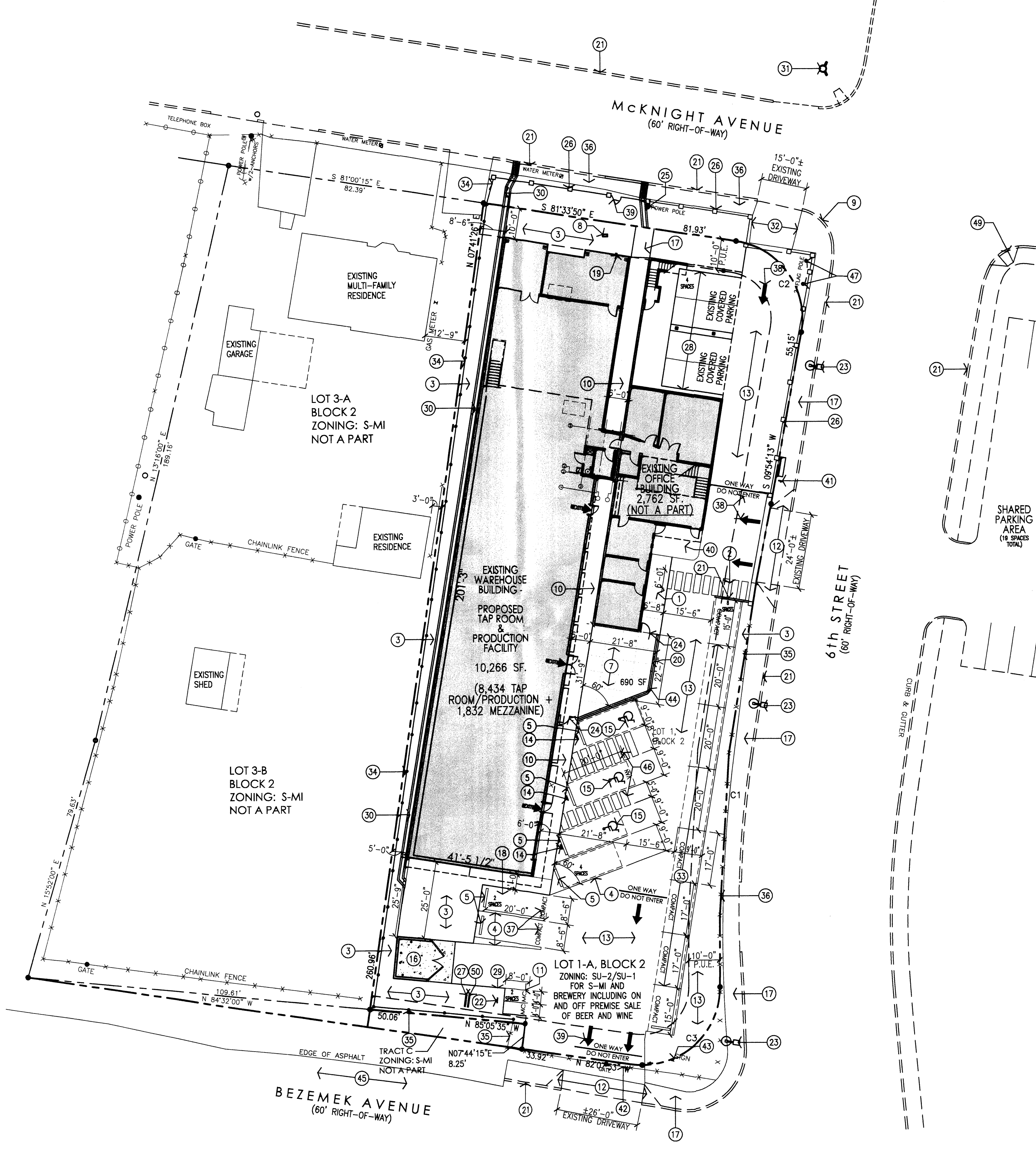
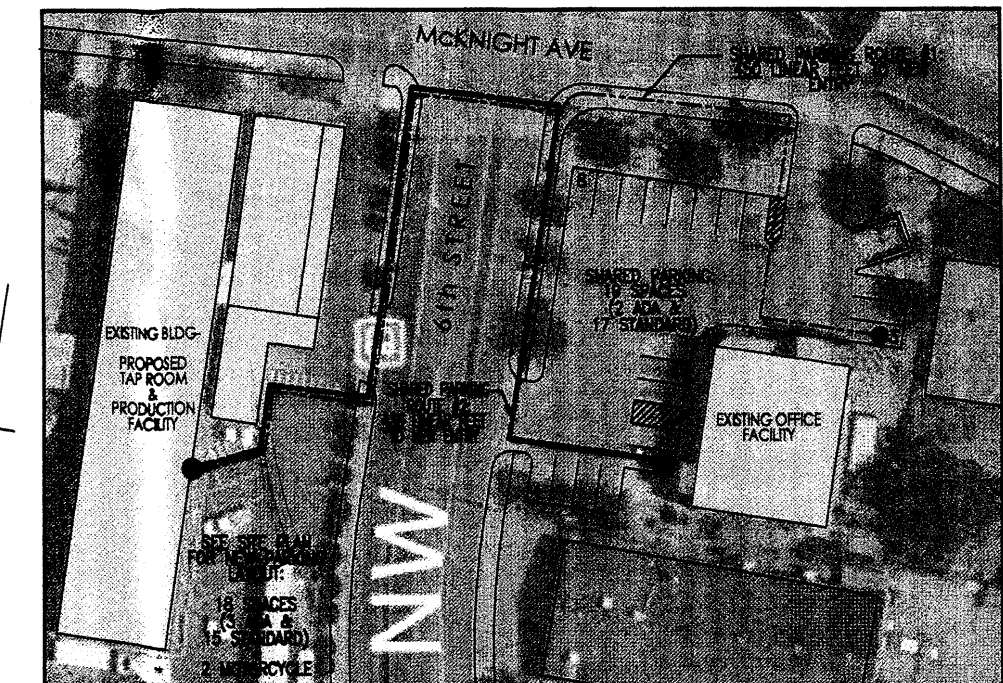
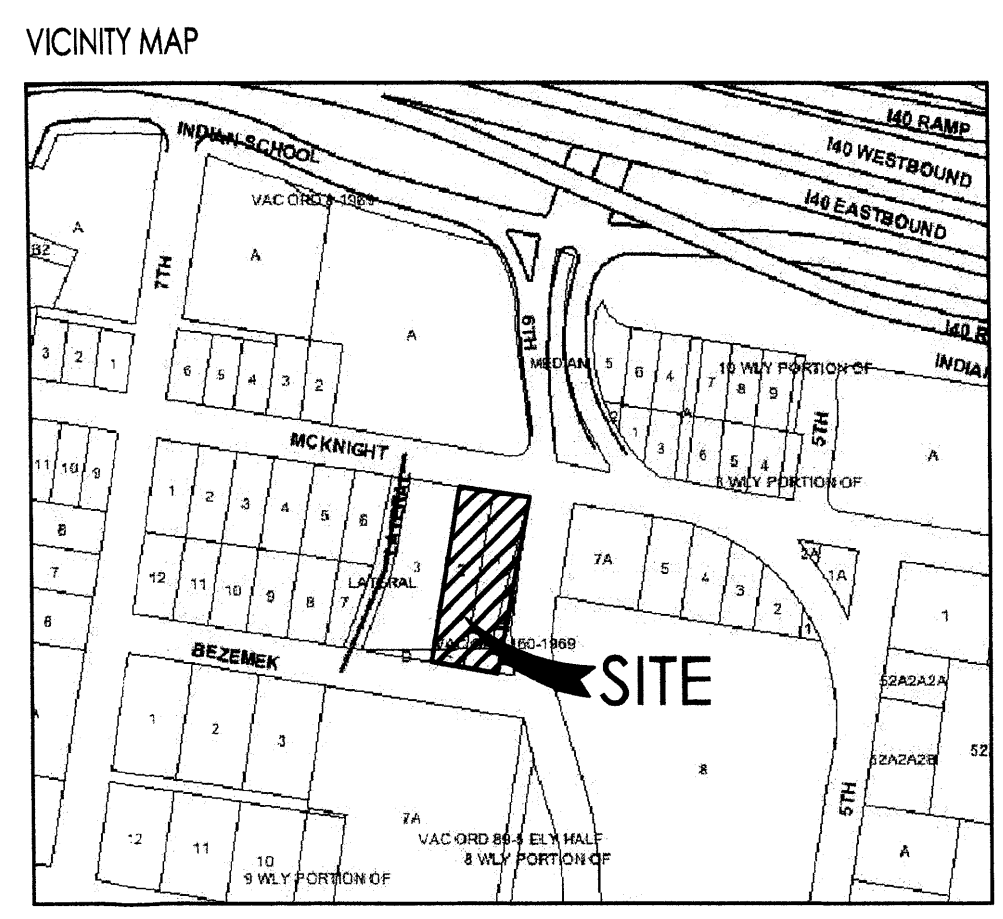


NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	07°18'55"	S 06°04'29" W	1234.57	157.62	157.52
C2	91°28'03"	S 35°49'48" E	25.00	39.91	35.81
C3	95°27'06"	S 50°08'34" W	25.00	41.65	37.00



1 Site Development Plan for Building Permit
Scale: 1"=20'-0"



SITE DEVELOPMENT DATA:
LEGAL DESCRIPTION: LOT 1-A IN BLOCK 2 OF HILL'S ACRES SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
BUILDING ADDRESS: PROPOSED TAP ROOM & PRODUCTION FACILITY 608 MCKNIGHT AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102
CURRENT ZONING: SU-2/SU-1 FOR S-MI AND BREWERY INCLUDING ON AND OFF PREMISE SALE OF BEER AND WINE
ZONE ATLAS PAGE: H-14-Z
LAND AREA: 0.6314 ACRES (27,504 SQ. FT.)
BUILDING AREA: EXISTING WAREHOUSE BUILDING: 8,434 S.F. (PROPOSED TAP ROOM/PROD. 1ST FLOOR) 1,832 S.F. (EXISTING OFFICE MEZZANINE)
10,266 S.F. TOTAL BUILDING AREA
PARKING REQUIREMENTS: PER SECTION 14-6-3-1 OFF-STREET PARKING REGULATIONS OF THE COA COMPREHENSIVE ZONING CODE, SECTION E, ITEM 5: IN CALCULATING THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, FRACTIONAL NUMBERS ARE TO BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

PARKING REQUIREMENTS ARE AS FOLLOWS:
EXISTING WAREHOUSE BUILDING (10,266 SF):
 TAP ROOM 100 SEATS / 4 = 25 SPACES
 PRODUCTION AREA 4,000 SF / 1000 = 4 SPACES
 OFFICE MEZZANINE 1,832 SF / 300 = 7 SPACES
TOTAL = 36 SPACES
EXISTING OFFICE BUILDING (2,782 SF):
 1ST FLOOR OFFICE 1,400 SF / 200 = 7 SPACES
 2ND FLOOR OFFICE 782 SF / 300 = 3 SPACES
 EXISTING STORAGE 600 SF / 1000 = 1 SPACE
TOTAL = 11 SPACES
OVERALL PARKING TOTAL = 47 SPACES
APPLICABLE PARKING CREDITS:
 10%-(BUS STOP CREDIT - ROUTE 92, 94, & 8) 47 x 10% = 5 SPACES CREDITED
 10%-(SHARED PARKING CREDIT) 42 x 10% = 5 SPACES CREDITED
37 PARKING SPACES REQUIRED
37 SPACES PROVIDED: 18 ON-SITE: 15 STANDARD, 3 ADA (+ 2 MOTORCYCLE), 19 SHARED OFF-SITE
 REFER ALSO TO APPENDIX J: SHARED PARKING MATRIX ON THIS SHEET.
 1 EXISTING BIKE RACK IS TO REMAIN = 5 BIKE CAPACITY
 1 NEW BIKE RACK TO BE INSTALLED = 5 BIKE CAPACITY
TOTAL BIKE CAPACITY = 10 BIKES

LANDSCAPING REQUIREMENTS:
 REFER TO LANDSCAPE PLAN.
 PLEASE NOTE: EXISTING LANDSCAPING IS TO REMAIN IN PLACE AND MEETS THE REQUIRED LANDSCAPING REQUIREMENTS.

