CURVE TABLE    NUMBER   DELTA ANGLE   CHORD   DIRECTION   RADIUS   ARC   LENGTH   CHORD   LENGTH	     -
= = = = = = = = = = = = = = = = = = =	
MCRNIGHT AVENUE  WITH THE STATE OF THE STATE	CURB & GUTTER ———————————————————————————————————
Site Development Plan for Building Permit  Scale: 1"=20'-0"	11 1



LOCATION MAP



Less 10% shared parking

Parking Provided

PARKING AREA (19 SPACES TOTAL)

Seneral Land Use Classification		Weekdays			Weekends	
	midnight	7am to	6pm to	midnight	7am to	épm to
	to 7am	6pm	midnight	to 7am	6pm	midnigh
Office	0%	100%	5%	0%	0%	0%
ap Room	0%	50%	90%	0%	70%	100
Manufacturing	0%	100%	.50%	0%	50%	0%
Adjacent Office/Manufacturing Building*	0%	100%	5%	0%	0%	078
arking Calculations for Required Number and Use	of Spaces Area/Numb	er of Units	Parking Req	uirements	Required po	ırking
Office - First Floor	14	00	20	00 /sf		7
Office - Second Floor	26	14	30	)0 /sf		9
ap Room	100 sec	als	1 sec	at /4 occ.		25
Manufacturing	4.0	00	100	00 /sf		4
			8		T T	
Adjacent Office/Manufacturing Building*	6,0	00 **				13
Adjacent Office/Manufacturing Building*  General Land Use Classification		Weekdays		m²-twi suhé	Weekends	
	midnight	Weekdays 7am to	Spm to	midnight to 7am	Weekends 7am to	épm to
		Weekdays	Spm to midnight	midnight to 7am	Weekends	
Seneral Land Use Classification	midnight to 7am	Weekdays 7am to 6pm	midnight	to 7am	Weekends 7am to 6pm	6pm fo midnigh
General Land Use Classification  Office	midnight to 7am	Weekdays 7 am to 6 pm	midnight	to 7am	Weekends 7am to 6pm 0	épm fo midnigh
General Land Use Classification  Office  Jap Room	midnight to 7am 0	Weekdays 7 am to 6 pm 16	midnight 1 23	<b>to 7am</b> 0	Weekends 7am to 6pm 0	6pm to midnigh 0 25
General Land Use Classification  Office  Tap Room  Manufacturing	midnight to 7am 0 0	Weekdays 7am to 6pm 16 13	midnight  1  23  2	to 7am 0 0	Weekends 7am to 6pm 0 18	6pm to midnigh 0 25

36 spaces

37 spaces

SITE DEVELOPMENT DATA: LEGAL DESCRIPTION: LOT 1-A IN BLOCK 2

BUILDING ADDRESS:

CURRENT ZONING:

BUILDING AREA:

LANDSCAPING

REQUIREMENTS:



ZONE ATLAS PAGE: H-14-Z

LAND AREA: 0.6314 ACRES (27,504 SQ. FT.)

EXISTING WAREHOUSE BUILDING: 8,434 S.F. (PROPOSED TAP ROOM/PROD. 1ST FLOOR) 1,832 S.F. (EXISTING OFFICE MEZZANINE) 10,266 S.F. TOTAL BUILDING AREA

OF HILL'S ACRES SUBDIVISION

608 MCKNIGHT AVENUE NW.

BERNALILLO COUNTY, NEW MEXICO

ALBUQUERQUE, NEW MEXICO 87102

PROPOSED TAP ROOM & PRODUCTION FACILITY

SU-2/SU-1 FOR S-MI AND BREWERY INCLUDING

ON AND OFF PREMISE SALE OF BEER AND WINE

CITY OF ALBUQUERQUE

PARKING REQUIREMENTS: PER SECTION 14-6-3-1 OFF-STREET PARKING REGULATIONS OF THE COA COMPREHENSIVE ZONING CODE, SECTION E, ITEM 5: IN CALCULATING THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, FRACTIONAL NUMBERS ARE TO BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

