

LANDSCAPE PLAN

LANDSCAPE CALCULATIONS		
TOTAL LOT AREA	25,706	SF
TOTAL BUILDING AREA	9,881	SF
NET LOT AREA	15,825	SF
LANDSCAPE REQUIREMENT	15	SF
TOTAL LANDSCAPE REQUIRED	23,805	SF
EXISTING LANDSCAPE	1965	SF
NEW LANDSCAPING	3045	SF
NEW LANDSCAPING	5010	SF

THE EXISTING LANDSCAPE IS TO REMAIN AS-BUILT AND MEETS THE LANDSCAPE REQUIREMENTS.

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
6	2" cal	Desert Willow	L+
5	5 Gal	Chilopsis linearis	M
12	5 Gal	Honeysuckle	L+
10	5 Gal	Lonicera japonica	L+
12	5 Gal	Upright Rosemary	L+
10	5 Gal	Rosmarinus officinalis	L+
12	5 Gal	Threadgrass	L+
12	5 Gal	Stipa tenuissima	L+
18	5 Gal	Texas Ranger	L
18	5 Gal	Leucophyllum frutescens	L
18	5 Gal	Apache Plume	L
18	5 Gal	Fallugia paradoxa	L
6	BOULDERS, 2-3 cf	Chrysothamnus nauseosus	L
LANDSCAPE GRAVEL OR FINES, OBTAIN OWNER'S APPROVAL			

LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have 10 gpm bubbler and shrubs shall have a minimum of (2) 10 gph emitters per shrub.

Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction. It shall be the responsibility of the Landscape Contractor for any Required Permits, Backflow Prevention Compliance, Zoning Regulations, Inspections, Plumbing Codes, Approvals, Etc. required by the governing authority having jurisdiction over the project site.

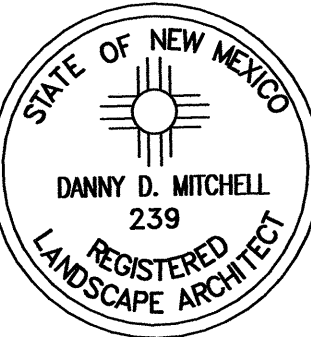
It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

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project title

Chaparral Electric Warehouse

608 McKnight Ave. NW

Albuquerque, New Mexico

sheet title

Landscape Plan

sheet-

L001

project number

14-27

drawn by

DW

project manager

Douglas Heller, AIA

date

01-15-2015

revision

by

date

rev

05/05/2008

DM

LS, by dumpster, south end

MH

Mullen Heller Architecture P.C.

