

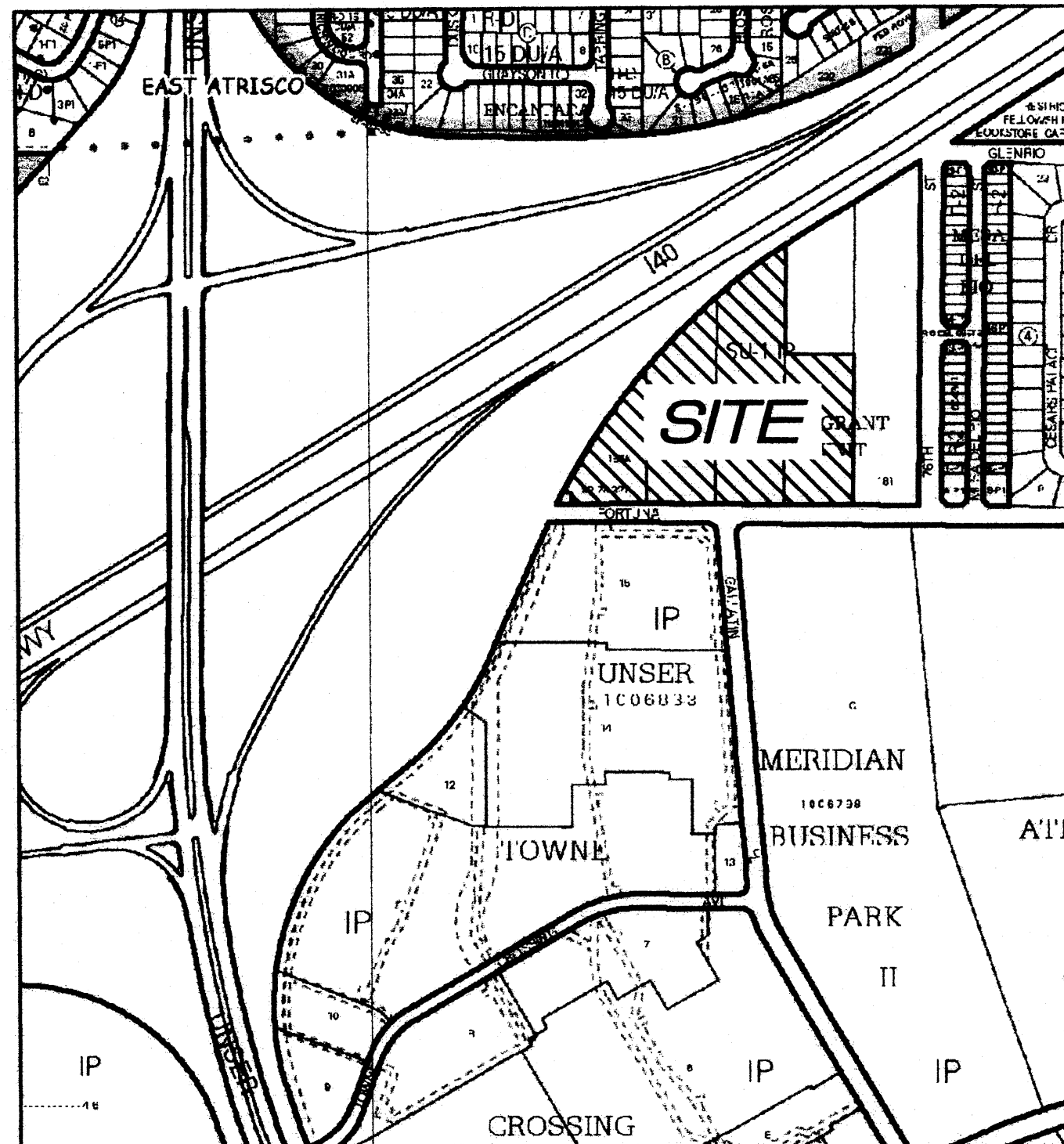
**PLAT OF  
TRACT A  
INLAND KENWORTH**

(BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182,  
183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT)

SITUATE WITHIN

**THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER 2012



**VICINITY MAP**

Not to Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
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- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page J-10-Z.

**SUBDIVISION DATA**

- Total number of existing Tracts: 5
- Total number of Tracts created: 1
- Gross Subdivision acreage: 8.8600 acres

**PURPOSE OF PLAT**

The purpose of this plat is to

- Combine portions of Tracts 182, 183, 184 and all of Tract 185-A, Town of Atrisco Grant Airport Unit, into One (1) new tract.
- Grant the public utility easements as shown hereon.
- Dedicate additional Public Street right of way as shown hereon.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

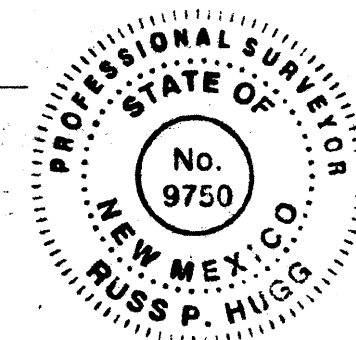
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**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
November 26, 2012



PROJECT NUMBER: 1006761  
Application Number: 12DRB-70377

**PLAT APPROVAL**

**UTILITY APPROVALS:**

<i>[Signature]</i> Public Service Company of New Mexico	<u>12-9-12</u> Date
<i>[Signature]</i> New Mexico Gas Company	<u>12-12-2012</u> Date
<i>[Signature]</i> Qwest Corporation d/b/a CenturyLink QC.	<u>12-10-12</u> Date
<i>[Signature]</i> Comcast	<u>12/12/12</u> Date

**CITY APPROVALS:**

<i>[Signature]</i> City Surveyor Department of Municipal Development	<u>12-10-12</u> Date
Real Property Division	_____ Date
Environmental Health Department	_____ Date
Traffic Engineering, Transportation Division	_____ Date
ABCWUA	_____ Date
Parks and Recreation Department	_____ Date
AMAFCA	_____ Date
City Engineer	_____ Date
DRB Chairperson, Planning Department	_____ Date

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NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER 2012

**LEGAL DESCRIPTION**

That certain parcel of land situate within The Town of Atrisco Grant in projected Section 15, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Portions of Tracts 182, 183 and 184, Town of Atrisco Grant Airport Unit as the same are shown and designated on the plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT", filed in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944 in Volume D, Folio 117; said Tracts further described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685 and All of Tract 185A-1, Town of Atrisco Grant Airport Unit as the same is shown and designated on the plat entitled "REPLAT OF TRACT 185A-1, AIRPORT UNIT, TOWN OF ATRISCO GRANT", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 25, 1986 in Volume C31, Folio 24, said Tracts further described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685, more particularly described using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the Southeast corner of the parcel herein described (a 5/8" Rebar and cap stamped "L.S. 9750" set), a point on the Northerly right of way line of Fortuna Road N.W.; Thence,

N 89°25'08"W, 840.04 feet along said Northerly right of way line of Fortuna Road N.W. to an angle point in the Southerly line of said tract 185-A (a 1" iron pipe found in place); Thence,

N 00°32'40"E, 29.88 feet to a point (a Bathey survey marker stamped "L.S. 14271" found in place); Thence,

N 89°25'08"W, 28.30 feet to a non-tangent point on curve on the Southerly right of way line of Interstate 40 (a Bathey survey marker stamped "L.S. 14271" found in place) said point being the Southwest corner of the parcel herein described; Thence Northeasterly along said Southerly right of way line of Interstate 40 for the following two(2) courses:

Northeasterly, 280.90 feet on the arc of a curve to the right (said curve having a radius of 1332.40 feet, a central angle of 12°04'46" and a chord which bears N 32°25'39"E, 280.38 feet) to a point of compound curvature (a 3-1/2" N.M.S.H.C. monument set in concrete, found in place); Thence,

Northeasterly, 717.35 feet on the arc of a curve to the right (said curve having a radius of 2642.50 feet, a central angle of 15°33'14" and a chord which bears N 46°13'14"E, 715.15 feet) to a non-tangent point on curve (a Bathey survey marker stamped "L.S. 14271" found in place) said point being the Northeast corner of the parcel herein described; Thence along the Easterly line as described in the aforesaid Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685 for the following two (2) courses:

S 00°38'28"W, 353.31 feet to a point (a 1/2" Rebar and cap stamped "L.S. 8686" found in place); Thence,

S 89°30'17"E, 210.35 feet to a point (a 5/8" Rebar and cap stamped "L.S. 9750" set); Thence,

S 00°41'56" W, 415.07 feet to the outeast corner and point of beginning of the parcel herein described.


Said parcel contains 8.8600 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACT A, INLAND KENWORTH (BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT) SITUATE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that it is so authorized to act.

**OWNER(S)**

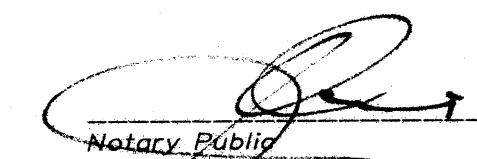
Inland Properties (U.S.), Inc.  
a Delaware Corporation

By:   
By: Pres/C.O.O.

**ACKNOWLEDGMENT**

STATE OF BRITISH COLUMBIA  
CITY OF BURNABY SS

The foregoing instrument was acknowledged before me this 20  
day of MARCH, 2013, by William Currie Pres/C.O.O.

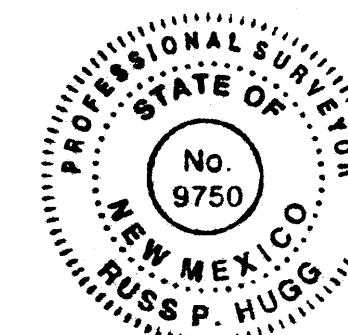
  
Notary Public My commission expires PERMANENT  
JACQUELINE KINSEY COMMISSION

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS  
ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

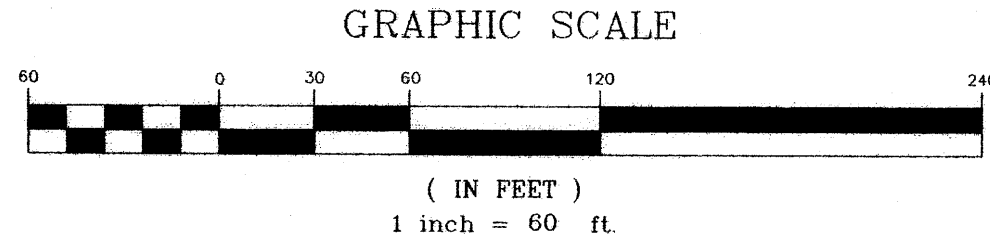
**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY**

- A. Plat entitled "REPLAT OF TRACT 185A, AIRPORT UNIT TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, MAY, 1986", filed July 25, 1986, Volume C31, Folio 24, records of Bernalillo County, New Mexico.
- B. Plat entitled "SUBDIVISION PLAT OF UNSER TOWNE CROSSING (BEING A REPLAT OF TRACTS A AND B, MERIDIAN BUSINESS PARK II AND TRACT S-2A-1, ATRISCO BUSINESS PARK, UNIT 2) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2008", filed August 15, 2008 in Plat Book 2008C, Page 186, records of Bernalillo County, New Mexico.
- C. BULK LAND PLAT OF TRACTS A THRU D, MERIDIAN BUSINESS PARK II, ALBUQUERQUE, NEW MEXICO", filed April 29, 2008 in Plat Book 2008C, page 100, records of Bernalillo County, New Mexico.
- D. Unrecorded survey entitled "A.L.T.A. / A.C.S.M. LAND TITLE SURVEY OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT, AIRPORT UNIT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER, 2007", prepared by Will W. Plottner, NMPS Number 14271..
- E. Title Commitments prepared for this property by First American Title Insurance Company, Commitment for Title Insurance File No. 1053426-AL04, dated 01/10/2008 and File No. 1053426-AL04, dated 06/20/2007.



LINE TABLE		
LINE	LENGTH	BEARING
L1	29.88	N00°32'40"E
L2	28.30	N89°25'08"W
L3	9.90	N00°32'40"E
L4	3.00	N89°25'08"W
L5	22.99	S89°25'08"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	280.90'	1332.40'	140.97'	280.38'	S32°25'39"W	12°04'46"
C2	717.35'	2642.50'	360.89'	715.15'	S46°13'14"W	15°33'14"
C3	31.40'	20.00'	19.99'	28.28'	S44°26'14"E	89°57'50"



Existing Drainage Easements

(A) Approximate location of NMSHD Drainage Easement Filed 05/07/96 in Book 96-12, Page 9864 Scaled from NMSHC R/W Map Project L\_040-3(28)148 and as shown on ALTA Survey by Will Plattner, NMPS 14271, dated December, 2007.

(B) Approximate location of NMSHD Drainage Easement Filed 05/07/96 in Book 96-12, Page 9867 Scaled from NMSHC R/W Map Project L\_040-3(28)148 and as shown on ALTA Survey by Will Plattner, NMPS 14271, dated December, 2007.

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**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
NOVEMBER 2012

**INTERSTATE 40**  
NMSHC PROJECT 1-040-3(28)148  
Variable Width R/W

Remaining portions of Tracts 182 thru 185 were created by the right of way taking for Interstate 40 per NMSHC Project 1-040-3(28)148 dated March, 1969.

All existing interior tract lines are hereby eliminated by this plat

**TRACT A**  
8.8560 Ac.

TRACT 184      TRACT 183  
TRACT 185A-1  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Filed- July 25, 1986 in Volume C31, Folio 24

Filed- December 5, 1944 in Volume D, Folio 117

PORTION OF TRACT 182  
WARRANTY DEED Filed February 24, 1981 in Book D137-A, page 946  
WARRANTY DEED Filed November 2, 1949 in Book D121, page 261

PORTION OF TRACT 181  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Quitclaim Deed Filed 12/05/44 in Book D, Folio 117

Albuquerque Control Survey Monument "6\_J10"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83)  
North= 1,492,180.199 feet  
East= 1,500,635.082 feet  
Elevation= 5119.814 feet (NAVD 1988)  
Delta Alpha= -00°16'07.41  
Ground to Grid Factor= 0.999681414

Albuquerque Control Survey Monument "3\_H10"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83)  
North= 1,493,985.681 feet  
East= 1,497,135.488 feet  
Elevation= 5196.151 feet (NAVD 1988)  
Delta Alpha= -00°16'31.81  
Ground to Grid Factor= 0.999678906

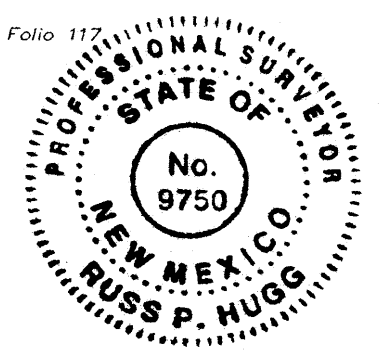
Additional Public street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by the plat. (cross hatched area- 0.0040 Ac.)

10' Public Utility Easement granted by this plat

**FORTUNA ROAD N.W.**  
60' R/W

LOT 15  
**UNSER TOWNE CROSSING**  
Filed August 15, 2008 in Plat Book 2008C, Page 186

**TRACT C**  
**MERIDIAN BUSINESS PARK II**  
Filed April 29, 2008, in Plat Book 2008C, Page 100



SHEET 3 OF 3

**SURVOTEK, INC.**  
Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377



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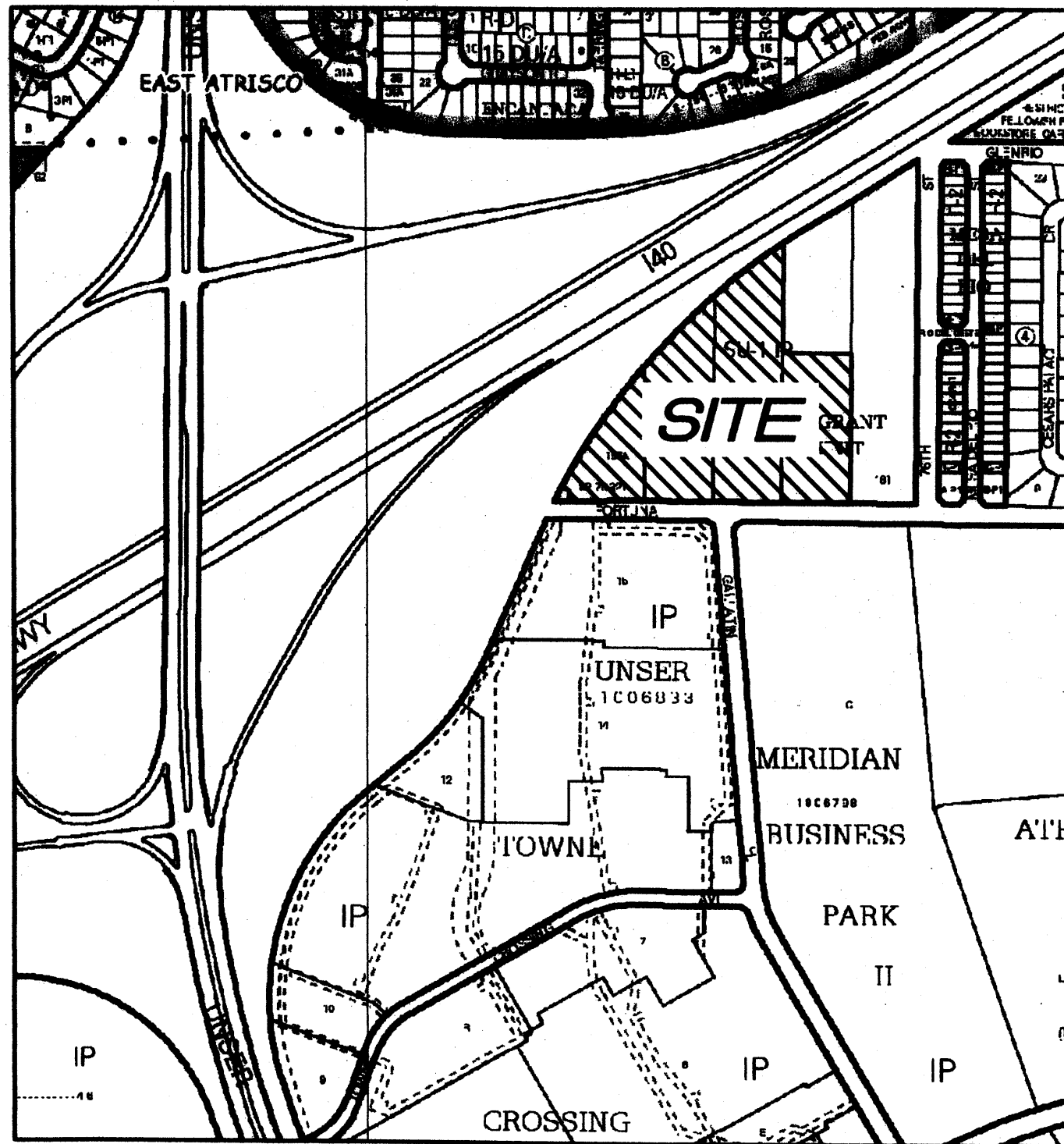
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VICINITY MAP

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Inland Properties inc

Rose Belle

6/26/13  
Date

Bernalillo County Treasurer

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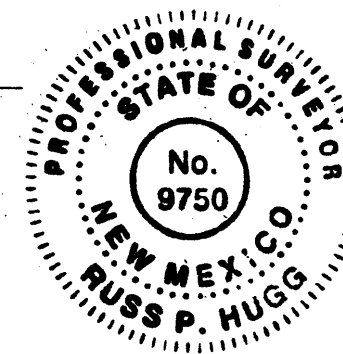
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Russ P. Hugg  
 Russ P. Hugg  
 NMAPS No. 9750  
 November 26, 2012



PROJECT NUMBER: 1006761  
 Application Number: 12DRB-70377

**PLAT APPROVAL**

**UTILITY APPROVALS:**

Fernando Vigil 12-9-12  
 Public Service Company of New Mexico Date

[Signature] 12-12-2012  
 New Mexico Gas Company Date

Michelle Adams 12-10-12  
 Qwest Corporation d/b/a CenturyLink QC. Date

[Signature] 12/12/12  
 Comcast Date

**CITY APPROVALS:**

[Signature] 12-10-12  
 City Surveyor Date  
 Department of Municipal Development

NA  
 Real Property Division Date

NA  
 Environmental Health Department Date

[Signature] 05-15-13  
 Traffic Engineering, Transportation Division Date

Allen Peter 05/15/13  
 ABCWUA Date

Carl S. Dumont 5-15-13  
 Parks and Recreation Department Date

Ante A. Chen 6-26-13  
 AMAFCA Date

Ante A. Chen 6-26-13  
 City Engineer Date

[Signature] 6-26-13  
 DRP Chairperson, Planning Department Date



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N 00°32'40"E, 29.88 feet to a point (a Bathey survey marker stamped "L.S. 14271" found in place); Thence,

N 89°25'08"W, 28.30 feet to a non-tangent point on curve on the Southerly right of way line of Interstate 40 (a Bathey survey marker stamped "L.S. 14271" found in place) said point being the Southwest corner of the parcel herein described; Thence Northeasterly along said Southerly right of way line of Interstate 40 for the following two(2) courses:

Northeasterly , 280.90 feet on the arc of a curve to the right (said curve having a radius of 1332.40 feet, a central angle of 12°04'46" and a chord which bears N 32°25'39"E, 280.38 feet) to a point of compound curvature (a 3-1/2" N.M.S.H.C. monument set in concrete, found in place); Thence,

Northeasterly , 717.35 feet on the arc of a curve to the right (said curve having a radius of 2642.50 feet, a central angle of 15°33'14" and a chord which bears N 46°13'14"E, 715.15 feet) to a non-tangent point on curve (a Bathey survey marker stamped "L.S. 14271" found in place) said point being the Northeast corner of the parcel herein described; Thence along the Easterly line as described in the aforesaid Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685 for the following two (2) courses:

S 00°38'28"W, 353.31 feet to a point (a 1/2" Rebar and cap stamped "L.S. 8686" found in place); Thence,

S 89°30'17"E, 210.35 feet to a point (a 5/8" Rebar and cap stamped "L.S. 9750" set); Thence,

S 00°41'56" W, 415.07 feet to the outheast corner and point of beginning of the parcel herein described.

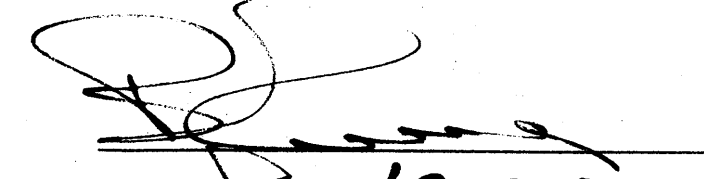
Said parcel contains 8.8600 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACT A, INLAND KENWORTH (BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT) SITUATE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that it is so authorized to act.

**OWNER(S)**

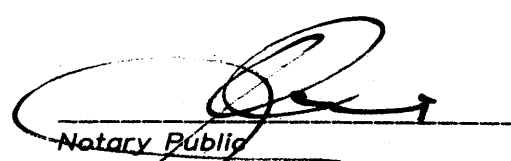
Inland Properties (U.S.), Inc.  
a Delaware Corporation

By:   
WCS/C.O.O.

**ACKNOWLEDGMENT**

STATE OF BRITISH COLUMBIA  
CITY OF BURNABY SS

The foregoing instrument was acknowledged before me this 20  
day of MARCH, 2013, by William Currie Press/C.O.O.

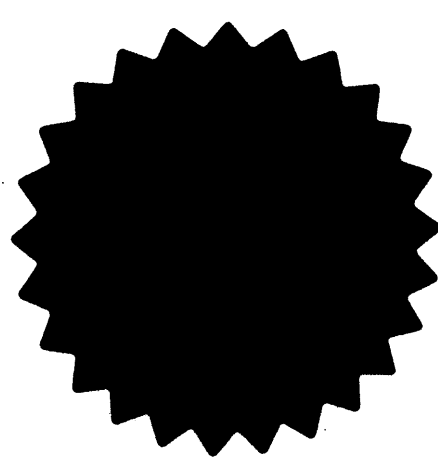
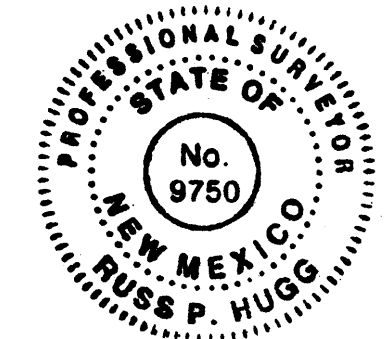
  
Notary Public My commission expires PERMANENT  
COMMISSION

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

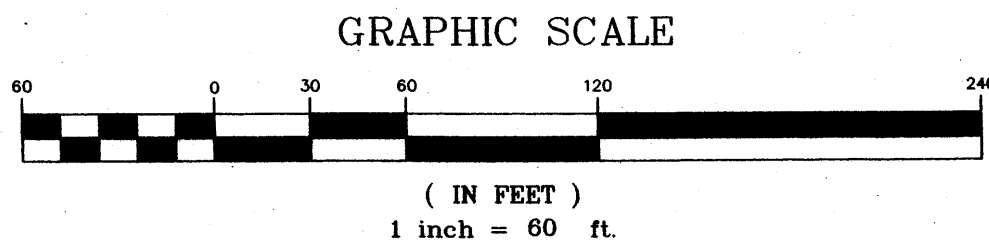
**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY**

- A. Plat entitled "REPLAT OF TRACT 185A, AIRPORT UNIT TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, MAY, 1986", filed July 25, 1986, Volume C31, Folio 24, records of Bernalillo County, New Mexico.
- B. Plat entitled "SUBDIVISION PLAT OF UNSER TOWNE CROSSING (BEING A REPLAT OF TRACTS A AND B, MERIDIAN BUSINESS PARK II AND TRACT S-2A-1, ATRISCO BUSINESS PARK, UNIT 2) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2008", filed August 15, 2008 in Plat Book 2008C, Page 186, records of Bernalillo County, New Mexico.
- C. BULK LAND PLAT OF TRACTS A THRU D, MERIDIAN BUSINESS PARK II, ALBUQUERQUE, NEW MEXICO", filed April 29, 2008 in Plat Book 2008C, page 100, records of Bernalillo County, New Mexico.
- D. Unrecorded survey entitled "A.L.T.A. / A.C.S.M. LAND TITLE SURVEY OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT, AIRPORT UNIT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER, 2007", prepared by Will W. Plattner, NMPS Number 14271..
- E. Title Commitments prepared for this property by First American Title Insurance Company, Commitment for Title Insurance File No. 1053426-AL04, dated 01/10/2008 and File No. 1053426-AL04, dated 06/20/2007.



LINE TABLE		
LINE	LENGTH	BEARING
L1	29.88	N00°32'40"E
L2	28.30	N89°25'08"W
L3	9.90	N00°32'40"E
L4	3.00	N89°25'08"W
L5	22.99	S89°25'08"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	280.90'	1332.40'	140.97'	280.38'	S32°25'39"W	12°04'46"
C2	717.35'	2642.50'	360.89'	715.15'	S46°13'14"W	15°33'14"
C3	31.40'	20.00'	19.99'	28.28'	S44°26'14"E	89°57'50"



Existing Drainage Easements

- (A) Approximate location of NMSHD Drainage Easement Filed 05/07/96 in Book 96-12, Page 9864 Scaled from NMSHC R/W Map Project L\_040-3(28)148 and as shown on ALTA Survey by Will Plattner, NMPS 14271, dated December, 2007.
- (B) Approximate location of NMSHD Drainage Easement Filed 05/07/96 in Book 96-12, Page 9867 Scaled from NMSHC R/W Map Project L\_040-3(28)148 and as shown on ALTA Survey by Will Plattner, NMPS 14271, dated December, 2007.

# PLAT OF TRACT A INLAND KENWORTH

(BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT)

SITUATE WITHIN  
**THE TOWN OF ATRISCO GRANT**  
**PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 NOVEMBER 2012

DOCH 2013072035  
 06/26/2013 02:04 PM Page: 3 of 3  
 City/PLAT R \$25.00 B: 2013C P: 0079 M: Toulous Olivere, Bernalillo Co.  
 Corrected Tax Deed Filed 11/17/71 Doc. No. 56582

**INTERSTATE 40**  
 NMSHC PROJECT I-040-3(28)148  
 Variable Width R/W

Remaining portions of Tracts 182 thru 185 were created by the right of way taking for Interstate 40 per NMSHC Project I-040-3(28)148 dated March, 1969.

## TRACT A

8.8560 Ac.

All existing interior tract lines are hereby eliminated by this plat

All existing interior tract lines are hereby eliminated by this plat

Albuquerque Control Survey Monument "3\_H10"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North = 1,493,985.681 feet  
 East = 1,497,135.488 feet  
 Elevation = 5196.151 feet (NAVD 1988)  
 Delta Alpha = -00°16'31.81"  
 Ground to Grid Factor = 0.999678906

Fd. 3-1/2" N.M.S.H.C. monument set in concrete.

Albuquerque Control Survey Monument "6\_U10"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North = 1,492,180.199 feet  
 East = 1,500,635.082 feet  
 Elevation = 5119.814 feet (NAVD 1988)  
 Delta Alpha = -00°16'07.41"  
 Ground to Grid Factor = 0.999681414

20' Public Waterline Easement as shown on plat filed July 25, 1986 Volume C31, Folio 24

Fd. 3-1/2" N.M.S.H.C. monument set in concrete.

Additional Public street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by the plat. (cross hatched area - 0.0040 Ac.)

R/W Reserved for Turnaround (Per City Traffic Engineer) as shown on plat filed July 25, 1986, Volume C31, Folio 24

35' Public Roadway and Sidewalk Easement granted by plat filed Aug. 15, 2008 in Plat Book 2008C, Page 186.

Fd. 3/4" Iron Pipe

Fd. 1/2" Rebar

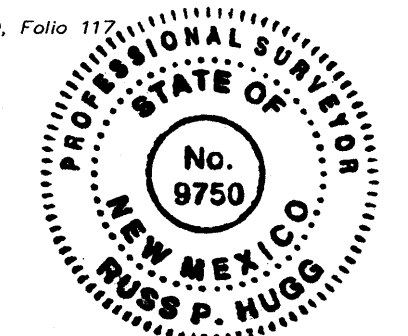
10' Public Utility Easement granted by this plat

Set Rebar and cap stamped "LS 9750"

Fd. 3-1/2" N.M.S.H.C. monument set in concrete.

**LOT 15**  
**UNSER TOWNE CROSSING**  
 Filed August 15, 2008 in Plat Book 2008C, Page 186

**TRACT C**  
**MERIDIAN BUSINESS PARK II**  
 Filed April 29, 2008, in Plat Book 2008C, Page 100



SHEET 3 OF 3

**SURVOTEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377



**LEGEND**

- ⊙ Storm Drain Manhole
- ⊙ Sanitary Sewer Manhole
- SAS Sanitary Sewer Line
- SD Storm Drain Line
- ⊙ Storm Drain Inlet
- Power Pole
- Guy Wire
- OHW Overhead Wires
- E Electric Line
- COM Communications Line
- G Gas Line
- W Water Line
- Sanitary Sewer Clean-out
- Water Meter
- Water Valve
- ⊕ Hydrant
- Telephone Pedestal
- WROUGHT IRON SECURITY FENCE
- ★ Light Pole
- △ Flood Light
- Ballast
- Concrete Symbol
- ⊙ Telephone Manhole
- ⊙ Water Manhole
- RTDM Raised Truncated Dome Mat

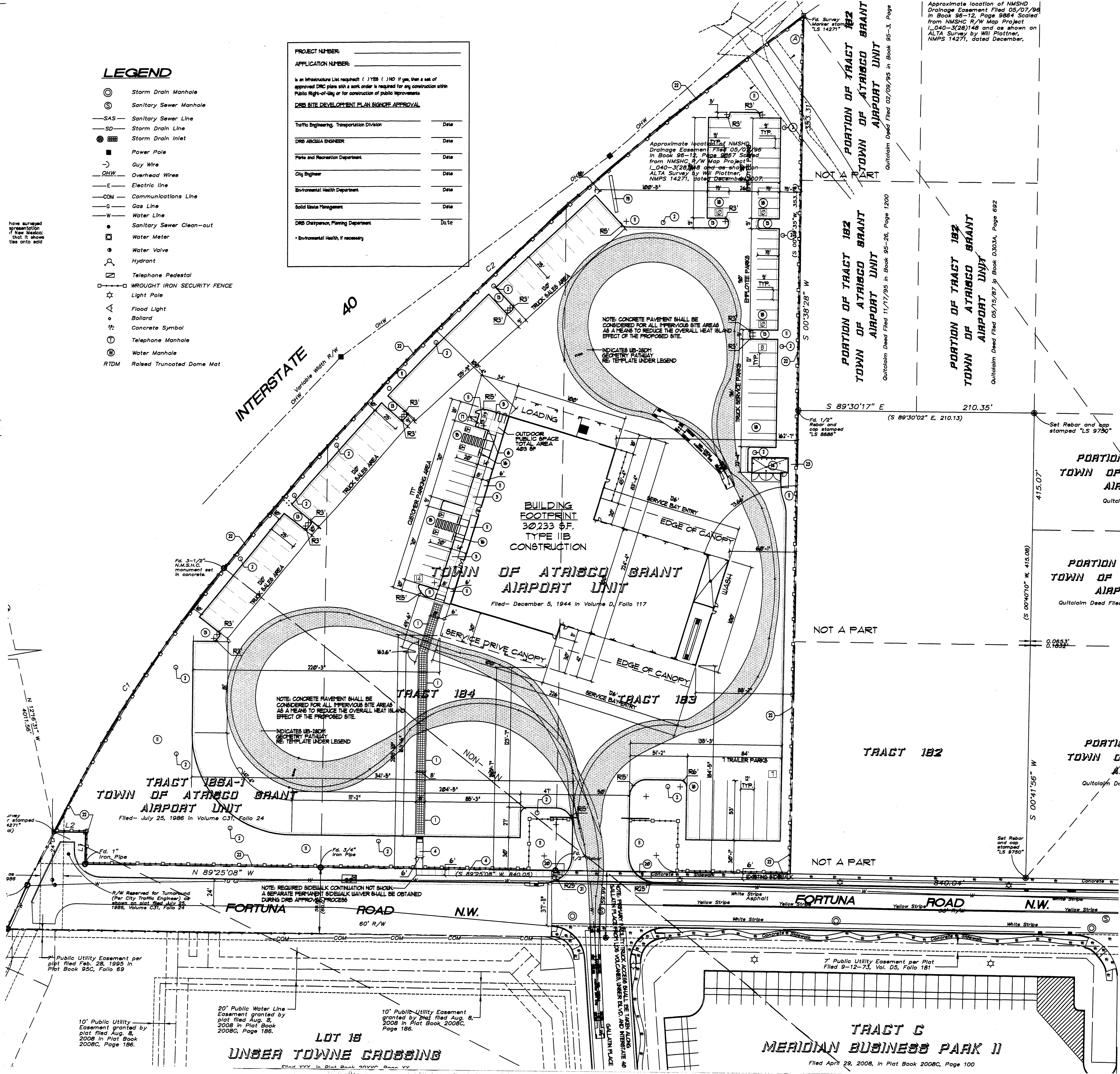
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

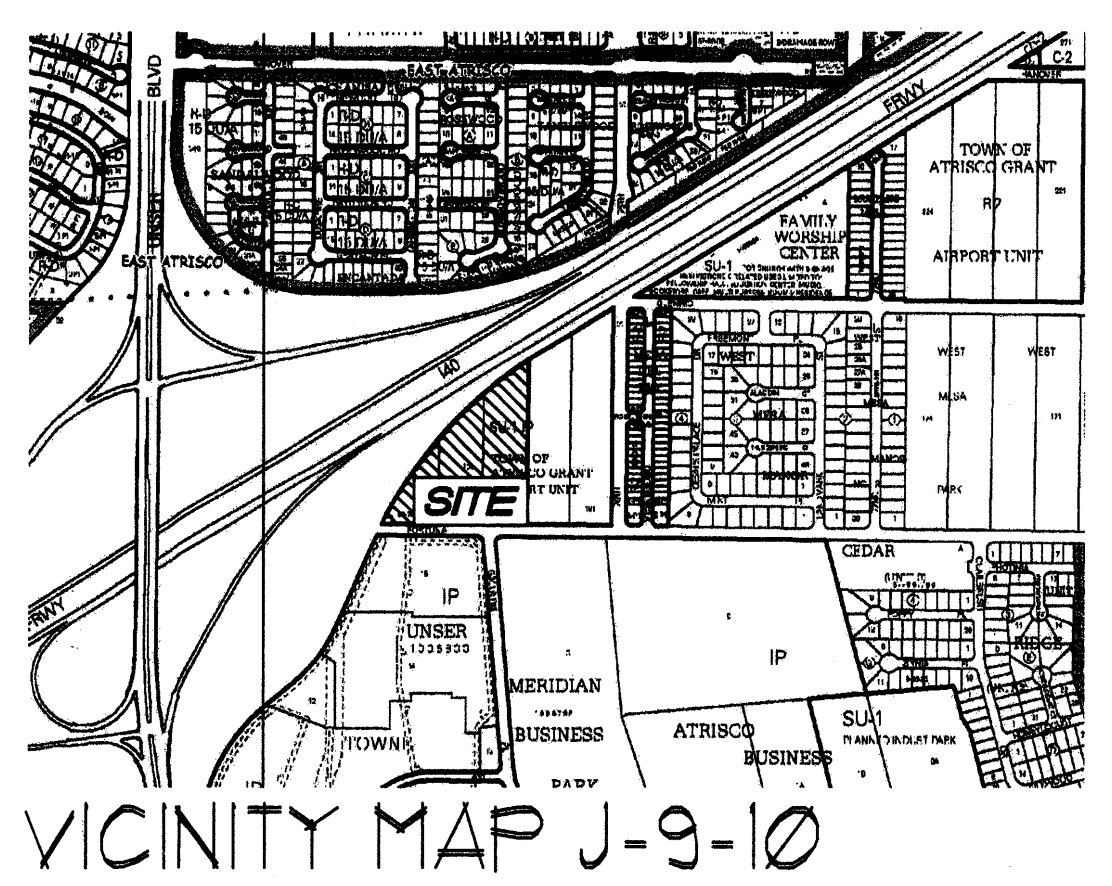
**DPS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DPS AECOM ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DPS Outperson, Planning Department	Date
Environmental Health, if necessary	Date

how surveyed representation if new location that it shows ties into old



Approximate location of NMSHD Drainage Easement Filed 05/07/98 in Book 96-12, Page 9884 Scaled from NMSHC R/W Map Project L-040-3(28)148 and as shown on ALTA Survey by Will Plotner, NMP5 14271, dated December.



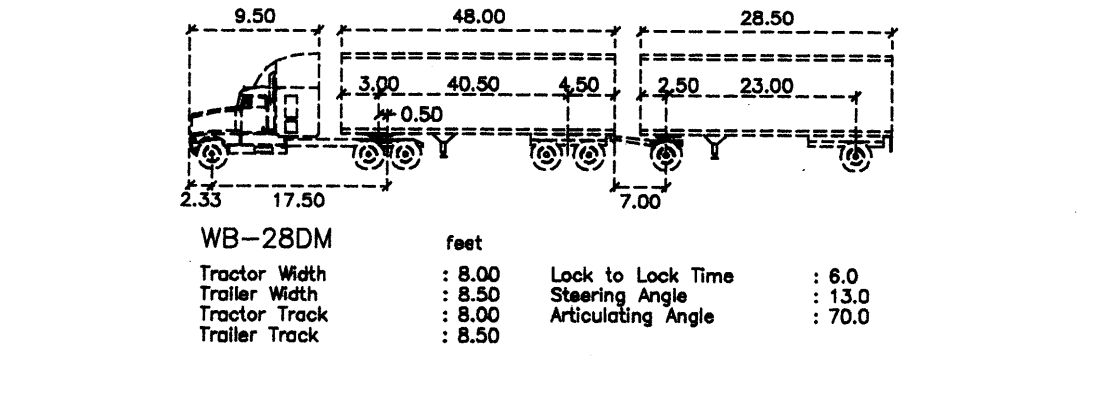
SITE DATA TABLE		INLAND KENWORTH	
LEGAL DESCRIPTION	TOWN OF ATRISCO GRANT AIRPORT UNIT.	TOTAL ACRES	29.448 SF OR 6.78 AC
EXISTING ZONING	BU-1P WITH TRUCK SALES AND SERVICE	PROPOSED ZONING	BU-1P WITH TRUCK SALES AND SERVICE
BUILDING SIZE	30233 SF TOTAL	PROPOSED USES	TRUCK SALES AND SERVICE
TOTAL PARKING PROVIDED	93 SPACES	TOTAL PARKING REQ.	88 SPACES
HC PROVIDED	4 HC (INCLUDING 4 VAN ACCESSIBLE)	HC REQUIRED	4 HC SPACES
Bike Spaces Provided	5 Bike Spaces	Bike Spaces Required	3 Bike Spaces
Motorcycle Spaces Provided	3 Spaces	Motorcycle Spaces Required	3 Spaces

- KEYED NOTE:**
- ① 8" INTEGRALLY COLORED AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
  - ② LIGHT POLE LOCATION RE: DETAIL 3/A11
  - ③ CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11  
NOTE: TYP. SIDEWALK WIDTH ADJACENT BLDG = 8'  
RE: SITE PLAN FOR JOINT LAYOUT
  - ④ TYPICAL CONC. SITE SIDEWALK, DET 1/A11  
NOTE: TYP. SITE SIDEWALK WIDTH = 6'  
RE: SITE PLAN FOR JOINT LAYOUT
  - ⑤ INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY)  
RE: DETAIL 13/A12  
TYPICAL BIKE RACK GRAPHIC SYMBOL = [ ]
  - ⑥ BENCH LOCATION RE: DETAIL 10/A12  
TYPICAL BENCH/URBUSE GRAPHIC SYMBOL = [ ]
  - ⑦ HANDICAP RAMP RE: 15/A11
  - ⑧ HANDICAP RAMP RE: 16/A11
  - ⑨ HANDICAP RAMP RE: 5/A11
  - ⑩ HANDICAP RAMP RE: 11/A11
  - ⑪ INDICATES LANDSCAPE PLANTING AREA  
GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION  
RE: LANDSCAPE PLAN FOR INFO
  - ⑫ NOT USED
  - ⑬ 6" HIGH CONC. ISLAND RE: DET. 9/A11  
RE: SITE GRADING PLAN FOR INFO
  - ⑭ REFUSE ENCLOSURE RE: DET. 4/A13
  - ⑮ HC PARKING STALL RE: DET 2/A12
  - ⑯ HC PARKING SIGNAGE RE: DET 1/A12
  - ⑰ WHEELSTOP RE: DET 4/A12
  - ⑱ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
RE: SITE PLAN FOR LOCATIONS. RE: DET. 12/A12 FOR SIGN DET.
  - ⑲ MOTORCYCLE SIGNAGE RE: DET 12/A12
  - ⑳ PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN  
ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
  - ㉑ PROPOSED PYLON SIGN RE: DETAIL 8/A13 FOR SIGN ELEV.
  - ㉒ HANDICAP RAMP PER COA STD DUIS P.246  
AT 1% MAX SLOPE WITH TRUNCATED DORIES PER COA STANDARDS
  - ㉓ INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - ㉔ INDICATES SITE PERIMETER SECURITY FENCE  
RE: DETAIL 9 1/2/A13
  - ㉕ INDICATES EVERGREEN HEDGE FOR SCREENING  
RE: LANDSCAPE PLAN

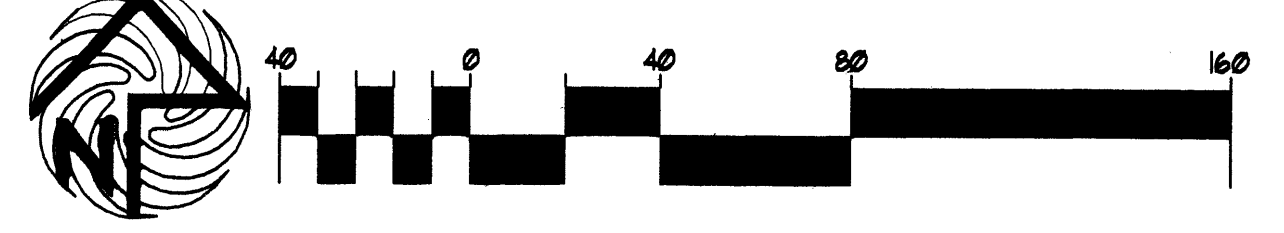
NOTE: EXISTING ON-SITE LOT LINES SHALL BE VACATED UNDER FUTURE PLATTING ACTION WITH COA  
 NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW AS REQUIRED UNDER COA CODE SECTION 14-16-3-18

**LINE TYPE LEGEND**

EXISTING PROPERTY LINE: ————  
 EXISTING CURB LINE: - - - - -  
 PROPOSED CURB LINE: ————



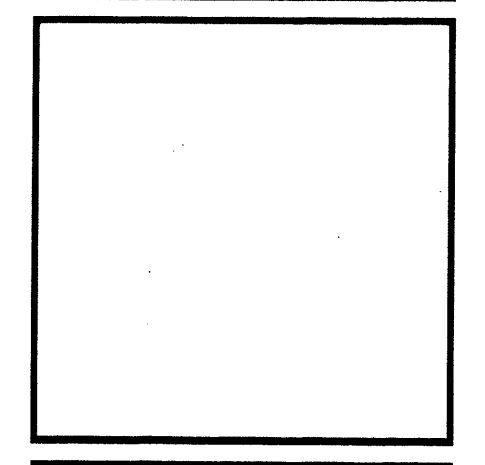
SITE PLAN FOR BUILDING PERMIT  
 SCALE: 1"=40'



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

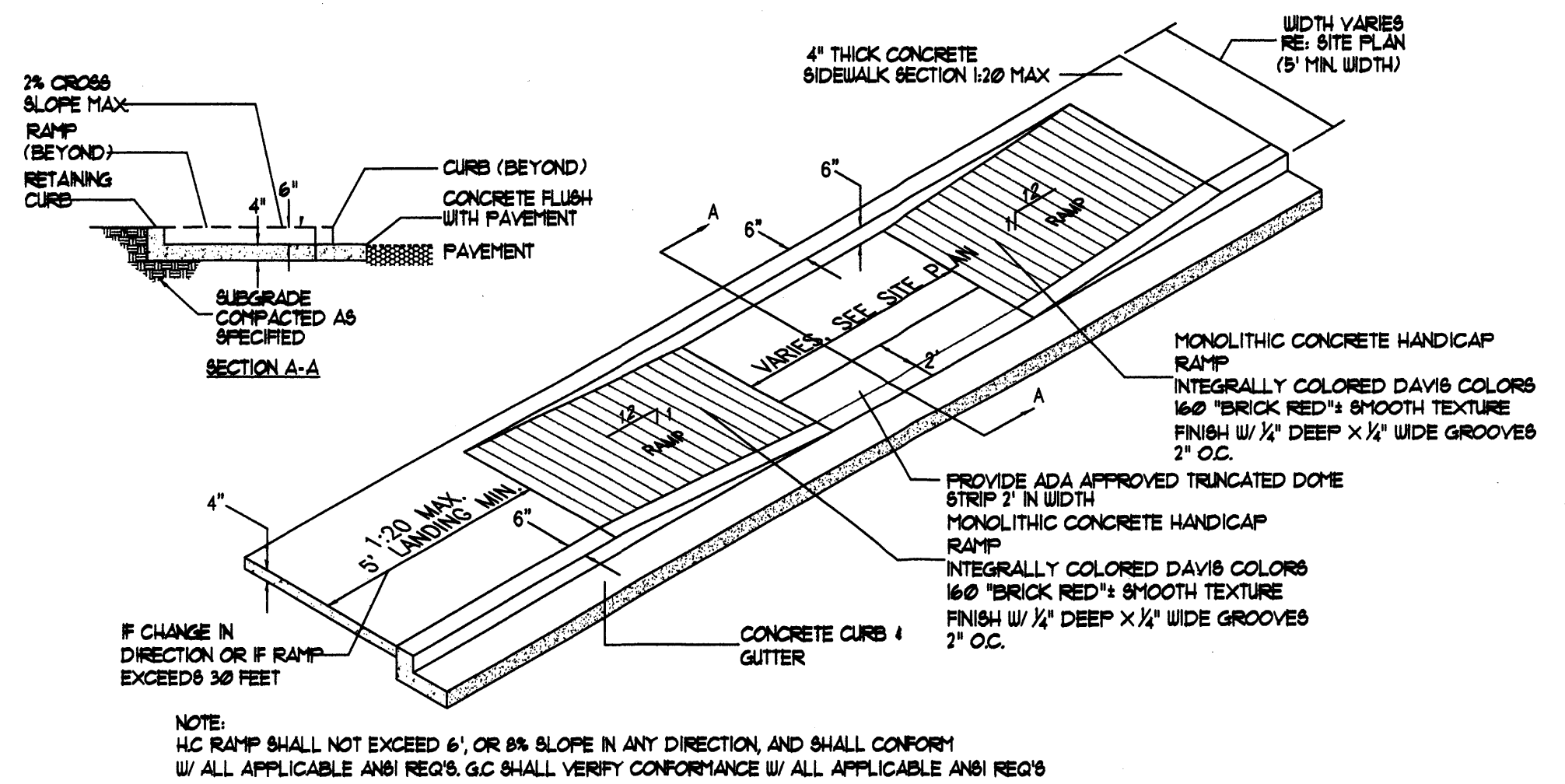
**MODULUS ARCHITECTS**

1001 UPPER AVE. N.W. SUITE 3710P  
 BIJOUQUERIE, NEW MEXICO  
 (505) 338-1499 FAX (505) 338-4988

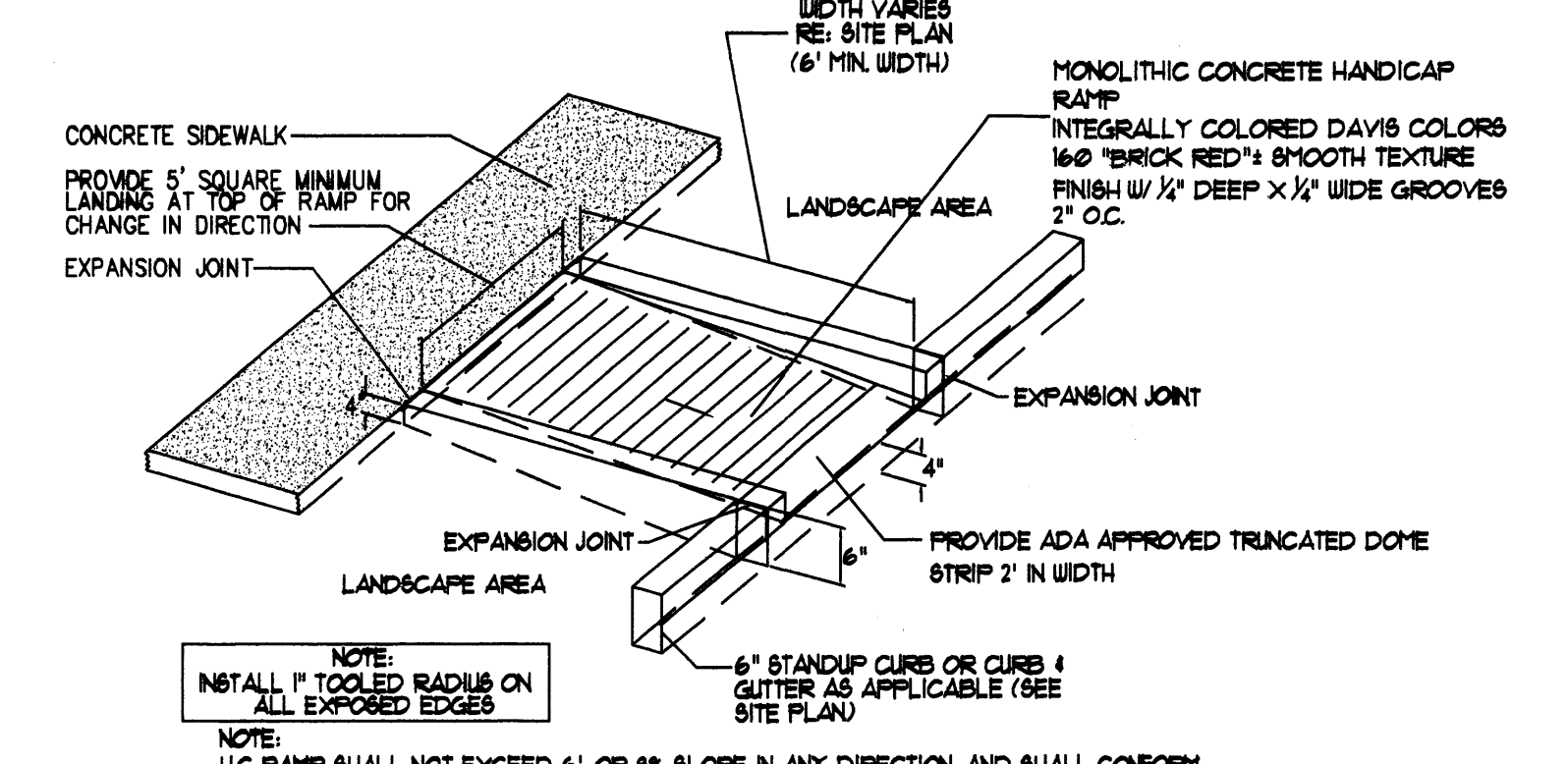


PROJECT TITLE INLAND KENWORTH N1/4 OF GALATIN AND FORTUNA ROAD ALEXANDERQUE NEW MEXICO	DRAWN BY: S-J
PROJECT NUMBER JOB NO. KU	SHEET NO. 1
PROJECT MANAGER STEPHEN DUNBAR, AIA	TITLE SITE PLAN FOR BUILDING PERMIT
DATE 8/8/12	SCALE AS NOTED

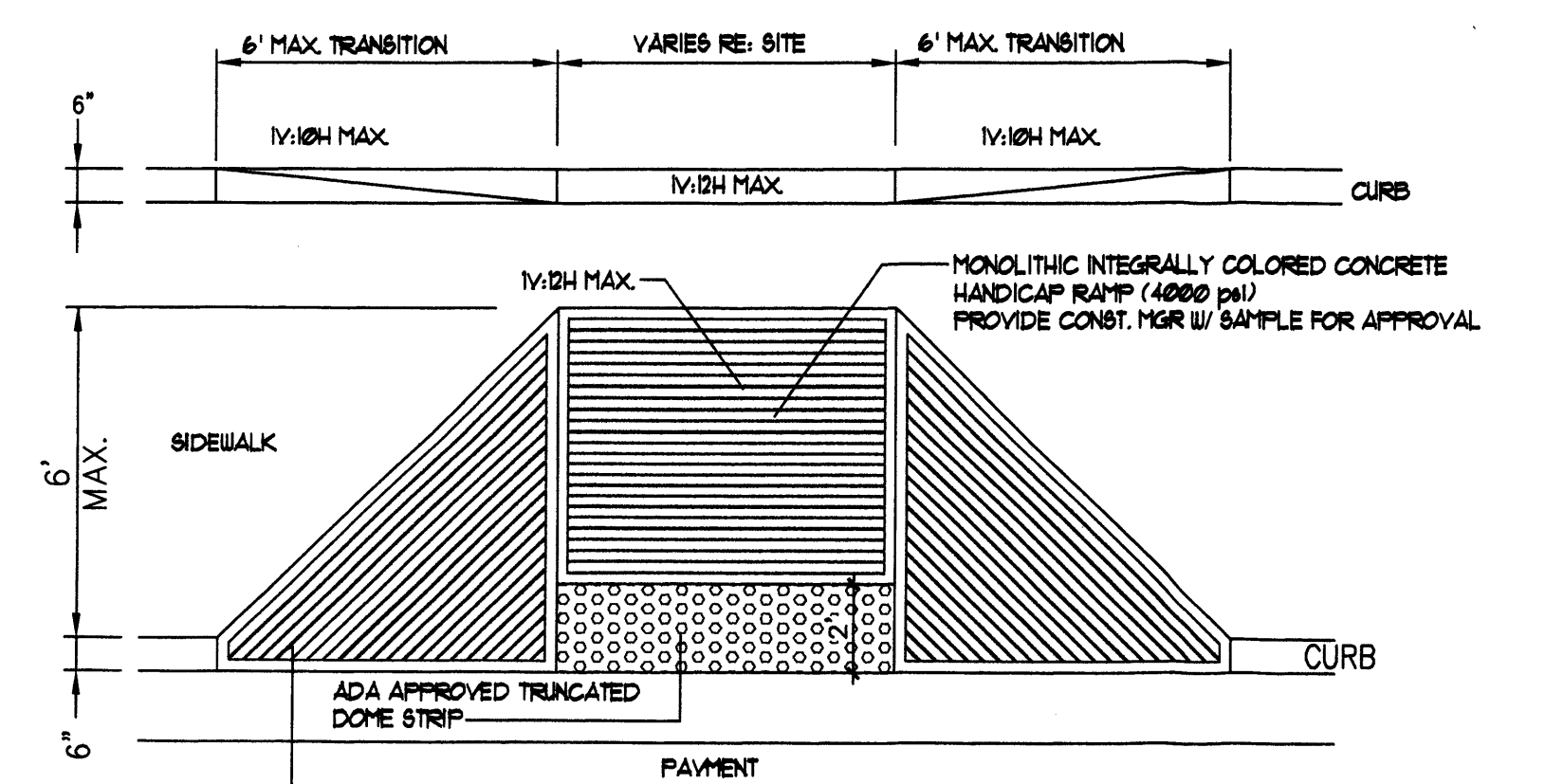




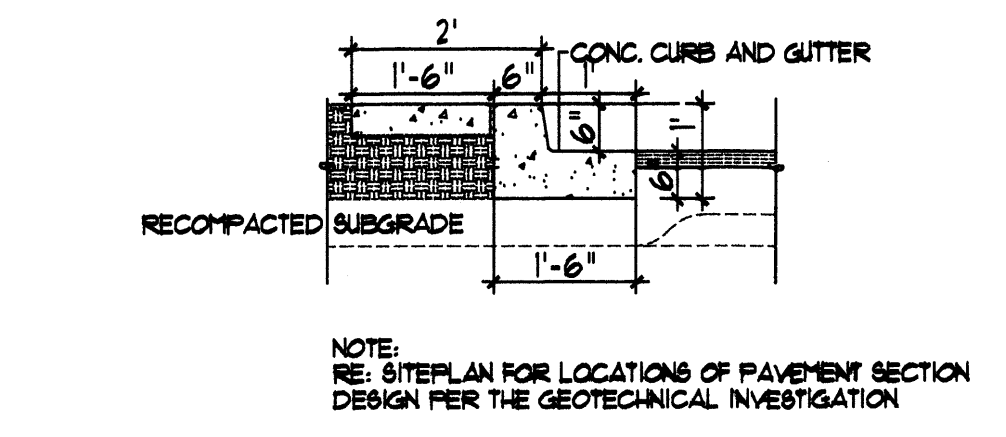
11 TAPERED RAMP DETAIL  
N.T.S.



