

**PLAT OF
LOT 1-A
BLOCK 2
HILL ACRES SUBDIVISION**

WITHIN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2008

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE _____
PNM GAS SERVICES _____ DATE _____
QWEST TELECOMMUNICATIONS _____ DATE _____
COMCAST _____ DATE _____
NEW MEXICO UTILITIES _____ DATE _____

CITY APPROVALS:

CITY SURVEYOR _____ DATE _____
*REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
ABCWUA _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
AMAFCA _____ DATE _____
CITY ENGINEER _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

VICINITY MAP No. H-14

LEGAL DESCRIPTION:

LOTS NUMBERED ONE (1) AND TWO (2) IN BLOCK NUMBERED TWO (2) OF THE HILL'S ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 29, 1928 IN PLAT BOOK D-1, PAGE 60.
TOGETHER WITH
TRACT LETTERED 'B' IN BLOCK NUMBERED NINE (9) OF THE BEZEMEK ADDITION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 12, 1947 IN VOLUME D, FOLIO 14

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS ONE (1) AND TWO (2), BLOCK 2 AND LOT B, BLOCK 9 INTO ONE (1) LOT AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 0.5920 ACRES.
- 4: TALOS LOG NO. 2008153791
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: 8-2007
- 9: CURRENT ZONING: S-M-1
- 10: NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

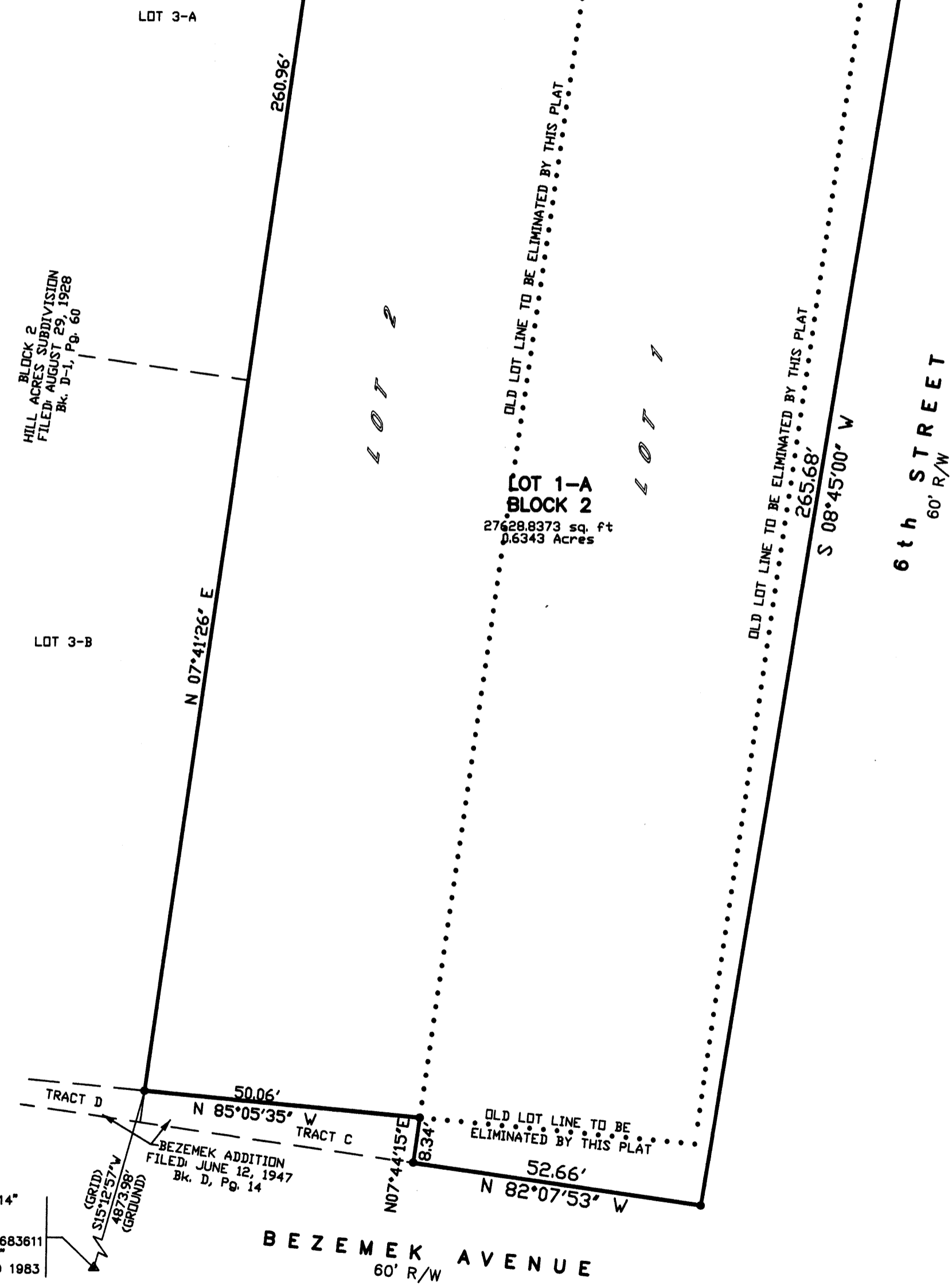
DATE

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS _____ DAY OF _____, 20____

BY: _____
OWNERS NAME

MY COMMISSION EXPIRES: _____ BY: _____
NOTARY PUBLIC



ACS STATION "17-J14"
X=1,519,149.317
Y=1,488,866.762
GRD TO GRID=0.999683611
Δα = -00° 13' 59"
CENTRAL ZONE, NAD 1983

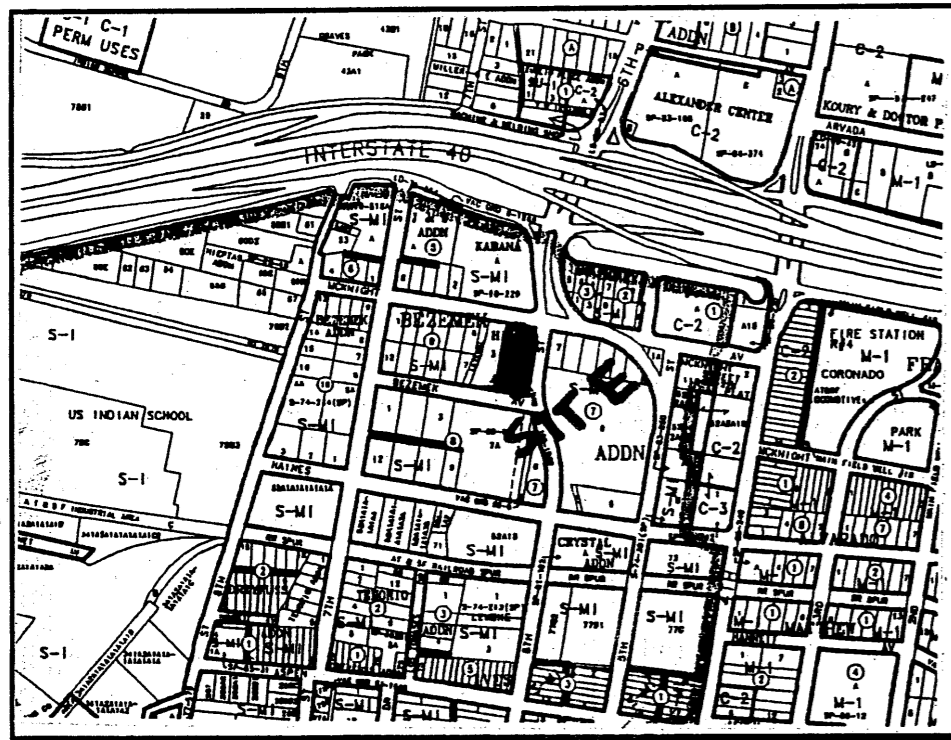
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

SURVEYORS CERTIFICATE:

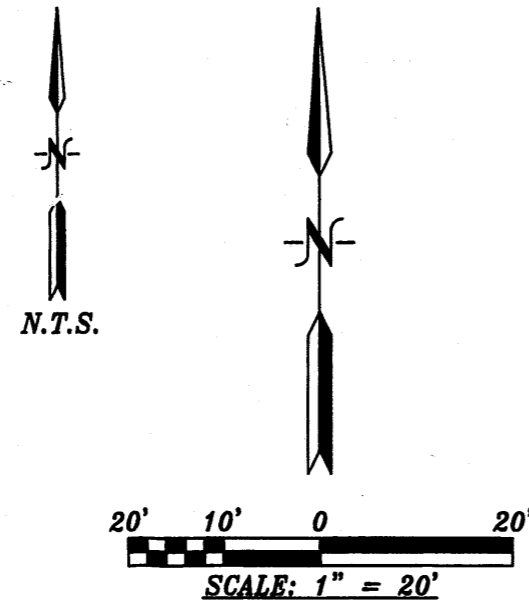
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS _____ DAY OF _____, 2008

ANTHONY L. HARRIS, P.S. # 11463
ALBUQUERQUE SURVEYING, INC.
4112-D MONROE STREET, N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8645



VICINITY MAP No. H-14



PLAT OF LOT 1-A BLOCK 2 HILL ACRES SUBDIVISION

WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2008

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 UTILITY APPROVALS:

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	DATE

CITY APPROVALS:

Anthony L. Harris 5-6-08
 CITY SURVEYOR DATE

*REAL PROPERTY DIVISION (CONDITIONAL) DATE
 **ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
 ABCWUA DATE
 PARKS AND RECREATION DEPARTMENT DATE
 AMAFCA DATE
 CITY ENGINEER DATE
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

LEGAL DESCRIPTION

LOTS NUMBERED ONE (1) AND TWO (2) IN BLOCK NUMBERED TWO (2) OF THE HILL'S ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 29, 1928 IN PLAT BOOK D-1, PAGE 60. AND TRACT LETTERED "B" IN BLOCK NUMBERED NINE (9) OF THE BEZEMEK ADDITION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 12, 1947 IN VOLUME D, FOLIO 14 ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, WHENCE CITY OF ALBUQUERQUE CONTROL STATION "17-J14" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,519,149.317 AND Y=1,488,866.762 BEARS S 15°12'57" W, A DISTANCE OF 4873.98 FEET RUNNING THENCE N 07°41'26" E, A DISTANCE OF 260.96 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF MCKNIGHT AVENUE;
 THENCE S 81°33'50" E, ALONG THE SOUTHERLY LINE OF MCKNIGHT AVENUE, A DISTANCE 107.58 FEET TO THE NORTHEAST CORNER, BEING A POINT ON THE WESTERLY LINE OF 6TH STREET;
 THENCE S 09°54'13" W, ALONG THE WESTERLY LINE OF 6TH STREET, A DISTANCE OF 80.83 FEET TO A POINT OF CURVE;
 THENCE CONTINUING ALONG THE WESTERLY LINE OF 6TH STREET 185.16 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1234.57 FEET AND A CHORD BEARING AND DISTANCE OF S 05°26'09" W, 184.98 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTHERLY LINE OF BEZEMEK AVENUE;
 THENCE N 82°07'53" W, ALONG THE NORTHERLY LINE OF BEZEMEK AVENUE, A DISTANCE OF 61.73 FEET TO AN ANGLE POINT;
 THENCE N 07°44'15" E, A DISTANCE OF 8.25 FEET TO AN ANGLE POINT;
 THENCE N 85°05'35" W, A DISTANCE OF 50.06 FEET TO THE SOUTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 0.6379 ACRES MORE OR LESS

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE THE THREE (3) LOTS SHOWN INTO ONE (1) LOT, DEDICATE ADDITIONAL RIGHT-OF-WAY AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 0.6379 ACRES.
- TALOS LOG NO. 2008019635
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: MARCH, 2008
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	08°35'35"	S 05°26'09" W	1234.57	185.16	184.98
C2	91°28'03"	S 35°49'48" E	25.00	39.91	35.81
C3	95°27'06"	S 50°08'34" W	25.00	41.65	37.00
C4	07°18'55"	S 06°04'29" W	1234.57	157.62	157.52
C5	01°16'40"	S 01°46'42" W	1234.57	27.53	27.53