- GENERAL NOTES:**
- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 - [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- KEYED NOTES:**
- [1] NEW CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C.
 - [2] EXISTING 5' WIDE PAINTED PEDESTRIAN WALKWAY TO BE INCREASED TO 6' WIDE.
 - [3] EXISTING LANDSCAPING TO REMAIN.
 - [4] NEW PAINTED PARKING STRIPES.
 - [5] NEW CONCRETE PARKING BUMPERS, TYPICAL OF 6.
 - [6] NEW PAINTED HC PARKING SYMBOL. REFER TO DETAIL 2/A002.
 - [7] NEW CONCRETE PATIO WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C.
 - [8] EXISTING POST INDICATOR VALVE TO REMAIN.
 - [9] EXISTING ADA RAMP WITH FLARED SIDES TO REMAIN.
 - [10] EXISTING ASPHALT PAVED SIDEWALK TO REMAIN.
 - [11] RELOCATED MOTORCYCLE SPACE (2 REQUIRED, 2 PROVIDED).
 - [12] EXISTING 24' WIDE CONCRETE DRIVEWAY WITH FLARED ADA SLOPES TO REMAIN.
 - [13] EXISTING ASPHALT PAVING TO REMAIN.
 - [14] HC PARKING SIGN. VAN ACCESSIBLE WERE INDICATED ON PLAN. REFER TO DETAIL 4/A002.
 - [15] NEW PAINTED HC PARKING STRIPING. REFER TO DETAIL 1/A002.
 - [16] EXISTING CMU DUMPSTER LOCATION TO REMAIN.
 - [17] EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
 - [18] NEW ASPHALT PAVING.
 - [19] EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
 - [20] NEW 3'-0" HIGH TUBE STEEL AND WELDED WIRE MESH PATIO FENCE.
 - [21] EXISTING CONCRETE CURB TO REMAIN.
 - [22] NEW MOTORCYCLE PARKING SIGN. REFER TO DETAIL 4/A002.
 - [23] EXISTING SITE LIGHTING TO REMAIN.
 - [24] NEW 3'-0" WIDE TUBE STEEL AND WELDED WIRE MESH PATIO MAIN GATE, TYPICAL OF 2.
 - [25] EXISTING POWER POLE TO REMAIN.
 - [26] EXISTING TUBE STEEL AND CMU PLASTER FENCE TO REMAIN.
 - [27] RELOCATED EXISTING BIKE RACK. 5 BIKE CAPACITY.
 - [28] EXISTING PARKING TO REMAIN.
 - [29] EXISTING ASPHALT PAVING WITH STEEL LANDSCAPING EDGING TO REMAIN.
 - [30] EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN.
 - [31] EXISTING FIRE HYDRANT TO REMAIN.
 - [32] EXISTING 15'-0" WIDE CONCRETE DRIVEWAY TO REMAIN.
 - [33] EXISTING PARALLEL PARKING TO REMAIN.
 - [34] EXISTING 6' HIGH CHAINLINK FENCE WITH PLASTIC SLATS ALONG WEST PROPERTY LINE TO REMAIN.
 - [35] EXISTING CHAINLINK FENCE TO REMAIN.
 - [36] EXISTING 4' WIDE CONCRETE SIDEWALK TO REMAIN.
 - [37] "COMPACT" DESIGNATION PAINTED ALONG EDGE OF EACH NEW COMPACT PARKING SPACE.
 - [38] EXISTING "ONE WAY" DIRECTIONAL PAVEMENT SIGNAGE TO REMAIN.
 - [39] EXISTING FIRE DEPARTMENT ACCESS MAN-GATE WITH KNOX BOX @ NORTH SIDE FENCE.
 - [40] EXISTING CONCRETE PAVING TO REMAIN.
 - [41] EXISTING BUS STOP AND BENCH TO REMAIN. SERVES ROUTES 92, 94, & 8.
 - [42] EXISTING RAZOR WIRE ABOVE GATE TO BE REMOVED.
 - [43] EXISTING 15 FT HIGH (±) PYLON SIGN TO REMAIN. SIGNAGE AREA = 50 SF±.
 - [44] 6" BUILT-UP CONCRETE CURB AT NEW PATIO PERIMETER.
 - [45] AREA OF AVAILABLE STREET PARKING.
 - [46] PAINTED ACCESS AISLE. WIDTH AS DIMENSIONED ON PLAN. REFER TO DETAIL 1/A002.
 - [47] EXISTING FLAG POLES TO REMAIN.
 - [48] NOT USED.
 - [49] EXISTING CURB, GUTTER, AND SIDEWALK TO BE REMOVED AS REQUIRED FOR INSTALLATION OF ADA-COMPLIANT RAMPED CURB. REFER TO DETAIL 3/A002.
 - [50] NEW BIKE RACK, CAPACITY= 5 BIKES. REFER TO DETAIL 5/A002.

Appendix J - Shared Parking Matrix

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0%	100%	5%	0%	0%	0%
Tap Room	0%	50%	90%	0%	70%	100%
Manufacturing	0%	100%	50%	0%	50%	0%
Adjacent Office/Manufacturing Building*	0%	100%	5%	0%	0%	0%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	1400	200 /ft	7
Office - Second Floor	2614	300 /ft	9
Tap Room	100 seats	1 seat / 4 occ.	25
Manufacturing	4,000	1000 /ft	4
Adjacent Office/Manufacturing Building*	6,000 **		13

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0	16	1	0	0	0
Tap Room	0	13	23	0	18	25
Manufacturing	0	4	2	0	2	0
Adjacent Office/Manufacturing Building*	0	13	1	0	0	0

Total Number of Spaces Required per time period

	0	45	26	0	20	25
--	---	----	----	---	----	----

* Shared parking arrangement with office/manufacturing building across 6th Street. The parking requirements for this building is included in the parking matrix.
 ** Existing building is 6,000sf; first floor is 3,000sf of manufacturing (3,000/1000 = 3 parking spaces) and second floor is 3,000sf of office (3,000/300 = 10 parking spaces). 13 total parking spaces required.
 *** Per COA Parking Regulations; fractional amounts are to be rounded to next whole number.

Peak Parking Requirement 45 spaces
Less 10% bus stop credit 40 spaces
Less 10% shared parking 36 spaces
Parking Provided 37 spaces

PROJECT NUMBER: 1006767 APPLICATION NUMBER: 15DRB-70032

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: DECEMBER 11, 2014 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Racquel M. M...</i>	4/14/15
Traffic Engineering, Transportation Division	Date
<i>Alban...</i>	02/09/15
ABQWA	Date
<i>Carl S. Durand</i>	02/09/15
Parks and Recreation Department	Date
<i>Chris...</i>	2-9-15
City Engineer	Date
<i>[Signature]</i>	
* Environmental Health Department (conditional)	Date
	1-23-15
Solid Waste Management	Date
<i>[Signature]</i>	4-15-15
DRB Chairperson, Planning Department	Date

project file: Bow & Arrow Brewing Tap Room & Production Facility
 sheet file: Site Development Plan for Building Permit
 608 McKnight Ave. NW
 Albuquerque, New Mexico

revision: by: date: rev:

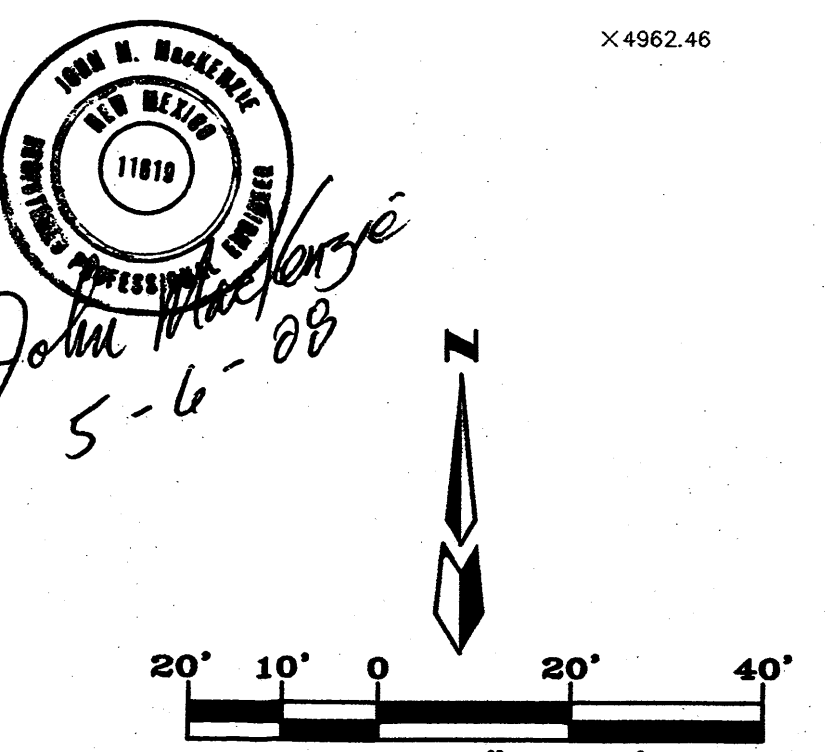
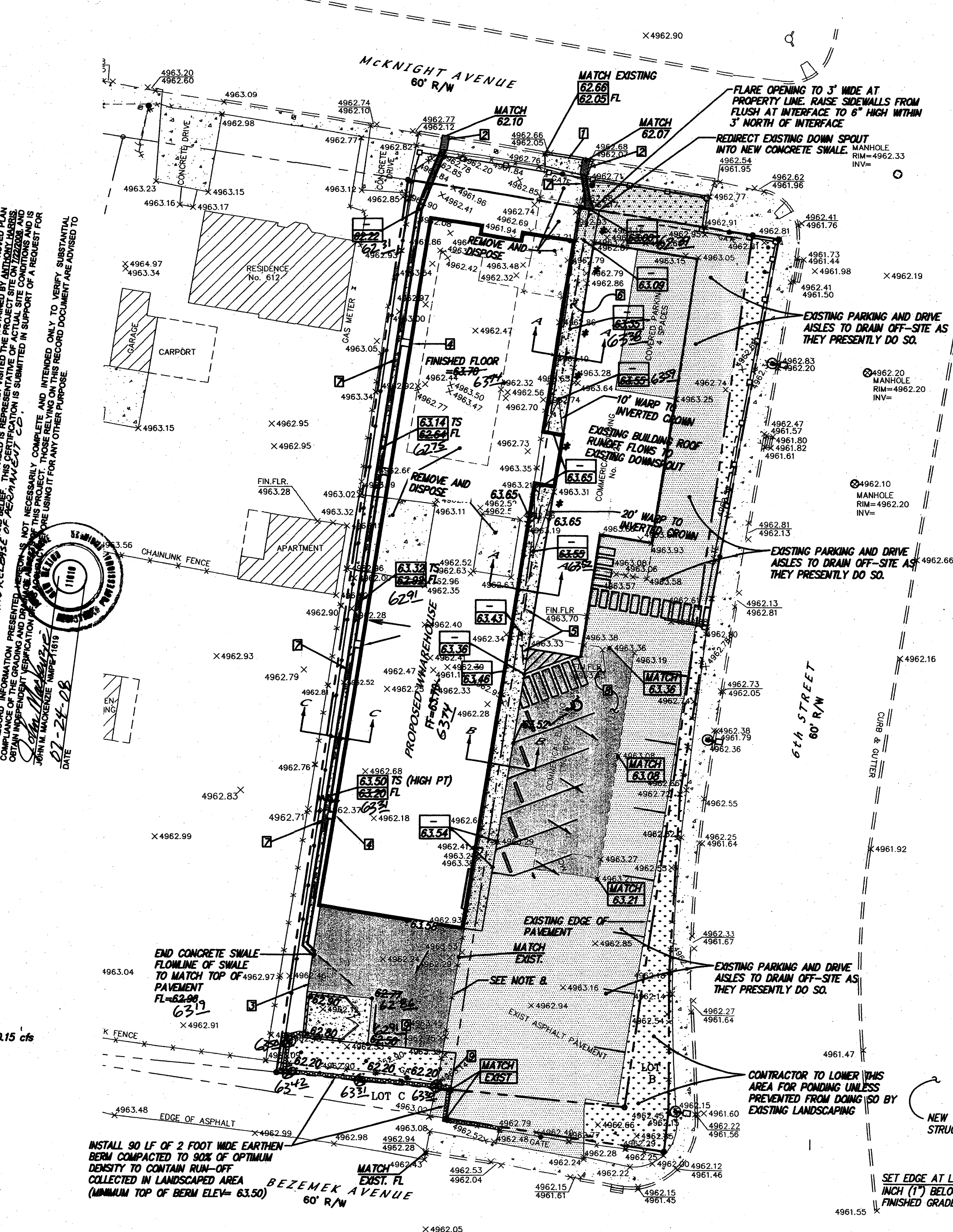
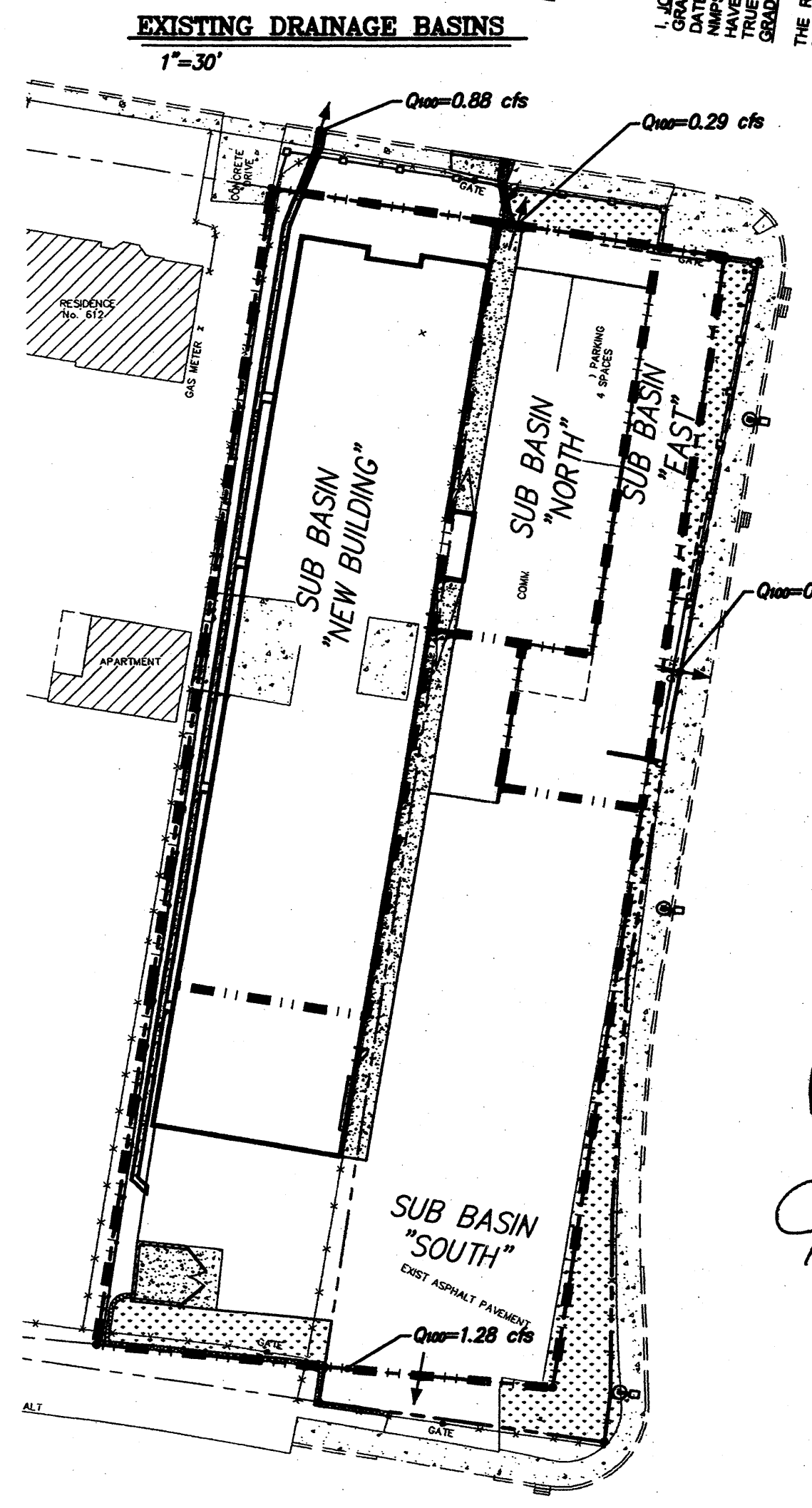
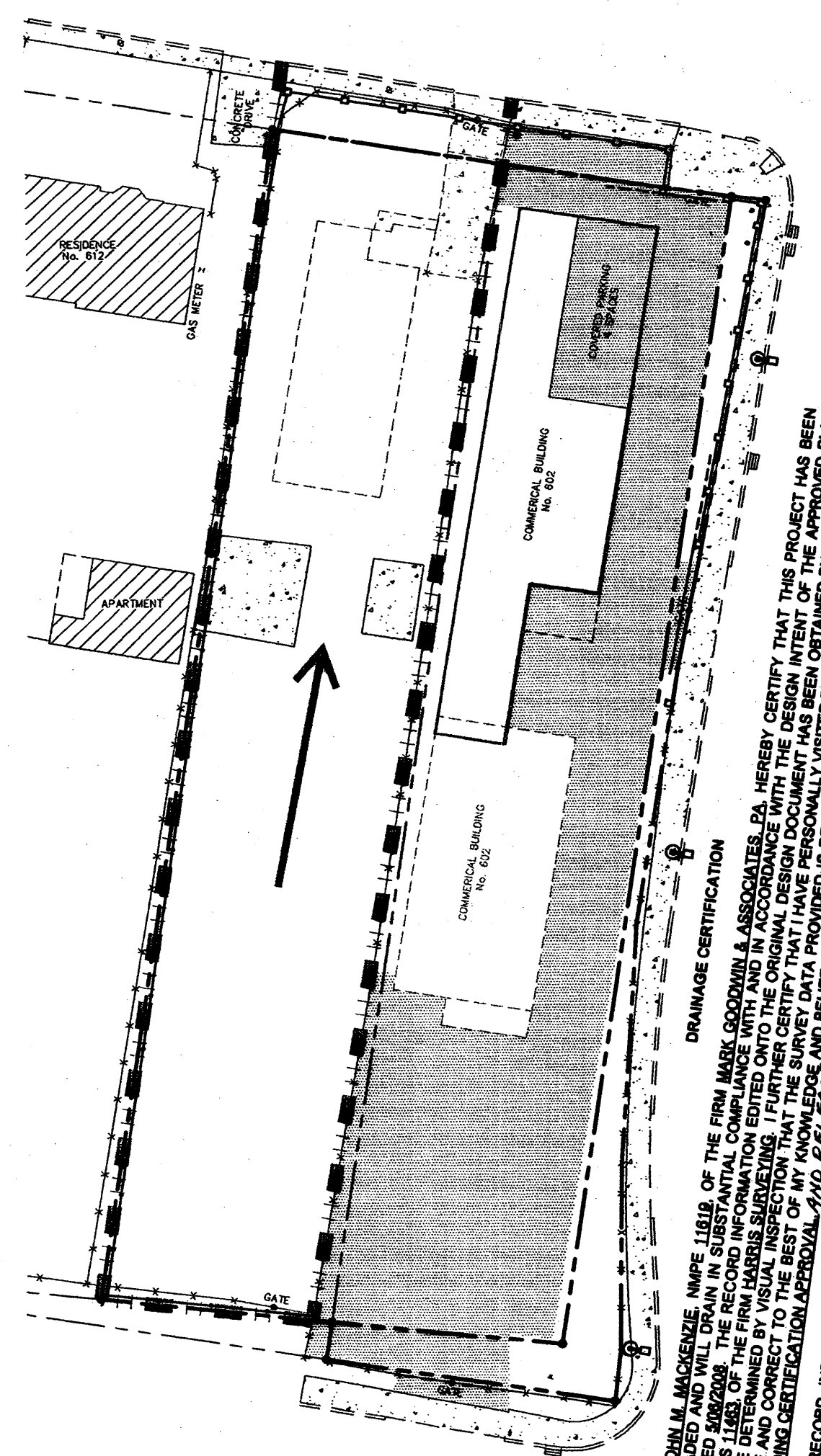
Per COA DRB Comments: 04/13/15
 Per COA DRB Comments: 02/20/15

MH
 Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]

job number: 14-07
 drawn by: SEJ
 project manager: Doug Heller, AIA
 date: DRB UPDATE 01.15.2015

1006767

A001



DRAINAGE DATA - (TOTAL SITE AREA = 0.51 AC.)

CONDITION	BASIN	STORM	TREATMENT TYPE	TREATMENT AREA	HYWQ OUTPUT PEAK RUNOFF
EXISTING	ENTIRE SITE	100-YEAR	C=40% D=60%	0.236 Ac 0.355 Ac	2.30 cfs
DEVELOPED	ENTIRE SITE	100-YEAR	C=5% D=95%	0.029 Ac 0.562 Ac	2.62 cfs
DEVELOPED	NEW BUILDING	100-YEAR	C=5% D=95%	0.01 Ac 0.19 Ac	0.88 cfs
EXISTING	EAST	100-YEAR	D=100%	0.03 Ac	0.15 cfs
EXISTING	NORTH	100-YEAR	D=100%	0.07 Ac	0.29 cfs
DEVELOPED	SOUTH	100-YEAR	C=5% D=95%	0.01 Ac 0.28 Ac	1.28 cfs

*NOTE: THE EXISTING COMMERCIAL BUILDING UTILIZES A DRAINAGE GUTTER AT THE ROOF LINE THAT OUTLETS NORTH OF THE STRUCTURE. THEREFORE NO DRAINAGE FROM THE EXISTING BUILDING ENTERS THE CONCRETE WALK TO THE NORTH.