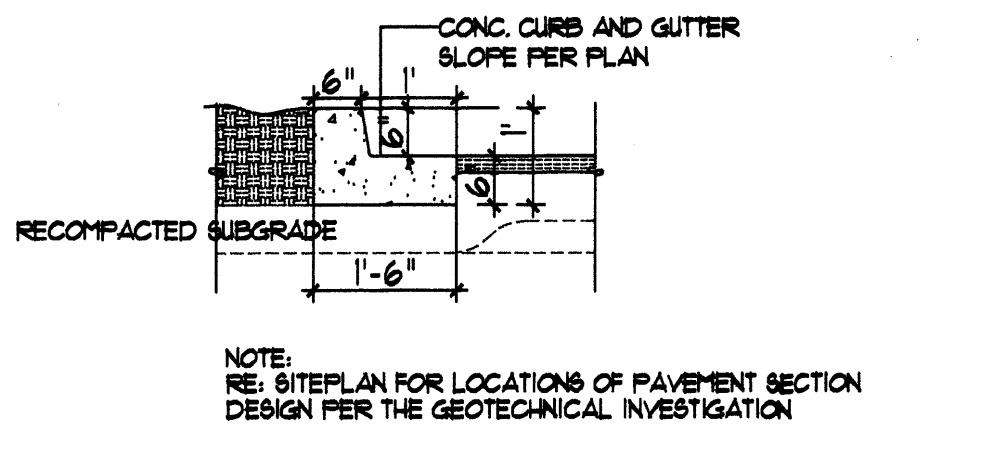
16 CURBED RAMP DETAIL  
N.T.S.



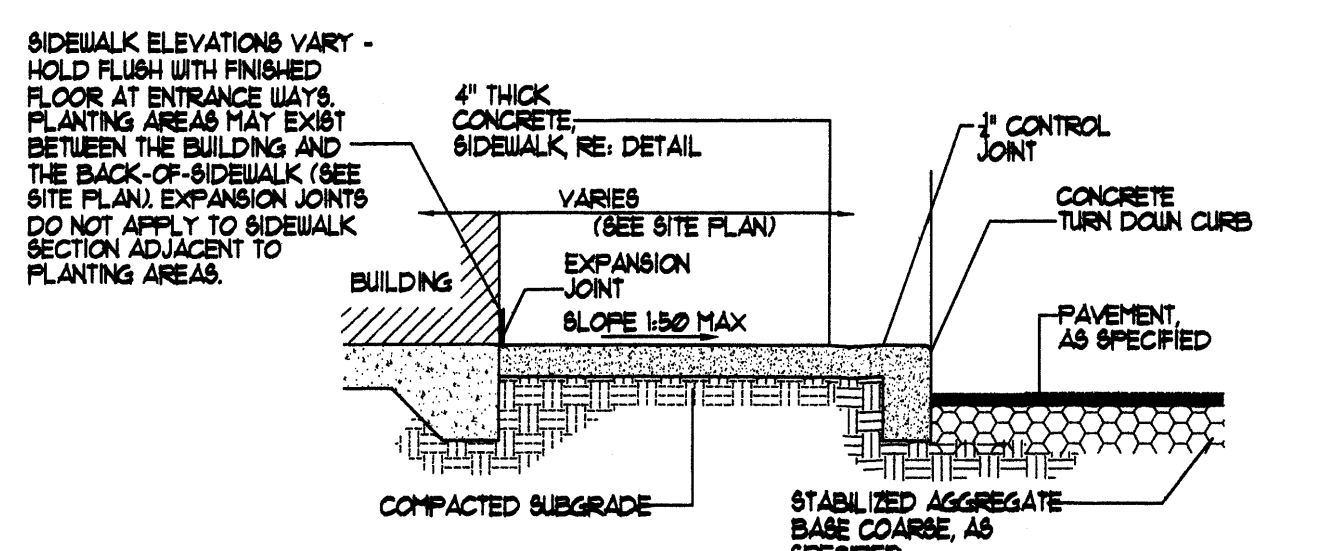
15 FLARED H.C. RAMP  
N.T.S.



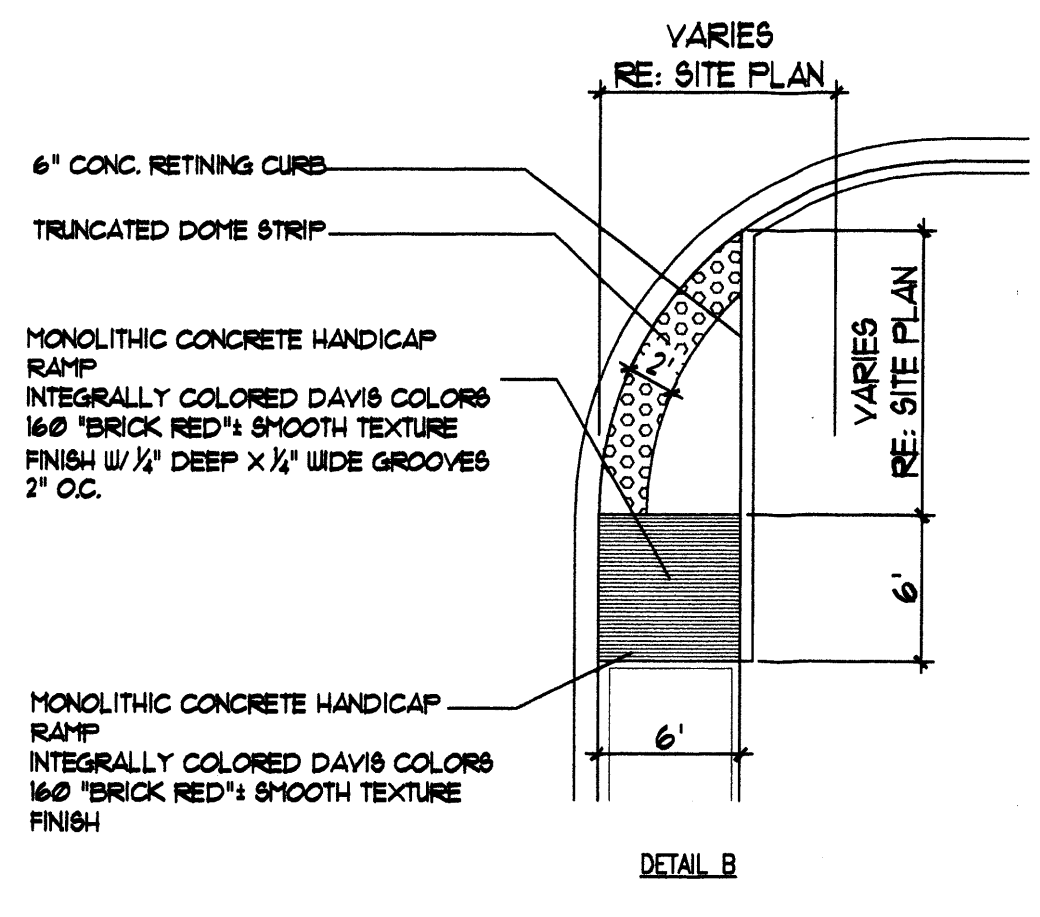
11 ISLAND CURB DETAIL  
N.T.S.



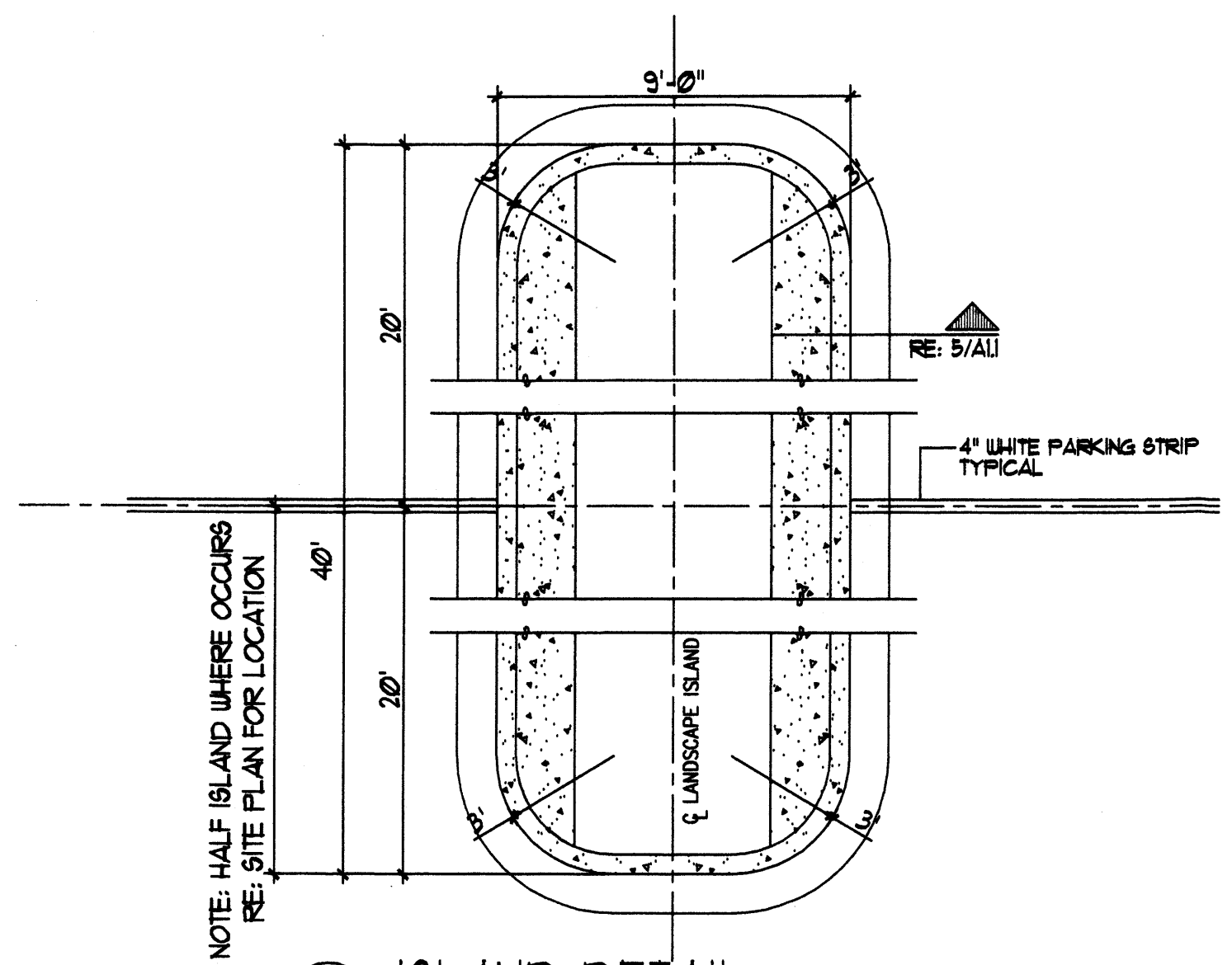
10 TYPICAL CURB DETAIL  
N.T.S.



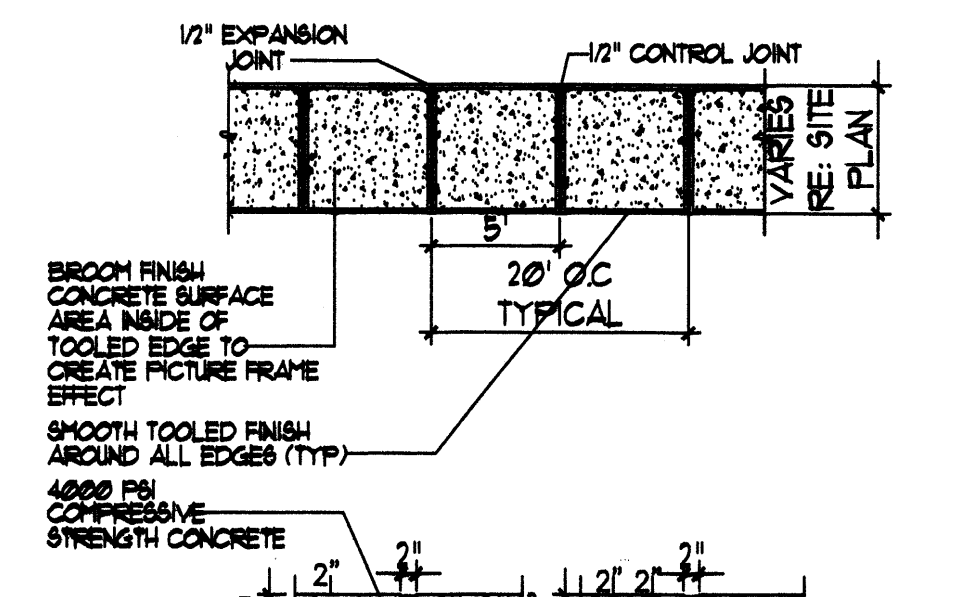
8 SIDEWALK WITH TURNDOWN CURB SEC.  
N.T.S.



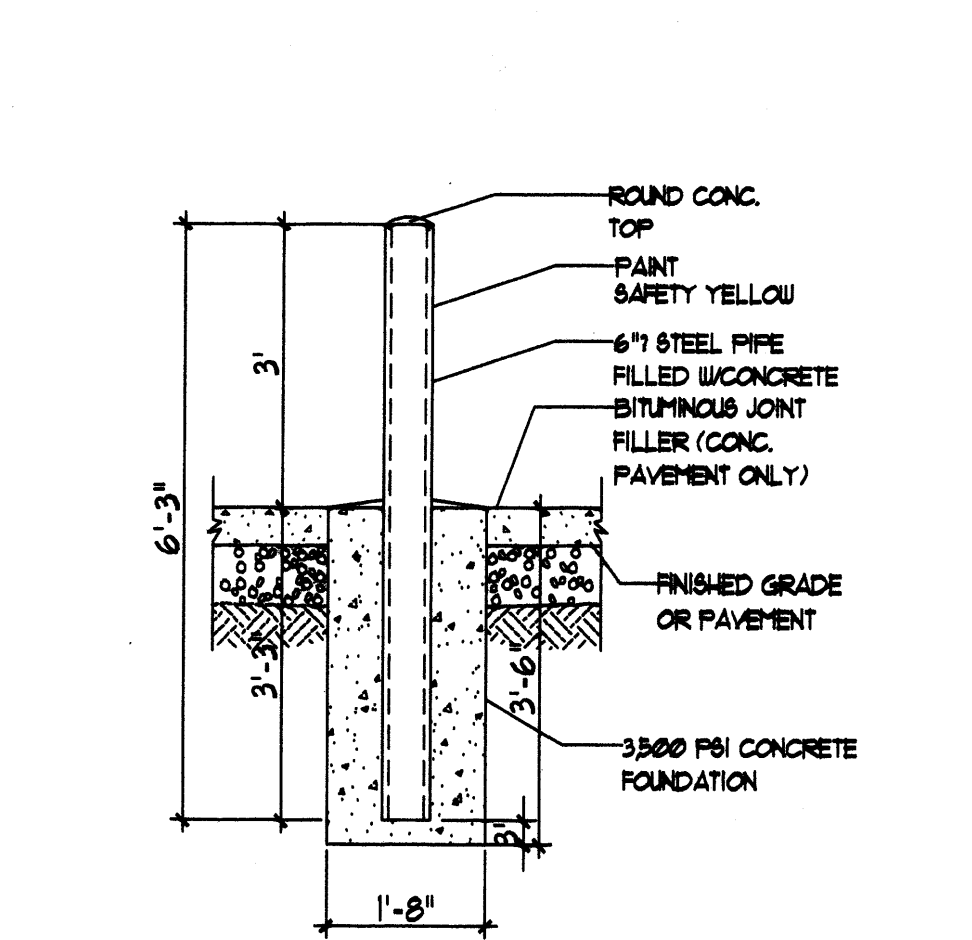
5 END ISLAND WITH WALK RAMP  
N.T.S.



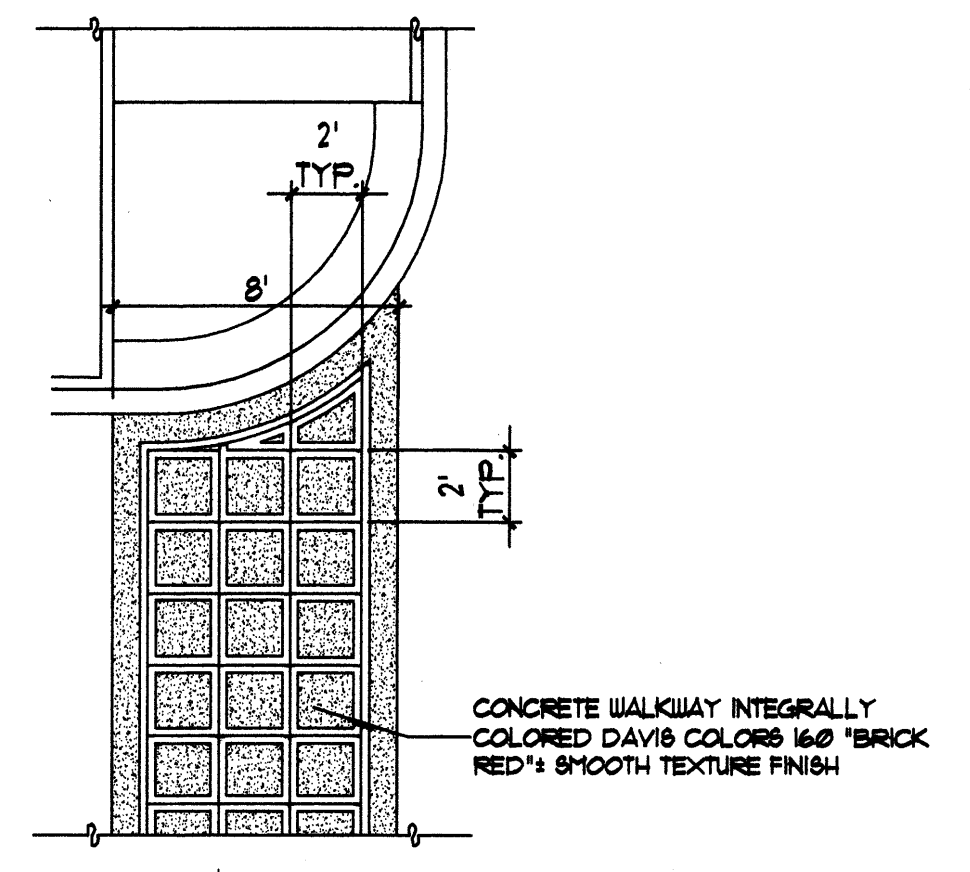
9 ISLAND DETAIL  
N.T.S.



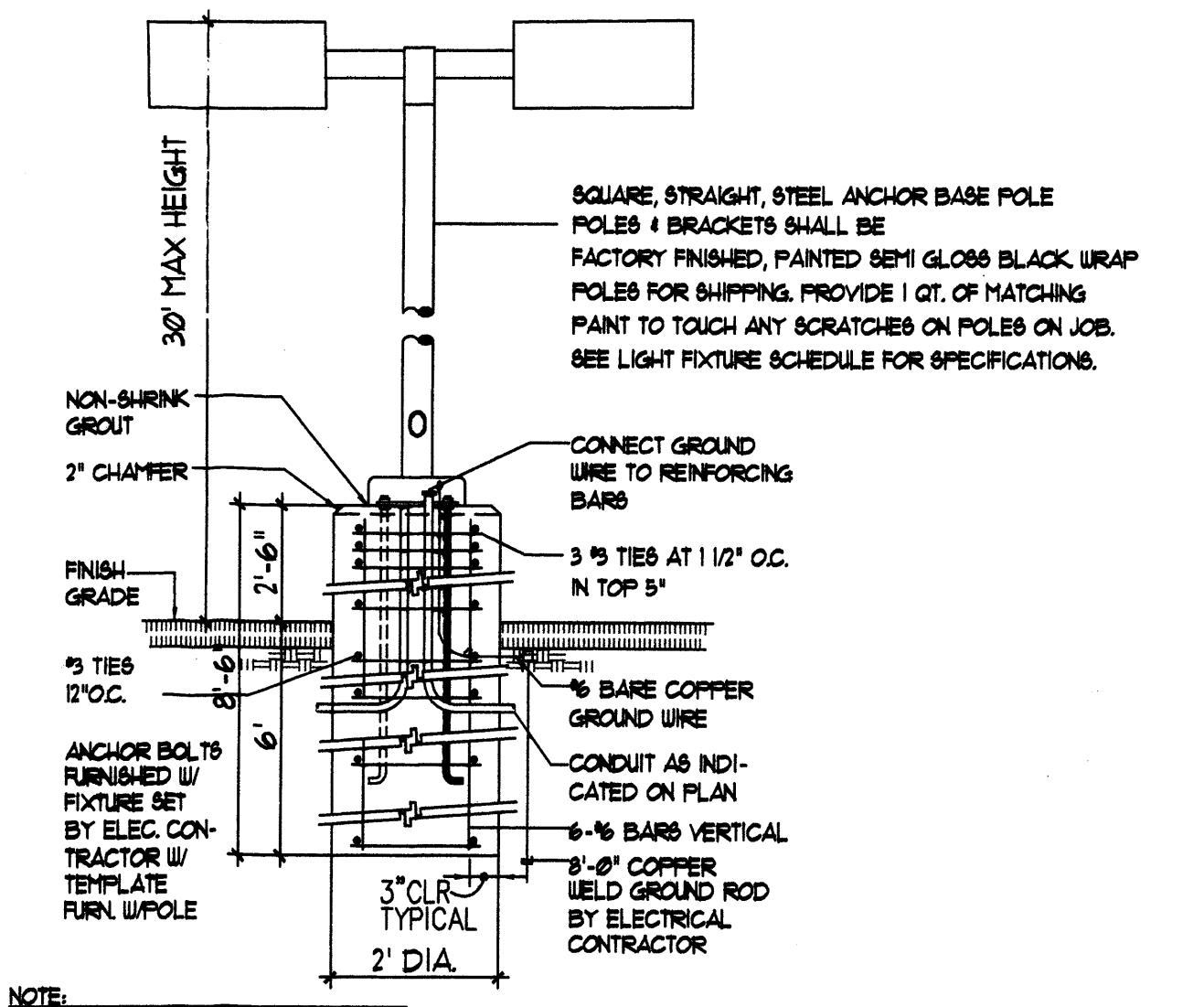
7 TYPICAL SIDEWALK  
N.T.S.



4 BOLLARD DETAIL  
N.T.S.



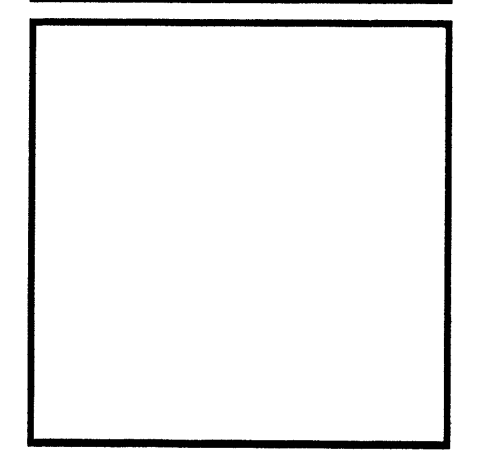
6 TYPICAL CONC. CROSSWALK  
N.T.S.



3 LIGHT POLE DETAIL  
N.T.S.

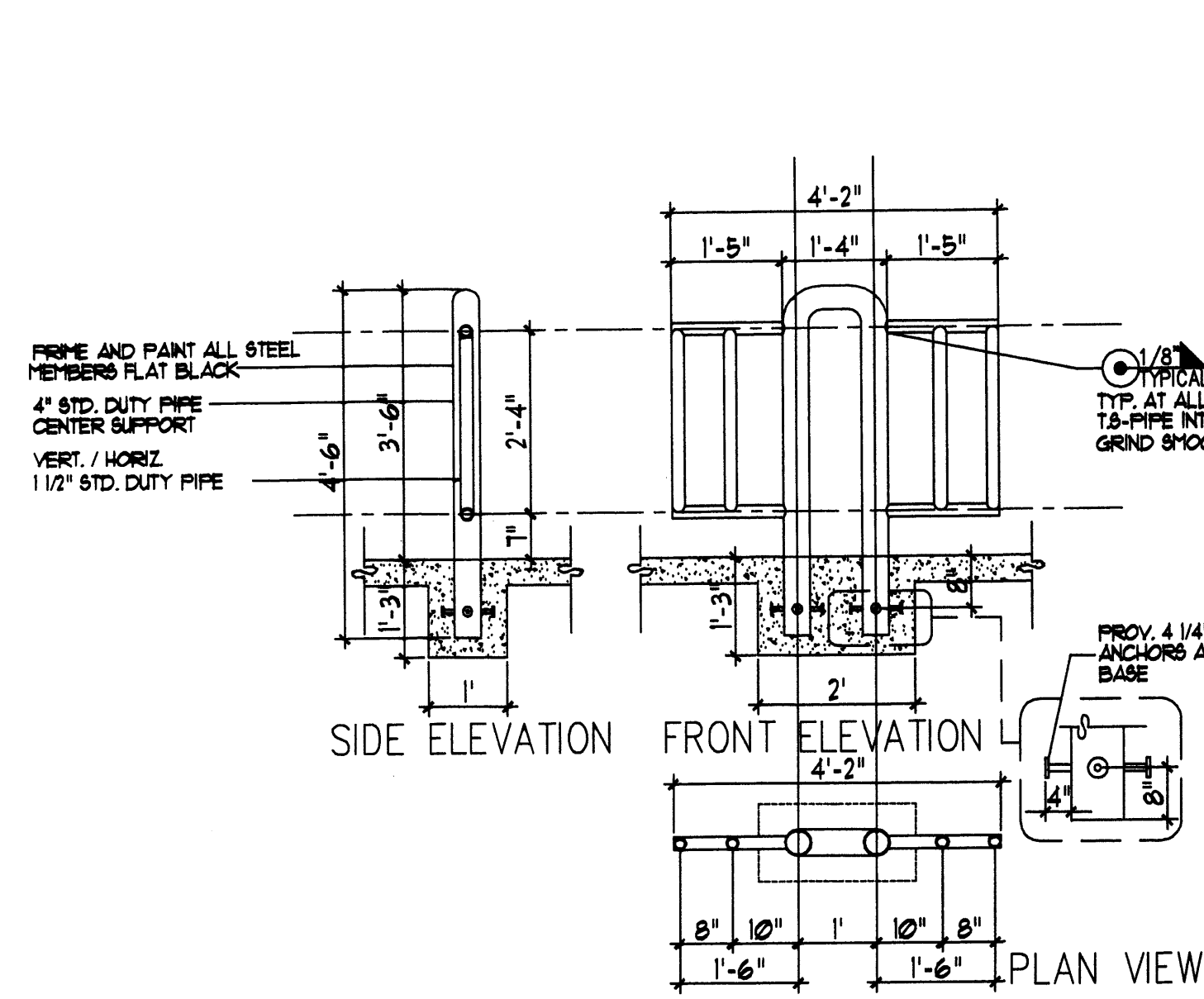
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 1000 UPPER AVE. N.W. SUITE 100  
 BOULDER, NEW MEXICO 80501  
 (303) 441-1000 FAX (303) 441-1498

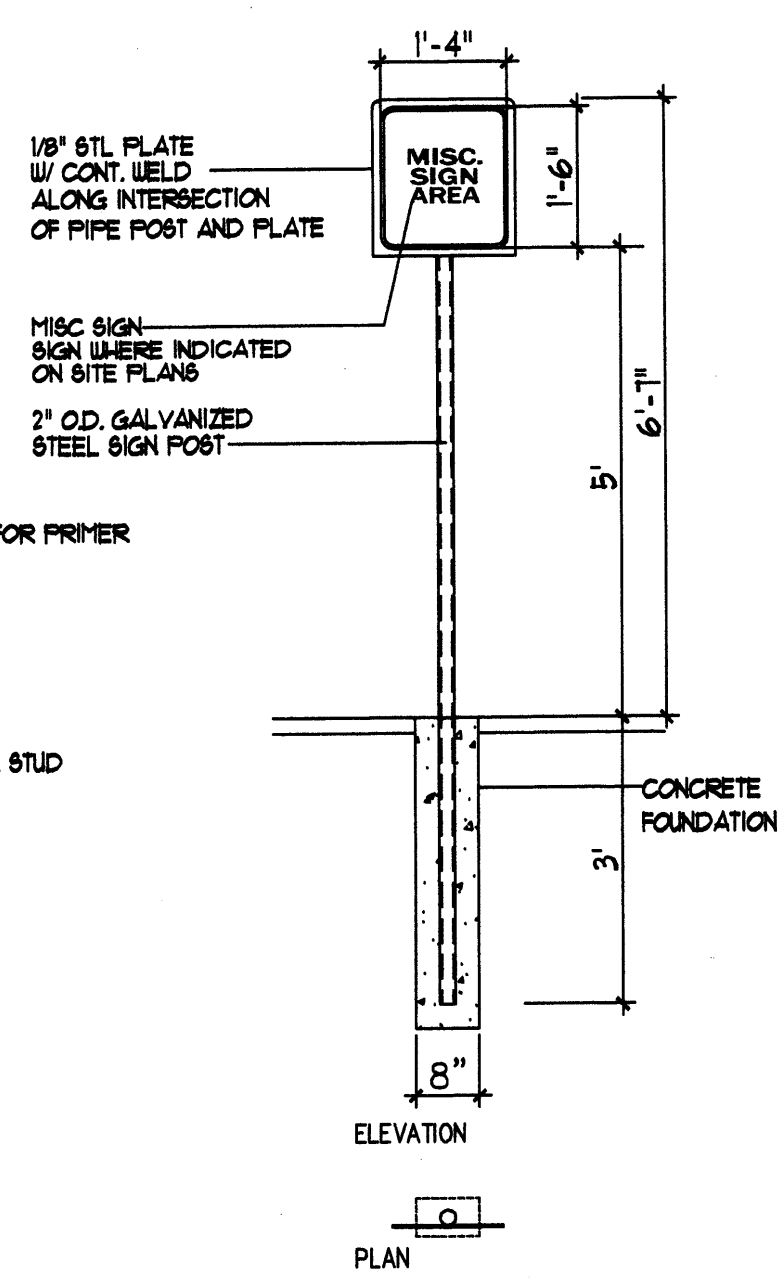


PROJECT TITLE	INLAND KENWORTH NEC. OF FORTUNA AND GALLATIN ALBUQUERQUE NEW MEXICO
PROJECT NUMBER	STEPHEN DUNBAR, AIA
JOB NO.	XXXXX
DRAWN BY:	J.S.
SHEET TITLE	SITE DETAILS