FREE CONSENT

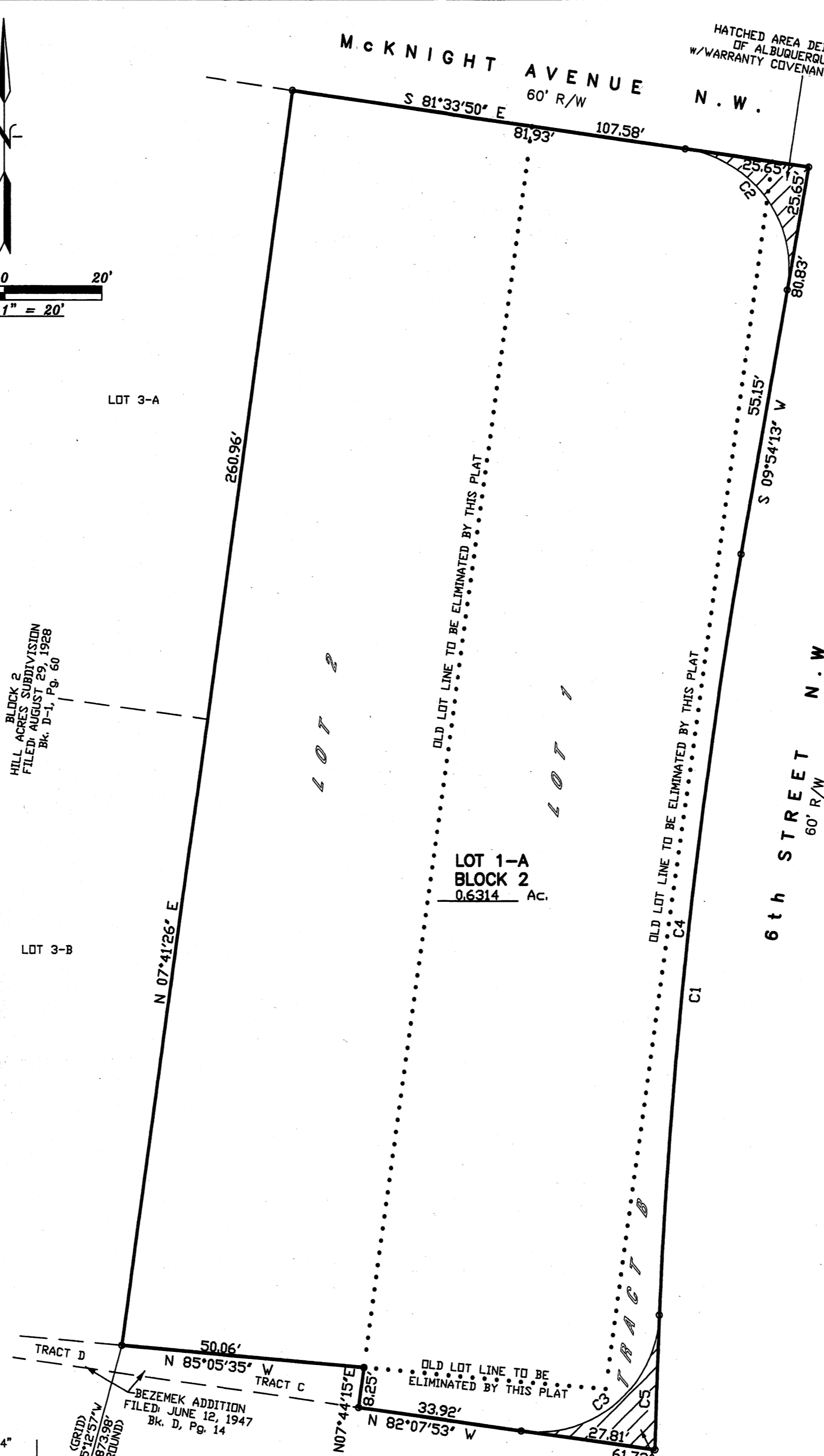
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND ALSO DO HEREBY DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS

Catherine M. Higgins 05/06/08
 CATHERINE M. HIGGINS DATE

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) s.s.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 6 DAY OF May 2008

BY: *Diane Hudson*
 OFFICIAL SEAL
 MY COMMISSION EXPIRES: _____ BY *Diane Hudson*
 NOTARY PUBLIC
 STATE OF NEW MEXICO

ACS STATION "17-J14"
 X=1,519,149.317
 Y=1,488,866.762
 GRID TO GRID=0.999683611
 Δα = -00° 13' 59"
 CENTRAL ZONE, NAD 1983



(GRID)
 S 15°12'57" W
 4873.98
 (GROUND)

BEZEMEK AVENUE N.W.
 60' R/W

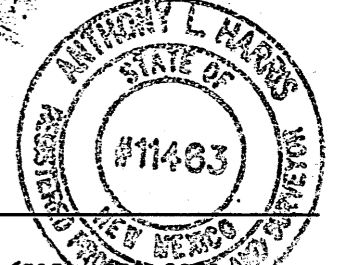
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

SURVEYORS CERTIFICATE:

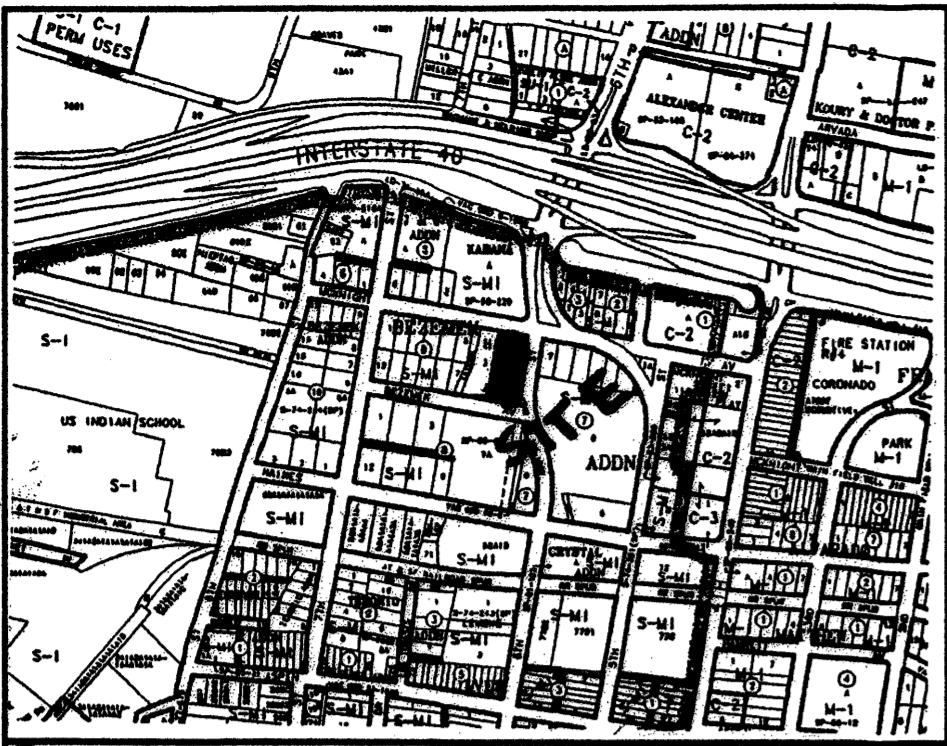
STATE OF NEW MEXICO) s.s.
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 5th DAY OF May 2008

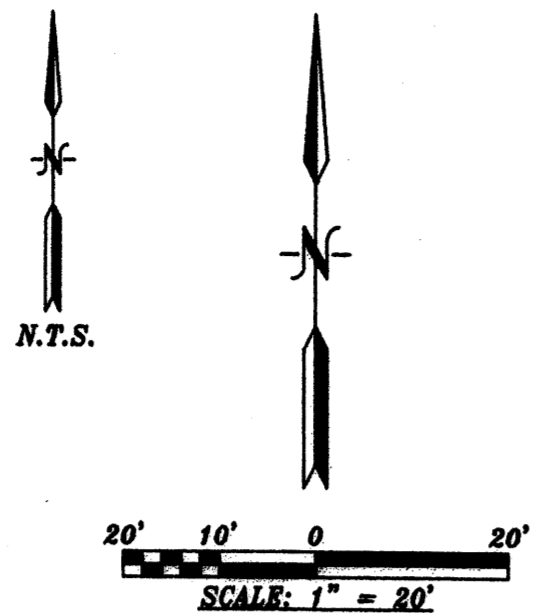
Anthony L. Harris
 ANTHONY L. HARRIS, P.S. # 11463



HAARIS SURVEYING, INC. PHONE: (505) 263-8666
 2418-D MONROE STREET N.E. FAX: (505) 889-8666
 ALBUQUERQUE, NEW MEXICO 87110



VICINITY MAP No. H-14



PLAT OF LOT 1-A BLOCK 2 HILL ACRES SUBDIVISION

WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2008

PROJECT NUMBER: 1006767
APPLICATION NUMBER: 08DRB-70206

UTILITY APPROVALS:

<i>Juan Luis Vigil</i>	June 20, 2008
PNM ELECTRIC SERVICES	DATE
<i>Juan Luis Vigil</i>	June 20, 2008
PNM GAS SERVICES	DATE
<i>Greg Amundson</i>	6-20-08
QWEST TELECOMMUNICATIONS	DATE
<i>Donna Barber</i>	6-20-08
COMCAST	DATE
NA	
NEW MEXICO UTILITIES	DATE

CITY APPROVALS:

<i>John B. Hart</i>	5-6-08
CITY SURVEYOR	DATE
NA	
*REAL PROPERTY DIVISION (CONDITIONAL)	DATE
NA	
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>W. L. ...</i>	5-14-08
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Roger J. Green</i>	5-14-08
ABCWUA	DATE
<i>David ...</i>	5-14-08
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley A. Bumpson</i>	5/14/08
AMAFCA	DATE
<i>Cynthia Chen</i>	5-14-08
CITY ENGINEER	DATE
<i>Jack Chan</i>	7-01-08
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DOCH 2008075750
07/03/2008 12:50 PM Page: 1 of 1
PLAT R: 57.00 S: 2008C: 0149 M. Toulous Olivere, Bernalillo Count

SURVEYORS CERTIFICATE:
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 5th DAY OF May, 2008

Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC.
1415-D MONROE STREET N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 263-1111 FAX: (505) 263-1111

LEGAL DESCRIPTION

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BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, WHENCE CITY OF ALBUQUERQUE CONTROL STATION '17-J14' HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,519,149.317 AND Y=1,488,866.762 BEARS S 15°12'57" W, A DISTANCE OF 4873.98 FEET RUNNING THENCE N 07°41'26" E, A DISTANCE OF 260.96 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF MCKNIGHT AVENUE;
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PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE THE THREE (3) LOTS SHOWN INTO ONE (1) LOT, DEDICATE ADDITIONAL RIGHT-OF-WAY AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 0.6379 ACRES.
- TALOS LOG NO. 2008018635
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: MARCH 2008
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CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
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C2	91°28'03"	S 35°49'48" E	25.00	39.91	35.81
C3	95°27'06"	S 50°08'34" W	25.00	41.65	37.00
C4	07°18'55"	S 06°04'29" W	1234.57	157.62	157.52
C5	01°16'40"	S 01°46'42" W	1234.57	27.53	27.53

FREE CONSENT

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Catherine M. Higgins 05/06/08
CATHERINE M. HIGGINS DATE

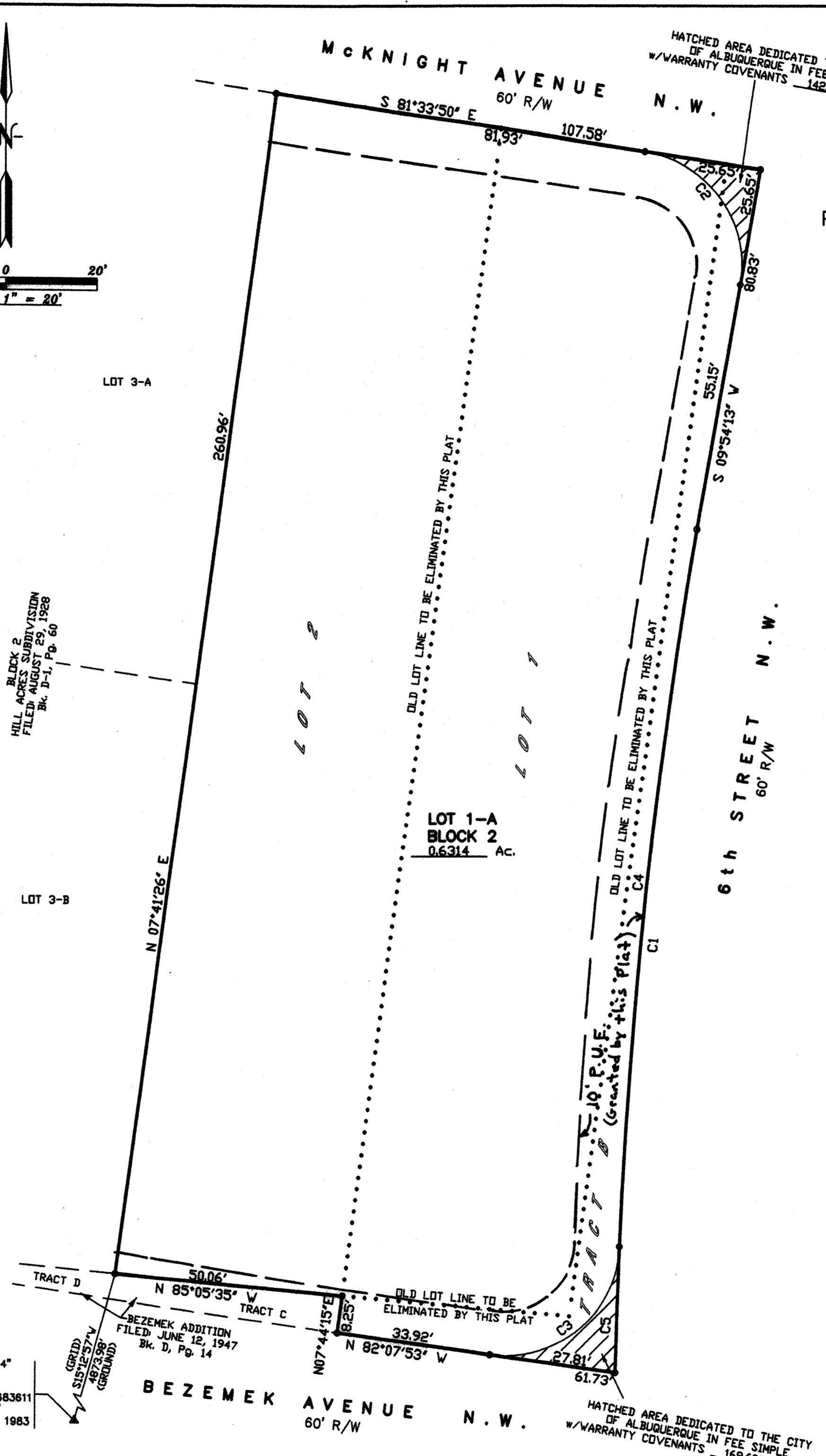
ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 6 DAY OF May 2008

BY: *Diane Hudson*
OWNERS OFFICIAL SEAL
MY COMM. NO. RES: *Diane Hudson* BY *Deanne Hudson*
NOTARY PUBLIC NOTARY PUBLIC
STATE OF NEW MEXICO

