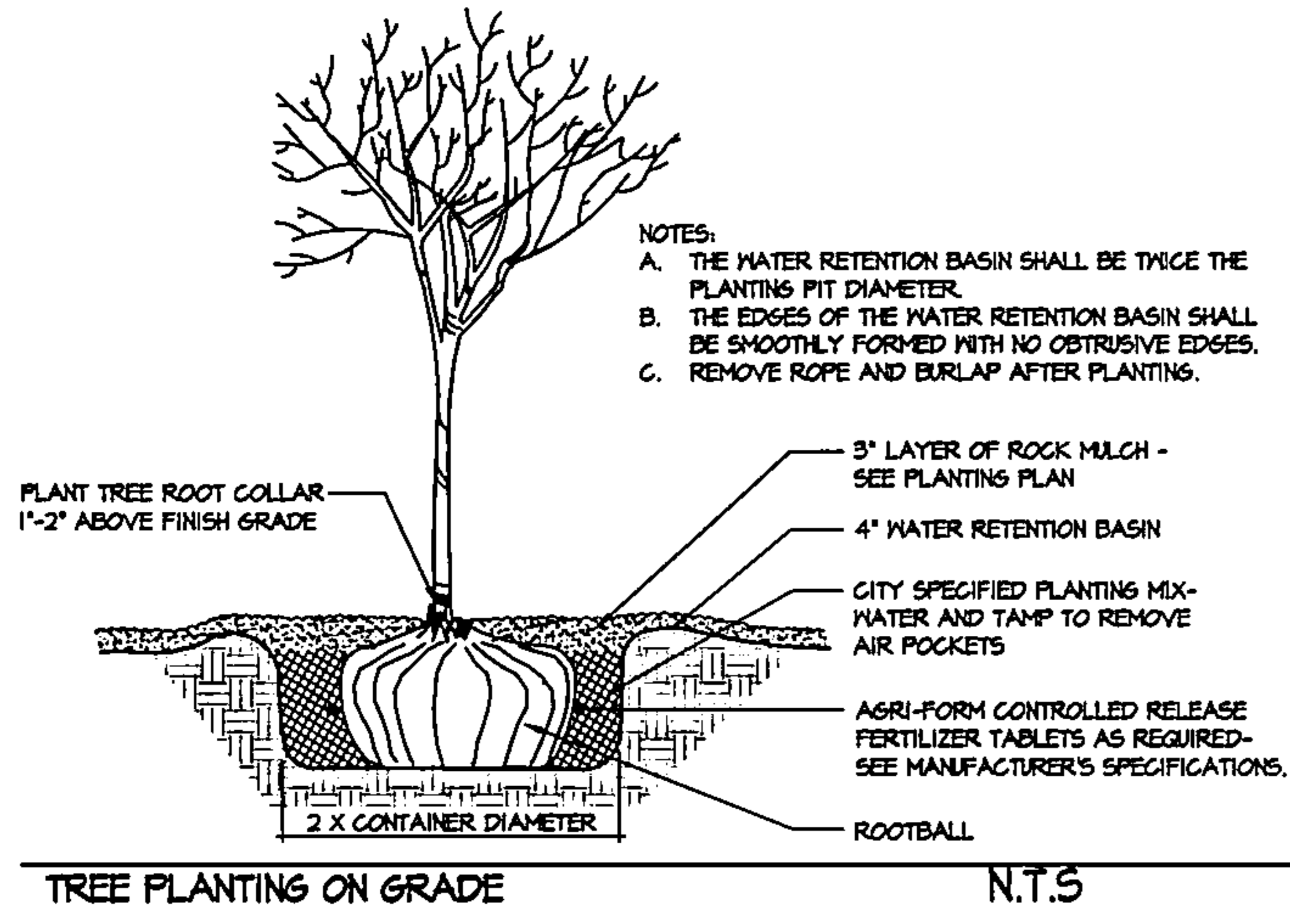
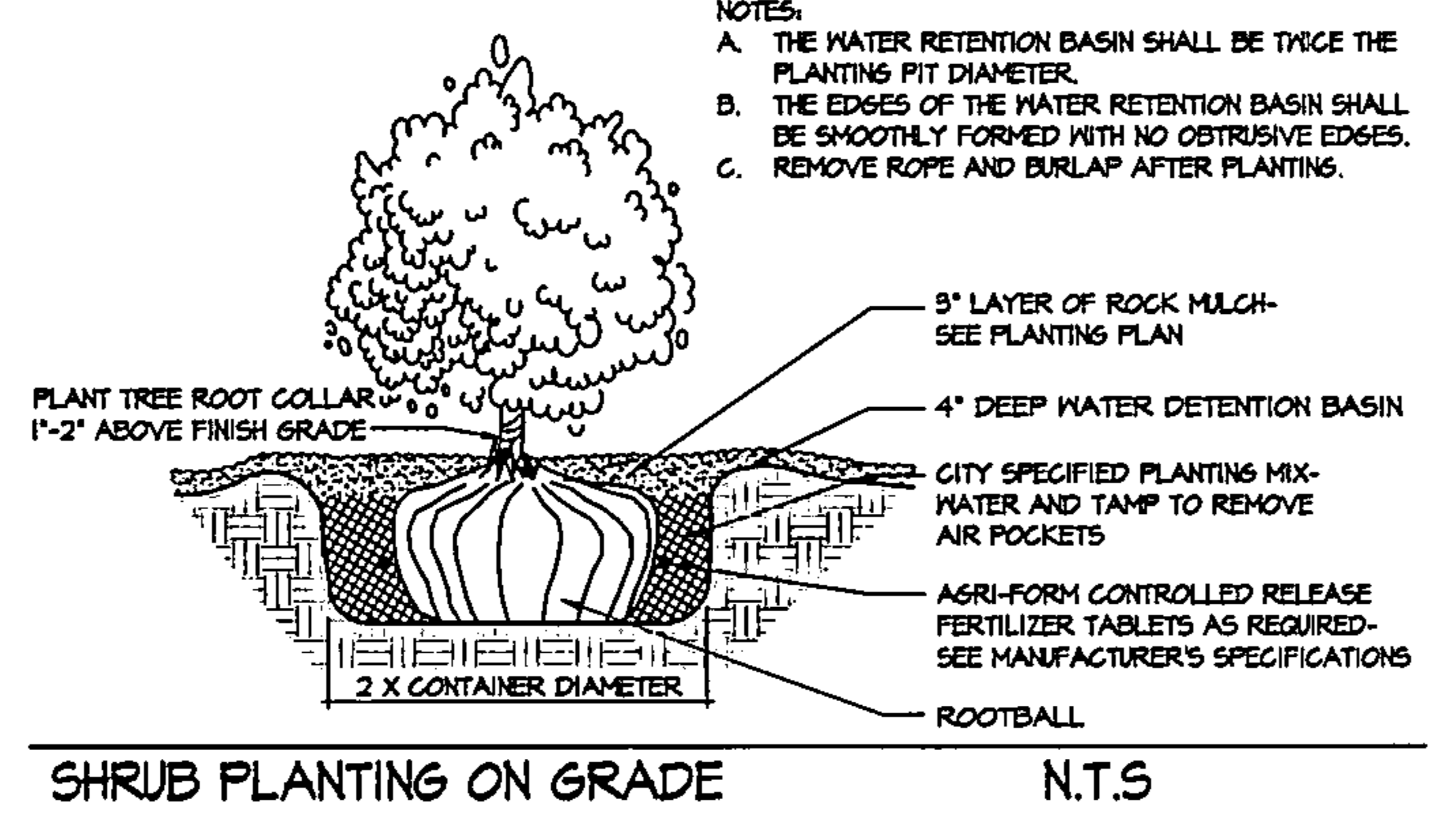
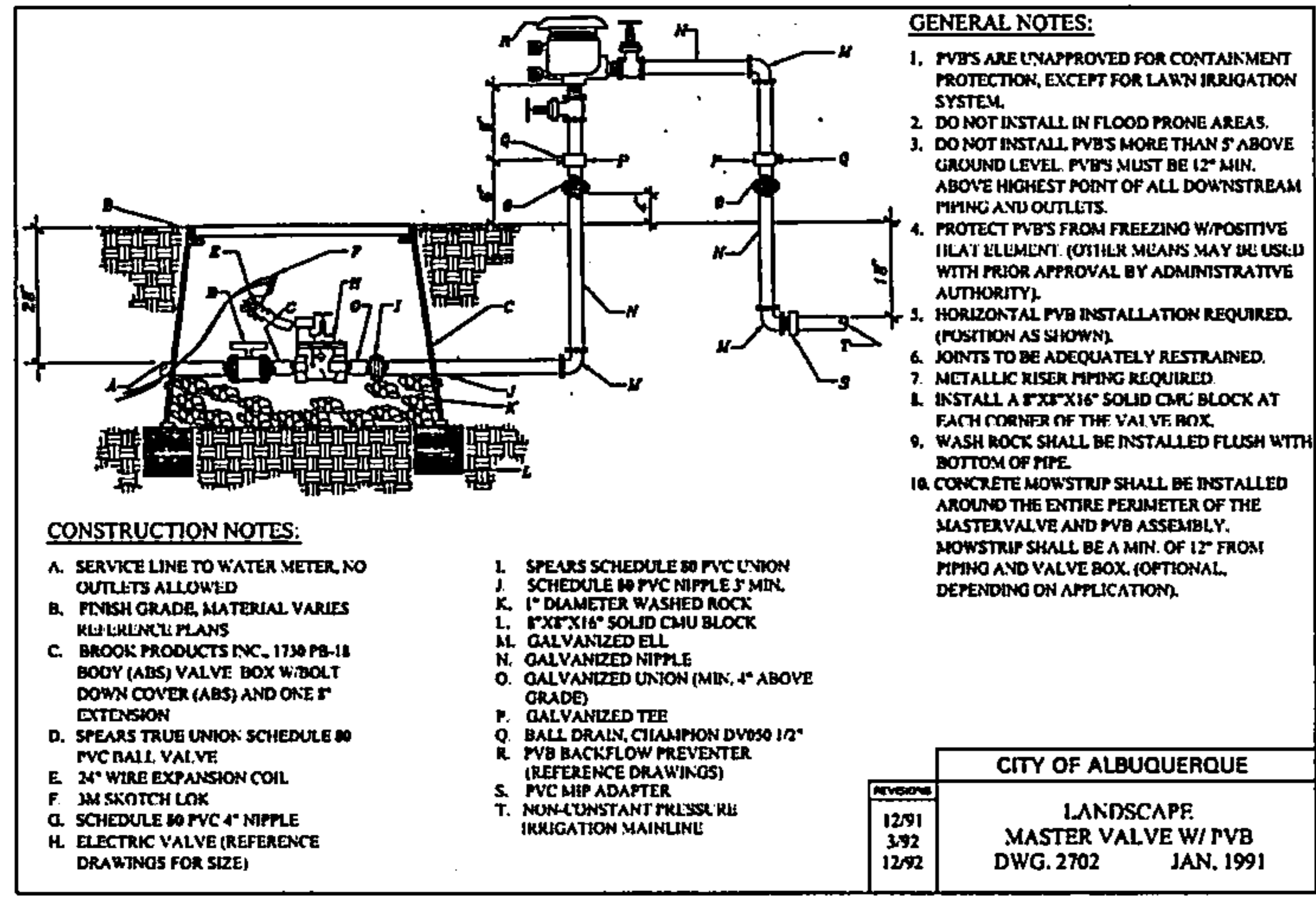
Fred C. Arfman, PE
 NAME (print)
 Isaacson & Arfman, P.A.
 FIRM

 SIGNATURE - date 1/7/2013

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date	PARKS & GENERAL RECREATION - date
TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
UTILITY DEVELOPMENT - date	_____ - date
CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



LANDSCAPE PALETTE

QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	INSTALLED SIZE	WATER USE
8	⊗	GHITALPA TASHKENTENSIS / PINK DAMN' GHITALPA	2" B4B	14' HT. X 5' SPR. / 20' HT. X 30' SPR.	LOW+
14	⊙	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B4B	14' HT. X 6' SPR. / 60' HT. X 6' SPR.	MED/DM
6	⊗	PINUS NIGRA / AUSTRIAN PINE	B4B	10' MIN HT. / 35' HT. X 25' SPR.	MED/DM
10	⊙	MODESTO ASH / FRAXINUS VELUTINA	2" B4B	14' HT. X 5' SPR. / 40' HT. X 40' SPR.	MED/DM
6	⊗	ROBINA X AMBIGUA / PURPLE ROBE LOCUST	2" B4B	14' HT. X 5' SPR. / 40' HT. X 30' SPR.	MED/DM
10	⊕	VITEX AGNIS-CASTUS / CHASTE TREE	15 GAL.	6' HT. X 4' SPR. / 20' HT. X 20' SPR.	MED/DM
SHRUBS/GROUNDCOVERS					
40	○	BUDDLIA LOCHINCH / LAVENDER BUTTERFLY BUSH	5 GAL.	4' O.C. / 4' HT. X 4' SPR.	MED/DM
24	○	COTONEASTER BURKIFOLIA / GREYLEAF COTONEASTER	5 GAL.	2' HT. X 4' SPR.	LOW+
35	⊗	GARYOPTERIS CLANDONENSIS / BLUE MIST	5 GAL.	4' O.C. / 4' HT. X 4' SPR.	MED/DM
46	⊙	CHRYSOTHAMNUS NAUSEOSUS / CHAMISA	5 GAL.	6' O.C. / 5' HT. X 6' SPR.	LOW+
66	○	ERICACERIA LARICIFOLIA / DYWAR TURPETINE BUSH	1 GAL.	4' O.C. / 3' HT. X 4' SPR.	LOW+
24	*	HESPERALOE PARVIFLORA / RED FLOWERING YUCCA	1 GAL.	4' O.C. / 3' HT. X 4' SPR.	LOW+
41	⊙	MULEBERRERIA CAPILLARIES / REGAL MIST MULY GRASS	5 GAL.	3' HT. X 5' SPR.	MED/DM
64	*	NASSELLA TENNISIMA / THREADGRASS	1 GAL.	2' O.C. / 2' HT. X 2' SPR.	LOW+
34	⊙	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	1 GAL.	5' O.C. / 4' HT. X 5' SPR.	LOW+
36	⊙	RHUS TRILOBATA / THREE-LEAF SUMAC	5 GAL.	5' O.C. / 2' HT. X 5' SPR.	LOW+
34	⊙	ROSMARINUS OFFICINALIS / PROSTRATE ROSEMARY	5 GAL.	5' O.C. / 2' HT. X 5' SPR.	LOW+
21	⊕	SPARTUM UNCEM / SPANISH BROOM	5 GAL.	10' HT. X 10' SPR.	MED/DM
22	⊕	RHUS OVATA / SUSARBUSH	5 GAL.	10' O.C. / 10' HT. X 10' SPR.	LOW
SHRUBS/GROUNDCOVERS					
51,034 SF	□	1" GRAVEL MULCH - BUILDOLGY BROWN		3" DEPTH OVER DE WITT PRO-5 NEED CONTROL FABRIC	
17,646 SF	▨	3-4" COBBLE MULCH - BUILDOLGY BROWN		3" DEPTH OVER DE WITT PRO-5 NEED CONTROL FABRIC	
48	⊕	MOSS ROCK BOULDERS (3" MINIMUM DIAMETER)			

NOTE: LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE AREA.