> PROJECT PARKING REQUIREMENTS ARE AS FOLLOWS: EXISTING WAREHOUSE BUILDING (10,266 sf):
> TAP ROOM 100 SEATS/4 = 25 SPACES

PRODUCTION AREA 4,000 SF./1000 = 4 SPACES OFFICE MEZZANINE 1,832 SF./300 = 7 SPACES EXISTING OFFICE BUILDING (2,762 sf):
1st FLOOR OFFICE 1,400 SF./200 = 7 SPACES 2nd FLOOR OFFICE 762 SF./300 = 3 SPACESEXISTING STORAGE 600 SF./1000 = 1 SPACE TOTAL = 11 SPACES

OVERALL PARKING TOTAL = 47 SPACES APPLICABLE PARKING CREDITS: 10%-(BUS STOP CREDIT - ROUTE 92, 94, & 8)

10%-(SHARED PARKING CREDIT) 42 x 10% = 5 SPACES CREDITED

 $47 \times 10\% = 5$  SPACES CREDITED

37 PARKING SPACES REQUIRED 37 SPACES PROVIDED: 18 ON—SITE: 15 STANDARD

3 ADA (+ 2 MOTORCYCLE) 19 SHARED OFF-SITE REFER ALSO TO APPENDIX J: SHARED PARKING

1 EXISTING BIKE RACK IS TO REMAIN = 5 BIKE CAPACITY I NEW BIKE RACK TO BE INSTALLED = 5 BIKE CAPACITY

TOTAL BIKE CAPACITY = 10 BIKES

MATRIX ON THIS SHEET.

REFER TO LANDSCAPE PLAN.

PLEASE NOTE: EXISTING LANDSCAPING IS TO REMAIN IN PLACE AND MEETS THE REQUIRED LANDSCAPE REQUIREMENTS.

**GENERAL NOTES:** 

PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.

**KEYED NOTES:** 

NEW CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C.

EXISTING 5' WIDE PAINTED PEDESTRIAN WALKWAY TO BE INCREASED TO 6' WIDE.

EXISTING LANDSCAPING TO REMAIN.

NEW PAINTED PARKING STRIPES. NEW CONCRETE PARKING BUMPERS. TYPICAL OF 6. NEW PAINTED HC PARKING SYMBOL. REFER TO DETAIL 2/A002. NEW CONCRETE PATIO WITH CONTROL JOINTS @ 5'-0" AND

EXPANSION JOINTS AT 20'-0" O.C. EXISTING POST INDICATOR VALVE TO REMAIN. EXISTING ADA RAMP WITH FLARED SIDES TO REMAIN.

EXISTING ASPHALT PAVED SIDEWALK TO REMAIN. RELOCATED MOTORCYCLE SPACE (2 REQUIRED, 2 PROVIDED).

EXISTING 24' WIDE CONCRETE DRIVEWAY WITH FLARED ADA SLOPES TO REMAIN. EXISTING ASPHALT PAVING TO REMAIN.

HC PARKING SIGN. VAN ACCESSIBLE WERE INDICATED ON PLAN. REFER TO DETAIL 4/A002. NEW PAINTED HC PARKING STRIPING, REFER TO DETAIL 1/A002.

EXISTING CMU DUMPSTER LOCATION TO REMAIN. EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.

NEW ASPHALT PAVING. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.

NEW 3'-0" HIGH TUBE STEEL AND WELDED WIRE MESH PATIO EXISTING CONCRETE CURB TO REMAIN.

NEW MOTORCYCLE PARKING SIGN. REFER TO DETAIL 4/A002. EXISTING SITE LIGHTING TO REMAIN.

NEW 3'-0" WIDE TUBE STEEL AND WELDED WIRE MESH PATIO MAN GATE. TYPICAL OF 2.

EXISTING POWER POLE TO REMAIN.

