



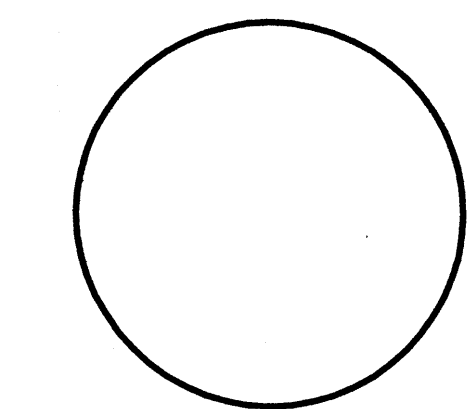
CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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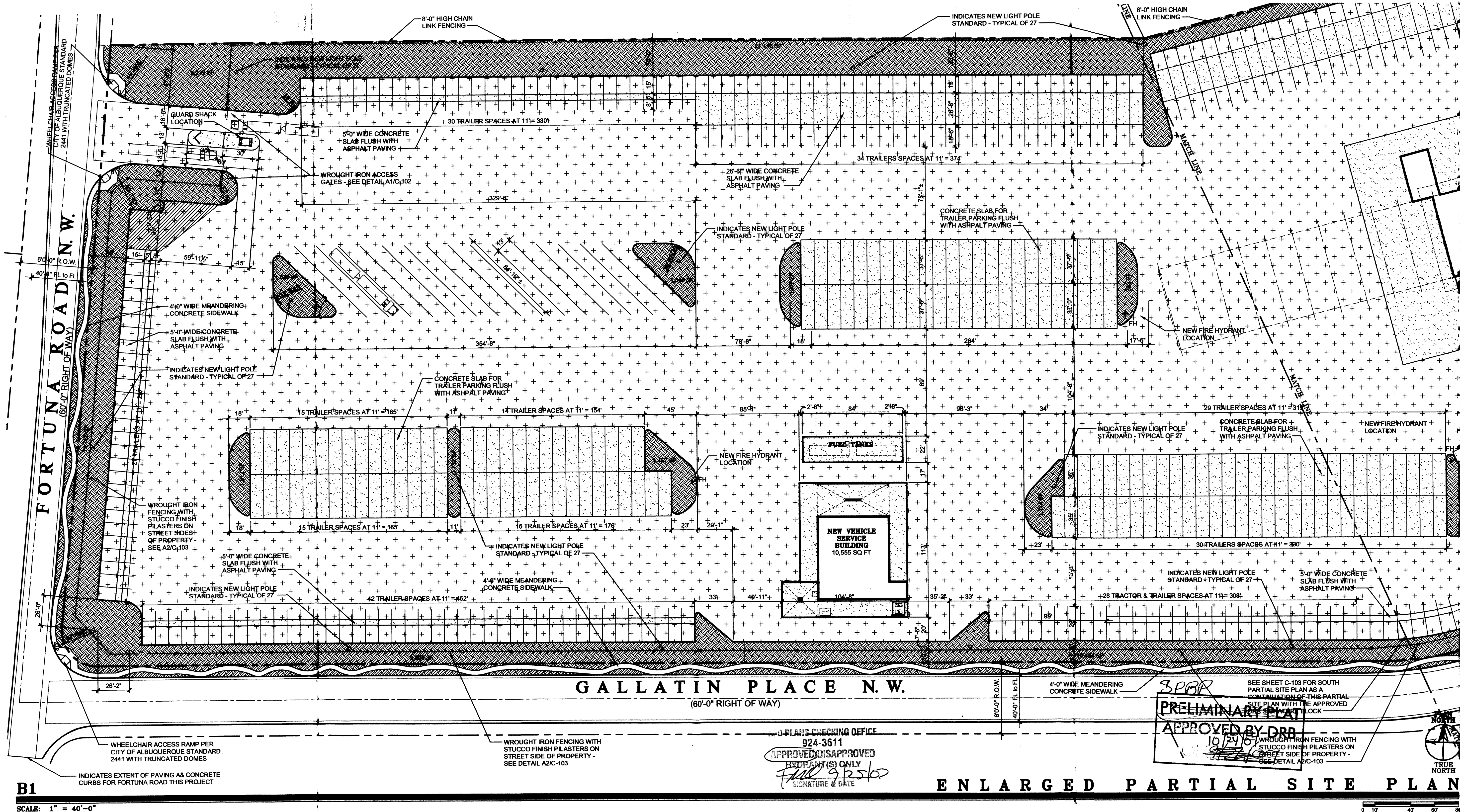
PROFESSIONAL SEAL