CONCEPTUAL LANDSCAPE PLAN INLAND KENWORTH

Prepared by:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

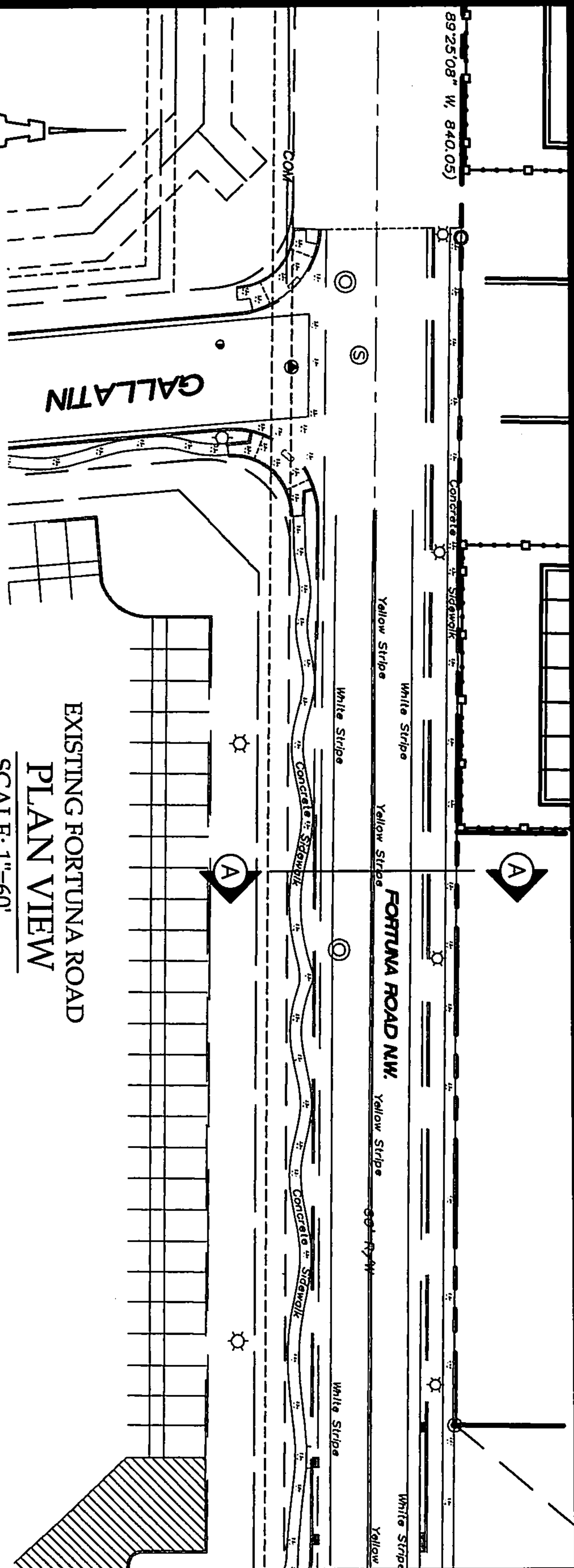
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Scale: 1" = 40'

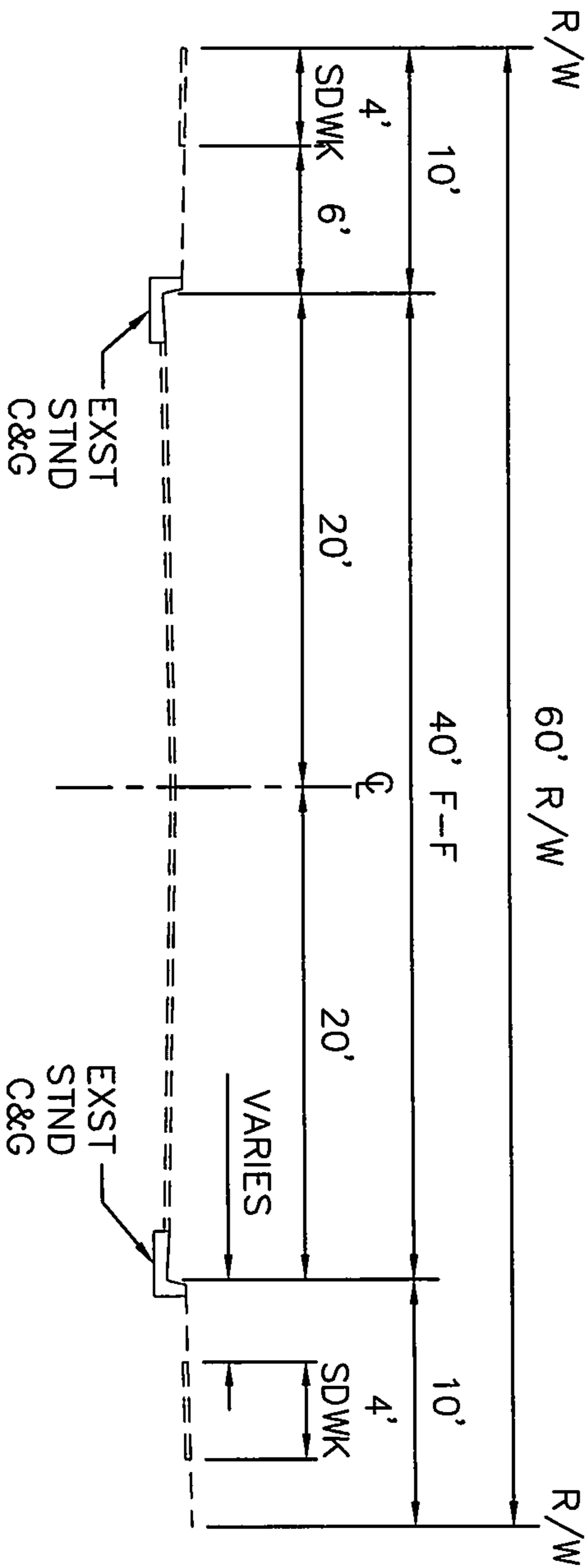
PLANNING

CONSENSUS

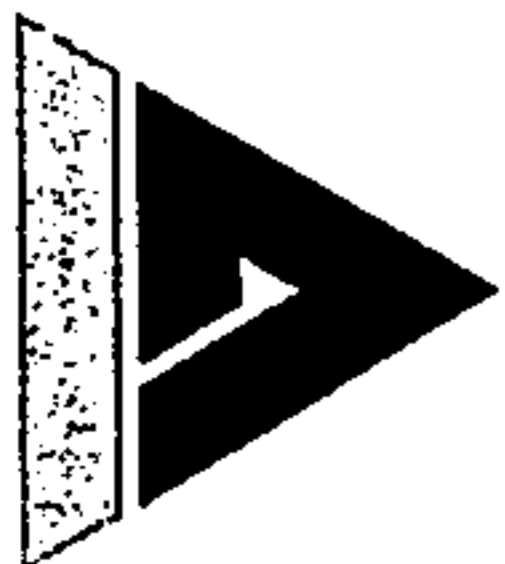
December 27, 2012



EXISTING FORTUNA ROAD
 PLAN VIEW
 SCALE: 1"=60'



EXISTING FORTUNA ROAD
 SECTION A-A
 SCALE: 1"=10'



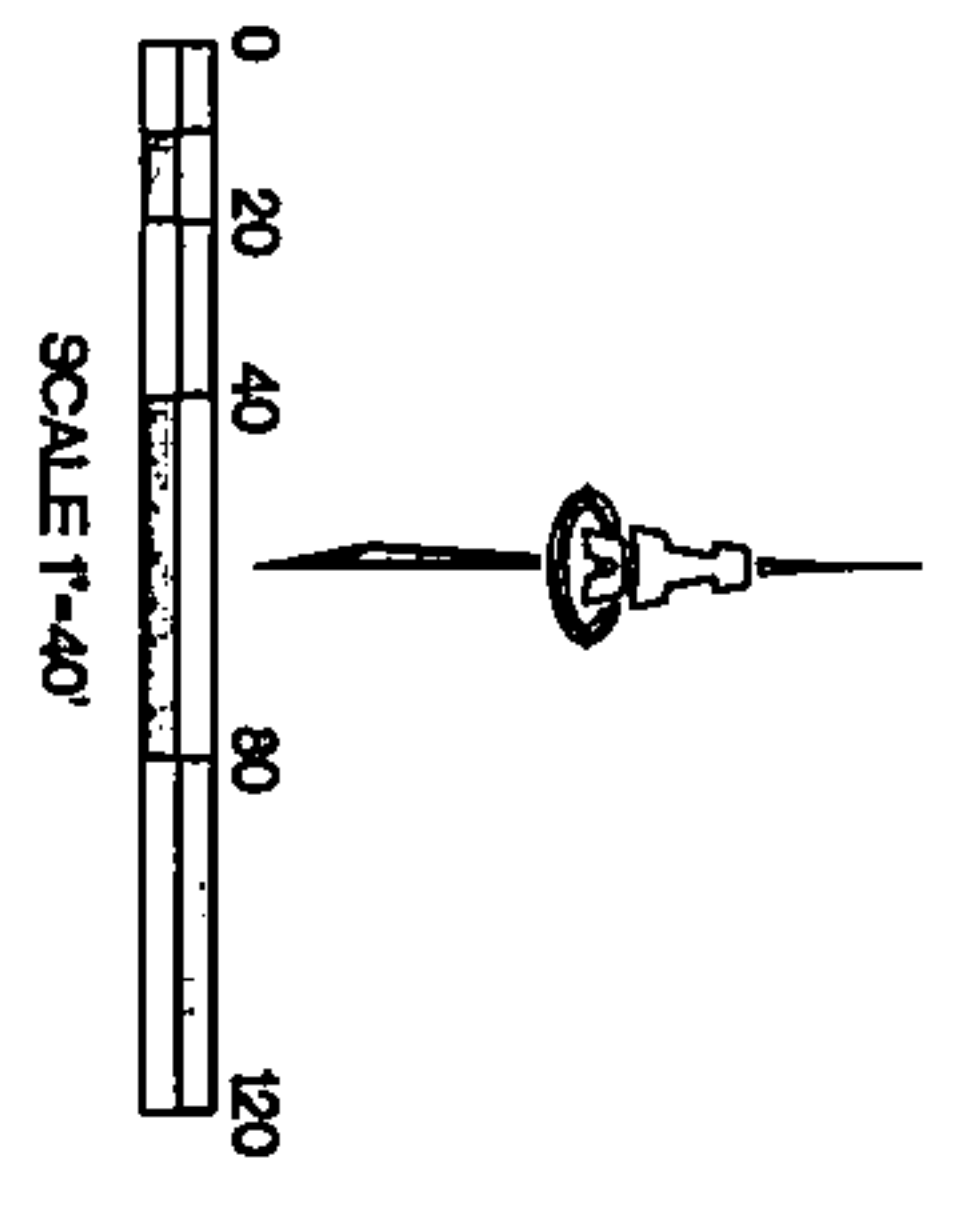
ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates
 Albuquerque, New Mexico

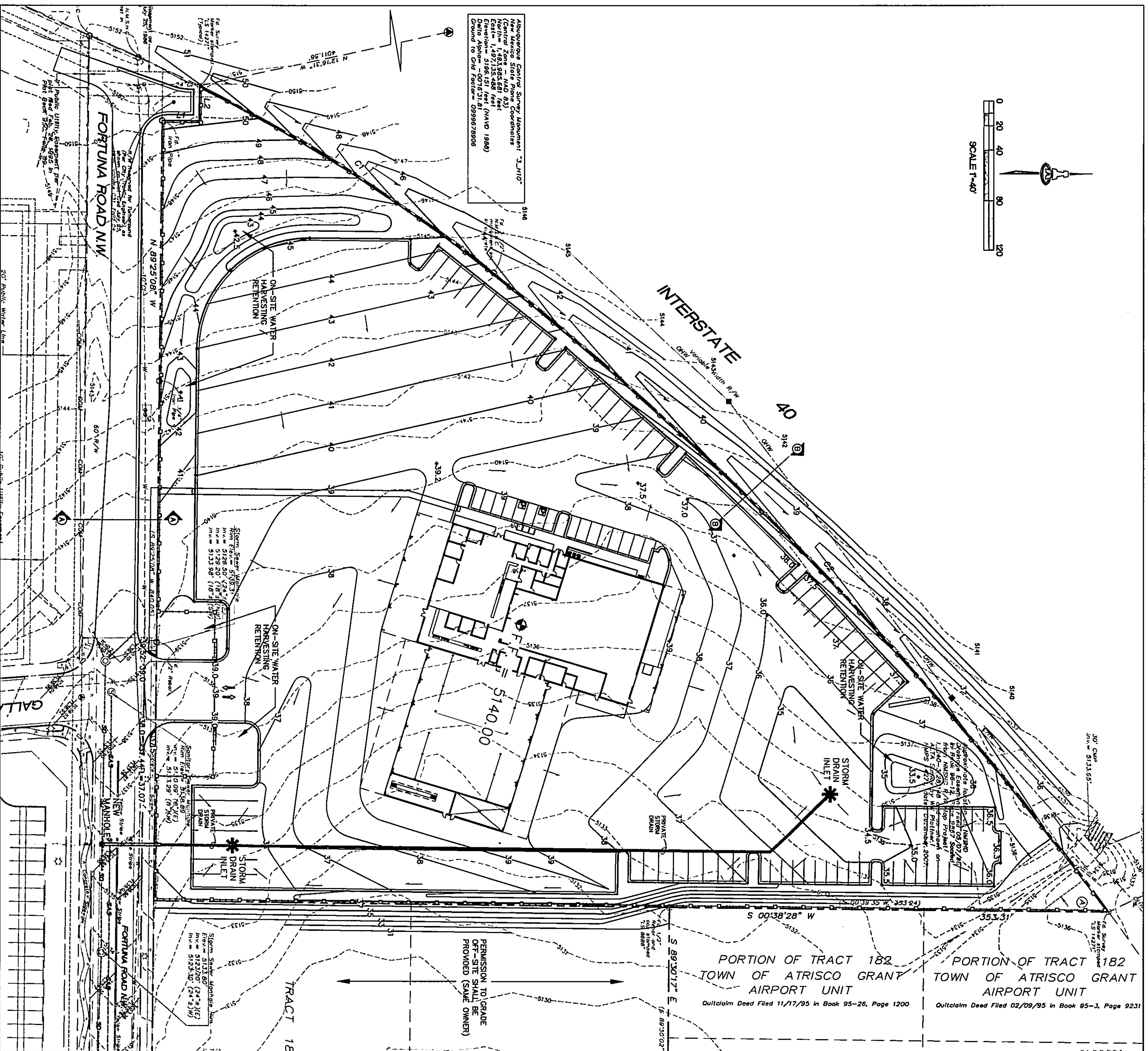
1841 C-701-FORTUNA SECTION.dwg Jan 07, 2013

PROJECT INLAND KENWORTH - FORTUNA ROAD

JOB NO. 1941 BY FCA DATE 01-07-2013



Albuquerque Control Survey Monument "J110"
 New Mexico State Plane Coordinates
 Northing = 1,493,925.69 feet
 Westing = 1,497,135.488 feet
 Elevation = 5,076.21 feet
 Datum = NAD 83
 Ground to City Factor = 0.999978995

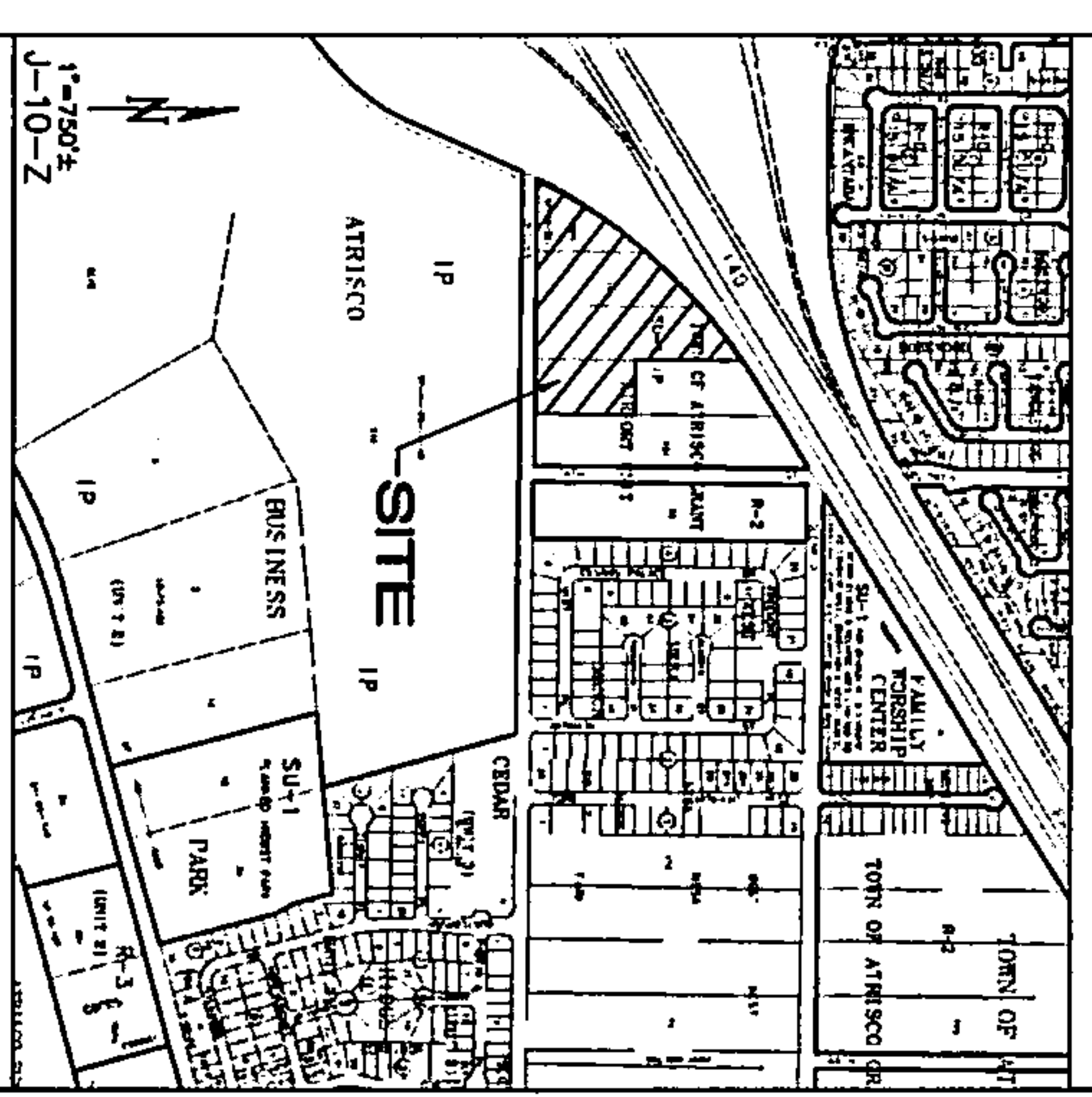


PORTION OF TRACT 182
 TOWN OF ATRISCO GRANT
 AIRPORT UNIT
 Outclaim Deed Filed 02/09/95 in Book 95-3, Page 9231