EXISTING TUBE STEEL AND CMU PILASTER FENCE TO REMAIN. RELOCATED EXISTING BIKE RACK. 5 BIKE CAPACITY. EXISTING PARKING TO REMAIN.

EXISTING ASPHALT PAVING WITH STEEL LANDSCAPING EDGING TO REMAIN. EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN.

EXISTING FIRE HYDRANT TO REMAIN. EXISTING 15'-0" WIDE CONCRETE DRIVEWAY TO REMAIN.

EXISTING PARALLEL PARKING TO REMAIN. EXISTING 6' HIGH CHAINLINK FENCE WITH PLASTIC SLATS ALONG WEST PROPERTY LINE TO REMAIN.

EXISTING CHAINLINK FENCE TO REMAIN. EXISTING 4' WIDE CONCRETE SIDEWALK TO REMAIN.

"COMPACT" DESIGNATION PAINTED ALONG EDGE OF EACH NEW COMPACT PARKING SPACE. EXISTING "ONE WAY" DIRECTIONAL PAVEMENT SIGNAGE TO

[39] EXISTING FIRE DEPARTMENT ACCESS MAN-GATE WITH KNOX BOX @ NORTH SIDE FENCE.

EXISTING CONCRETE PAVING TO REMAIN. EXISTING BUS STOP AND BENCH TO REMAIN. SERVES ROUTES

92, 94, & 8. EXISTING RAZOR WIRE ABOVE GATE TO BE REMOVED. EXISTING 15 FT HIGH (±) PYLON SIGN TO REMAIN. SIGNAGE

 $AREA = 50 SF\pm$ 6" BUILT-UP CONCRETE CURB AT NEW PATIO PERIMETER. AREA OF AVAILABLE STREET PARKING.

PAINTED ACCESS AISLE. WIDTH AS DIMENSIONED ON PLAN. REFER TO DETAIL 1/A002.

EXISTING FLAG POLES TO REMAIN. NOT USED.

EXISTING CURB, GUTTER, AND SIDEWALK TO BE REMOVED AS REQUIRED FOR INSTALLATION OF ADA-COMPLIANT RAMPED CURB. REFER TO DETAIL 3/A002.

[50] NEW BIKE RACK, CAPACITY= 5 BIKES. REFER TO DETAIL

PROJECT NUMBER: 1006767 APPLICATION NUMBER:	15DRB-70032
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOP BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFIC ARE SATISFIED.	: <u>DECEMBER 11, 2014</u>
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REC CONSTRUCTION WITHIN PUBLIC RIGHT—OF—WAY OR FOR CONS PUBLIC IMPROVEMENTS.  DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	QUIRED FOR ANY
	/
Karaual MM////	4/14/15
Traffic Engineering, Transportation Division	Date
allenveta	02/09/15
ABCWUA	Date
Carel S. Dumort	02/04/15
Parks and Recreation Department	'Date'
Cute a Char	24-15
City Engineer /	Date
* Environmental Fealth Department-(conditional)	Date
70/1	1-23-15
Solid-Waste Management /	Date
Tal Class	4-16-15
DRB Chairperson, Planning Department	Date

Arrow

Mullen Heller

Architecture P.C.

924 Park Avenue SW

Albuquerque 87102

505 268 4144[p]

505 268 4244 [f]