FEDEX FREIGHT ALBUQUERQUE

SERVICE AND DISTRIBUTION CENTER

7601 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO



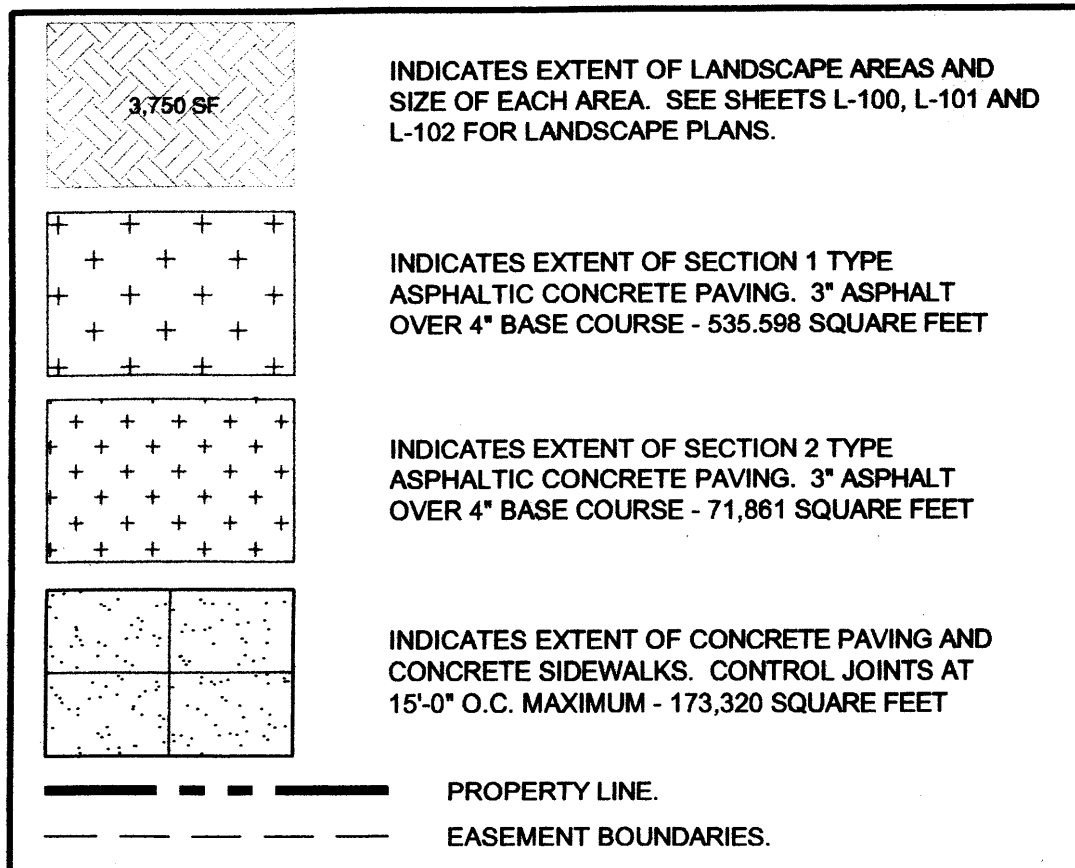
B1
SCALE: 1" = 40'-0"

APPROVED BY DRB
10/24/07
9/25/07
SIGNATURE & DATE

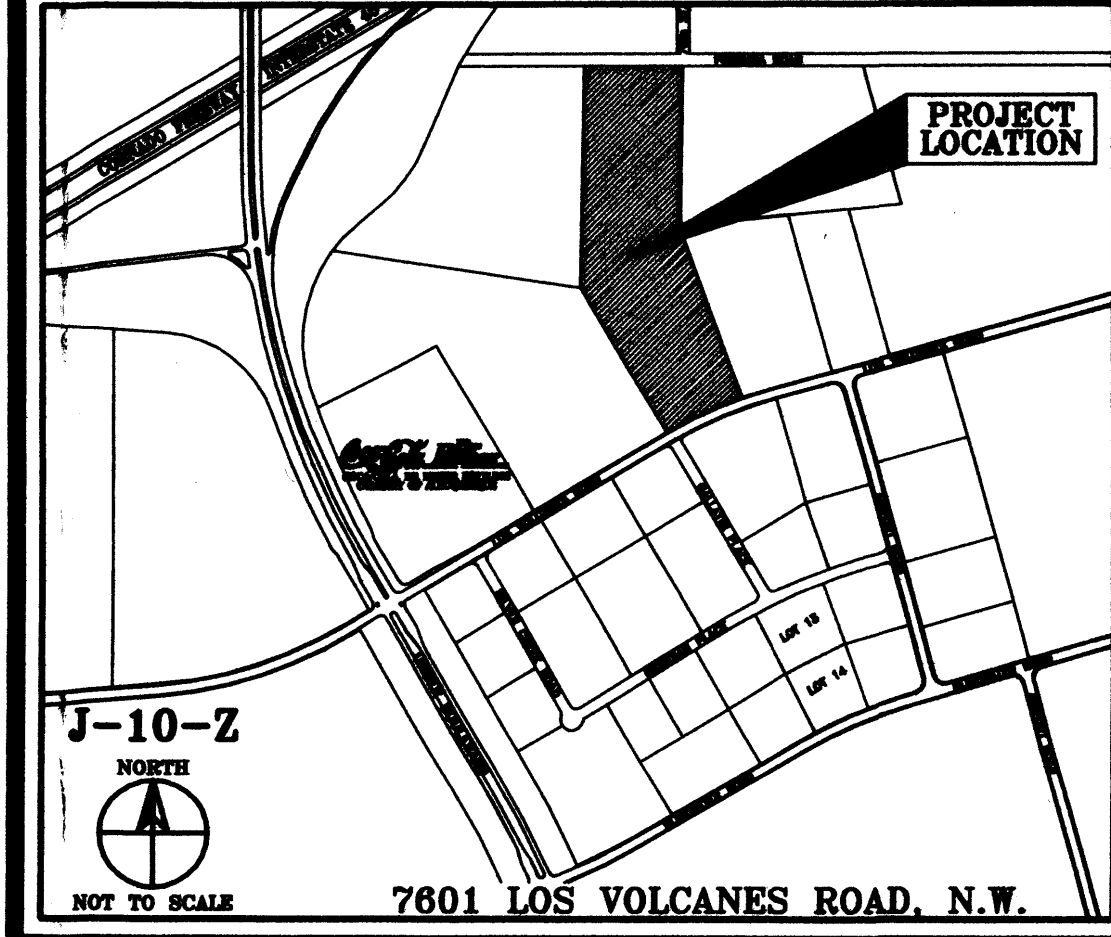
PRELIMINARY PLAN
APPROVED BY DRB
10/24/07