PORTION OF TRACT 182
 TOWN OF ATRISCO GRANT
 AIRPORT UNIT
 Outclaim Deed Filed 11/17/95 in Book 95-26, Page 1200

PERMISSION TO GRADE
 OFF-SITE SHALL BE
 PROVIDED (SAME OWNER)

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION:
 TRACT 183, 184 AND 185-A, TOWN OF
 ATRISCO GRANT AIRPORT UNIT, CITY OF
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SITE AREA: 6.86 ACRES

FLOOD ZONE: PER FEMA MAP 35001C03284, THE SITE FALLS
 WITHIN FLOODZONE X DESIGNATED AS AREAS
 OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE
 FLOODPLAIN

ENGINEER:
 FRED C. ARGMAN, P.E.
 ISAACSON & ARGMAN, P.A.
 128 MONROE ST. NE, APO. NM 87108
 PHONE: (505) 266-8828

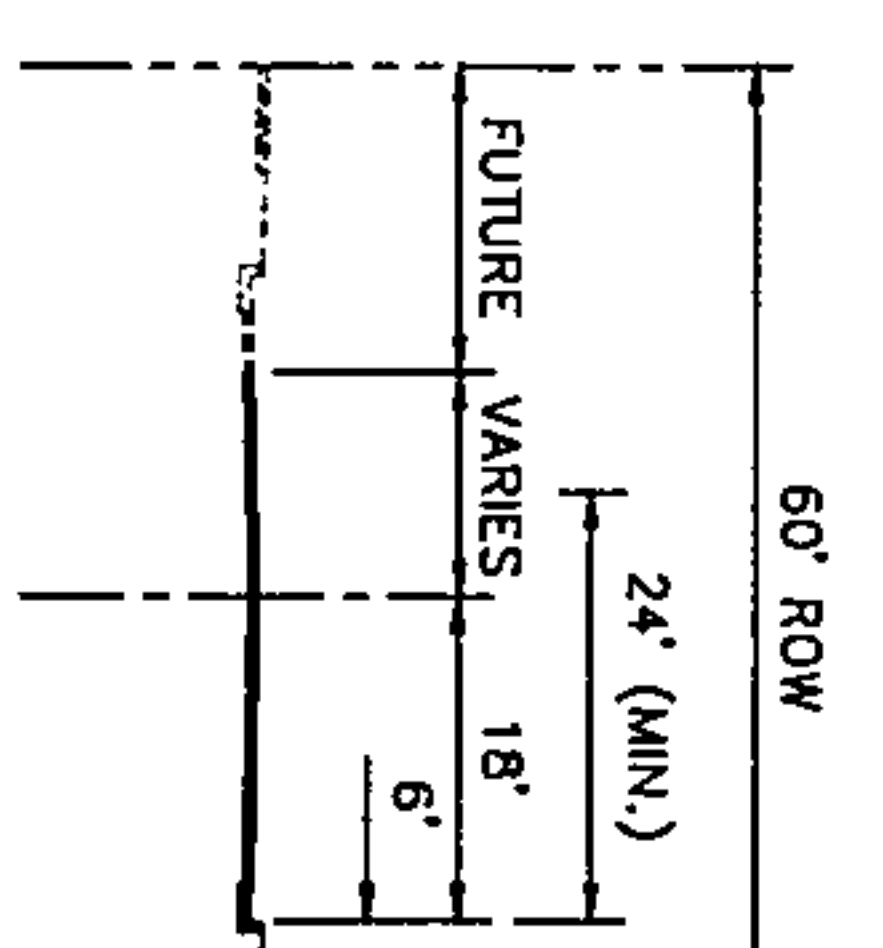
SURVEYOR:
 SURV-TEK CONSULTING SURVEYORS
 5284 VALLETT NEW DRIVE, N.W.
 ALBUQUERQUE, NEW MEXICO 87114
 PHONE: (505) 897-3386

BENCHMARK:
 VERTICAL DATUM IS BASED UPON THE
 ALBUQUERQUE CONTROL SURVEY BENCHMARK
 "4-10" HAVING A PUBLISHED ELEVATION =
 5170.718 (NAVD 83)

LEGEND

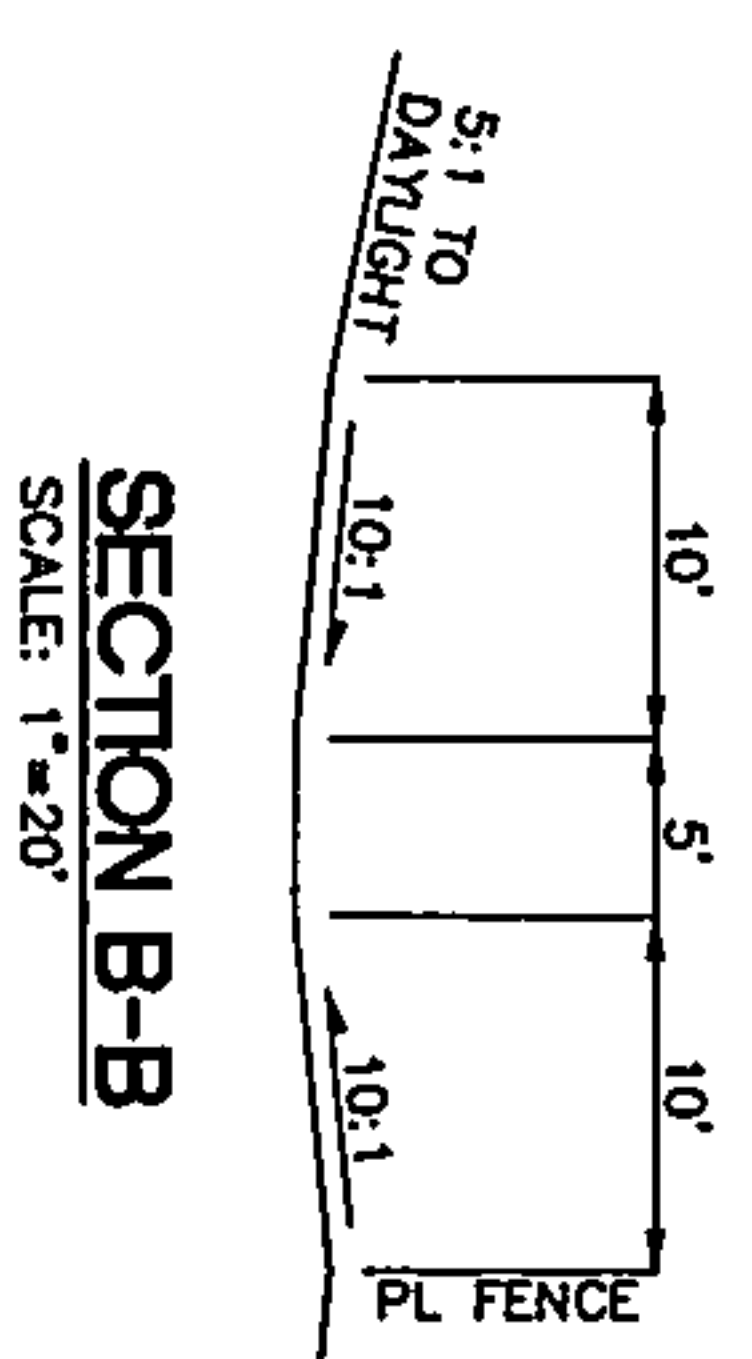
- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5140.0 FINISH FLOOR ELEVATION
- ▬▬▬ PROPOSED DRAINAGE BASIN BOUNDARY

FORTUNA ROAD EXTENSION



SECTION A-A
 SCALE: 1" = 20'

OFFSITE DIVERSION SWALE



SECTION B-B
 SCALE: 1" = 20'

LORD CONSTRUCTORS, INC.
 1920 West Eleventh Street
 Upland, California 91786

DESIGN PLANS FOR:
 INLAND KENWORTH
 FORTUNA ROAD N.W.
 ALBUQUERQUE, NM

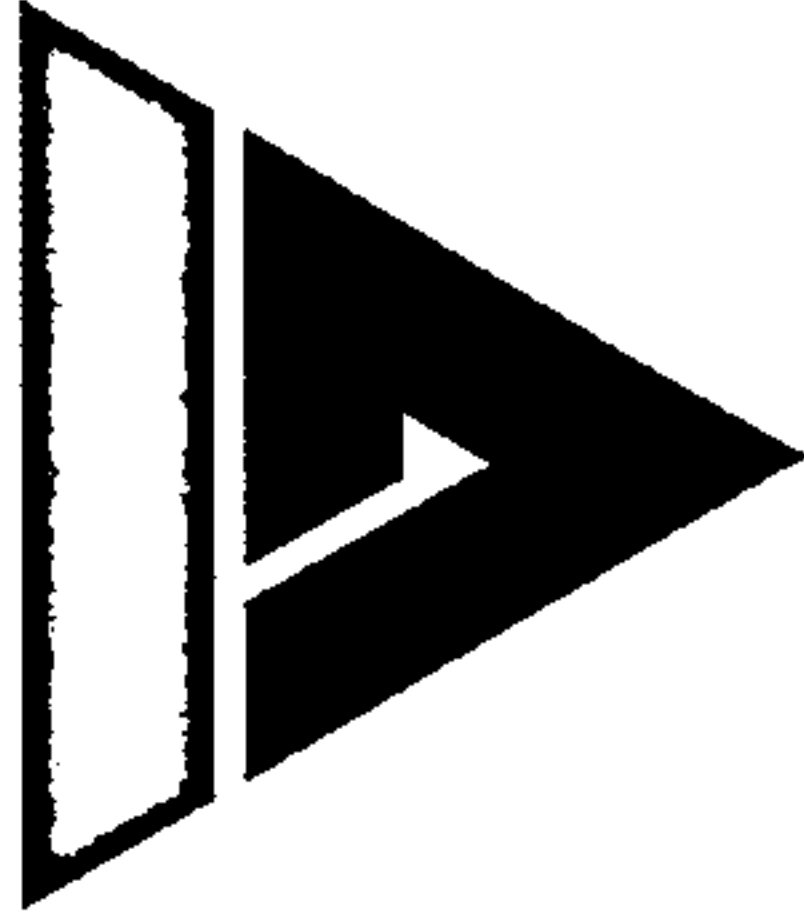
DRAWING TITLE:
 CONCEPTUAL GRADING
 & DRAINAGE PLAN
 SCALE: 1" = 40'

ISAACSON & ARGMAN, P.A.
 Consulting Engineering Associates
 138 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-266-8828 www.isaah.com
 1941 CO-101-049

DATE:	8/28/12
DESIGNER:	DH
CHECKER:	NEWNORTH
APP. NO.:	1-800-ABC-
SHEET:	

REVISIONS

SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT IN THE DOCUMENT INCLUDING REPRESENTED DESIGNS AND SPECIFICATIONS.



December 14, 2012 (Rev. 01-07-13)

Mr. Jack Cloud, Chairman
Development Review Board, Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico

RE: Inland/Kenworth SDP/Plat (12 DRB 70377)
C.O.A. Project No. 1006761 (J-10)

Subject: Request of a Sidewalk Wavier

Dear Mr. Cloud,

Isaacson & Arfman, PA are the consulting engineers for the Inland-Kenworth Truck Sales & Service project on Fortuna Rd NW. The subject sidewalk is that length of sidewalk starting 135 feet west of the site entrance and extending west to the modified hammerhead turnaround; thence, around the turnaround to the extension of the Fortuna Rd centerline. The justification of this request is as follows:

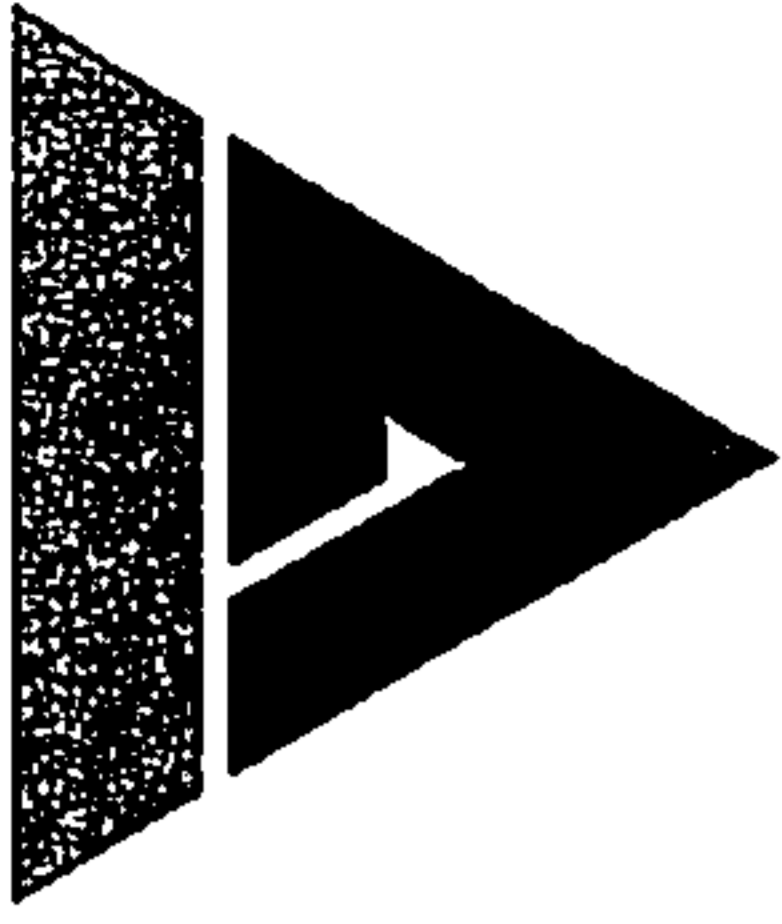
1. Fortuna Rd dead ends at the I-40 Right-of-Way line of the Unser on ramp.
2. The NMDOT right-of-way is "access controlled".
3. There are no existing connecting pedestrian routes for the sidewalk to continue; therefore, the encouragement of a pedestrian route to a dead end should not be allowed.
4. The closest public trail system terminates along the east ROW line of Unser Blvd., approximately 1600 feet to the southwest. If the trail is extended to the west terminus of Fortuna Rd. through or adjacent to the future Unser Town Crossing development; the trail connect will be achieved via the sidewalk along the southerly ROW line of Fortuna Rd.
5. The land area of the sidewalk would be a benefit to the community as landscaping.
6. Per the DPM ; 14-14-7; the test listed below are satisfied:
 - (1) The public welfare is in no way served by retaining the sidewalk; or
 - (2) There is a net benefit to the public welfare because the development made possible by the wavier is clearly more beneficial to the public welfare than the minor detriment resulting from the wavier; and in addition to divisions (1) or (2) of this division (B):
 - (3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

Please accept his submittal as a supplement to DRB Case No. 12DRB 70377 and contact our office if there are any questions.

Sincerely,
ISAACSON & ARFMAN P.A.

Fred C. Arfman, PE

Attachment: submittal



December 14, 2012

Mr. Jack Cloud, Chairman
Development Review Board, Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico

RE: Inland/Kenworth SDP/Plat (12 DRB 70377)
C.O.A. Project No. 1006761 (J-10)

Subject: Request for Subdivision Design Variance(s)

Dear Mr. Cloud,

Isaacson & Arfman, PA are the consulting engineers for the Inland-Kenworth Truck Sales & Service project on Fortuna Rd NW. The three variances are within the ROW of Fortuna Rd. and are listed below with their corresponding justifications for the variances:

1. Reduction of the sidewalk width from 6' to 4' along the north ROW line of Fortuna RS being east of Gallatin Pl to the SE property corner of the subject site.
 - The sidewalk exists as four feet in width.
 - It connects to an existing four foot wide sidewalk to the east.
 - The sidewalks across the street are relatively new and are four feet wide.
 - There pedestrian usage of the sidewalk is very low due to the dead end of Fortuna Rd to the west.
 - The proposed development will not create any foreseeable pedestrian traffic.
2. Allow for the ultimate pavement centerline to be offset three feet to the south:
 - A typical 36 foot wide street section would conflict with the existing Water Authority Pressure Reducing Valve (PRV) structure along the northerly curb line.
 - The Water Authority has been briefed on the matter and they are not in the position to relocate their facility.
 - The centerline shift will allow for a ten (10) distance from the face of curb to the southerly right-of-way line when combined with Variance Request No #3.
3. A reduction of the ultimate face-to-face width of Fortuna Rd west of Gallatin to a 34'' dimension:
 - The roadway dead ends at the ROW line of I-40 and is expected to have a low trip generation value.
 - A 38' wide Public Roadway Easement intersects the end of Fortuna RD from the south at the westerly terminus. The easement is a remnant of the platting action for the proposed

commercial development to the south and would have served as a minor secondary entrance.