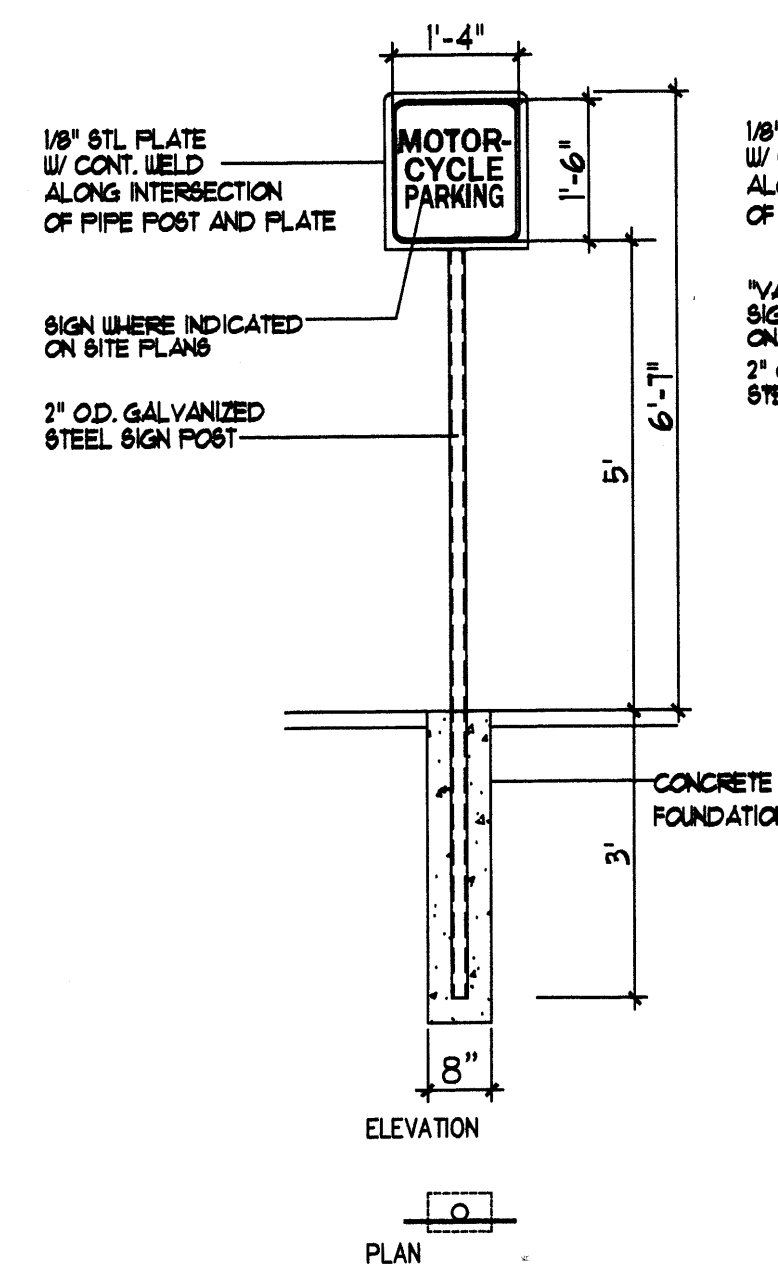
DATE:	4/14/12
SCALE:	AS NOTED



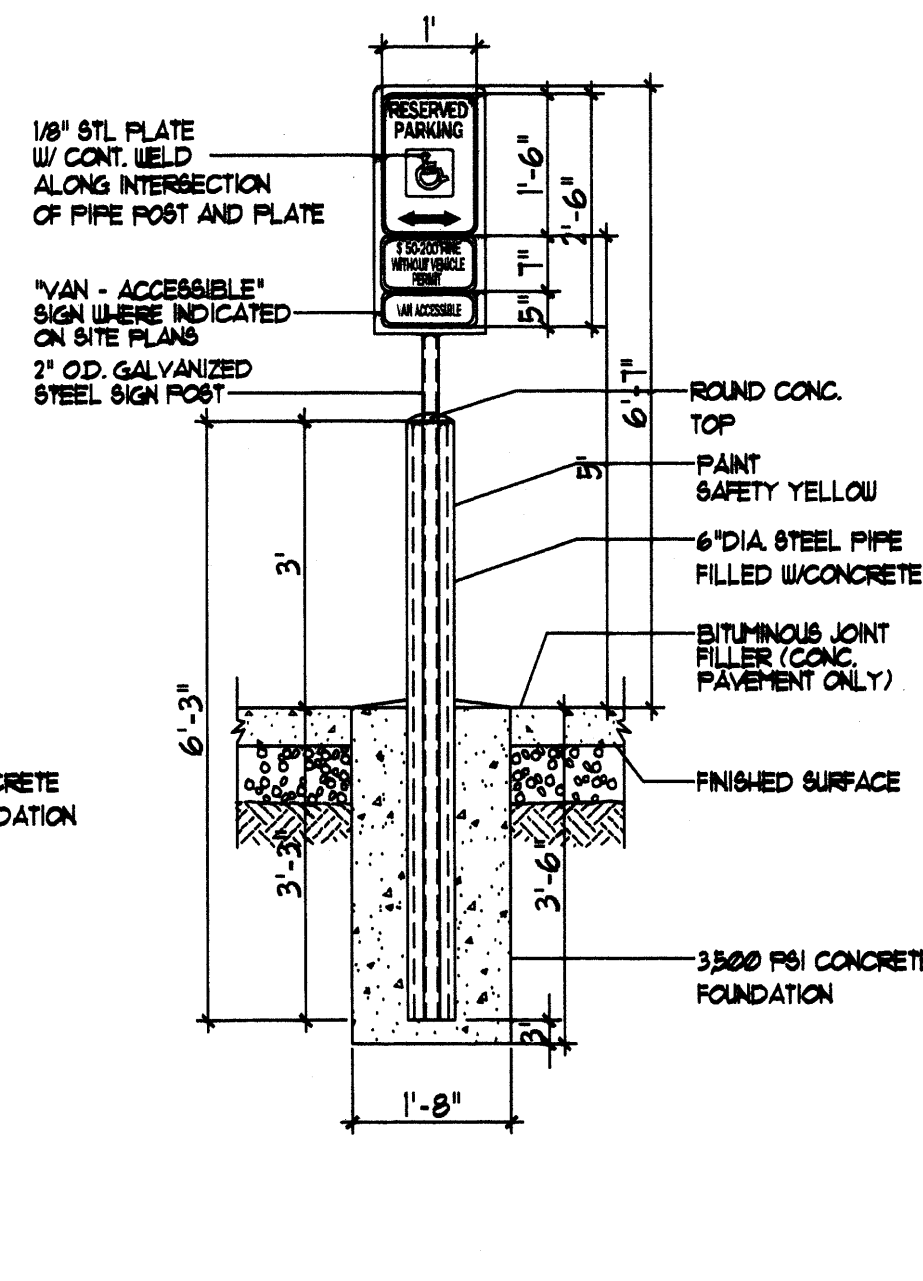
13 BIKE RACK  
NTS



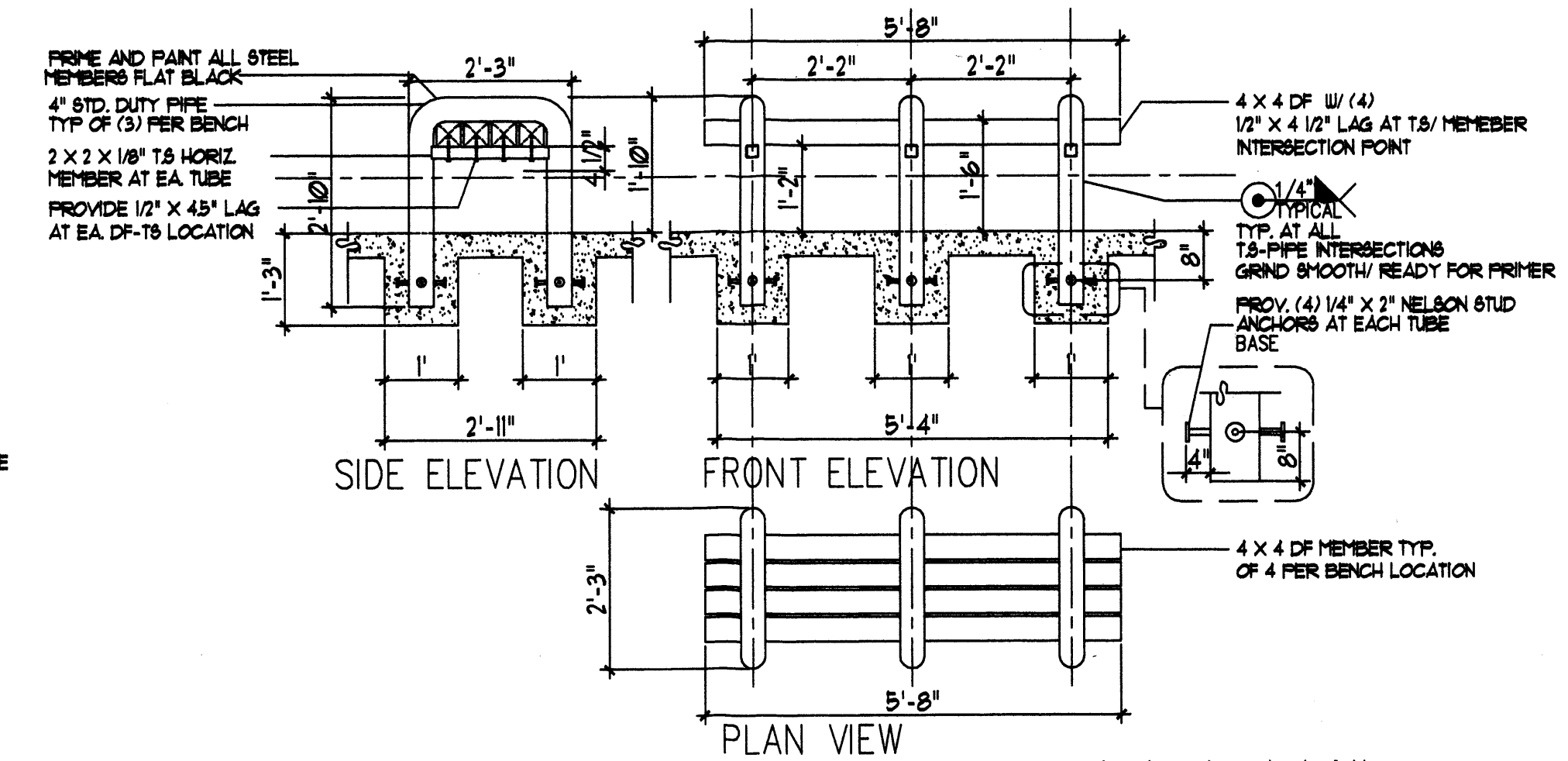
12 MISC. SIGNAGE  
NTS



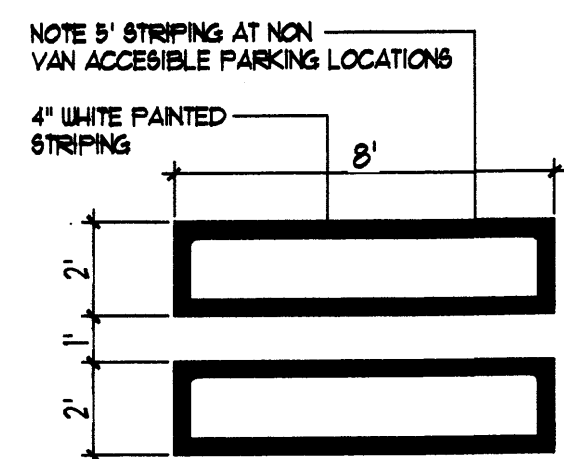
12A MOTORCYCLE SIGNAGE  
NTS



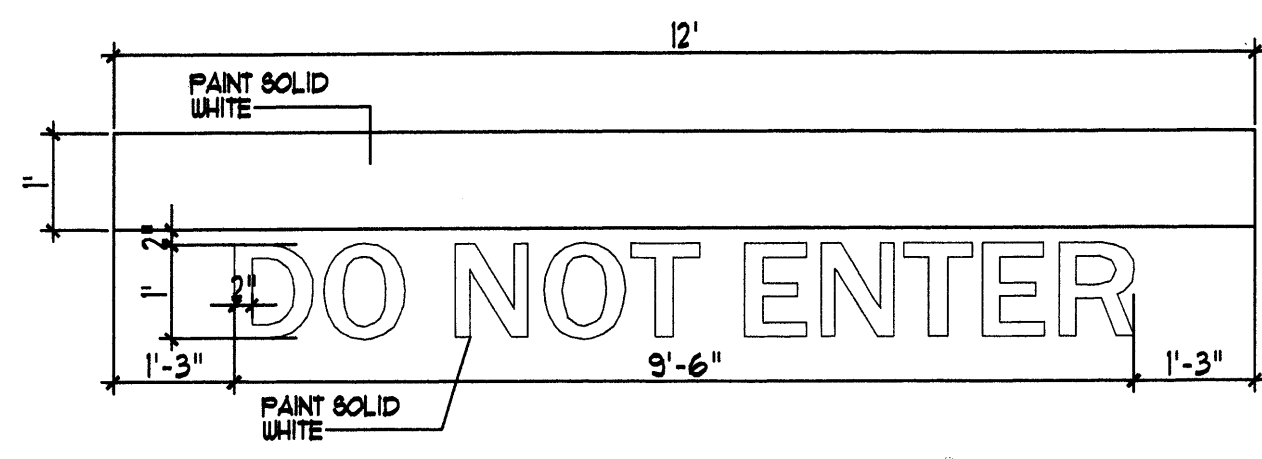
11 H.C. SIGNAGE  
NTS



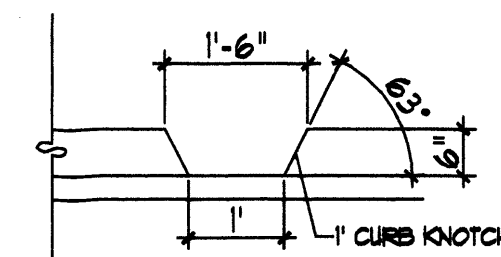
10 BENCH DETAIL  
NTS



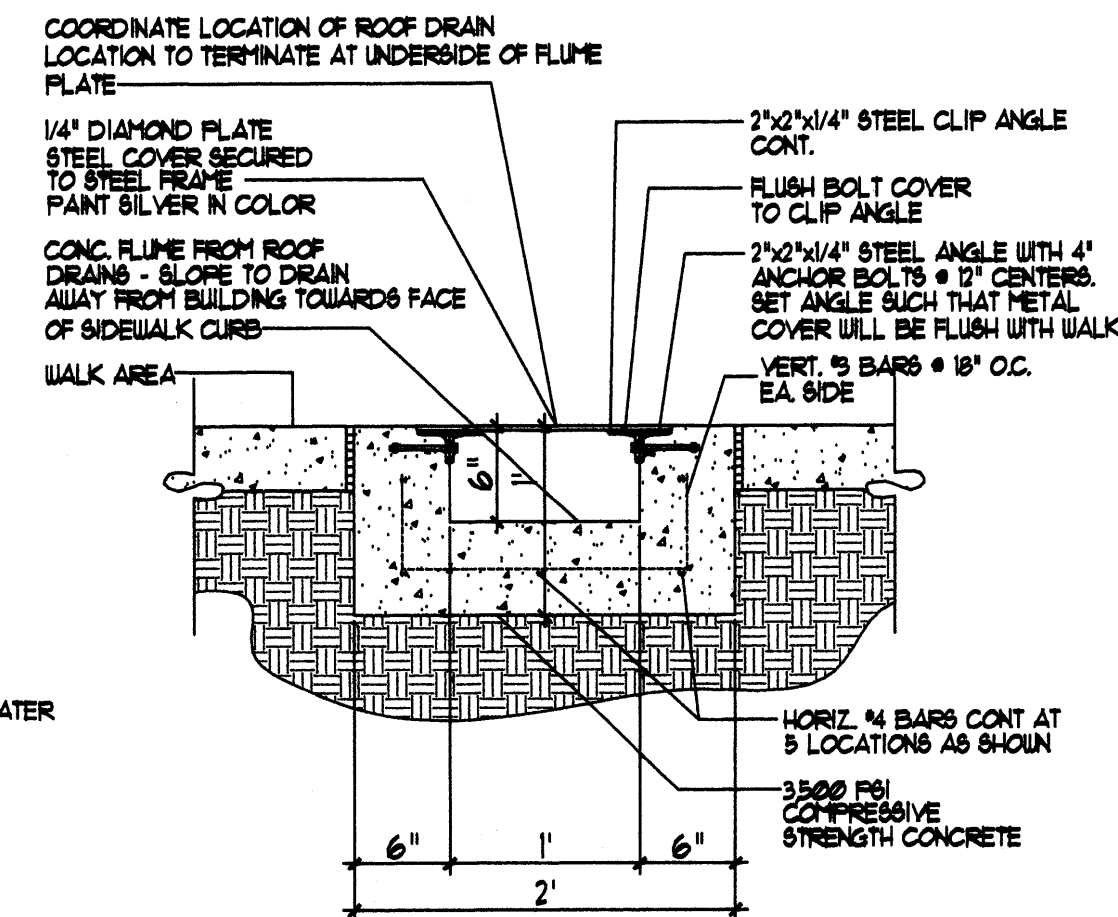
9 H.C. PARKING-WALK PAINT DETAIL  
NTS



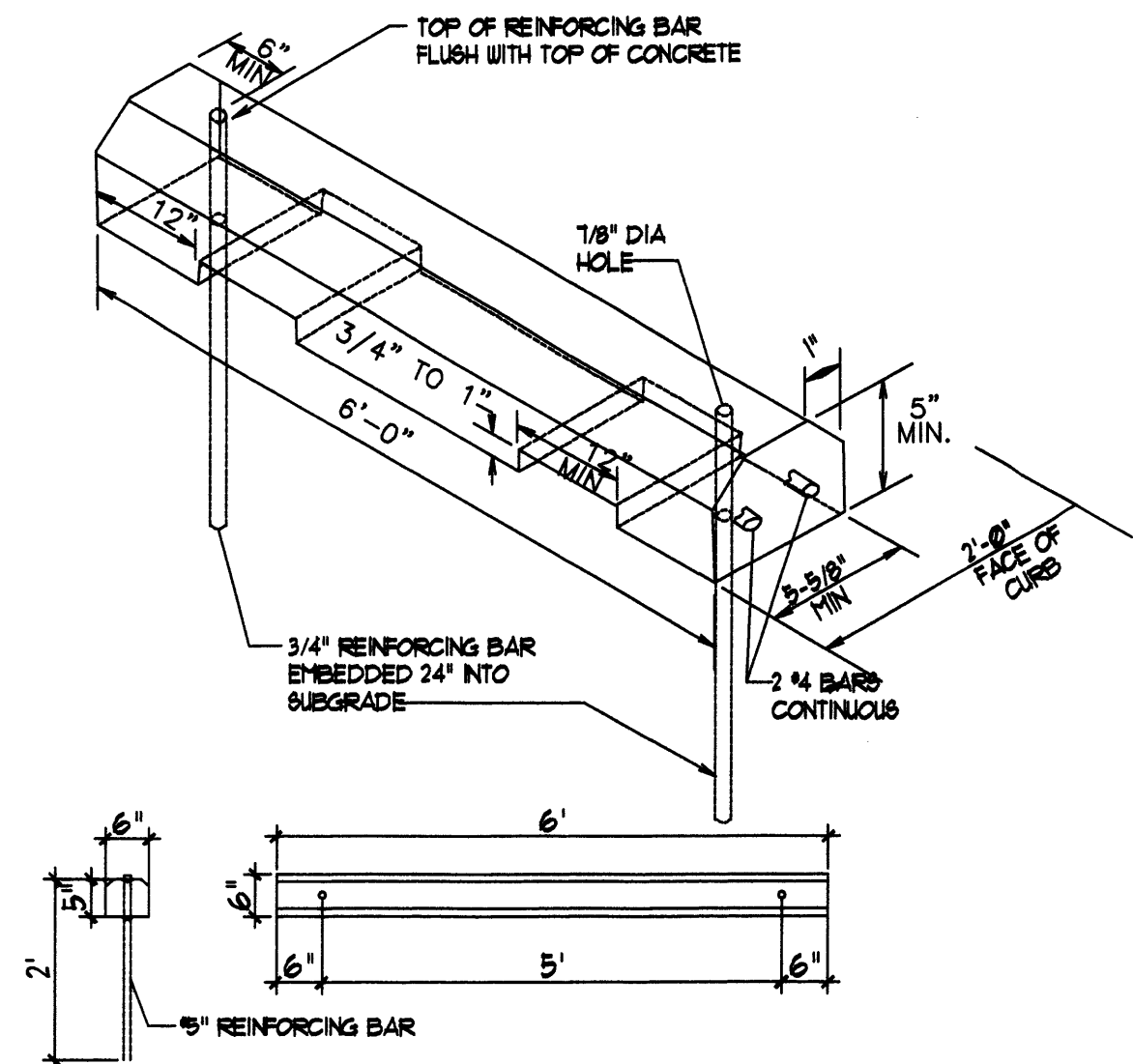
8 SITE DIRECTIONAL PAINT DETAIL  
NTS



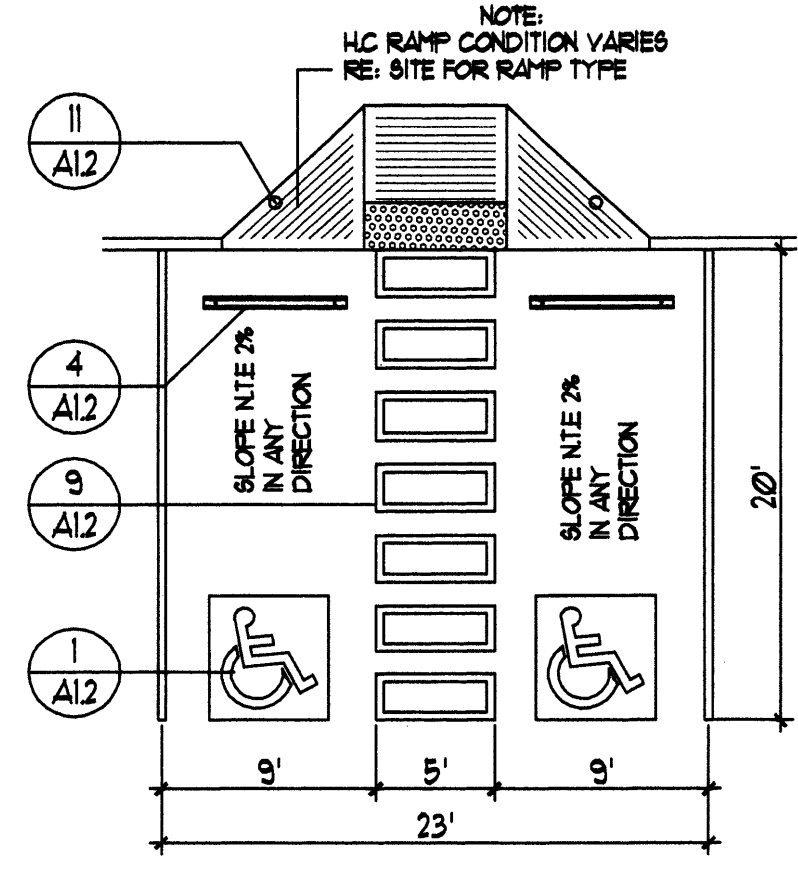
7 CURB NOTCH  
NTS



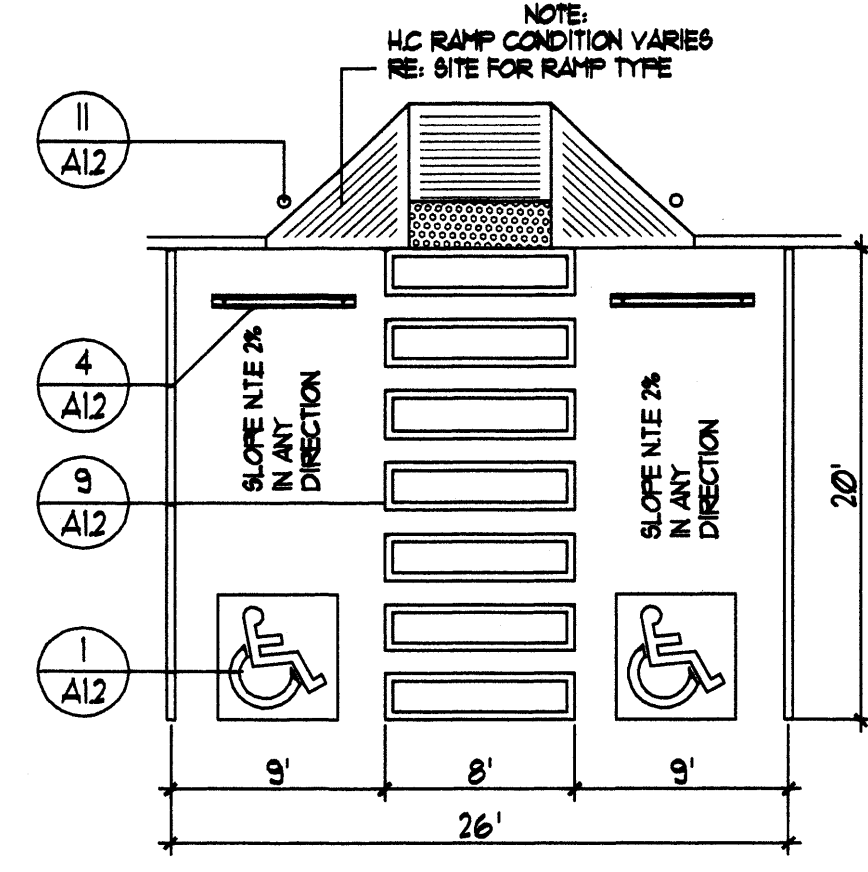
6 CONCRETE FLUME DETAIL  
NTS



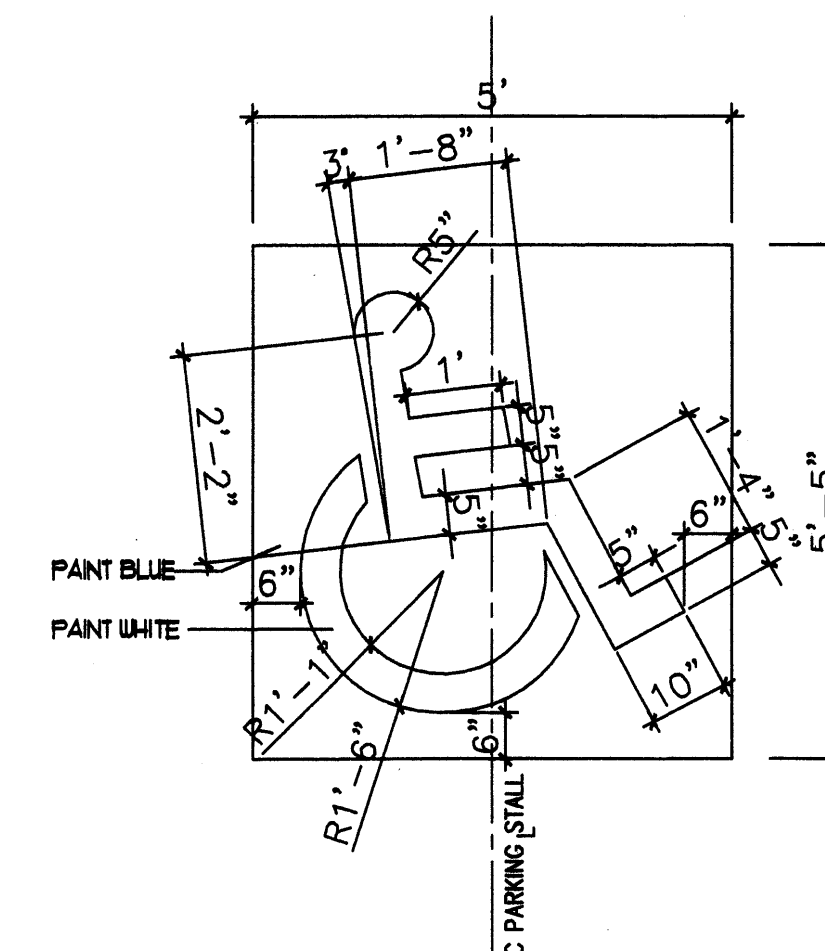
4 WHEEL STOP  
NTS



3 H.C. PARKING PLAN DETAIL  
NTS



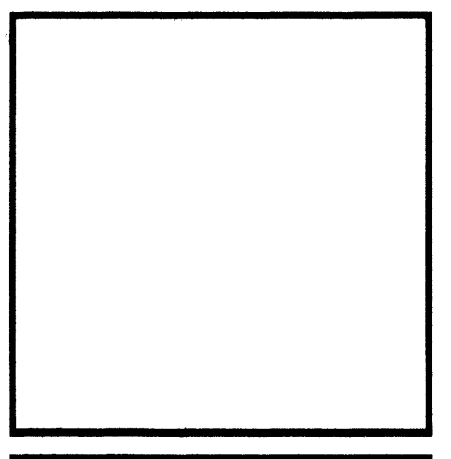
2 H.C. PARKING PLAN DETAIL (VAN ACCESSIBLE)  
NTS



1 H.C. SIGNAGE  
NTS

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

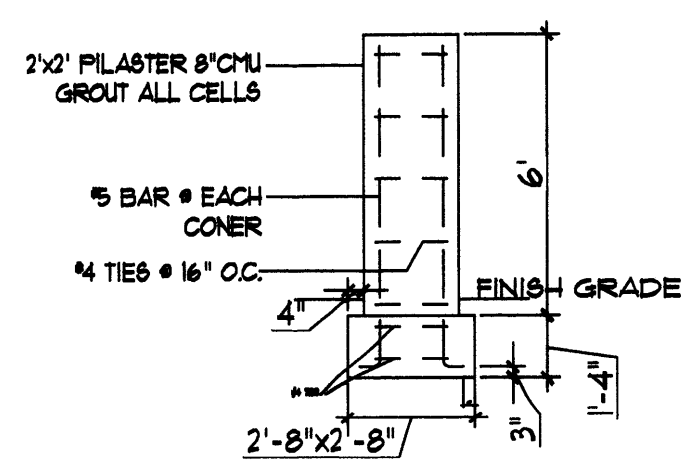
**MODULUS ARCHITECTS**  
 1000 CUPPER AVE. N.W. SUITE 102  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



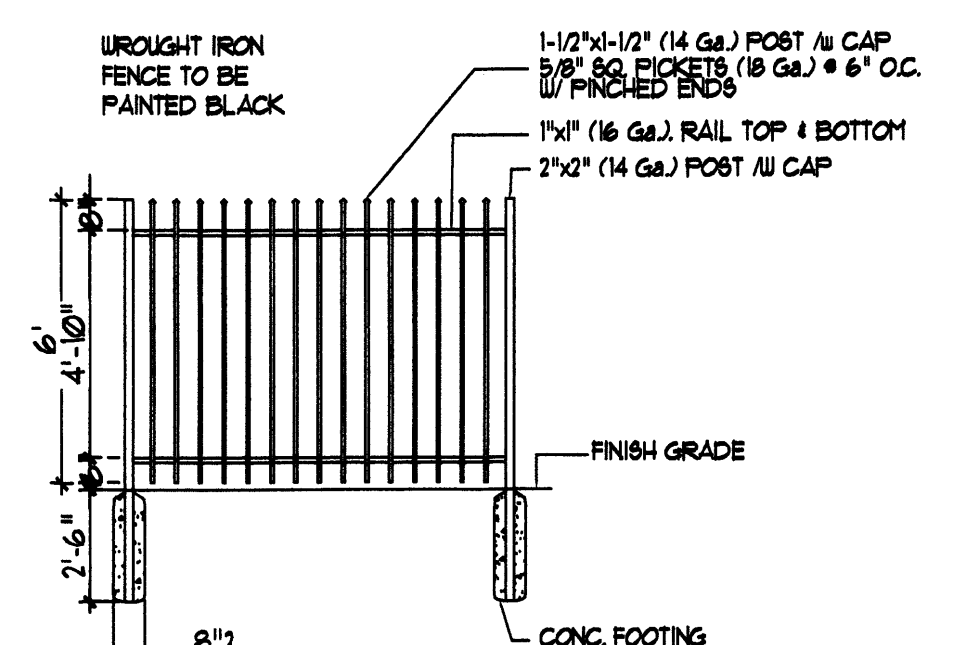
PROJECT TITLE	INLAND KENWORTH NEC OF FORTINA AND GALLATIN ALBUQUERQUE NEW MEXICO
PROJECT NUMBER	STEPHEN DUNBAR AIA
JOB NO.	XXXXXX
DRAWN BY:	J5
SHEET TITLE	SITE DETAILS

DATE:	4/4/12
SCALE:	AS NOTED
SHEET:	A12

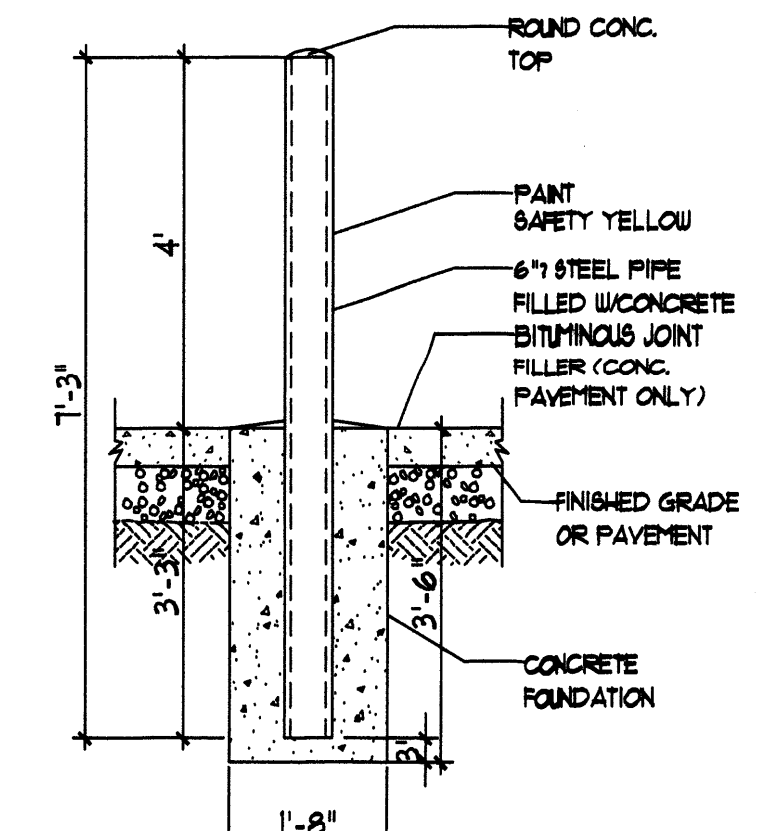




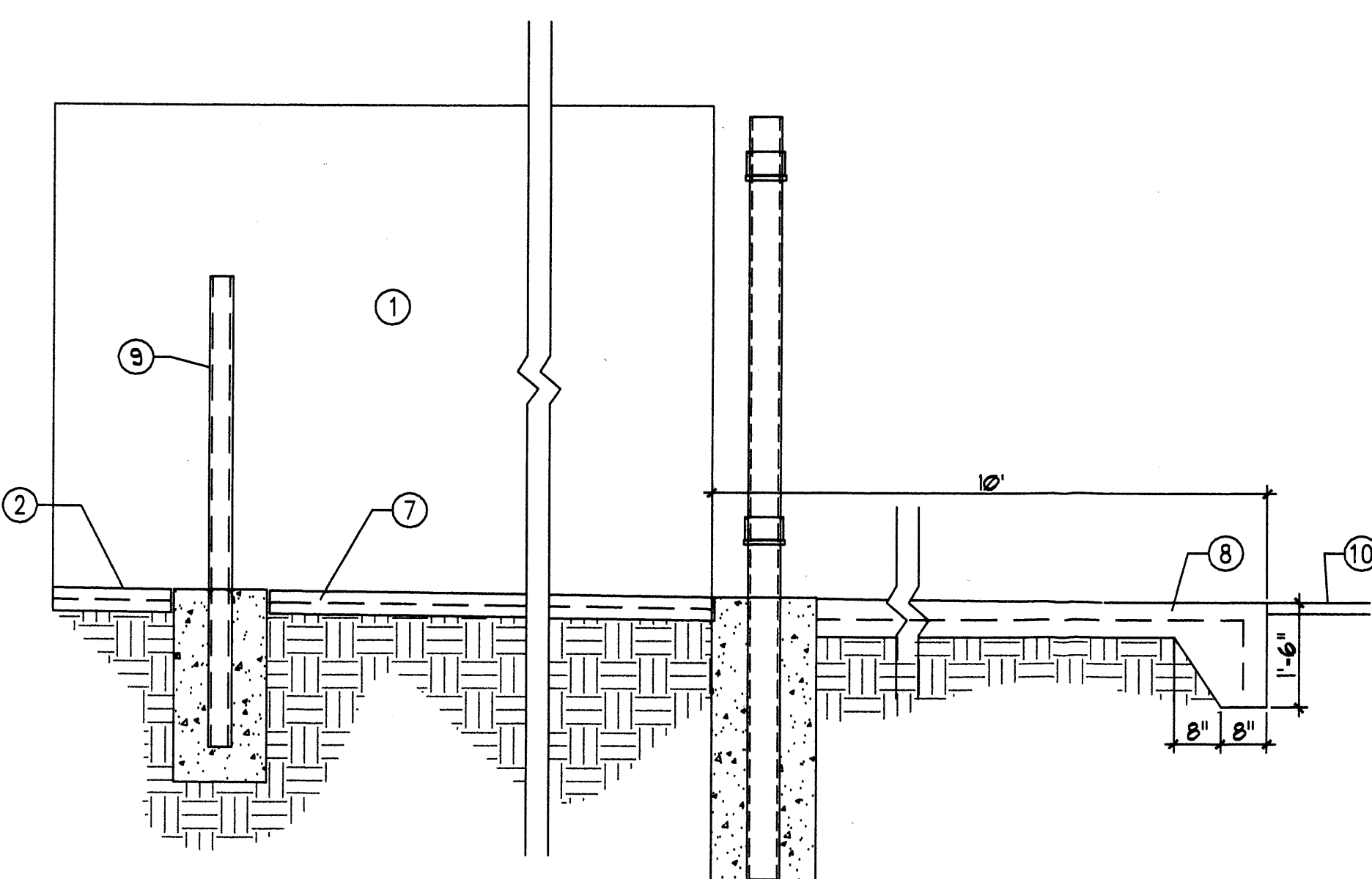
10 PILASTER DETAIL  
NTS



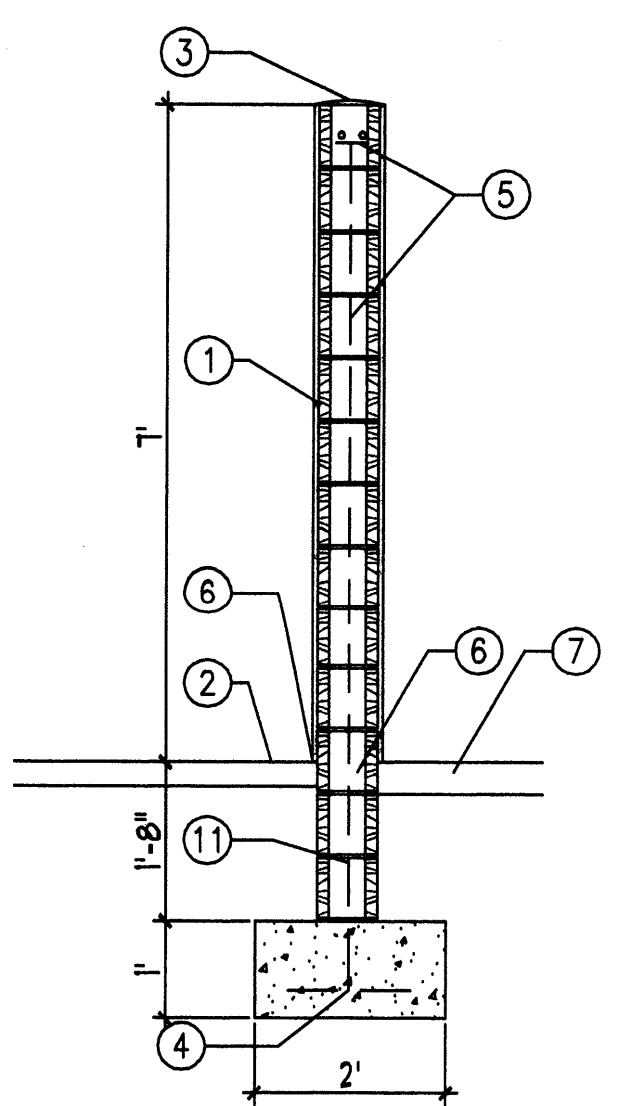
9 WROUGHT IRON FENCE DETAIL  
NTS



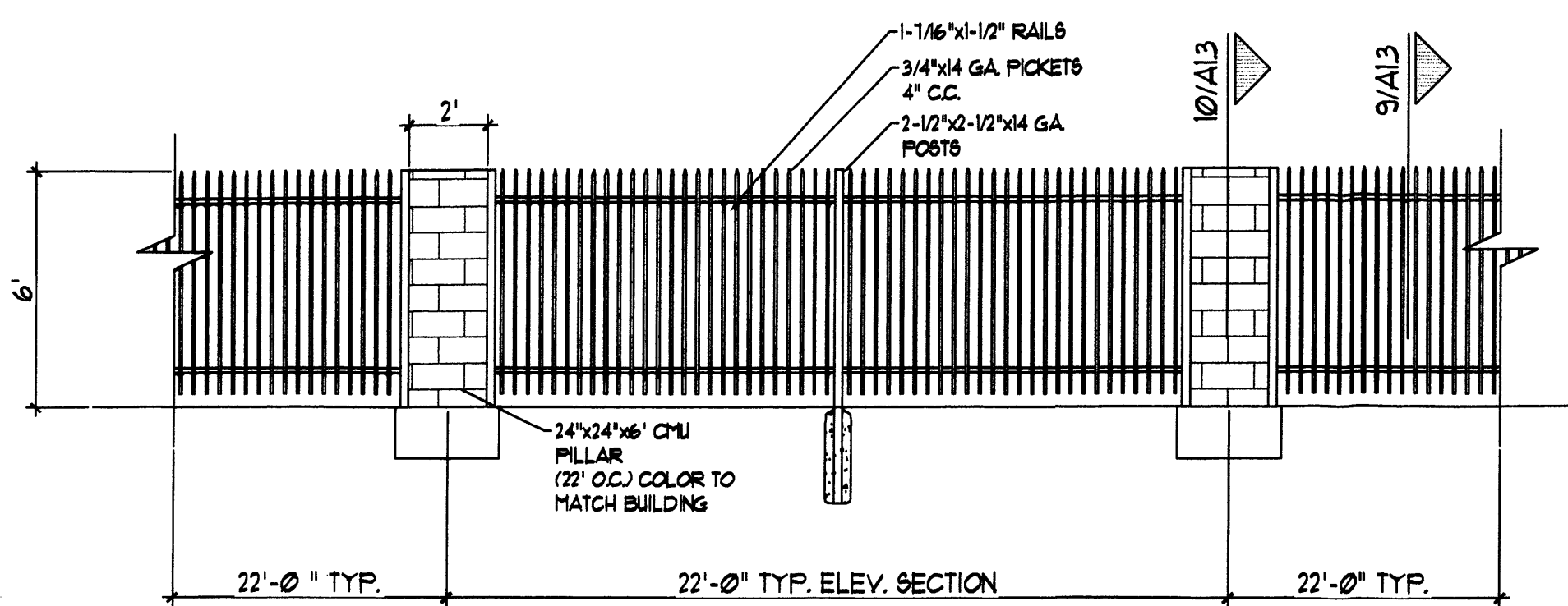
1 BOLLARD DETAIL  
NTS



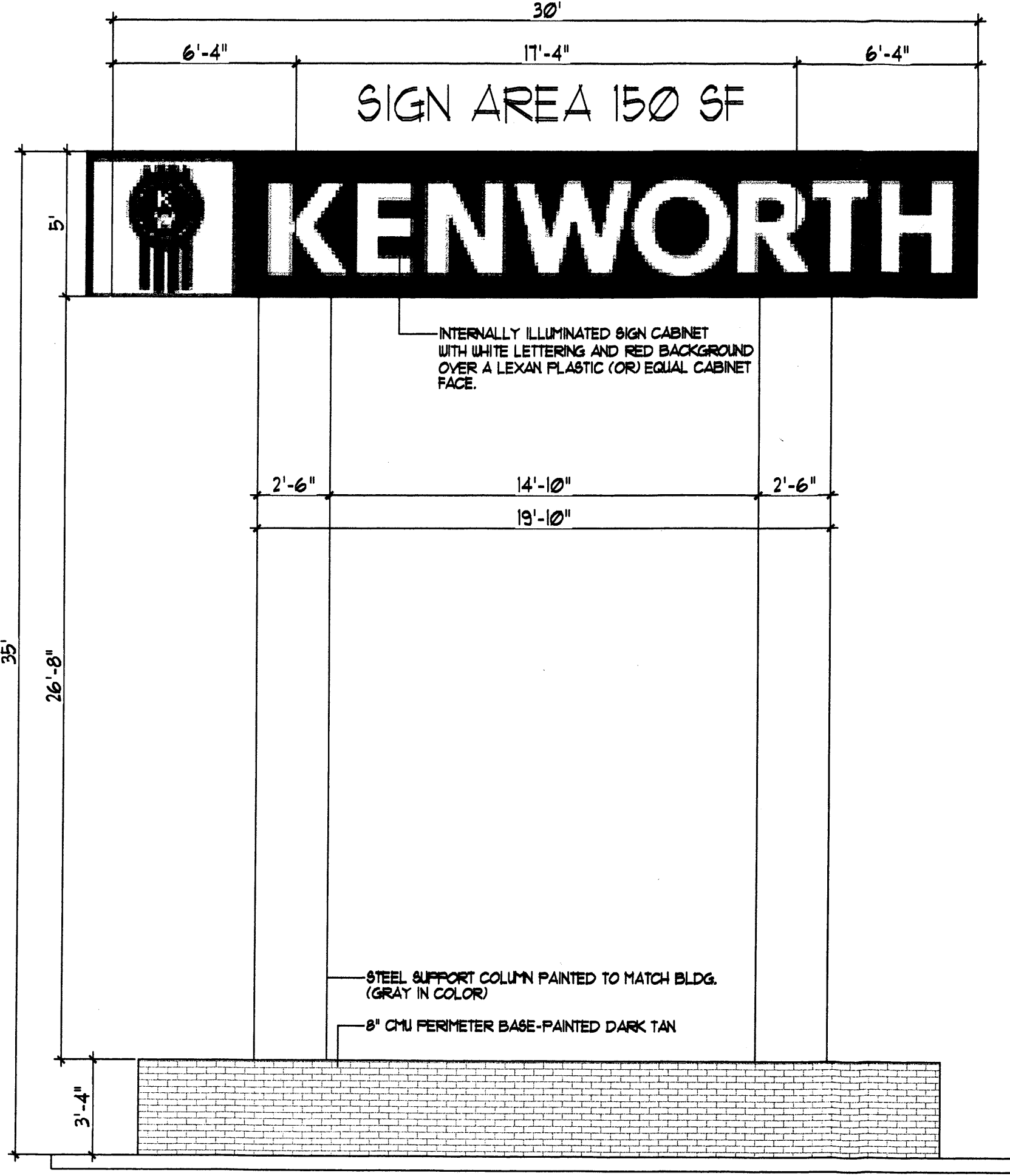
2 DUMPSTER SEC.  
NTS



3 DUMPSTER SEC.  
NTS



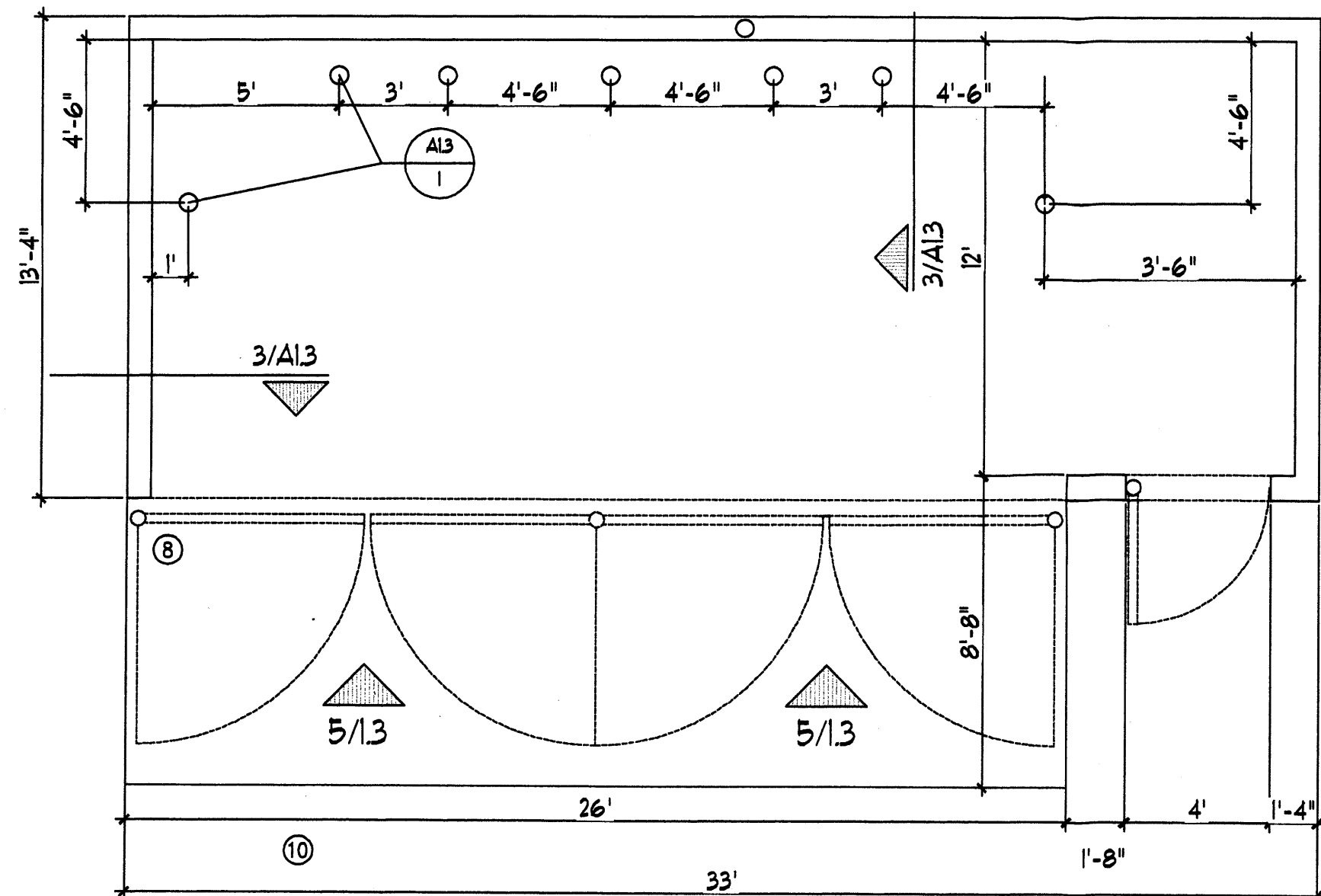
11 WROUGHT IRON FENCE ELEVATION  
NTS



8 PROPOSED PYLON SIGN  
NTS

NOTE: SIGN SIZE AND HEIGHT SHALL NOT EXCEED 100 SF PER COA. REGULATION 14-16-2-19 (AX25XC1X1B) OF THE ZONING CODE OR A VARIANCE SHALL BE SUBMITTED UNDER SEPERATE APPROVAL.

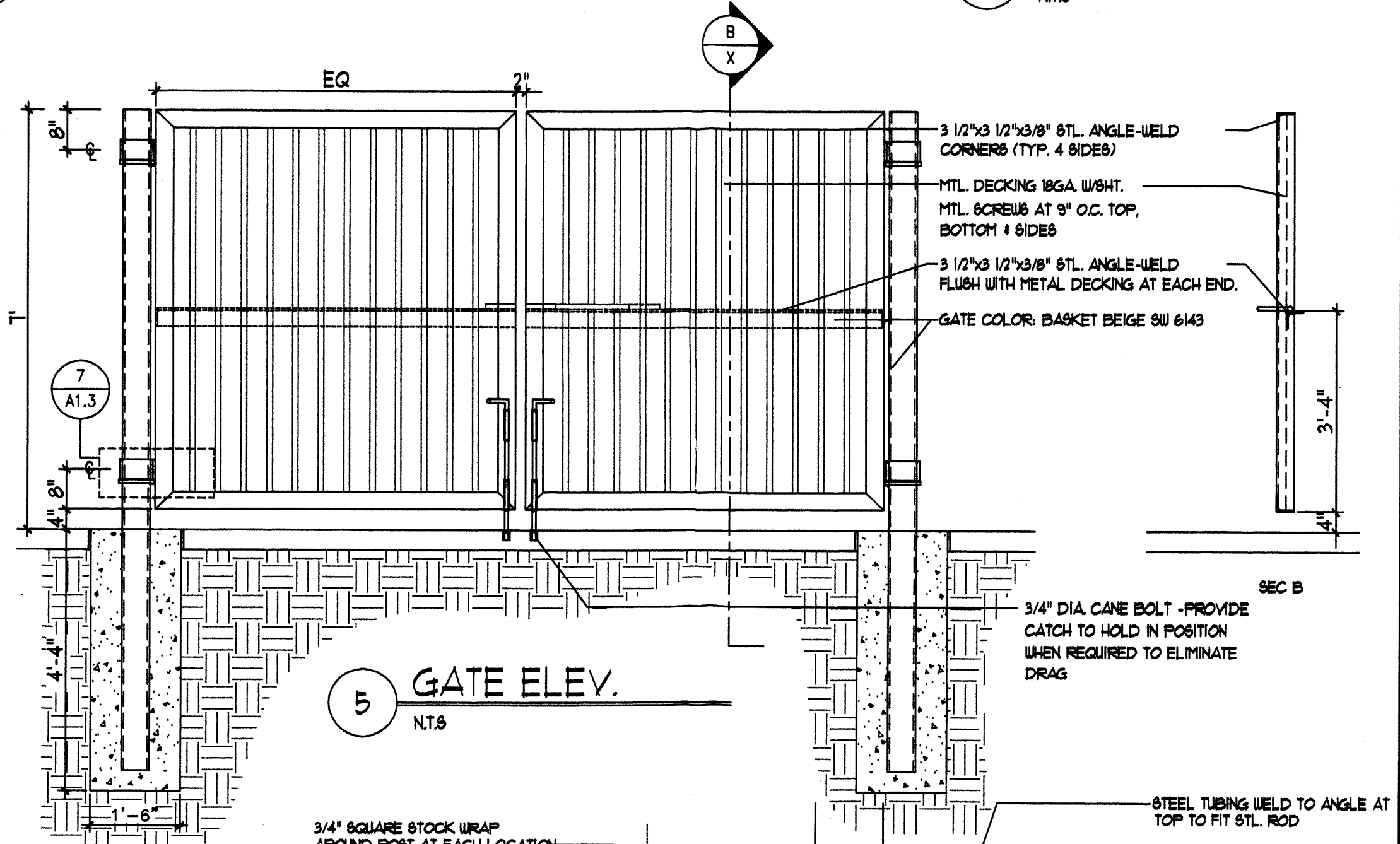
NOTE: IF A VARIANCE BE UNAPPROVED FOR ADDITIONAL SIGNAGE HEIGHT OR SIZE, THE MAXIMUM SIGNAGE ALLOWABLE WITHIN THE SITE AREA SHALL NOT EXCEED 100 SF AS REGULATED UNDER 14-6-2-19 (AX25XC1X1b) OF THE ZONING CODE.



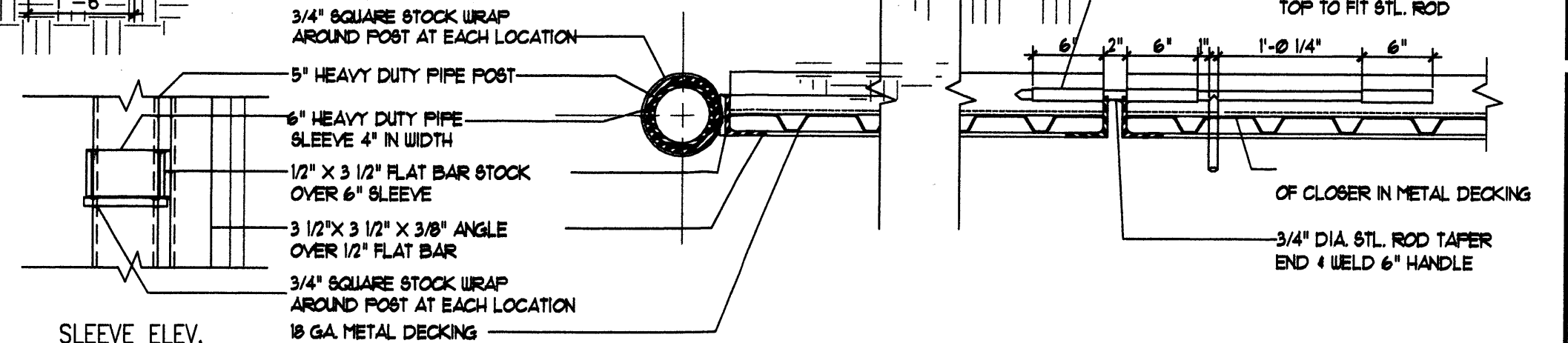
4 DUMPSTER PLAN  
NTS

- KEYED NOTES
- 1 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH BLDG. BASE
  - 2 FINISH GRADE
  - 3 SLOPE STUCCO CAP.
  - 4 4-#4 BARS CONT. • BOTTOM OF FOOTING 1/4" • 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 5 2-#5 BARS • TOP KNOCK-OUT BLOCK BOND BEAM CONTINUOUS: 8 BARS • 32" O.C. VERTICAL GROUT REINFORCED CELLS, DURAWALL • 16" O.C. HORIZONTAL.
  - 6 1/2" EXPANSION JOINT MATERIAL
  - 7 4" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WJM.
  - 8 6" CONCRETE APRON 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WJM W/ TURNDOWN EDGE.
  - 9 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - 10 ASPHALT PAVING
  - 11 GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
  - 12 2" VENT TO 16" ABOVE TOP OF ENCLOSURE WALL. PROVIDE BREATHABLE VENT CAP.
  - 13 CLEAN OUT
  - 14 CATCH BASIN ZURN Z-991 6" X 20" SAN-FLO CATCH BASIN FABRICATED 1/2" GAGE TYPE 304 STAINLESS STEEL. BASIN WITH BOLTED FLANGED CONNECTION. COMPLETE WITH FLANGE GASKET. PROVIDE SPECIAL DUTY, CLASS "E" Z-882-DGE DUCTILE IRON SLOTTED GRATE, AND SEDIMENT BASKET.

6 ENCLOSURE NOTES  
NTS



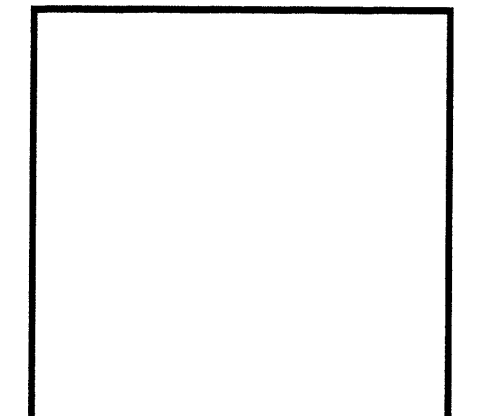
5 GATE ELEV.  
NTS



7 GATE POST/SLIDE BOLT DETAIL  
NTS

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

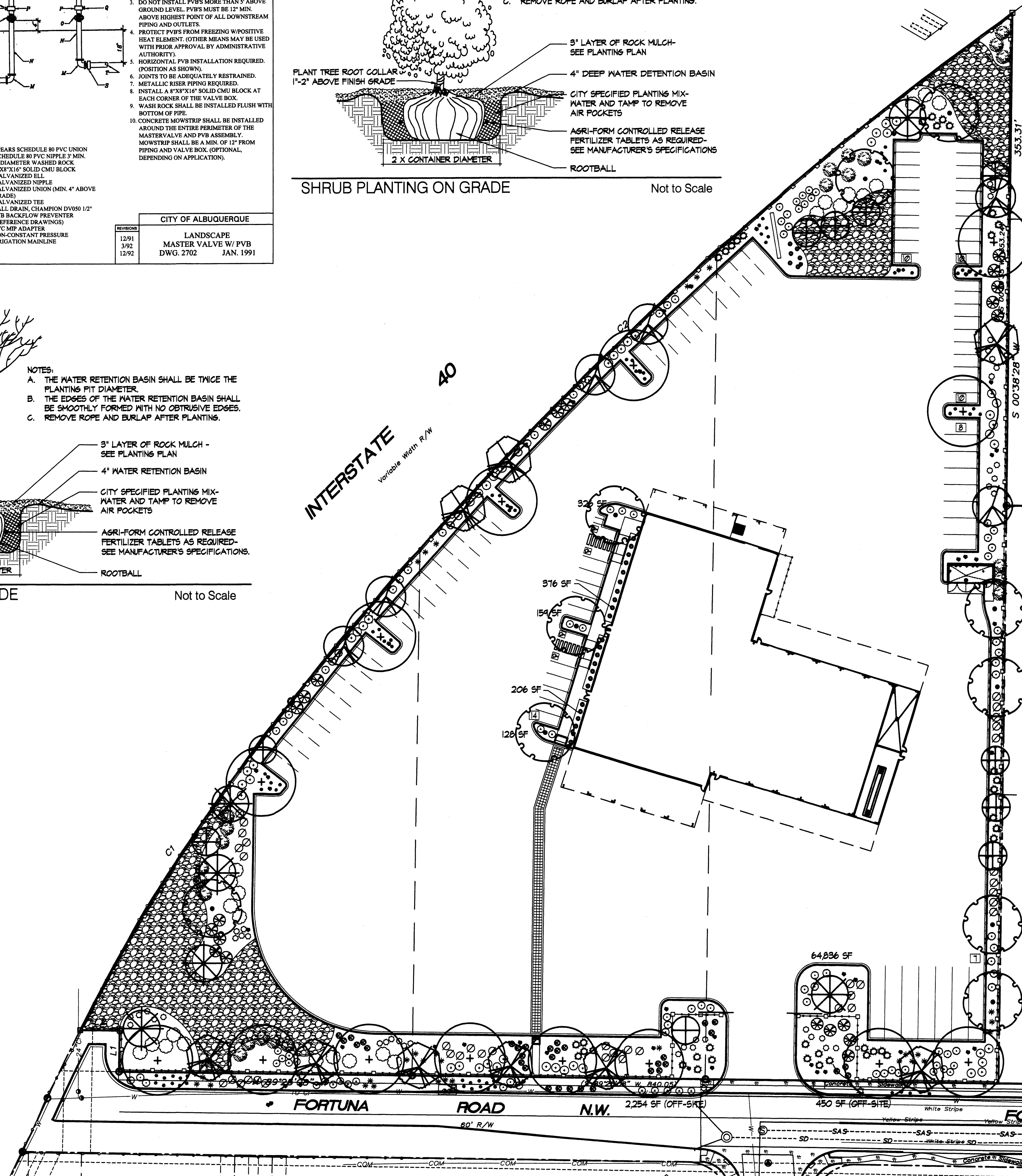
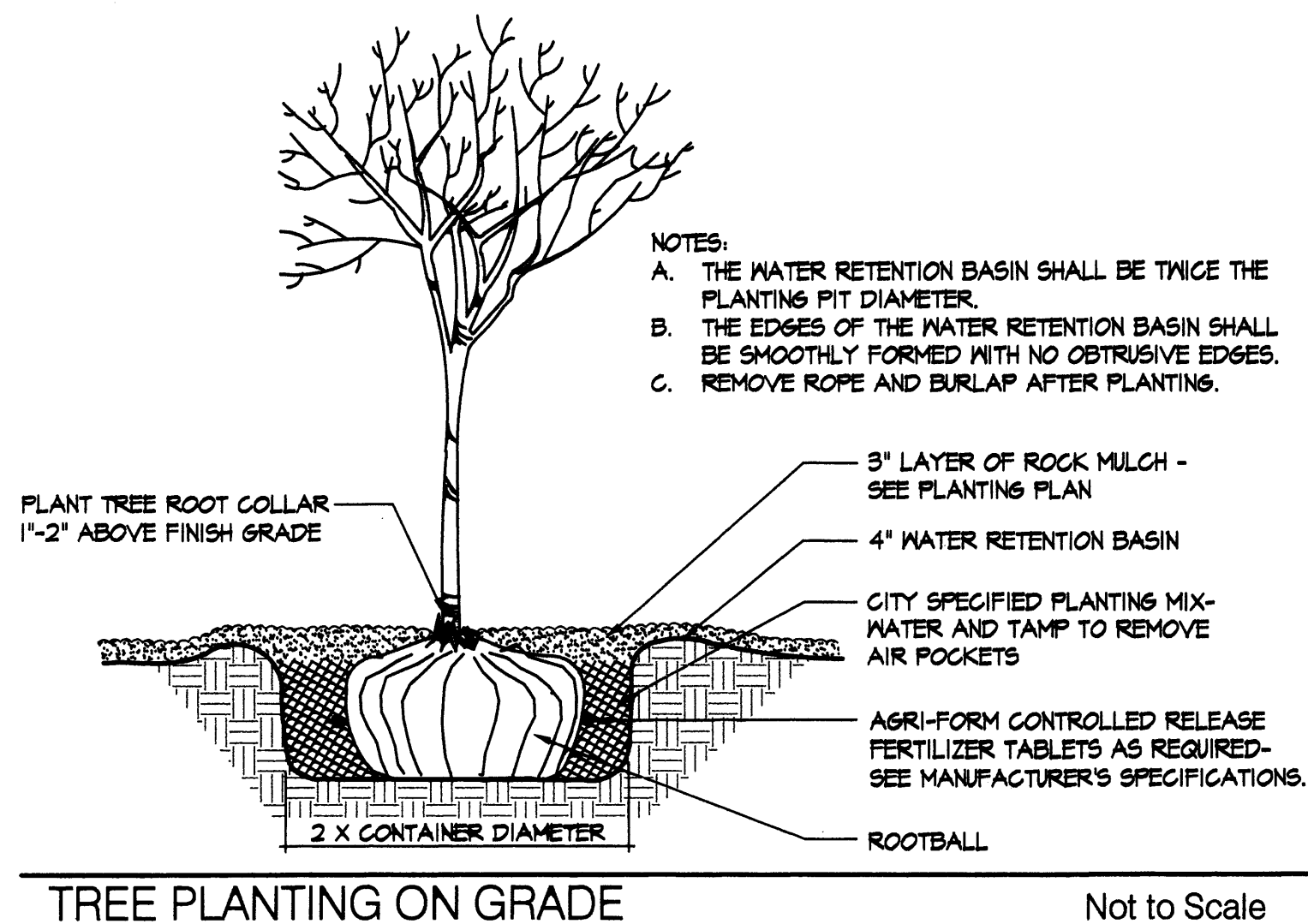
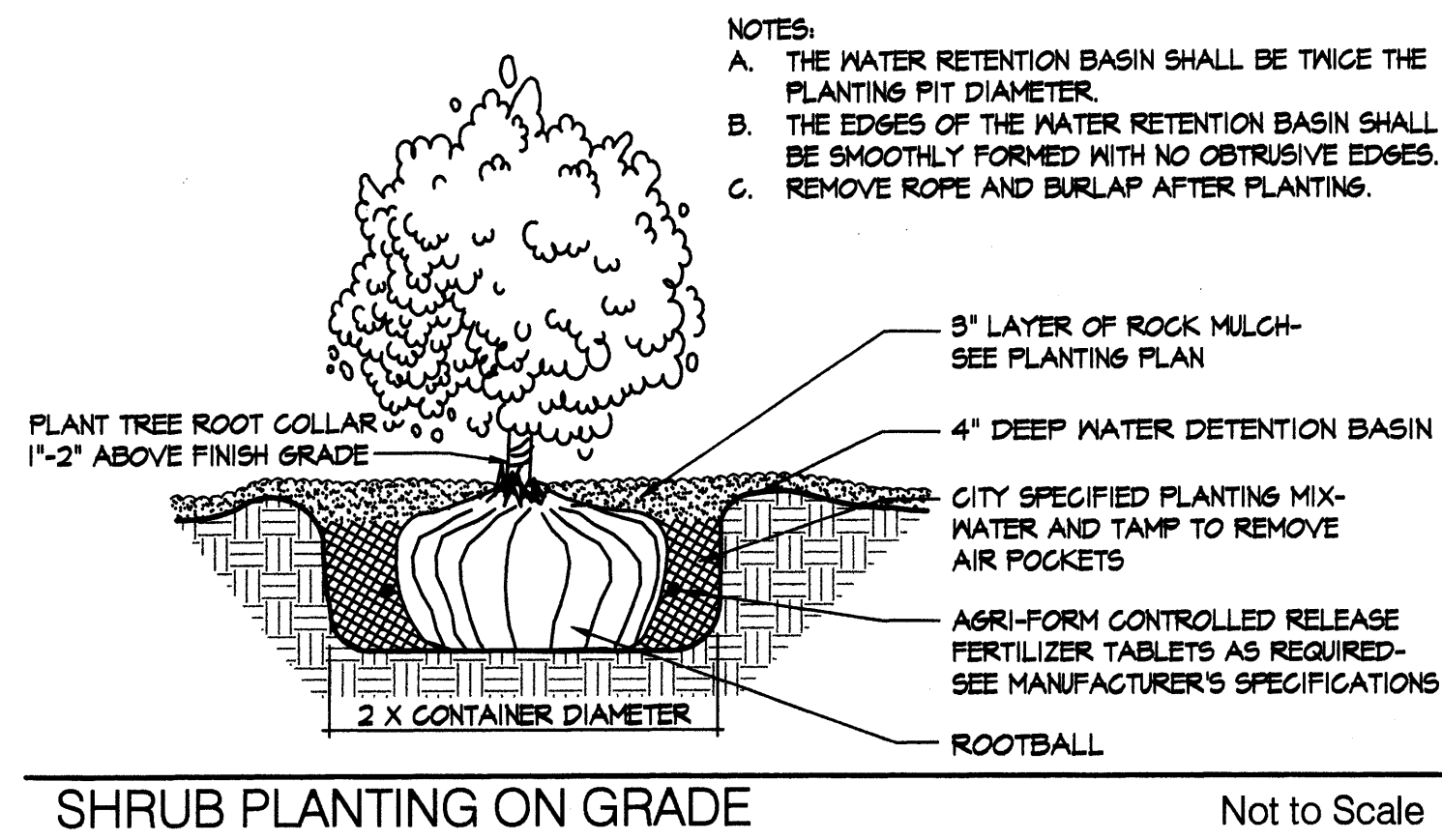
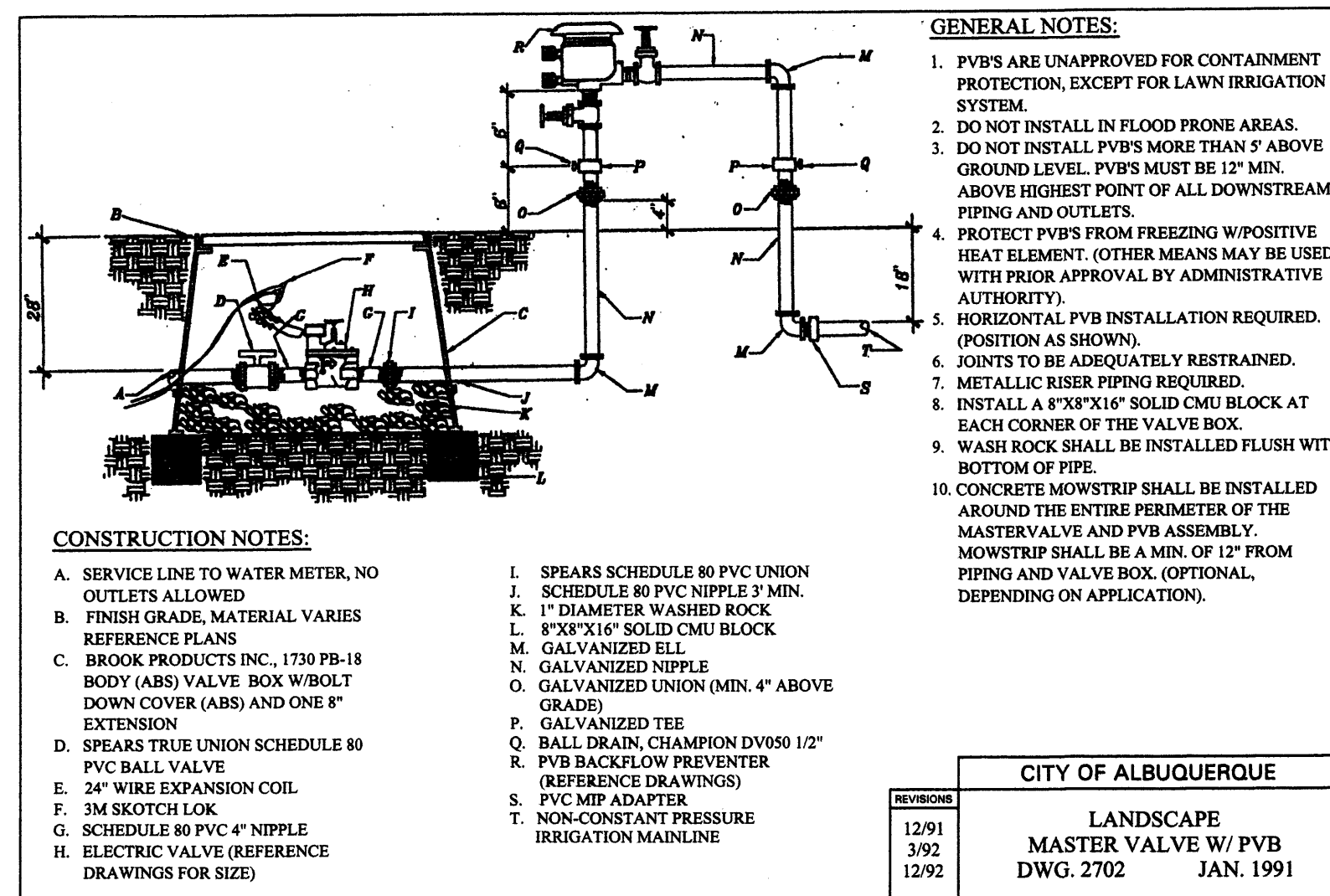
**MODULUS ARCHITECTS**  
 1000 UPPER AVE. N.W. SUITE 102  
 BOULDER, NEW MEXICO 80501  
 PHONE (303) 440-1020 FAX (303) 440-498