Facility

Production

య

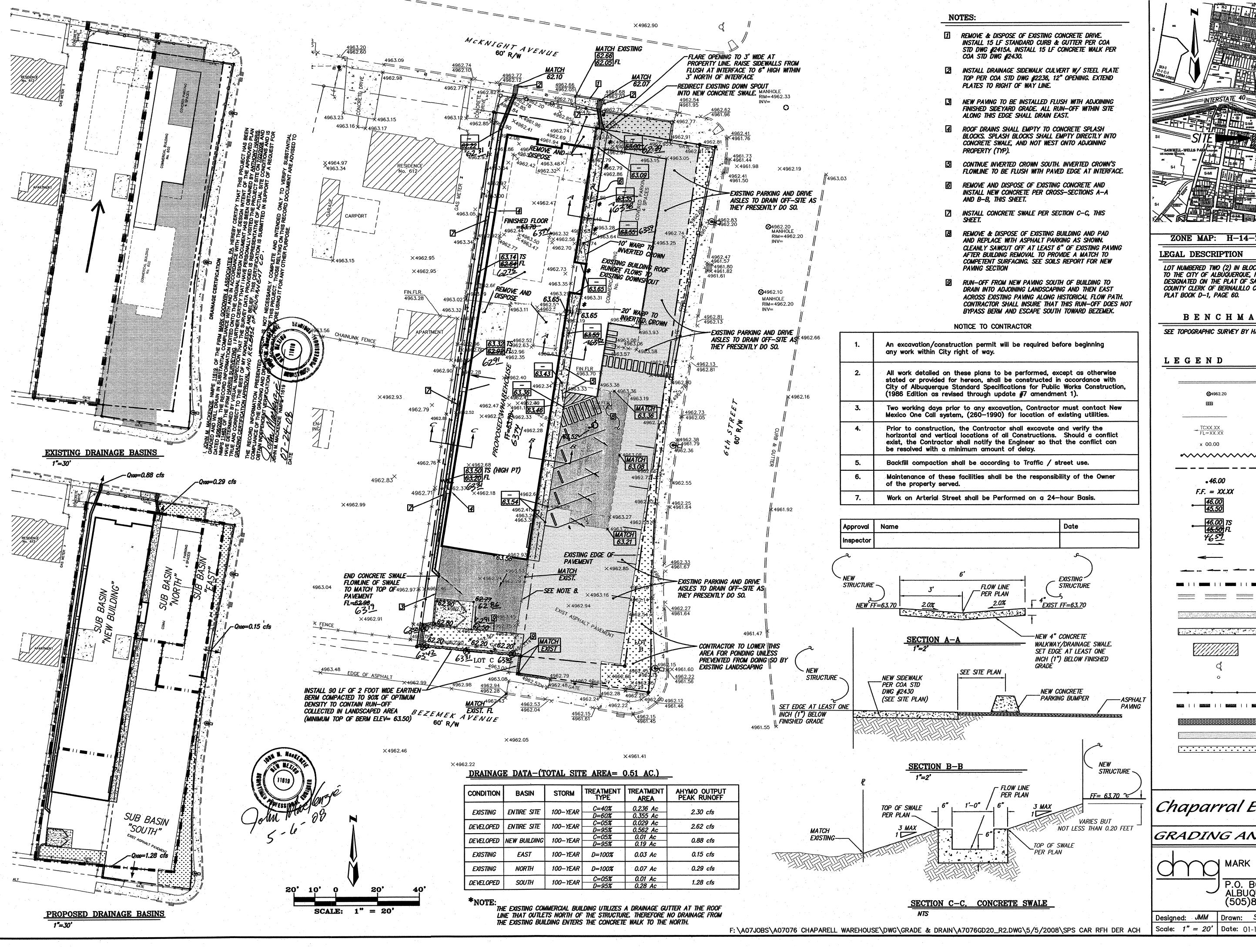
Room

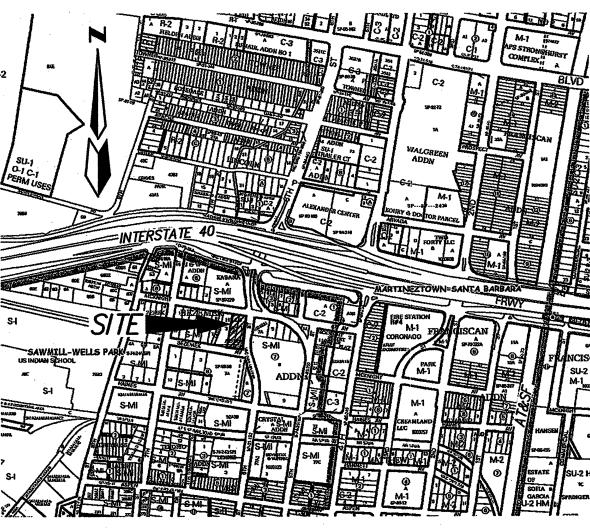
Jap

Brewing ... NW

Building

Suite B





ZONE MAP: H-14-Z SCALE: 1" =750'