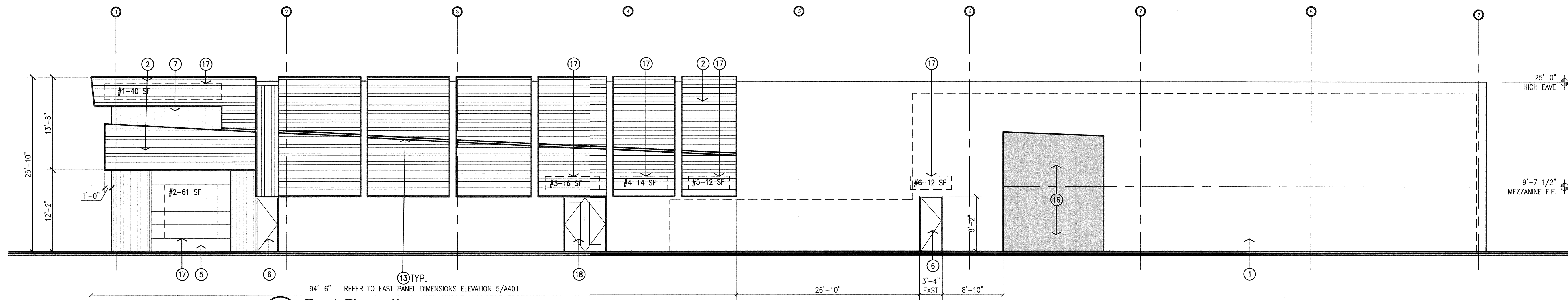
924 Park Avenue SW

Suite B

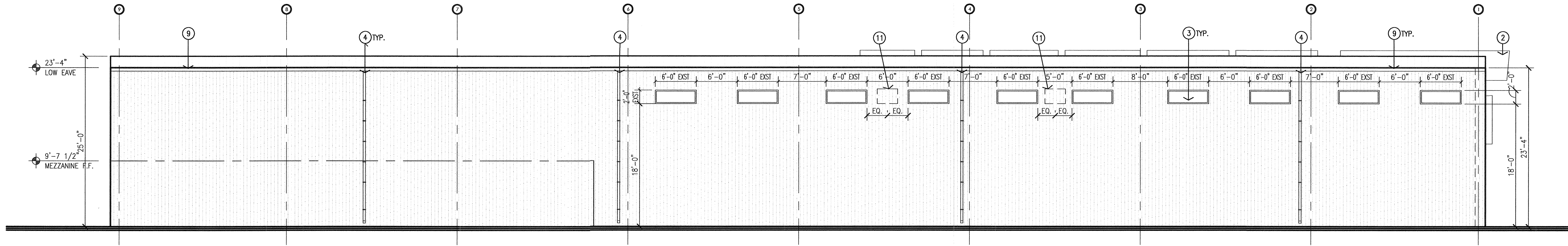
Albuquerque, NM 87102

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