PROJECT TITLE	INLAND KENWORTH NEC OF FORTUNA AND GALLATIN ALBUQUERQUE NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	XXXXX
DRAWN BY	JUS
SHEET TITLE	SITE DETAILS

DATE	4/4/12
SCALE	A1:3
AS NOTED	





**LANDSCAPE PALETTE**

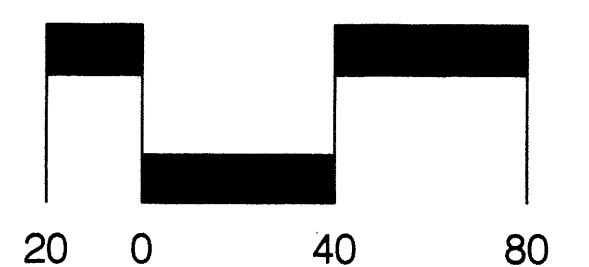
QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	INSTALLED SIZE	WATER MATURE SIZE	USE
8	⊗	CHITALPA TASHKENTENSIS PINK DAMN CHITALPA	2" B4B	14' HT. X 3' SPR.	20' HT. X 30' SPR.	LOW+
14	⊙	PISTACIA CHINENSIS CHINESE PISTACHE	2" B4B	14' HT. X 6' SPR.	60' HT. X 60' SPR.	MEDIUM
6	⊗	PINUS NIGRA AUSTRIAN PINE	B4B	10' MIN HT.	95' HT. X 25' SPR.	MEDIUM
10	⊙	MODESTO ASH FRAXINUS VELUTINA	2" B4B	14' HT. X 5' SPR.	40' HT. X 40' SPR.	MEDIUM
6	⊗	ROBINIA X AMBROSIA PURPLE ROBE LOCUST	2" B4B	14' HT. X 5' SPR.	40' HT. X 30' SPR.	MEDIUM
10	⊕	VITEX AGNES-CASTUS CHASTE TREE	15 GAL.	6' HT. X 4' SPR.	20' HT. X 20' SPR.	MEDIUM
<b>SHRUBS/GROUNDCOVERS</b>						
40	⊙	BUDDLEIA LOCHINCH LAVENDER BUTTERFLY BUSH	5 GAL.	4' HT. X 4' SPR.		MEDIUM
24	⊙	COTONEASTER BUXIFOLIUS GREY-LEAF COTONEASTER	5 GAL.	2' HT. X 4' SPR.		LOW+
32	⊗	CARYOPTERIS GLANDONENSIS BLUE MIST	5 GAL.	4' HT. X 4' SPR.		MEDIUM
46	⊙	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	5 GAL.	5' HT. X 6' SPR.		LOW
66	⊙	ERICACEA LARICIFOLIA DWARF TURPENTINE BUSH	1 GAL.	3' HT. X 4' SPR.		LOW+
24	*	HESPERALOE PARVIFLORA Red/Yellow Flowering Yucca	1 GAL.	3' HT. X 4' SPR.		LOW+
44	⊙	MULBERGERIA CAPILLARIS REGAL MIST MULLY GRASS	5 GAL.	3' HT. X 3' SPR.		MEDIUM
64	*	NASSELLA TENNISIMA THREADGRASS	1 GAL.	2' HT. X 2' SPR.		LOW+
34	⊙	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	1 GAL.	4' HT. X 5' SPR.		LOW+
36	⊙	RHUS TRILOBATA THREE-LEAF SUMAC	5 GAL.	2' HT. X 5' SPR.		LOW+
34	⊗	ROSMARINUS OFFICINALIS PROSTRATE ROSEMARY	5 GAL.	2' HT. X 5' SPR.		LOW+
21	⊗	SPARTIUM JUNCHEM SPANISH BROOM	5 GAL.	10' HT. X 10' SPR.		MEDIUM
22	⊗	RHUS OVATA SUGARBUSH	5 GAL.	10' HT. X 10' SPR.		LOW
<b>SHRUBS/GROUNDCOVERS</b>						
51,024 SF	□	1" GRAVEL MULCH - BUILDOLGY BROWN (3" DEPTH OVER DE WITT PRO-5 NEED CONTROL FABRIC)				
17,646 SF	▨	3-4" COBBLE MULCH - BUILDOLGY BROWN (8" DEPTH OVER DE WITT PRO-5 NEED CONTROL FABRIC)				
47	⊕	MOSS ROCK BOULDERS (8" MINIMUM DIAMETER)				

# CONCEPTUAL LANDSCAPE PLAN INLAND KENWORTH

Prepared by:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

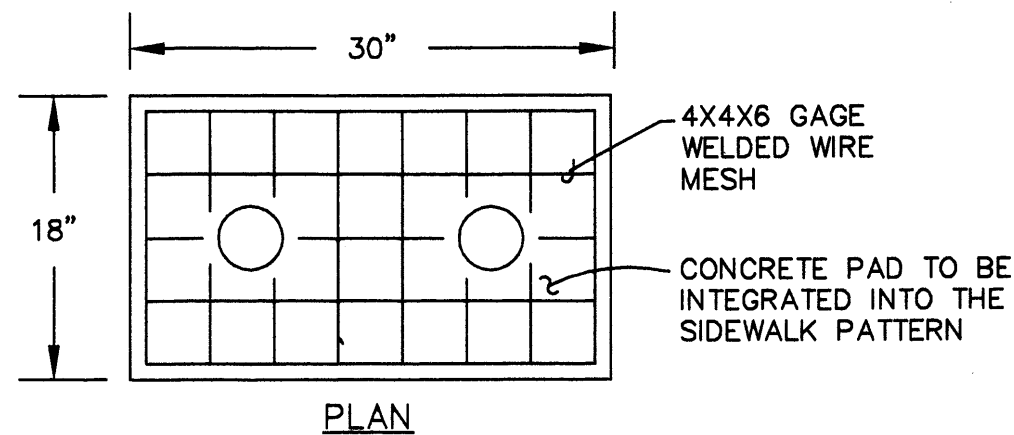
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

Scale: 1" = 40'

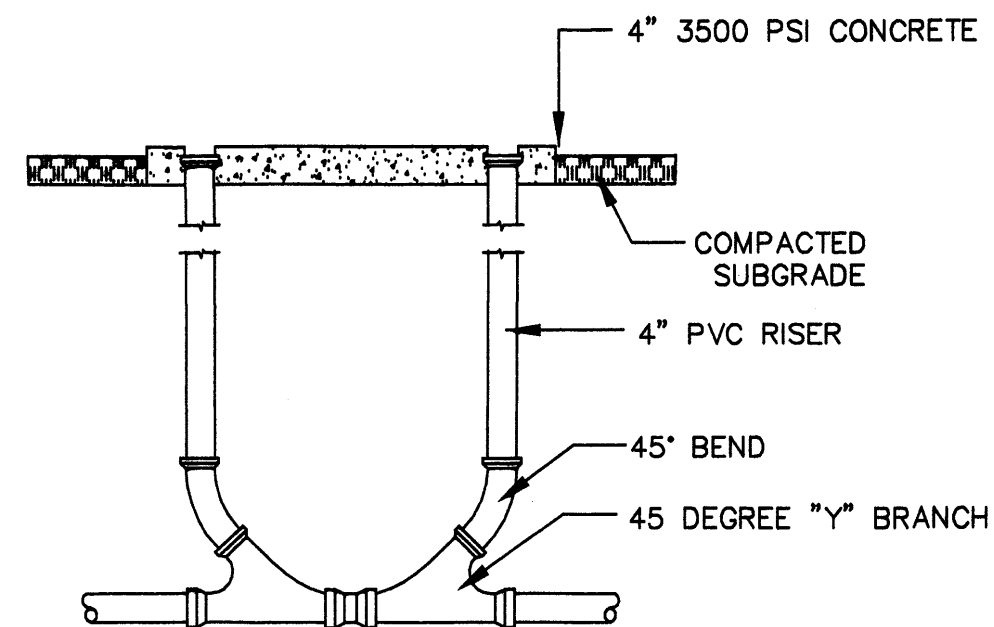


October 2012

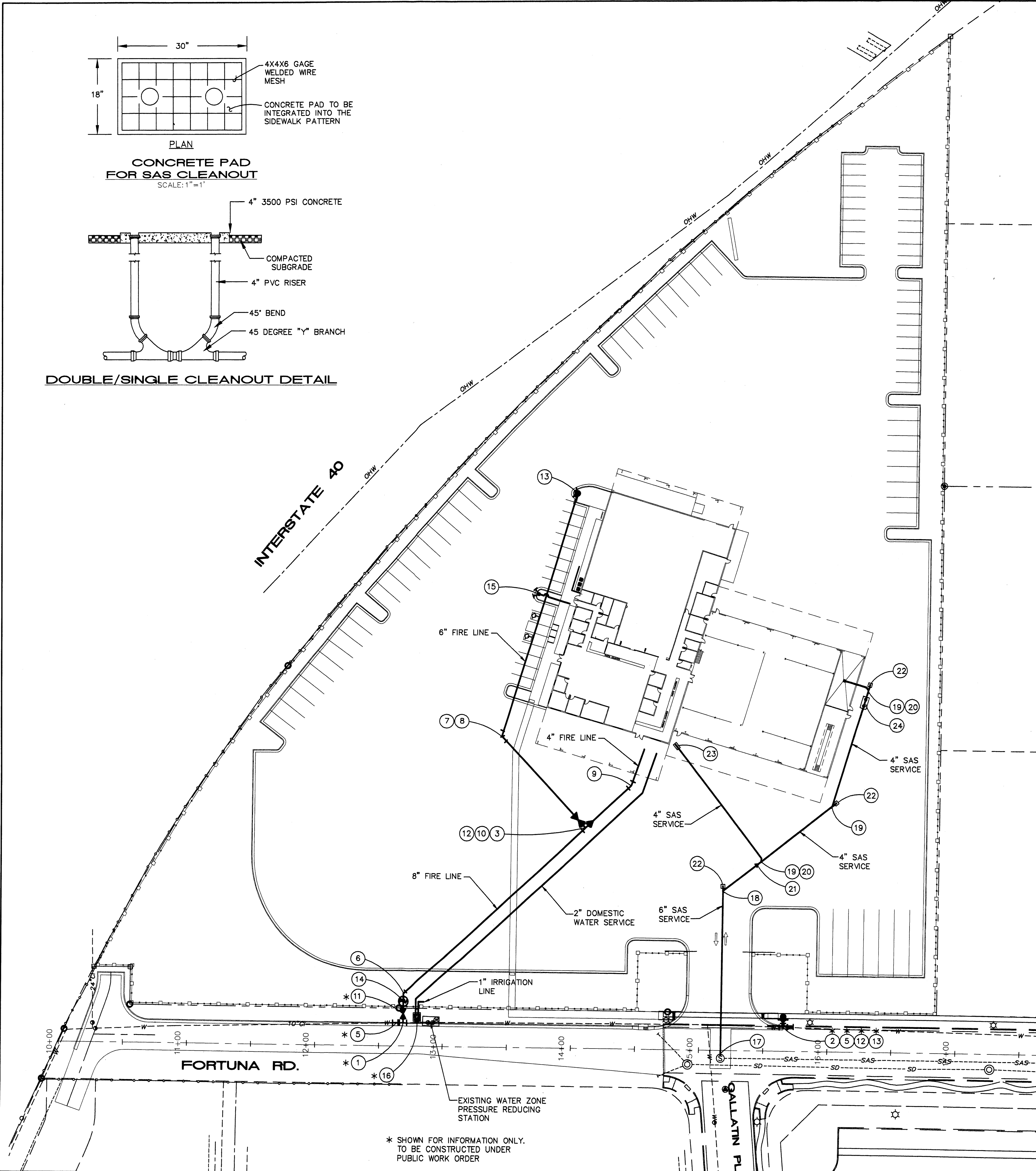




**CONCRETE PAD FOR SAS CLEANOUT**  
SCALE: 1"=1'



**DOUBLE/SINGLE CLEANOUT DETAIL**



\* SHOWN FOR INFORMATION ONLY. TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER

RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR TEES, (FT.)  
ALL JOINTS AT THE TEE MUST BE RESTRAINED.

SIZE	RUN	BRANCH
12x12x12	15	17
12x12x10	10	18
12x12x8	6	19
12x12x6	3	19
12x12x4	1	19
10x10x10	12	18
10x10x8	8	18
10x10x6	4	16
10x10x4	2	4
8x8x8	9	20
8x8x6	5	17
8x8x4	2	15
6x6x6	6	20
6x6x4	2	20

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:  
DEPTH OF BURY: 3.0 FT. MINIMUM  
FACTOR OF SAFETY: 1.25  
MATERIAL: PVC PIPE  
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
TEST PRESSURE: 150 PSI  
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH. MINIMUM. BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)

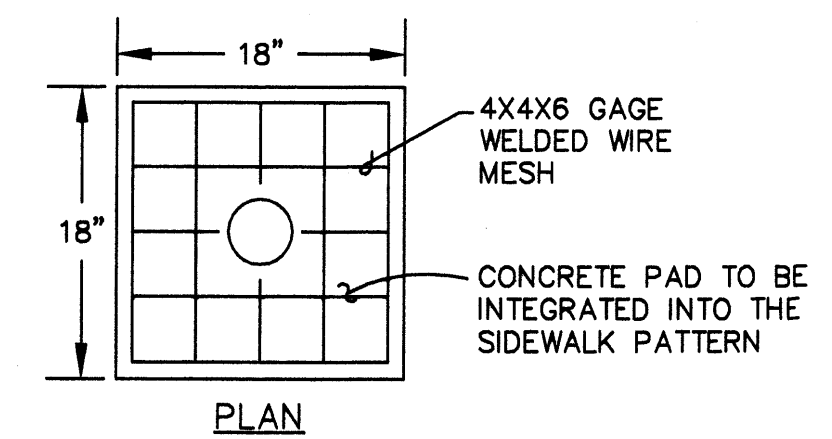
SIZE	HORZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	30	12	6	3	85
10	26	11	5	3	72
8	22	9	4	2	60
6	17	7	3	2	48
4	12	5	2	1	32

RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR REDUCERS, (FT.)  
MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.

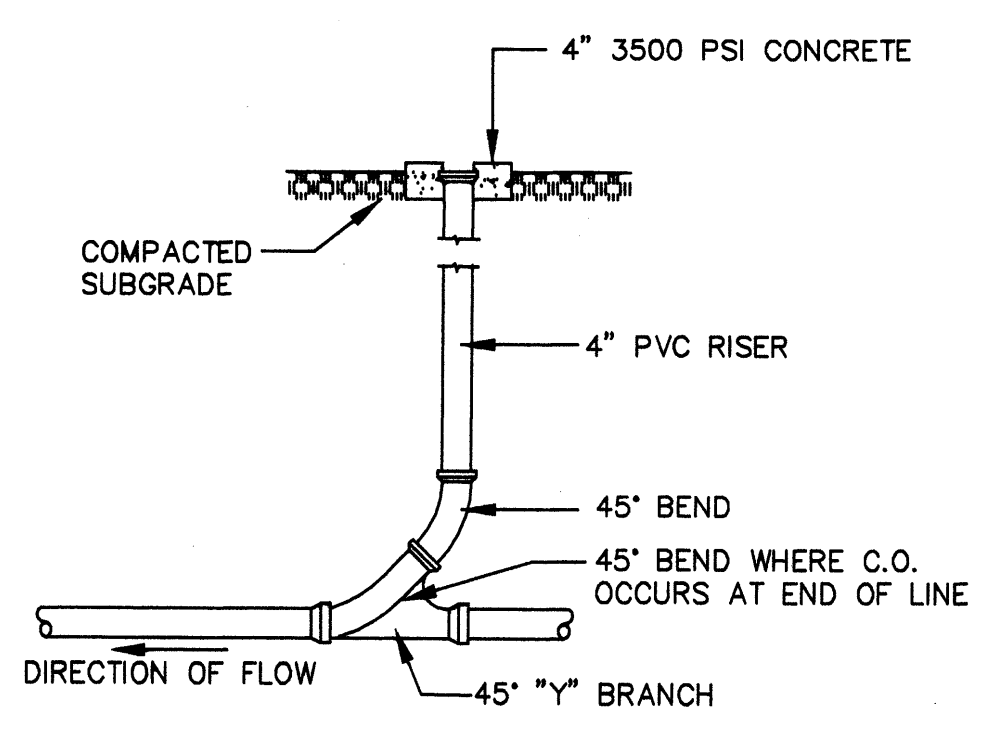
SIZE	LARGE SIDE		SMALL SIDE		
	SIZE	LARGE SIDE	SIZE	SMALL SIDE	
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
12x4	74	213	8x4	43	83
10x8	24	30	6x4	24	35

- NOTES:
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
  - THE CONTRACTOR SHALL INSTALL PCC BLOCKING AT ALL CAPS (UNLESS OTHERWISE NOTED ON PLANS).

**RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS**



**CONCRETE PAD FOR SAS CLEANOUT**  
SCALE: 1"=1'



**SINGLE CLEANOUT DETAIL**

**GENERAL NOTES**

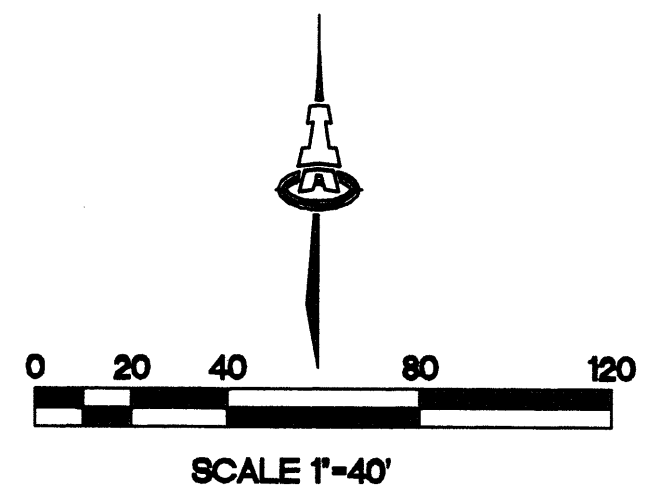
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- BUILD SINGLE AND DOUBLE SEWER CLEANOUTS PER DETAILS ON THIS SHEET.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING.

**KEYED NOTES**

- 10" x 8" TEE W/ RESTRAINT
- 10" x 6" TEE W/ RESTRAINT
- 8" x 6" TEE
- 6" TEE W/ RESTRAINT
- 10" COUPLING
- 8" 45° BEND W/ RESTRAINT
- 6" 45° BEND W/ RESTRAINT
- 6" 22 1/2° BEND W/ RESTRAINT
- 4" 22 1/2° BEND W/ RESTRAINT
- 8" x 4" REDUCER W/ RESTRAINT
- 8" GATE VALVE W/ BOX PER COA STD DWG 2326
- 6" GATE VALVE W/ BOX PER COA STD DWG 2326
- 4" FIRE HYDRANT PER COA STD DWG 2340
- POST INDICATOR VALVE (PIV)
- FIRE DEPARTMENT CONNECTION (FDC)-FOR ALTERNATE BUILDING MOUNTED LOCATION, SEE MECHANICAL PLANS
- DOUBLE METER SERVICE W/ BOX PER COA STD DWG'S 2362 AND 2363 (1 1/2" DOMESTIC & 1" IRRIGATION)
- CONNECT NEW 6" SAS SERVICE TO EXISTING MANHOLE PER COA STD DWG 2118
- 6" 45° WYE
- 4" 45° WYE
- 4" 45° BEND
- 6" x 4" REDUCER
- SINGLE CLEANOUT
- DOUBLE CLEANOUT
- 1500 GALLON CLARIFIER W/ SAMPLE BOX

**LEGEND**

- WATER METER & BOX
- ⊕ GATE VALVE W/ VALVE BOX
- ⊕ FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- ▣ SAS DOUBLE CLEANOUT



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com  
1941 CU-101.dwg Nov 27, 2012

**REVISIONS**

NO.	DESCRIPTION

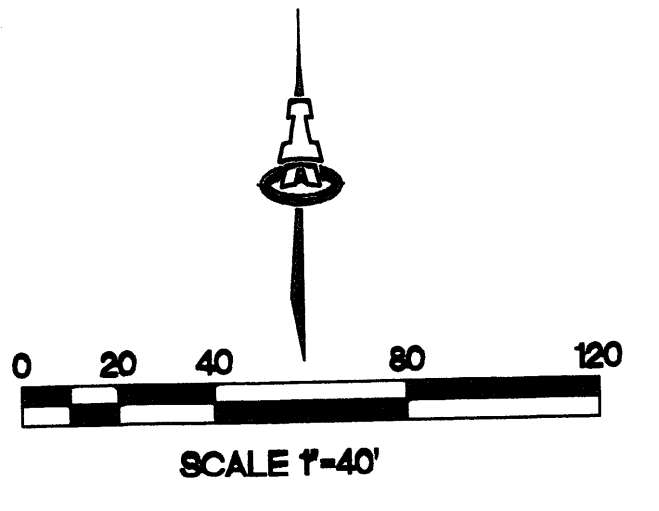
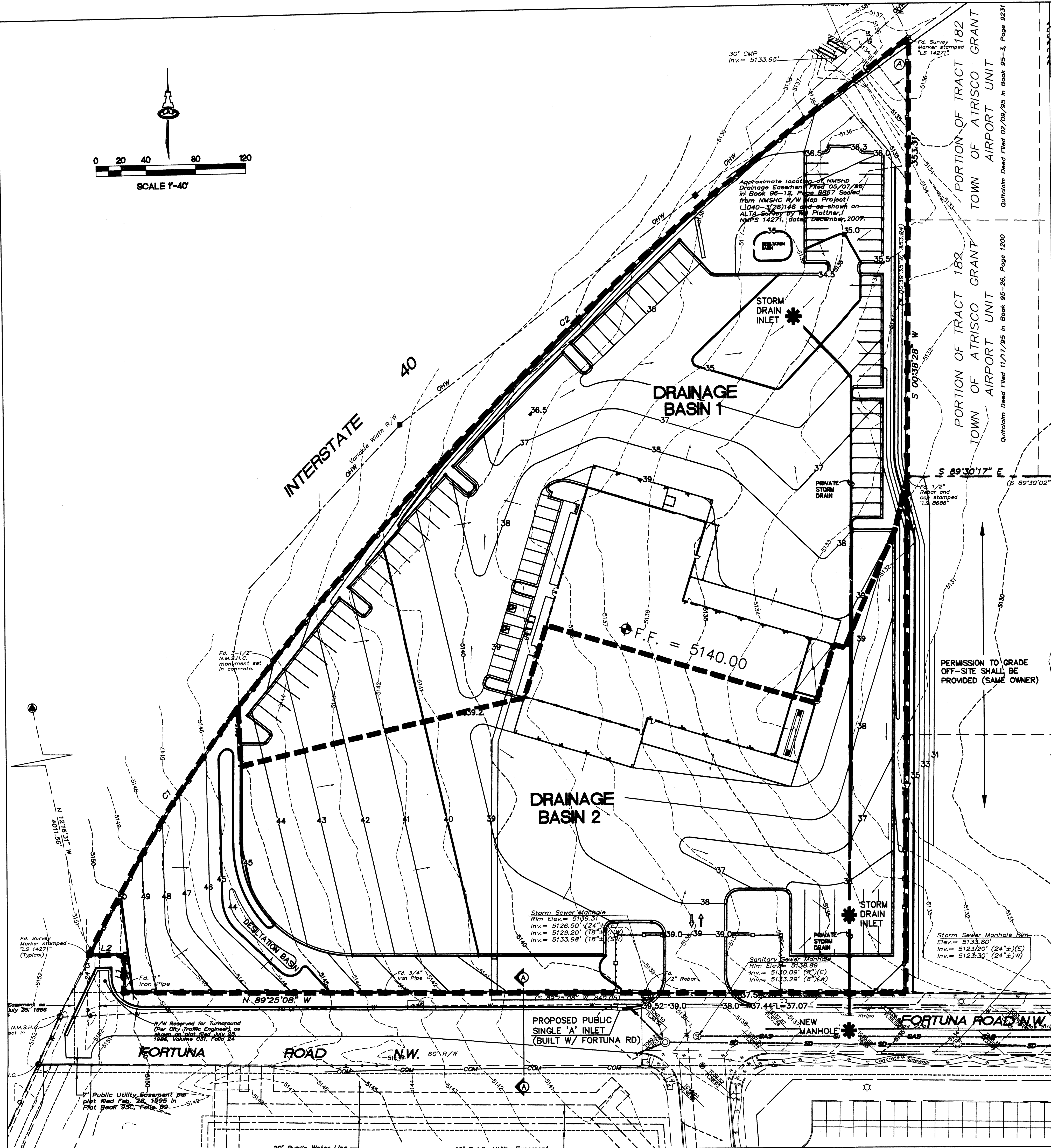
**LORD CONSTRUCTORS, INC.**  
1920 West Eleventh Street  
Upland, California 91786  
SMALL PRINT: ALL COMMON LAW STATUTES AND OTHER RESTRICTIONS REPRESENTED HEREIN ARE INCORPORATED BY REFERENCE.

DESIGN PLANS FOR:  
**INLAND KENWORTH**  
FORTUNA ROAD N.W.  
ALBUQUERQUE, NM

DRAWING TITLE:  
**CONCEPTUAL UTILITY PLAN**  
SCALE: 1" = 40'

Date: 8/28/12  
Drawn By: DH  
Job: KENWORTH  
Job No.: L-800 ABC-  
Sheet: \_\_\_\_\_ of \_\_\_\_\_ Sheets





### CALCULATIONS

**CALCULATIONS: 1941 Inland Kenworth : 09-18-12**  
 Based on Drainage Design Criteria for City of Albuquerque  
 Section 22.2, DPM, Vol.2, dated Jan., 1993

**ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM**

AREA OF SITE: 298783 SF = 6.9

**HISTORIC FLOWS:**

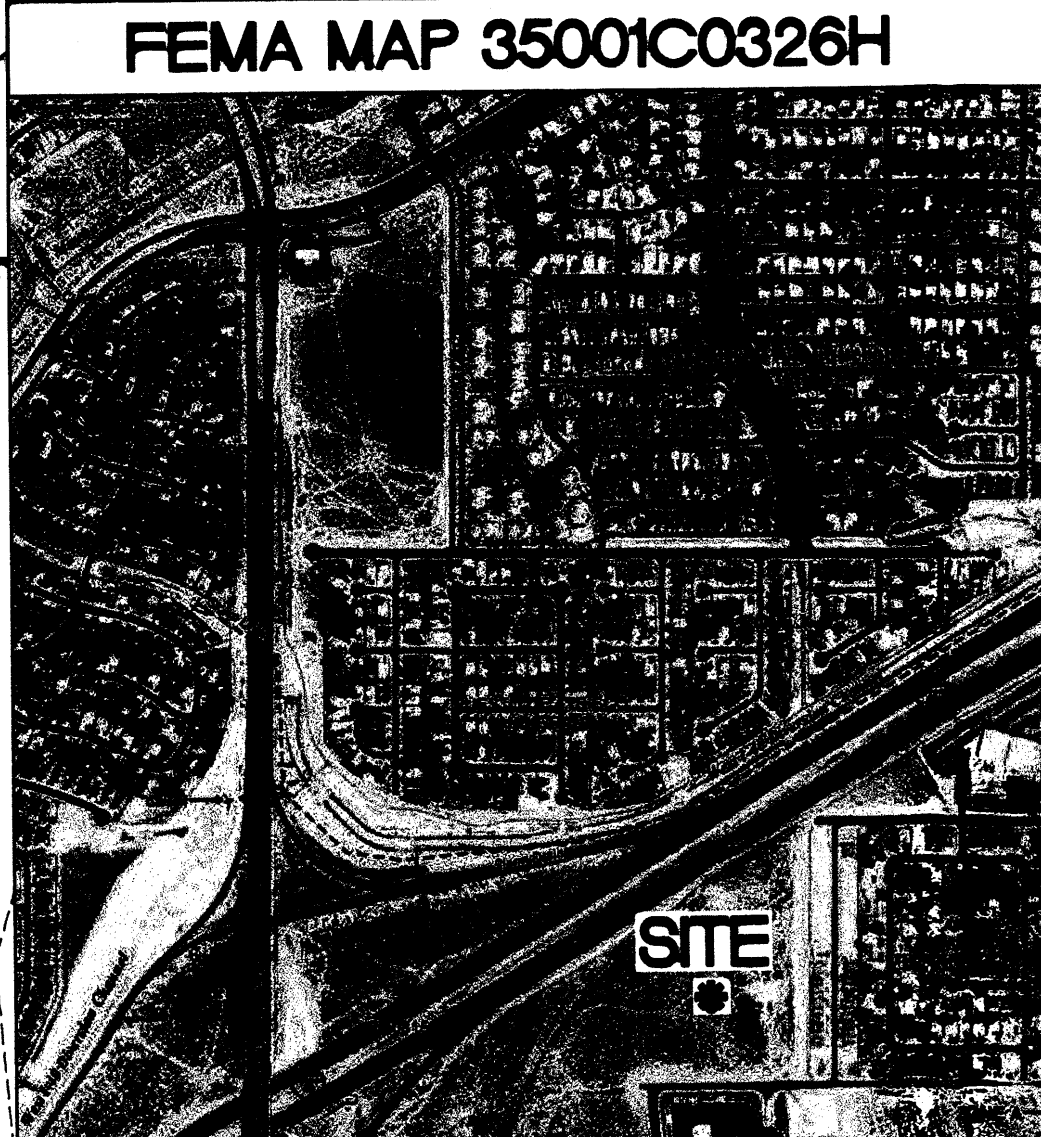
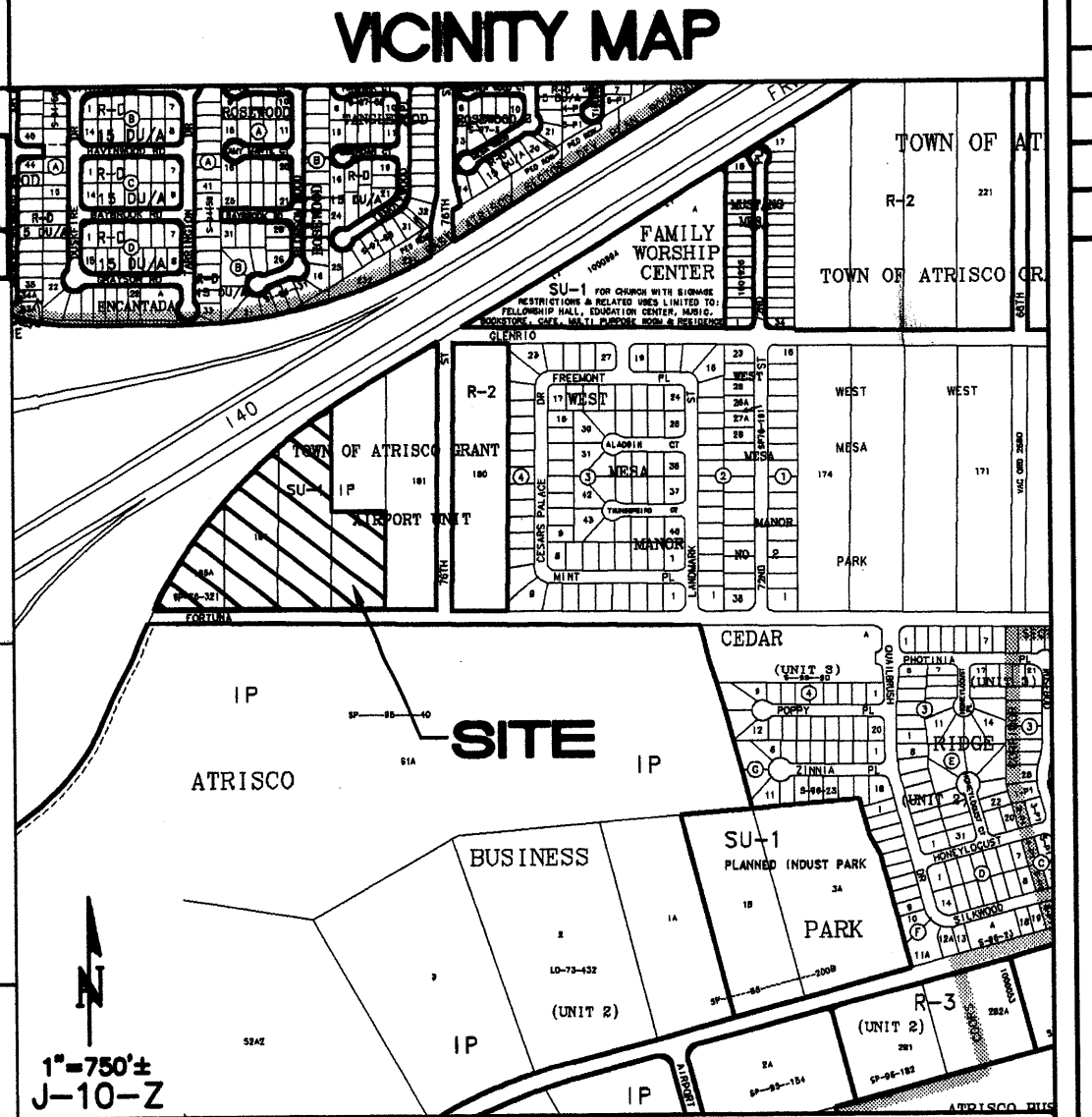
Area	Treatment S <sub>i</sub>	%
Area A	298783	100%
Area B	0	0%
Area C	0	0%
Area D	0	0%
<b>Total Area</b>	<b>298783</b>	<b>100%</b>

**DEVELOPED FLOWS:**

Area	Treatment S <sub>i</sub>	%	EXCESS PRECIP:
Area A	0	0%	Precip. Zone 1
Area B	14939	5%	E <sub>a</sub> = 0.44
Area C	44817	15%	E <sub>b</sub> = 0.67
Area D	239026	80%	E <sub>c</sub> = 0.99
<b>Total Area</b>	<b>298783</b>	<b>100%</b>	E <sub>d</sub> = 1.97

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
 Weighted E =  $\frac{E_a A_a + E_b A_b + E_c A_c + E_d A_d}{A_a + A_b + A_c + A_d}$

Historic = 0.44 in.    Developed E = 1.76 in.  
 On-Site Volume of Runoff: V<sub>360</sub> = E\*A / 12  
 Historic V = 10955 CF    Developed V<sub>360</sub> = 43772 CF  
 On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>pA</sub>A<sub>a</sub> + Q<sub>pB</sub>A<sub>b</sub> + Q<sub>pC</sub>A<sub>c</sub> + Q<sub>pD</sub>A<sub>d</sub> / 43,560  
 For Precipitation Z<sub>1</sub>  
 Q<sub>pA</sub> = 1.29    Q<sub>pC</sub> = 2.87  
 Q<sub>pB</sub> = 2.03    Q<sub>pD</sub> = 4.37  
 Historic C = 8.8 CFS    Developed Q<sub>p</sub> = 27.6 CFS



### PROJECT DATA

**LEGAL DESCRIPTION:**  
 TRACT 183, 184 AND 185-A, TOWN OF ATRISCO GRANT AIRPORT UNIT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**SITE AREA:** 6.86 ACRES (298783 SF)

**FLOOD ZONE:** PER FEMA MAP 35001C0326H, THE SITE FALLS WITHIN FLOODZONE X DESIGNATED AS AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN

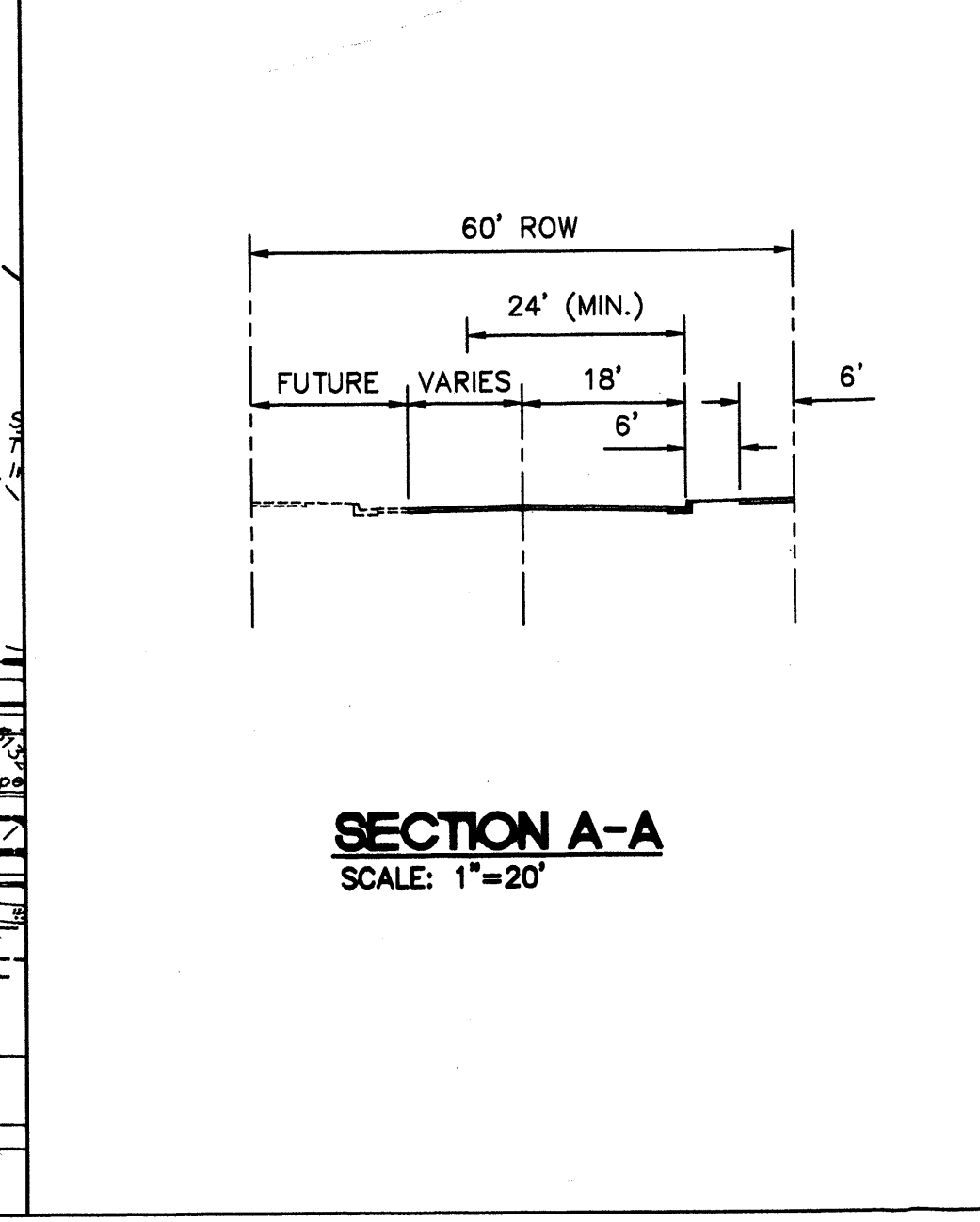
**ENGINEER:** FRED C. ARCMAN, P.E.  
 ISAACSON & ARFMAN, P.A.  
 128 MONROE ST NE, ABQ. NM 87108  
 PHONE: (505) 268-8828

**SURVEYOR:** SURV-TEK CONSULTING SURVEYORS  
 9384 VALLEY VIEW DRIVE, N.W.  
 ALBUQUERQUE, NEW MEXICO 87114  
 PHONE: (505) 897-3366

**BENCHMARK:** VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "4-J9" HAVING A PUBLISHED ELEVATION = 5170.718 (NAVD 88)

### DRAINAGE CONCEPT

A PRIVATE STORM DRAIN SYSTEM WILL BE INSTALLED TO COLLECT ON-SITE RUNOFF FROM TWO MAIN BASINS (APPROX. 13.5 CFS EACH). THIS WILL THEN FREE DISCHARGE TO THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN FORTUNA ROAD N.W. (NEW PUBLIC STORM DRAIN MANOLE WILL BE CONSTRUCTED AT THE JUNCTION).



### LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5140.0 FINISH FLOOR ELEVATION
- ■ ■ ■ PROPOSED DRAINAGE BASIN BOUNDARY

REVISIONS	

DESIGN PLANS FOR:

**INLAND KENWORTH**  
 FORTUNA ROAD N.W.  
 ALBUQUERQUE, NM

DRAWING TITLE:  
**CONCEPTUAL GRADING  
 & DRAINAGE PLAN**

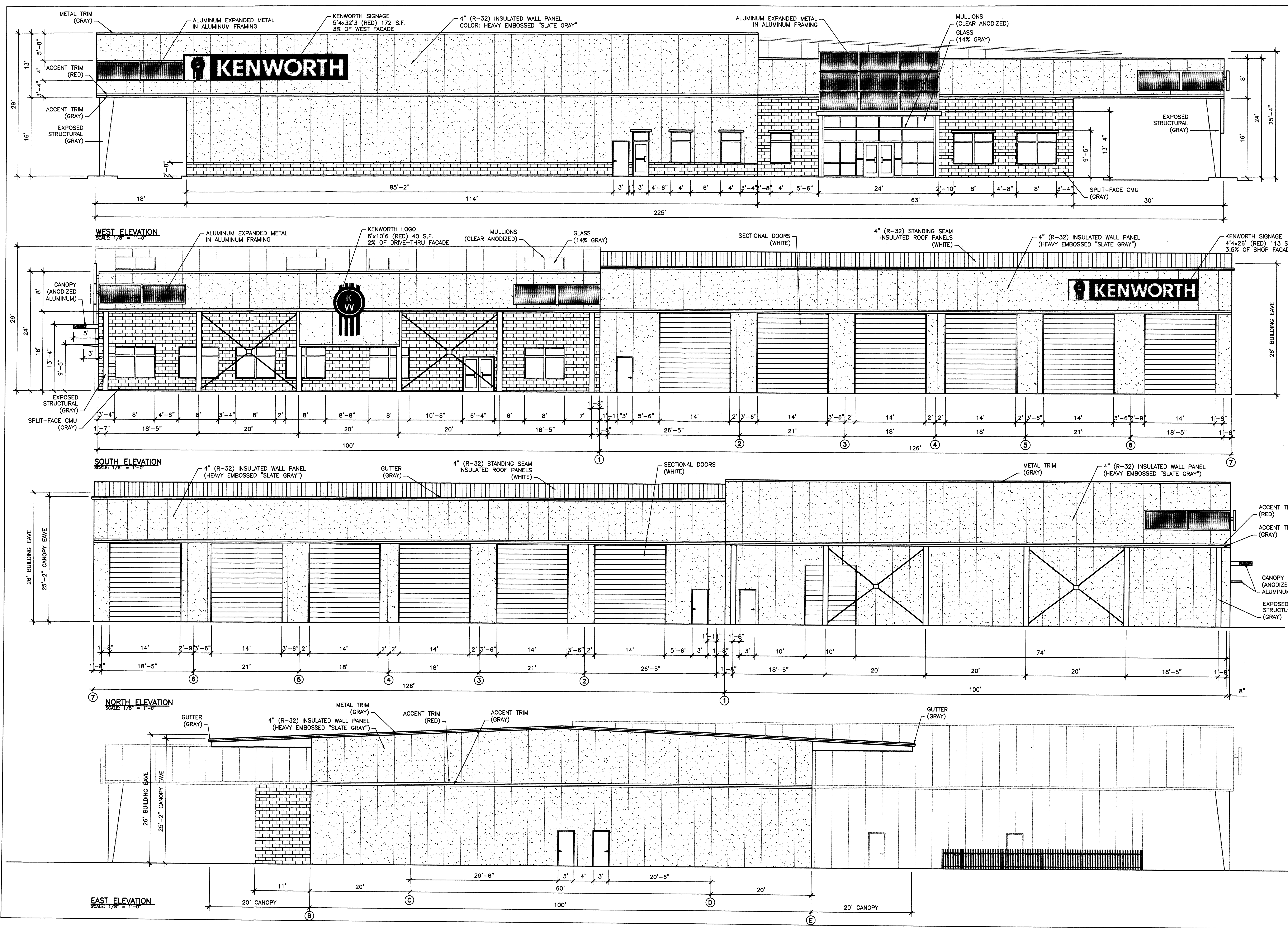
SCALE: 1" = 40'

---

Date: 8/28/12  
 Drawn By: DH  
 Job: KENWORTH  
 Job No.: L-800 ABC-  
 Sheet:

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828    www.iacivil.com  
 1941 CG-101.dwg    Oct 22, 2012





**REVISIONS**

**LORD CONSTRUCTORS, INC.**  
 1920 West Eleventh Street  
 Upland, California 91786  
SMALL PRINT: ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT FOR THE DOCUMENT INCLUDING REPRESENTED DESIGN AND SPECIFICATIONS.