- A 34' wide road would accommodate parking along the south curb and will safely pass two-way traffic. The northerly curb line could be posted as "No Parking".

Per the DPM; 14-14-7; the test listed below are satisfied:

- (1) The public welfare is in no way served by retaining the sidewalk; or
- (2) There is a net benefit to the public welfare because the development made possible by the wavier is clearly more beneficial to the public welfare than the minor detriment resulting from the wavier; and in addition to divisions (1) or (2) of this division (B):
- (3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

Please accept his submittal as a supplement to DRB Case No. 12DRB 70377 and contact our office if there are any questions.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

Attachment: submittal

LEGEND

- Storm Drain Manhole
- Sanitary Sewer Manhole
- SAS— Sanitary Sewer Line
- SD— Storm Drain Line
- Storm Drain Inlet
- Power Pole
- Guy Wire
- Overhead Wire
- Electric Line
- Gas Line
- Communications Line
- Water Line
- Sanitary Sewer Clean-out
- Water Meter
- Hydrant
- Telephone Pedestal
- WROUGHT IRON SECURITY FENCE
- ★ Light Pole
- ▽ Flood Light
- Ballast
- Concrete Symbol
- Telephone Manhole
- Water Manhole
- RTM Robbed Truncated Dome Mat

PROJECT NOTES

APPLICATION NOTES

In accordance with the provisions of the Uniform Statewide Building Code, the applicant shall obtain all necessary permits from the appropriate local authority for the construction of public improvements.

DESIGN DEVELOPMENT AND SERVICE APPROVAL

TRAFFIC ENGINEERING: Transportation Division

DEAD WEIGHT ENGINEER: [Signature]

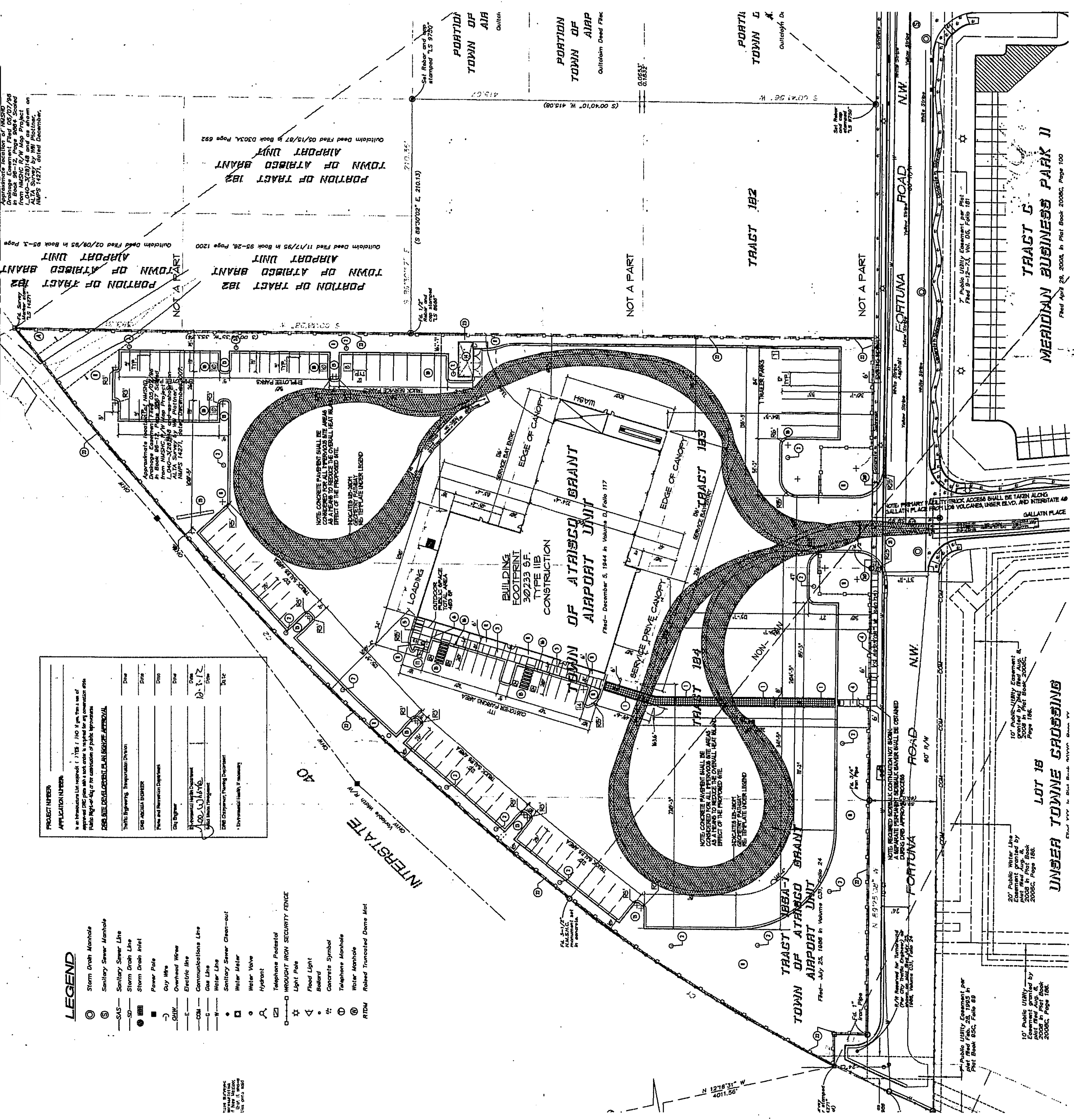
PLUMBING AND HEATING ENGINEER: [Signature]

CIVIL ENGINEER: [Signature]

APPROVED: [Signature]

DATE: 10/12/06

PROJECT LOCATION: [Address]



Approximate location of WJSD Drainage Easement, Filed 05/07/96 in Book 0302, Page 146. The easement is shown on the site plan as a dashed line. The easement is for the purpose of conveying storm water from the site to the WJSD drainage system.

Outclaim Dead Filed 05/19/97 in Book 0302, Page 692

Outclaim Dead Filed 11/17/95 in Book 95-26, Page 1200

Outclaim Dead Filed 02/08/95 in Book 95-3, Page 1200

REV	DATE	BY	REVISION

MODULUS ARCHITECTS

100 COPPER AVE. N.W. SUITE 105
 BOULDER, NEW MEXICO 80501
 PHONE: (970) 338-1499 FAX: (970) 338-1498

SITE PLAN FOR BUILDING PERMIT

PROJECT NO. 100
 DRAWN BY: [Signature]

DATE: 10/12/06

SCALE: 1" = 40'

SITE DATA TABLE

ITEM	DESCRIPTION	QUANTITY
1	TOTAL AREA (ACRES)	1.12
2	TOTAL AREA (SQ. FT.)	482,000
3	TOTAL AREA (SQ. YD.)	53,556
4	TOTAL AREA (SQ. M.)	122,000
5	TOTAL AREA (HA)	30.2
6	TOTAL AREA (MUSQ.)	1.12
7	TOTAL AREA (MUSQ.)	1.12
8	TOTAL AREA (MUSQ.)	1.12
9	TOTAL AREA (MUSQ.)	1.12
10	TOTAL AREA (MUSQ.)	1.12
11	TOTAL AREA (MUSQ.)	1.12
12	TOTAL AREA (MUSQ.)	1.12
13	TOTAL AREA (MUSQ.)	1.12
14	TOTAL AREA (MUSQ.)	1.12
15	TOTAL AREA (MUSQ.)	1.12
16	TOTAL AREA (MUSQ.)	1.12
17	TOTAL AREA (MUSQ.)	1.12
18	TOTAL AREA (MUSQ.)	1.12
19	TOTAL AREA (MUSQ.)	1.12
20	TOTAL AREA (MUSQ.)	1.12

- KEYED NOTE:**
- 1 INTEGRALLY COLORED AND TEXTURED CONC. PEDESTRIAN
 - 2 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 3 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 4 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 5 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 6 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 7 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 8 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 9 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 10 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 11 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 12 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 13 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 14 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 15 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 16 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 17 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 18 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 19 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)
 - 20 CONC. SIDEWALK ADJACENT BLDG. RE. DET. 5(A)

SITE PLAN FOR BUILDING PERMIT

SCALE: 1" = 40'

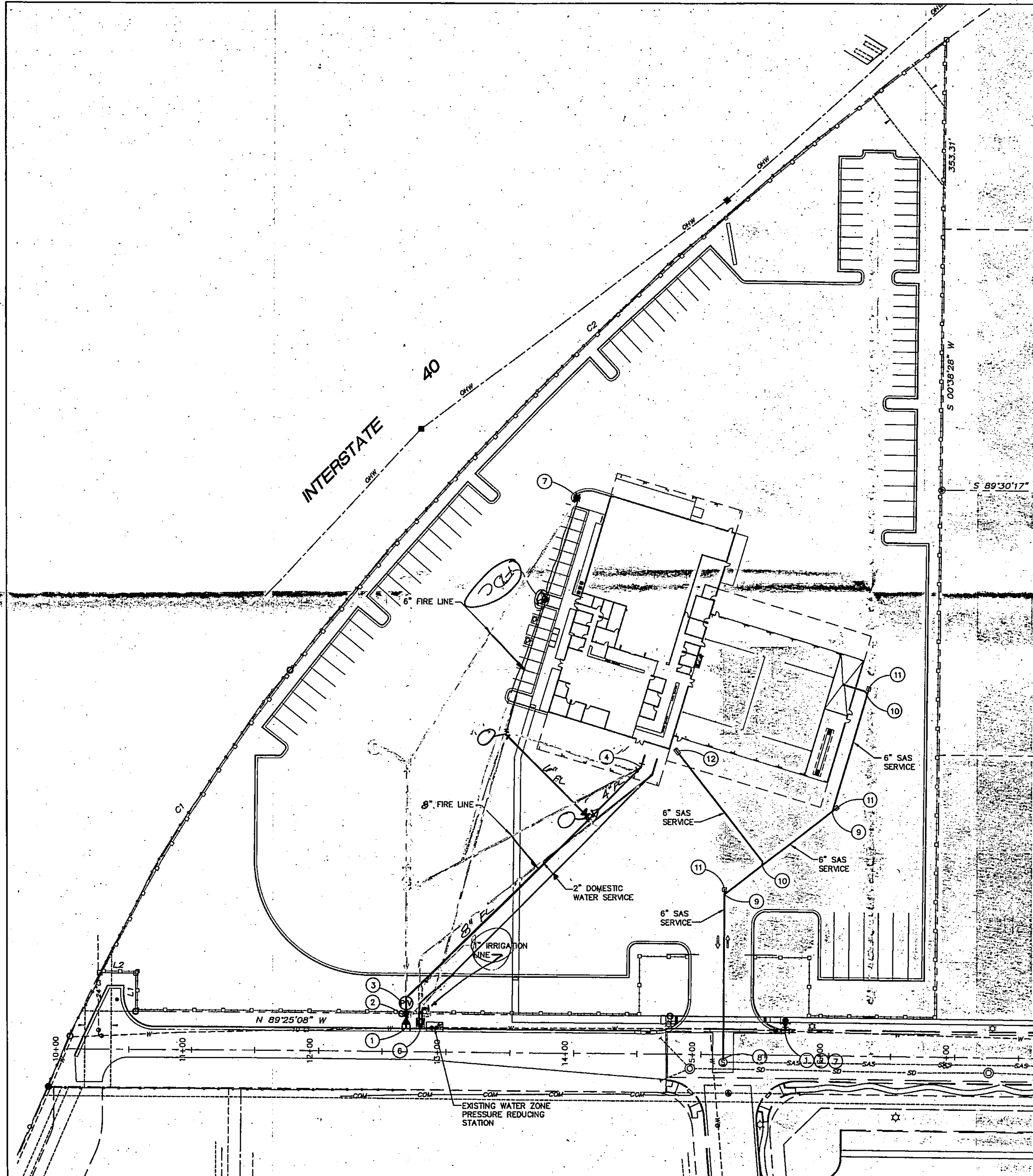
DATE: 10/12/06

PROJECT NO. 100

DRAWN BY: [Signature]

DATE: 10/12/06

SCALE: 1" = 40'



RESTRAINED JOINT LENGTHS, L_r, FOR TEES, (FT.)
ALL JOINTS AT THE TEE MUST BE RESTRAINED.

SIZE	RUN	BRANCH
12x12x12	15	17
12x12x10	10	18
12x12x8	6	19
12x12x6	3	19
12x12x4	1	19
10x10x10	12	18
10x10x8	8	15
10x10x6	4	16
10x10x4	2	4
8x8x8	9	20
8x8x6	5	17
8x8x4	2	15
6x6x6	6	20
6x6x4	2	20

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:
 DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.25
 MATERIAL: PVC PIPE
 SOIL TYPE: CM/SW - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

RESTRAINED JOINT LENGTHS, L_r, FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)

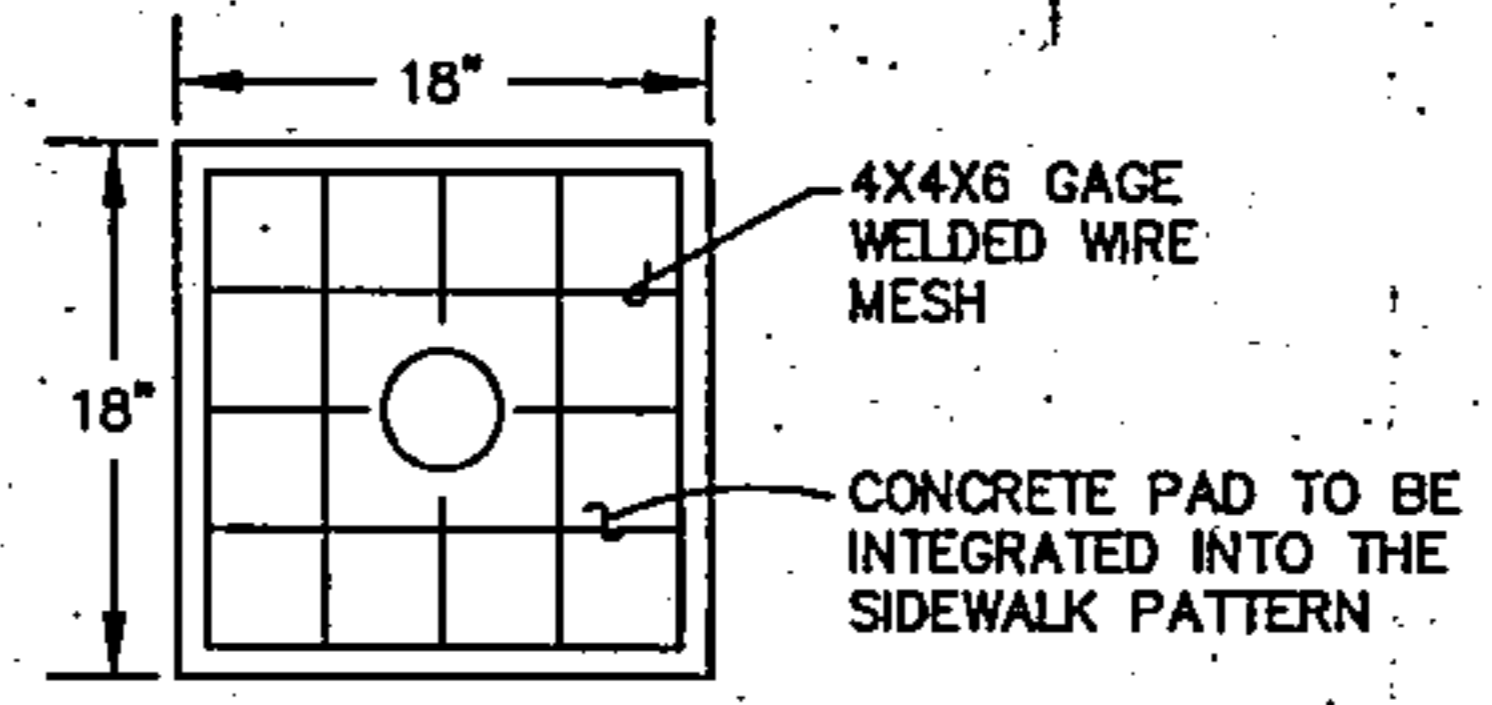
SIZE	HORIZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	30	12	3	3	85
10	28	11	5	3	72
8	22	9	4	2	60
6	17	7	3	2	46
4	12	5	2	1	32

RESTRAINED JOINT LENGTHS, L_r, FOR REDUCERS, (FT.)
 MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.