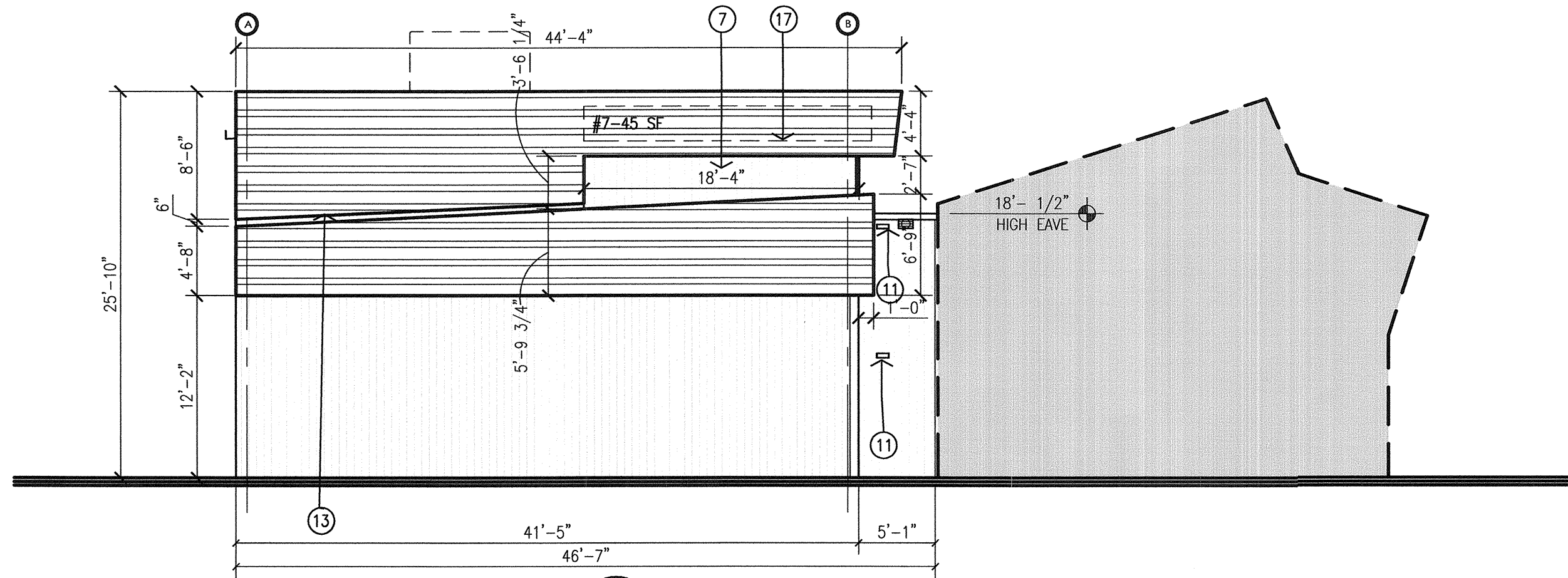
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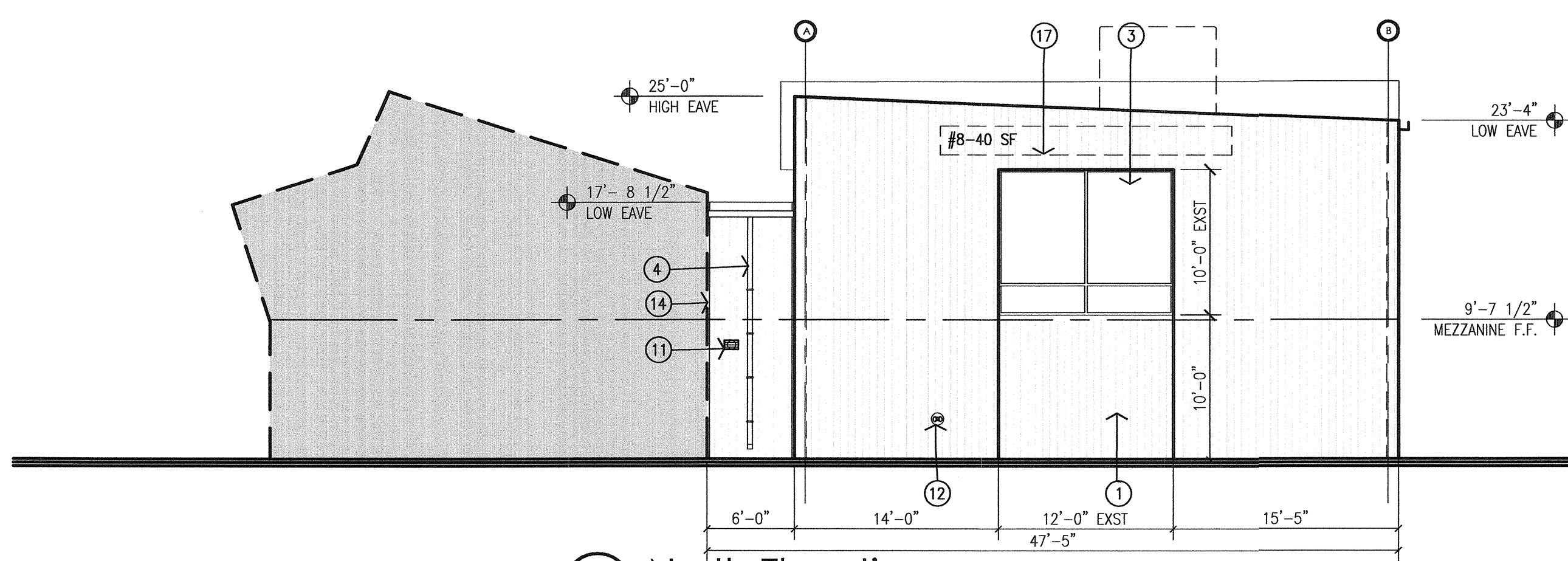
1 East Elevation
Scale: 1/8" = 1'-0"