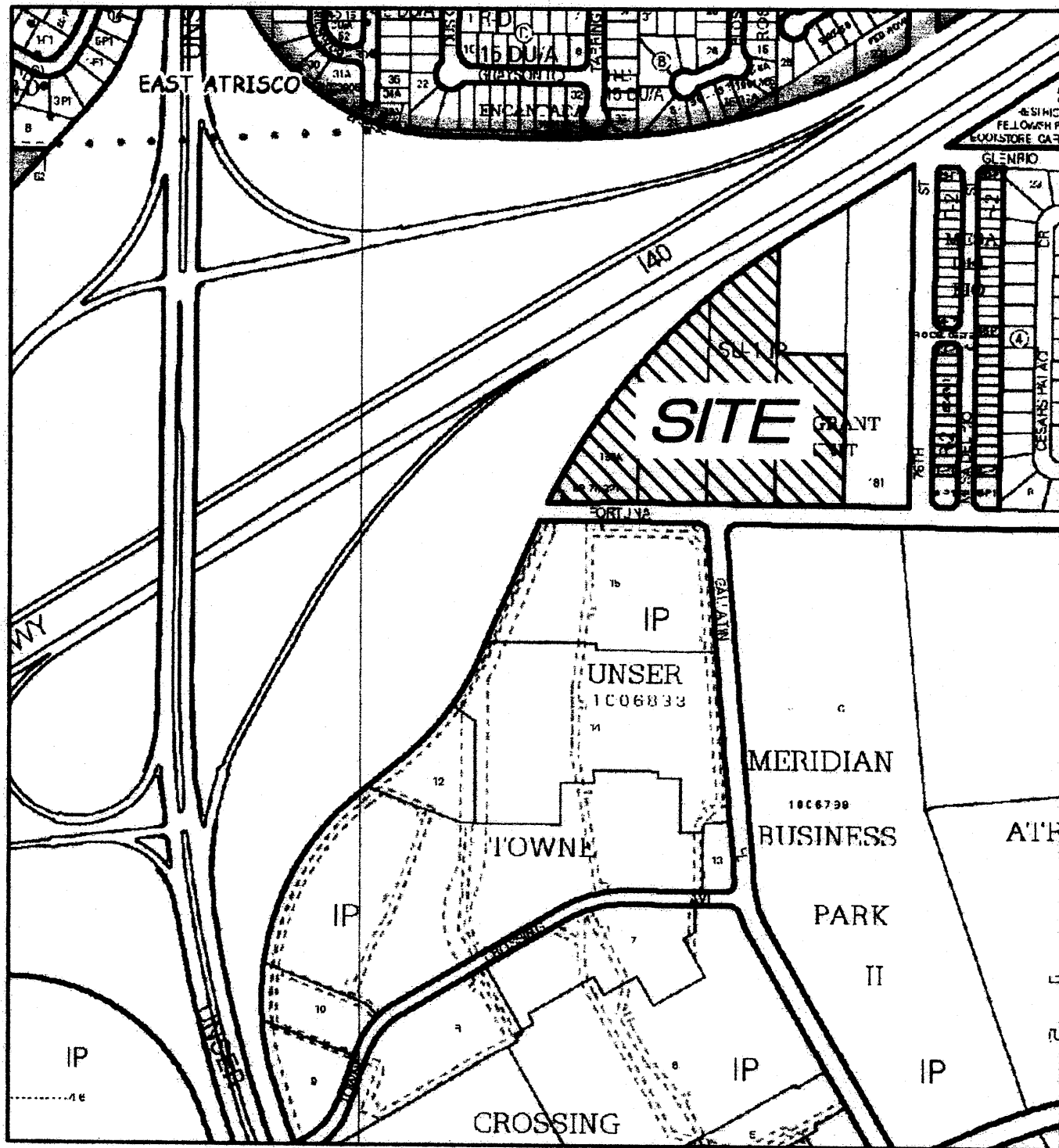
DESIGN PLANS FOR:  
**INLAND KENWORTH**  
 FORTUNA ROAD N.W.  
 ALBUQUERQUE, NM

DRAWING TITLE:  
**ELEVATIONS**  
 SCALE: 1/8" = 1'-0"

Date: 10/22/12  
 Drawn By: DH  
 Job: KENWORTH  
 Job No.: L-800 ABC-  
 Sheet:

**A-3**  
 of Sheets





VICINITY MAP

Not to Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page J-10-Z.

**SUBDIVISION DATA**

- Total number of existing Tracts: 5
- Total number of Tracts created: 2
- Gross Subdivision acreage: 8.8600 acres

**PURPOSE OF PLAT**

The purpose of this plat is to

- Combine portions of Tracts 182, 183, 184 and all of Tract 185A-1, Town of Atrisco Grant Airport Unit, in to Two (2) new tracts.
- Grant the public utility easements as shown hereon.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

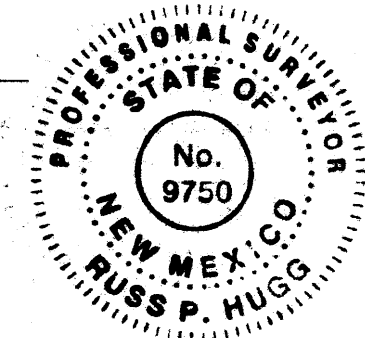
**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM), Qwest Corporation d/b/a CenturyLink Q.C. and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
 Russ P. Hugg  
 NMS No. 9750  
 November 26, 2012



PLAT OF  
 TRACTS A AND B  
 INLAND KENWORTH

(BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT)

SITUATE WITHIN

THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2012

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

*[Signature]* 12-9-12  
 Public Service Company of New Mexico Date

New Mexico Gas Company Date

*[Signature]* 12-10-12  
 Qwest Corporation d/b/a CenturyLink QC. Date

Comcast Date

**CITY APPROVALS:**

*[Signature]* 12-10-12  
 City Surveyor Date  
 Department of Municipal Development

Real Property Division Date

Environmental Health Department Date

Traffic Engineering, Transportation Division Date

ABCWUA Date

Parks and Recreation Department Date

AMAFCA Date

City Engineer Date

DRB Chairperson, Planning Department Date

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF  
TRACTS A AND B  
INLAND KENWORTH

(BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182,  
183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT)

SITUATE WITHIN

THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2012

**LEGAL DESCRIPTION**

That certain parcel of land situate within The Town of Atrisco Grant in projected Section 15, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Portions of Tracts 182, 183 and 184, Town of Atrisco Grant Airport Unit as the same are shown and designated on the plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT", filed in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944 in Volume D, Folio 117; said Tracts further described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685 and All of Tract 185A-1 Town of Atrisco Grant Airport Unit as the same is shown and designated on the plat entitled "REPLAT OF TRACT 185A, AIRPORT UNIT, TOWN OF ATRISCO GRANT", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 25, 1986 in Volume C31, Folio 24, said Tracts further described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685, more particularly described using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the Southeast corner of the parcel herein described (a 5/8" Rebar and cap stamped "L.S. 9750" set), a point on the Northerly right of way line of Fortuna Road N.W.; Thence,

N 89°25'08"W, 840.04 feet along said Northerly right of way line of Fortuna Road N.W. to an angle point in the Southerly line of said tract 185-A ( a 1" Iron pipe found in place); Thence,

N 00°32'40"E, 29.88 feet to a point (a Bathey survey marker stamped "L.S. 14271" found in place); Thence,

N 89°25'08"W, 28.30 feet to a non-tangent point on curve on the Southerly right of way line of Interstate 40 (a Bathey survey marker stamped "L.S. 14271" found in place) said point being the Southwest corner of the parcel herein described; Thence Northeasterly along said Southerly right of way line of Interstate 40 for the following two(2) courses:

Northeasterly, 280.90 feet on the arc of a curve to the right (said curve having a radius of 1332.40 feet, a central angle of 120°4'46" and a chord which bears N 32°25'39"E, 280.38 feet) to a point of compound curvature (a 3-1/2" N.M.S.H.C. monument set in concrete, found in place); Thence,

Northeasterly, 717.35 feet on the arc of a curve to the right (said curve having a radius of 2642.50 feet, a central angle of 15°33'14" and a chord which bears N 46°13'14"E, 715.15 feet) to a non-tangent point on curve (a Bathey survey marker stamped "L.S. 14271" found in place) said point being the Northeast corner of the parcel herein described; Thence along the Easterly line as described in the aforesaid Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 2008 as Document Number 2008003685 for the following two (2) courses:

S 00°38'28"W, 353.31 feet to a point (a 1/2" Rebar and cap stamped "L.S. 8686" found in place); Thence,

S 89°30'17"E, 210.35 feet to a point (a 5/8" Rebar and cap stamped "L.S. 9750" set); Thence,

S 00°41'56" W, 415.07 feet to the outeast corner and point of beginning of the parcel herein described.

Said parcel contains 8.8600 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS A AND B, INLAND KENWORTH (BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT) SITUATE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that it is so authorized to act.

**OWNER(S)**

Inland Properties (U.S.), Inc.  
a Delaware Corporation

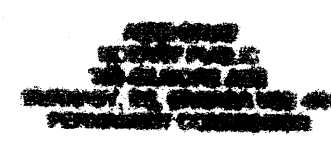
*[Signature]*  
By: Ranjit Bal, Secretary

**ACKNOWLEDGMENT**

STATE OF BRITISH Columbia  
CITY/COUNTY OF BURNABY SS

The foregoing instrument was acknowledged before me this 29  
day of NOVEMBER, 2012, by RANJIT BAL

*[Signature]* My commission expires PERMANENT  
Notary Public

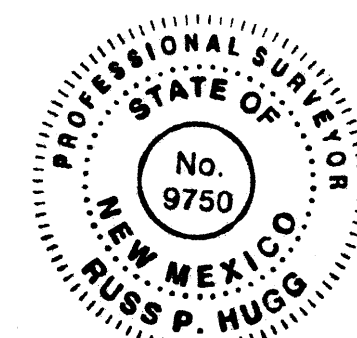


**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY**

- Plat entitled "REPLAT OF TRACT 185A, AIRPORT UNIT TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, MAY, 1986", filed July 25, 1986, Volume C31, Folio 24, records of Bernalillo County, New Mexico.
- Plat entitled "SUBDIVISION PLAT OF UNSER TOWNE CROSSING (BEING A REPLAT OF TRACTS A AND B, MERIDIAN BUSINESS PARK II AND TRACT S-2A-1, ATRISCO BUSINESS PARK, UNIT 2) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2008", filed August 15, 2008 in Plat Book 2008C, Page 186, records of Bernalillo County, New Mexico.
- BULK LAND PLAT OF TRACTS A THRU D, MERIDIAN BUSINESS PARK II, ALBUQUERQUE, NEW MEXICO", filed April 29, 2008 in Plat Book 2008C, page 100, records of Bernalillo County, New Mexico.
- Unrecorded survey entitled "A.L.T.A. / A.C.S.M. LAND TITLE SURVEY OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT, AIRPORT UNIT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER, 2007", prepared by Will W. Plottner, NMP Number 14271..
- Title Commitments prepared for this property by First American Title Insurance Company, Commitment for Title Insurance File No. 1053426-AL04, dated 01/10/2008 and File No. 1053426-AL04, dated 06/20/2007.



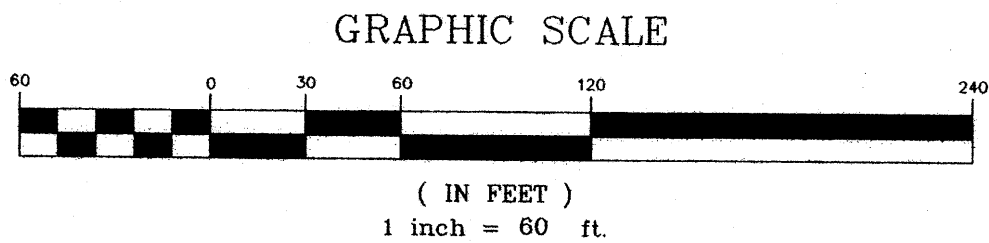
**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3388  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3977



LINE TABLE		
LINE	LENGTH	BEARING
L1	29.88'	N00°32'40"E
L2	28.30'	N89°25'08"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	280.90'	1332.40'	140.97'	280.38'	N32°25'39"E	12°04'46"
C2	717.35'	2642.50'	360.89'	715.15'	N46°13'14"E	15°33'14"



Existing Drainage Easements

- (A) Approximate location of NMSHD Drainage Easement Filed 05/07/96 in Book 96-12, Page 9864 Scaled from NMSHC R/W Map Project L\_040-3(28)148 and as shown on ALTA Survey by Will Plattner, NMPS 14271, dated December, 2007.
- (B) Approximate location of NMSHD Drainage Easement Filed 05/07/96 in Book 96-12, Page 9867 Scaled from NMSHC R/W Map Project L\_040-3(28)148 and as shown on ALTA Survey by Will Plattner, NMPS 14271, dated December, 2007.

PLAT OF  
TRACTS A AND B  
INLAND KENWORTH

(BEING A REPLAT OF TRACT 185A-1 AND PORTIONS OF TRACTS 182, 183 AND 184, TOWN OF ATRISCO GRANT AIRPORT UNIT)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER 2012

**INTERSTATE 40**  
NMSHC PROJECT I-040-3(28)148  
Variable Width R/W

Remaining portions of Tracts 182 thru 185 were created by the right of way taking for Interstate 40 per NMSHC Project I-040-3(28)148 dated March, 1969.

All existing interior tract lines are hereby eliminated by this plat

**TRACT A**  
6.8584 Ac.

**TRACT B**  
2.0016 Ac.

TRACT 184      TRACT 183  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Filed- December 5, 1944 in Volume D, Folio 117

TRACT 185A-1  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Filed- July 25, 1986 in Volume C31, Folio 24

PORTION OF TRACT 182  
WARRANTY DEED Filed February 24, 1981 in Book D137-A, page 946  
WARRANTY DEED Filed November 2, 1949 in Book D121, page 261

PORTION OF TRACT 181  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Quitclaim Deed Filed 12/05/44 in Book D, Folio 117

PORTION OF TRACT 181  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Quitclaim Deed Filed 08/02/05

PORTION OF TRACT 181  
TOWN OF ATRISCO GRANT  
AIRPORT UNIT  
Quitclaim Deed Filed 04/10/89 in Book D357A, Page 750

**FORTUNA ROAD N.W.**  
60' R/W

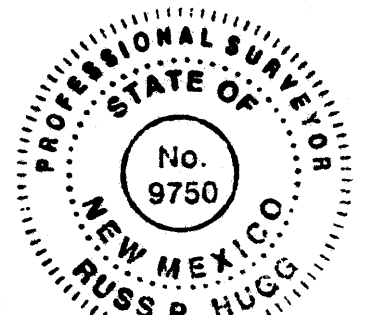
**LOT 15**  
**UNSER TOWNE CROSSING**  
Filed August 15, 2008 in Plat Book 2008C, Page 186

**TRACT C**  
**MERIDIAN BUSINESS PARK II**  
Filed April 29, 2008, in Plat Book 2008C, Page 100

Albuquerque Control Survey Monument "3\_H10"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83)  
North= 1,493,985.681 feet  
East= 1,497,135.489 feet  
Elevation= 5196.151 feet (NAVD 1988)  
Delta Alpha= -00'16"31.81  
Ground to Grid Factor= 0.999678906

Fd. 3-1/2" N.M.S.H.C. monument set in concrete.

Albuquerque Control Survey Monument "6\_J10"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83)  
North= 1,492,180.199 feet  
East= 1,500,635.082 feet  
Elevation= 5119.814 feet (NAVD 1988)  
Delta Alpha= -00'16"07.41  
Ground to Grid Factor= 0.999681414



SHEET 3 OF 3

**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3368  
Fax: 505-897-3377



**LEGEND**

- ⊙ Storm Drain Manhole
- ⊙ Sanitary Sewer Manhole
- SAS- Sanitary Sewer Line
- SD- Storm Drain Line
- ⊕ Storm Drain Inlet
- Power Pole
- Guy Wire
- OHW- Overhead Wires
- E- Electric Line
- COM- Communications Line
- G- Gas Line
- W- Water Line
- Sanitary Sewer Clean-out
- Water Meter
- Water Valve
- Hydrant
- ⊕ Telephone Pedestal
- ⊕ WROUGHT IRON SECURITY FENCE
- ☆ Light Pole
- ☆ Flood Light
- Ballast
- ⊕ Concrete Symbol
- ⊕ Telephone Manhole
- ⊕ Water Manhole
- RTDM Raised Truncated Dome Mat

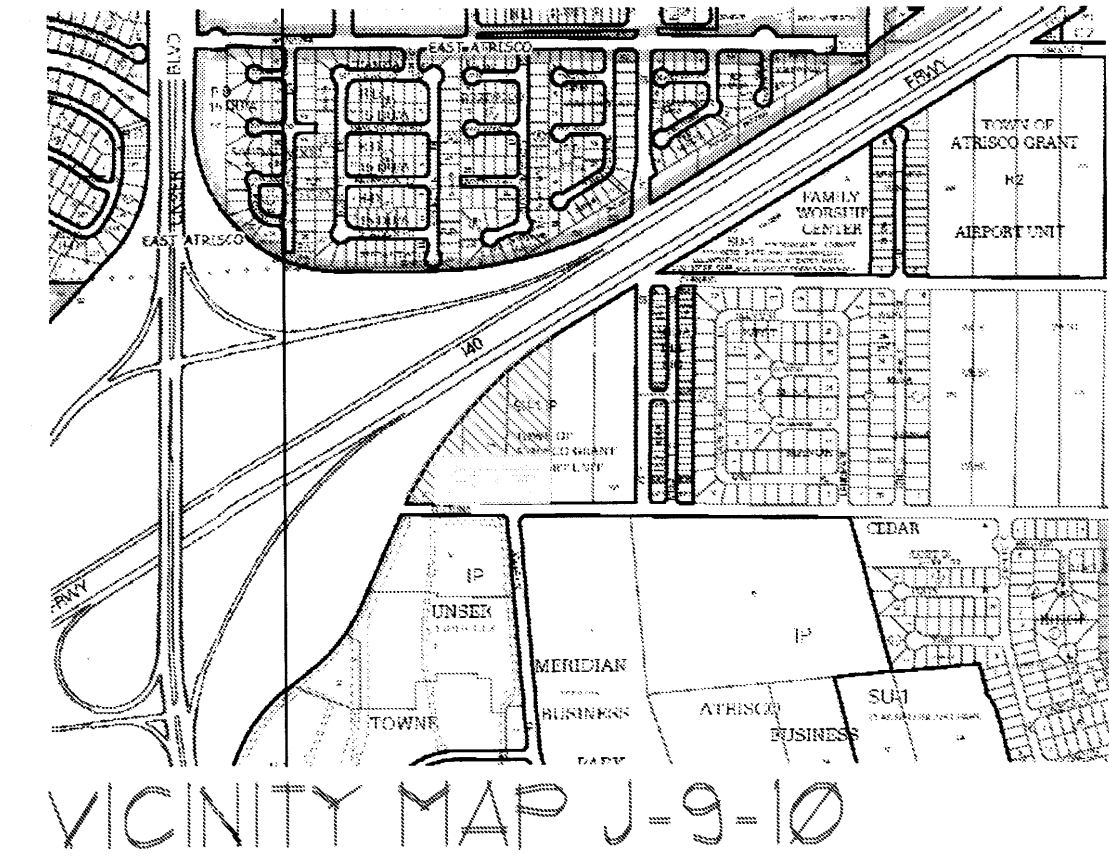
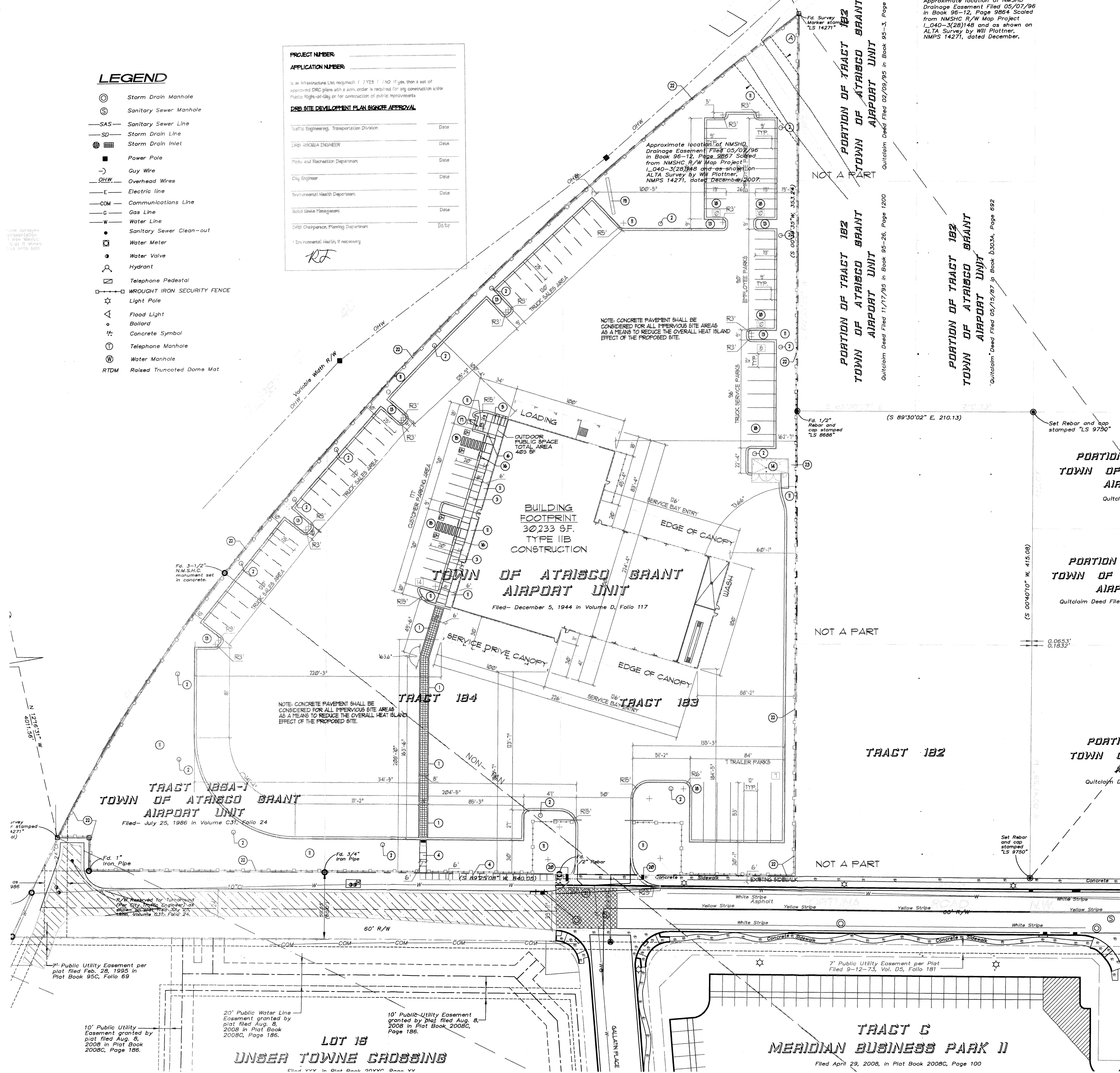
**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

is an Infrastructure List required? YES ( ) NO ( ) If yes, then a set of approved DRP plans with a seal, order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRP ARCHITECT ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Public Works Management	Date
DRP Chairperson, Planning Department	Date
Environmental Health, if necessary	Date

*RF*



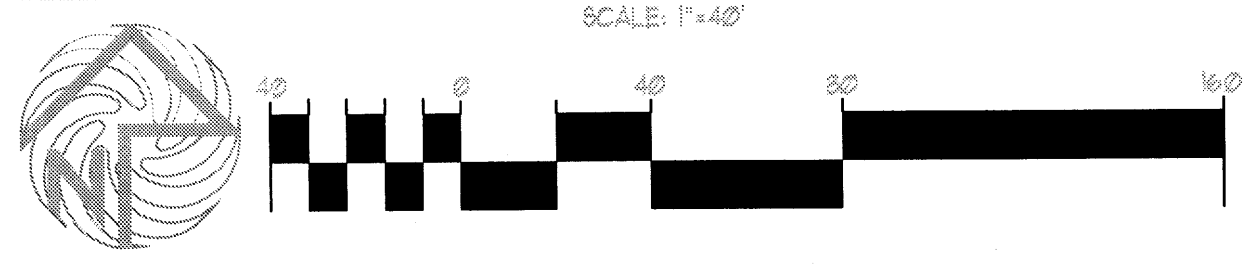
SITE DATA TABLE		ISLAND KENOROTH	
LEGAL DESCRIPTION	TOWN OF ATRISCO GRANT AIRPORT UNIT	TOTAL ACRES	254.465 SF OR 6.78 AC
EXISTING ZONING	BU-1-IP WITH TRUCK SALES AND SERVICE	PROPOSED ZONING	BU-1-IP WITH TRUCK SALES AND SERVICE
BUILDING SIZE	30,233 SF TOTAL	PROPOSED USES	TRUCK SALES AND SERVICE
TOTAL PARKING PROVIDED	52 SPACES	TOTAL PARKING REQUIRED	52 SPACES
TOTAL PARKING REQUIRED	52 SPACES	HC PROVIDED	4 HC (INCLUDING 4 VAN ACCESSIBLE)
HC PROVIDED	4 HC	BIKE SPACES PROVIDED	3 BIKE SPACES
BIKE SPACES PROVIDED	3 BIKE SPACES	MOTORCYCLE SPACES PROVIDED	3 SPACES
MOTORCYCLE SPACES PROVIDED	3 SPACES	MOTORCYCLE SPACES REQUIRED	3 SPACES

- KEYED NOTE:**
- 1) 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
  - 2) LIGHT POLE LOCATION RE: DETAIL 3/A11
  - 3) CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11  
NOTE: TYP. SIDEWALK WIDTH ADJACENT BLDG = 8'  
RE: SITE PLAN FOR JOINT LAYOUT
  - 4) TYPICAL CONC. SITE SIDEWALK: DET 1/A11  
NOTE: TYP. SITE SIDEWALK WIDTH = 6'  
RE: SITE PLAN FOR JOINT LAYOUT
  - 5) INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY)  
RE: DETAIL 13/A12  
TYPICAL BIKE RACK GRAPHIC SYMBOL: [ ]
  - 6) BENCH LOCATION RE: DETAIL 10/A12  
TYPICAL BENCH/REFURGE GRAPHIC SYMBOL: [ ]
  - 7) HANDICAP RAMP RE: 15/A11
  - 8) HANDICAP RAMP RE: 16/A11
  - 9) HANDICAP RAMP RE: 5/A11
  - 10) HANDICAP RAMP RE: 11/A11
  - 11) INDICATES LANDSCAPE PLANTING AREA  
G.C. TO PROVIDE/COORDINATE REQ. BLEEVING FOR EA. WELL LOCATION  
RE: LANDSCAPE PLAN FOR INFO
  - 12) NOT USED
  - 13) 6" HIGH CONC. ISLAND RE: DET. 9/A11  
RE: SITE GRADING PLAN FOR INFO
  - 14) REFURGE ENCLOSURE RE: DET 4/A13
  - 15) HC PARKING STALL RE: DET 2/A12
  - 16) HC PARKING SIGNAGE RE: DET 11/A12
  - 17) WHEELSTOP RE: DET 4/A12
  - 18) INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
RE: SITE PLAN FOR LOCATIONS; RE: DET. 12/A12 FOR SIGN DET.
  - 19) MOTORCYCLE SIGNAGE RE: DET 12/A12
  - 20) PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN  
ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
  - 21) PROPOSED PYLON SIGN RE: DETAIL 8/A13 FOR SIGN ELEV.
  - 22) HANDICAP RAMP PER COA STD. DUG 12426  
AT 1/2 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - 23) INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 12426
  - 24) INDICATES SITE PERIMETER SECURITY FENCE  
RE: DETAILS 9/10/A13
  - 25) INDICATES EVERGREEN HEDGE FOR SCREENING  
RE: LANDSCAPE PLAN

NOTE: EXISTING ON-SITE LOT LINES SHALL BE VACATED UNDER FUTURE PLATTING ACTION WITH COA  
 NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW AS REQUIRED UNDER COA CODE SECTION 14-16-3-18

**LINE TYPE LEGEND**

EXISTING PROPERTY LINE	---
EXISTING CURB LINE	---
PROPOSED CURB LINE	---



**SITE PLAN FOR BUILDING PERMIT**  
 SCALE: 1"=40'

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT FILE	INLAND KENOROTH N.W. OF GALATIA AND FORTUNA ROAD ALBUQUERQUE, NEW MEXICO	DRAWN BY:	5-J
PROJECT MANAGER	STEPHEN DUNBAR, AIA	JOB NO.	KUJ
SHEET TITLE	SITE PLAN FOR BUILDING PERMIT		
DATE	8/8/12	SCALE	AS NOTED



**LEGEND**

- ⊙ Storm Drain Manhole
- ⊙ Sanitary Sewer Manhole
- SAS- Sanitary Sewer Line
- SD- Storm Drain Line
- ⊙ Storm Drain Inlet
- ⊙ Power Pole
- Guy Wire
- OHW Overhead Wires
- Electric Line
- COM Communications Line
- Gas Line
- Water Line
- Sanitary Sewer Clean-out
- Water Meter
- Water Valve
- Hydrant
- ⊙ Telephone Pedestal
- ⊙ WROUGHT IRON SECURITY FENCE
- Light Pole
- Flood Light
- Ballard
- Concrete Symbol
- ⊙ Telephone Manhole
- ⊙ Water Manhole
- RTDM Raised Truncated Dome Mat

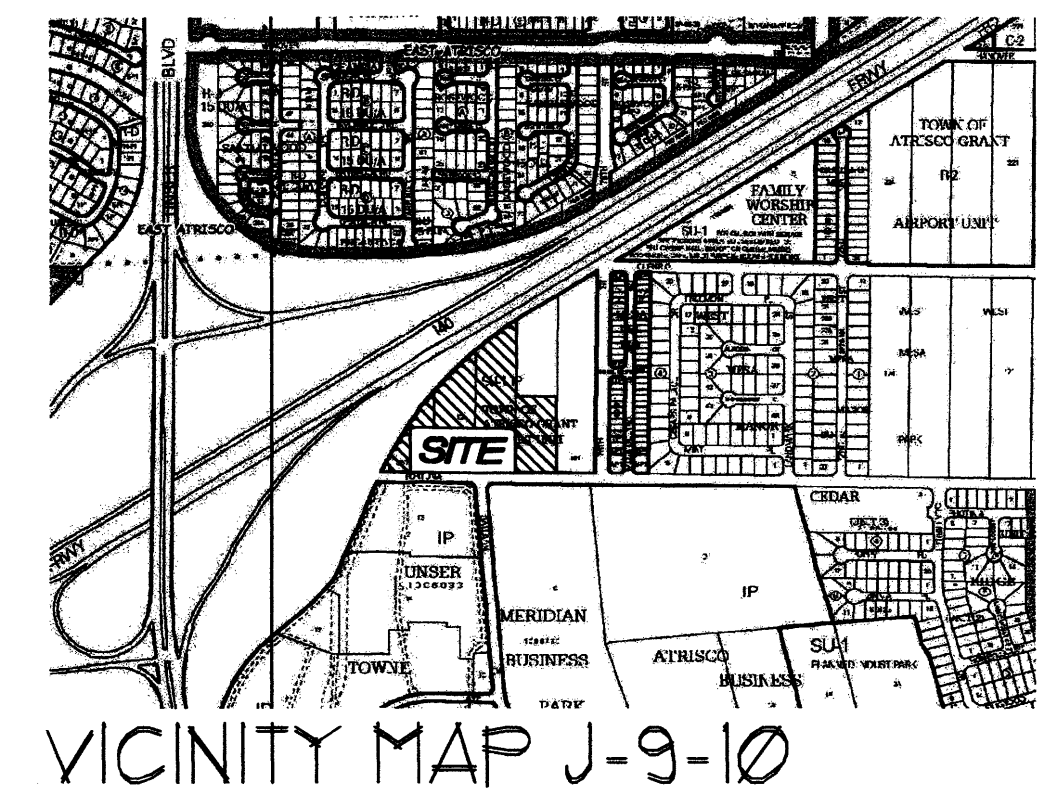
PROJECT NUMBER: 100616/DEPC-4263  
 APPLICATION NUMBER: \_\_\_\_\_  
 Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DRIC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRIC ARCHITECT/ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRIC Operations, Planning Department	Date
Environmental Health, if necessary	Date

Signature: *[Signature]* Date: 5-7-2013

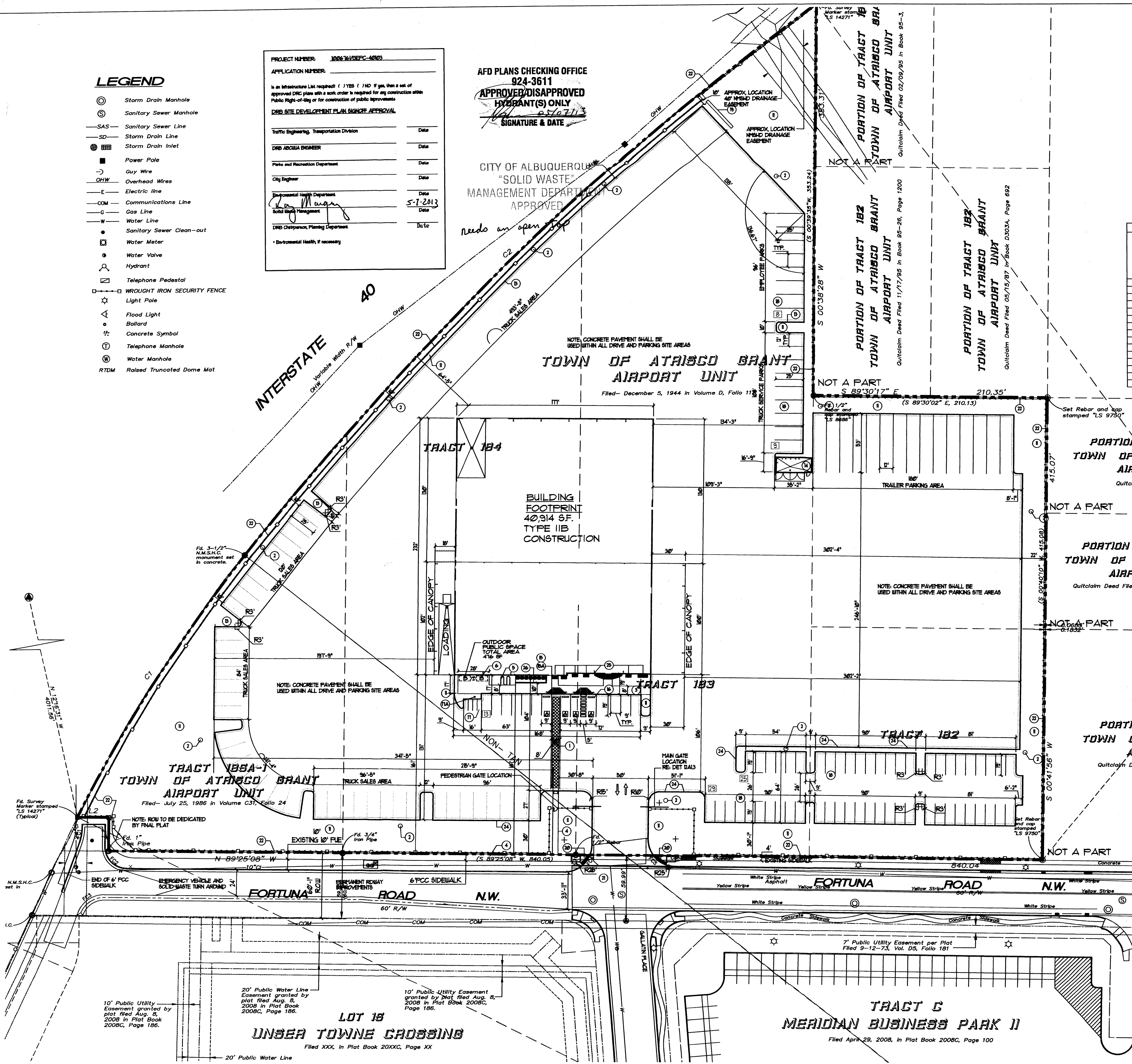
AFD PLANS CHECKING OFFICE  
 924-3611  
**APPROVED/DISAPPROVED**  
**HYDRANT(S) ONLY**  
*[Signature]*  
 SIGNATURE & DATE

CITY OF ALBUQUERQUE  
 "SOLID WASTE"  
 MANAGEMENT DEPARTMENT  
 APPROVED  
*[Signature]*  
 Needs an open trap



SITE DATA TABLE		INLAND KENWORTH
LEGAL DESCRIPTION	A TRACT OF LAND SITUATE WITHIN THE TOWN OF ATASCOGRADE, PROJECTED SECTION 8, TOWNSHIP 19 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING A PORTION OF TRACTS 182 THRU 184, TOWN OF ATASCOGRADE, AIRPORT UNIT, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAN FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 18.	
TOTAL ACRES	385.92 OF OR 889.95 AC	
EXISTING ZONING	SH-FOR 8' WITH TRUCK SALES AND SERVICE	
BUILDING SIZE	46294 SF TOTAL	
PROPOSED USES	TRUCK SALES AND SERVICE	
TOTAL PARKING PROVIDED	26 SPACES	11,800 SF SALES/300+ TR CARS
TOTAL PARKING REQ.	84 SPACES	26,334 SF TRUCK SERVICE/2000+ TR CARS + 84 REQ PARKS
HC PROVIDED	4 HC (INCLUDING 4 VAN ACCESSIBLE)	
HC REQUIRED	4 HC SPACES	
BIKE SPACES PROVIDED	5 BIKE SPACES	
BIKE SPACES REQUIRED	4 BIKE SPACES	
MOTORCYCLE SPACES PROVIDED	5 SPACES	
MOTORCYCLE SPACES REQUIRED	4 SPACES	

- KEYED NOTE:**
- ① 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 8/A1
  - ② LIGHT POLE LOCATION RE: DETAIL 3/A1
  - ③ CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A1  
NOTE: TYP. SIDEWALK WIDTH ADJACENT BLDG = 8' RE: SITE PLAN FOR JOINT LAYOUT
  - ④ TYPICAL CONC. SITE SIDEWALK- DET 1/A1  
NOTE: TYP. SITE SIDEWALK WIDTH = 6' RE: SITE PLAN FOR JOINT LAYOUT
  - ⑤ INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 8/A2  
TYPICAL BIKE RACK GRAPHIC SYMBOL = [ ]
  - ⑥ BENCH LOCATION RE: DETAIL 10/A2  
TYPICAL BENCH/REUSE GRAPHIC SYMBOL = [ ]
  - ⑦ HANDICAP RAMP RE: 8/A1
  - ⑧ HANDICAP RAMP RE: 16/A1
  - ⑨ HANDICAP RAMP RE: 8/A1
  - ⑩ HANDICAP RAMP RE: 17/A1
  - ⑪ INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - ⑫ NOT USED
  - ⑬ 6" HIGH CONC. ISLAND RE: DET. 9/A1  
RE: SITE GRADING PLAN FOR INFO
  - ⑭ REFUSE ENCLOSURE RE: DET 4/A3
  - ⑮ HC PARKING STALL RE: DET 2/A2
  - ⑯ HC PARKING SIGNAGE RE: DET 11/A2
  - ⑰ WHEELSTOP RE: DET 4/A2
  - ⑱ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS, RE: DET. 12/A2 FOR SIGN DET.
  - ⑲ MOTORCYCLE SIGNAGE RE: DET 12/A2
  - ⑳ PAINTED STRIPES/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
  - ㉑ PROPOSED PYLON SIGN RE: DETAIL 8/A1S FOR SIGN ELEV.
  - ㉒ HANDICAP RAMP PER COA STD DUG 92426 AT 1/2 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - ㉓ INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - ㉔ INDICATES SITE PERIMETER SECURITY FENCE RE: DETAILS 9/A1/A3
  - ㉕ NOT USED
  - ㉖ INDICATES PASSIVE WATER HARVESTING CURB NOTCH LOCATION
  - ㉗ INDICATES OVERHEAD BUILDING SHADING DEVICE
  - ㉘ CONCRETE SCREEN WALL 4'-6" IN HEIGHT AND COLORED GRAY TO MATCH THE ADJACENT BUILDING COLOR
- NOTE: EXISTING ON-SITE LOT LINES SHALL BE VACATED UNDER FUTURE PLATTING ACTION WITH COA  
 NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW AS REQUIRED UNDER COA CODE SECTION 14-16-3-18
- LINE TYPE LEGEND**
- EXISTING PROPERTY LINE
  - - - EXISTING CURB LINE
  - · - · - PROPOSED CURB LINE



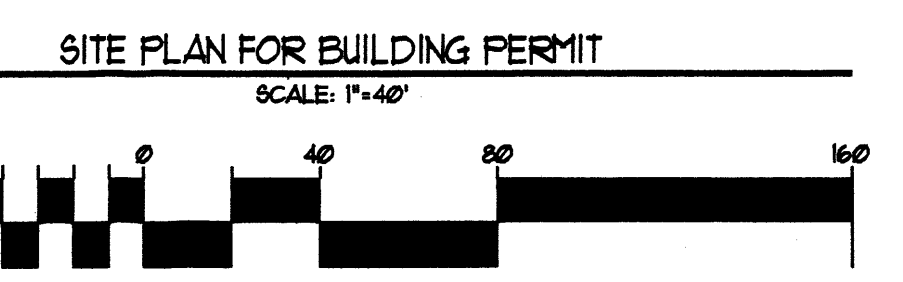
REVISIONS

LCI, LLC  
 8023-B EDITH BOULEVARD NE  
 ALBUQUERQUE, NM 87113

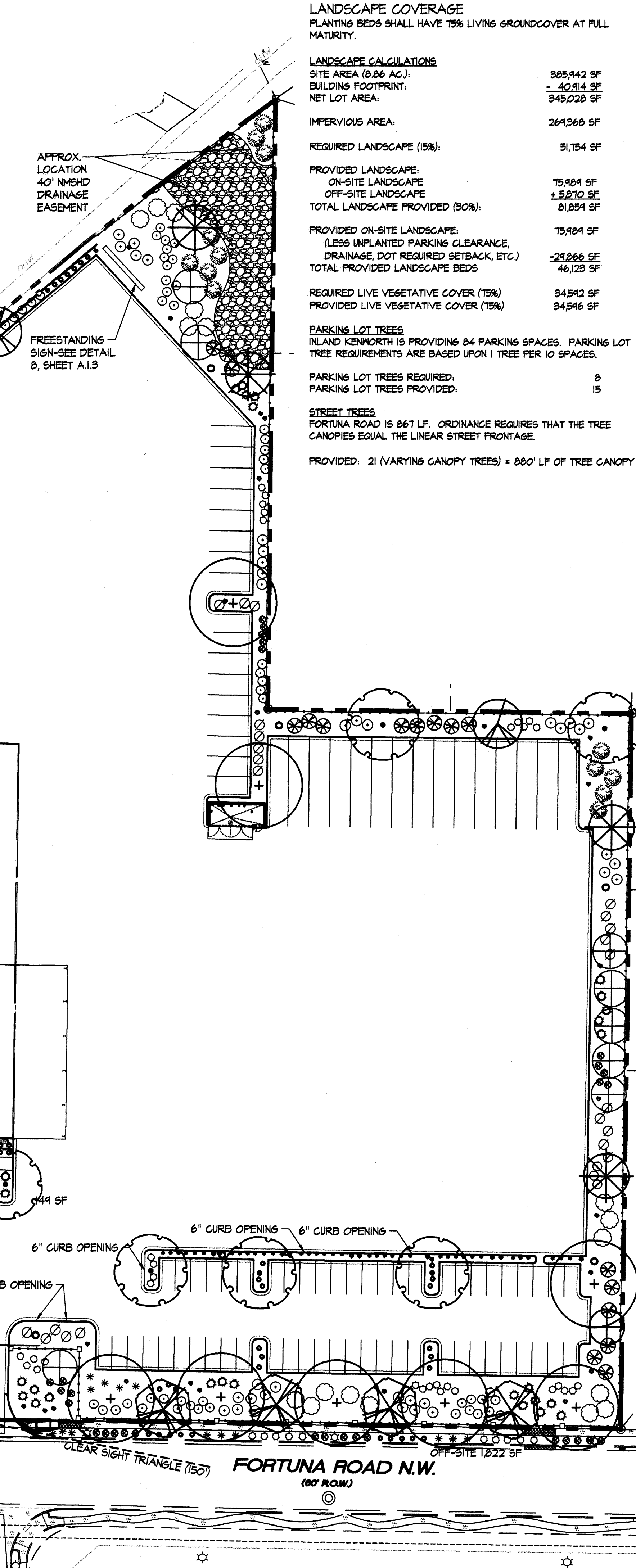
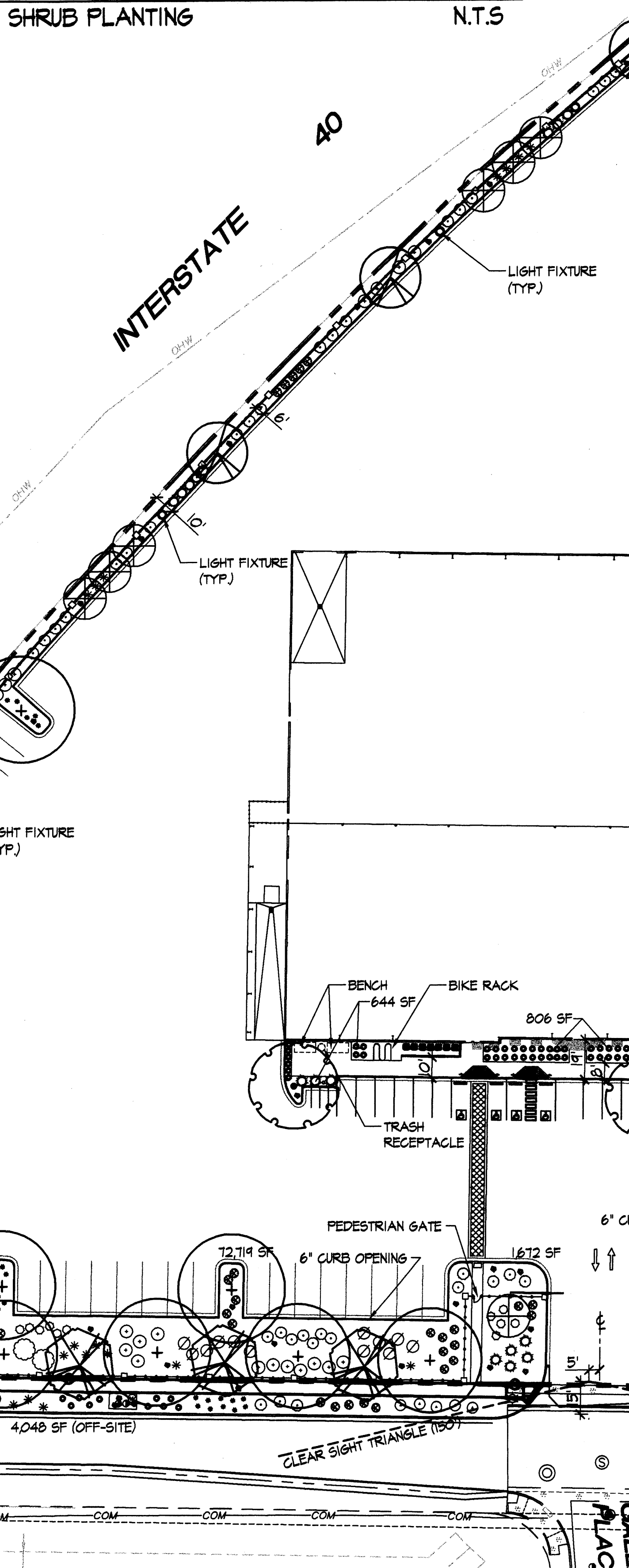
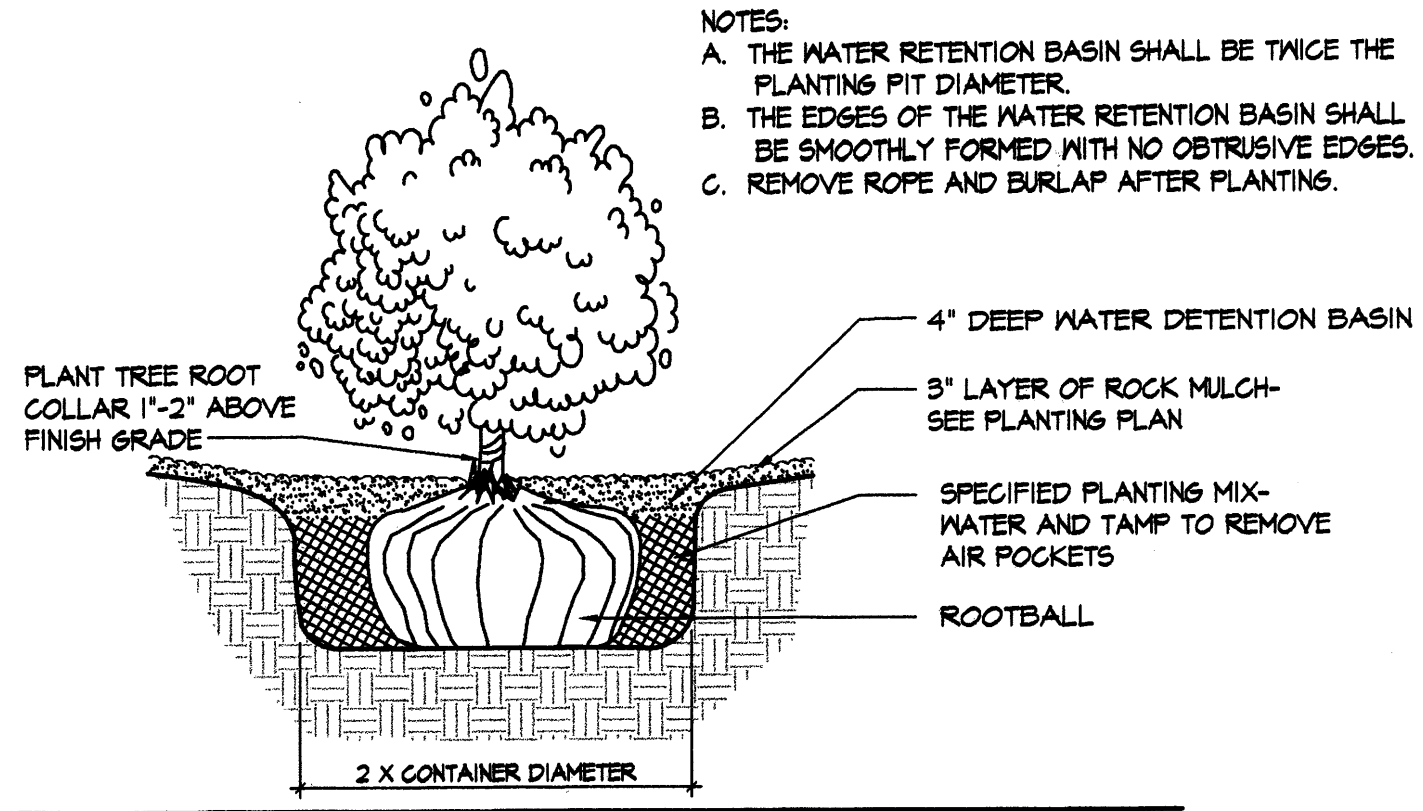
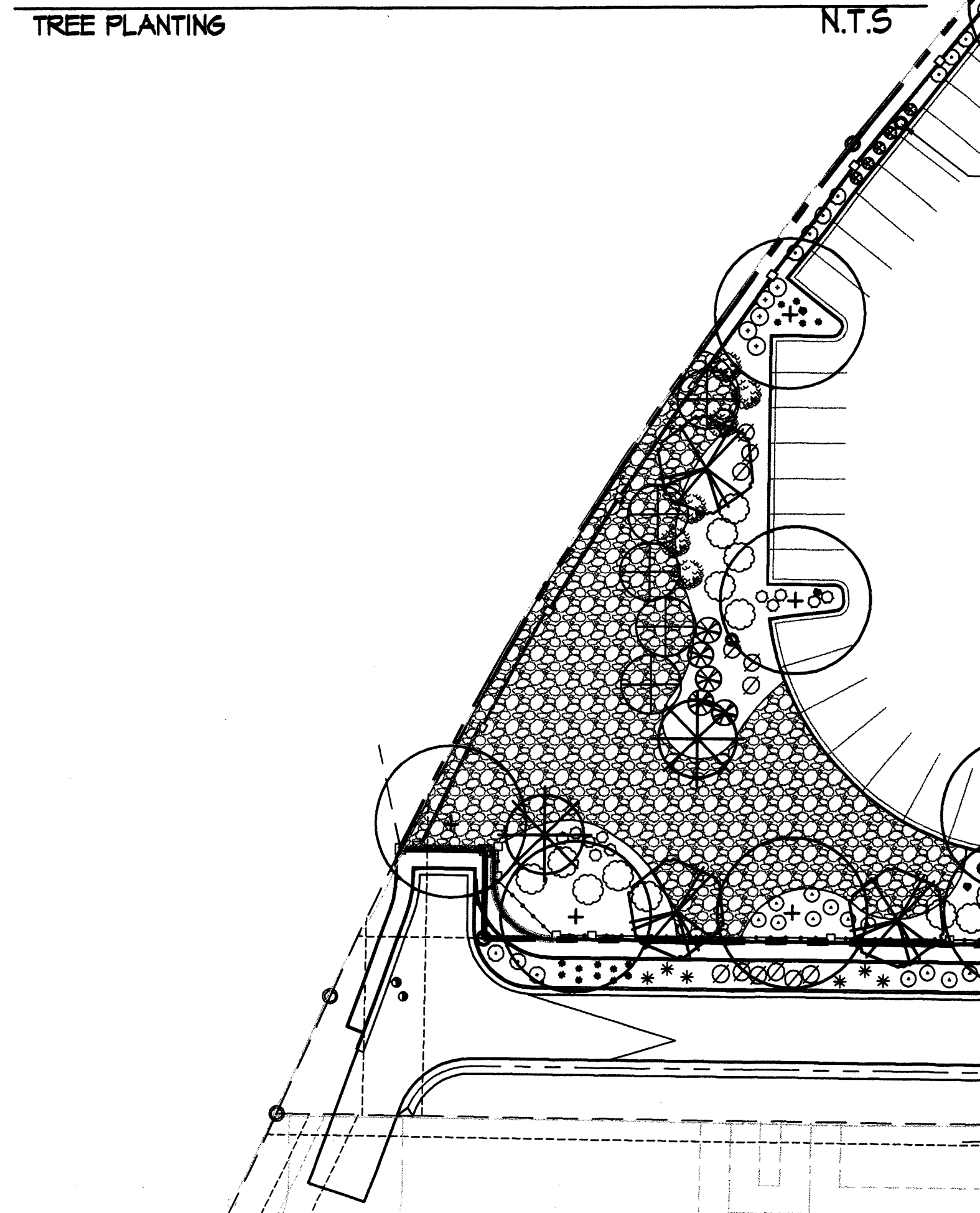
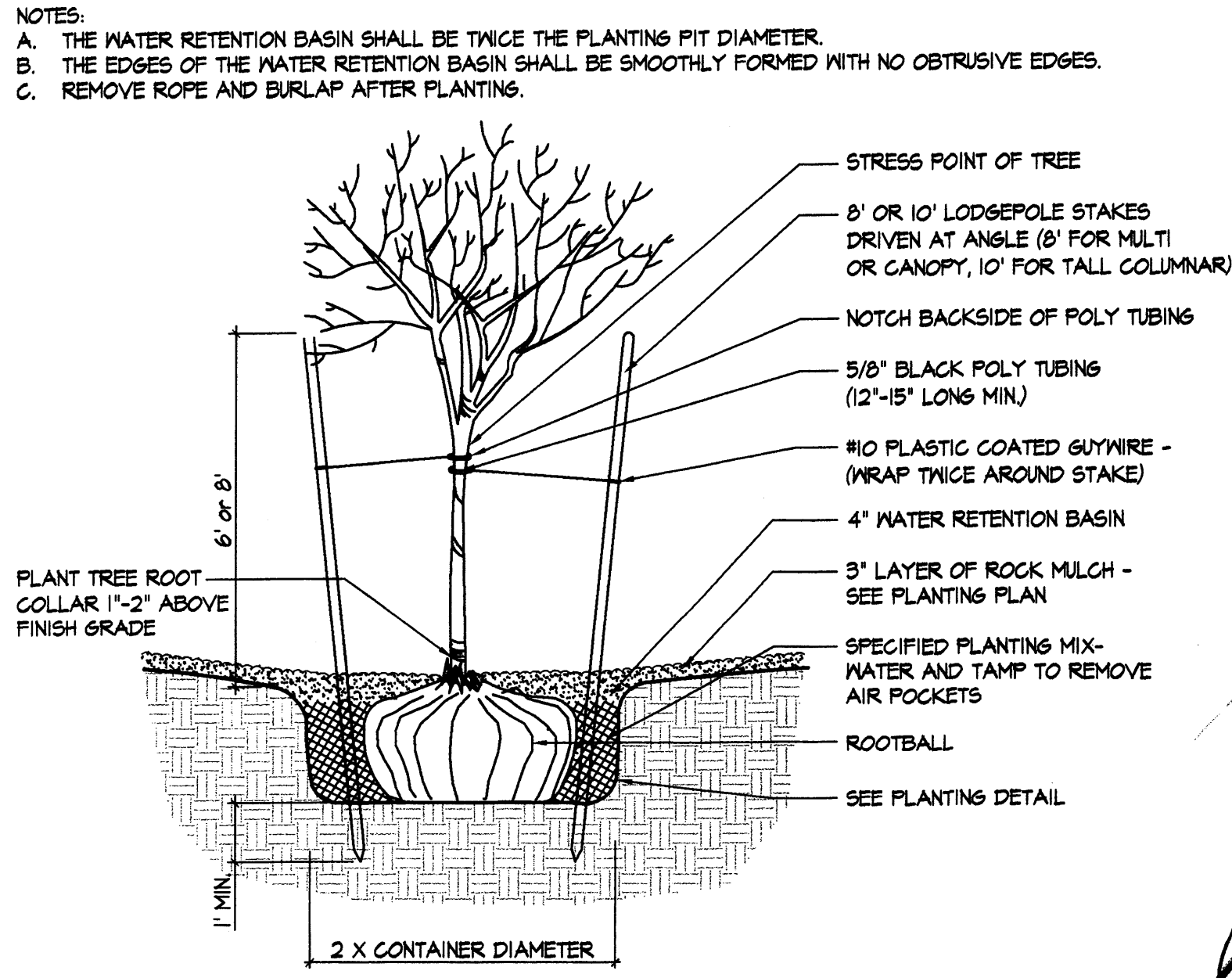
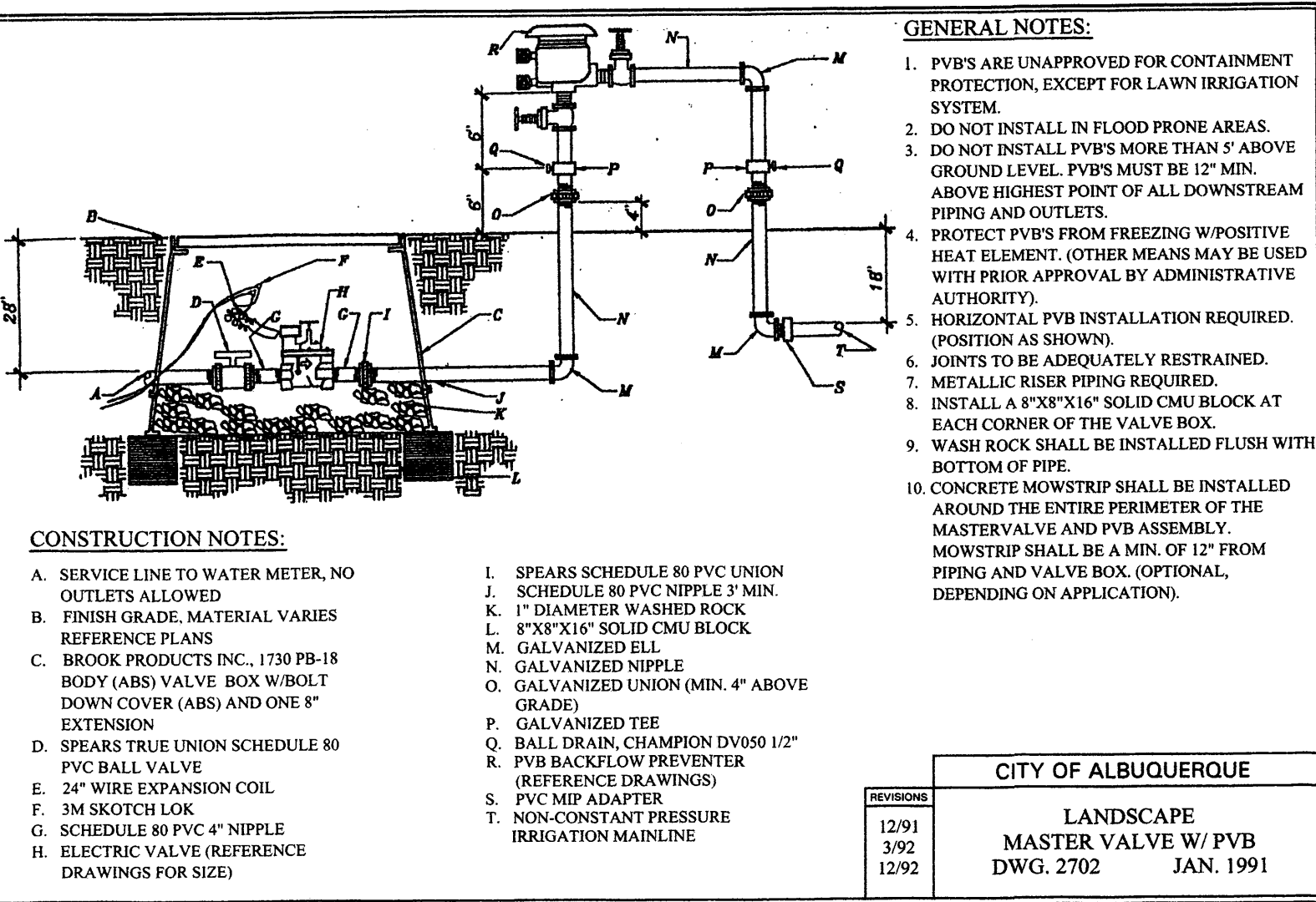
DESIGN PLANS FOR:  
 INLAND KENWORTH  
 FORTUNA ROAD N.W.  
 ALBUQUERQUE, NM