ACS STATION "17-J14"
X=1,519,149.317
Y=1,488,866.762
GRD TO GRID=0.999683611
Δα = -00° 13' 59"
CENTRAL ZONE, NAD 1983

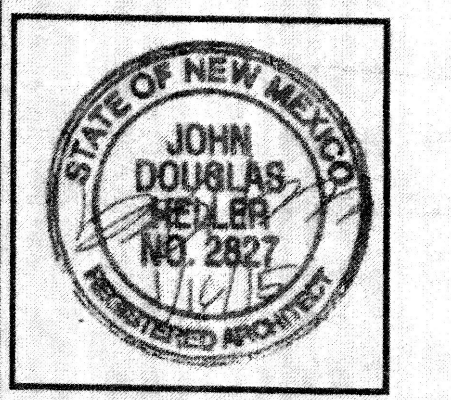


THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 101405917710831709
PROPERTY OWNER OF RECORD: RCL VIII LLC
BERNALILLO CO. TREASURER'S OFFICE: 2/20/08/5/08

PROJECT: 1006767
 DATE: 2-4-15
 APP: 15-70032 (SBD)



Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]



14-27
 SEJ
 Doug Heller, AIA
 project manager
 job number
 drawn by
 date
 DRB UPDATE: 01-15-2015

PROJECT TITLE
 Bow & Arrow Brewing Tap Room & Production Facility
 608 McKnight Ave., NW
 Albuquerque, New Mexico
 SHEET TITLE
 As-Built Architectural Site Plan

sheet
 A001

GENERAL NOTES:

- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 - [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- KEYED NOTES:
- [1] NEW CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C.
 - [2] EXISTING 5' WIDE PAINTED PEDESTRIAN WALKWAY TO BE INCREASED TO 6' WIDE.
 - [3] EXISTING LANDSCAPING TO REMAIN.
 - [4] NEW PAINTED PARKING STRIPES.
 - [5] NEW CONCRETE PARKING BUMPERS, TYPICAL OF 6.
 - [6] NEW PAINTED HC PARKING SYMBOL. REFER TO DETAIL 2/A002.
 - [7] NEW CONCRETE PATIO WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C.
 - [8] EXISTING POST INDICATOR VALVE TO REMAIN.
 - [9] EXISTING ADA RAMP WITH FLARED SIDES TO REMAIN.
 - [10] EXISTING ASPHALT PAVED SIDEWALK TO REMAIN.
 - [11] RELOCATED MOTORCYCLE SPACE (2 REQUIRED, 2 PROVIDED).
 - [12] EXISTING 24" WIDE CONCRETE DRIVEWAY WITH FLARED ADA SLOPES TO REMAIN.
 - [13] EXISTING ASPHALT PAVING TO REMAIN.
 - [14] HC PARKING SIGN, VAN ACCESSIBLE WERE INDICATED ON PLAN. REFER TO DETAIL 4/A002.
 - [15] NEW PAINTED HC PARKING STRIPING. REFER TO DETAIL 1/A002.
 - [16] EXISTING CMU DUMPSTER LOCATION TO REMAIN.
 - [17] EXISTING 6" WIDE CONCRETE SIDEWALK TO REMAIN.
 - [18] NEW ASPHALT PAVING.
 - [19] EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
 - [20] NEW 3'-0" HIGH TUBE STEEL AND WELDED WIRE MESH PATIO FENCE.
 - [21] EXISTING CONCRETE CURB TO REMAIN.
 - [22] NEW MOTORCYCLE PARKING SIGN. REFER TO DETAIL 4/A002.
 - [23] EXISTING SITE LIGHTING TO REMAIN.
 - [24] NEW 3'-0" WIDE TUBE STEEL AND WELDED WIRE MESH PATIO MAN GATE, TYPICAL OF 2.
 - [25] EXISTING POWER POLE TO REMAIN.
 - [26] EXISTING TUBE STEEL AND CMU PILASTER FENCE TO REMAIN.
 - [27] RELOCATED EXISTING BIKE RACK, 5 BIKE CAPACITY.
 - [28] EXISTING PARKING TO REMAIN.
 - [29] EXISTING ASPHALT PAVING WITH STEEL LANDSCAPING EDGINGS TO REMAIN.
 - [30] EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN.
 - [31] EXISTING FIRE HYDRANT TO REMAIN.
 - [32] EXISTING 15'-0" WIDE CONCRETE DRIVEWAY TO REMAIN.
 - [33] EXISTING PARALLEL PARKING TO REMAIN.
 - [34] EXISTING 6" HIGH CHAINLINK FENCE WITH PLASTIC SLATS ALONG WEST PROPERTY LINE TO REMAIN.
 - [35] EXISTING CHAINLINK FENCE TO REMAIN.
 - [36] EXISTING 4' WIDE CONCRETE SIDEWALK TO REMAIN.
 - [37] "COMPACT" DESIGNATION PAINTED ALONG EDGE OF EACH NEW COMPACT PARKING SPACE.
 - [38] EXISTING "ONE WAY" DIRECTIONAL PAVEMENT SIGNAGE TO REMAIN.
 - [39] EXISTING FIRE DEPARTMENT ACCESS MAN-GATE WITH KNOX BOX @ NORTH SIDE FENCE.
 - [40] EXISTING CONCRETE PAVING TO REMAIN.
 - [41] EXISTING BUS STOP AND BENCH TO REMAIN. SERVES ROUTES 92, 94, & 8.
 - [42] EXISTING RAZOR WIRE ABOVE GATE TO BE REMOVED.
 - [43] EXISTING 15 FT HIGH (±) PYLON SIGN TO REMAIN. SIGNAGE AREA = 50 SF².
 - [44] 6" BUILT-UP CONCRETE CURB AT NEW PATIO PERIMETER. AREA OF AVAILABLE STREET PARKING.
 - [45] PAINTED ACCESS AISLE, WIDTH AS DIMENSIONED ON PLAN. REFER TO DETAIL 1/A002.
 - [47] EXISTING FLAG POLES TO REMAIN.
 - [48] NEW 6' WIDE PAINTED CROSSWALK ACROSS 6TH STREET TO CONNECT TO SIDEWALK AT SHARED PARKING AREA.
 - [49] EXISTING CURB, GUTTER, AND SIDEWALK TO BE REMOVED AS REQUIRED FOR INSTALLATION OF ADA-COMPLIANT RAMPED CURB. REFER TO DETAIL 3/A002.
 - [50] NEW BIKE RACK, CAPACITY = 5 BIKES. REFER TO DETAIL 5/A002.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOT 1A IN BLOCK 2 OF HILL'S ADDITION SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: PROPOSED TAP ROOM & PRODUCTION FACILITY 608 MCKNIGHT AVENUE, NW ALBUQUERQUE, NEW MEXICO 87102

CURRENT ZONING: S-M1

ZONE ATLAS PAGE: H-14-Z

LAND AREA: 0.59 ACRES (25,786 SQ. FT.)

BUILDING AREA: EXISTING WAREHOUSE BUILDING: 8,434 S.F. (PROPOSED TAP ROOM/PROD. 1ST FLOOR) 1,832 S.F. (EXISTING OFFICE MEZZANINE) 10,266 S.F. TOTAL BUILDING AREA

PARKING REQUIREMENTS: PER SECTION 14-6-3-1 OFF-STREET PARKING REGULATIONS OF THE COA COMPREHENSIVE ZONING CODE, SECTION E, ITEM 5: IN CALCULATING THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, FRACTIONAL NUMBERS ARE TO BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

PROJECT PARKING REQUIREMENTS ARE AS FOLLOWS:

EXISTING WAREHOUSE BUILDING (10,266 SF):
 TAP ROOM 100 SEATS/4 = 25 SPACES
 PRODUCTION AREA 4,000 SF/1000 = 4 SPACES
 OFFICE MEZZANINE 1,832 SF/300 = 7 SPACES
 TOTAL = 38 SPACES

EXISTING OFFICE BUILDING (2,762 SF):
 1st FLOOR OFFICE 1,400 SF/200 = 7 SPACES
 2nd FLOOR OFFICE 762 SF/300 = 3 SPACES
 EXISTING STORAGE 600 SF/1000 = 1 SPACE
 TOTAL = 11 SPACES

OVERALL PARKING TOTAL = 47 SPACES

APPLICABLE PARKING CREDITS:
 10X (BUS STOP CREDIT - ROUTE 92, 94, & 8)
 47 x 10X = 5 SPACES CREDITED

10X (SHARED PARKING CREDIT)
 42 x 10X = 5 SPACES CREDITED

37 PARKING SPACES REQUIRED

37 SPACES PROVIDED: 18 ON-SITE:
 15 STANDARD
 3 ADA
 (+ 2 MOTORCYCLE)
 19 SHARED OFF-SITE

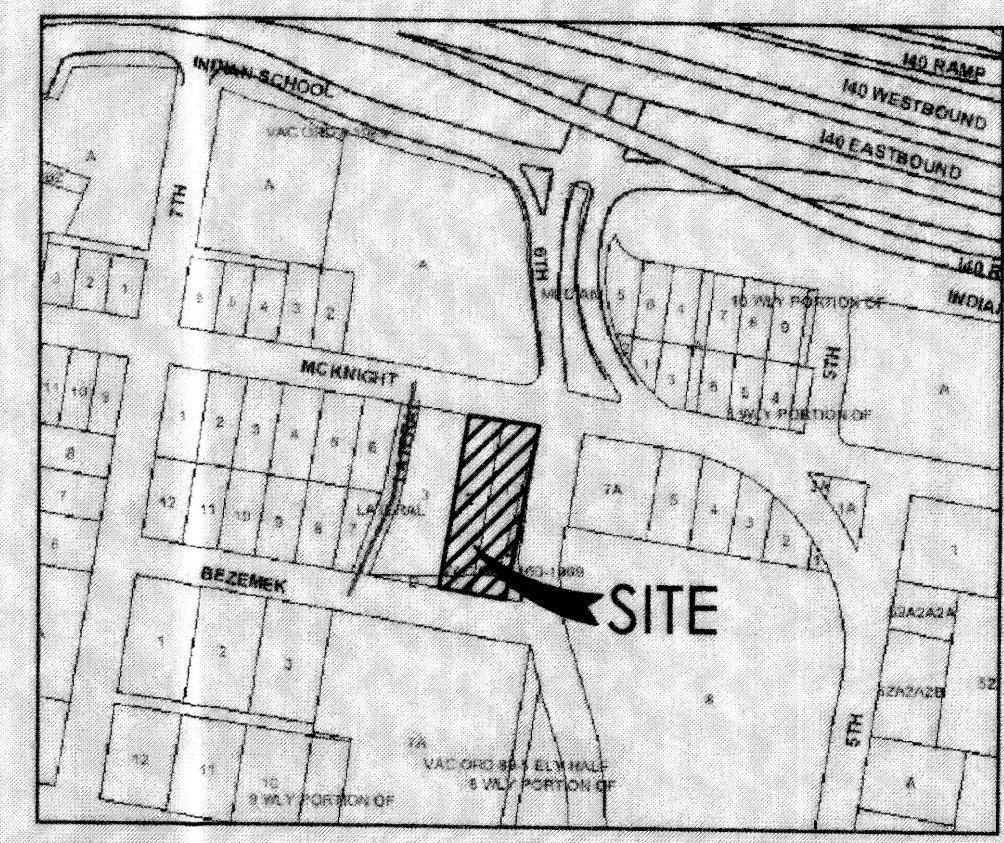
REFER ALSO TO APPENDIX J: SHARED PARKING MATRIX ON THIS SHEET.

1 EXISTING BIKE RACK IS TO REMAIN = 5 BIKE CAPACITY
 1 NEW BIKE RACK TO BE INSTALLED = 5 BIKE CAPACITY
 TOTAL BIKE CAPACITY = 10 BIKES

REFER TO LANDSCAPE PLAN.

PLEASE NOTE: EXISTING LANDSCAPING IS TO REMAIN IN PLACE AND MEETS THE REQUIRED LANDSCAPE REQUIREMENTS.