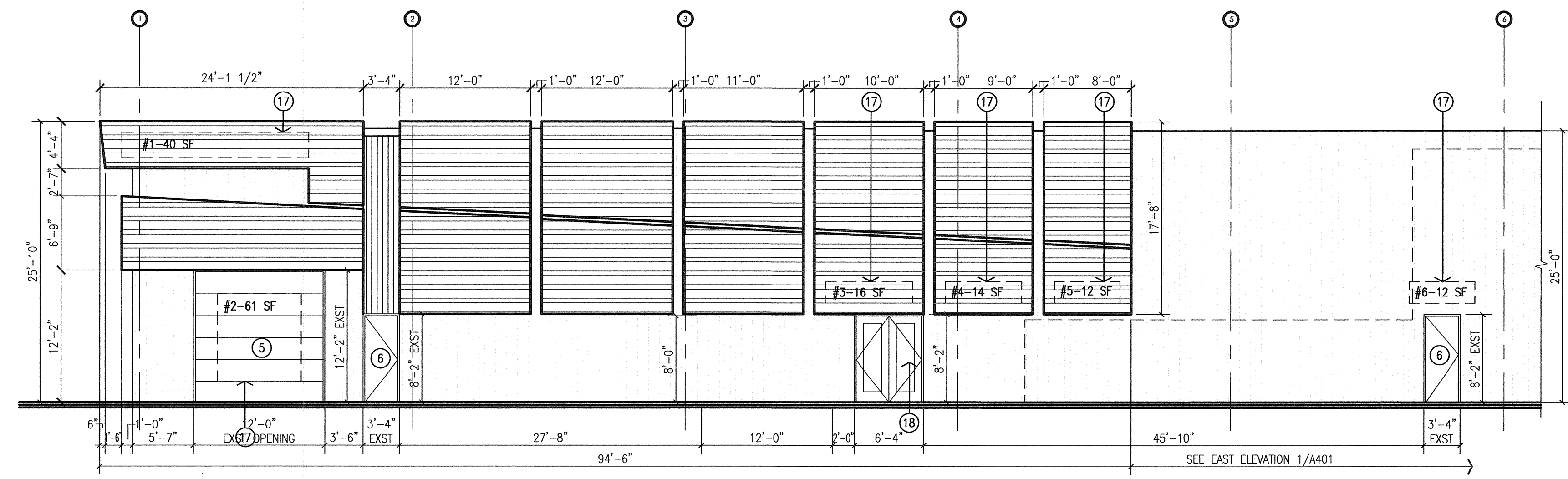
2 West Elevation
Scale: 1/8" = 1'-0"