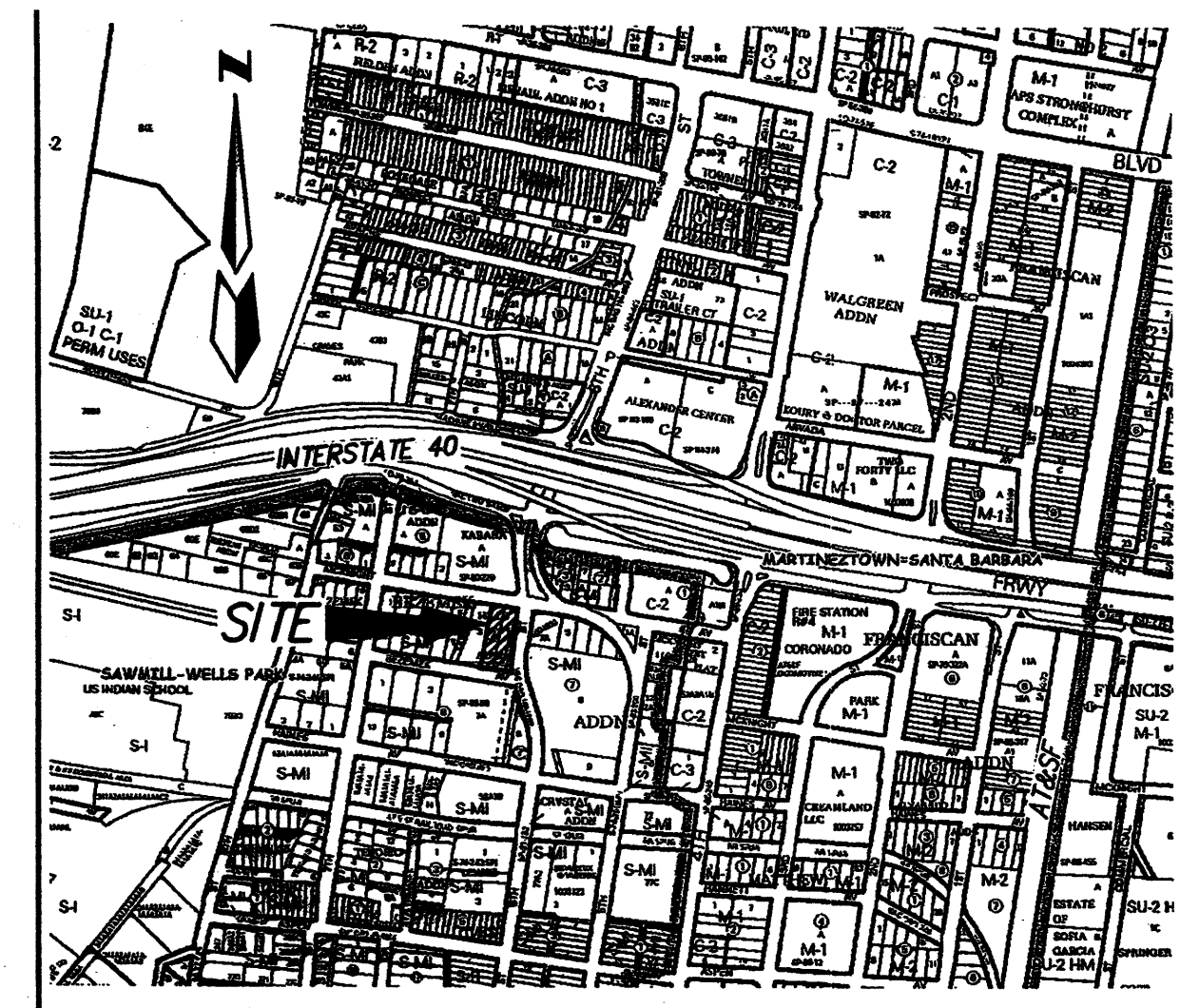
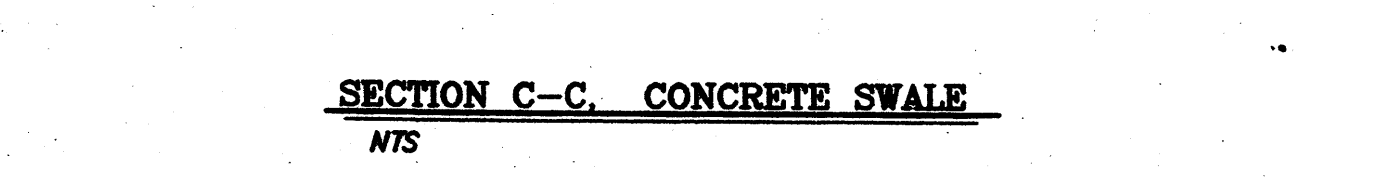
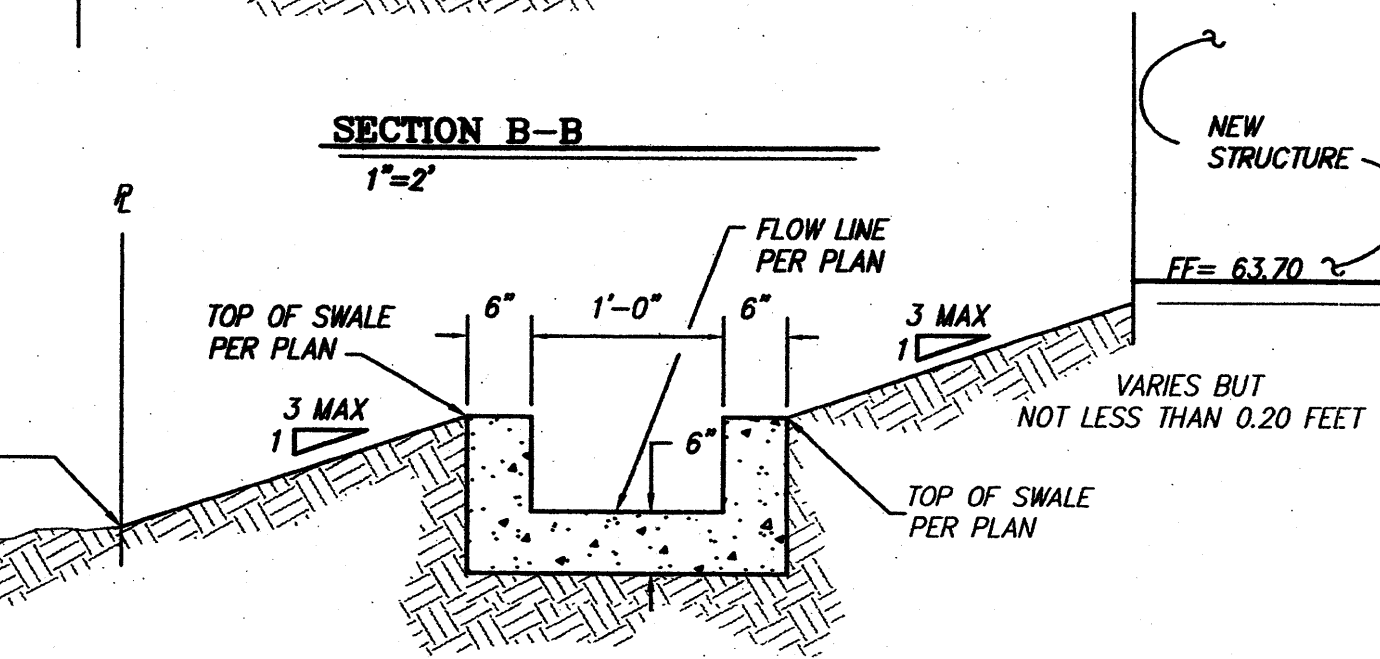
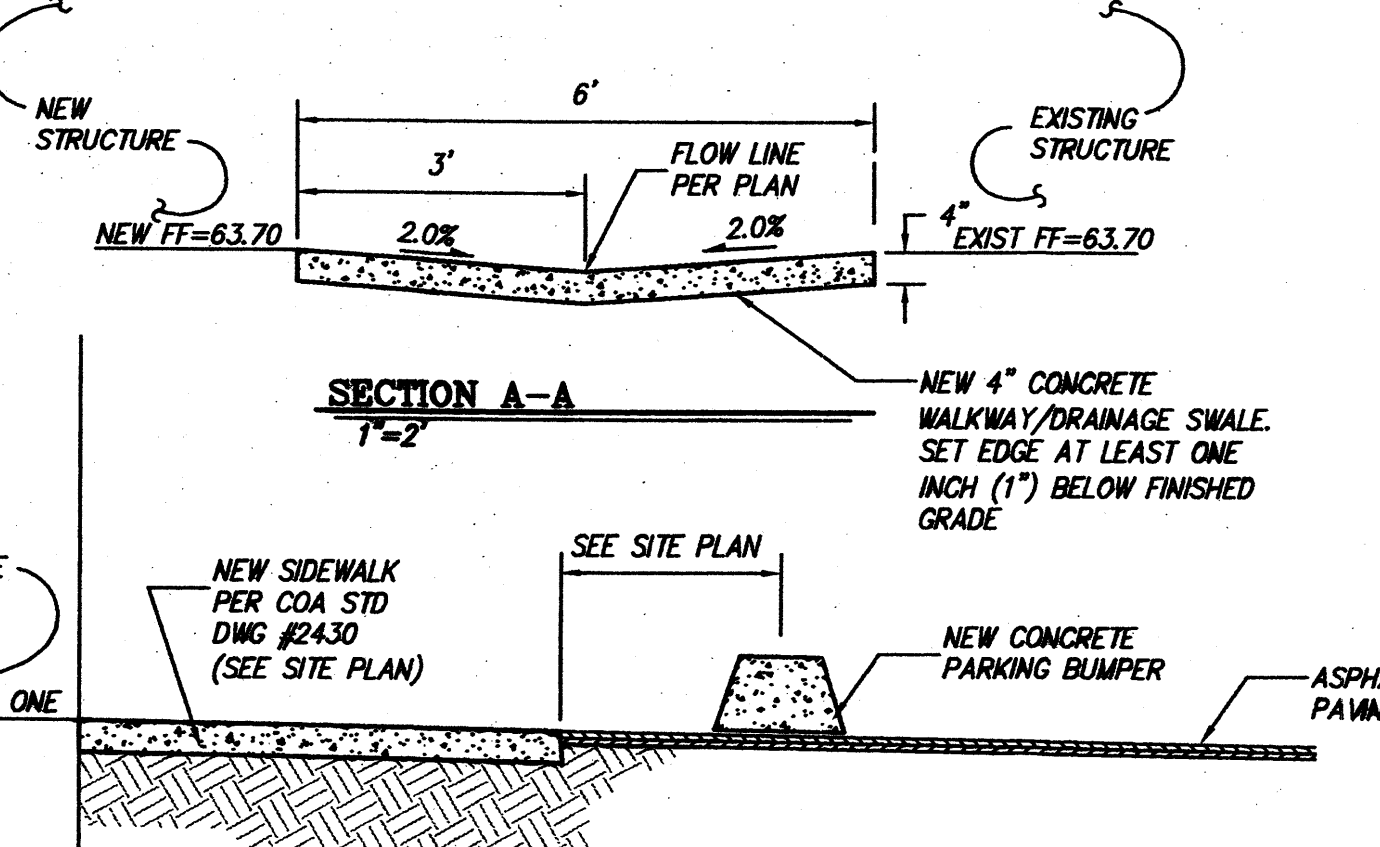
NOTES:

- REMOVE & DISPOSE OF EXISTING CONCRETE DRIVE. INSTALL 15 LF STANDARD CURB & GUTTER PER COA STD DWG #2430. INSTALL 15 LF CONCRETE WALK PER COA STD DWG #2430.
- INSTALL DRAINAGE SIDEWALK CULVERT W/ STEEL PLATE TOP PER COA STD DWG #2236, 12" OPENING. EXTEND PLATES TO RIGHT OF WAY LINE.
- NEW PAVING TO BE INSTALLED FLUSH WITH ADJOINING FINISHED SIDEYARD GRADE. ALL RUN-OFF WITHIN SITE ALONG THIS EDGE SHALL DRAIN EAST.
- ROOF DRAINS SHALL EMPTY TO CONCRETE SPLASH BLOCKS. SPLASH BLOCKS SHALL EMPTY DIRECTLY INTO CONCRETE SWALE, AND NOT REST ONTO ADJOINING PROPERTY (TYP).
- CONTINUE INVERTED CROWN SOUTH. INVERTED CROWN'S FLOWLINE TO BE FLUSH WITH PAVED EDGE AT INTERFACE.
- REMOVE AND DISPOSE OF EXISTING CONCRETE AND INSTALL NEW CONCRETE PER CROSS-SECTIONS A-A AND B-B, THIS SHEET.
- INSTALL CONCRETE SWALE PER SECTION C-C, THIS SHEET.
- REMOVE & DISPOSE OF EXISTING BUILDING AND PAD AND REPLACE WITH ASPHALT PARKING AS SHOWN. CLEARLY SAWCUT OFF AT LEAST 6" OF EXISTING PAVING AFTER BUILDING REMOVAL TO PROVIDE A MATCH TO ADJACENT SURFACING. SEE SOILS REPORT FOR NEW PAVING SECTION.
- RUN-OFF FROM NEW PAVING SOUTH OF BUILDING TO DRAIN INTO ADJOINING LANDSCAPING AND THEN EAST ACROSS EXISTING PAVING ALONG HISTORICAL FLOW PATH. CONTRACTOR SHALL INSURE THAT THIS RUN-OFF DOES NOT BYPASS BERM AND ESCAPE SOUTH TOWARD BEZEMEK.

NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right of way.
- All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1988 Edition as revised through update #7 amendment 1).
- Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Traffic / street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.
- Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



LEGAL DESCRIPTION
LOT NUMBERED TWO (2) IN BLOCK NUMBERED TWO (2) OF THE HILL'S ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 29, 1928 IN PLAT BOOK D-1, PAGE 60.

BENCHMARK
SEE TOPOGRAPHIC SURVEY BY HARRIS SURVEYING

LEGEND

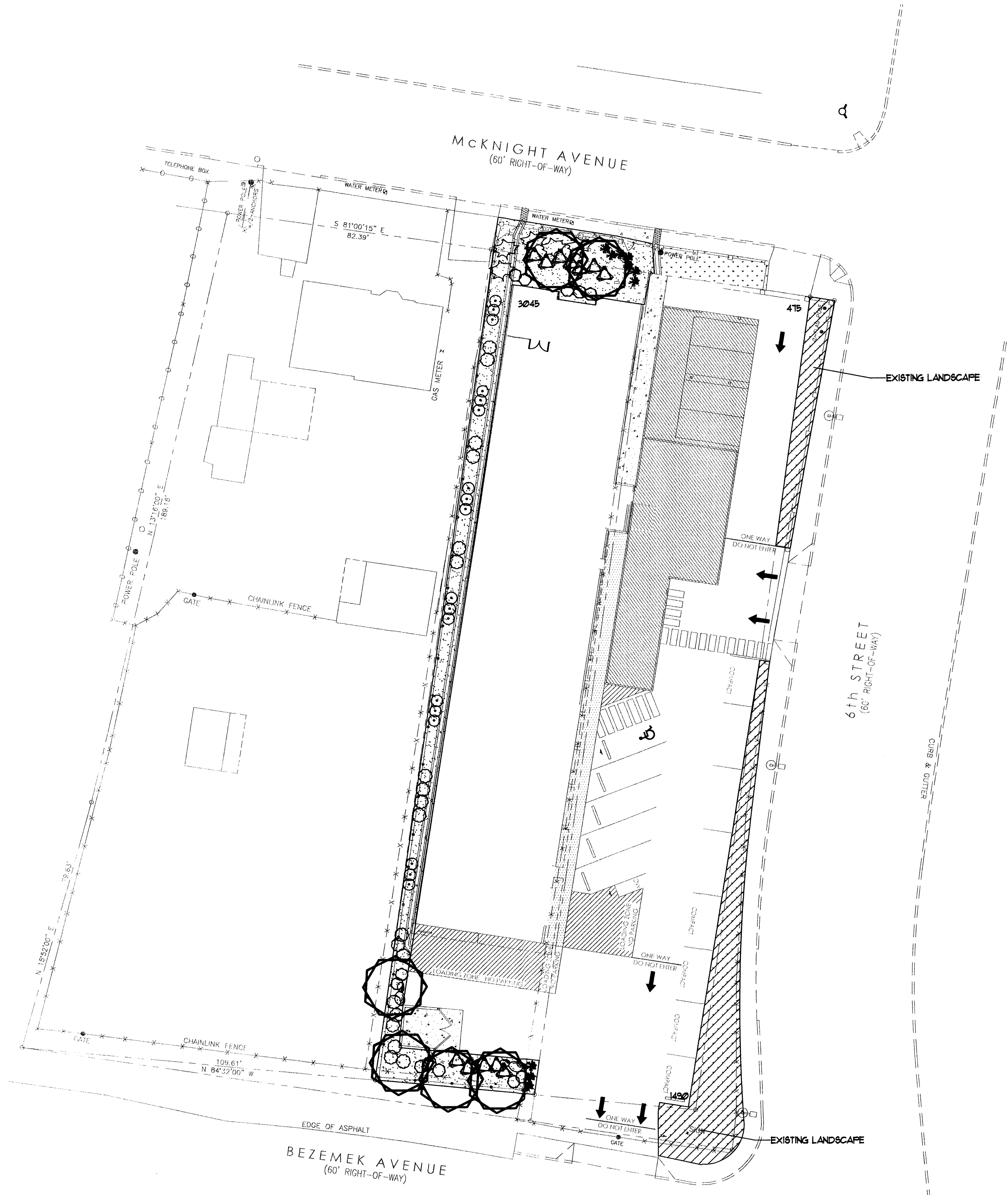
- EXISTING CURB AND GUTTER
- EXISTING MANHOLE
- EXISTING DROP INLET
- EXISTING EDGE OF PAVEMENT
- EX. TOP CURB
- EX. FL-FLOWLINE
- EX. SPOT ELEVATION
- NEW WATER BREAK
- EXISTING BOUNDARY LINE
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED TOP OF SWALE ELEVATION
- PROPOSED FLOWLINE ELEVATION
- AS-BUILT ELEVATION
- SURFACE FLOW DIRECTION
- ROOF FLOWS
- DRAINAGE SWALE
- NEW DRAINAGE SUB-BASIN
- NEW CURB AND GUTTER
- NEW PAVEMENT (SEE SOILS REPORT FOR PROPOSED DESIGN SECTION)
- NEW CONCRETE SURFACING
- NEW SIDEWALK CULVERT
- EXISTING FIRE HYDRANT
- EXISTING PROPERTY CORNER
- NEW CHAINLINK FENCE
- EXISTING DRAINAGE SUB-BASIN
- NEW 2' WIDE EARTHEN BERM
- EXISTING PAVEMENT
- LANDSCAPE AREA

Chaparral Electric Warehouse

GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: SPS	Checked: DMG	Sheet: C101
Scale: 1" = 20'	Date: 01-15-2015	Job: A7076	



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
6	2' cal	Desert Willow <i>Chilopsis linearis</i>	L+
5	5 Gal	Honeysuckle <i>Lonicera japonica</i>	M
12	5 Gal	Upright Rosemary <i>Rosmarinus officinalis</i>	L+
10	5 Gal	Threedom <i>Stipa tenuissima</i>	L+
12	5 Gal	Texas Ranger <i>Leucophyllum frutescens</i>	L+
10	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	L
19	5 Gal	Chemisa <i>Chrysothamnus nauseosus</i>	L
6		BOULDERS, 2-3' cal, MOSS ROCK, typ.	
LANDSCAPE GRAVEL OR FINES, OBTAIN OWNER'S APPROVAL			

LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have 10 gpm bubbler and shrubs shall have a minimum of (2) 10 gph emitters per shrub.

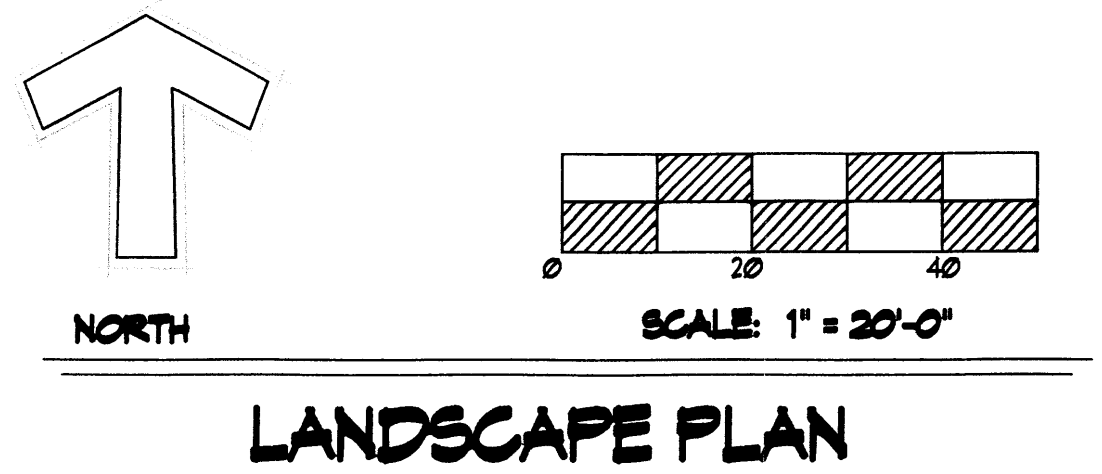
Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction. It shall be the responsibility of the Landscape Contractor for any Required Permits, Backflow Prevention Compliance, Zoning Regulations, Inspections, Plumbing Codes, Approvals, Etc. required by the governing authority having jurisdiction over the project site.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

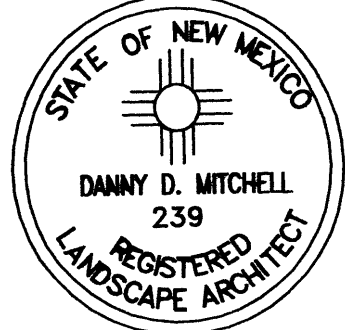
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.