VICINITY MAP



LOCATION MAP



SHARED PARKING MAP



APPENDIX J

Appendix J - Shared Parking Matrix

General Land Use Classification

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0%	100%	5%	0%	0%	0%
Tap Room	0%	50%	90%	0%	70%	100%
Manufacturing	0%	100%	50%	0%	80%	0%
Adjacent Office/Manufacturing Building*	0%	100%	5%	0%	0%	0%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	1,400	200 SF	7
Office - Second Floor	2,762	300 SF	9
Tap Room	100 seats	1 seat / 4 seats	25
Manufacturing	4,000	1000 SF	4
Adjacent Office/Manufacturing Building*	6,000**		13

General Land Use Classification

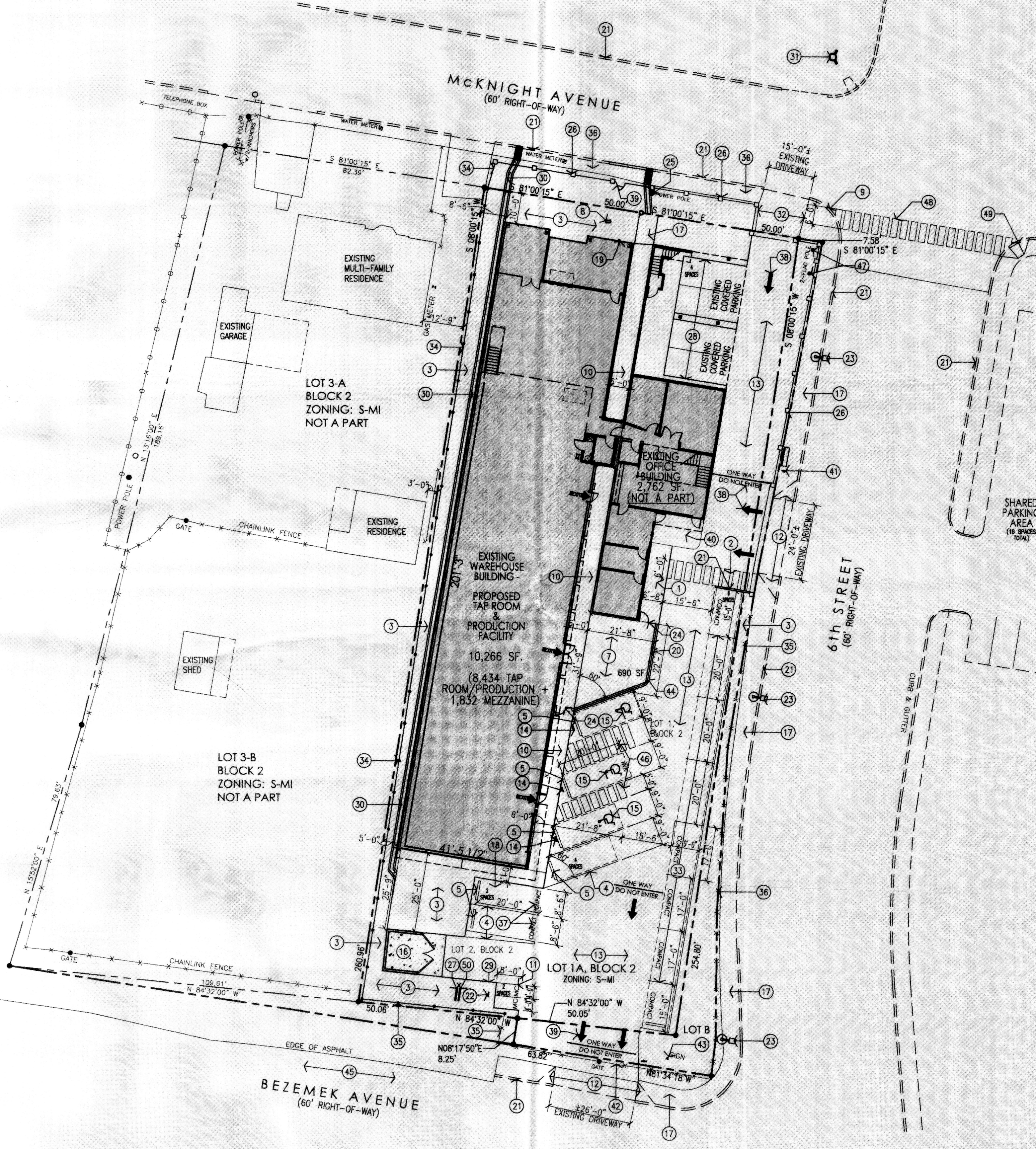
General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0	16	1	0	0	0
Tap Room	0	13	23	0	18	25
Manufacturing	0	4	2	0	2	0
Adjacent Office/Manufacturing Building*	0	13	1	0	0	0

Peak Number of Spaces Required per time period

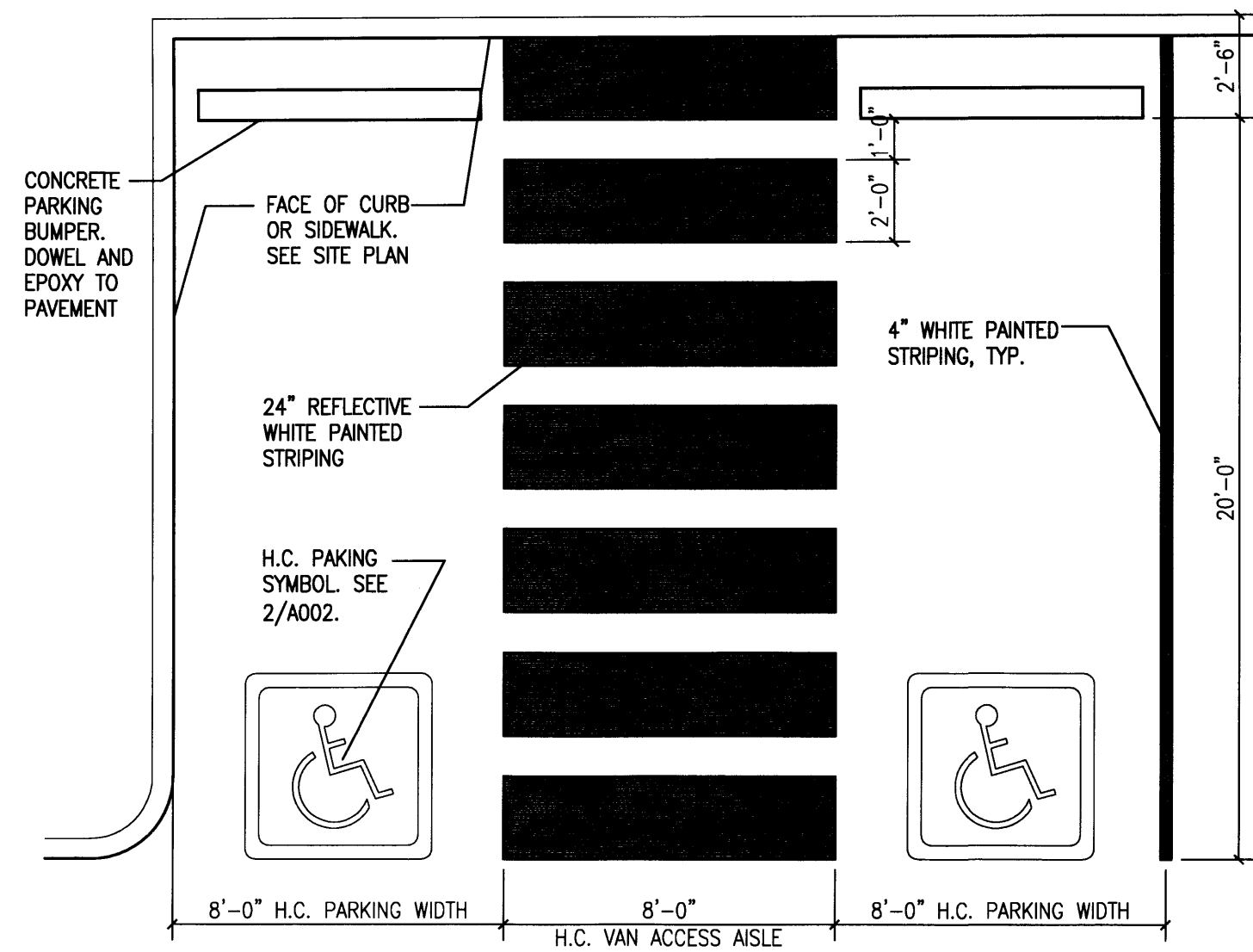
Time Period	Office	Tap Room	Manufacturing	Adjacent Office/Manufacturing Building*
midnight to 7am	0	0	0	0
7am to 6pm	16	13	4	13
6pm to midnight	1	23	2	1
midnight to 7am	0	0	0	0
7am to 6pm	0	18	2	0
6pm to midnight	0	25	0	0

* Shared parking arrangement with office/manufacturing building across 6th Street. The parking requirements for this building is included in the parking matrix.
 ** Existing building is 6,000 SF; first floor is 3,000 SF of manufacturing (3,000/1000 = 3 parking spaces) and second floor is 3,000 SF of office (3,000/300 = 10 parking spaces). 13 total parking spaces required.
 *** Per COA Parking Regulations, fractional amounts are to be rounded to next whole number.

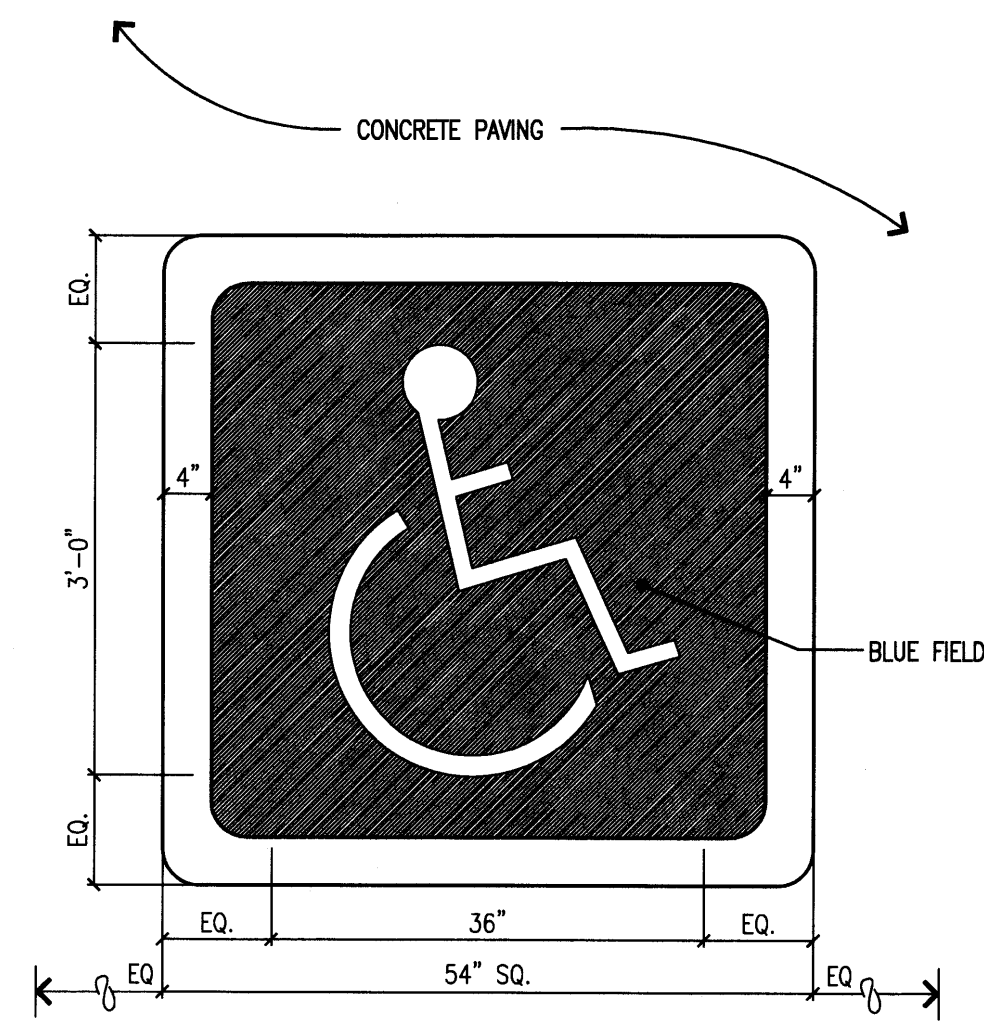
Peak Parking Requirement 45 spaces
 Less 10% bus stop credit 40 spaces
 Less 10% shared parking 36 spaces
 Parking Provided 37 spaces



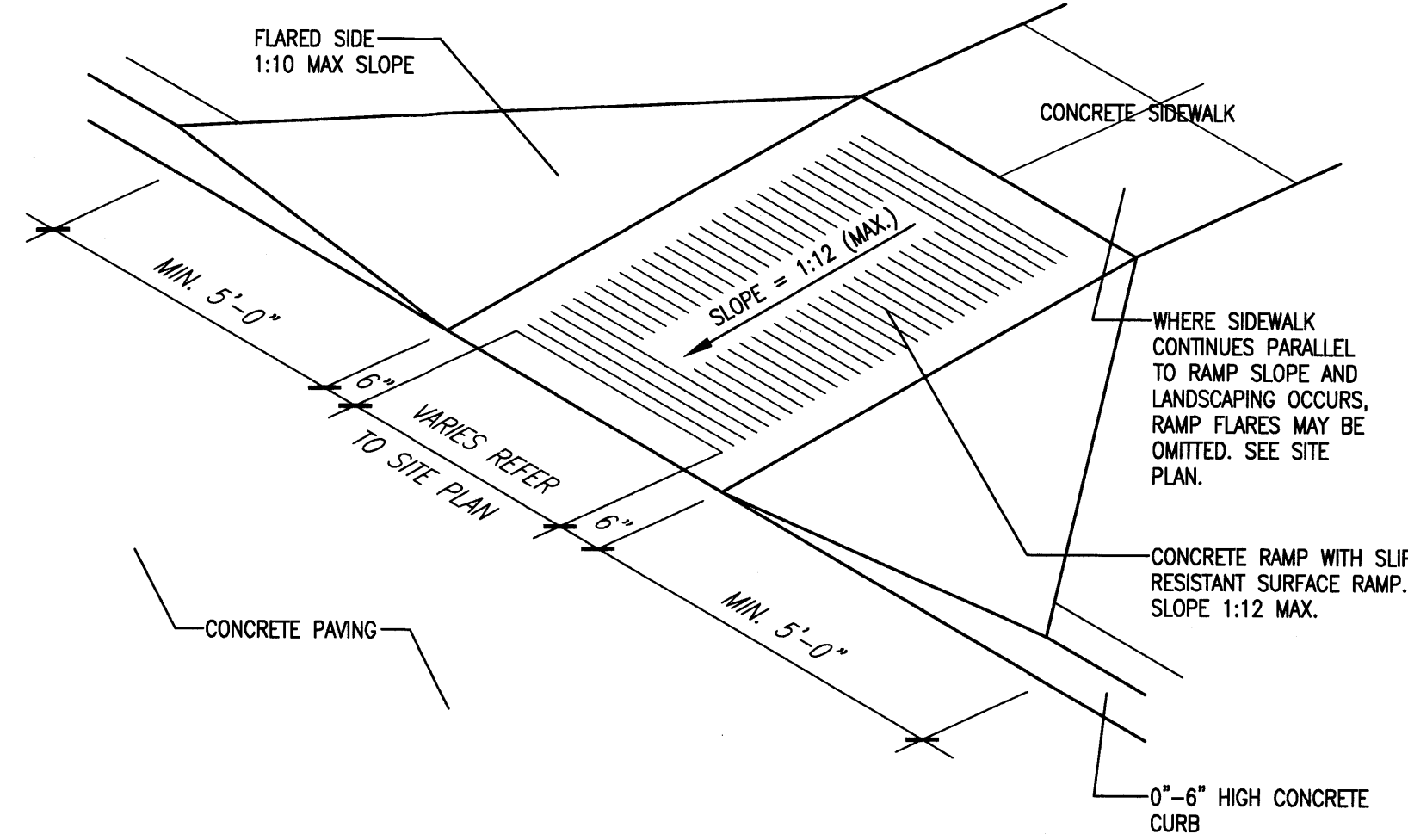
As-Built Architectural Site Plan
 Scale: 1"=20'-0"