ENLARGED PARTIAL SITE PLAN

SITE PLAN LEGEND



VICINITY MAP



PROJECT INFORMATION

PROJECT: FEDERAL EXPRESS - FEDEX FREIGHT ALBUQUERQUE SERVICE AND DISTRIBUTION CENTER
LOCATION: 7601 LOS VOLCANES ROAD, N.W. ALBUQUERQUE, NEW MEXICO
OWNER: BRUNACINI DEVELOPMENT COMPANY, LTD. 7400 MERIDIAN PLACE, N.W. ALBUQUERQUE, NEW MEXICO
ARCHITECT: CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION: TRACT C, MERIDIAN BUSINESS PARK PHASE II
UNIFORM PROPERTY CODE: 101005813511530103
ZONING ATLAS MAP: J-10-Z
CURRENT ZONING CLASSIFICATION: IP, INDUSTRIAL PARK ZONE
PROPOSED ZONING CLASSIFICATION: NO CHANGE - IP, INDUSTRIAL PARK ZONE
BUILDING FUNCTION: NEW OFFICE WAREHOUSE DISTRIBUTION CENTER WITH VEHICLE SERVICE BUILDING
CONSTRUCTION TYPE: TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM
TOTAL BUILDING AREA:
OFFICE WAREHOUSE: OFFICE AREA = 5,380 SQUARE FEET WAREHOUSE = 26,296 SQUARE FEET TOTAL BUILDING AREA = 31,676 SQUARE FEET TOTAL BUILDING & ROOFED AREA = 40,162 SQUARE FEET
SERVICE BUILDING: TOTAL BUILDING & WORK AREA = 10,555 SQUARE FEET TOTAL BUILDING & ROOFED AREA = 10,773 SQUARE FEET

PROJECT INFORMATION

TOTAL LOT AREA: 976,759 SQUARE FEET, 22.4233 ACRES
NET LOT AREA: TOTAL LOT AREA = 976,759 SQUARE FEET MINUS TOTAL BUILDING AREA = 42,230 SQUARE FEET MINUS ROAD LANDSCAPING = 15,017 SQUARE FEET TOTAL NET LOT AREA = 919,512 SQUARE FEET
TOTAL PARKING/PAVED AREA: 780,779 SQ FT
TOTAL LANDSCAPE AREA REQUIRED: 137,930 SQ FT
TOTAL LANDSCAPE AREA PROVIDED: 137,930 SQ FT
PERCENTAGE OF SITE LANDSCAPED: 14.12 %
LANDSCAPE TO PARKING AREA RATIO: 1 TO 5.6607
PARKING ANALYSIS:
OFFICE & SERVICE AREA = 15,935 / 200 = 79,615 PARKING SPACES
WAREHOUSE AREA = 26,295 / 2000 = 13,1475 PARKING SPACES
TOTAL = 92,762 PARKING SPACES
TOTAL PARKING SPACES REQUIRED = 93 PARKING SPACES
TOTAL PARKING SPACES PROVIDED = 209 PARKING SPACES
INCLUDES 10 ACCESSIBLE PARKING SPACES - 6 REGULAR CAR ACCESSIBLE AND 4 VAN ACCESSIBLE - ADDITIONALLY 4 MOTORCYCLE PARKING SPACES
PARKING SPACE SIZES: 9'-0" WIDE x 18'-2" LONG WITH 2'-0" OVERHANG
BICYCLE SPACES: 93 PARKING SPACES / 30 = 4.65 BICYCLE SPACES
TOTAL BICYCLE SPACES REQUIRED = 5 BICYCLE SPACES
TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES (4 BIKES PER BIKE RACK)
SITE LIGHTING:
NEW SITE AREA LIGHTS SHALL BE POLE MOUNTED AND LIGHT PARKING & TRUCK AREAS WITHOUT SHINING ONTO ADJACENT SITES. STREET LIGHTS - 30'-0" TO 40'-0" ABOVE ROADWAY, PARKING LIGHTS - 20'-0" TO 30'-0" ABOVE PARKING LOT, AREA LIGHTING - 10'-0" TO 15'-0" ABOVE GRADE
CITY REFERENCE NUMBERS: Z-92-57