LANDSCAPE CALCULATIONS	
TOTAL LOT AREA	25,186 SF
TOTAL BUILDING AREA	9,881 SF
NET LOT AREA	15,899 SF
LANDSCAPE REQUIREMENT	15 SF
TOTAL LANDSCAPE REQUIRED	2385 SF
EXISTING LANDSCAPE	1965 SF
NEW LANDSCAPING	3045 SF
NEW LANDSCAPING	5010 SF

THE EXISTING LANDSCAPE IS TO REMAIN AS-BUILT AND MEETS THE LANDSCAPE REQUIREMENTS.

Mitchell Associates, LLC
 Landscape Architects
 3500 Carlisle NE #12
 Albuquerque, NM 87110
 (505) 830-6096
 danny@mitchellassociatesllc.com



project title
Chaparral Electric Warehouse
608 McKnight Ave. NW
Albuquerque, New Mexico

sheet title
Landscape Plan

job number
14-27

drawn by
DM

project manager
Douglas Heller, AIA

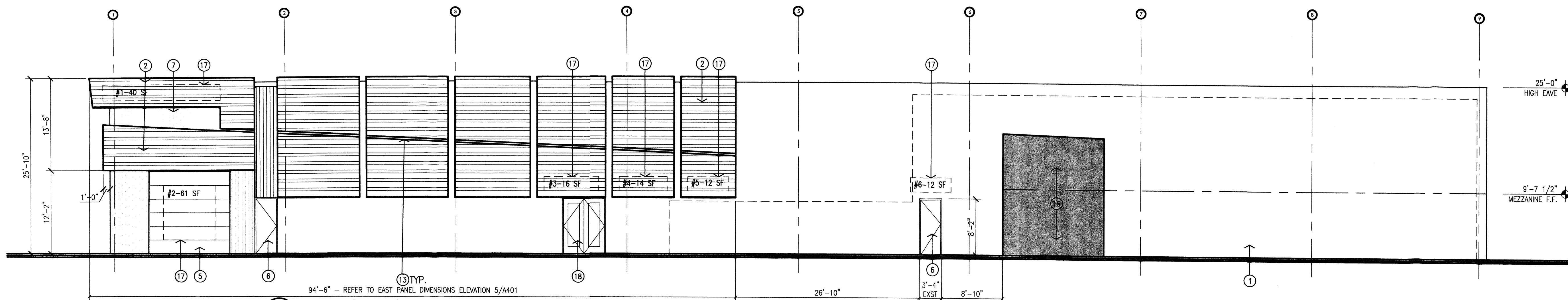
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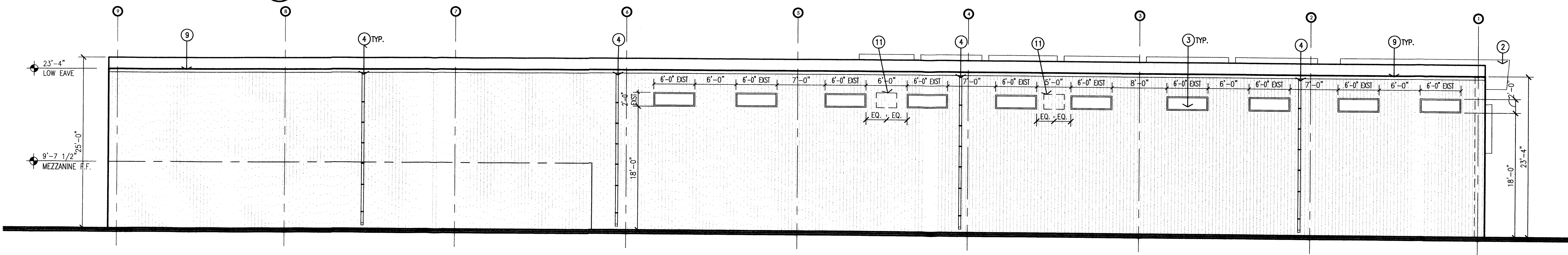
Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque, NM 87102
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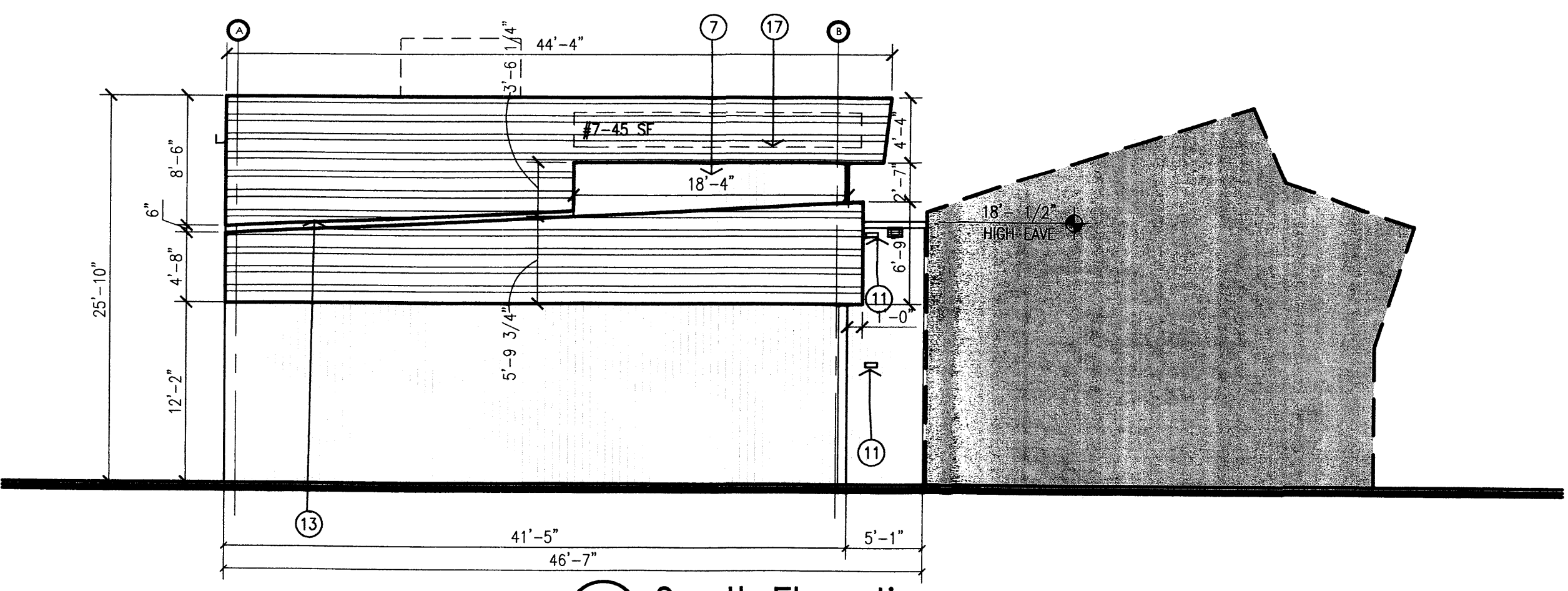
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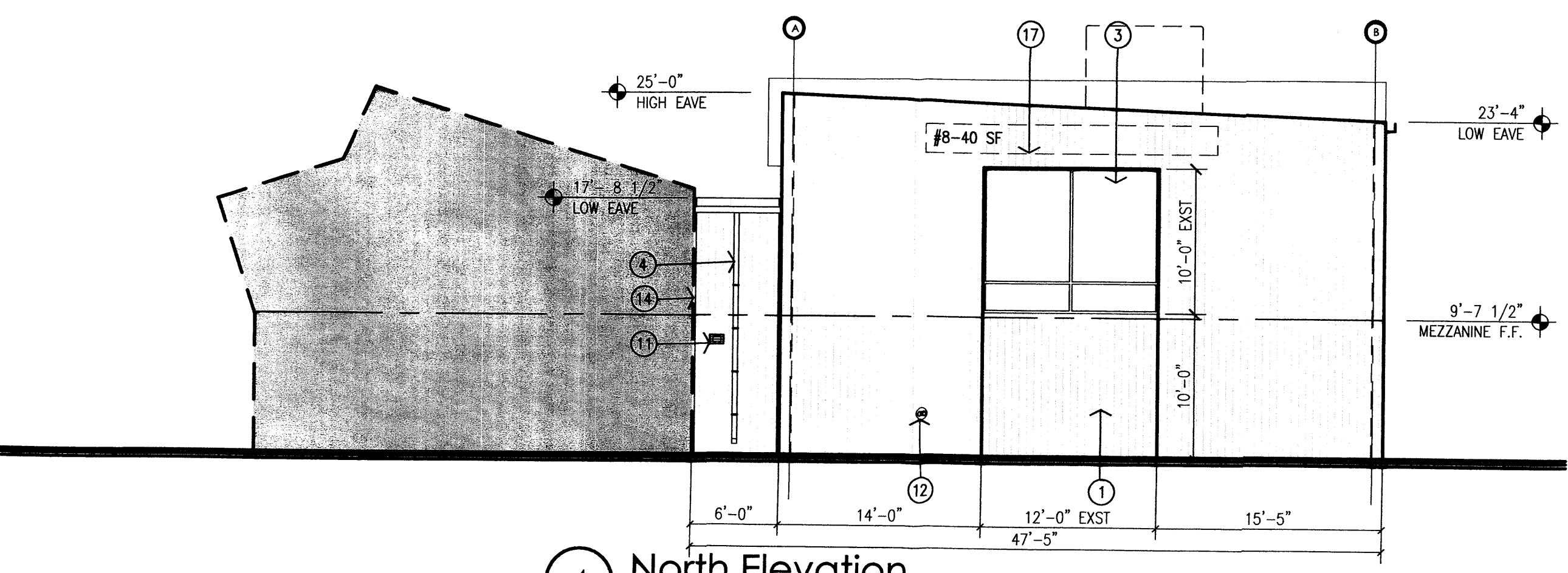
1 East Elevation
Scale: 1/8" = 1'-0"



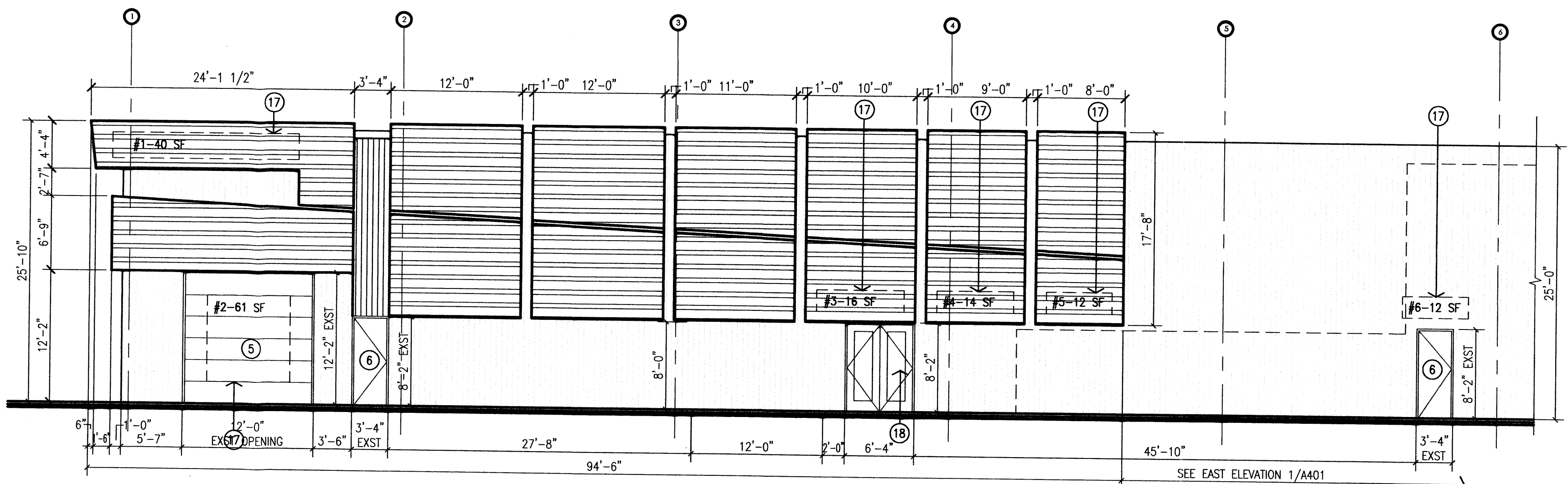
2 West Elevation
Scale: 1/8" = 1'-0"