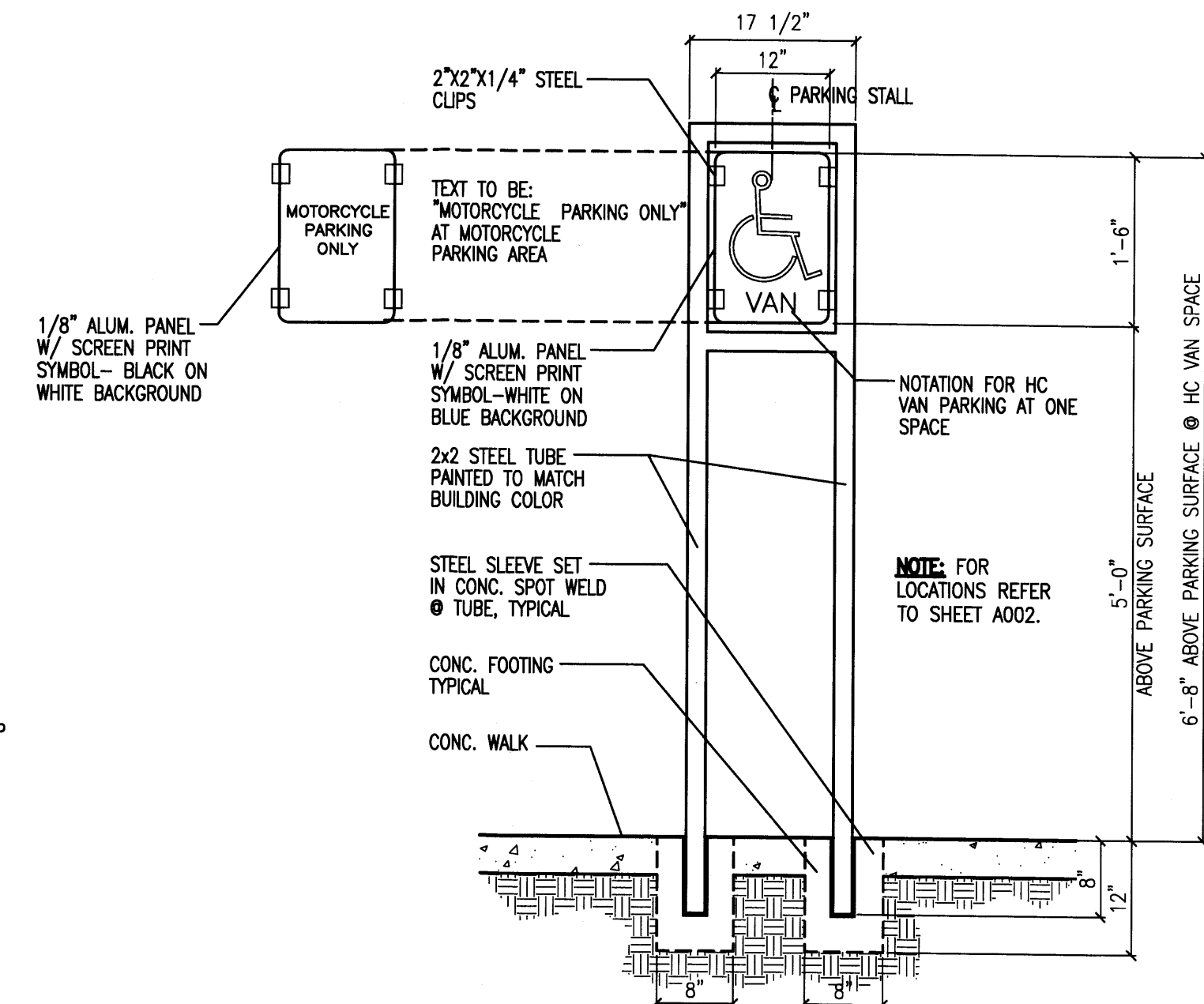
1 HC Parking Striping Detail
Scale: 1/4"=1'-0"



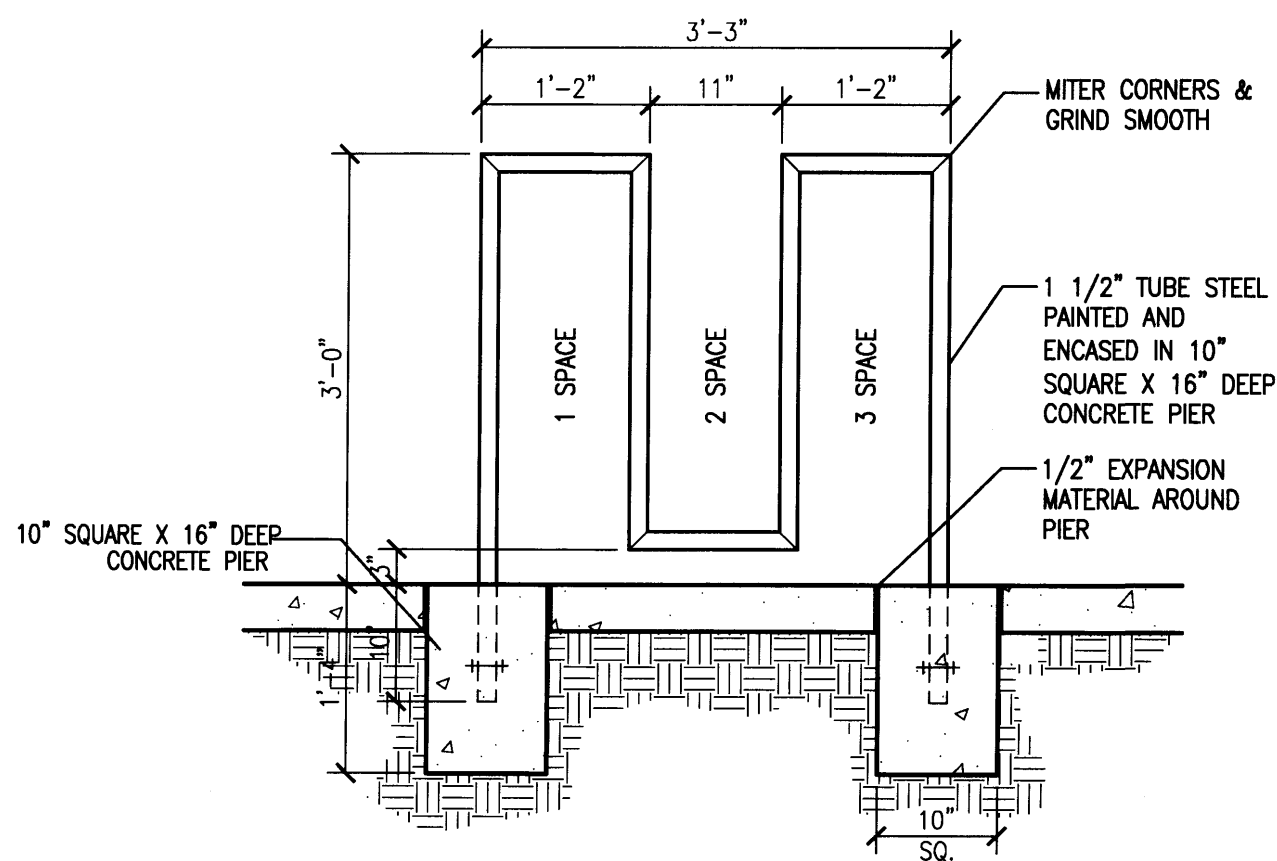
2 HC Pavement Sign Detail
Scale: 3/4"=1'-0"



3 H.C. Ramp Detail with Flare
Scale: Not To Scale (Isometric)



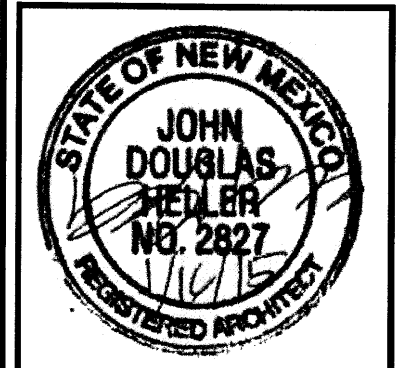
4 HC Parking Sign Detail
Scale: 3/4"=1'-0"



5 Bicycle Rack Detail
Scale: 3/4"=1'-0"

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date	
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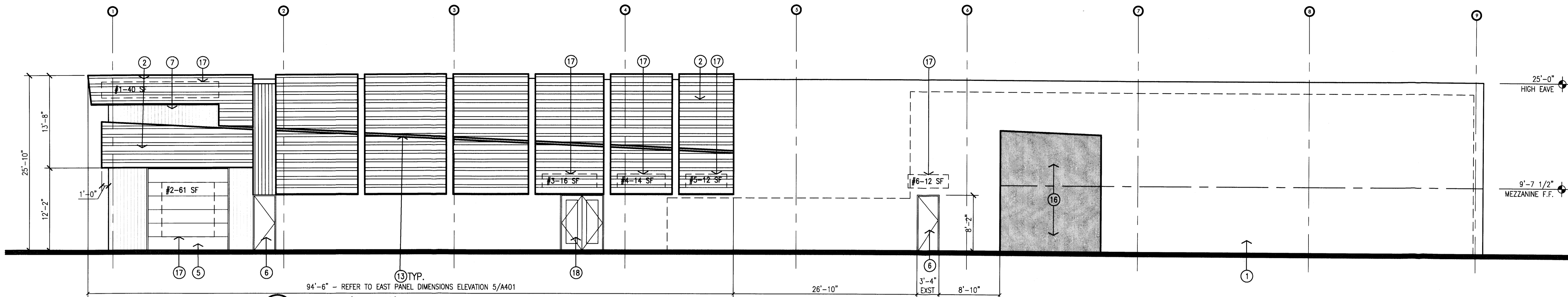
MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



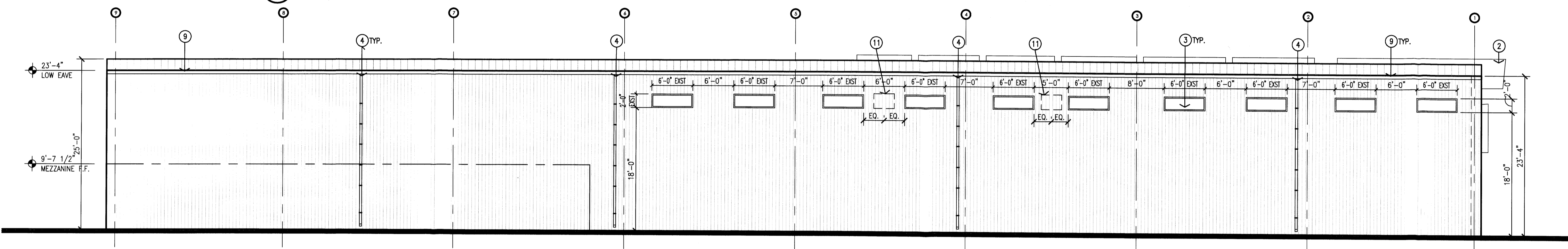
job number	14-27
drawn by	SEJ
project manager	Doug Heller, AIA
date	DRB UPDATE 01-15-2015

project title
Bow & Arrow Brewing Tap Room & Production Facility
608 McKnight Ave. NW
Albuquerque, New Mexico