SITE PLAN FOR BUILDING PERMIT

Date: 4/29/2013  
 Drawn By: S  
 Job: KENWORTH  
 Job No.: L-800 ABC-  
 Sheet: BP-1  
 of 5 sheets







**LANDSCAPE PALETTE**

QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	INSTALLED SIZE	WATER USE
10	⊗	CHITALPA TASHKENTENSIS / PINK DAWN CHITALPA	2' B4B	14' HT. X 5' SPR.	LOW+
20	⊙	PISTACIA CHINENSIS / CHINESE PISTACHE	2' B4B	14' HT. X 6' SPR.	MEDIUM
6	⊗	FINUS NIGRA / AUSTRIAN PINE	B4B	10' MIN HT.	MEDIUM
7	⊙	MODESTO ASH / FRAXINUS VELUTINA	2' B4B	35' HT. X 25' SPR.	MEDIUM
4	⊗	ROBINIA X AMBIGUA / PURPLE ROBE LOCUST	2' B4B	40' HT. X 40' SPR.	MEDIUM
63	⊙	SHRUBS/GROUNDCOVERS / BUDDLEIA LOCHINCH / LAVENDER BUTTERFLY BUSH	5 GAL.	4' O.C. / 4' HT. X 4' SPR.	MEDIUM
32	⊙	COTONEASTER BUXIFOLIUS / GREYLEAF COTONEASTER	5 GAL.	4' O.C. / 2' HT. X 4' SPR.	LOW+
62	⊗	CARYOPTERIS CLANDONENSIS / BLUE MIST	5 GAL.	4' O.C. / 4' HT. X 4' SPR.	MEDIUM
60	⊙	CHRYSOTHAMNUS NAUSEOSUS / CHAMISA	5 GAL.	6' O.C. / 5' HT. X 4' SPR.	LOW
77	⊙	ERICAMERIA LARICIFOLIA / DWARF TURPENTINE BUSH	1 GAL.	4' O.C. / 3' HT. X 4' SPR.	LOW+
37	*	HESPERALOE PARVIFLORA / RED FLOWERING YUCCA	1 GAL.	4' O.C. / 3' HT. X 4' SPR.	LOW+
41	⊙	MULLEBERGIA CAPILLARIS / REGAL MIST	5 GAL.	3' O.C. / 3' HT. X 3' SPR.	MEDIUM
71	*	NASSELLA TENNISIMA / THREADGRASS	1 GAL.	2' O.C. / 2' HT. X 2' SPR.	LOW+
47	⊙	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	1 GAL.	5' O.C. / 4' HT. X 5' SPR.	LOW+
37	⊙	RHUS TRILOBATA / THREE-LEAF SUMAC	5 GAL.	5' O.C. / 2' HT. X 5' SPR.	LOW+
41	⊙	ROSMARINUS OFFICINALIS / PROSTRATE ROSEMARY	5 GAL.	5' O.C. / 2' HT. X 5' SPR.	LOW+
22	⊗	SPARTIUM JANCEUM / SPANISH BROOM	5 GAL.	10' O.C. / 10' HT. X 10' SPR.	MEDIUM
20	⊗	RHUS OVATA / SUGARBUSH	5 GAL.	10' O.C. / 10' HT. X 10' SPR.	LOW
18	⊕	VITEX AGNUS-CASTUS / VITEX	15 GAL.	15' O.C. / 15' HT. X 15' SPR.	MEDIUM
64,154 SF	□	1" GRAVEL MULCH - BUILDOLSY BROWN (3" DEPTH OVER DE WITT PRO-5 NEED CONTROL FABRIC)			
17,371 SF	▨	3-4" COBBLE MULCH - BUILDOLSY BROWN (8" DEPTH OVER DE WITT PRO-5 NEED CONTROL FABRIC)			
64	⊕	MOSS ROCK BOULDERS (3" MINIMUM DIAMETER)			

**GENERAL LANDSCAPE NOTES**

**IRRIGATION SYSTEM**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**MAINTENANCE RESPONSIBILITY**  
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

**WATER CONSERVATION ORDINANCE COMPLIANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED. LANDSCAPE BEDS SHALL BE DEPRESSED SLIGHTLY BELOW GRADE FOR OPTIMUM WATER HARVESTING.

**PERMITS COORDINATION**  
DUE TO THE EXISTING OVERHEAD ELECTRIC DISTRIBUTION LINES COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**NOTE:**  
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE AREA.

APRIL, 2013  
Scale: 1" = 40'

CONSENSUS PLANNING

20 0 40 80 north

**REVISIONS**

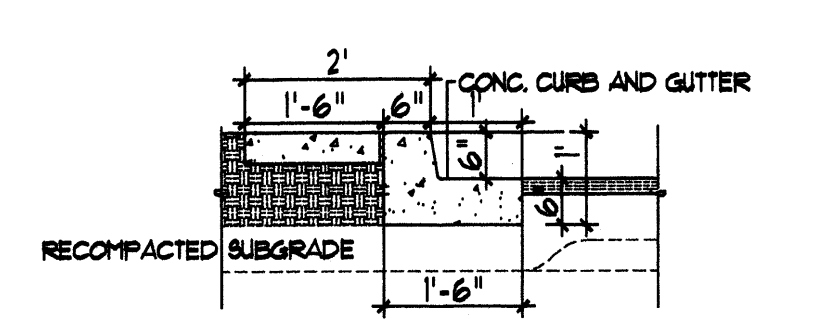
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DESIGN PLANS FOR:  
INLAND KENWORTH  
FORTUNA ROAD N.W.  
ALBUQUERQUE, NM

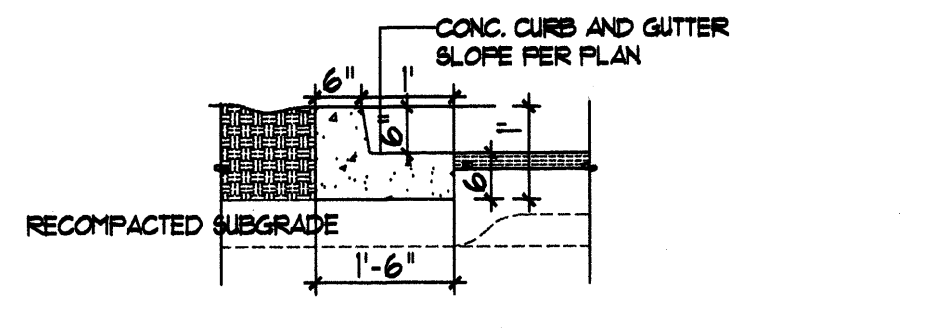
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Date: 04/30/13  
Drawn By: GS  
Job: KENWORTH  
Job No.: L-800 ABC-  
Sheet: L-1 of Sheets

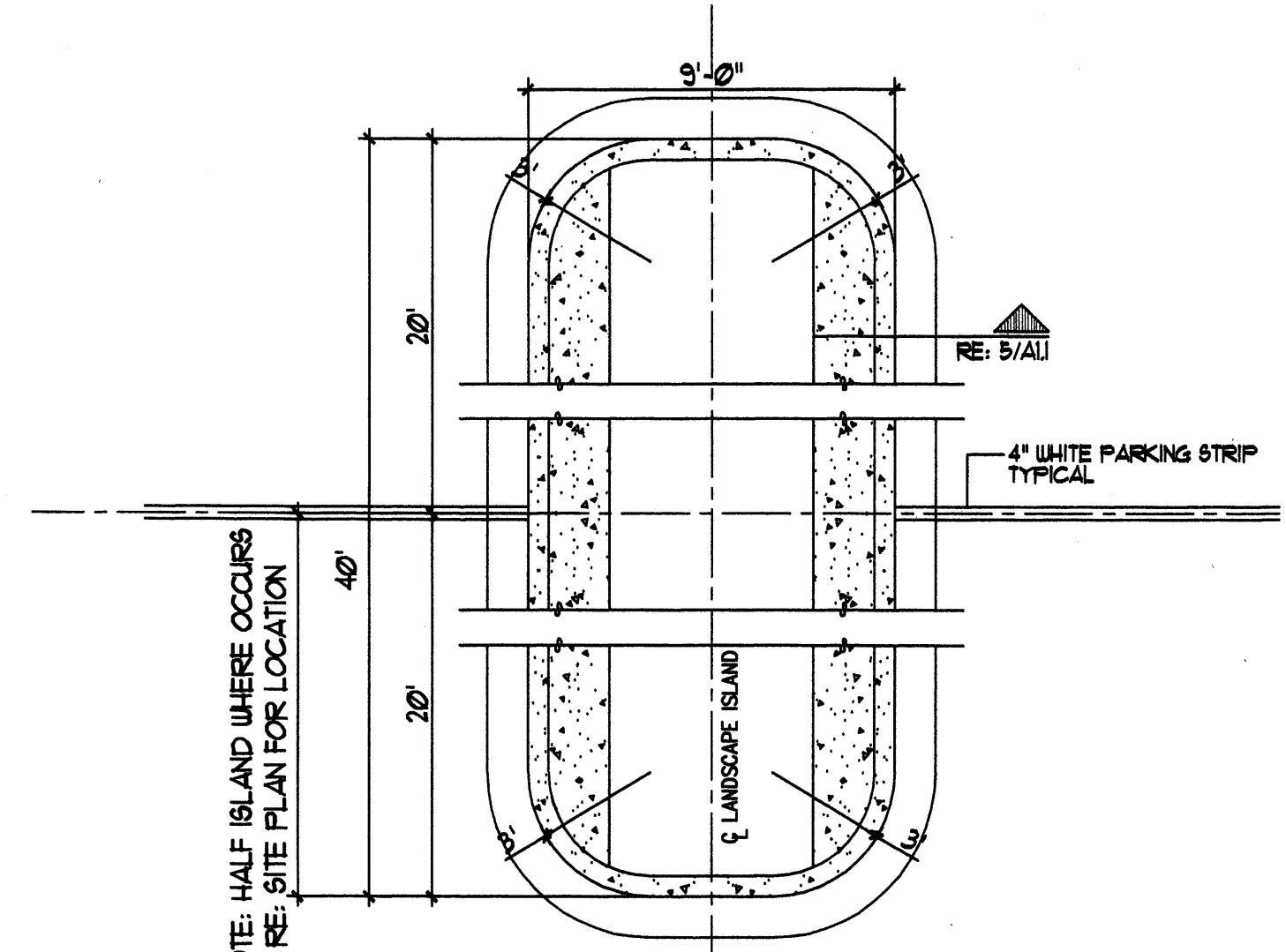




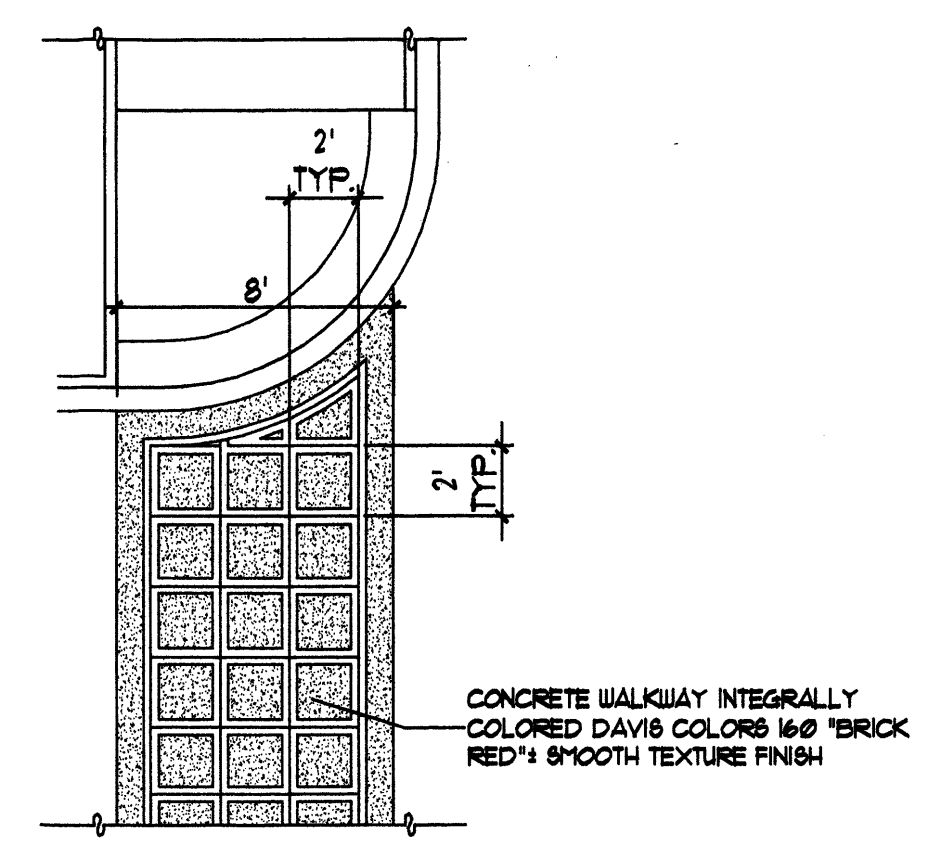
11 ISLAND CURB DETAIL  
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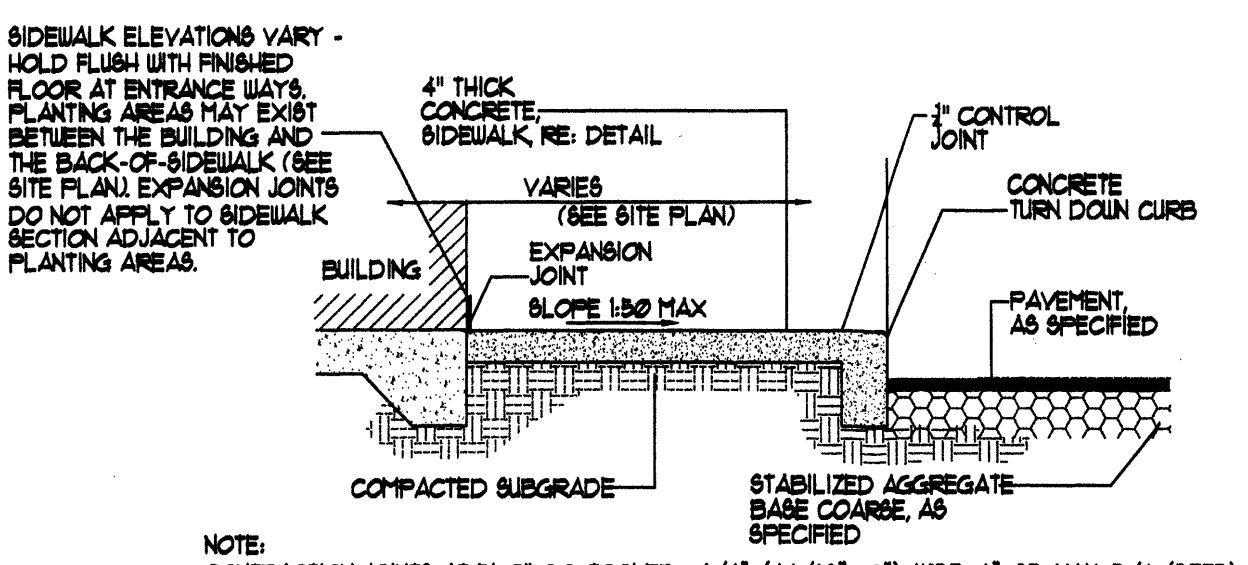
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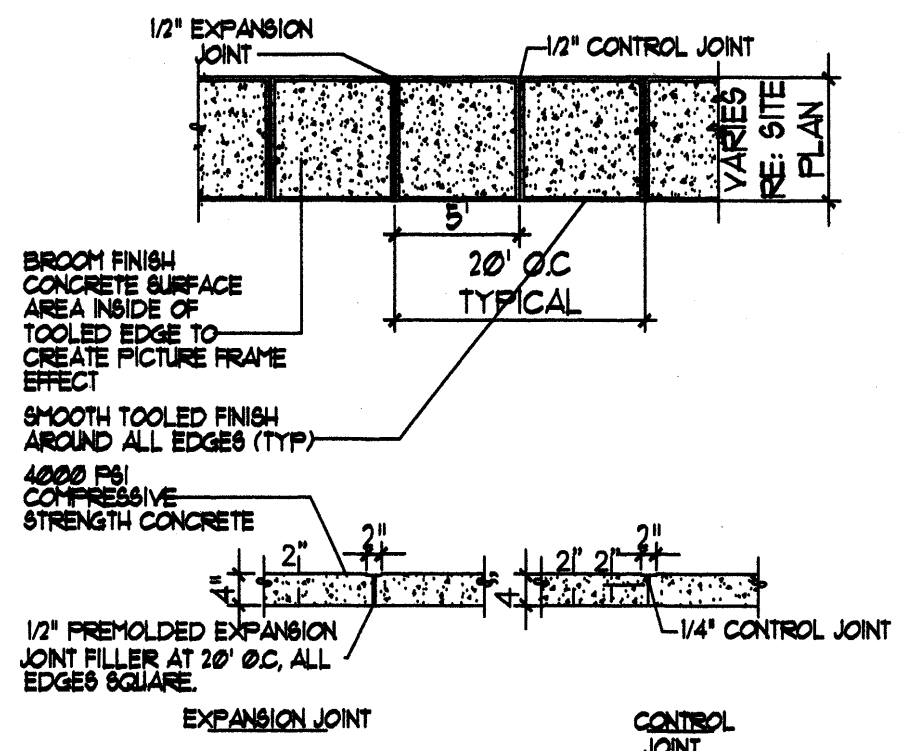
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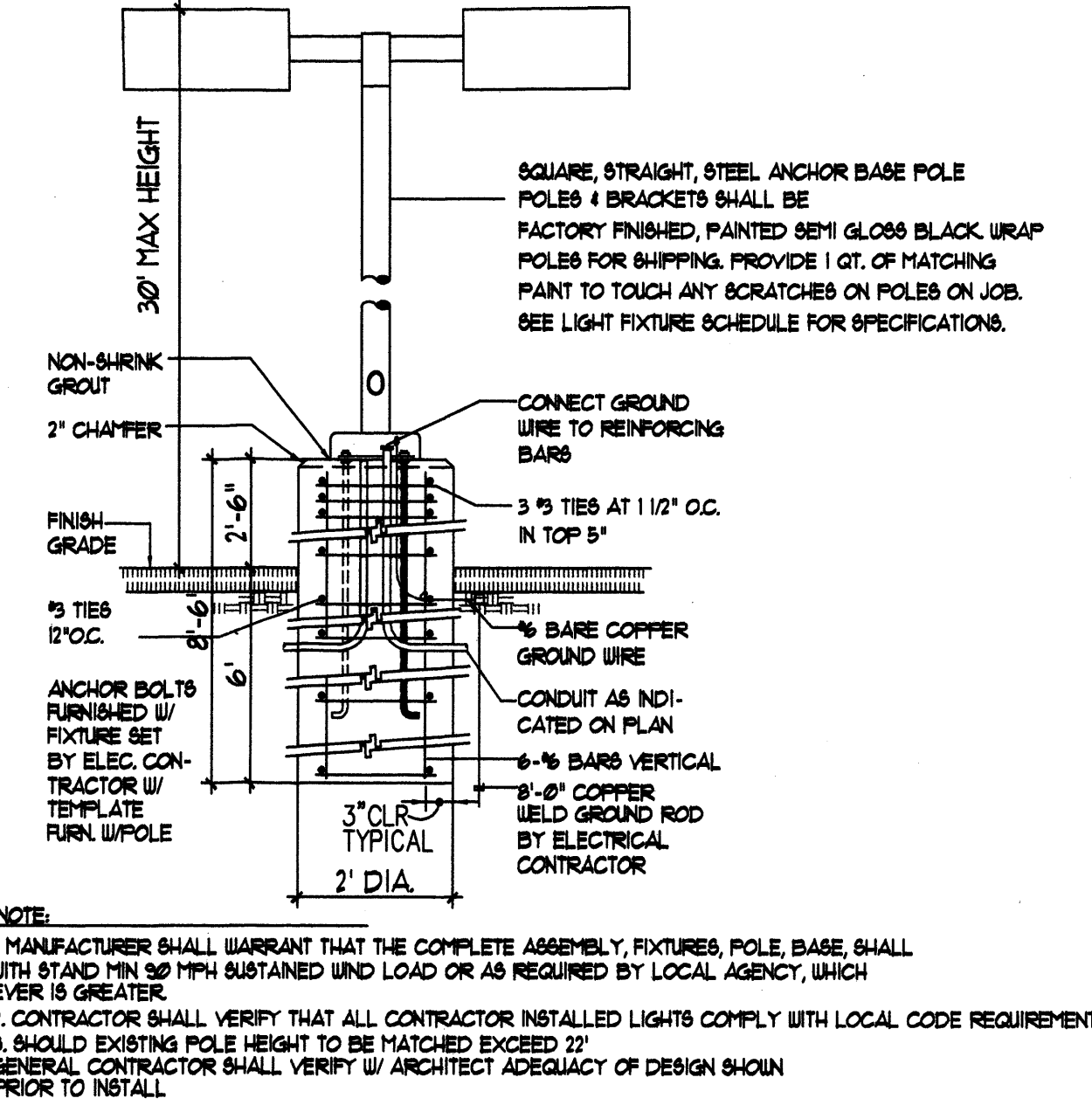
6 TYPICAL CONC. CROSSWALK  
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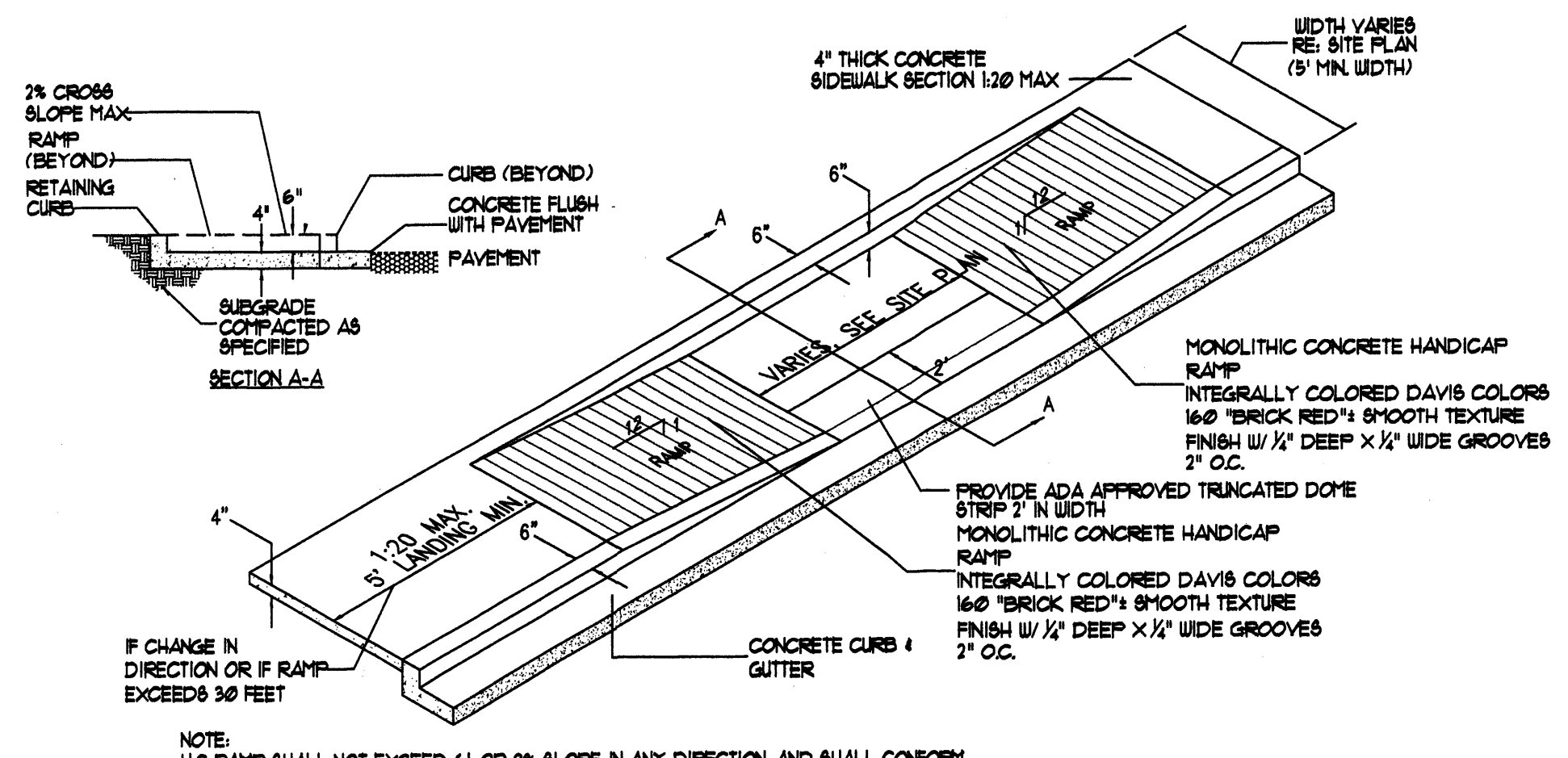
8 SIDEWALK WITH TURNDOWN CURB SEC.  
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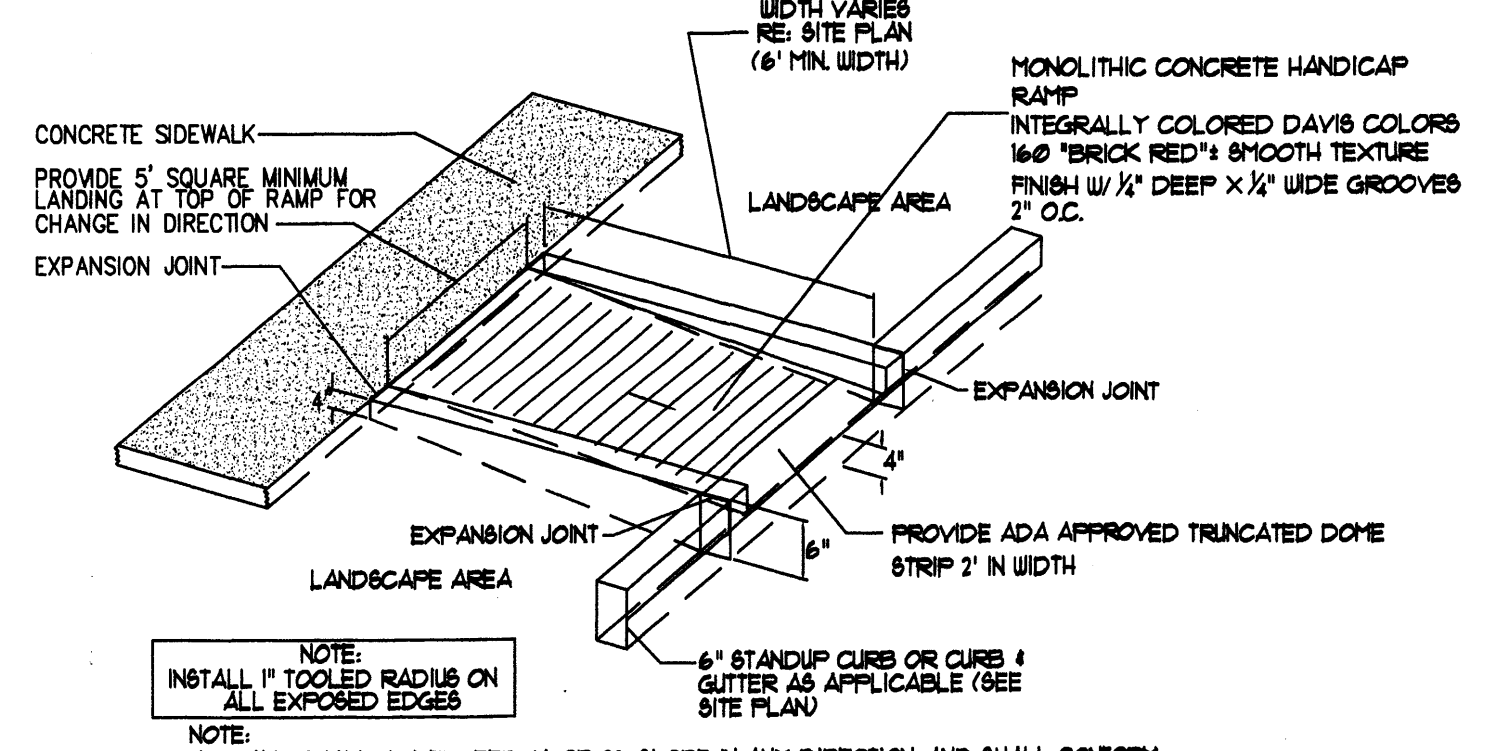
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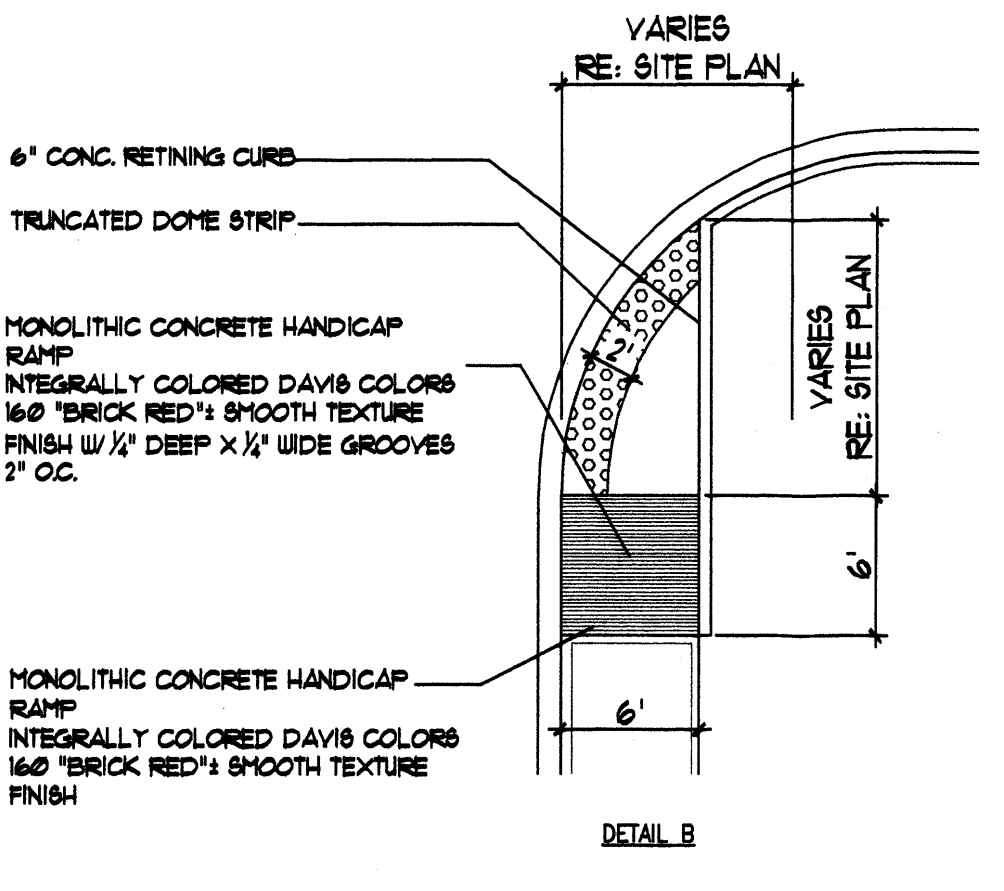
3 LIGHT POLE DETAIL  
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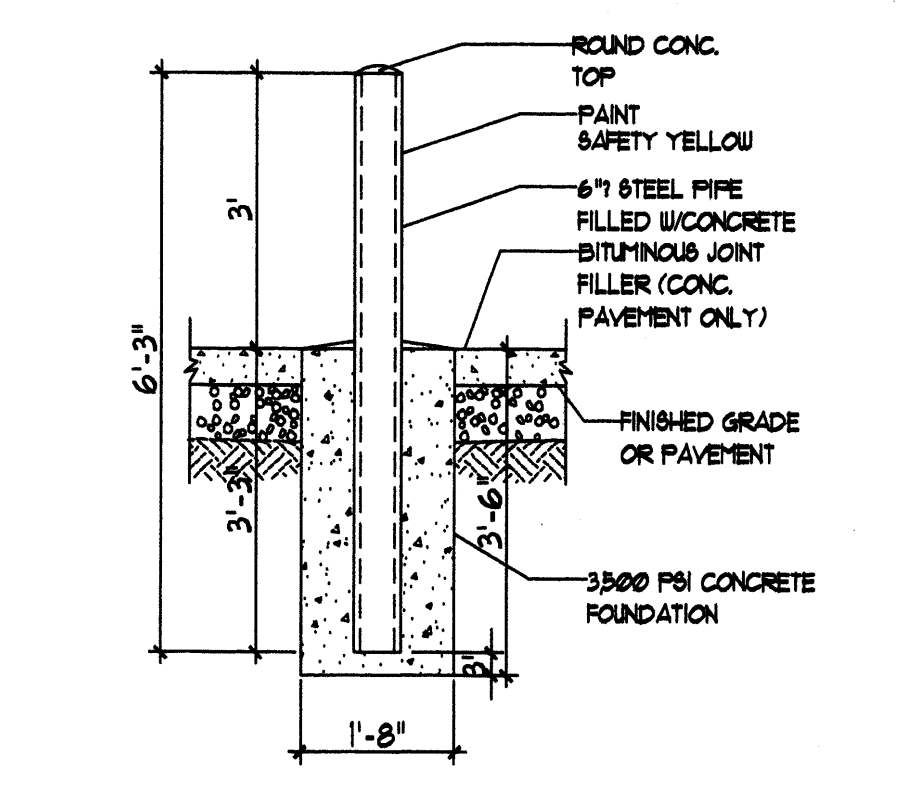
17 TAPERED RAMP DETAIL  
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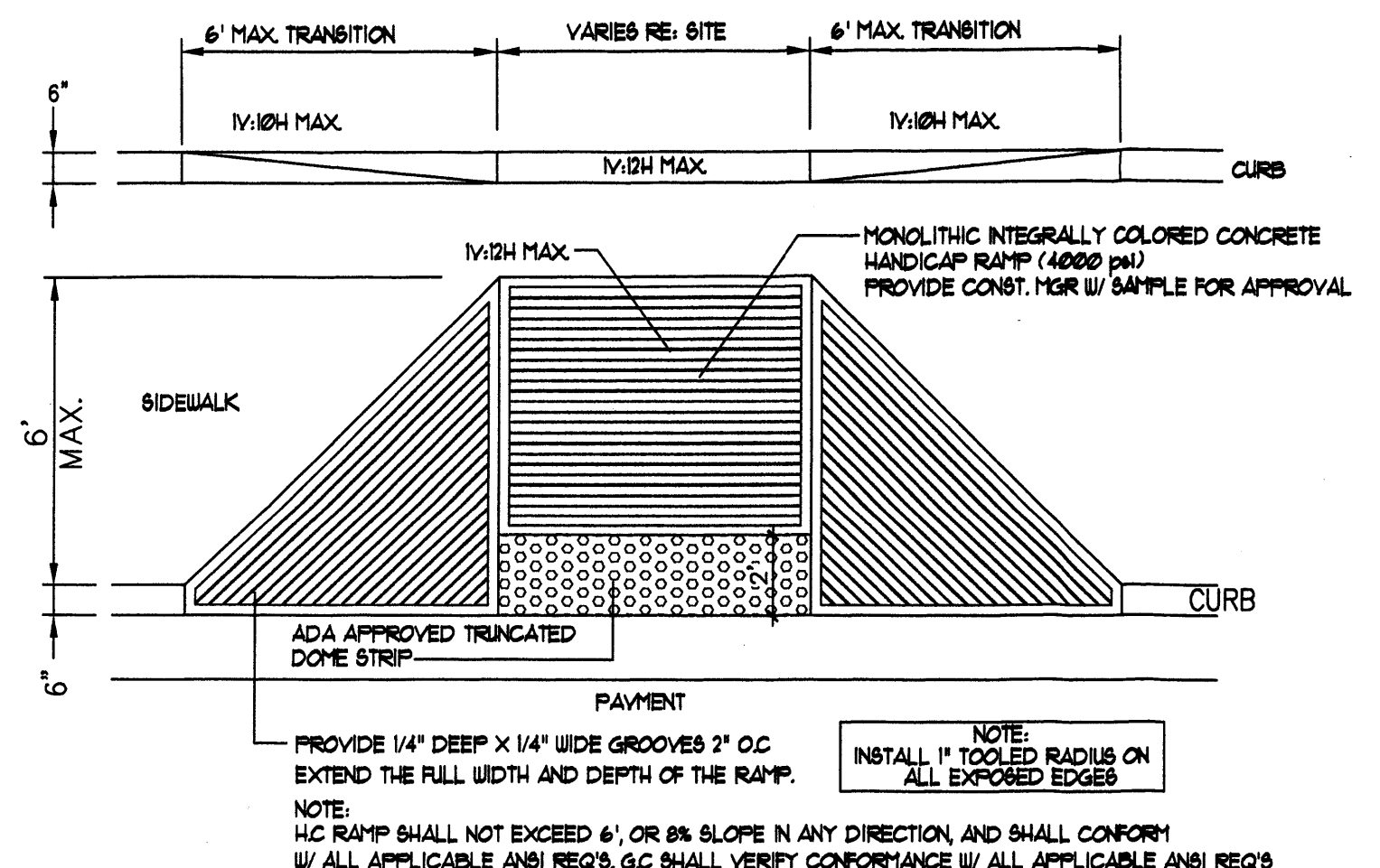
16 CURBED RAMP DETAIL  
N.T.S.