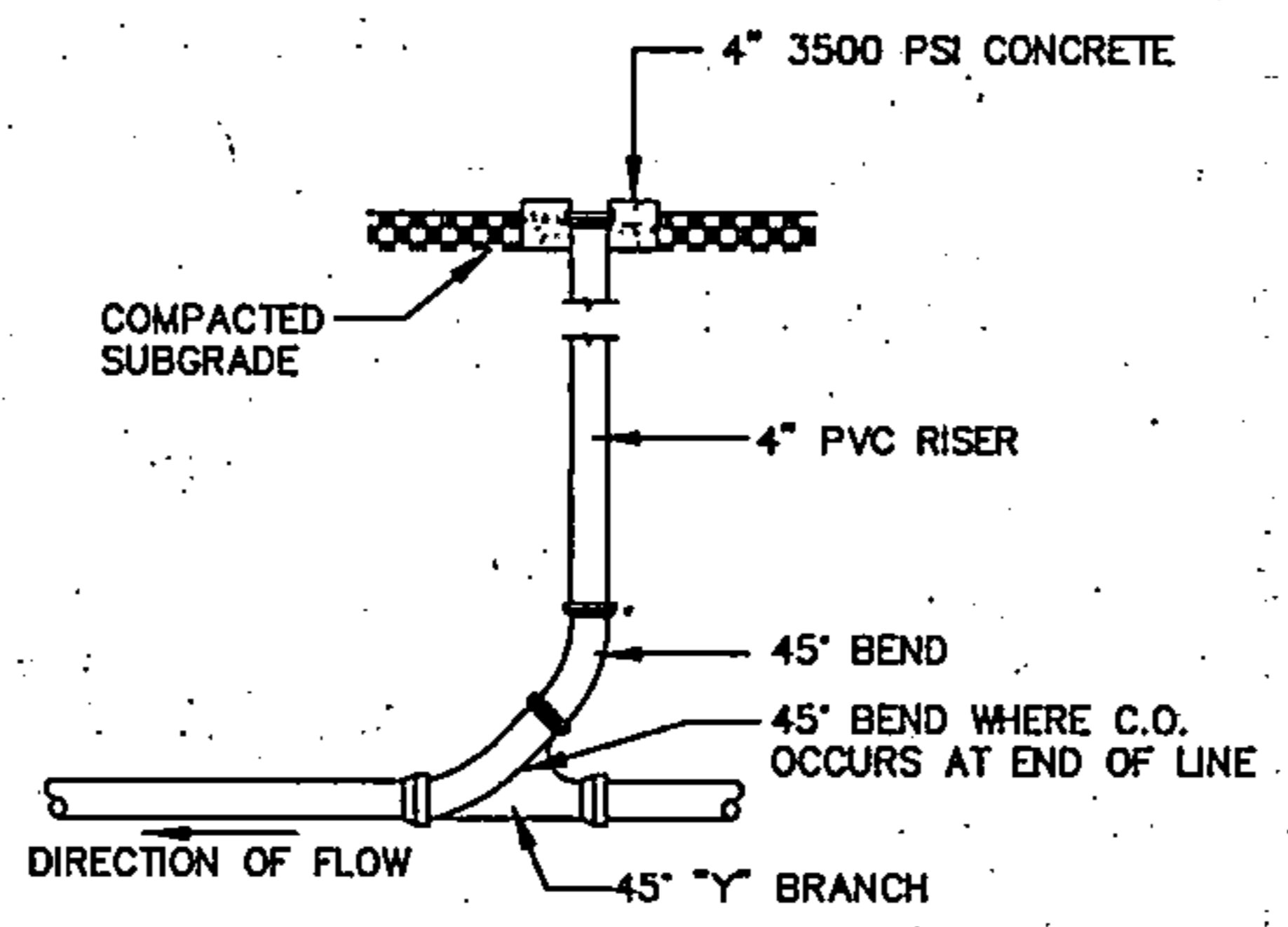
SIZE	LARGE SIDE		SMALL SIDE		
	SIZE	LARGE SIDE	SIZE	SMALL SIDE	
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
12x4	74	213	6x4	43	83
10x8	24	30	6x4	24	35

- NOTES:
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS TO ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
 - THE CONTRACTOR SHALL INSTALL PCC BLOCKING AT ALL CAPS (UNLESS OTHERWISE NOTED ON PLANS).

RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS



CONCRETE PAD FOR SAS CLEANOUT
SCALE: 1"=1'



SINGLE CLEANOUT DETAIL

GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- BUILD SINGLE AND DOUBLE SEWER CLEANOUTS PER DETAILS ON SHEET X.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING.

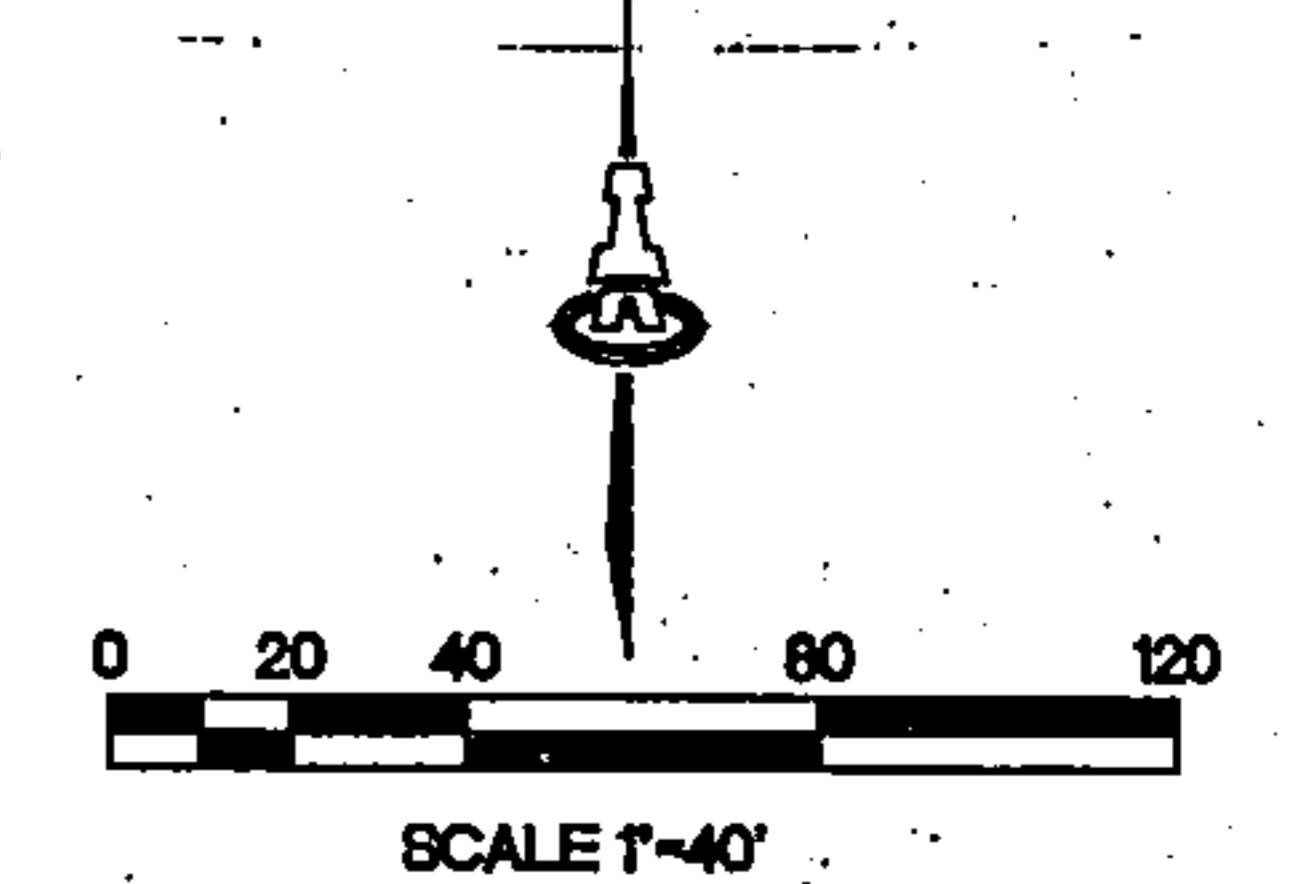
KEYED NOTES

- INSERT 10"x6" TEE AND 10" COUPLING W/ RESTRAINT
- 6" - GATE VALVE W/ BOX
- 6" - POST INDICATOR VALVE (PRIVATE)
- 6" - 45° BEND W/ RESTRAINT
- 6" - 22 1/2° + 11 1/4° BENDS W/ RESTRAINT
- DOUBLE METER SERVICE W/ BOX PER COA STD DWG2362 AND 2363.. 2" DOMESTIC & 1" IRRIGATION.
- 4" - FIRE HYDRANT PER COA STD DWG 2340 BF ELEV = 5138.30
- CONNECT NEW 6" SAS TO EXISTING MH PER COA STD DWG 2118. 6" INV IN = 5130.45
- 6" - 45° WYE
- 6" - 45° WYE + 45° BEND
- SINGLE CLEANOUT
- DOUBLE CLEANOUT

LEGEND

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- SAS "DOUBLE" CLEANOUT

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 SIGNATURE & DATE



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaif.com
 1841 CI-101.dwg Oct 30, 2012

REVISIONS

NO.	DESCRIPTION

DESIGN PLANS FOR:
INLAND KENWORTH
 FORTUNA ROAD S.W.
 ALBUQUERQUE, NM

DRAWING TITLE:
CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 40'

Date: 8/28/12
 Drawn By: DH
 Job: KENWORTH
 Job No.: L-800 ABC
 Sheet:

LORD CONSTRUCTORS, INC.
 1920 West Eleventh Street
 Upland, California 91786
 SHALL RETAIN ALL ORIGINAL AND REVISED DRAWINGS AND RECORDS FOR THE PROJECT AND PROVIDE THEM TO THE CLIENT UPON REQUEST.

of Sheets



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1006761

TO: **Application No.** 12DRB-70377

ALL MEMBERS

- Jack Cloud, DRB Chairman, Planning Department**
- Curtis Cherne, P.E., Hydrology**
- Kristal Metro, P.E., Transportation Development**
- Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**
- Carol Dumont, Parks/Municipal Development**

NEXT HEARING DATE: January 2, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Solid Waste Management Department Approval

Letter of Consent from The Inland Group for Cross Lot Grading on Tract 182

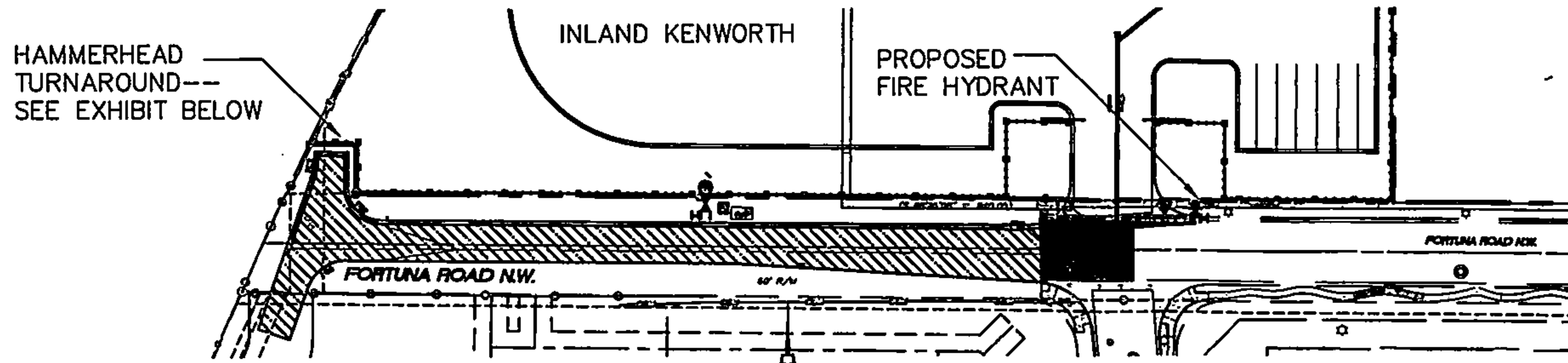
Replat of Tract 185A, Airport Unit, Town of Atrisco Grant

Subdivision Plat of Unser Towne Crossing --
Page Showing Additional New Easements

CONTACT NAME: Fred C. Arfman

TELEPHONE: 268-8828 **EMAIL:** freda@iacivil.com

M:\CAD FILES\1900-1999\1941\dwg\1941-C-701-TURNAROUND EXH.dwg, 12/26/2012 11:34:11 AM, thor



INLAND KENWORTH--
FORTUNA RD W. OF
76TH ST.

FIRE DEPT.
TURNAROUND EXHIBIT

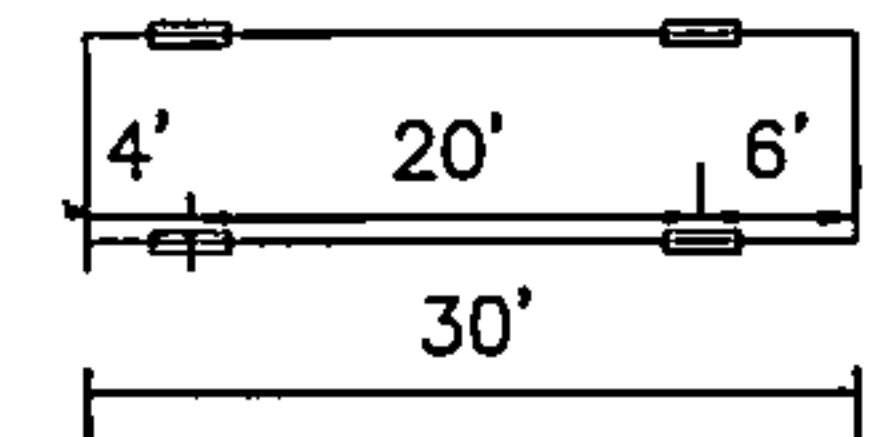
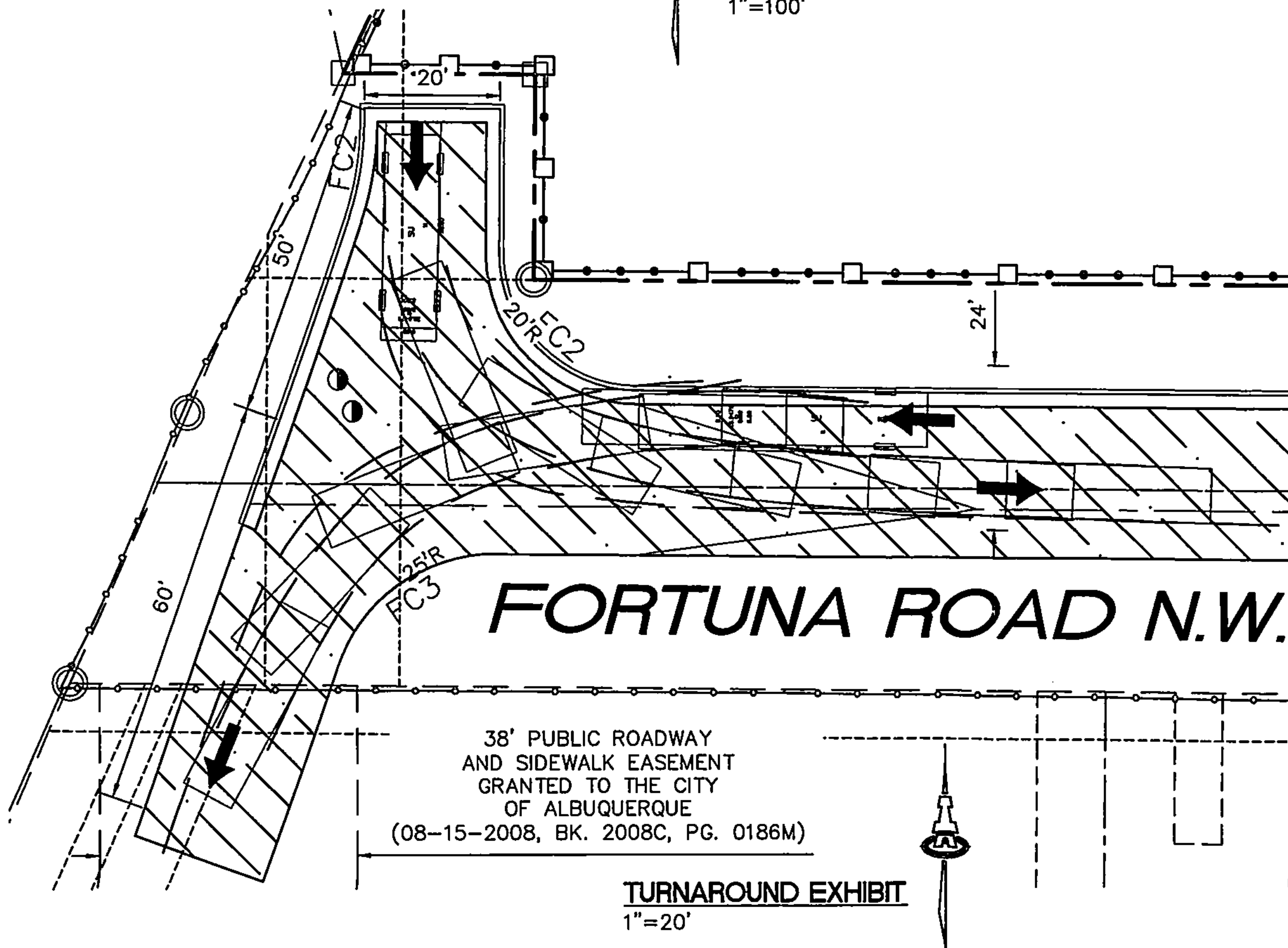
NOVEMBER 26, 2012

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED *for whistle*
12-26-12

AFD PLANS CHECKING OFFICE
924-3611

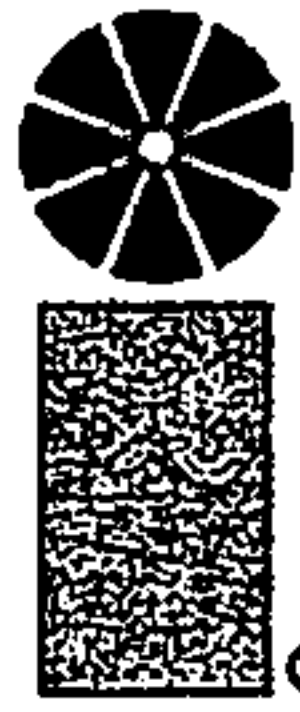
APPROVED/DISAPPROVED

R.C. Sam 12-20-12
SIGNATURE & DATE



SU-30 DESIGN VEHICLE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.iacivil.com
1941 C-701 TURNAROUND EXH.dwg Nov 26, 2012



**THE
INLAND
GROUP**

INLAND KENWORTH

2482 Douglas Road, Burnaby, BC V5C 6C9 (604) 291-6021 Fax (604) 299-7819

December 21, 2012

Mr. Curtis Cherne, PE
Hydrology Division; Public Works Dept.
City of Albuquerque
P.O. Box 1203
Albuquerque, NM 87103

RE: Inland Kenworth Project
Tract 182 & 183, Airport Addition, Town of Atrisco Grant
DRB No. 1006761

Subject: Cross Lot Grading on Tract 182

Dear Mr. Cherne:

Inland Properties (U.S.), Inc. is the Owner of both of the above referenced properties and consents to the offsite grading associated with the development of the new Inland Kenworth facility on Tract 182.