SIGNATURE BLOCK

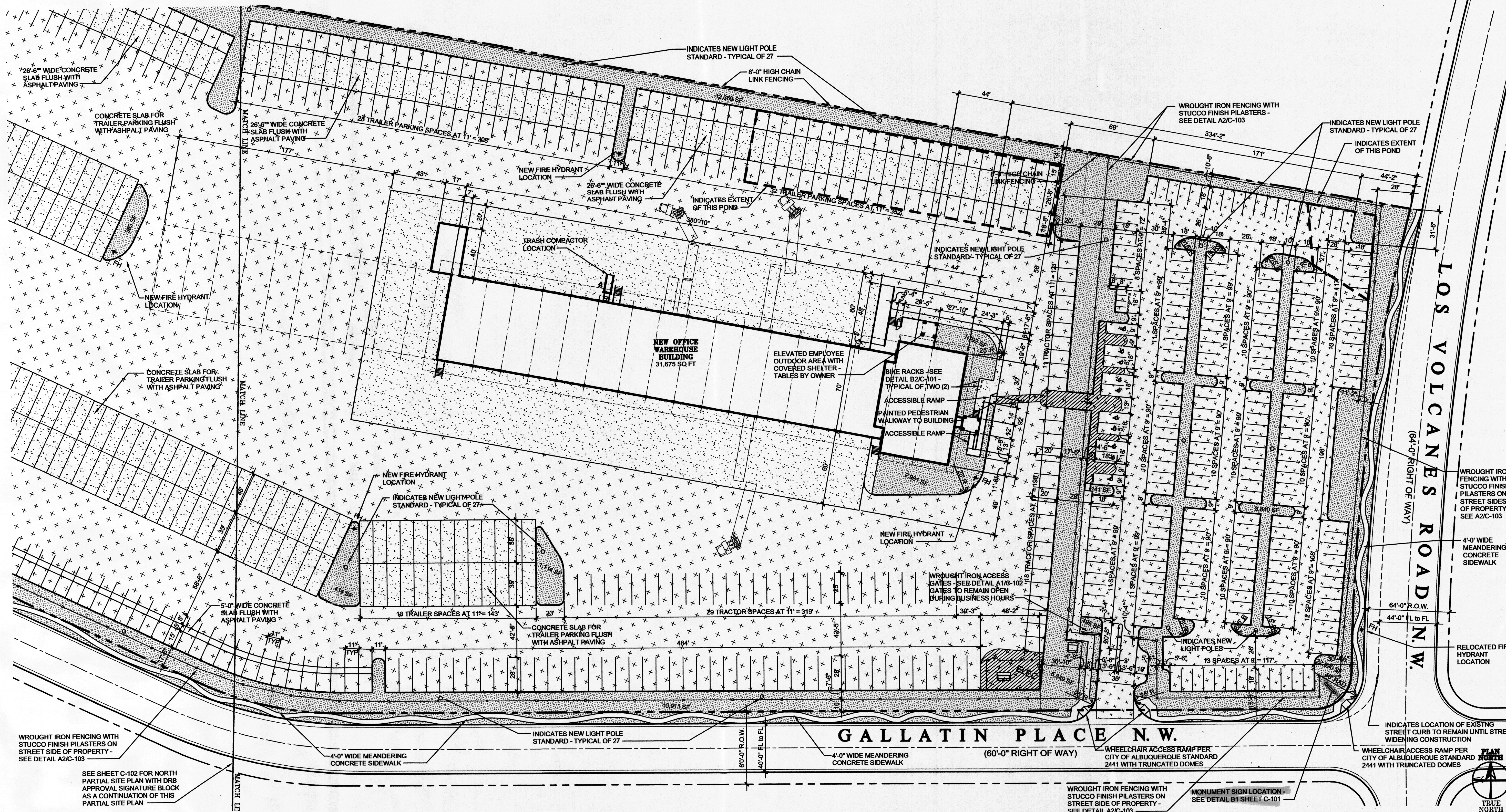
PROJECT NUMBER: 1006801	
APPLICATION CASE NUMBER: 07DRB-70240	
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO, IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
Michael Holton (computer)	9/25/07
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 07305
DRAWING FILE: FEDEX-ATRISCO-C102-ESDP
DRAWN BY: SMF
CHECK BY: XXX
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
DATE: SEPTEMBER 18, 2007

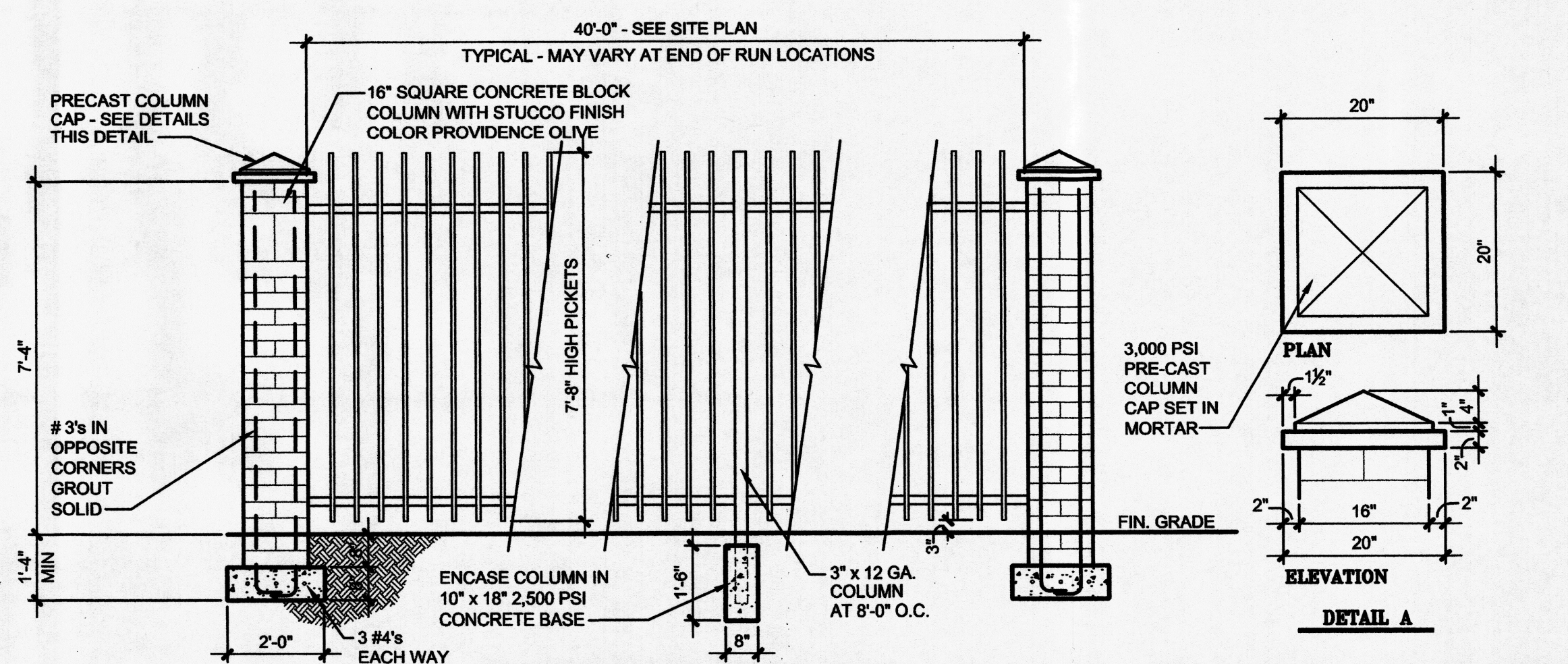
SHEET TITLE
ENLARGED PARTIAL SITE PLAN

SHEET NUMBER
C-102



B1 ENLARGED PARTIAL SITE PLAN

SCALE: 1" = 40'-0"