5 END ISLAND WITH WALK RAMP  
N.T.S.



4 BOLLARD DETAIL  
N.T.S.



15 FLARED H.C RAMP  
N.T.S.

REVISIONS	

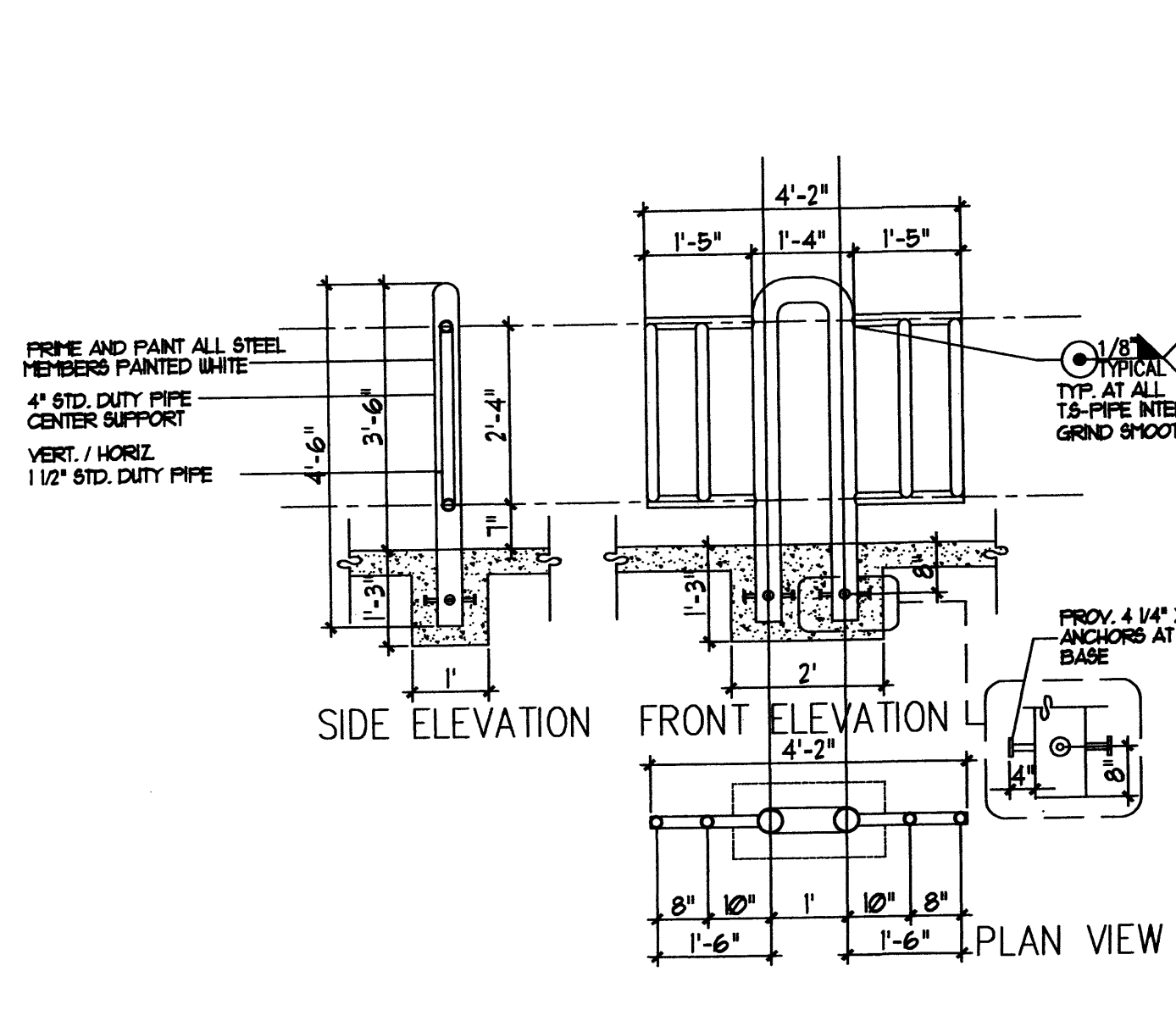
LCI, LLC  
 8023-B EDITH BOULEVARD NE  
 ALBUQUERQUE, NM 87113

DESIGN PLANS FOR:  
 INLAND KENWORTH  
 FORTUNA ROAD N.W.  
 ALBUQUERQUE, NM

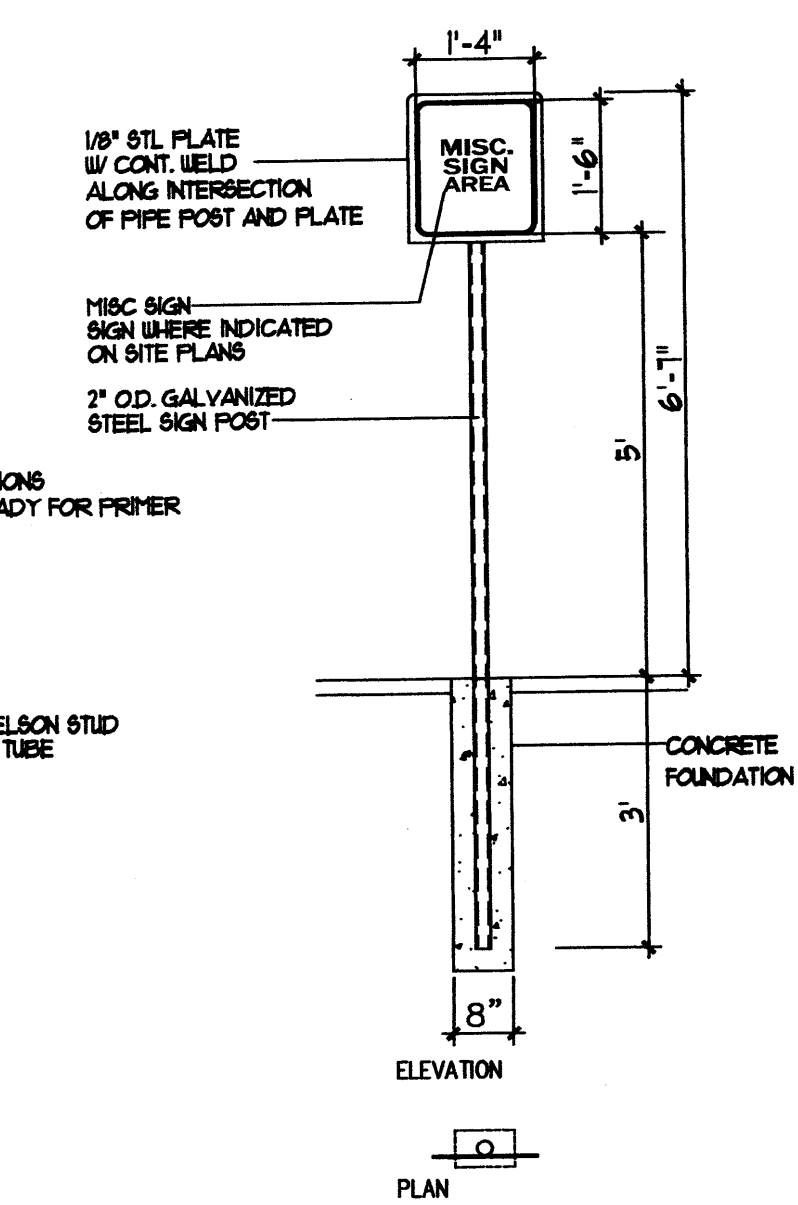
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 Job: KENWORTH  
 Job No: L-800 AEC-  
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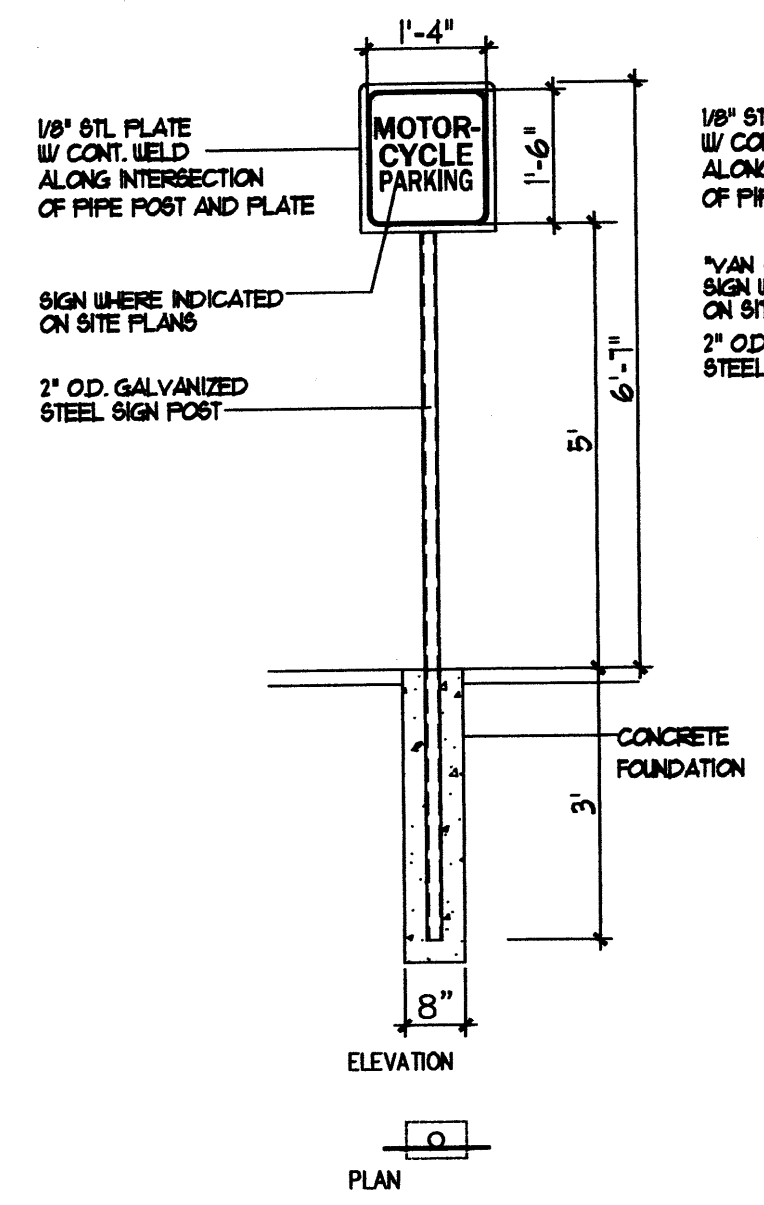
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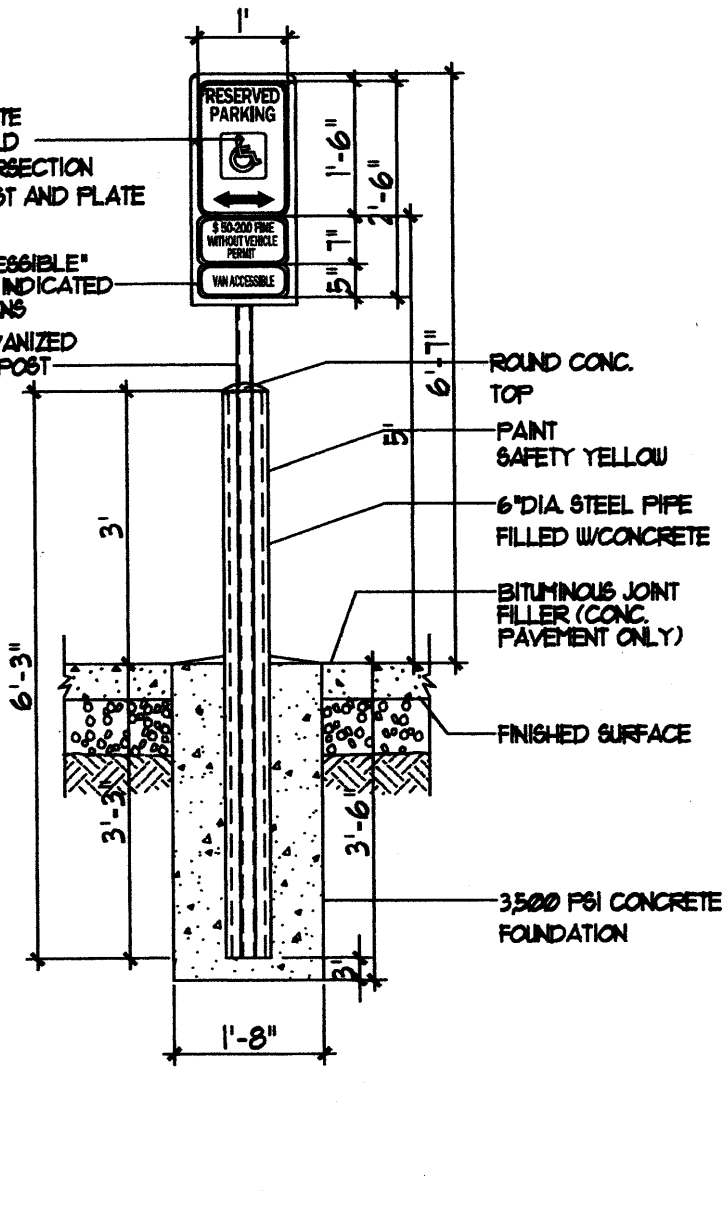
13 BIKE RACK  
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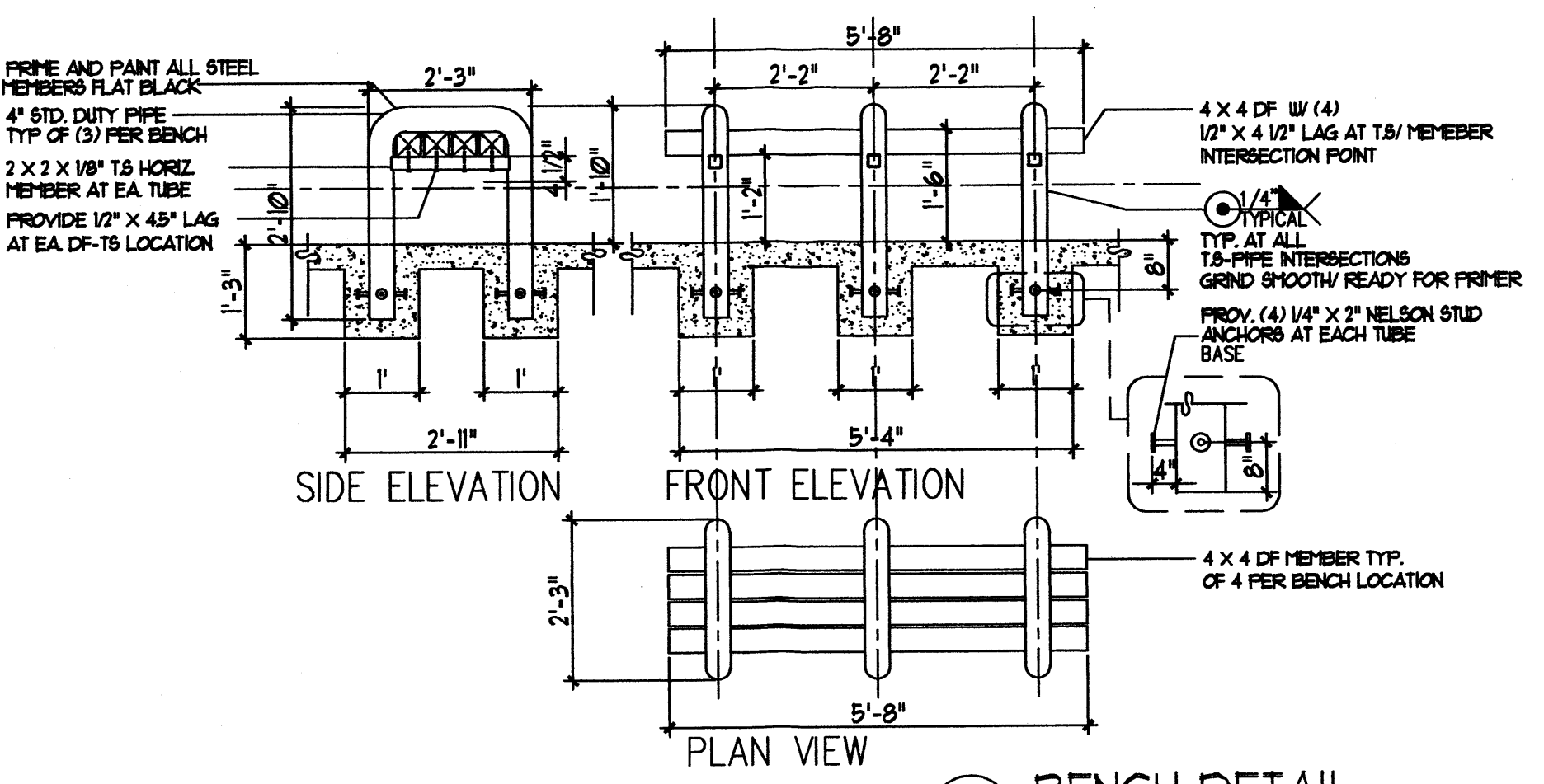
12 MISC. SIGNAGE  
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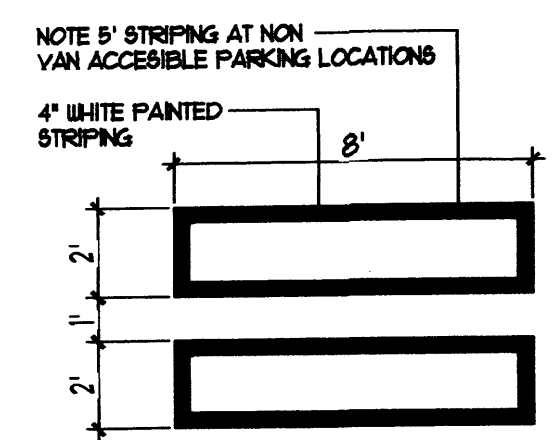
12A MOTORCYCLE SIGNAGE  
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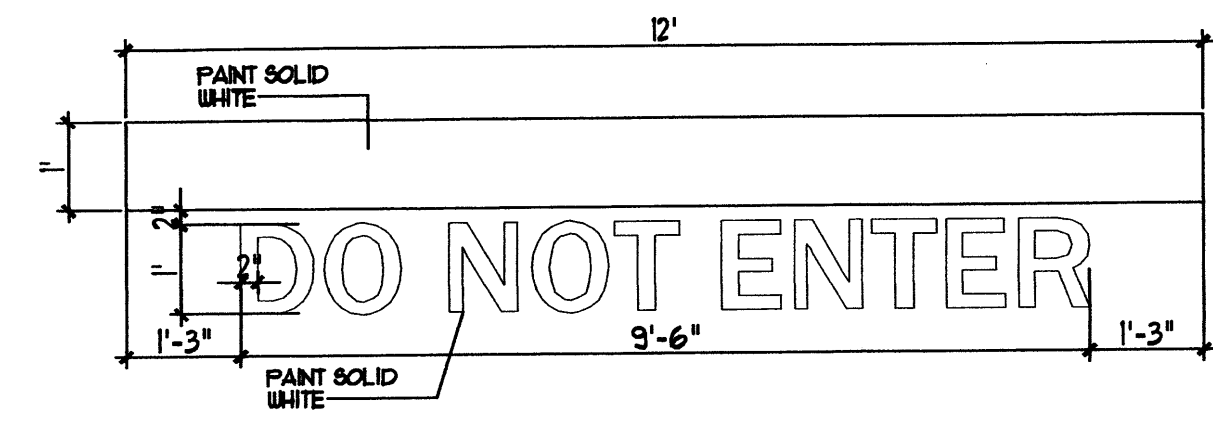
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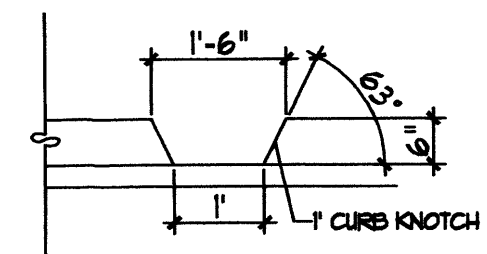
10 BENCH DETAIL  
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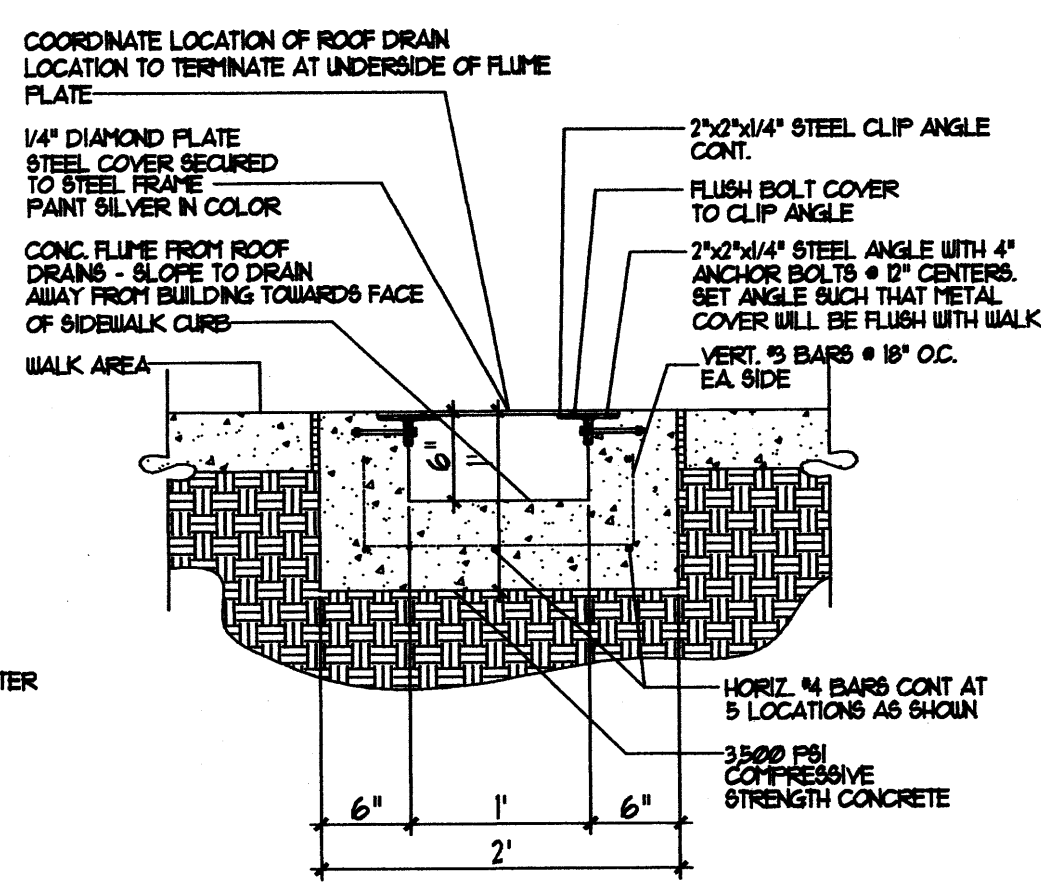
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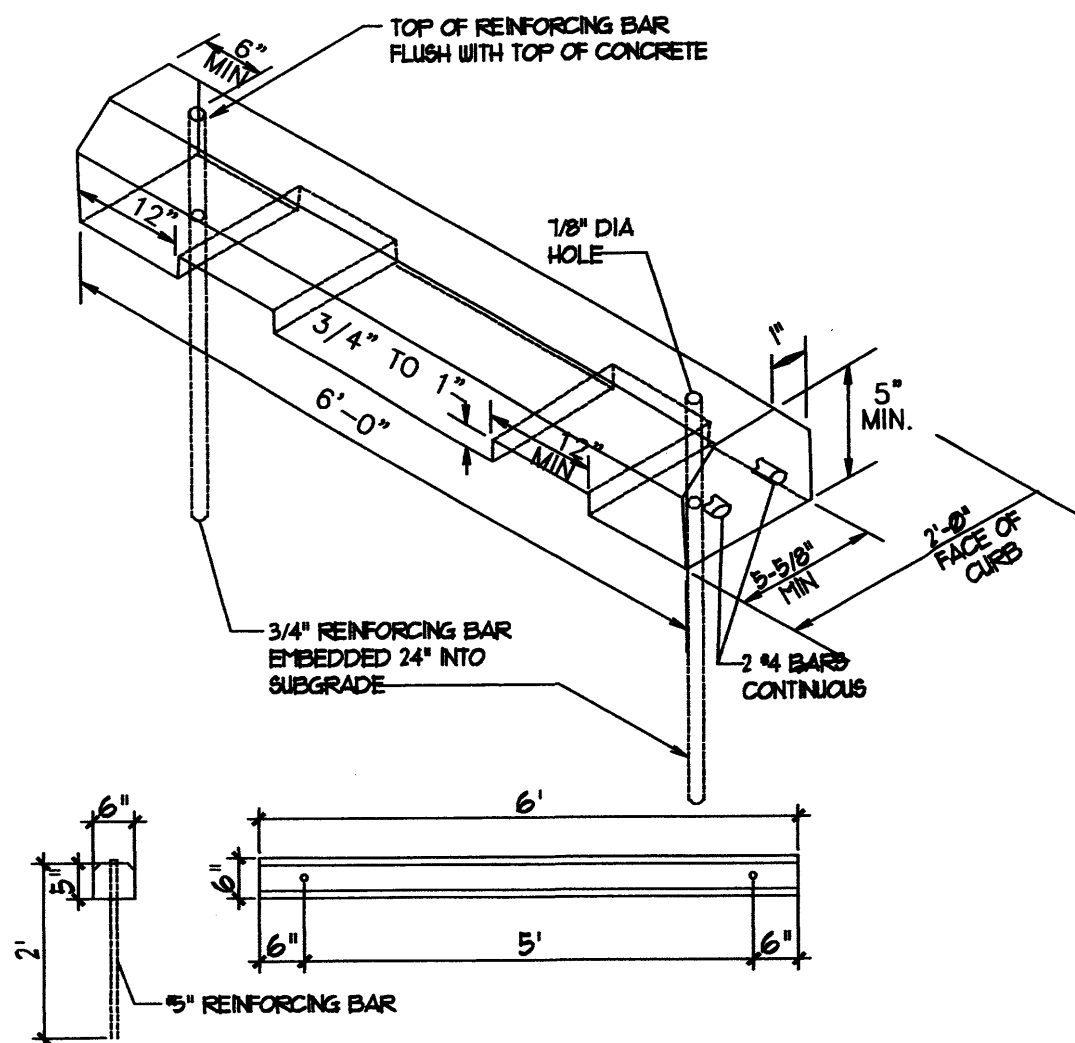
8 SITE DIRECTIONAL PAINT DETAIL  
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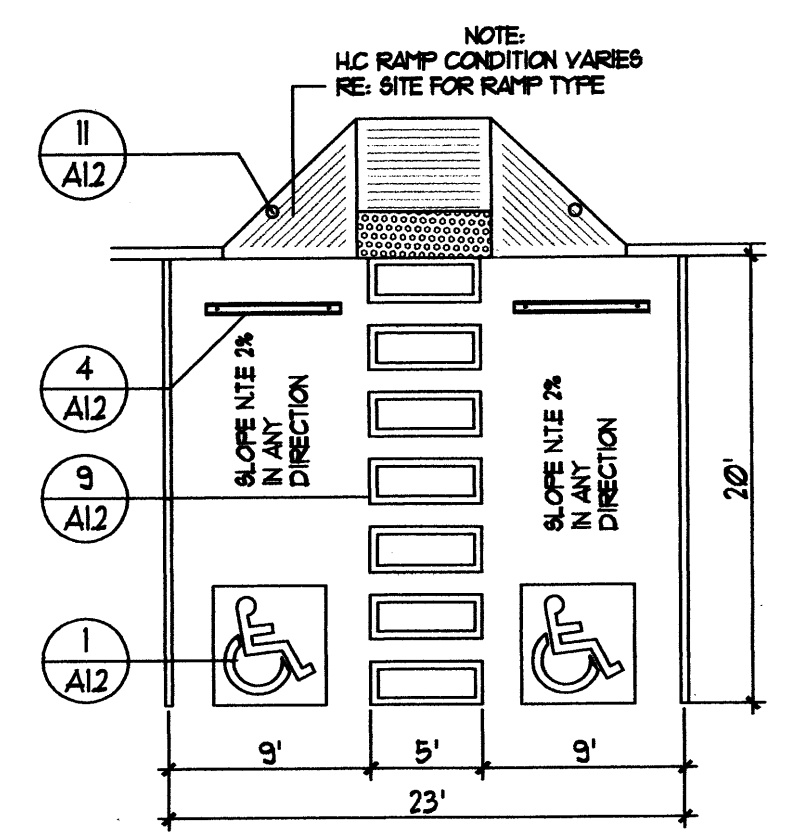
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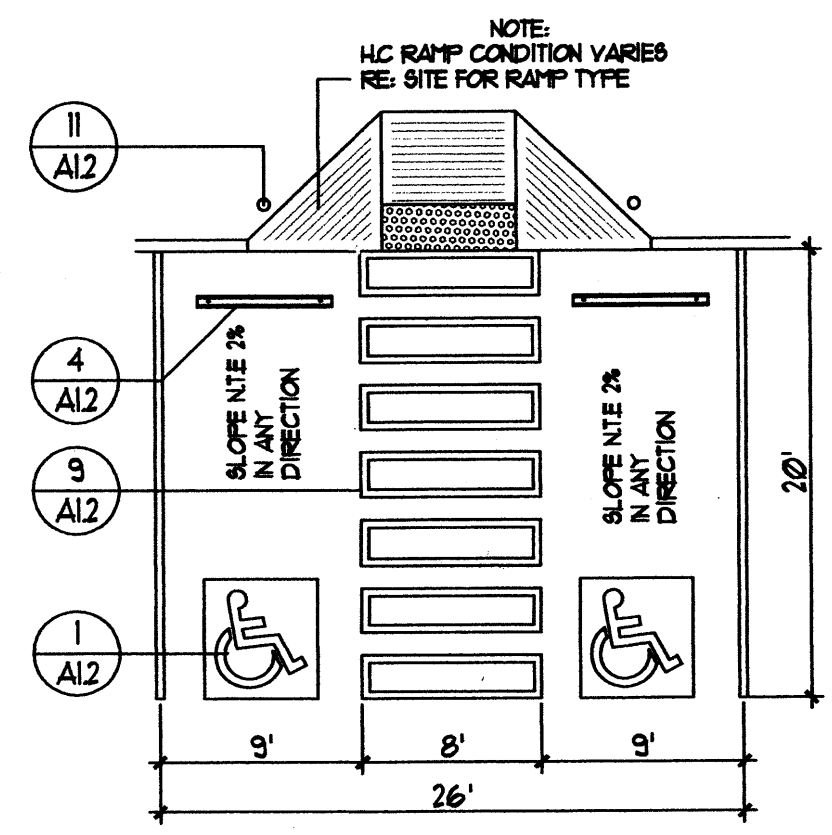
6 CONCRETE FLUME DETAIL  
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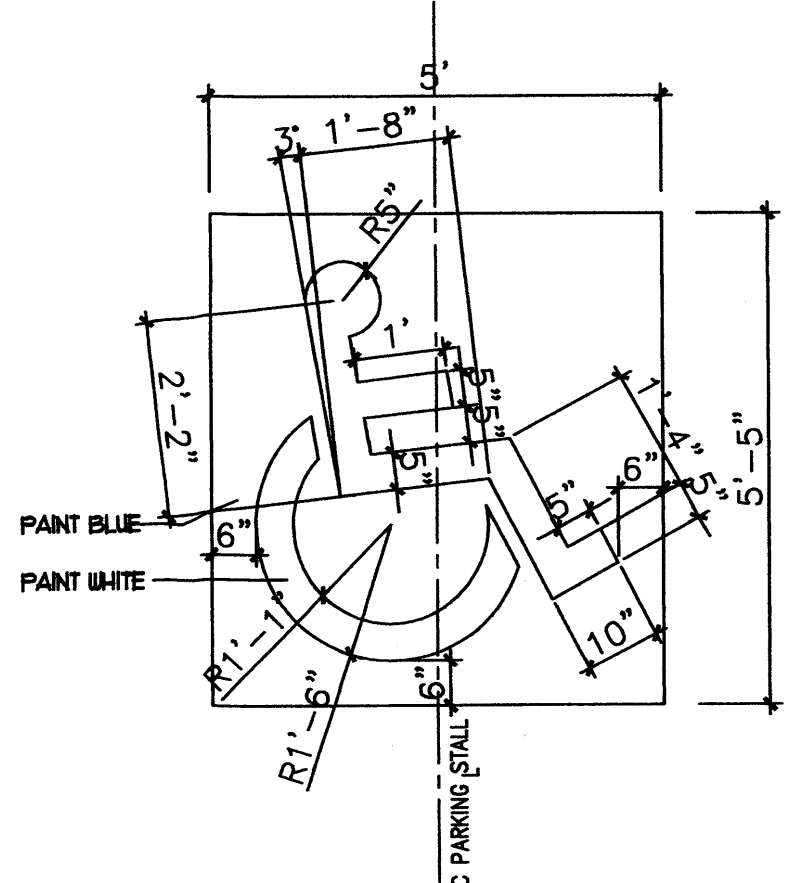
4 WHEEL STOP  
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3 H.C. PARKING PLAN DETAIL  
 NTS



2 H.C. PARKING PLAN DETAIL (VAN ACCESSIBLE)  
 NTS



1 H.C. SIGNAGE  
 NTS



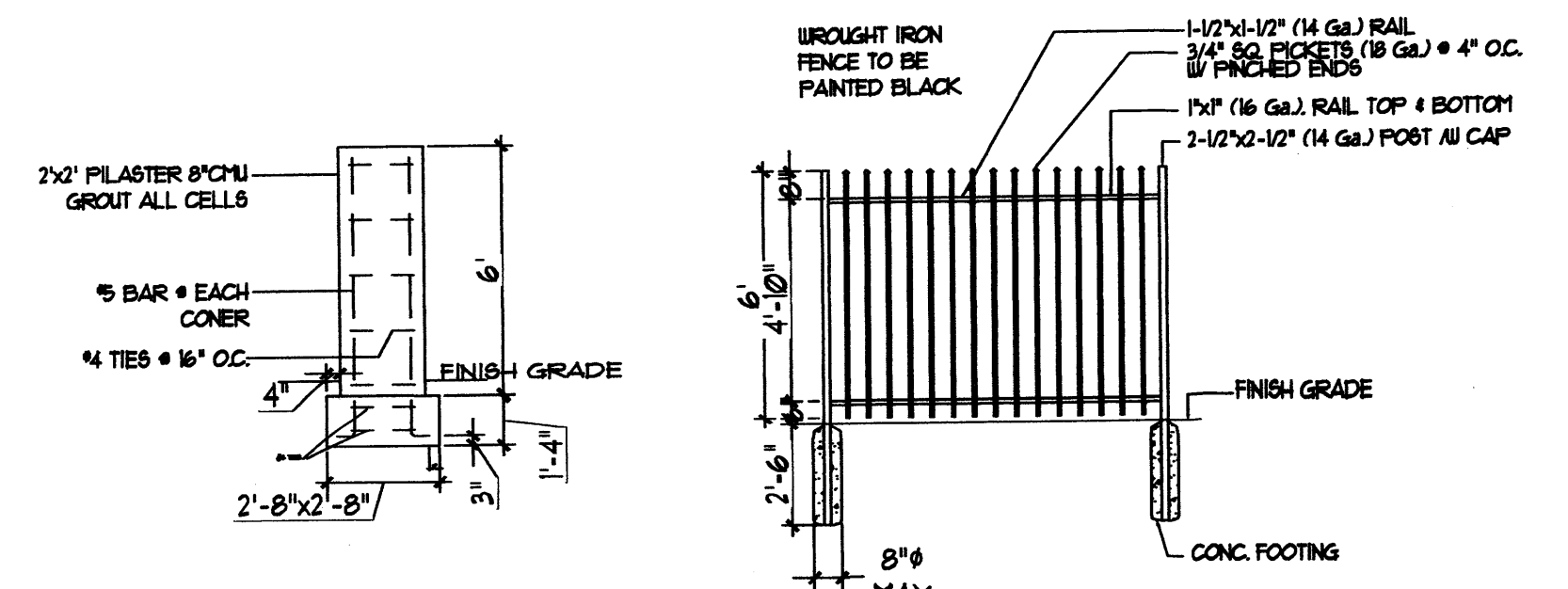
REVISIONS	

LCI, LLC  
 8023-B EDITH BOULEVARD NE  
 ALBUQUERQUE, NM 87113

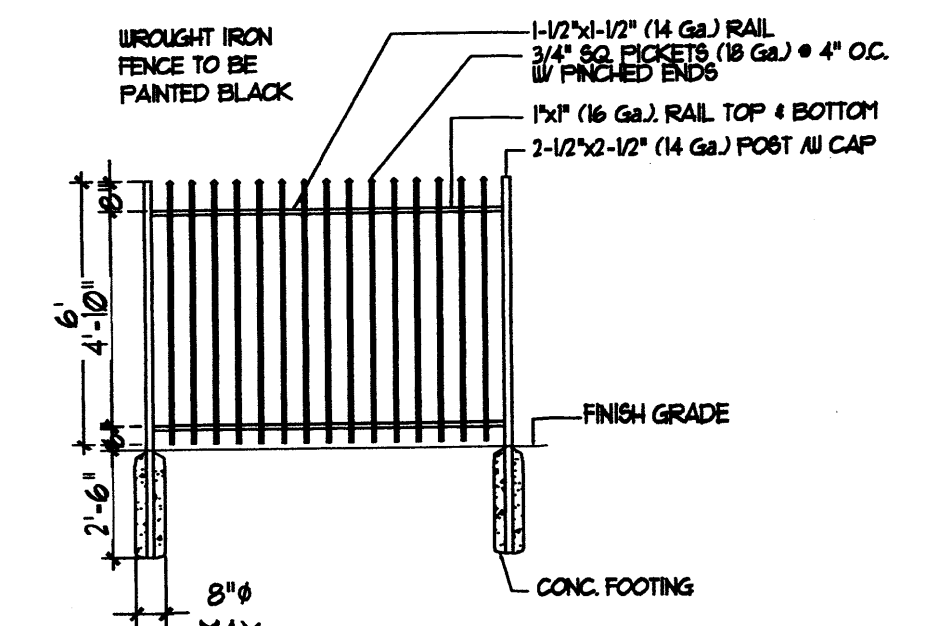
DESIGN PLANS FOR:  
 INLAND KENWORTH  
 FORTUNA ROAD NW,  
 ALBUQUERQUE, NM

SITE DETAILS

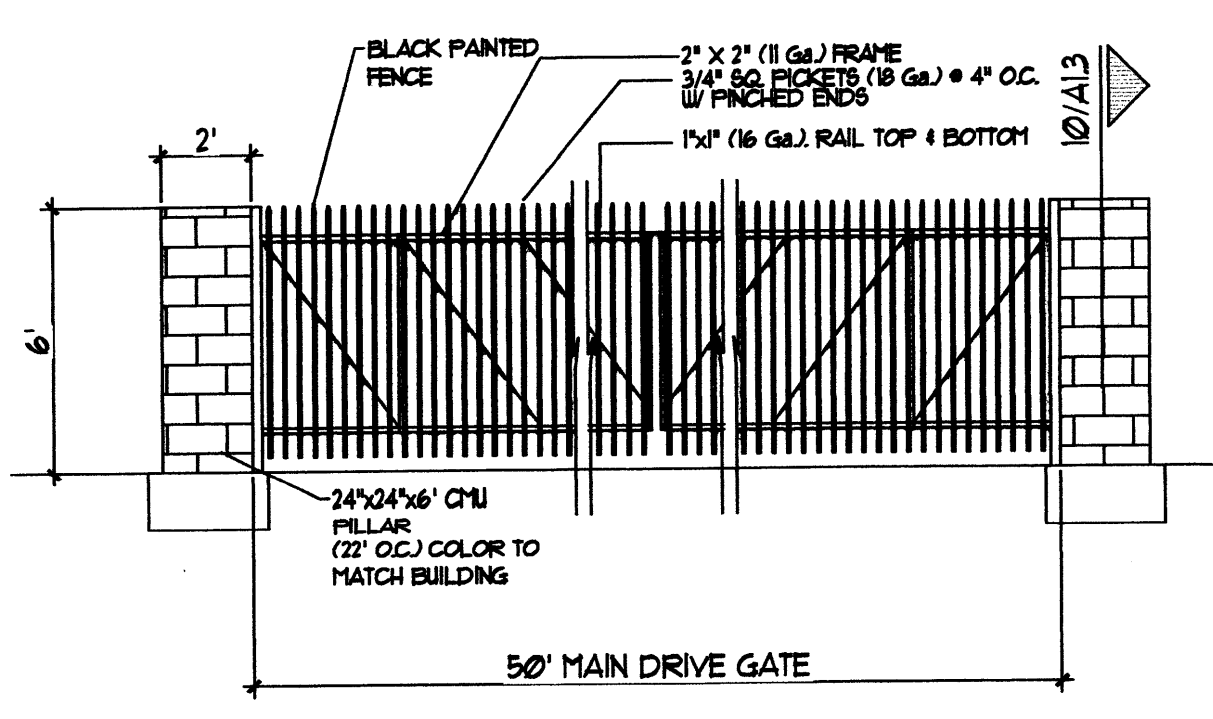
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 Drawn By: S  
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 Sheet: A1.3  
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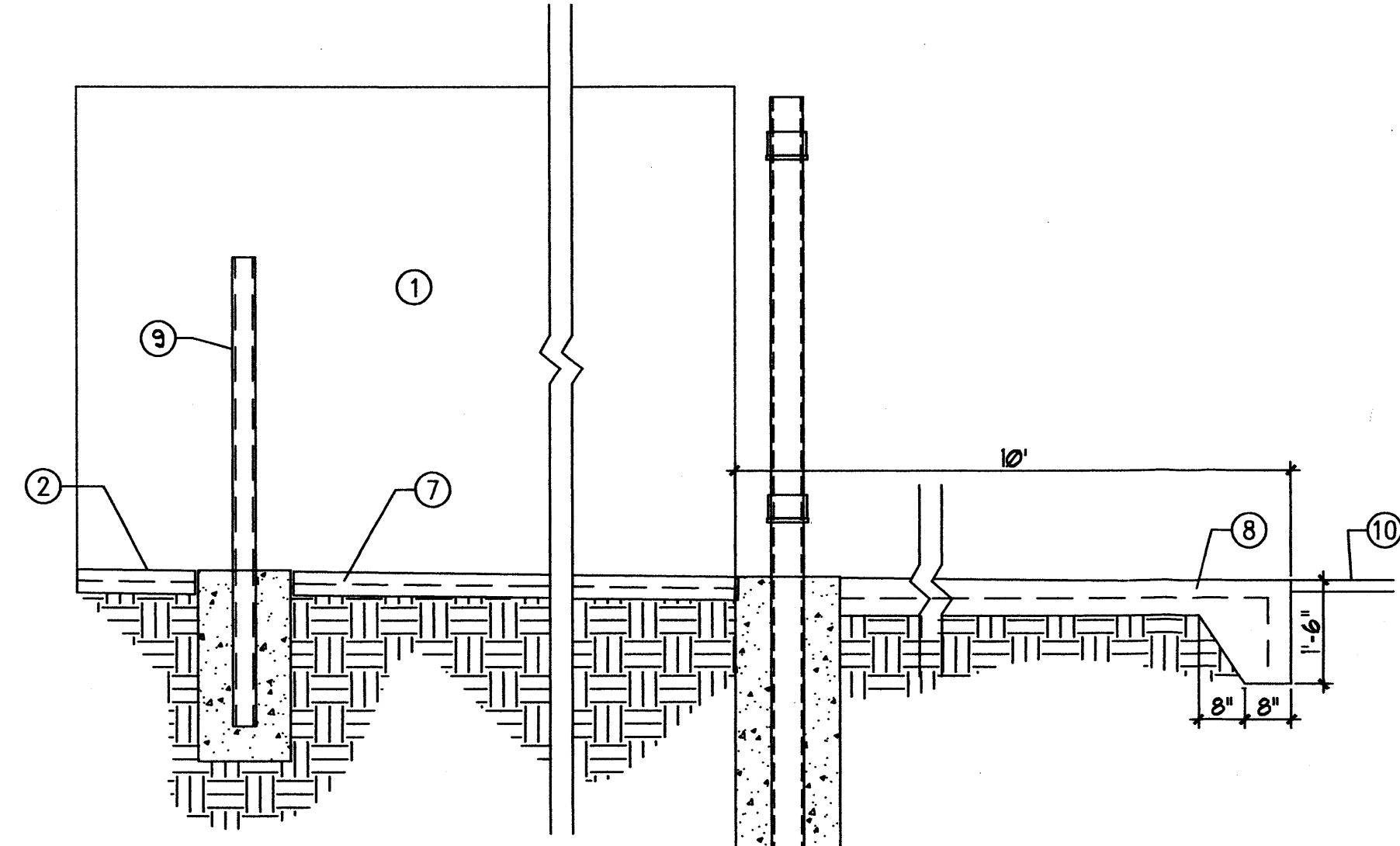
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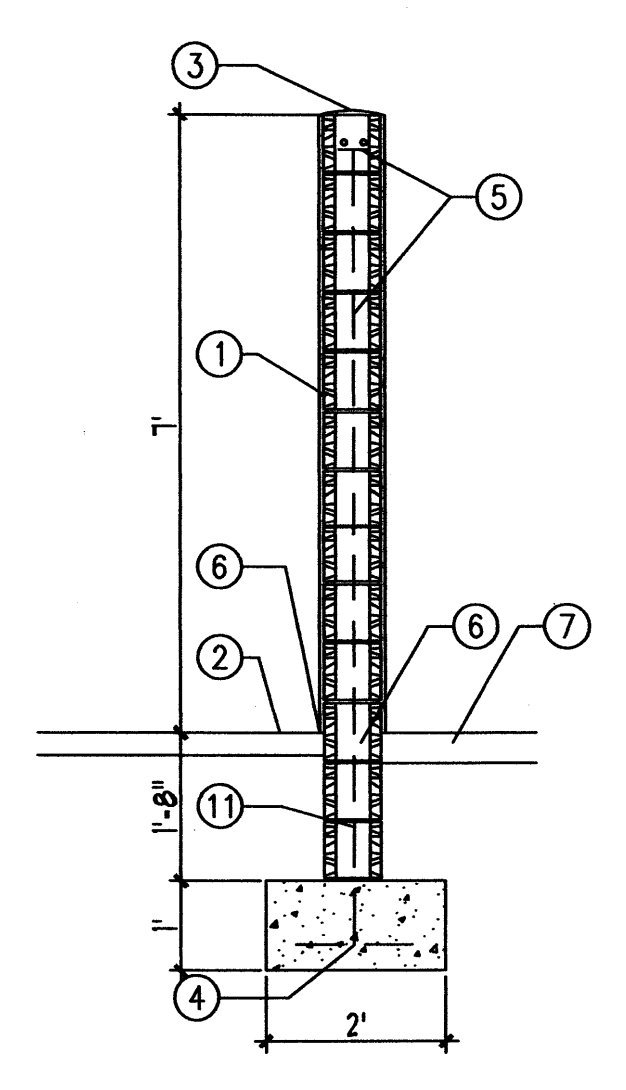
9 WROUGHT IRON FENCE DETAIL  
 N.T.S.



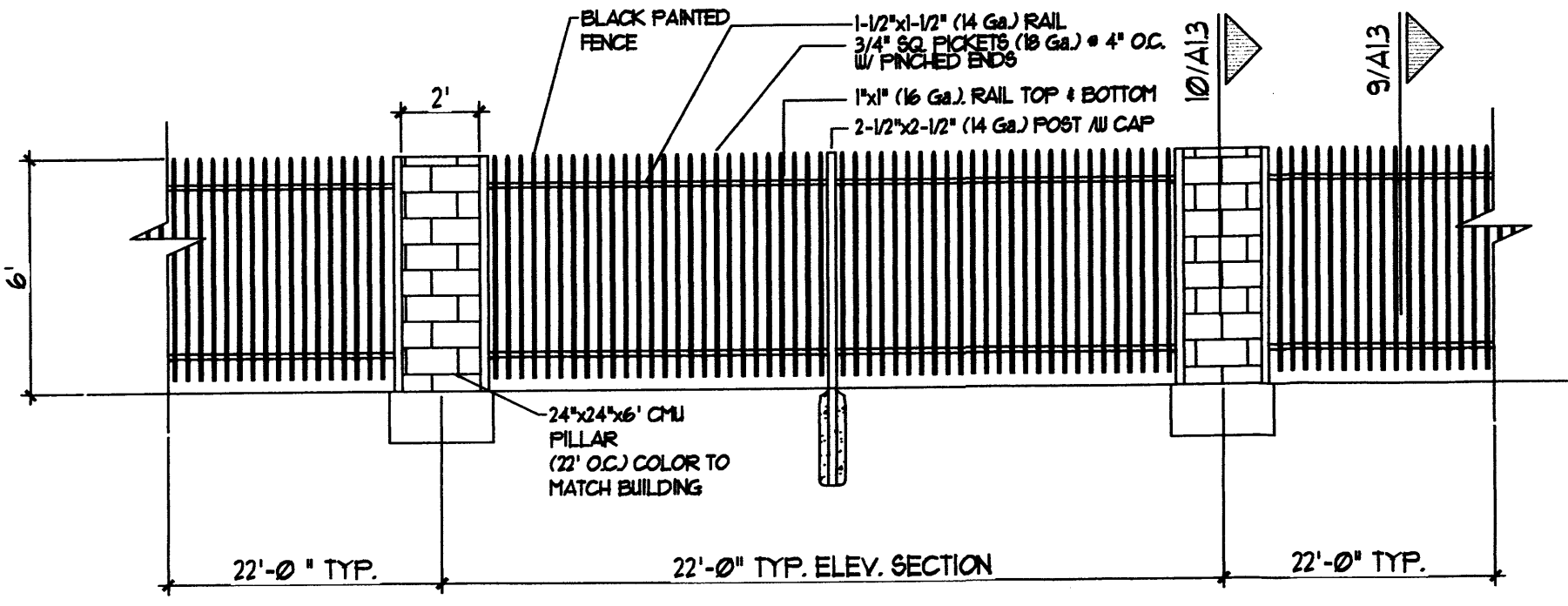
12 WROUGHT IRON GATE ELEVATION  
 N.T.S.



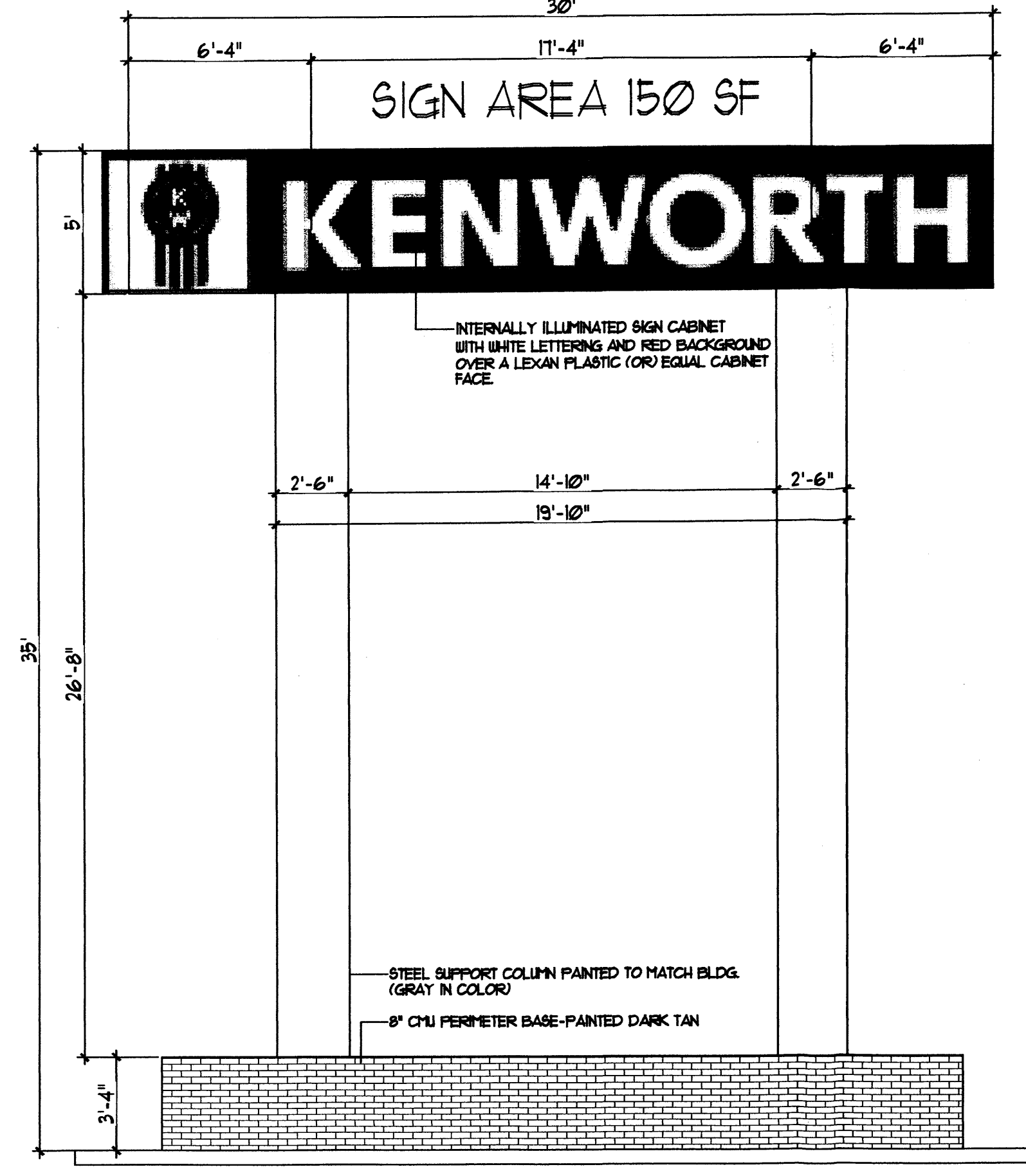
2 DUMPSTER SEC.  
 N.T.S.