Sincerely,

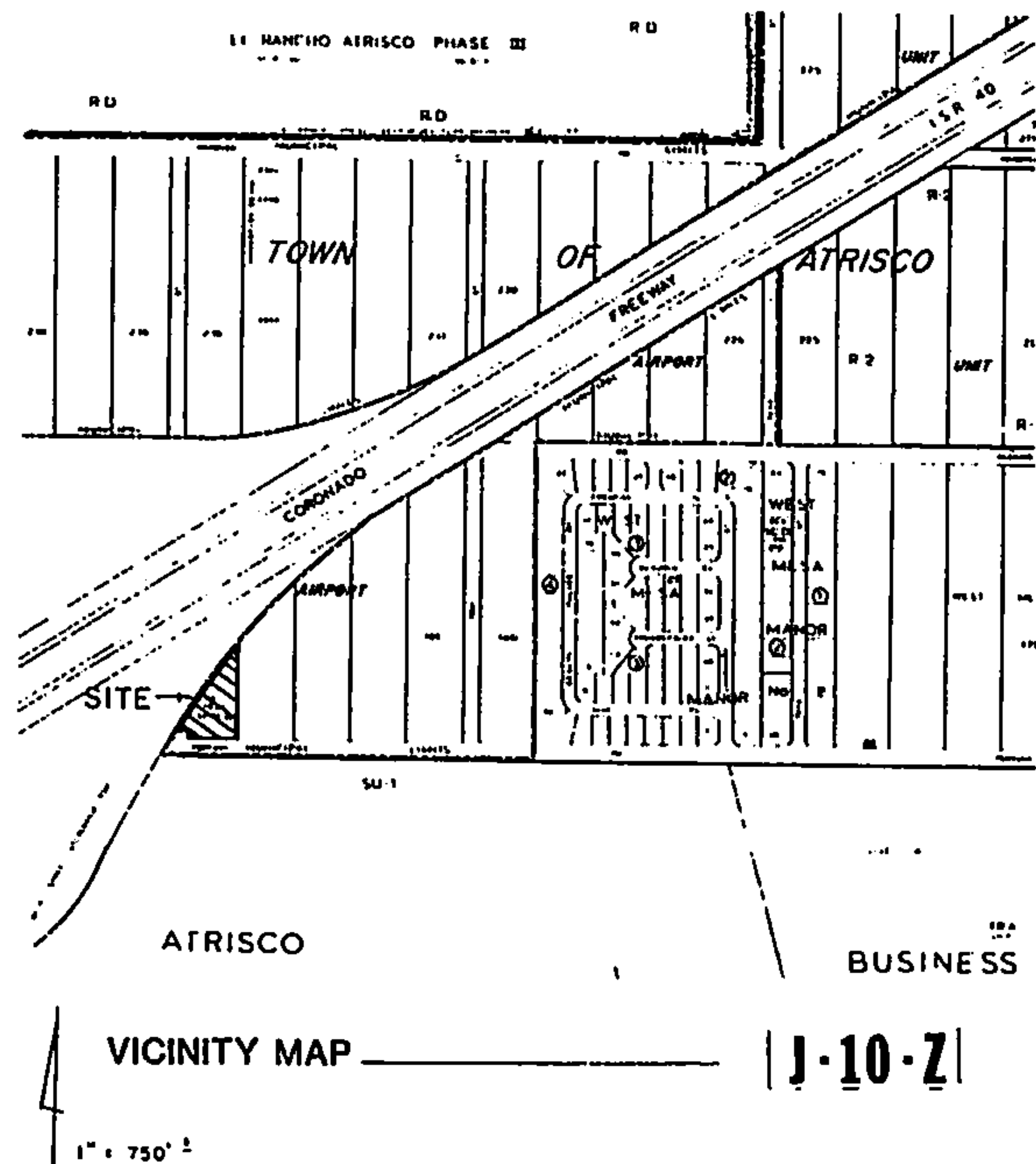
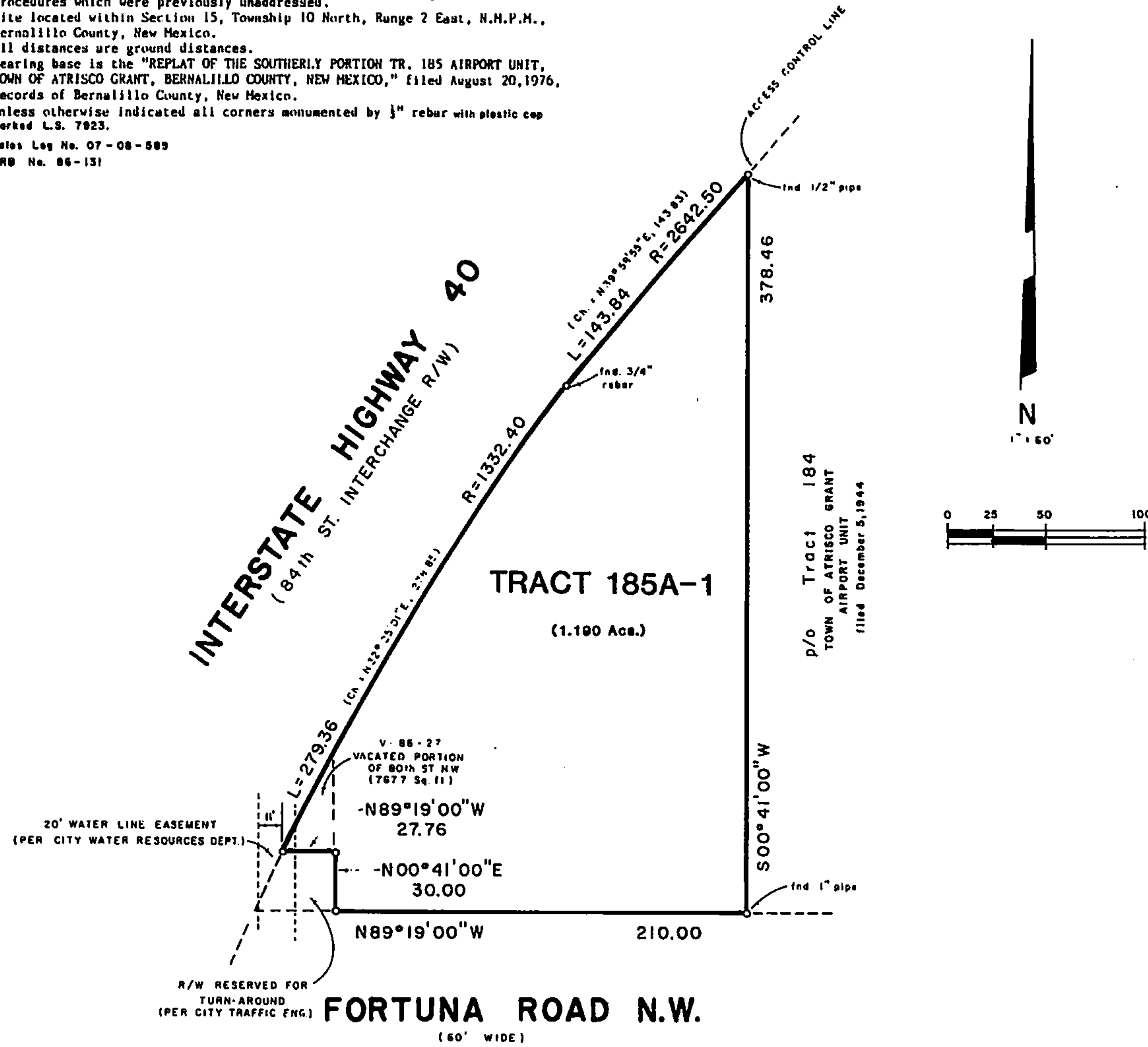
Inland Properties (U.S.), Inc.

Bill Currie,
President & COO

BC/jlv

NOTES

- (1) The purpose of this Replat is to comply with City of Albuquerque Vacation procedures which were previously unaddressed.
- (2) Site located within Section 15, Township 10 North, Range 2 East, N.H.P.M., Bernalillo County, New Mexico.
- (3) All distances are ground distances.
- (4) Bearing base is the "REPLAT OF THE SOUTHERLY PORTION TR. 185 AIRPORT UNIT, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO," filed August 20, 1976, Records of Bernalillo County, New Mexico.
- (5) Unless otherwise indicated all corners monumented by 1" rebar with plastic cap marked L.S. 7923.
- (6) Tels. Log No. 07-08-889
- (7) DRB No. 88-131



State of New Mexico } ss
 County of Bernalillo }
 This Instr: And for reversion

9:57 JUL 25 1986
 At a'clock PM Recorded in Vol. 24
 of records of said County Folio 24
 Debra C. Miller Clerk & Recorder
 Deputy Clerk

REPLAT OF
TRACT 185A, AIRPORT UNIT
TOWN OF ATRISCO GRANT
 ALBUQUERQUE NEW MEXICO

MAY 1986

LEGAL DESCRIPTION

A portion of Tract 185A as the same is shown and designated on the plat entitled, "REPLAT OF THE SOUTHERLY PORTION TR. 185 AIRPORT UNIT, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO," filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 20, 1976, in Volume B11, Folio 176, and being more particularly described as follows:

Beginning at the southeast corner of the tract herein described, said southeast corner being identical to the southeast corner of said Tract 185A and a point on the northerly right-of-way line of Fortuna Road N.W.; Thence, N 89° 19' 00" W, 210.00 feet along the northerly right-of-way line of Fortuna Road N.W. to a point; Thence, N 00° 41' 00" E, 30.00 feet to a point; Thence, N 89° 19' 00" W, 27.76 feet to the southwest corner of the tract herein described and a point on the southerly Access Control Line of Interstate Highway 40; Thence, Northeasterly, 279.36 feet along said southerly Access Control Line of Interstate Highway 40, said line being the arc of a curve bearing right, having a radius of 1332.40 feet and a chord which bears N 32° 25' 01" E, 278.85 feet to a point of compound curve; Thence, Northeasterly, continuing along said southerly Access Control Line of Interstate Highway 40, 143.84 feet along the arc of a curve bearing right, having a radius of 2642.50 feet and a chord which bears N 39° 58' 55" E, 143.83 feet to the northeast corner of the tract herein described; Thence, S 00° 41' 00" W, 378.46 feet to the southeast corner and point of beginning of the tract herein described and containing 1.190 Acres, more or less.

FREE CONSENT

Replatted as shown hereon and now comprising Tract 185A-1 of this Replat. The replatting of this land is with the free consent and in accordance with the desires of the undersigned owners.

Herbert J. Bool
 Herbert J. Bool

Elizabeth L. Bool
 Elizabeth L. Bool

Acknowledgement

State of New Mexico)
 County of Bernalillo) ss

The foregoing instrument was acknowledged before me this 26th day of May 1986

Adela J. Denton
 Notary Public

My Commission Expires 10/3/86

CERTIFICATION

I, Christopher J. Dehler, a Registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this Plat was prepared by me or under my supervision; meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance; shows all easements of record and is true and correct to the best of my knowledge and belief.

Christopher J. Dehler 6/17/86
 Christopher J. Dehler, N.M.R.L.S. No. 7923 Date

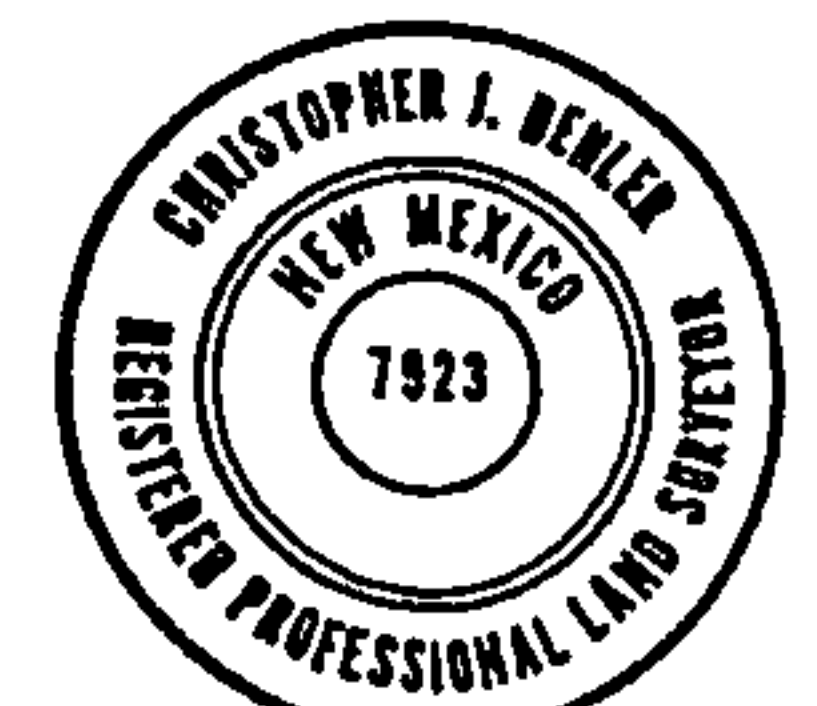
Acknowledgement

State of New Mexico)
 County of Bernalillo) ss

The foregoing instrument was acknowledged before me this 17th day of June 1986

Joann Hagan
 Notary Public

OFFICIAL SEAL
 JOANN HAGAN
 NOTARY PUBLIC - STATE OF N.M.
 My Commission Expires 4-30-87



Christopher J. Dehler, PLS
 Star Rt. Box 393 • Corrales, NM • 87048 • (505) 897-2029

APPROVALS

<i>Richard Dman</i>	7-23-86
Planning Director, City of Albuquerque, N.M.	Date
NA	
Water Resources, City of Albuquerque, N.M.	Date
<i>Billy J. Gooding</i>	7-18-86
City Engineer, City of Albuquerque, N.M.	Date
<i>Fred J. Quinn</i>	7-21-86
A.H.A.F.C.A., City of Albuquerque, N.M.	Date
NA	
Traffic Engineer, City of Albuquerque, N.M.	Date
NA	
Berkshire Recreation, City of Albuquerque, N.M.	Date
<i>Oil Clerk</i>	071066
Chief City Surveyor, City of Albuquerque, N.M.	Date
NA	
Property Manager, City of Albuquerque, N.M.	Date

SP-86-268

SITE 2

**SUBDIVISION PLAT OF
UNSER TOWNE CROSSING**

(BEING A REPLAT OF TRACTS A AND B, MERIDIAN BUSINESS PARK II
AND TRACT S-2A-1, ATRISCO BUSINESS PARK, UNIT 2)