3 South Elevation
Scale: 1/8" = 1'-0"



4 North Elevation
Scale: 1/8" = 1'-0"



5 East Panel Dimensions
Scale: 1/8" = 1'-0"

BUILDING 1
SIGNAGE CALCULATIONS:
BUILDING MOUNTED:
SOUTH ELEVATION- 1830 SF X 9%
165 SF ALLOWED
(#7) = 45 SF ILLUMINATED PROPOSED
NORTH ELEVATION- 1762 SF X 9%
159 SF ALLOWED
(#8) = 40 SF ILLUMINATED PROPOSED
EAST ELEVATION- 5121 SF X 9%
461 SF ALLOWED
(#1)40 + (#3)16 + (#4)14 +
(#5)12 + (#6)12
= 94 SF ILLUMINATED PROVIDED
(#2)61 = 61 SF PAINTED/VINYL-APPLIED
TOTAL SIGNAGE PROPOSED= 155 SF

ELEVATION KEYED NOTES:
[1] EXISTING MANUFACTURED BUILDING METAL PANEL COLOR: TERRA BROWN
[2] EXISTING METAL PANEL TYPE 2, COLOR: BIRCH WHITE
[3] EXISTING STOREFRONT WINDOW, SEE SCHEDULE.
[4] EXISTING PRE FINISHED METAL DOWNSPOUT, COLOR: TERRA BROWN
[5] EXISTING 12 X 12 OVERHEAD INSULATED DOOR.
[6] EXISTING HOLLOW METAL DOOR AND FRAME, PAINTED.
[7] EXISTING TRANSLUCENT PANELS BEYOND AT OPENING.
[8] EXISTING EVAPORATIVE COOLER, SEE MECHANICAL.
[9] EXISTING PRE FINISHED GUTTER BY METAL BUILDING MANUFACTURE.
COLOR TERRA BROWN.
[10] EXISTING BUILDING.
[11] EXISTING MECHANICAL VENT, SEE MECHANICAL.
[12] EXISTING FIRE DEPARTMENT CONNECTION
[13] EXISTING METAL PANEL REVEAL.
[14] EXISTING 2" EXPANSION JOINT.
[15] EXISTING HOLLOW METAL WINDOW FRAME, SEE SCHEDULE.
[16] EXISTING OPENING IN METAL BUILDING FOR CONNECTION TO EXISTING.
[17] NEW BUILDING MOUNTED SIGNAGE, SIGNAGE TYPE AND AREA AS INDICATED ON ELEVATIONS AND SIGNAGE CALCULATIONS.
[18] NEW STOREFRONT DOOR SYSTEM.