3 South Elevation
Scale: 1/8" = 1'-0"



4 North Elevation
Scale: 1/8" = 1'-0"



5 East Panel Dimensions

**BUILDING 1
SIGNAGE CALCULATIONS:**
BUILDING MOUNTED:
SOUTH ELEVATION- 1830 SF x 9%
165 SF ALLOWED
(#7) = 45 SF ILLUMINATED PROPOSED
NORTH ELEVATION- 1762 SF x 9%
159 SF ALLOWED
(#8) = 40 SF ILLUMINATED PROPOSED
EAST ELEVATION- 5121 SF x 9%
461 SF ALLOWED
(#1)40 + (#3)16 + (#4)14 +
(#5)12 + (#6)12
= 94 SF ILLUMINATED PROVIDED
(#2)61 = 61 SF PAINTED/VINYL-APPLIED
TOTAL SIGNAGE PROPOSED= 155 SF

ELEVATION KEYED NOTES:
[1] EXISTING MANUFACTURED BUILDING METAL PANEL COLOR: TERRA BROWN
[2] EXISTING METAL PANEL TYPE 2. COLOR: BIRCH WHITE
[3] EXISTING STOREFRONT WINDOW. SEE SCHEDULE.
[4] EXISTING PRE FINISHED METAL DOWNSPOUT. COLOR: TERRA BROWN
[5] EXISTING 12 X 12 OVERHEAD INSULATED DOOR.
[6] EXISTING HOLLOW METAL DOOR AND FRAME, PAINED.
[7] EXISTING TRANSLUCENT PANELS BEYOND AT OPENING.
[8] EXISTING EVAPORATIVE COOLER, SEE MECHANICAL.
[9] EXISTING PRE FINISHED GUTTER BY METAL BUILDING MANUFACTURE.
COLOR TERRA BROWN.
[10] EXISTING BUILDING.
[11] EXISTING MECHANICAL VENT. SEE SCHEDULE.
[12] EXISTING FIRE DEPARTMENT CONNECTION
[13] EXISTING METAL PANEL REVEAL.
[14] EXISTING 2" EXPANSION JOINT.
[15] EXISTING HOLLOW METAL WINDOW FRAME. SEE SCHEDULE.
[16] EXISTING OPENING IN METAL BUILDING FOR CONNECTION TO EXISTING.
[17] NEW BUILDING MOUNTED SIGNAGE. SIGNAGE TYPE AND AREA AS INDICATED ON ELEVATIONS AND SIGNAGE CALCULATIONS.
[18] NEW STOREFRONT DOOR SYSTEM.

revision
by
date
rev

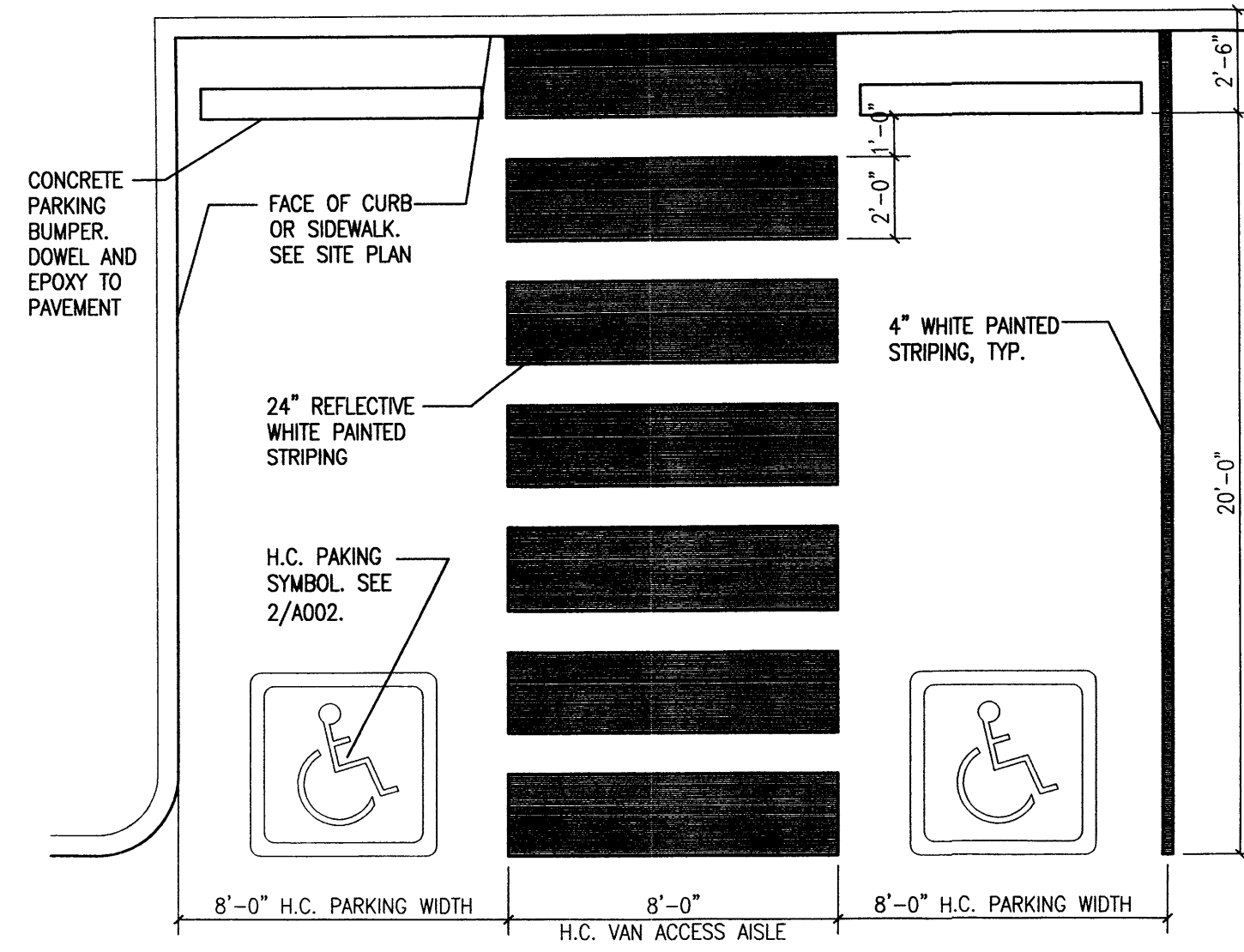


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505 268 4144[p]
505 268 4244 [f]

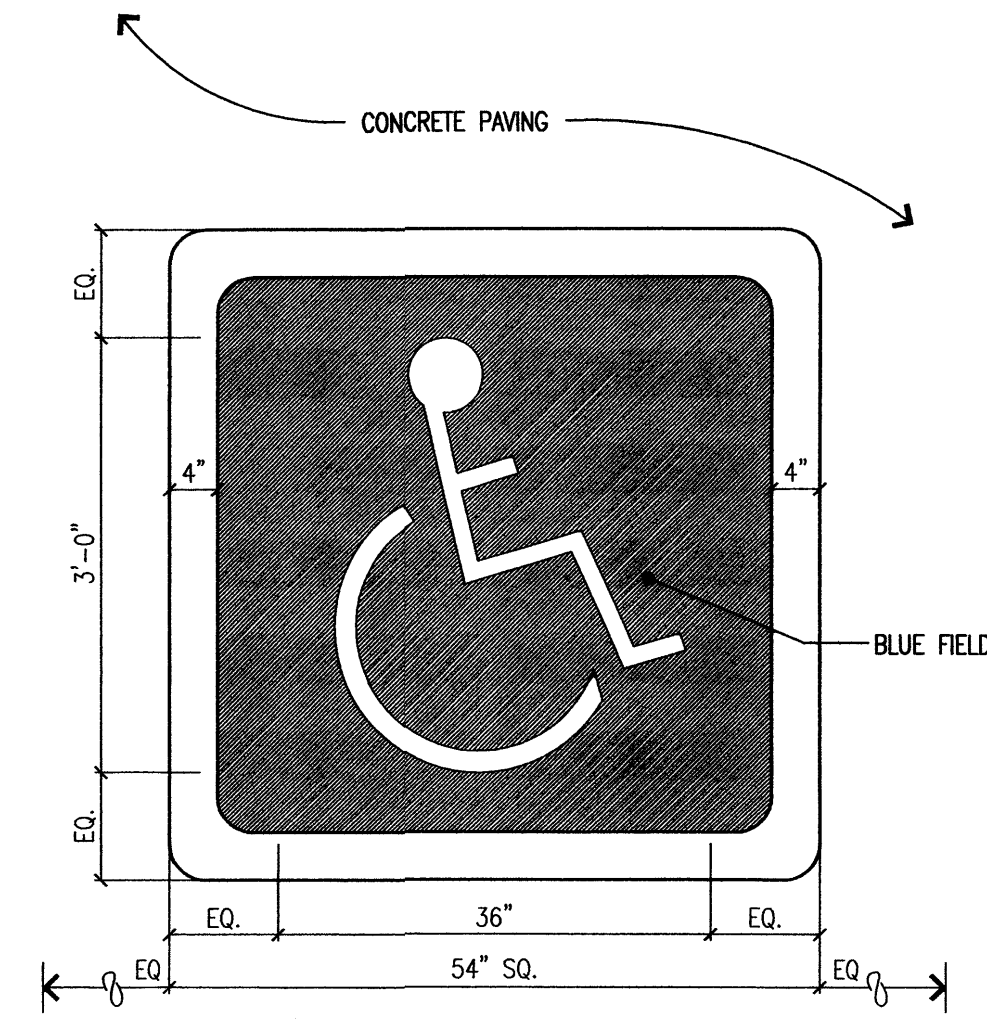
job number 1427
drawn by SEJ
project manager Doug Heller, AIA
date DRB UPDATE 01-15-2015

project title
Bow & Arrow Brewing Tap Room & Production Facility
608 McKnight Ave, NW
Albuquerque, New Mexico
sheet title
Exterior Elevations