#### LEGAL DESCRIPTION

LOT NUMBERED TWO (2) IN BLOCK NUMBERED TWO (2) OF THE HILL'S ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 29, 1928 IN PLAT BOOK D-1, PAGE 60.

#### BENCHMARK

SEE TOPOGRAPHIC SURVEY BY HARRIS SURVEYING

EXISTING CURB AND GUTTER EXISTING MANHOLE EXISTING DROP INLET EXISTING EDGE OF PAVEMENT EX. TOP CURB EX. FL=FLOWLINE EX. SPOT ELEVATION x 00.00 NEW WATER BREAK **\*\*\*\*\*\*** EXISTING BOUNDARY LINE PROPOSED SPOT ELEVATION FINISHED FLOOR F.F. = XX.XXPROPOSED TOP OF CURB ELEVATION PROPOSED FLOWLINE ELEVATION PROPOSED TOP OF SWALE ELEVATION PROPOSED FLOWLINE ELEVATION
AS-built elevation
SURFACE FLOW DIRECTION ROOF FLOWS DRAINAGE SWALE

NEW DRAINAGE SUB-BASIN NEW CURB AND GUTTER

> NEW PAVEMENT (SEE SOILS REPORT FOR PROPOSED DESIGN SECTION). NEW CONCRETE SURFACING

> > EXISTING FIRE HYDRANT

NEW SIDEWALK CULVERT

EXISTING PROPERTY CORNER NEW CHAINLINK FENCE

EXISTING DRAINAGE SUB-BASIN NEW 2' WIDE EARTHEN BERM

EXISTING PAVEMENT LANDSCAPE AREA

# Chaparral Electric Warehouse

#### GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS

P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: SPS Checked: DMG CIOI Scale: 1" = 20' Date: 01-15-2015 Job: A7076

SCALE: 1" = 20'-0"

LANDSCAPE PLAN

NORTH

## LANDSCAPE CALCULATIONS

1965 SF 3045 SF 5010 SF

TOTAL LOT AREA 25,786 SF 9,887 SF TOTAL BUILDING AREA NET LOT AREA 15,899 SF 15 SF LANDSCAPE REQUIREMENT 2.385 SF TOTAL LANDSCAPE REQUIRED

EXISTING LANDSCAPE

NEW LANDSCAPING NEW LANDSCAPING

THE EXISTING LANDSCAPE IS TO REMAIN AS-BUILT AND MEETS THE LANDSCAPE REQUIREMENTS.

#### LANDSCAPE LEGEND

	QTY	SIZE	CØMMON/BOTANICAL	H2O USE
	6	2" cal	Desert Willow	L+
3	5	5 Gal	Chilopsis linearis H <b>oneysuckle</b>	М
$\Delta$	12	5 Gal	Lonicera japonica Upright Rosemary	L+
*	10	5 Gal	Rosmarinus officinalis T <b>hreadgrass</b>	L+
0	12	5 Gal	Stipa tennuisima Texas Ranger	L+
$\odot$	18	5 Gal	Leucophyllum frutescens Apache Plume	L
$\circ$	19	5 Gal	Fallugia paradoxa Chamisa	L
	6	BOULDE	Chrysothamnus nauseous RS, 2-3 cf, MOSS ROCK, typ.	5
		LANDSC	APE GRAVEL OR FINES, OBTA	IN OWNER'S API

### LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have 1.0 gpm bubbler and shrubs shall have a minimum of (2) 1.0 gph emitters per shrub.