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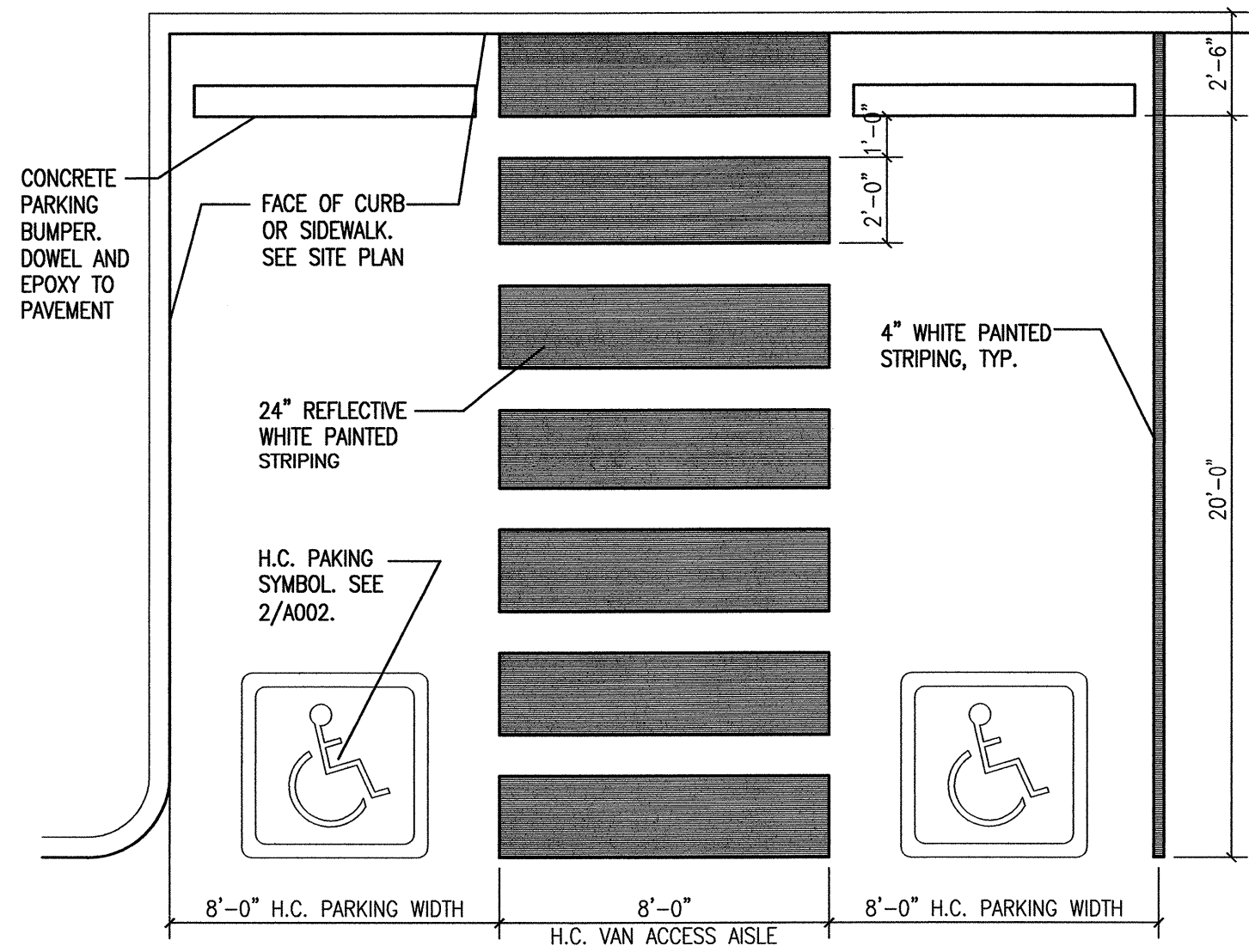


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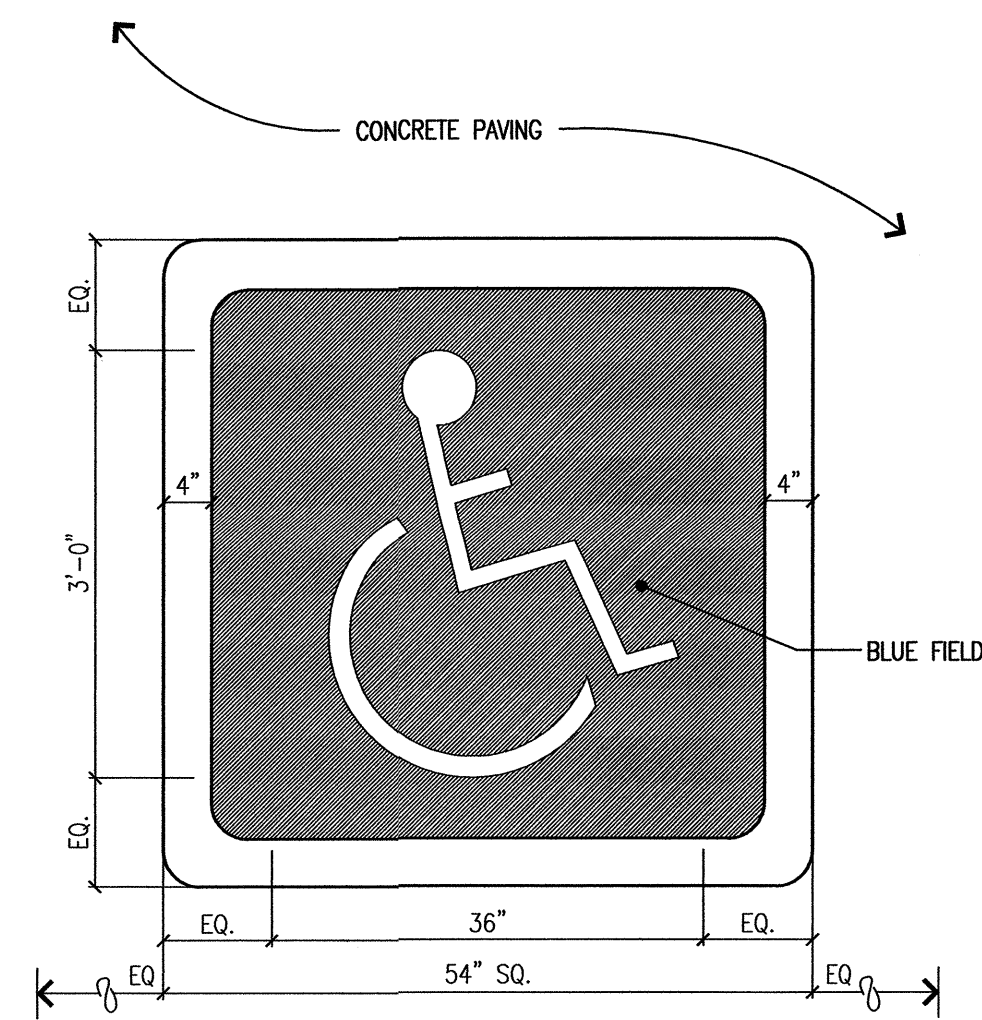
job number 1427
drawn by SEU
project manager Doug Heller, AIA
date DRB UPDATE 01.15.2015