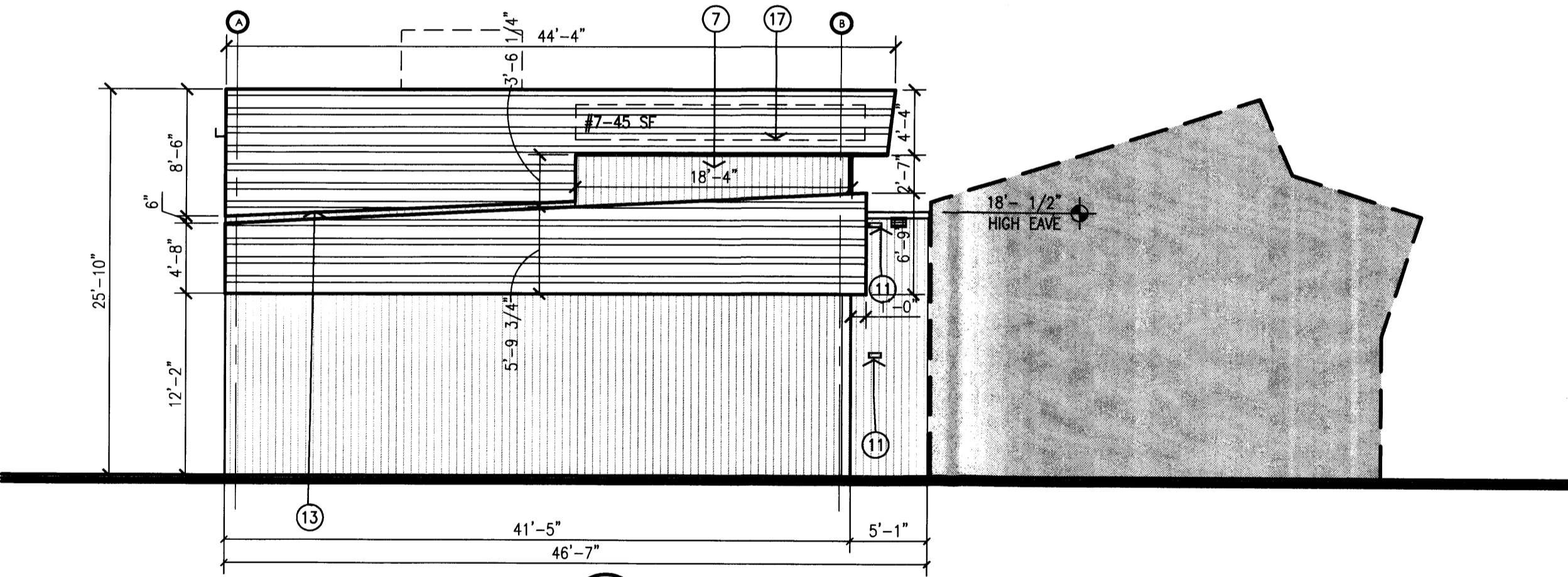
sheet title
Architectural Site Details



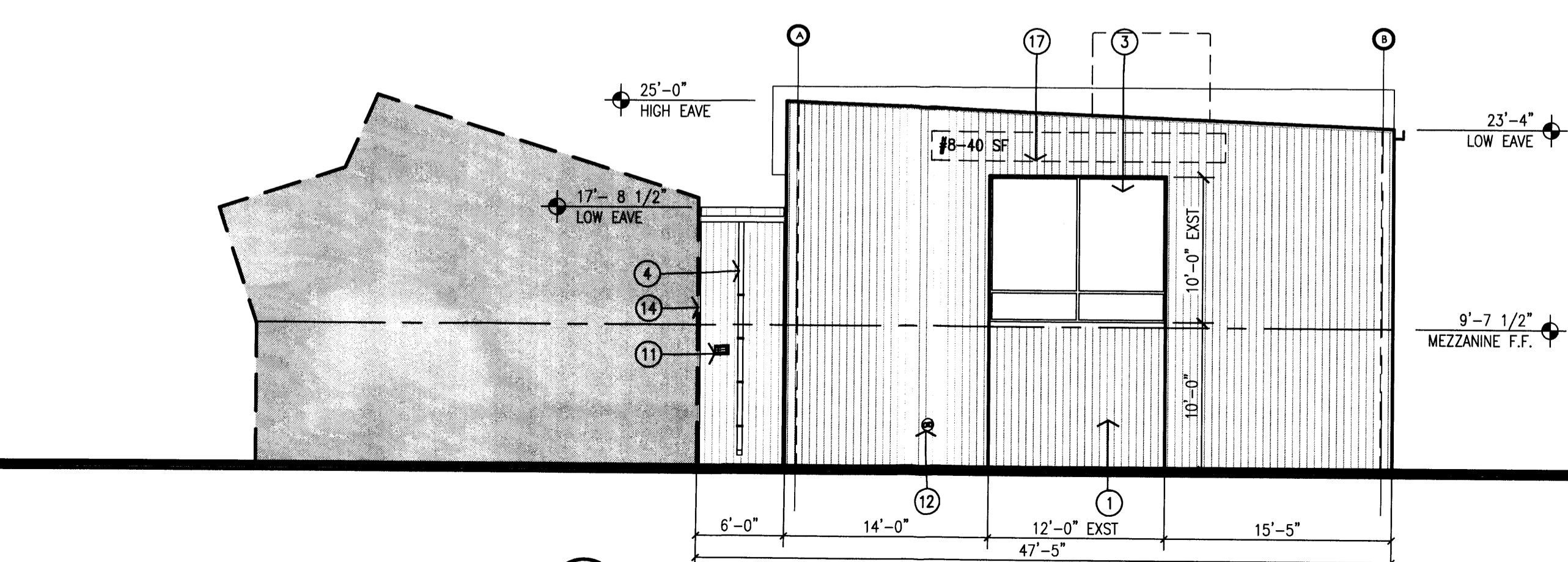
1 East Elevation
Scale: 1/8" = 1'-0"



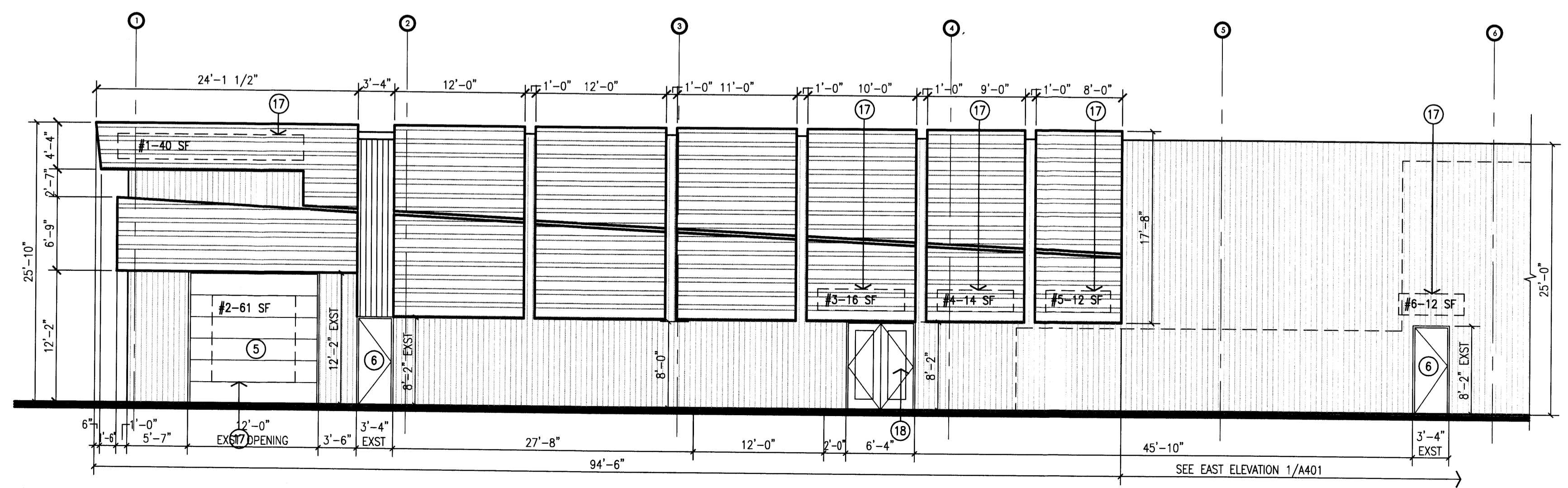
2 West Elevation
Scale: 1/8" = 1'-0"



3 South Elevation
Scale: 1/8" = 1'-0"



4 North Elevation
Scale: 1/8" = 1'-0"



5 East Panel Dimensions
Scale: 1/8" = 1'-0"

**BUILDING 1
SIGNAGE CALCULATIONS:**

BUILDING MOUNTED:

SOUTH ELEVATION-

1830 SF X 9%
165 SF ALLOWED
(#7) = 45 SF ILLUMINATED PROPOSED

NORTH ELEVATION-

1762 SF X 9%
159 SF ALLOWED
(#8) = 40 SF ILLUMINATED PROPOSED

EAST ELEVATION-

5121 SF X 9%
461 SF ALLOWED
(#1)40 + (#3)16 + (#4)14 +
(#5)12 + (#6)12
= 94 SF ILLUMINATED PROVIDED
(#2)61 = 61 SF PAINTED/VINYL-APPLIED

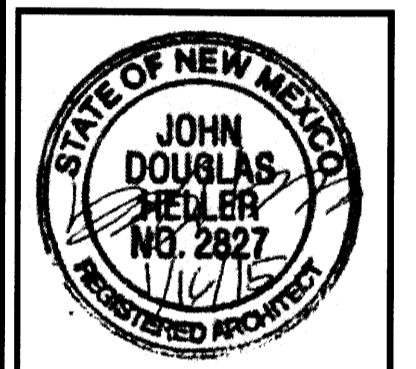
TOTAL SIGNAGE PROPOSED = 155 SF

- ELEVATION KEYED NOTES:**
- [1] EXISTING MANUFACTURED BUILDING METAL PANEL COLOR: TERRA BROWN
 - [2] EXISTING METAL PANEL TYPE 2. COLOR: BIRCH WHITE
 - [3] EXISTING STOREFRONT WINDOW. SEE SCHEDULE.
 - [4] EXISTING PRE FINISHED METAL DOWNSPOUT. COLOR: TERRA BROWN
 - [5] EXISTING 12 X 12 OVERHEAD INSULATED DOOR.
 - [6] EXISTING HOLLOW METAL DOOR AND FRAME, PAINED.
 - [7] EXISTING TRANSLUCENT PANELS BEYOND AT OPENING.
 - [8] EXISTING EVAPORATIVE COOLER. SEE MECHANICAL.
 - [9] EXISTING PRE FINISHED GUTTER BY METAL BUILDING MANUFACTURE. COLOR TERRA BROWN.
 - [10] EXISTING BUILDING.
 - [11] EXISTING MECHANICAL VENT. SEE MECHANICAL.
 - [12] EXISTING FIRE DEPARTMENT CONNECTION
 - [13] EXISTING METAL PANEL REVEAL.
 - [14] EXISTING 2" EXPANSION JOINT.
 - [15] EXISTING HOLLOW METAL WINDOW FRAME. SEE SCHEDULE.
 - [16] EXISTING OPENING IN METAL BUILDING FOR CONNECTION TO EXISTING.
 - [17] NEW BUILDING MOUNTED SIGNAGE. SIGNAGE TYPE AND AREA AS INDICATED ON ELEVATIONS AND SIGNAGE CALCULATIONS.
 - [18] NEW STOREFRONT DOOR SYSTEM.