3 DUMPSTER SEC.  
 N.T.S.

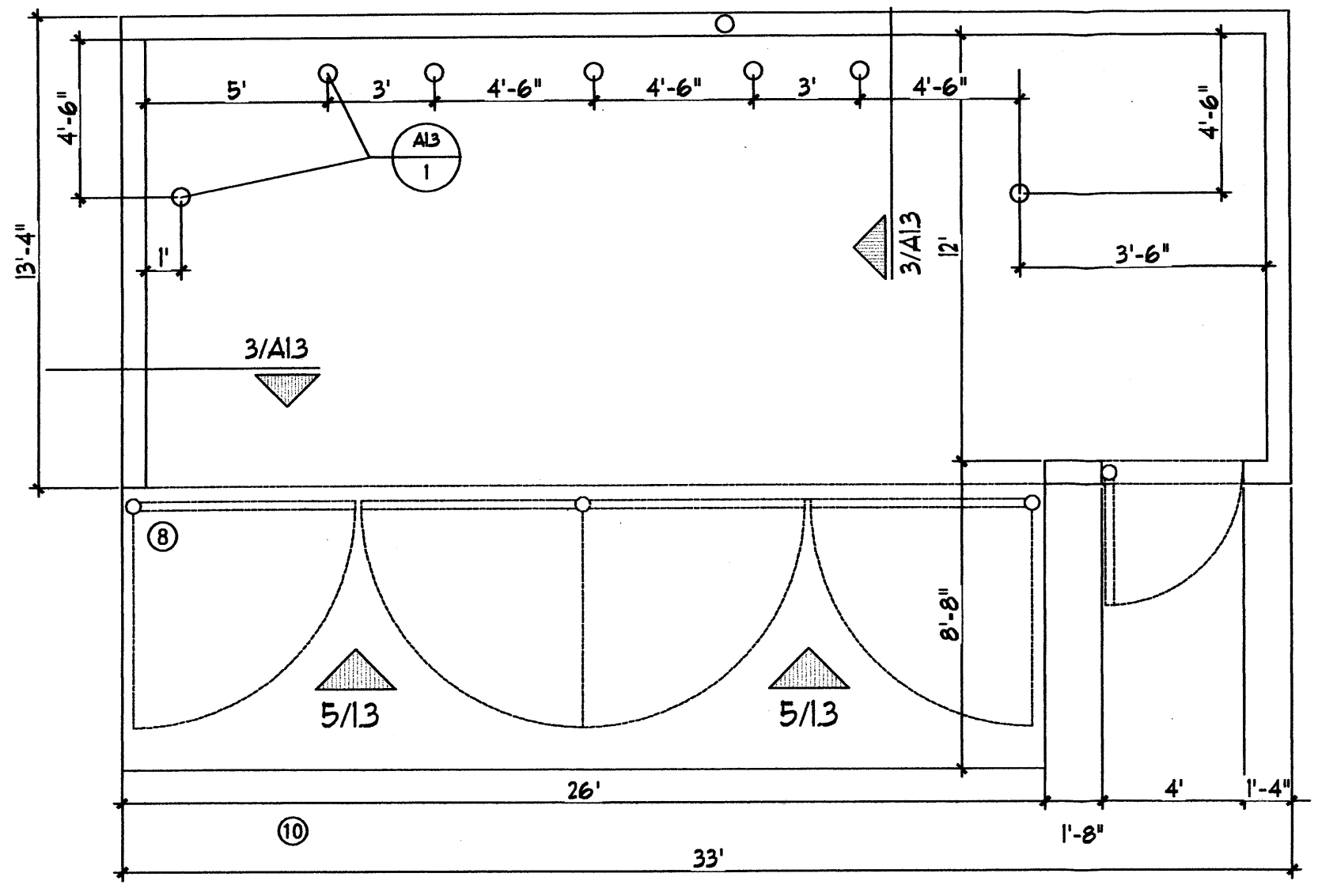


11 WROUGHT IRON FENCE ELEVATION  
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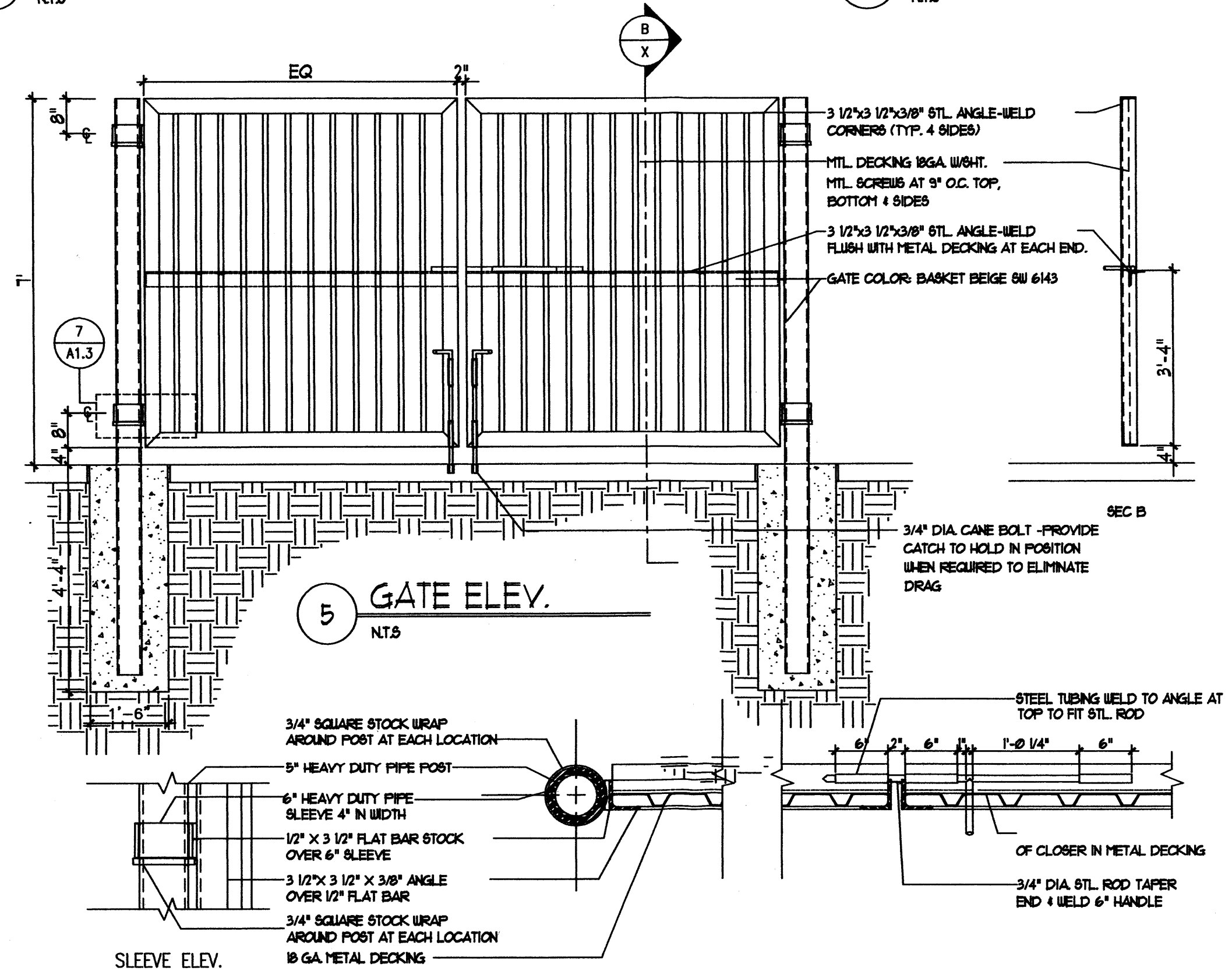


8 PROPOSED PYLON SIGN  
 1-1/2" - 1"

NOTE: THE REQUIRED VARIANCES TO THE HEIGHT AND SIGN FACE HAVE BEEN APPROVED BY THE ZONING HEARING EXAMINER ON MARCH 19TH, 2013, 13ZHE-80436 AND 80437.



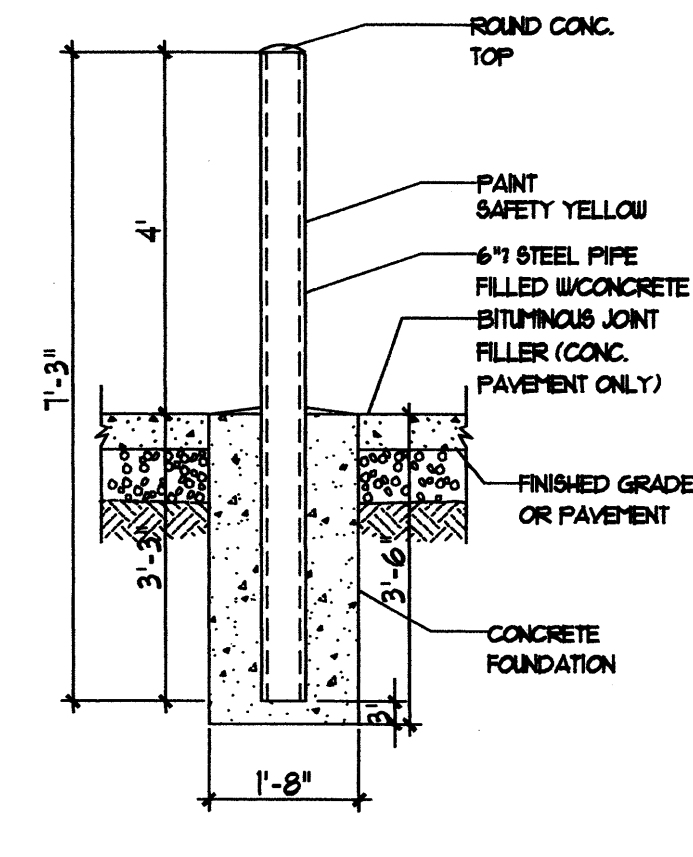
4 DUMPSTER PLAN  
 N.T.S.



1 GATE POST/SLIDE BOLT DETAIL  
 N.T.S.

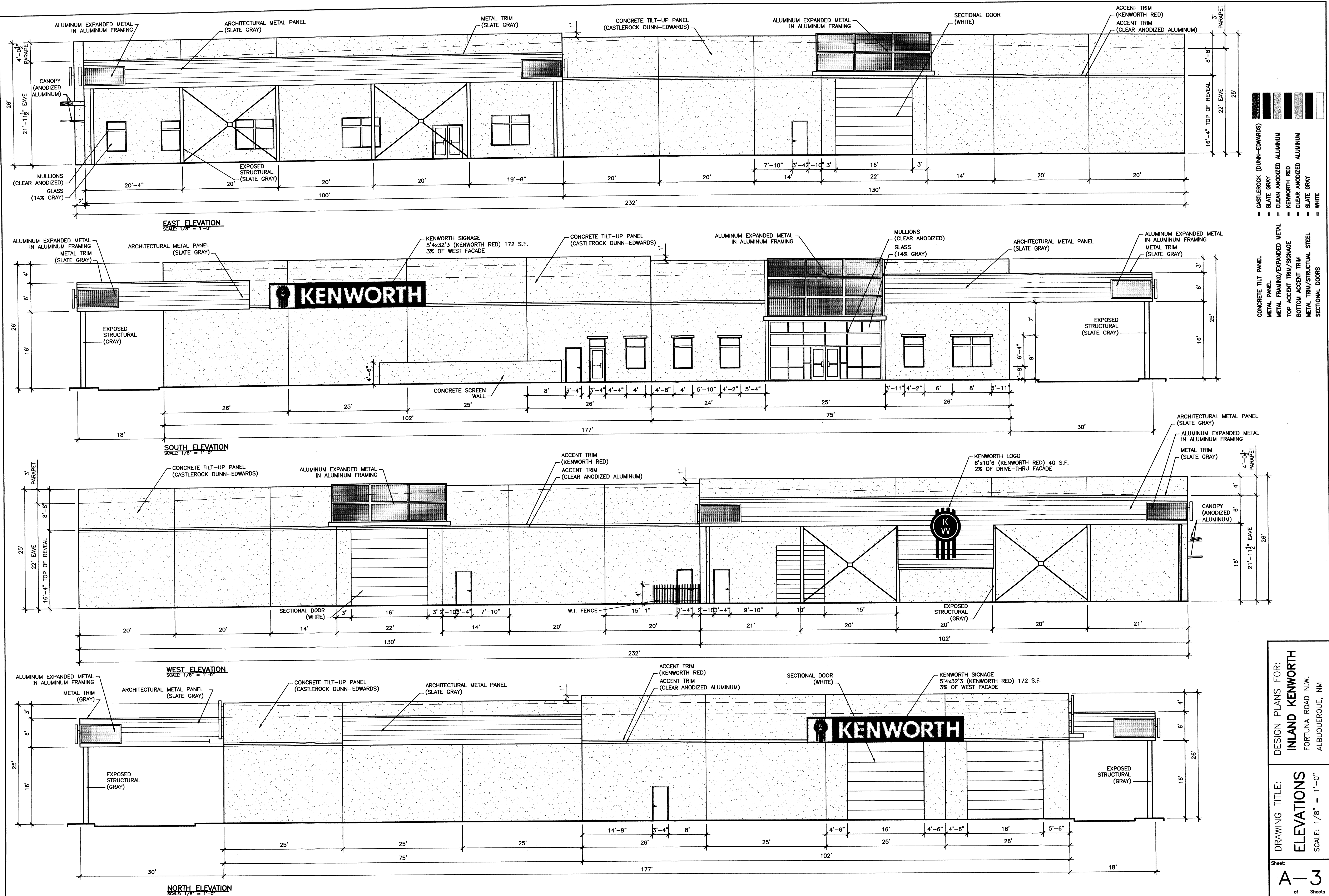
- KEYED NOTES
- 8" CHI WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR: GRAY IN COLOR
  - FINISH GRADE
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. # BOTTOM OF FOOTING @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#6 BARS # TOP KNOCK-OUT BLOCK BOND BEAM. CONTROLS: 1# BARS # 3" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL # 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M.
  - 6" CONCRETE APRON 4000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M W/ TURNDOWN EDGE.
  - 6" CONCRETE FILLED PIPE IN 1/2" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
  - 2" VENT @ 4' ABOVE TOP OF ENCLOSURE WALL. PROVIDE BREATHABLE VENT CAP CLEAN OUT
  - CATCH BASIN ZURN Z-881 6" x 20", SAN-FLO CATCH BASIN FABRICATED #6 GAGE TYPE 304 STAINLESS STEEL. BASIN WITH BOLTED FLANGED CONNECTION COMPLETE WITH FLANGE GASKET. PROVIDE SPECIAL DUTY, CLASS "E" Z-881-DGE, DUCTILE IRON SLOTTED GRATE AND SEDIMENT BASKET.

6 ENCLOSURE NOTES  
 N.T.S.



1 BOLLARD DETAIL  
 N.T.S.



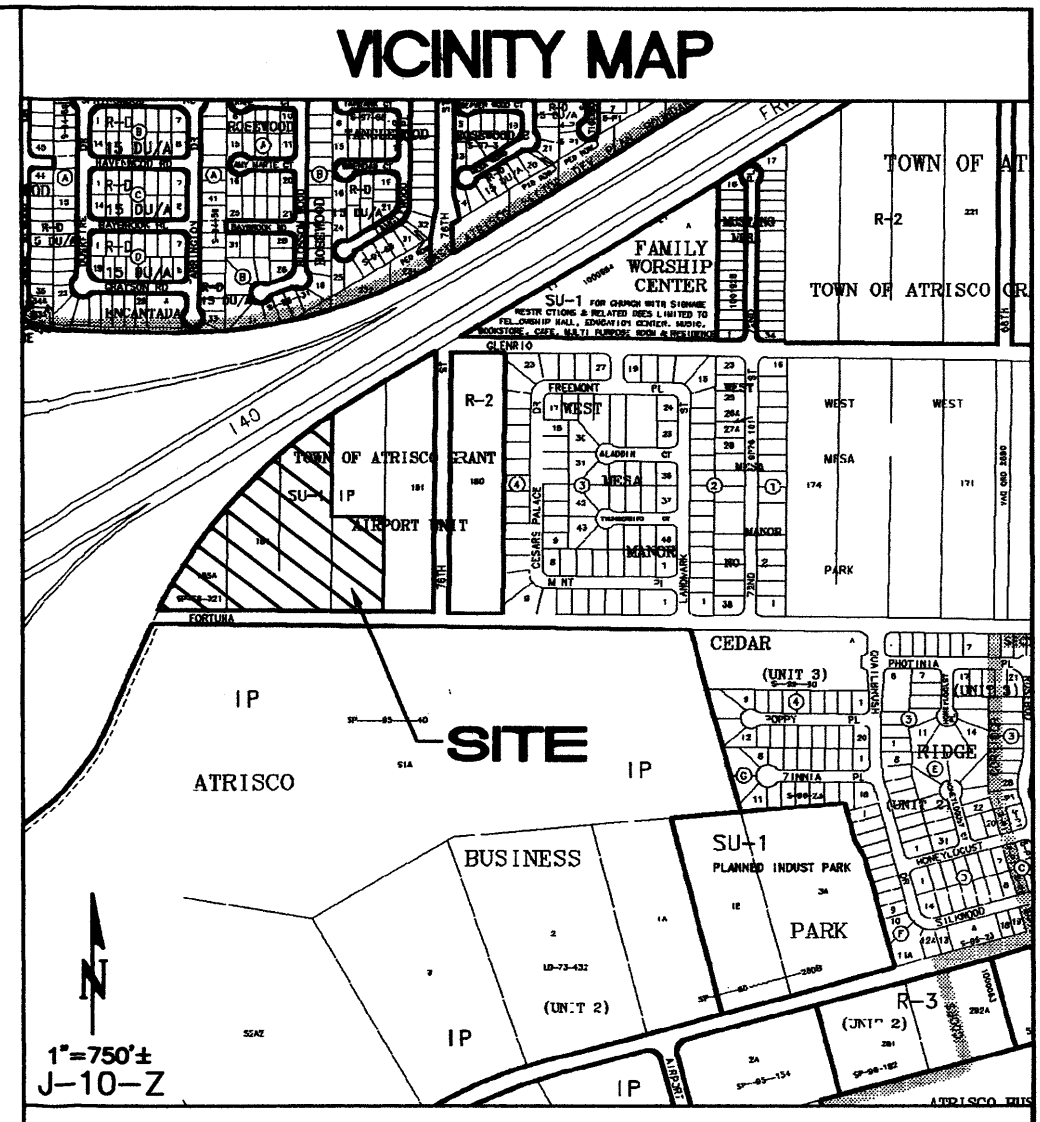
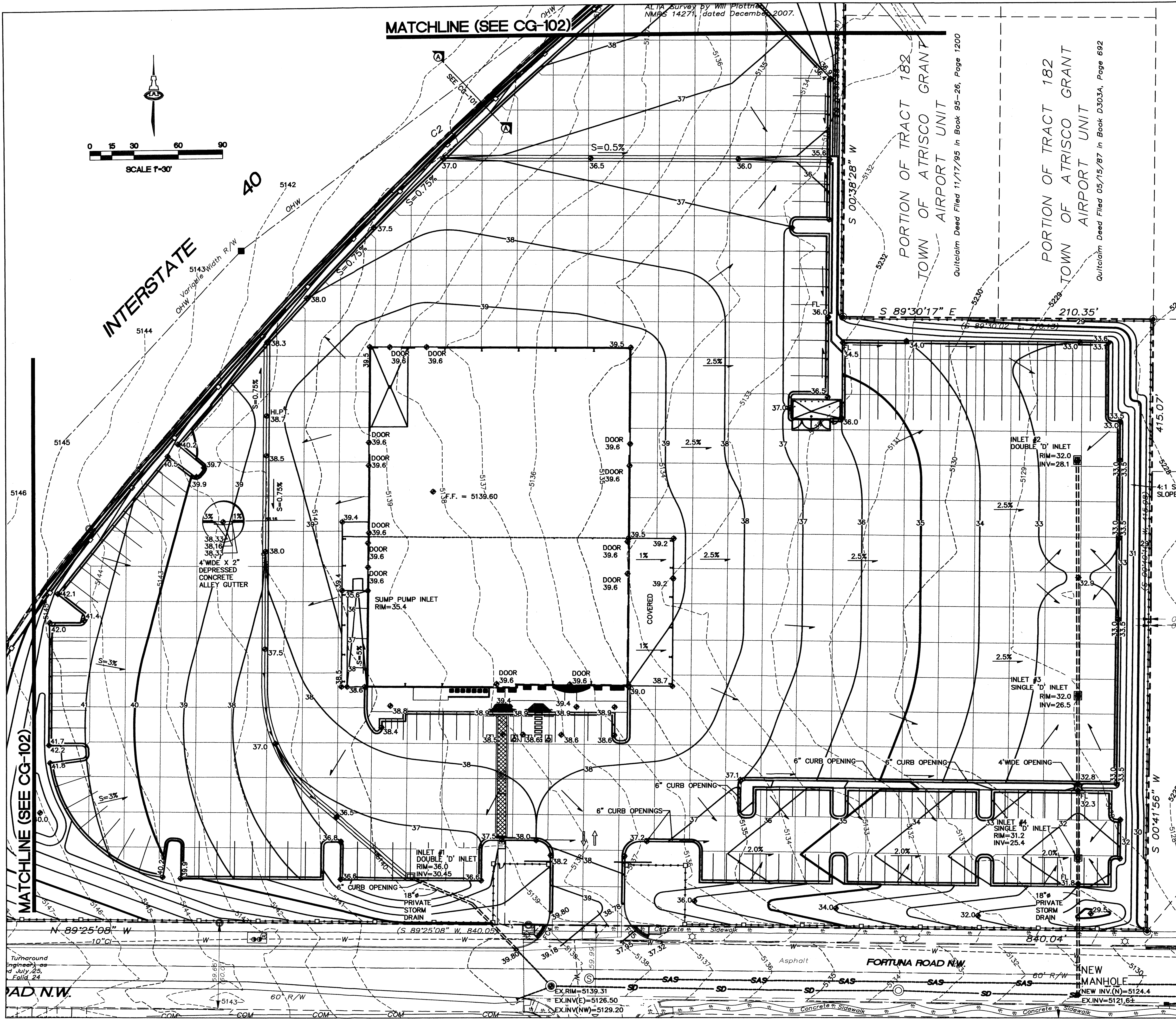


DESIGN PLANS FOR:  
**INLAND KENWORTH**  
 FORTUNA ROAD N.W.  
 ALBUQUERQUE, NM

DRAWING TITLE:  
**ELEVATIONS**  
 SCALE: 1/8" = 1'-0"

Sheet:  
**A-3**  
 of Sheets





**PROJECT DATA**

LEGAL DESCRIPTION:  
 PORTION OF TRACT 182, TRACT 183, 184 AND  
 185-A, TOWN OF ATRISCO GRANT AIRPORT  
 UNIT, CITY OF ALBUQUERQUE, BERNALILLO  
 COUNTY, NEW MEXICO

SITE AREA: 8.86 ACRES

FLOOD ZONE: PER FEMA MAP 35001C0326H, THE SITE FALLS  
 WITHIN FLOODZONE X DESIGNATED AS AREAS  
 OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE  
 FLOODPLAIN

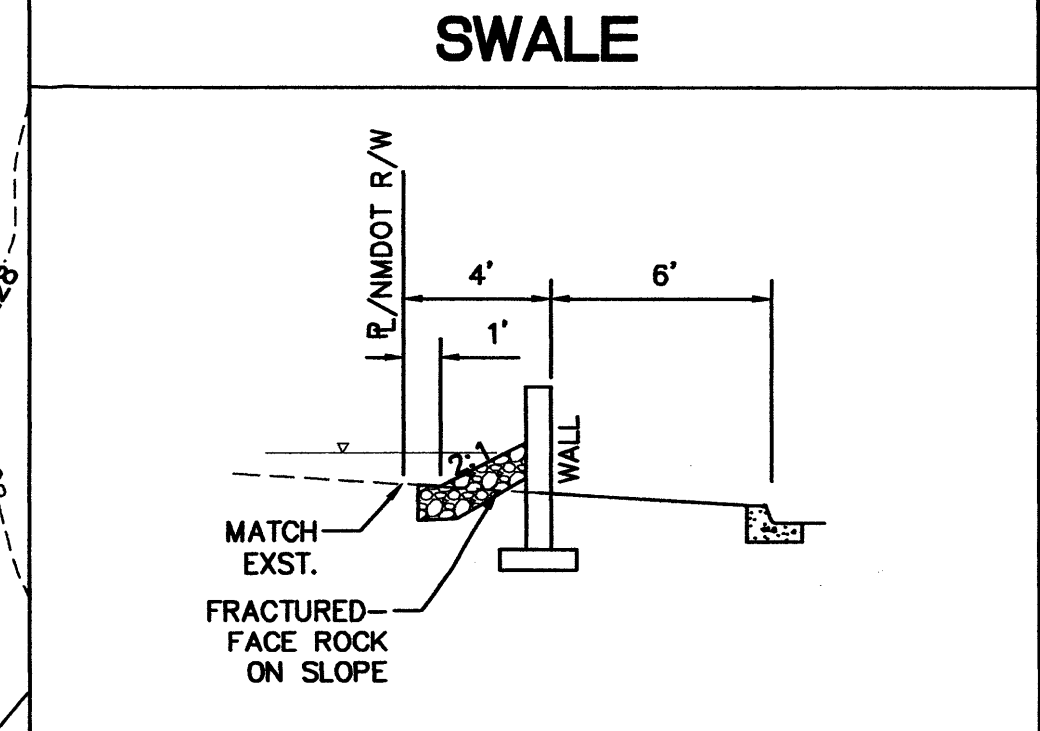
ENGINEER: FRED C. ARMAN, P.E.  
 ISAACSON & ARFMAN, P.A.  
 128 MONROE ST NE, ABO. NM 87108  
 PHONE: (505) 268-8828

SURVEYOR: SURV-TEK CONSULTING SURVEYORS  
 9384 VALLEY VIEW DRIVE, N.W.  
 ALBUQUERQUE, NEW MEXICO 87114  
 PHONE (505) 897-3366

BENCHMARK: VERTICAL DATUM IS BASED UPON THE  
 ALBUQUERQUE CONTROL SURVEY BENCHMARK  
 "4-19" HAVING A PUBLISHED ELEVATION =  
 5170.718 (NAVD 88)

**LEGEND**

- - - EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5139.6 FINISH FLOOR ELEVATION



**SECTION A-A**  
 SCALE: 1"=5'

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.iaacivil.com  
 1941 CG-101.dwg Apr 23, 2013

REVISIONS	

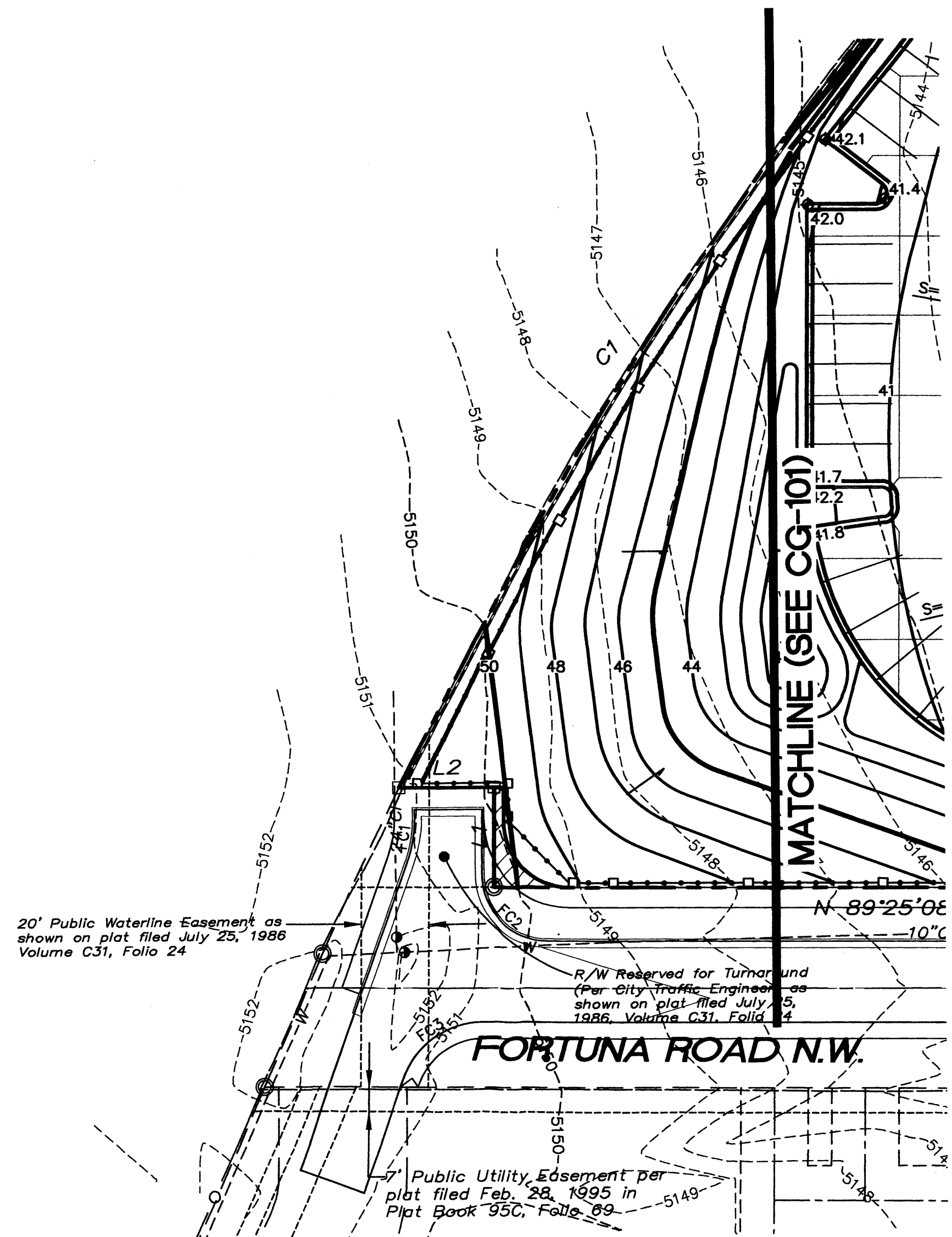
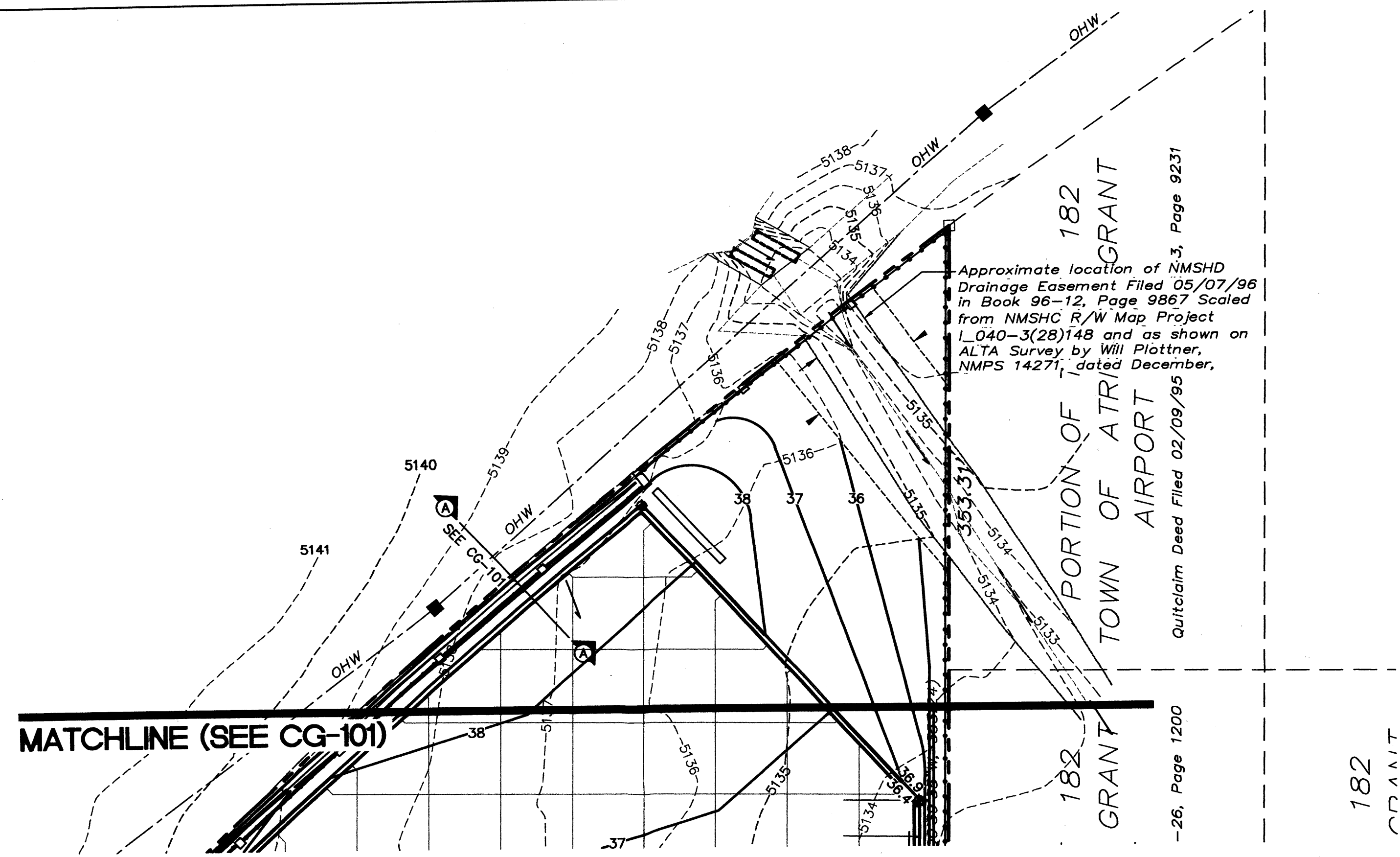
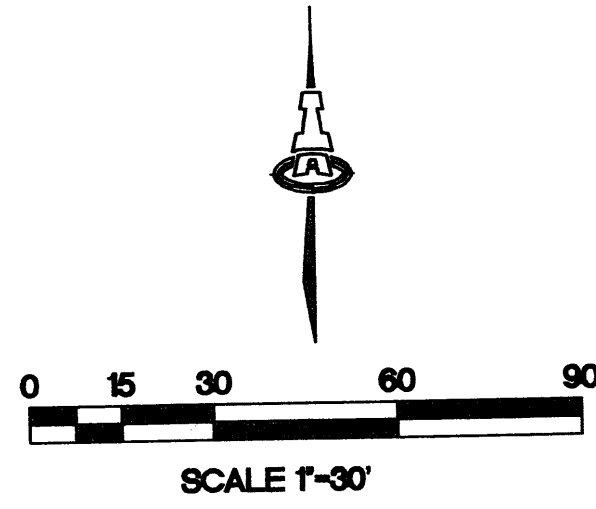
**DESIGN PLANS FOR:**  
**INLAND KENWORTH**  
 FORTUNA ROAD N.W.  
 ALBUQUERQUE, NM

**DRAWING TITLE:**  
**CONCEPTUAL GRADING &  
 DRAINAGE PLAN 1 OF 2**  
 SCALE: 1" = 40'

Date:	8/28/12
Drawn By:	DH
Job:	KENWORTH
Job No.:	L-800 ABC-
Sheet:	CG-101

of Sheets





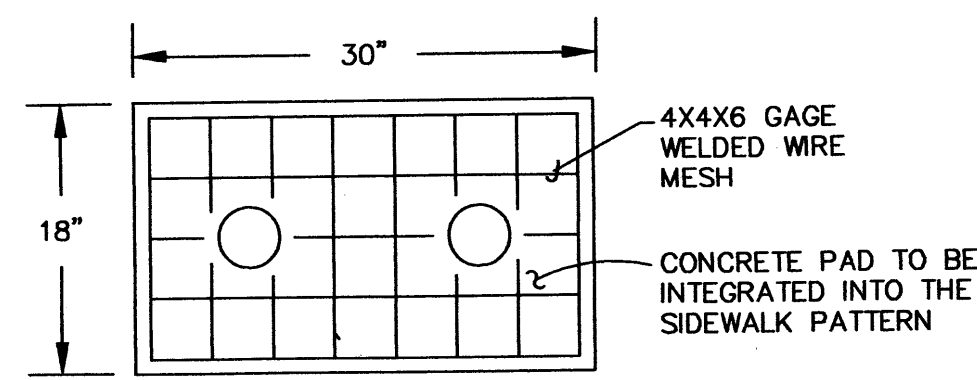
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 1941 CG-101.dwg Apr 23, 2013

REVISIONS	
No.	Description

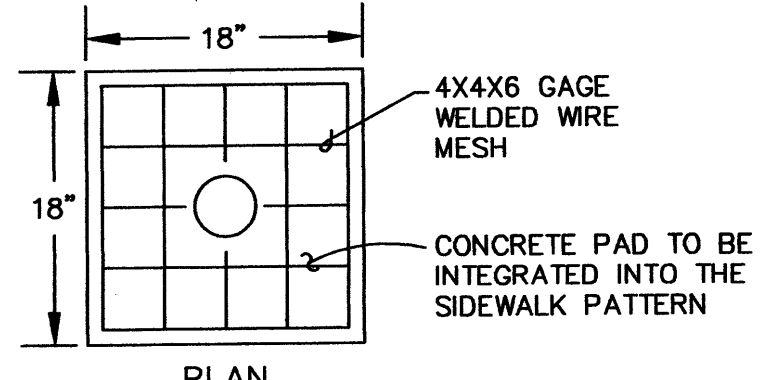
  

LORD CONSTRUCTORS, INC. 1920 West Eleventh Street Upland, California 91786 <small>ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT FOR THE DOCUMENT INCLUDING REPRESENTED DESIGN AND PROFESSIONAL.</small>	DESIGN PLANS FOR: <b>INLAND KENWORTH</b> FORTUNA ROAD N.W. ALBUQUERQUE, NM
DRAWING TITLE: <b>CONCEPTUAL GRADING &amp; DRAINAGE PLAN 2 OF 2</b> SCALE: 1" = 40'	Date: 8/28/12 Drawn By: DH Job: KENWORTH Job No.: L-800 ABC- Sheet: CG-102 of Sheets

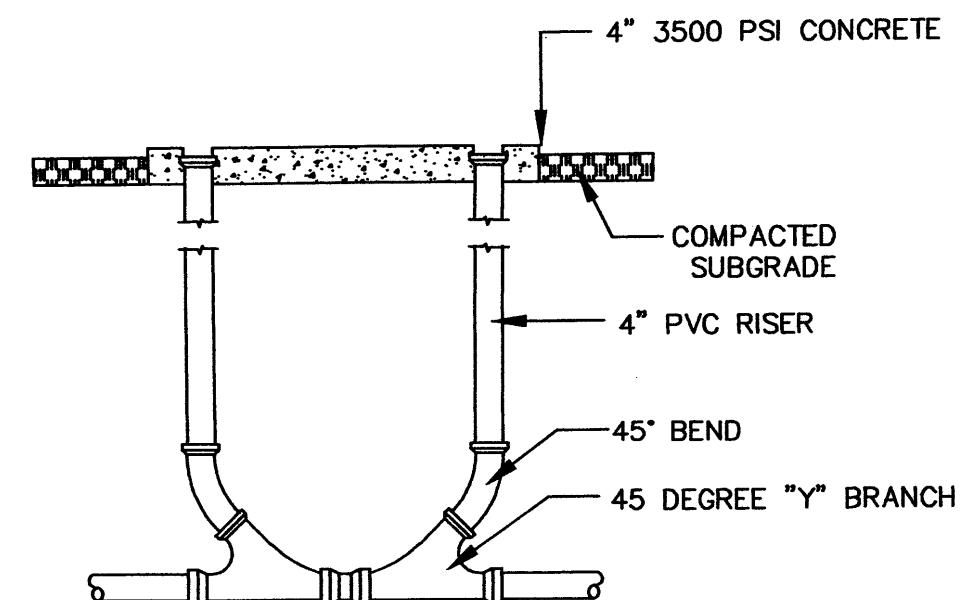




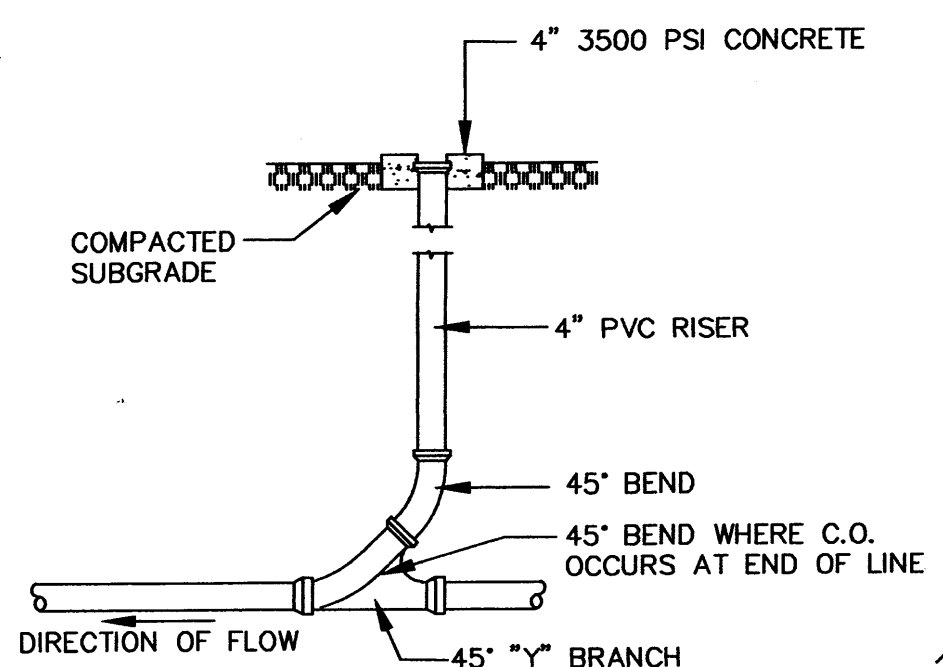
**CONCRETE PAD DOUBLE CLEANOUT**  
SCALE: 1"=1'



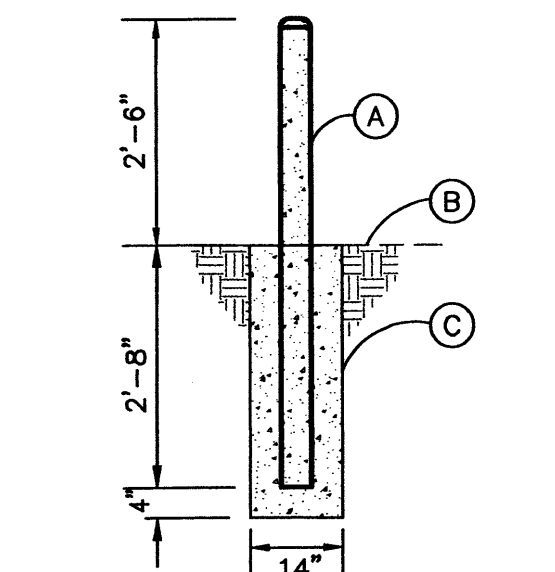
**CONCRETE PAD SINGLE CLEANOUT**  
SCALE: 1"=1'



**DOUBLE CLEANOUT DETAIL**  
NTS



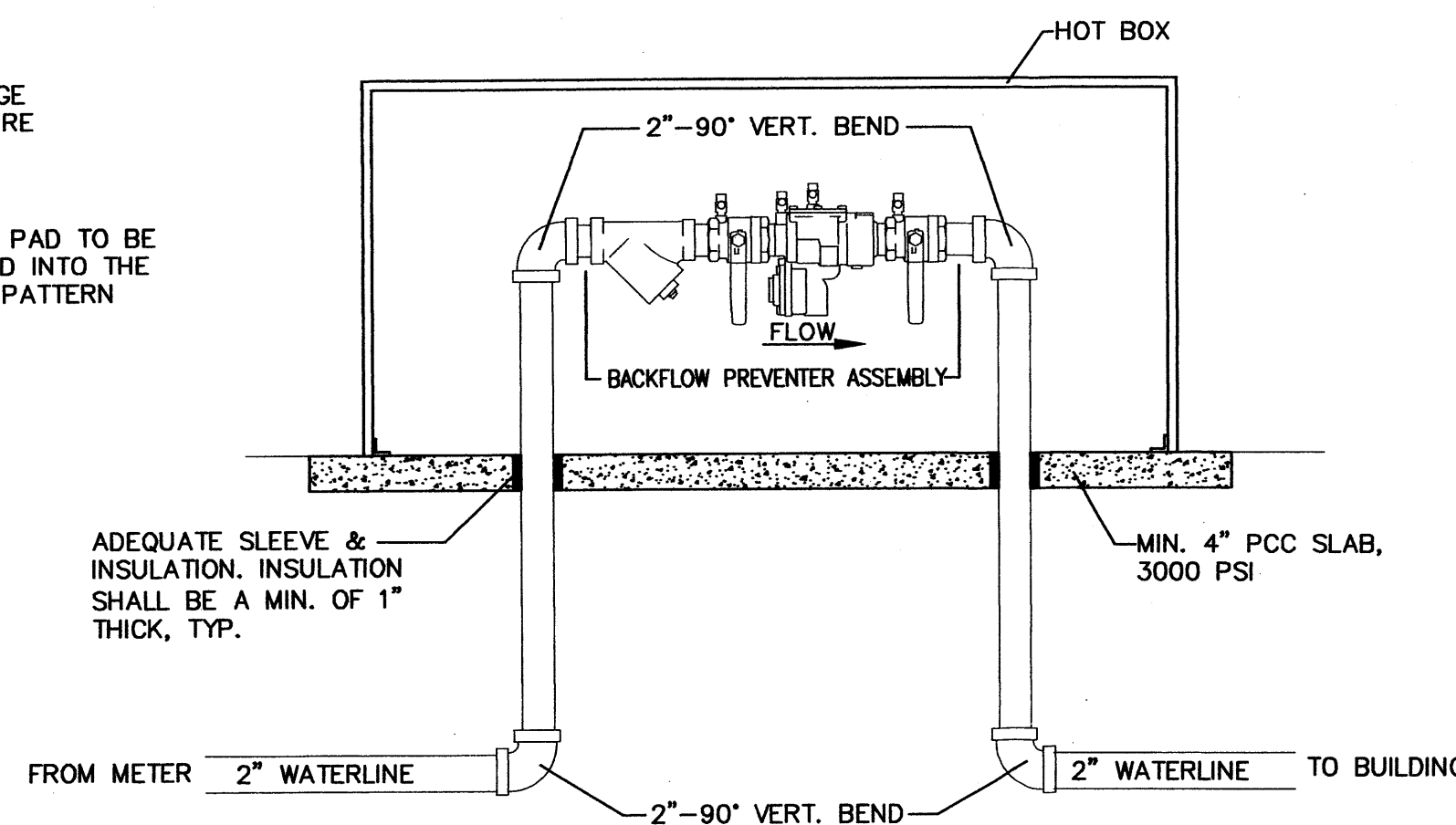
**SINGLE CLEANOUT DETAIL**  
NTS



**BOLLARD DETAIL**  
NTS

- KEYED NOTES:**
- A. 6" NOMINAL DIA. SCHEDULE 40 GALVANIZED STEEL PIPE. PAINT PIPE ABOVE GRADE BRIGHT YELLOW WITH OIL BASE ALKYD PRIMER AND OIL BASE ALKYD ENAMEL TOP COAT. FILL WITH 3000 PSI CONCRETE.
  - B. EXISTING GRADE.
  - C. CONCRETE, 3000 PSI @ 28 DAYS.

**AFD PLANS CHECKING OFFICE**  
924-3611  
**APPROVED/DISAPPROVED**  
**HYDRA(M)S ONLY**  
*[Signature]*  
SIGNATURE & DATE



**BACKFLOW PREVENTER**  
NTS

**RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR TEES, (FT.)**  
ALL JOINTS AT THE TEE MUST BE RESTRAINED.

SIZE	RUN	BRANCH	RUN	BRANCH
10x10x10	20	1	10	32
10x10x8	20	1	10	5
10x10x6	20	1	10	1
10x10x4	20	1	10	1
8x8x8	20	1	10	19
8x8x6	20	1	10	1
8x8x4	20	1	10	1
6x6x6	20	1	10	3
6x6x4	20	1	10	1

**RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)**

SIZE	HORZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
10	31	13	7	4	72
8	27	11	6	3	60
6	20	9	4	2	46
4	15	6	3	2	32

**RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR REDUCERS, (FT.)**  
MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.

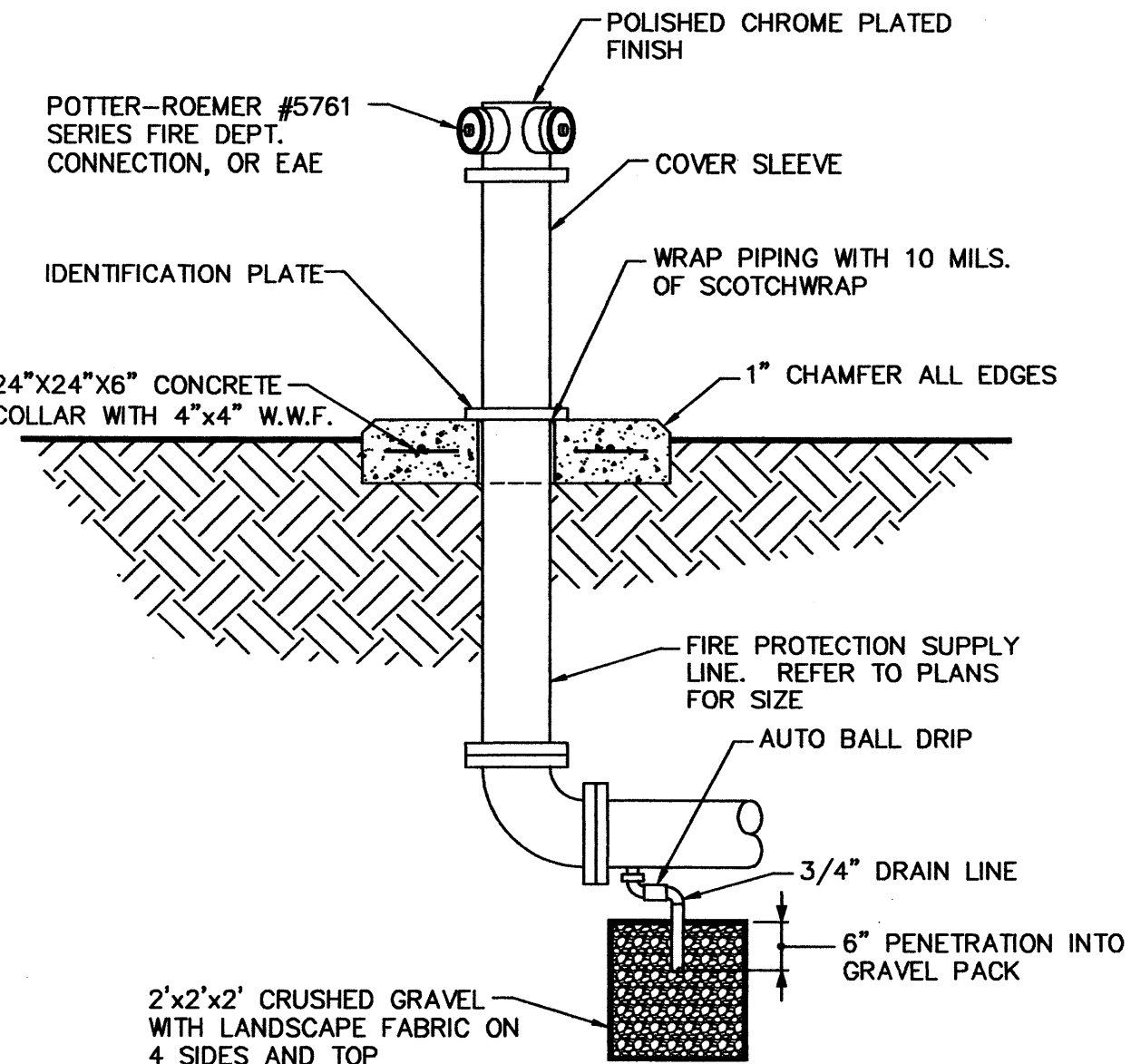
SIZE	LARGE SIDE		LARGE SIDE	
	SIZE	SIZE	SIZE	SIZE
12x10	30	10x6	53	
12x8	54	10x4	71	
12x6	74	8x6	31	
12x4	89	8x4	52	
10x8	29	6x4	28	

THESE TABLES ARE BASED UPON THE FOLLOWING CRITERIA:  
DEPTH OF BURY: 3.0 FT. MINIMUM  
FACTOR OF SAFETY: 1.25  
MATERIAL: PVC PIPE  
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
TEST PRESSURE: 150 PSI  
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

- NOTES:**
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
  - THE CONTRACTOR SHALL INSTALL PCC BLOCKING AT ALL CAPS (UNLESS OTHERWISE NOTED ON PLANS).

**RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS**



**FREE-STANDING FIRE DEPARTMENT CONNECTION DETAIL**  
NTS

**GENERAL NOTES**

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- BUILD SINGLE AND DOUBLE SEWER CLEANOUTS PER DETAILS ON THIS SHEET.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING.

**KEYED NOTES**

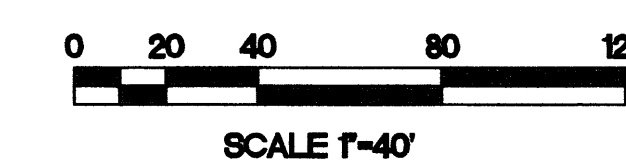
- WATER** ○
- 10" X 6" TAPPING SLEEVE W/ RESTRAINT.
  - 10" X 8" TAPPING SLEEVE W/ RESTRAINT.
  - 8" X 6" TEE W/ RESTRAINT.
  - 8" 90° BEND W/ RESTRAINT.
  - 8" 45° BEND W/ RESTRAINT.
  - 4" 90° BEND W/ RESTRAINT.
  - 8"x4" REDUCER W/ RESTRAINT.
  - 6" TAPPING VALVE W/ RESTRAINT.
  - 8" TAPPING VALVE W/ RESTRAINT.
  - 6" GATE VALVE W/ RESTRAINT.
  - VALVE BOX PER COA STD DWGS 2326 AND 2329.
  - 4" FIRE HYDRANT PER COA STD DWG 2340.
  - POST INDICATOR VALVE (PIV).
  - FIRE DEPARTMENT CONNECTION (FDC).
  - DOUBLE METER SERVICE W/ BOX PER COA STD DWG'S 2362 AND 2363 (2" DOMESTIC & 1" IRRIGATION).
  - FEBCO MODEL 860 PRESSURE REDUCING BACK FLOW PREVENTER W/ MODEL HB2 HOTBOX OUTDOOR FREEZE PROTECTION OR ENGINEER APPROVED EQUAL.
  - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE FIRE LINE.

**SEWER** ○

- NEW 6" SAS SERVICE PER COA STD DWG 2125.
- SINGLE CLEANOUT PER DETAIL THIS SHEET.
- DOUBLE CLEANOUT PER DETAIL THIS SHEET.
- 1500 GALLON CLARIFIER W/ SAMPLE BOX.
- 6"x4" WYE.
- 6"x4" REDUCER.
- 4" WYE.
- 4" 45° BEND.
- BOLLARD PER DETAIL THIS SHEET.

**LEGEND**

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- ▣ SAS DOUBLE CLEANOUT



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1941 CU-101.dwg Apr 30, 2013

**REVISIONS**

NO.	DESCRIPTION	DATE

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Upland, California 91786  
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DESIGN PLANS FOR:  
**INLAND KENWORTH**  
FORTUNA ROAD N.W.  
ALBUQUERQUE, NM

DRAWING TITLE:  
**CONCEPTUAL UTILITY PLAN**  
SCALE: 1" = 40'

Date: 8/28/12  
Drawn By: DH  
Job: KENWORTH  
Job No.: L-800 ABC-  
Sheet: CU-101

of Sheets