A2 WROUGHT IRON FENCE AND PILASTER DETAILS

SCALE: 3/8" = 1'-0"

SITE PLAN LEGEND

	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA - SEE SHEETS L-100, L-101 AND L-102 FOR LANDSCAPE PLANS.
	INDICATES EXTENT OF SECTION 1 TYPE ASPHALTIC CONCRETE PAVING. 3" ASPHALT OVER 4" BASE COURSE - 535,598 SQUARE FEET
	INDICATES EXTENT OF SECTION 2 TYPE ASPHALTIC CONCRETE PAVING. 3" ASPHALT OVER 4" BASE COURSE - 71,881 SQUARE FEET
	INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AT 15'-0" O.C. MAXIMUM - 173,320 SQUARE FEET
	PROPERTY LINE.
	EASEMENT BOUNDARIES.

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SERVICE AND DISTRIBUTION CENTER

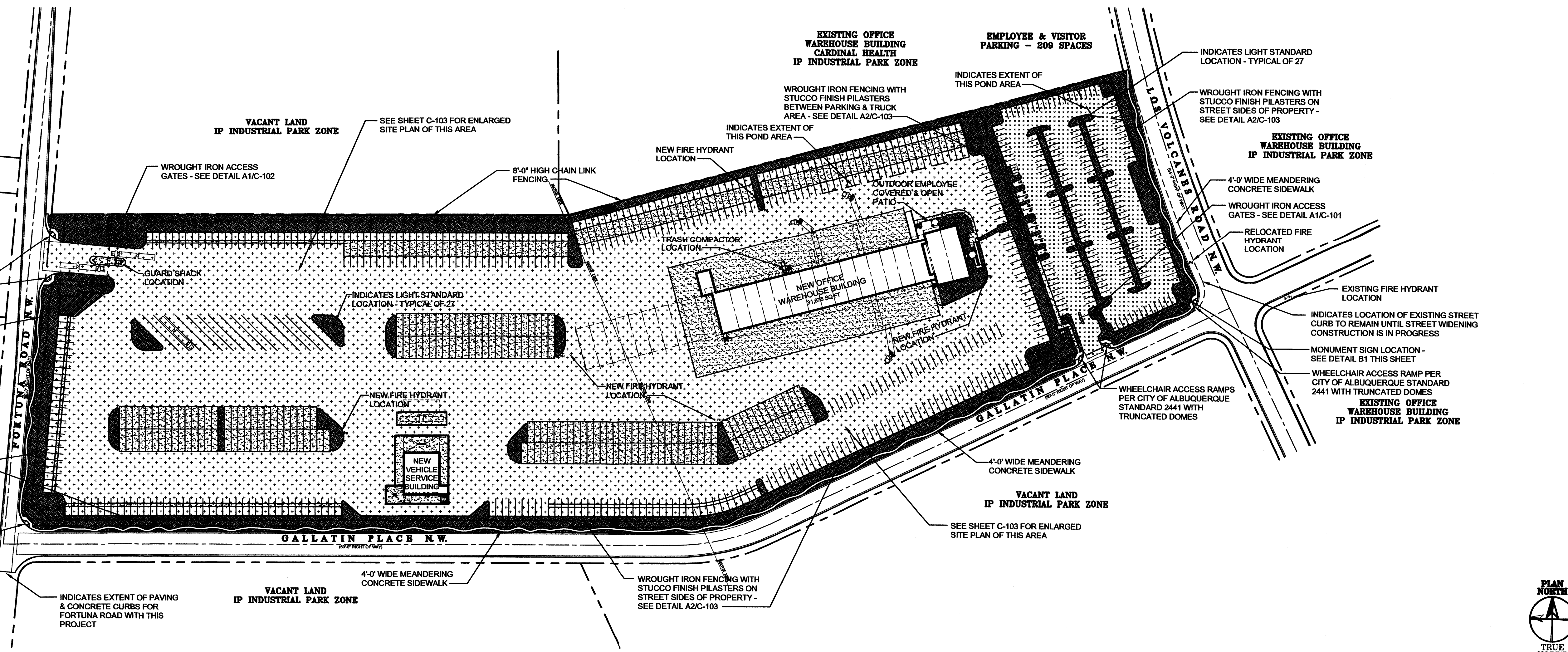
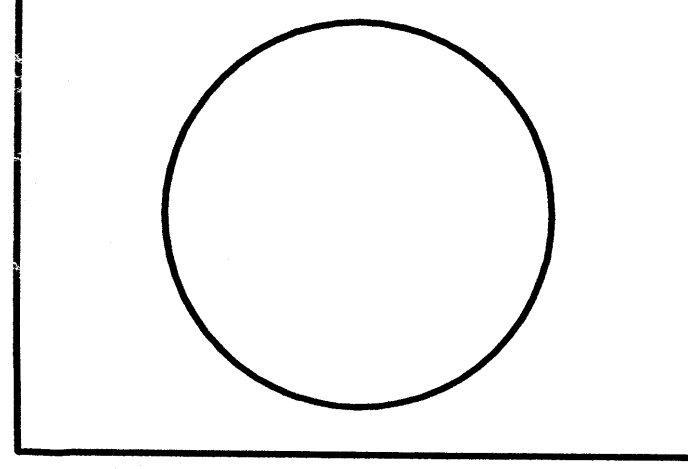
7601 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