Trees and shrubs shall be zoned seperately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction. It shall be the responsibility of the Landscape Contractor for any Required Permits, Backflow Prevention Compliance, Zoning Regulations, Inspections, Plumbing Codes, Approvals, Etc. required by the governing authority having jurisdicition over the project site.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

Mitchell Associates, LLC
Landscape Architects
3150 Carlisle NE \*112
Albuquerque, NM 871110

(505) 830-6096

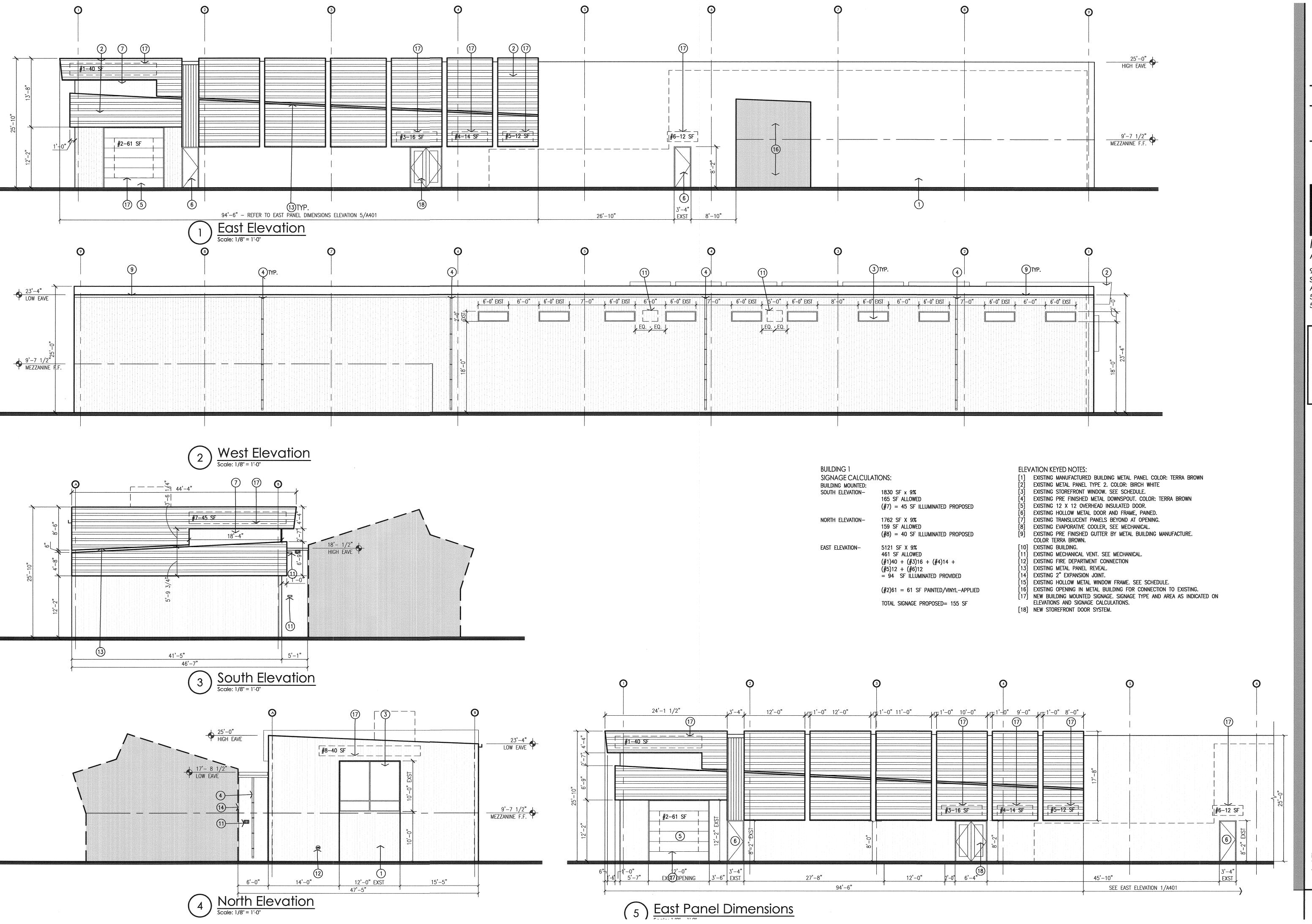
danny@mitchellassociatesllc.com



Mullen Heller Architecture P.C.