project title
Bow & Arrow Brewing Tap Room & Production Facility
608 McKnight Ave. NW
Albuquerque, New Mexico
sheet title
Exterior Elevations

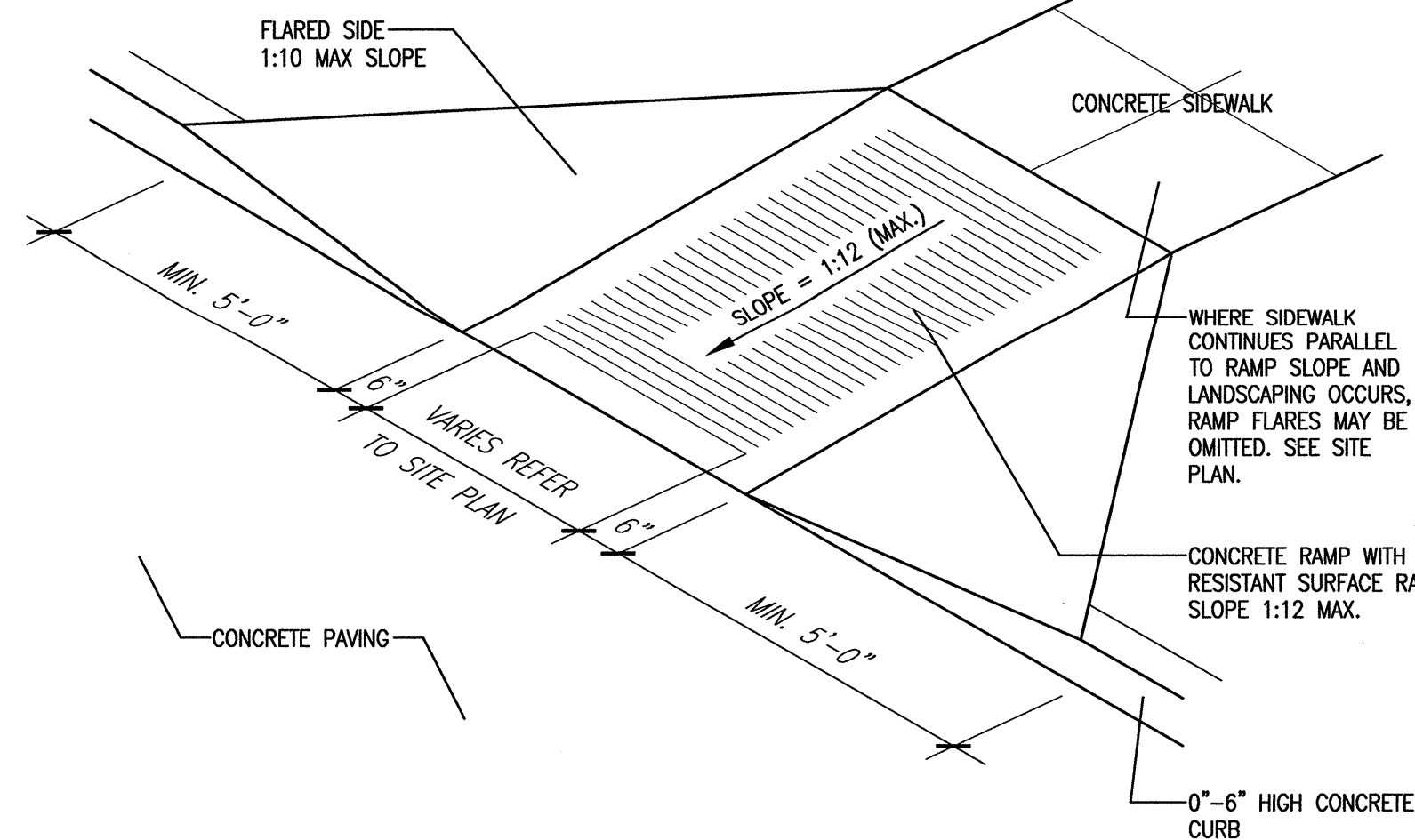
sheet
A401



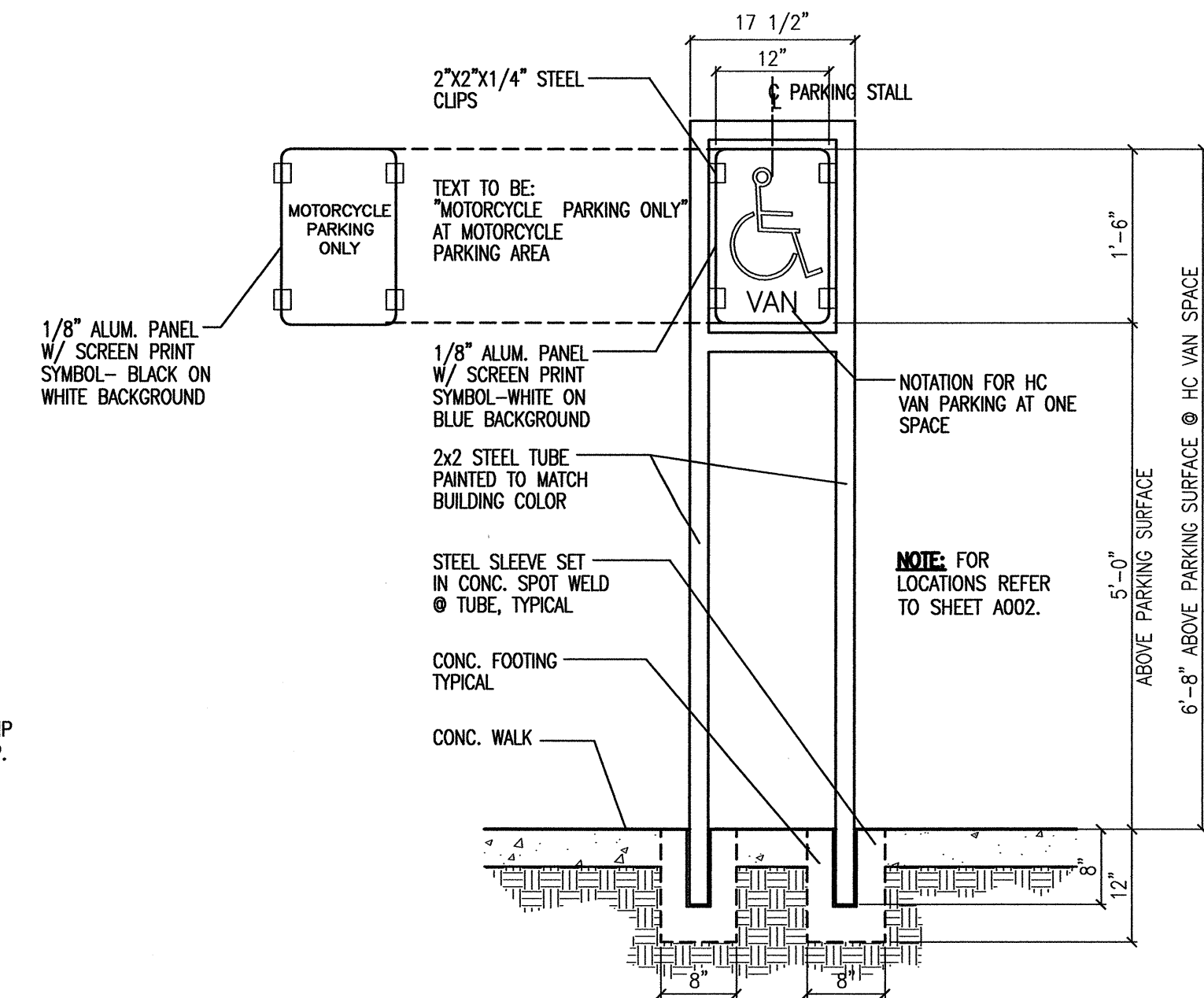
1 HC Parking Striping Detail
Scale: 1/4"=1'-0"