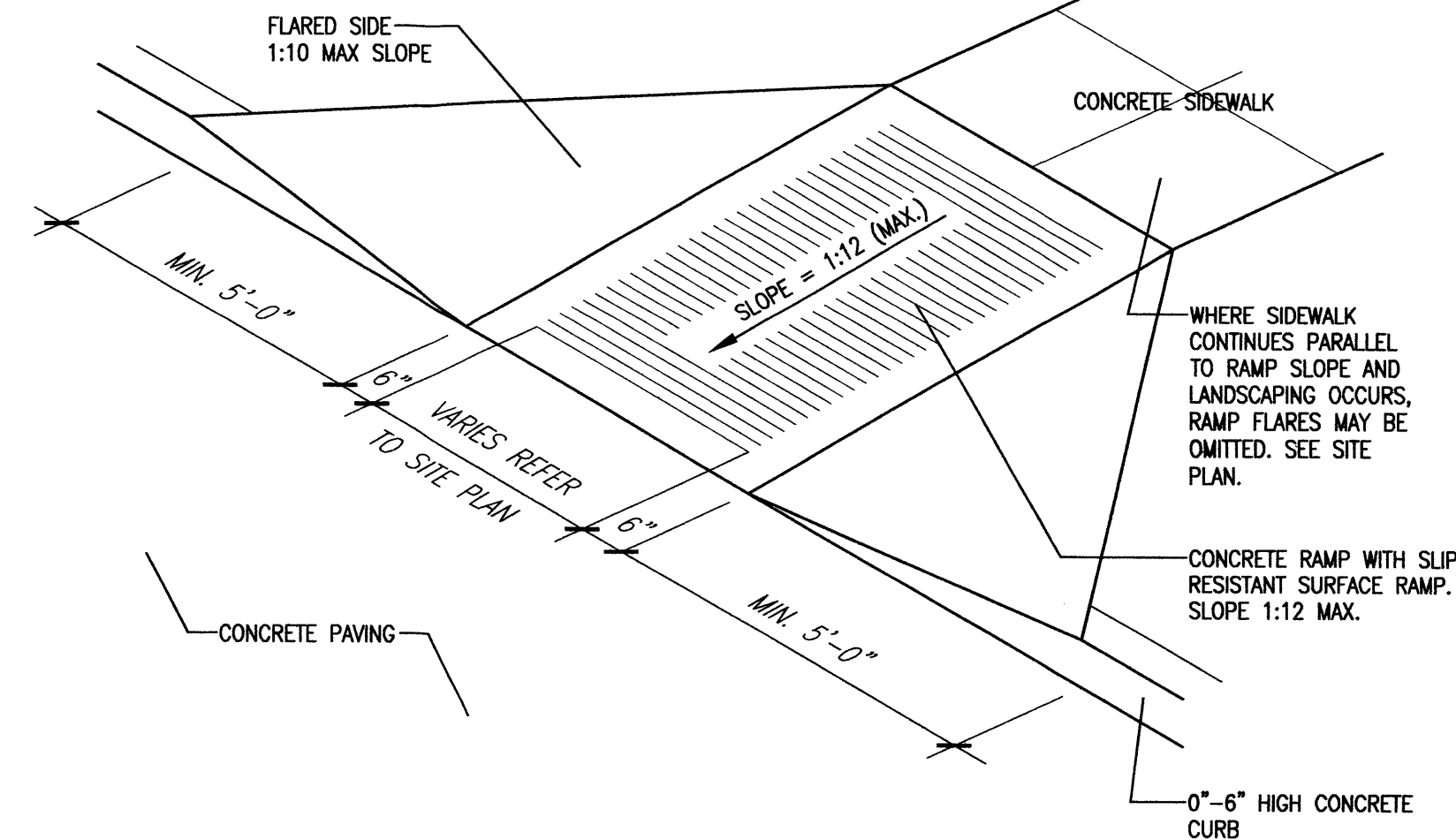
sheet-
A401



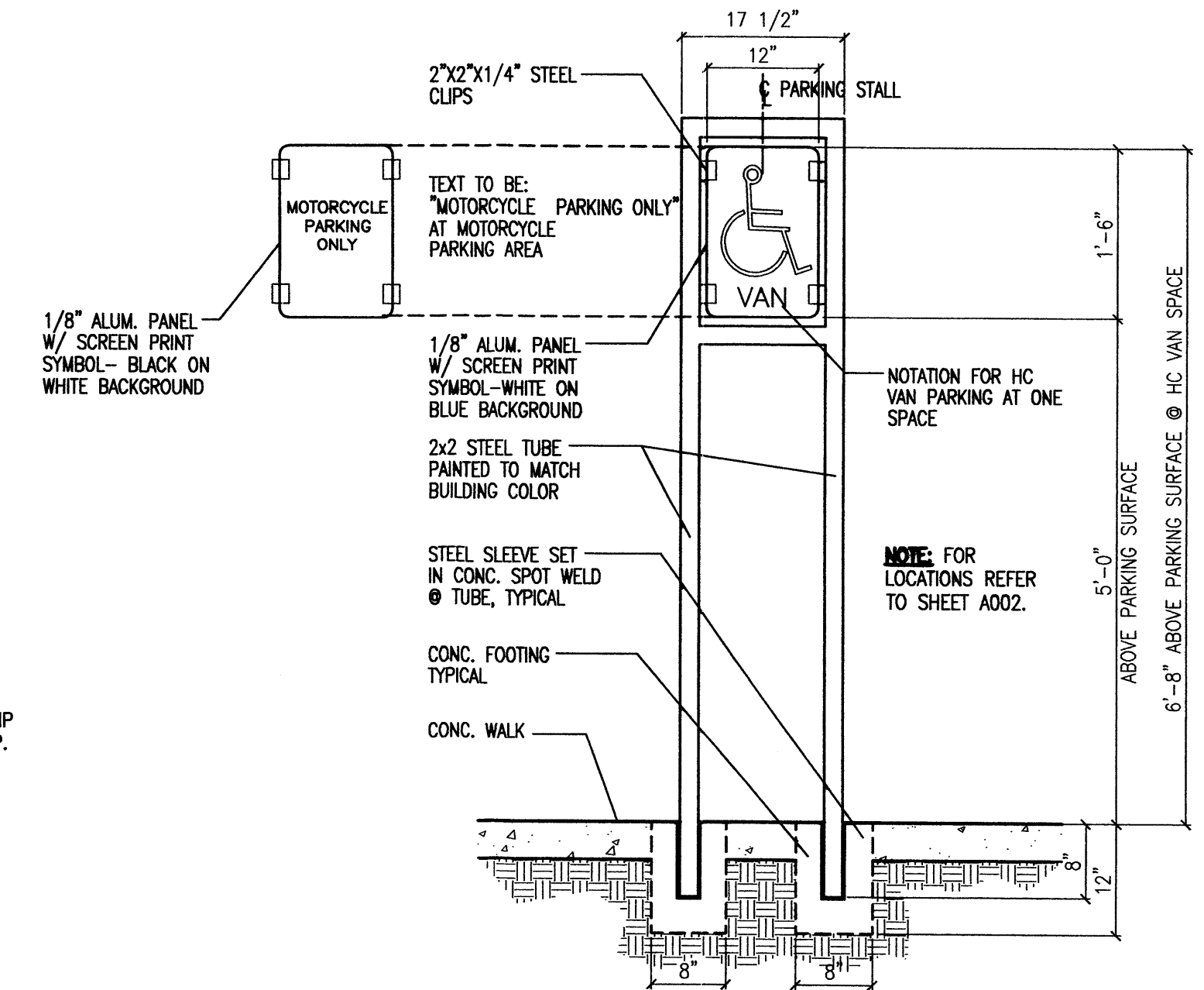
1 HC Parking Striping Detail
Scale: 1/4"=1'-0"



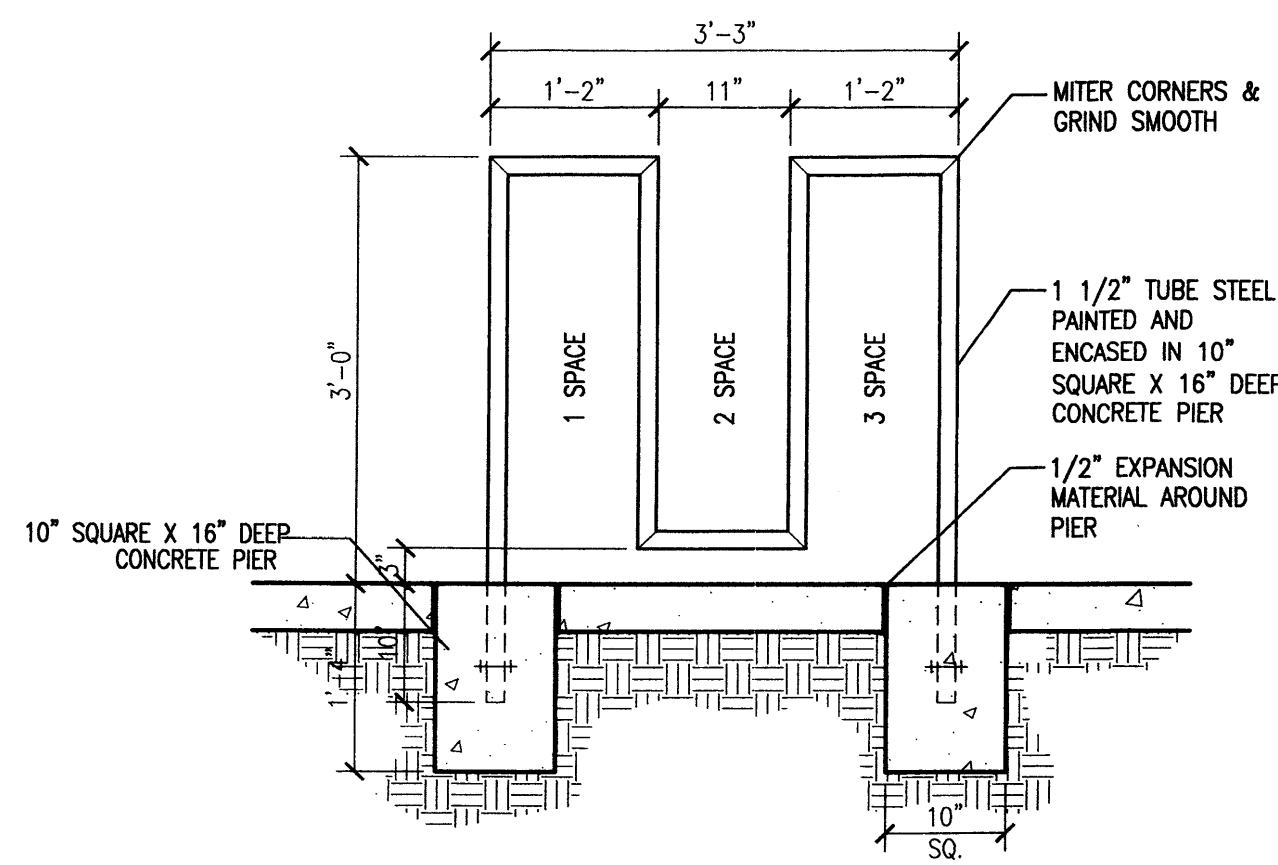
2 HC Pavement Sign Detail
Scale: 3/4"=1'-0"



3 H.C. Ramp Detail with Flare
Scale: Not To Scale (Isometric)



4 HC Parking Sign Detail
Scale: 3/4"=1'-0"



5 Bicycle Rack Detail
Scale: 3/4"=1'-0"

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project file
Bow & Arrow Brewing Tap Room & Production Facility
608 McKnight Ave. NW
Albuquerque, New Mexico
sheet file
Architectural Site Details

sheet-
A002