924 Park Avenue SW Albuquerque,NM 87102 505 268 4144[p] 505 268 4244 [f]

L001



rev date by revision

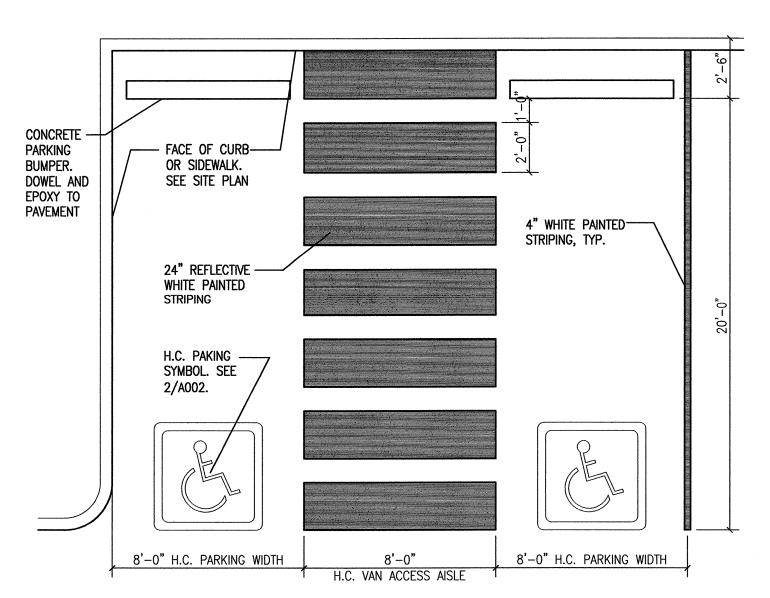
Mullen Heller Architecture P.C.

924 Park Avenue SW Suite B Albuquerque 87102 505 268 4144[p] 505 268 4244 [f]

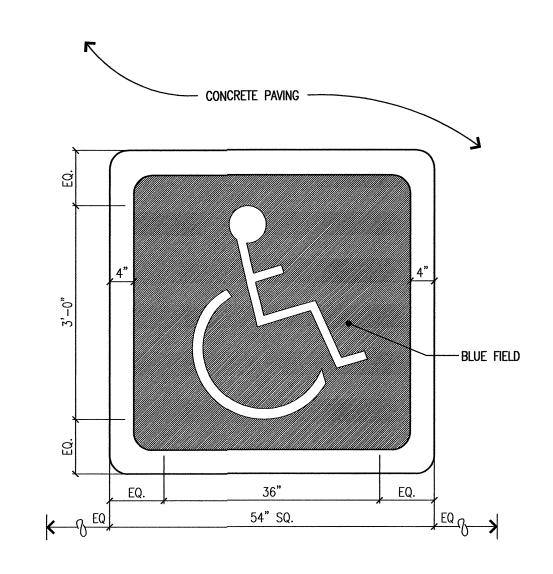
job number 14-27
drawn by SEJ
project manager Doug Heller, AIA
date DRB UPDATE 01-15-2015