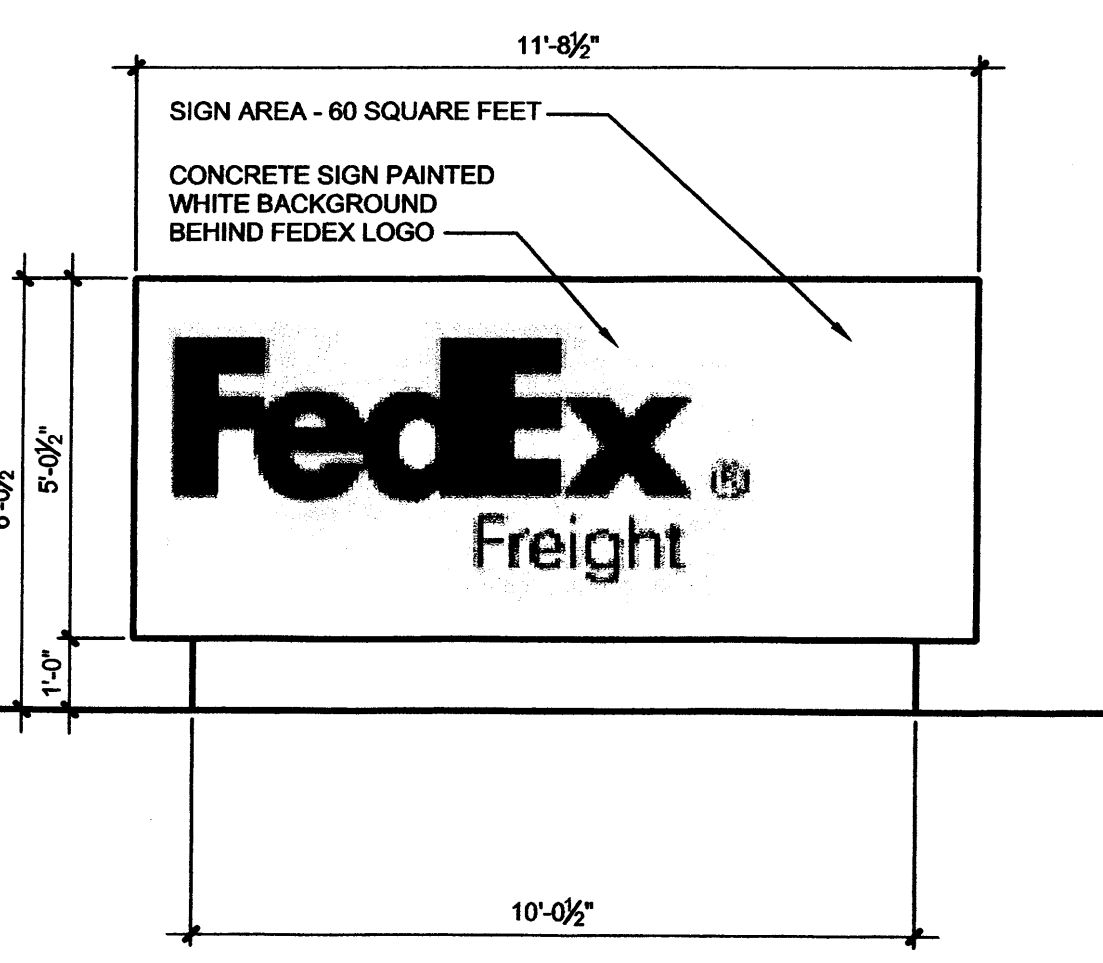
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DRAWING FILE: FEDEX-ATRISCO-C103-ESDP
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DATE: SEPTEMBER 18, 2007