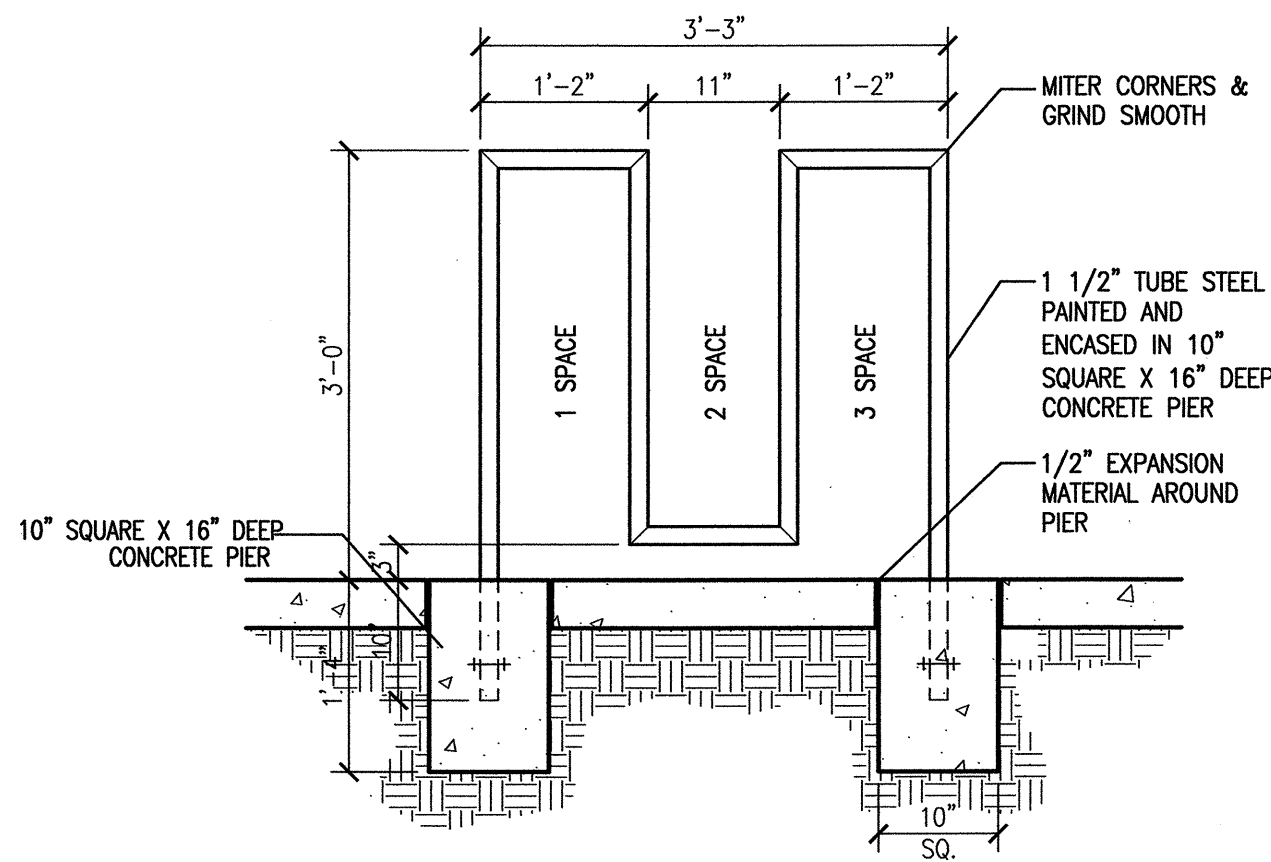
2 HC Pavement Sign Detail
Scale: 3/4"=1'-0"



3 H.C. Ramp Detail with Flare
Scale: Not To Scale (Isometric)



4 HC Parking Sign Detail
Scale: 3/4"=1'-0"



5 Bicycle Rack Detail
Scale: 3/4"=1'-0"

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rev	Δ	Δ

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project manager	Doug Heller, AIA
date	DRB UPDATE 01-15-2015

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Bow & Arrow Brewing Tap Room & Production Facility
608 McKnight Ave. NW
Albuquerque, New Mexico
sheet title
Architectural Site Details