Tap Room & Production Facility

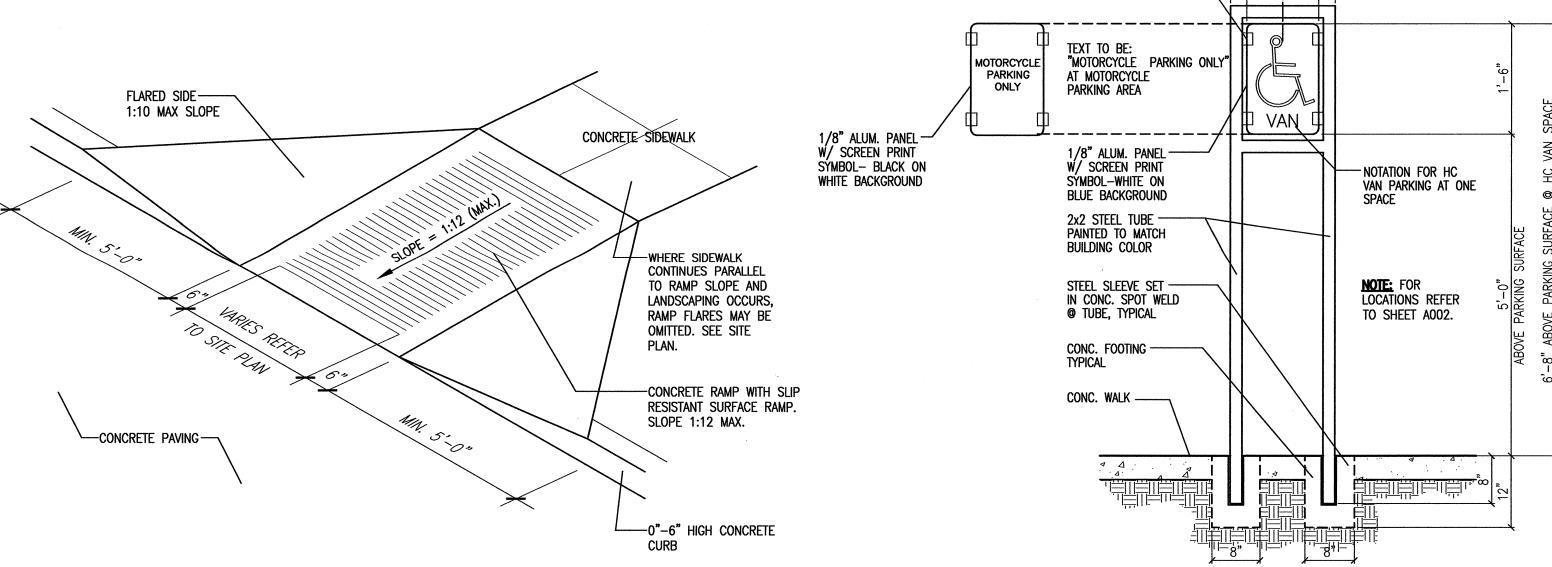
Bow & Arrow Brewing Tap Roor 608 McKnight Ave. NW Albuquerque, New Mexico



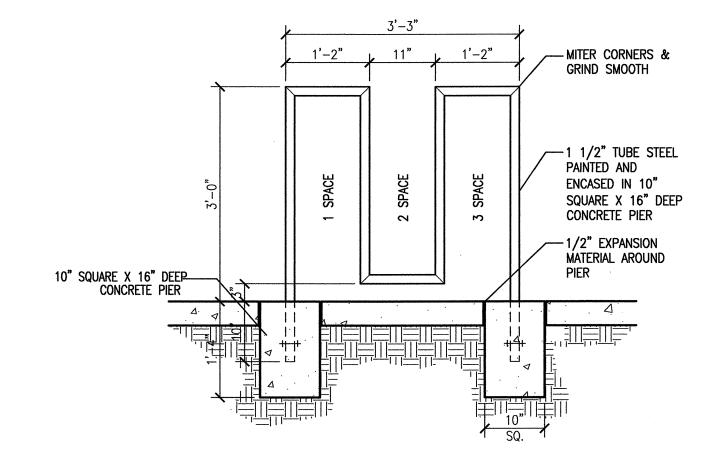




2) HC Pavement Sign Detail
Scale: 3/4"=1"-0"



3 H.C. Ramp Detail with Flare
Scale: Not To Scale (Isometric)



5 Bicycle Rack Detail
Scale: 3/4"=1'-0"