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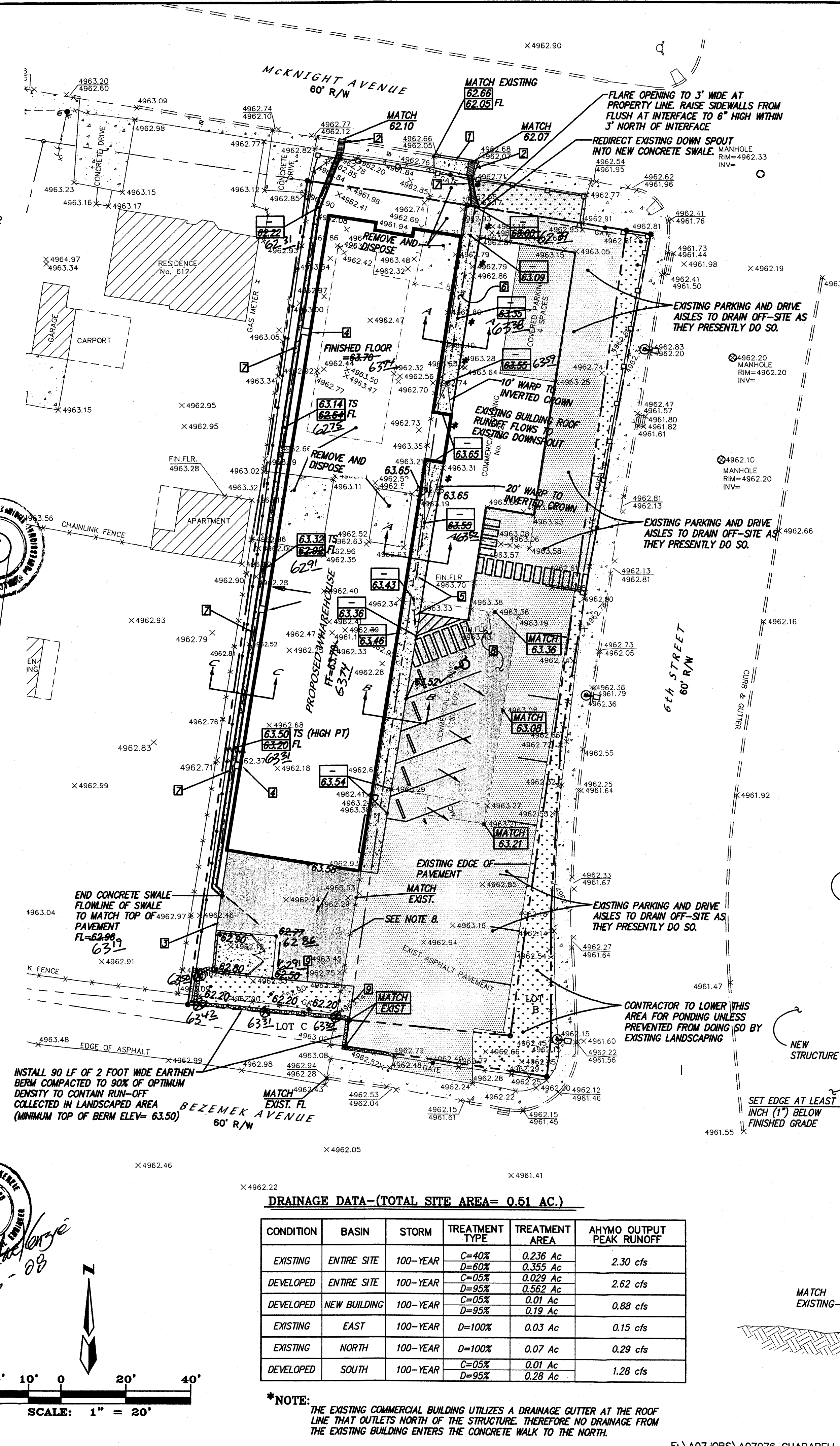
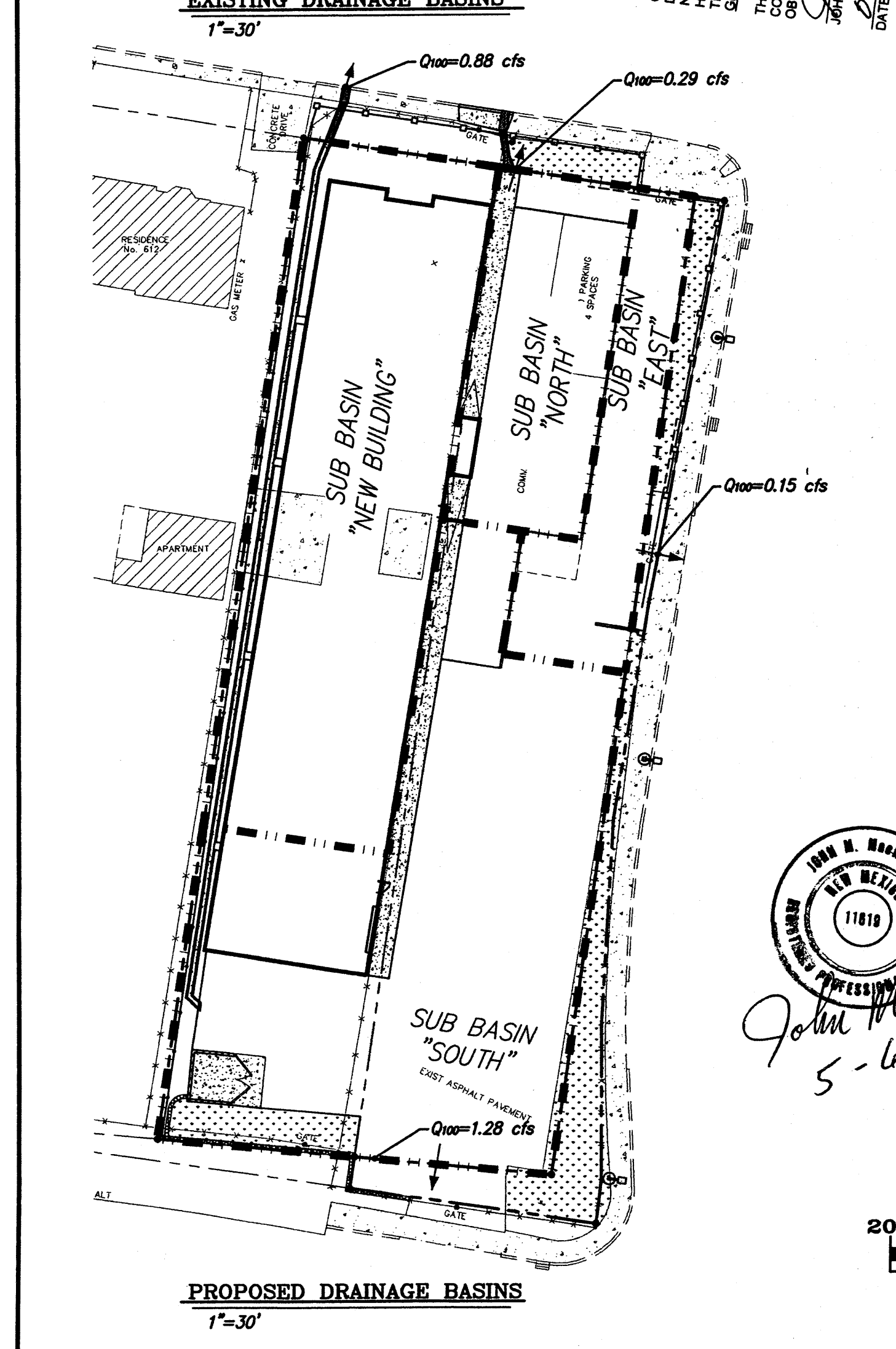
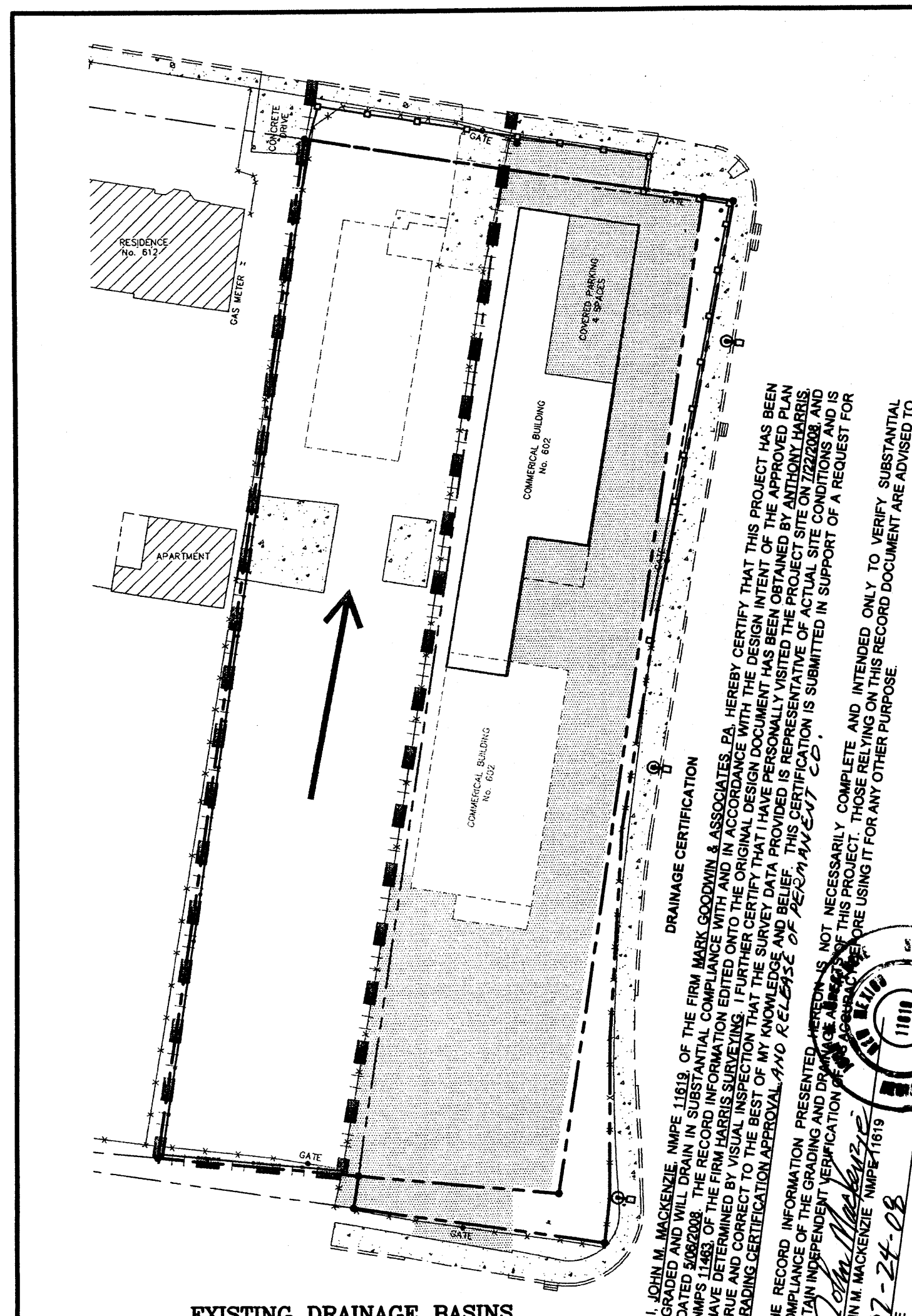
**Mullen Heller
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14-27	SEL
job number	drawn by
project manager	date
Doug Heller, AIA	DRB UPDATE 01-15-2015

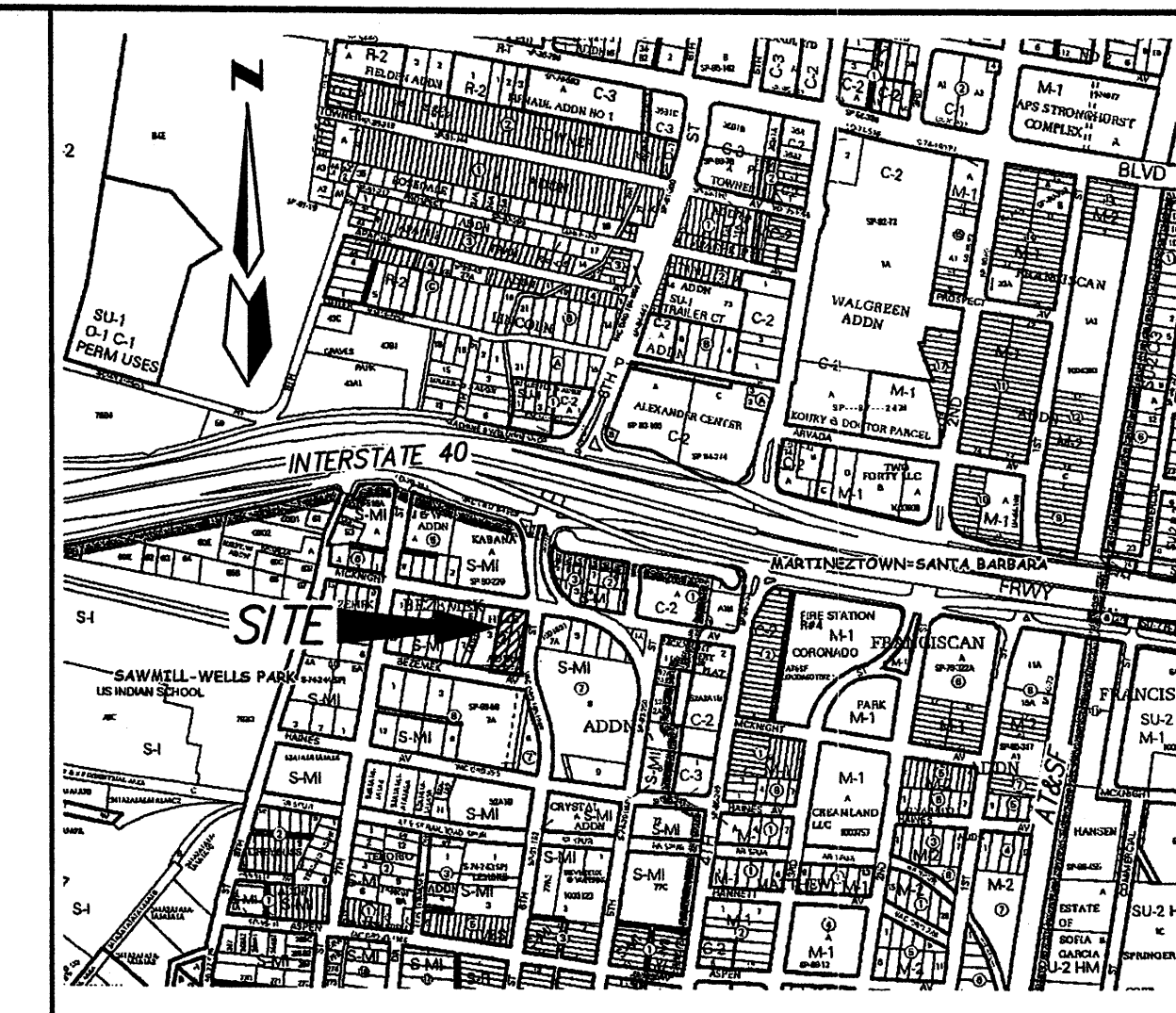
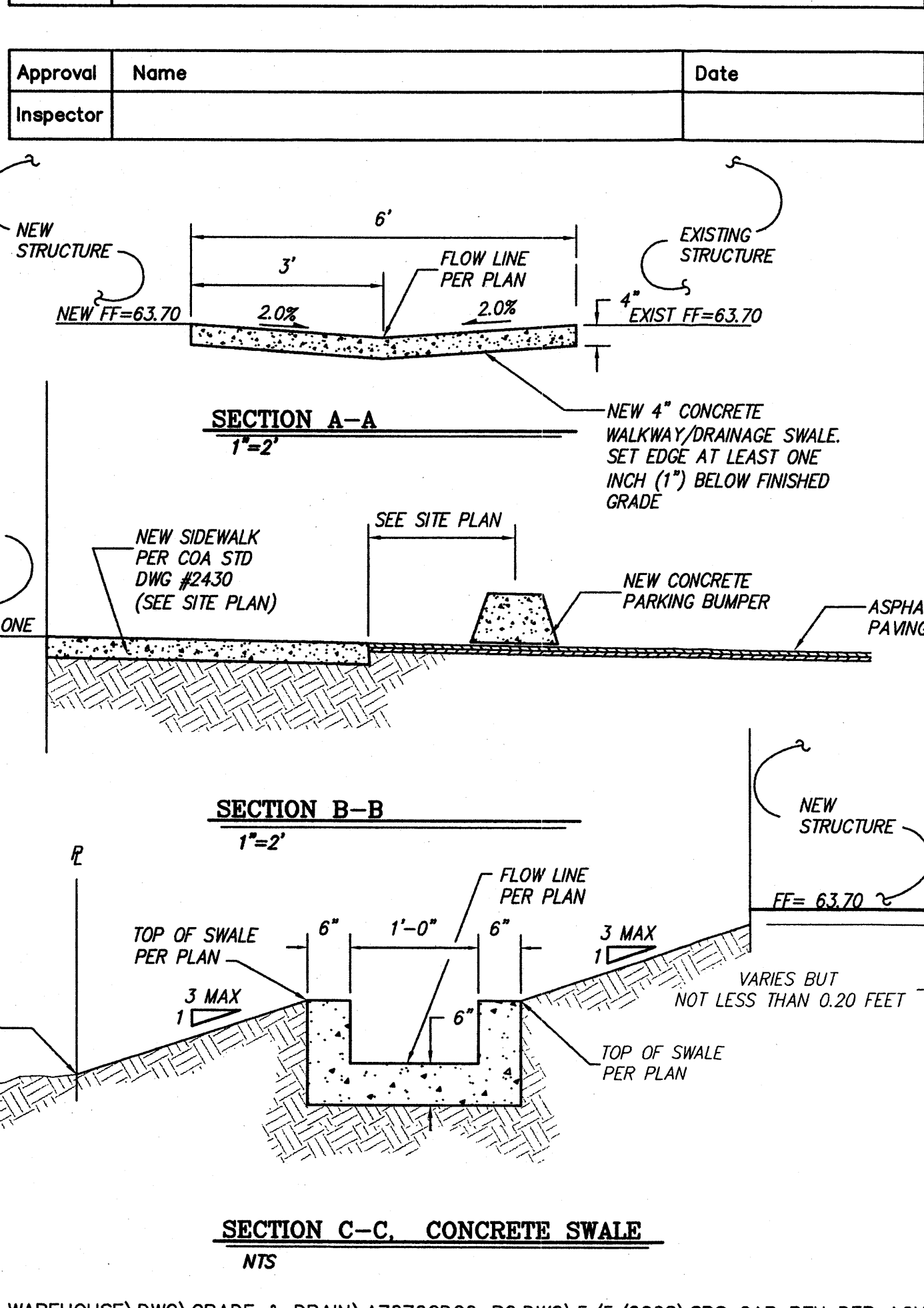
project file
Bow & Arrow Brewing Tap Room & Production Facility
608 McKnight Ave. NW
Albuquerque, New Mexico