SHEET TITLE
ENLARGED PARTIAL SITE PLAN

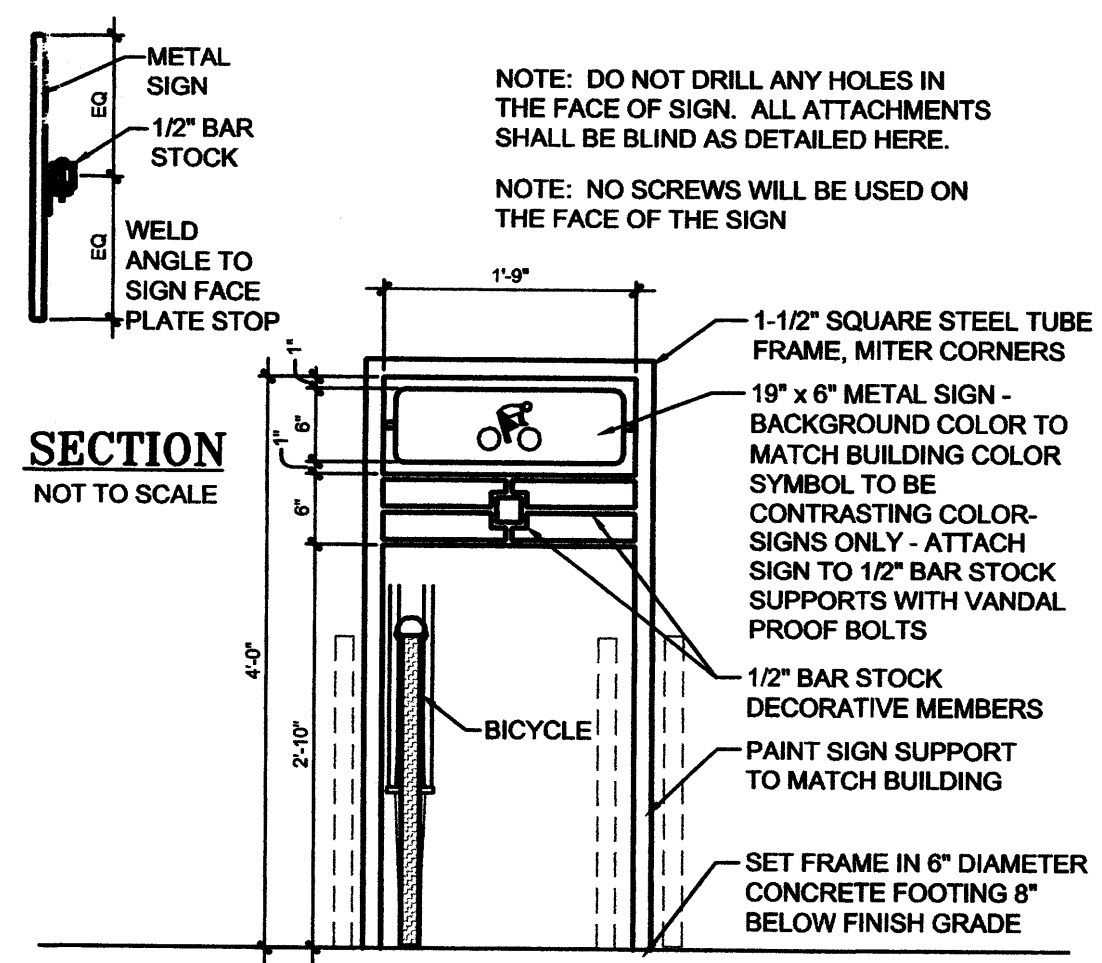
SHEET NUMBER
C-103



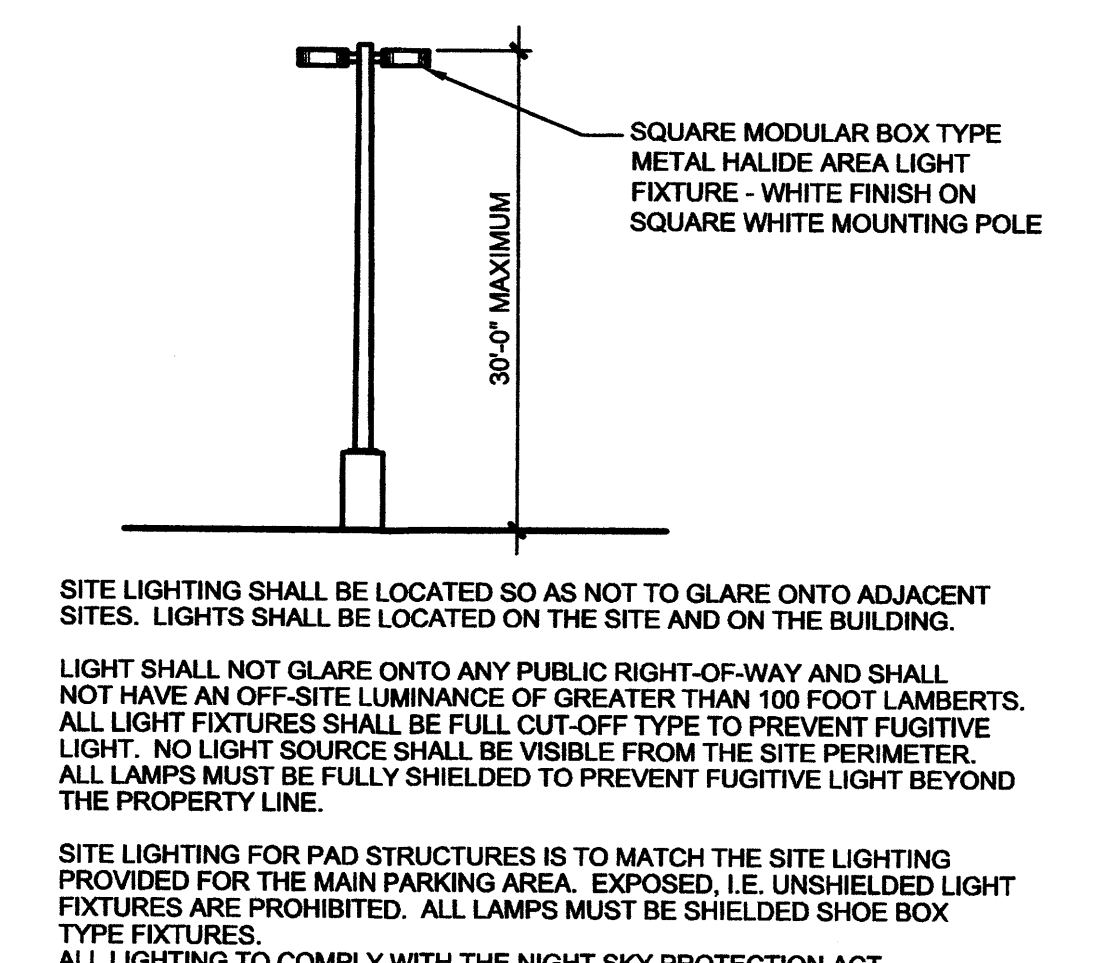
C1 SCALE: 1" = 100'-0" **MASTER SITE PLAN**



B1 MONUMENT SIGN
SCALE: 3/8" = 1'-0"