SITUATE WITHIN

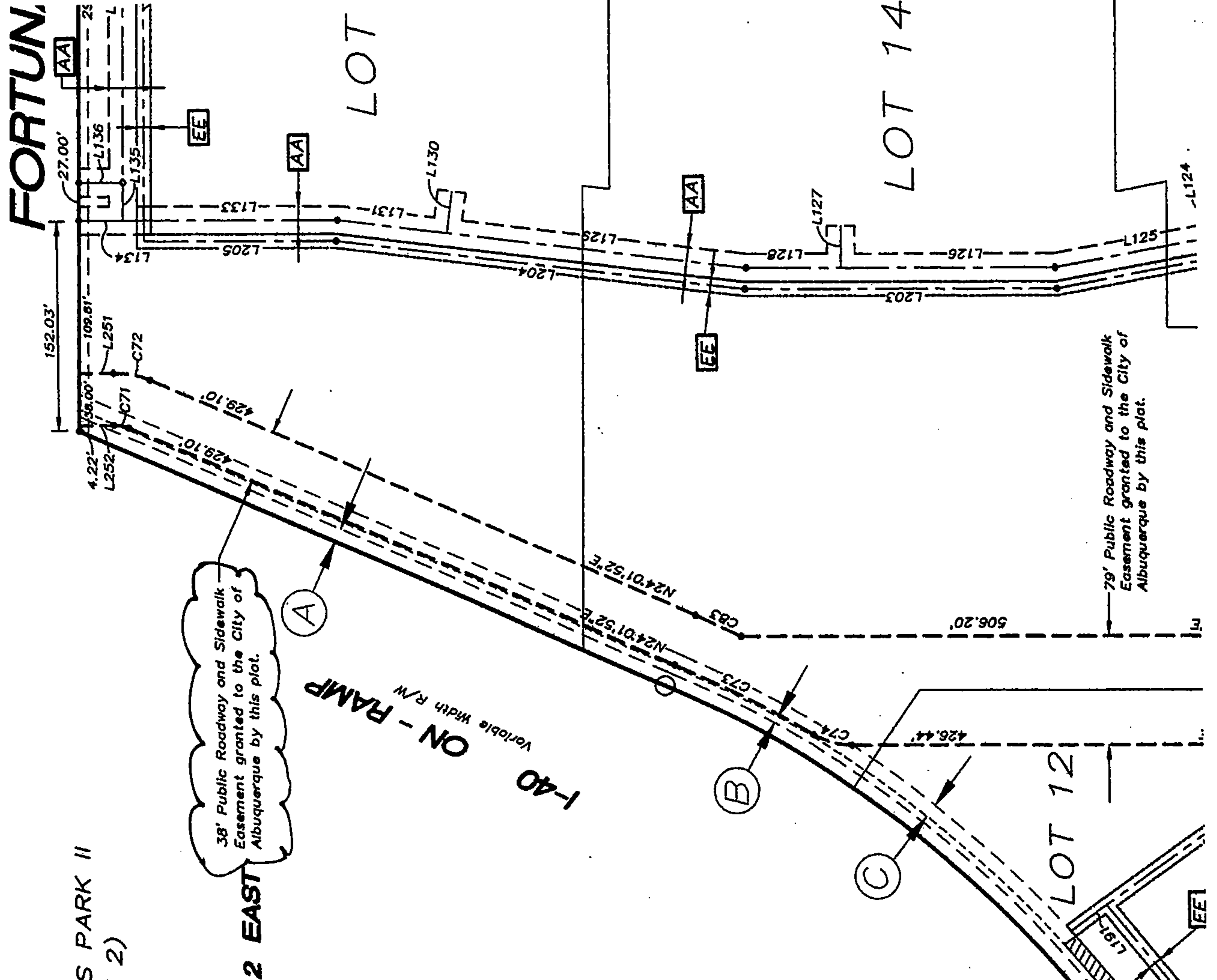
**THE TOWN OF ATRISCO GRANT
IN**

**PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2008**

ADDITIONAL NEW EASEMENTS

- AA** 20' Public Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- BB** 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- CC** 20' Public Storm Drain granted to the City of Albuquerque by this plat
- DD** 10' Private Storm Drain Easement to serve Lot 16 granted by this plat
- EE** 10' Public Utility Easement granted by this plat
- FF** 10' Public Utility Easement granted by this plat.
- GG** 27.50' Public Sanitary Sewer and Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- HH** Sidewalk Easement granted to the City of Albuquerque by this plat.
- JJ** Sidewalk Easement granted to the City of Albuquerque by this plat.

REC: 08-15-2008
BX: 2008C
PG: 0186M





DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1006761

TO: **ALL MEMBERS** **Application No.** 12DRB-70377

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: January 2, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Solid Waste Management Department Approval

Letter of Consent from The Inland Group for Cross Lot Grading on Tract 182

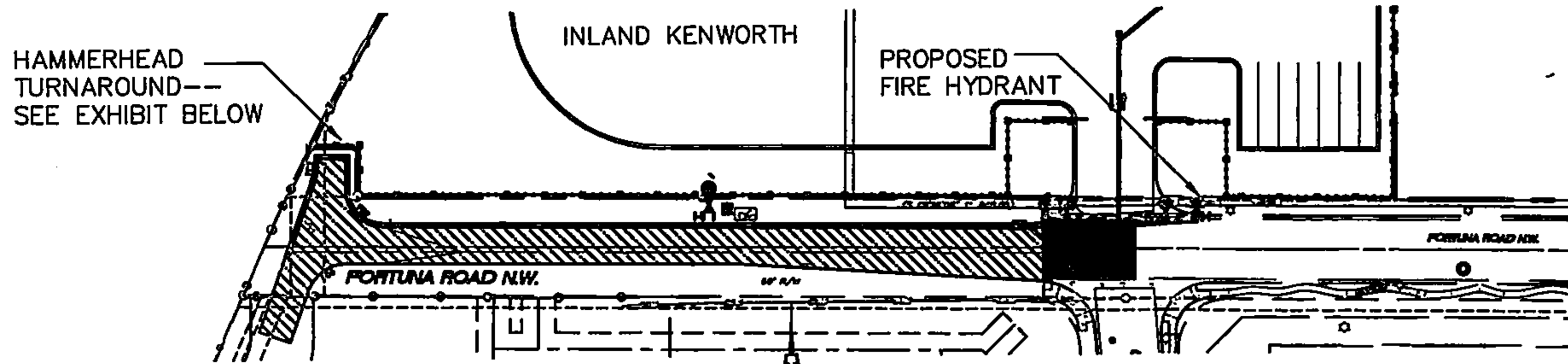
Replat of Tract 185A, Airport Unit, Town of Atrisco Grant

Subdivision Plat of Unser Towne Crossing --
Page Showing Additional New Easements

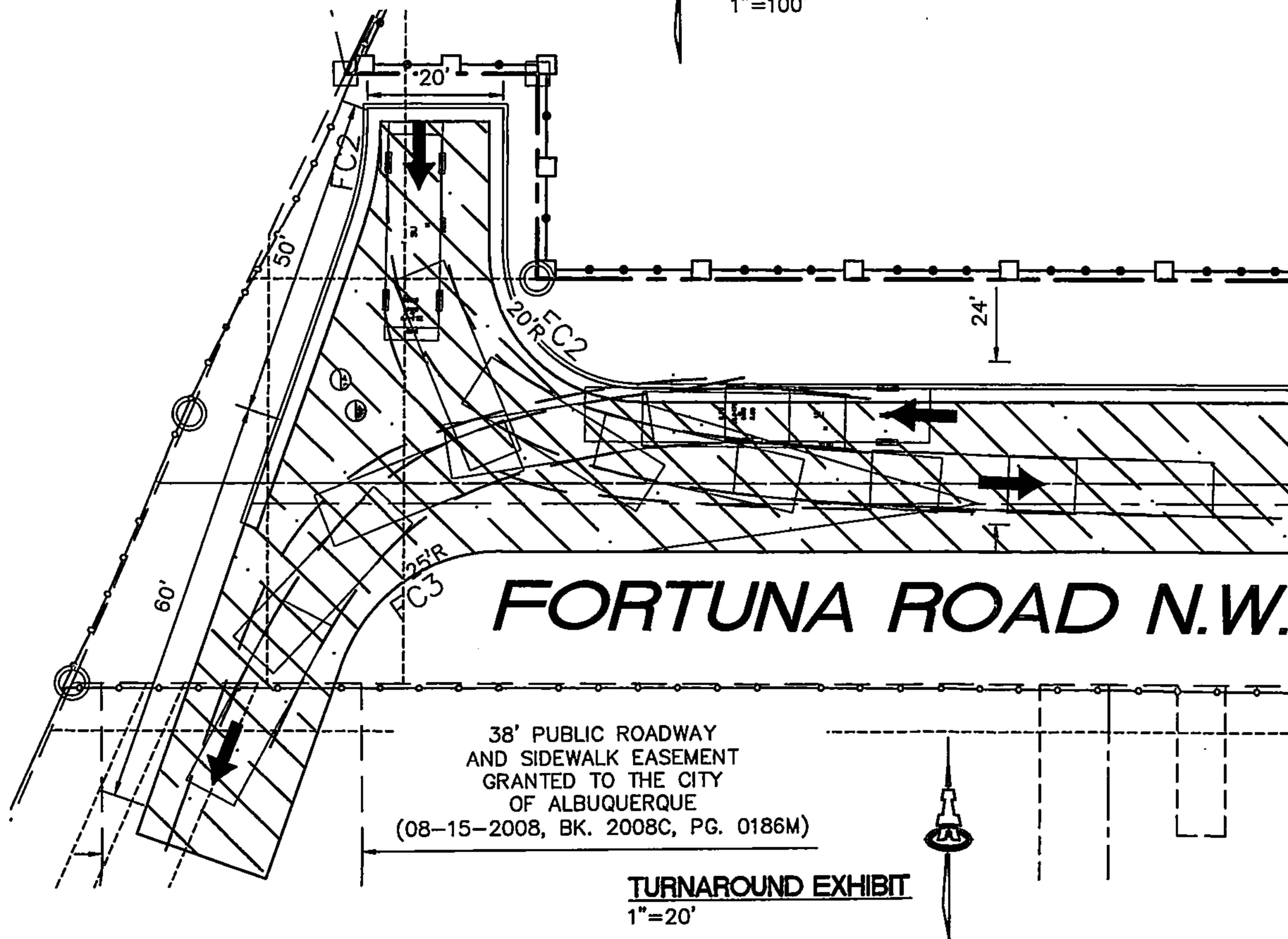
CONTACT NAME: Fred C. Arfman

TELEPHONE: 268-8828 **EMAIL:** freda@iacivil.com

M:\CAD FILES\1900-1999\1941\1941-C-701-TURNAROUND EXH.dwg, 12/26/2012 11:34:11 AM, thor



OVERALL EXHIBIT
1"=100'



38' PUBLIC ROADWAY
AND SIDEWALK EASEMENT
GRANTED TO THE CITY
OF ALBUQUERQUE
(08-15-2008, BK. 2008C, PG. 0186M)

TURNAROUND EXHIBIT
1"=20'

INLAND KENWORTH--
FORTUNA RD W. OF
76TH ST.

FIRE DEPT.
TURNAROUND EXHIBIT

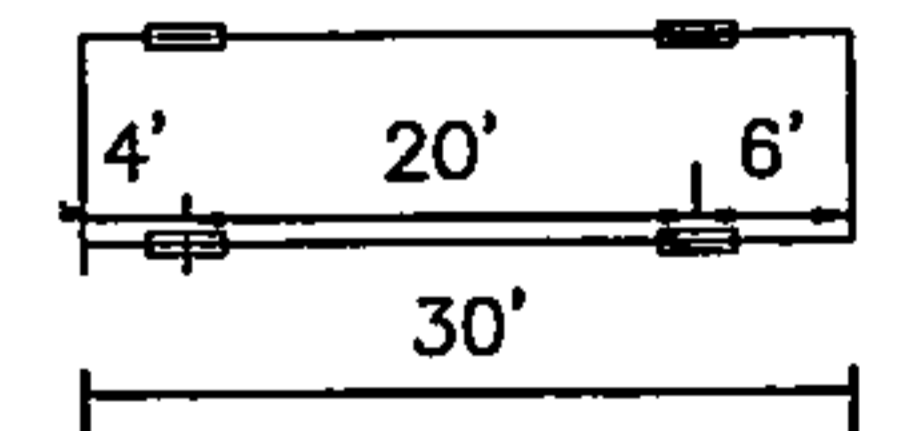
NOVEMBER 26, 2012

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT

APPROVED *Jos Whittle*
12-26-12

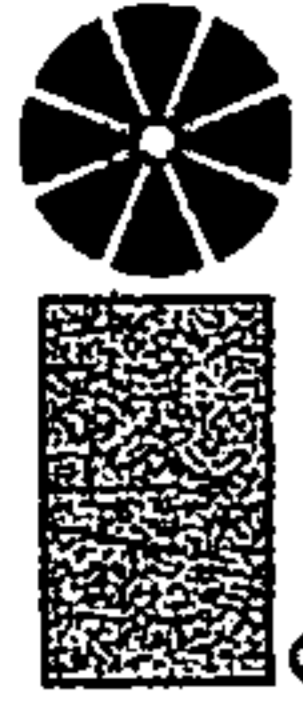
AFD PLANS CHECKING OFFICE
924-3611

APPROVED/DISAPPROVED
R.C. Jan 12-20-12
SIGNATURE & DATE



SU-30 DESIGN VEHICLE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.iacivil.com
1941 C-701 TURNAROUND EXH.dwg Nov 28, 2012



**THE
INLAND
GROUP**

INLAND KENWORTH

2482 Douglas Road, Burnaby, BC V5C 6C9 (604) 291-6021 Fax (604) 299-7819

December 21, 2012

Mr. Curtis Cherne, PE
Hydrology Division; Public Works Dept.
City of Albuquerque
P.O. Box 1203
Albuquerque, NM 87103

RE: Inland Kenworth Project
Tract 182 & 183, Airport Addition, Town of Atrisco Grant
DRB No. 1006761

Subject: Cross Lot Grading on Tract 182

Dear Mr. Cherne:

Inland Properties (U.S.), Inc. is the Owner of both of the above referenced properties and consents to the offsite grading associated with the development of the new Inland Kenworth facility on Tract 182.

Sincerely,

Inland Properties (U.S.), Inc.

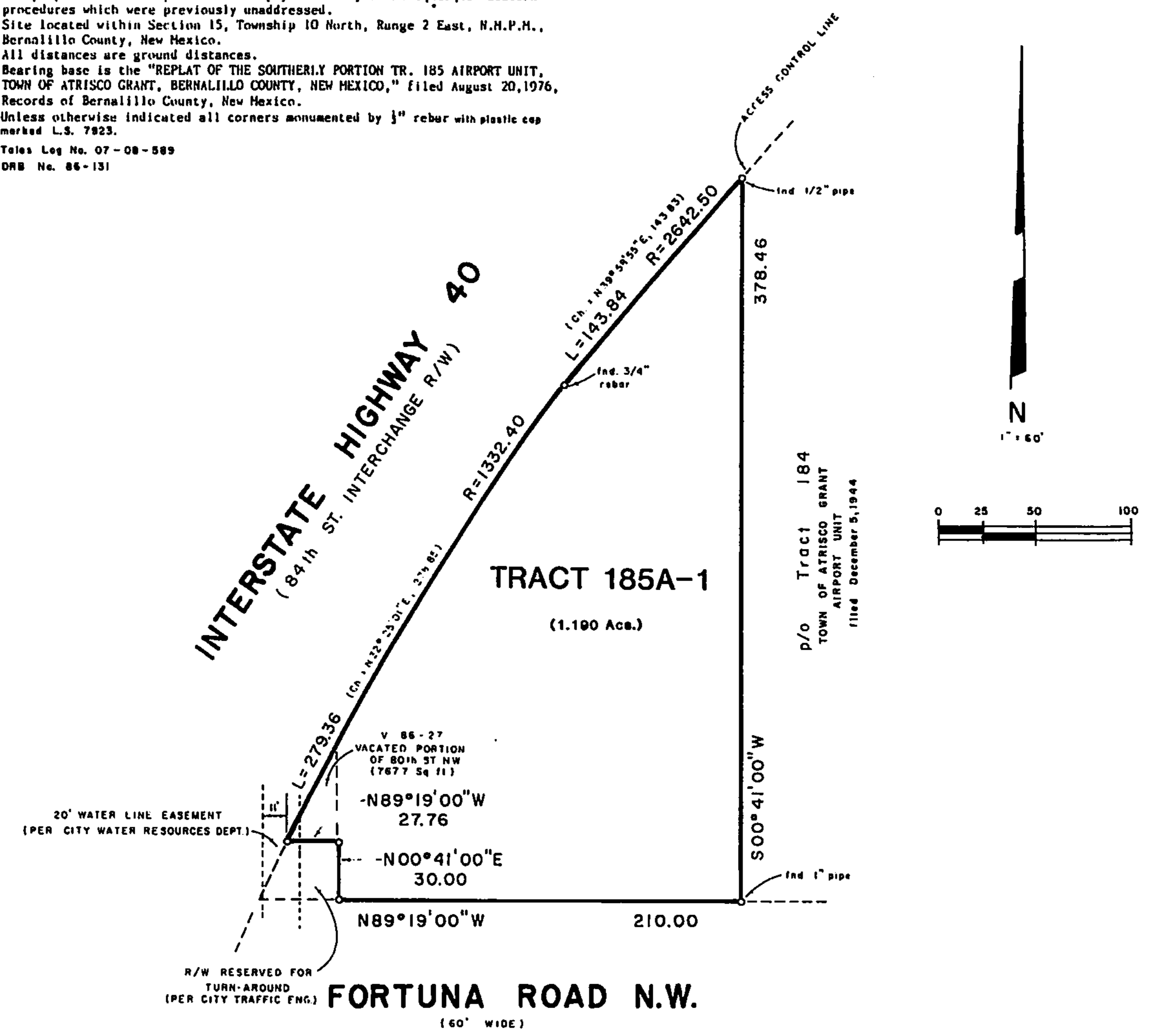
Bill Currie,
President & COO

BC/jlv

State of New Mexico 66 68261 REPLAT OF
 County of Bernalillo 188
 This Instr: And for re-creation
 9:57 JUL 25 1986
 At a clock 11m Recorded in Vol. 21
 of records of said County Folio 21
 Debra C. Miller, Clerk & Recorder
 Deputy Clerk