sheet file
AS-Built Exterior Elevations



- NOTES:**
- REMOVE & DISPOSE OF EXISTING CONCRETE DRIVE. INSTALL 15 LF STANDARD CURB & GUTTER PER COA STD DWG #2415A. INSTALL 15 LF CONCRETE WALK PER COA STD DWG #2430.
 - INSTALL DRAINAGE SIDEWALK CULVERT W/ STEEL PLATE TOP PER COA STD DWG #2236, 12" OPENING. EXTEND PLATES TO RIGHT OF WAY LINE.
 - NEW PAVING TO BE INSTALLED FLUSH WITH ADJOINING FINISHED SIDEWAY GRADE. ALL RUN-OFF WITHIN SITE ALONG THIS EDGE SHALL DRAIN EAST.
 - ROOF DRAINS SHALL EMPTY TO CONCRETE SPLASH BLOCKS. SPLASH BLOCKS SHALL EMPTY DIRECTLY INTO CONCRETE SWALE, AND NOT WEST ONTO ADJOINING PROPERTY (TYP).
 - CONTINUE INVERTED CROWN SOUTH. INVERTED CROWN'S FLOWLINE TO BE FLUSH WITH PAVED EDGE AT INTERFACE.
 - REMOVE AND DISPOSE OF EXISTING CONCRETE AND INSTALL NEW CONCRETE PER CROSS-SECTIONS A-A AND B-B. THIS SHEET.
 - INSTALL CONCRETE SWALE PER SECTION C-C, THIS SHEET.
 - REMOVE & DISPOSE OF EXISTING BUILDING AND PAD AND REPLACE WITH ASPHALT PARKING AS SHOWN. CLEANLY SAWCUT OFF AT LEAST 6" OF EXISTING PAVING AFTER BUILDING REMOVAL TO PROVIDE A MATCH TO COMPETENT SURFACING. SEE SOILS REPORT FOR NEW PAVING SECTION.
 - RUN-OFF FROM NEW PAVING SOUTH OF BUILDING TO DRAIN INTO ADJOINING LANDSCAPING AND THEN EAST ACROSS EXISTING PAVING ALONG HISTORICAL FLOW PATH. CONTRACTOR SHALL INSURE THAT THIS RUN-OFF DOES NOT BYPASS BERM AND ESCAPE SOUTH TOWARD BEZEMEK.

- NOTICE TO CONTRACTOR**
- An excavation/construction permit will be required before beginning any work within City right of way.
 - All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
 - Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
 - Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to Traffic / street use.
 - Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 - Work on Arterial Street shall be Performed on a 24-hour Basis.



LEGAL DESCRIPTION
LOT NUMBERED TWO (2) IN BLOCK NUMBERED TWO (2) OF THE HILL'S ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 29, 1928 IN PLAT BOOK D-1, PAGE 60.

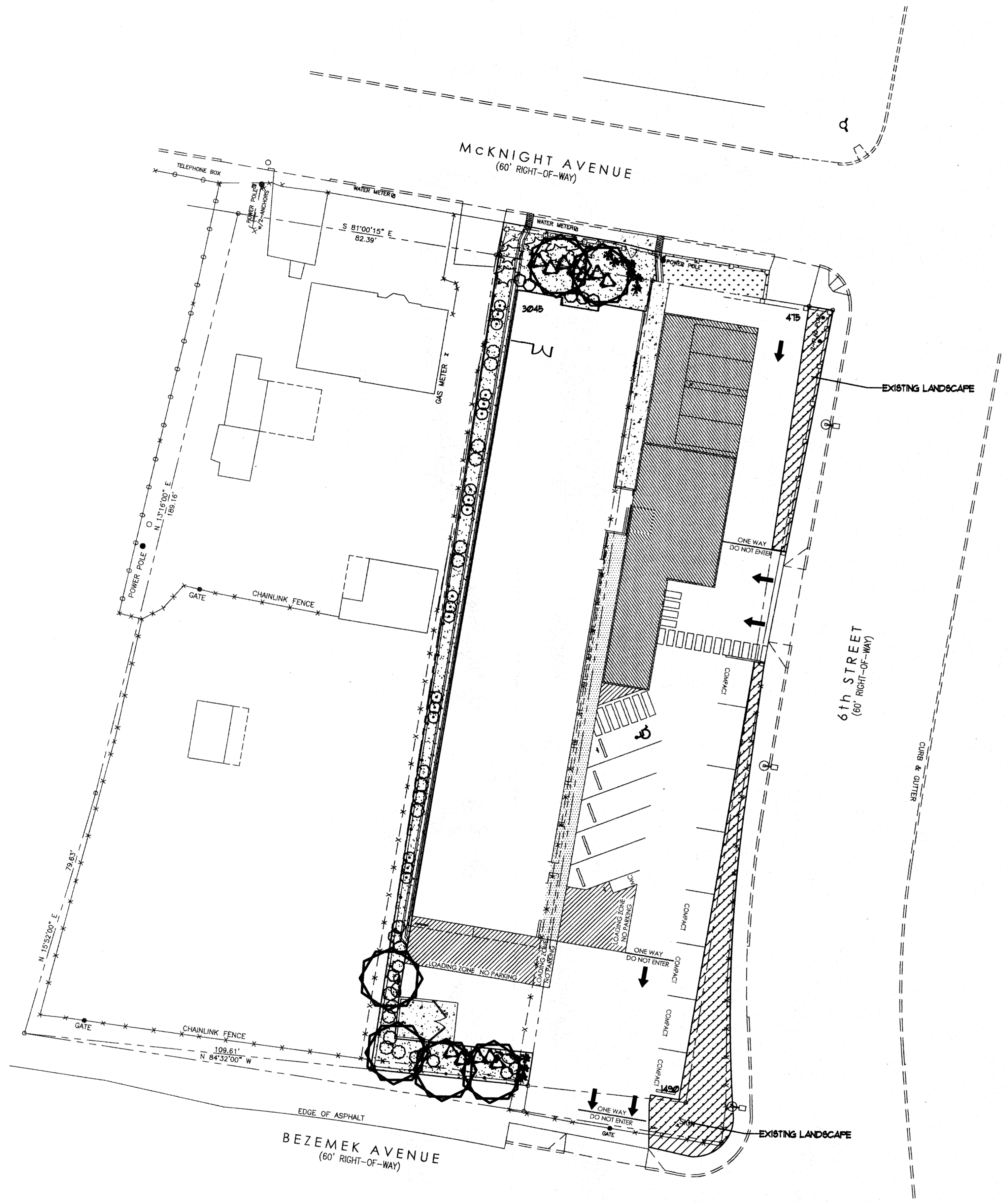
BENCHMARK
SEE TOPOGRAPHIC SURVEY BY HARRIS SURVEYING

- LEGEND**
- EXISTING CURB AND GUTTER
 - EXISTING MANHOLE
 - EXISTING DROP INLET
 - EXISTING EDGE OF PAVEMENT
 - EX. TOP CURB
 - EX. FL=FLOWLINE
 - EX. SPOT ELEVATION
 - NEW WATER BREAK
 - EXISTING BOUNDARY LINE
 - PROPOSED SPOT ELEVATION
 - FINISHED FLOOR
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED FLOWLINE ELEVATION
 - PROPOSED TOP OF SWALE ELEVATION
 - PROPOSED FLOWLINE ELEVATION
 - AS-BUILT ELEVATION
 - SURFACE FLOW DIRECTION
 - ROOF FLOWS
 - DRAINAGE SWALE
 - NEW DRAINAGE SUB-BASIN
 - NEW CURB AND GUTTER
 - NEW PAVEMENT (SEE SOILS REPORT FOR PROPOSED DESIGN SECTION).
 - NEW CONCRETE SURFACING
 - NEW SIDEWALK CULVERT
 - EXISTING FIRE HYDRANT
 - EXISTING PROPERTY CORNER
 - NEW CHAINLINK FENCE
 - EXISTING DRAINAGE SUB-BASIN
 - NEW 2' WIDE EARTHEN BERM
 - EXISTING PAVEMENT
 - LANDSCAPE AREA

Chaparral Electric Warehouse
AS-BUILT
GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: SPS Checked: DMG Sheet: C101
Scale: 1"=20' Date: 01-15-2015 Job: A7076



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
6	2' cal	Desert Willow	L+
5	5 Gal	Chilopsis linearis	M
5	5 Gal	Honeyuckle	M
12	5 Gal	Lonicera japonica	L+
10	5 Gal	Upright Rosemary	L+
10	5 Gal	Rosmarinus officinalis	L+
12	5 Gal	Threadgrass	L+
10	5 Gal	Stipa tenuissima	L+
10	5 Gal	Texas Ranger	L+
10	5 Gal	Leucophyllum frutescens	L
10	5 Gal	Apache Plume	L
10	5 Gal	Fallugia paradoxa	L
10	5 Gal	Chamaelirium luteum	L
6		BOULDERS, 2-3 cf, 1086 ROCK, typ.	
LANDSCAPE GRAVEL OR FINES, OBTAIN OWNER'S APPROVAL			

LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have 10 gpm bubbler and shrubs shall have a minimum of (2) 10 gph emitters per shrub.

Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction. It shall be the responsibility of the Landscape Contractor for any Required Permits, Backflow Prevention Compliance, Zoning Regulations, Inspections, Plumbing Codes, Approvals, Etc. required by the governing authority having jurisdiction over the project site.

It is the intent of this plan to comply with the City of Albuquerque Landscaping Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

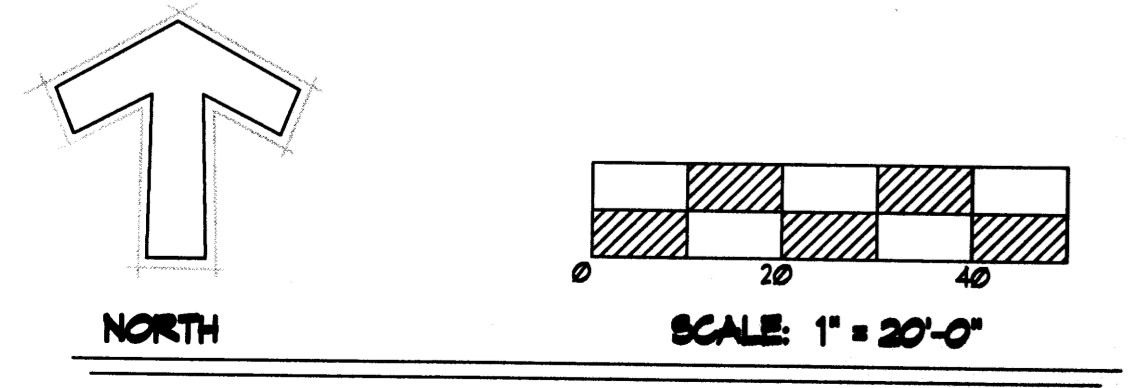
Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

LANDSCAPE CALCULATIONS	
TOTAL LOT AREA	25,786 SF
TOTAL BUILDING AREA	9,881 SF
NET LOT AREA	15,905 SF
LANDSCAPE REQUIREMENT	15 SF
TOTAL LANDSCAPE REQUIRED	2,385 SF
EXISTING LANDSCAPE	1365 SF
NEW LANDSCAPING	3045 SF
NEW LANDSCAPING	5010 SF

THE EXISTING LANDSCAPE IS TO REMAIN AS-BUILT AND MEETS THE LANDSCAPE REQUIREMENTS.



LANDSCAPE PLAN

revision
by DM
date 05/05/2008
rev A A A A A

MH
Mullen Heller
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Suite B
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

project file 14-27
job number 14-27
drawn by DM
project manager Douglas Heller, AIA
date 01-15-2015

project file
Chaparral Electric Warehouse
608 McKnight Ave. NW
Albuquerque, New Mexico
sheet file
As-Built Landscape Plan

Mitchell Associates, LLC
Landscape Architects
3150 Carlisle NE #12
Albuquerque, NM 87110
(505) 830-6096
danny@mitchellassociatesllc.com