TRACT 185A, AIRPORT UNIT
TOWN OF ATRISCO GRANT
ALBUQUERQUE NEW MEXICO
MAY 1986

- NOTES**
- (1) The purpose of this Replat is to comply with City of Albuquerque Vacation procedures which were previously unaddressed.
 - (2) Site located within Section 15, Township 10 North, Range 2 East, N.H.P.M., Bernalillo County, New Mexico.
 - (3) All distances are ground distances.
 - (4) Bearing base is the "REPLAT OF THE SOUTHERLY PORTION TR. 185 AIRPORT UNIT, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO," filed August 20, 1976, Records of Bernalillo County, New Mexico.
 - (5) Unless otherwise indicated all corners monumented by 1" rebar with plastic cap marked L.S. 7923.
 - (6) Teles Log No. 07-08-589
 - (7) DRB No. 86-131



LEGAL DESCRIPTION

A portion of Tract 185A as the same is shown and designated on the plat entitled, "REPLAT OF THE SOUTHERLY PORTION TR. 185 AIRPORT UNIT, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO," filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 20, 1976, in Volume B11, Folio 176, and being more particularly described as follows:

Beginning at the southeast corner of the tract herein described, said southeast corner being identical to the southeast corner of said Tract 185A and a point on the northerly right-of-way line of Fortuna Road N.W.; Thence, N 89° 19' 00" W, 210.00 feet along the northerly right-of-way line of Fortuna Road N.W. to a point; Thence, N 00° 41' 00" E, 30.00 feet to a point; Thence, N 89° 19' 00" W, 27.76 feet to the southwest corner of the tract herein described and a point on the southerly Access Control Line of Interstate Highway 40; Thence, Northeasterly, 279.36 feet along said southerly Access Control Line of Interstate Highway 40, said line being the arc of a curve bearing right, having a radius of 1332.40 feet and a chord which bears N 32° 25' 01" E, 278.85 feet to a point of compound curve; Thence, Northeasterly, continuing along said southerly Access Control Line of Interstate Highway 40, 143.84 feet along the arc of a curve bearing right, having a radius of 2642.50 feet and a chord which bears N 39° 58' 55" E, 143.83 feet to the northeast corner of the tract herein described; Thence, S 00° 41' 00" W, 378.46 feet to the southeast corner and point of beginning of the tract herein described and containing 1.190 Acres, more or less.

FREE CONSENT

Replatted as shown hereon and now comprising Tract 185A-1 of this Replat. The replatting of this land is with the free consent and in accordance with the desires of the undersigned owners.

Herbert J. Boul
 Herbert J. Boul
Elizabeth L. Boul
 Elizabeth L. Boul

Acknowledgement
 State of New Mexico)
 County of Bernalillo) ss
 The foregoing instrument was acknowledged before me this 26th day of May, 1986

Adelaide S. Denton
 Notary Public
 My Commission Expires 10/13/86

CERTIFICATION

I, Christopher J. Dehler, a Registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this Plat was prepared by me or under my supervision; meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance; shows all easements of record and is true and correct to the best of my knowledge and belief.

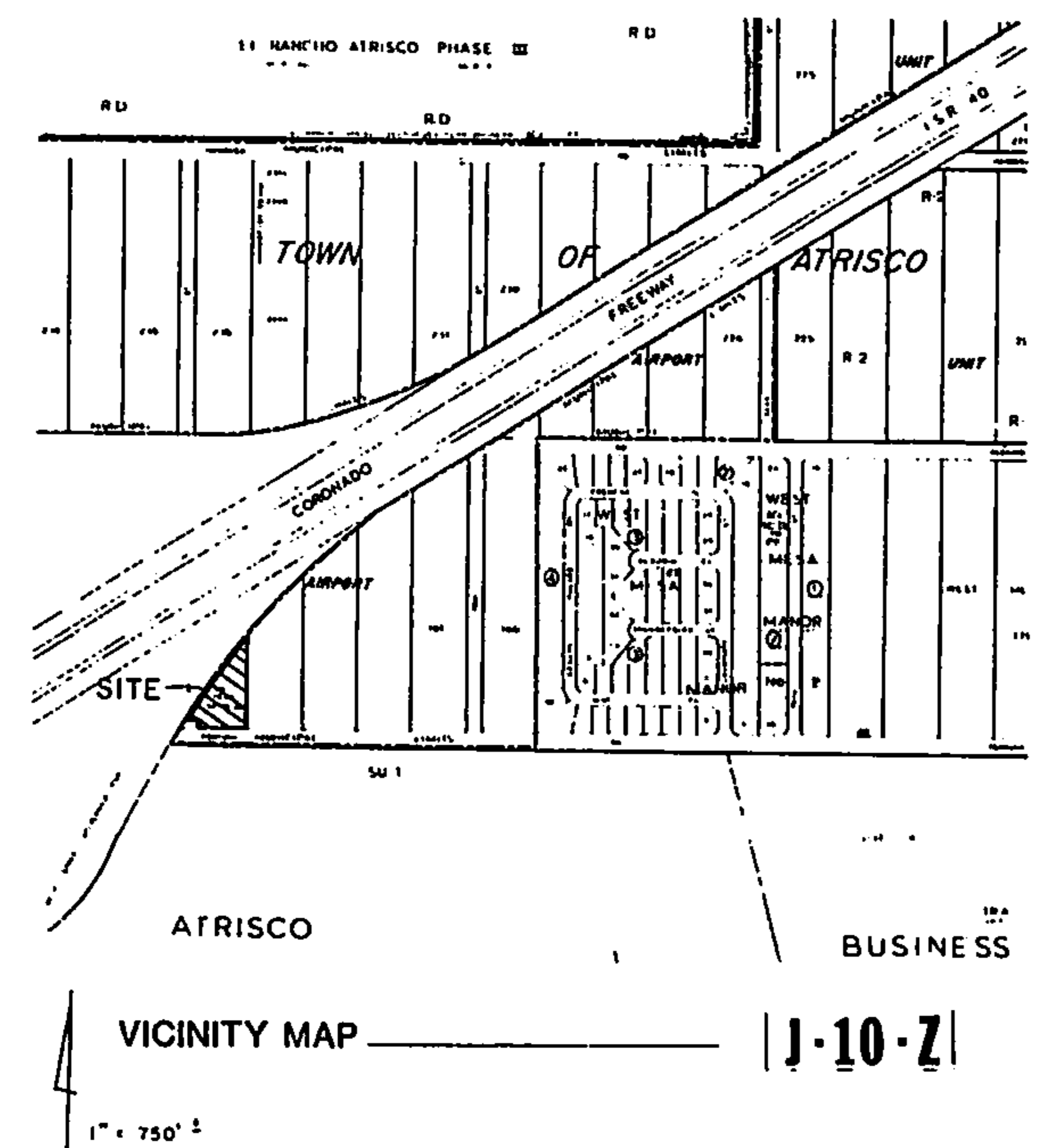
Christopher J. Dehler 4/17/86
 Christopher J. Dehler, N.H.R.L.S. No. 7923 Date

Acknowledgement
 State of New Mexico)
 County of Bernalillo) ss
 The foregoing instrument was acknowledged before me this 17th day of June, 1986

JoAnn Hasty
 Notary Public
 OFFICIAL SEAL
 JOANN HASTY
 Notary Public - State of New Mexico
 My Commission Expires 4-30-87



Christopher J. Dehler, PLS
 Star Rt. Box 393 • Corrales, NM • 87048 • (505) 897-2029



SP-86-268

APPROVALS

Richard Pman 7-23-86
 Planning Director, City of Albuquerque, N.M. Date

NA
 Water Resources, City of Albuquerque, N.M. Date

Billy J. Gooding 7-18-86
 City Engineer, City of Albuquerque, N.M. Date

Fred J. Guinn 7-21-86
 A.H.A.F.C.A., City of Albuquerque, N.M. Date

NA
 Traffic Engineer, City of Albuquerque, N.M. Date

NA
 Parks & Recreation, City of Albuquerque, N.M. Date

Neil Clark 071086
 Chief City Surveyor, City of Albuquerque, N.M. Date

NA
 Property Manager, City of Albuquerque, N.M. Date

SITE 2

**SUBDIVISION PLAT OF
UNSER TOWNE CROSSING**

(BEING A REPLAT OF TRACTS A AND B, MERIDIAN BUSINESS PARK II
AND TRACT S-2A-1, ATRISCO BUSINESS PARK, UNIT 2)

SITUATE WITHIN

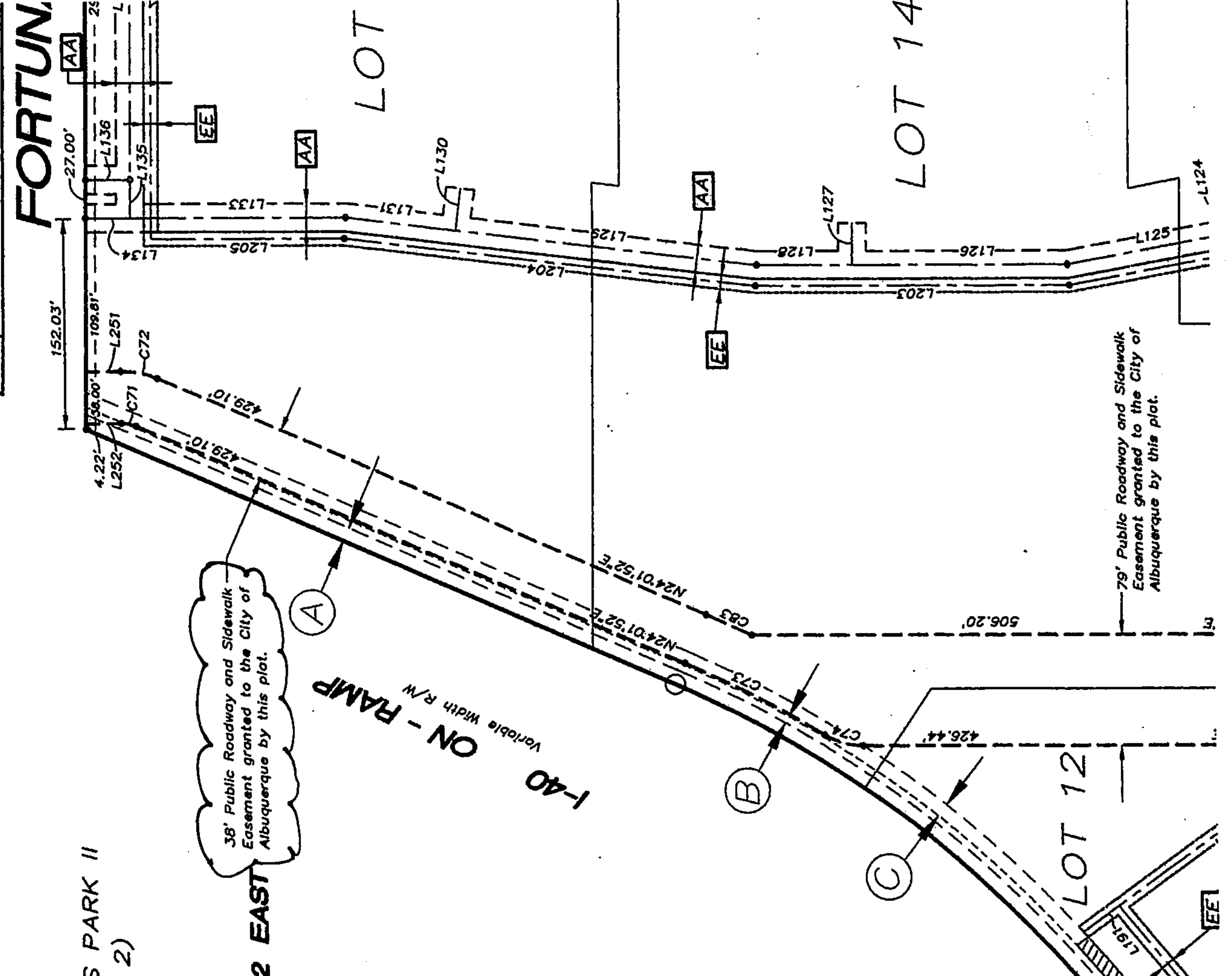
**THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

FEBRUARY, 2008

ADDITIONAL NEW EASEMENTS

- AA** 20' Public Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- BB** 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat
- CC** 20' Public Storm Drain granted to the City of Albuquerque by this plat
- DD** 10' Private Storm Drain Easement to serve Lot 16 granted by this plat
- EE** 10' Public Utility Easement granted by this plat
- FF** 10' Public Utility Easement granted by this plat.
- GG** 27.50' Public Sanitary Sewer and Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- HH** Sidewalk Easement granted to the City of Albuquerque by this plat.
- JJ** Sidewalk Easement granted to the City of Albuquerque by this plat.

REC: 08-15-2008
BK: 2008C
PG: 0186 M



FORTUNA

LOT

LOT 14

LOT 12

79' Public Roadway and Sidewalk Easement granted to the City of Albuquerque by this plat.



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1006761

TO: **Application No.** 12DRB-70377

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: January 2, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Revised Infrastructure List

CONTACT NAME: Fred C. Arfman

TELEPHONE: 268-8828 **EMAIL:** freda@iacivil.com

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: December 14, 2012

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1006761

DRB Application No.: 12DRB-70377

Tracts A & B, Inland Kenworth

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 185-A and Portions of Tracts 182,183 and 184, Town of Atrisco Grant, Airport Unit

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24" FF	Arterial Roadway	Fortuna Road	W. Terminus Fortuna	Gallatin Pl	/	/	/
<input type="text"/>	<input type="text"/>	6'	sidewalk	Fortuna Road	W of site entrance	135' west	/	/	/
<input type="text"/>	<input type="text"/>	18" dia.	storm drain extension & inlet	Fortuna Road	west side of site entrance		/	/	/
<input type="text"/>	<input type="text"/>	20'	Temp. Turnaround Extn. (So.)	Fortuna Road	West Terminus	Rdwy Esm't.(So.)	/	/	/
<input type="text"/>	<input type="text"/>	Std.	PCC Curb & Gutter (north side only)	Fortuna Road	W. terminus Fortuna	Gallatin Pl.	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

listing. The items listed below are subject to the standard SIA requirements.


Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- 1 Grading & Drainage Certification required per DPM (prior to release of financial guarantee) to include private retaining walls as defined on the proposed grading plan.
- 2 All storm drains to include catch basins, manholes (if necessary), connector pipes, and other appurtenances per DRC approved plans. Storm drains sizes and locations are approximate and subject to change per final DRC determination.
- 3 Street lighting per DPM
- 4 Perimeter Wall per DRB

AGENT / OWNER

Fred C. Arfman, PE
 NAME (print)
Isaacson & Arfman, P.A.
 FIRM

 SIGNATURE - date 12.12.12

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

_____	DRB CHAIR - date	_____	PARKS & GENERAL RECREATION - date
_____	TRANSPORTATION DEVELOPMENT - date	_____	AMAFCA - date
_____	UTILITY DEVELOPMENT - date	_____	_____ - date
_____	CITY ENGINEER - date	_____	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1006761

TO: Application No. 12DRB-70377; 12DRB-70384; 12DRB-70385

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: May 15, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Resubmittal of Minor Plat (Revised) to track with the EPC approved SDP for Building Permit

RECEIVED
MAY 07 2013

CONTACT NAME: Fred C. Arfman

TELEPHONE: 268-8828 EMAIL: freda@iacivil.com

PROJECT #

1006761

App #

Action

Date

13-70540

SBP

5-15-13