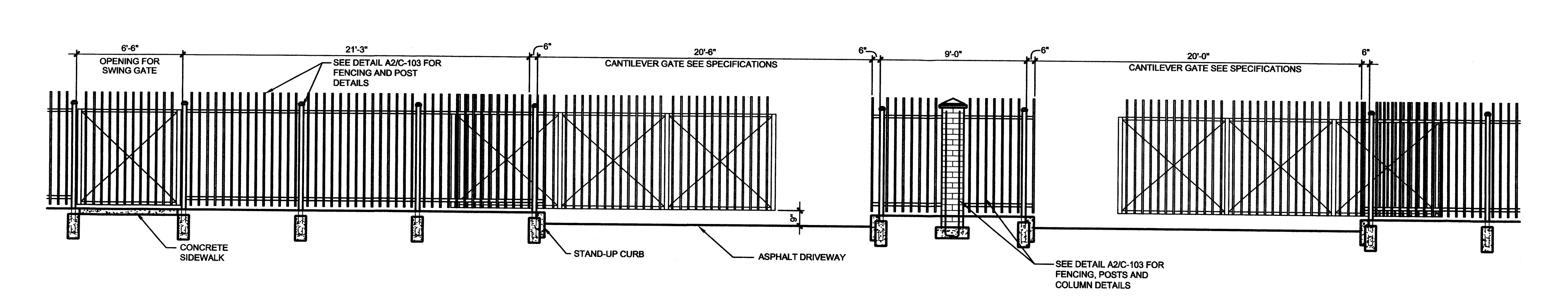


B2 BIKE RACK
SCALE: 3/4" = 1'-0"



B3 EXTERIOR POLE LIGHT
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE METES AND BOUNDS DESCRIPTION.
 - THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION OR DEMOLITION.
 - ALL WORK WITHIN THE RIGHT OF WAY SHALL MEET CITY OF ALBUQUERQUE STANDARDS.
 - THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR ARCHITECTURAL AND BUILDING CODE PURPOSES ONLY.
 - TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3'-0" FROM ANY EXISTING OR NEW UNDERGROUND UTILITY LINES.
 - ALL NEW FIRE HYDRANTS SHALL BE OPERATING PRIOR TO THE BEGINNING OF CONSTRUCTION.



A1 WROUGHT IRON CANTILEVER GATES AT MAIN DRIVEWAY
SCALE: 1/4" = 1'-0"

SITE PLAN LEGEND

- INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA. SEE SHEETS L-100, L-101 AND L-102 FOR LANDSCAPE PLANS.
- INDICATES EXTENT OF SECTION 1 TYPE ASPHALTIC CONCRETE PAVING. 3" ASPHALT OVER 4" BASE COURSE - 535,598 SQUARE FEET
- INDICATES EXTENT OF SECTION 2 TYPE ASPHALTIC CONCRETE PAVING. 3" ASPHALT OVER 4" BASE COURSE - 71,861 SQUARE FEET
- INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AT 15'-0" O.C. MAXIMUM - 173,320 SQUARE FEET
- PROPERTY LINE.
- EASEMENT BOUNDARIES.

MARK	DATE	DESCRIPTION

PROJECT NUMBER:	07305
DRAWING FILE:	FEDEX-ATRISCO-C101-SDP
DRAWN BY:	SMF
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DATE:	SEPTEMBER 18, 2007

SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER
C-101

TRACT D
 MERIDIAN
 BUSINESS PARK II

LOT 2
 ATRISCO BUSINESS
 PARK UNIT 2

TRACT B
 MERIDIAN
 BUSINESS PARK II

TRACT A

GALVATIN PL NW



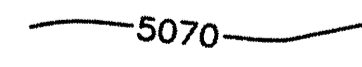
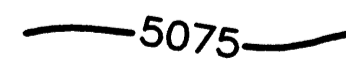
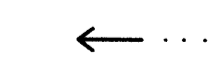

TYPE "D" INLET
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 INV = 09.5

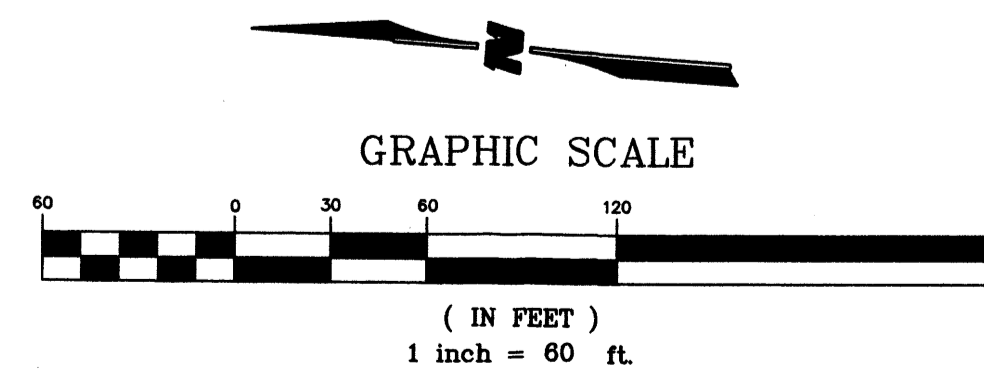
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 TOG = 14.0
 INV = 09.5

FF = 5120.1

FF = 5138.0

LEGEND

- | | | | |
|---|-------------------------------|---|-------------------------------|
|  | EXISTING INTERMEDIATE CONTOUR |  | PROPOSED INTERMEDIATE CONTOUR |
|  | EXISTING INDEX CONTOUR |  | PROPOSED INDEX CONTOUR |
| | |  | SWALE |
| | |  | FLOW ARROW |



WCI 0760004400
 AUG 2007

WILSON & COMPANY
 4900 LANG AVE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000



FedEx.
 Freight

FEDEX FREIGHT ALBUQUERQUE
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**PRELIMINARY GRADING
 PLAN**

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	KIS	WCI NO. 0760004400	DATE	AUG 2007
DRAWN	OBR	Zone Map No.	SHEET NO.	
CHECK	KIS	J-10	1	1

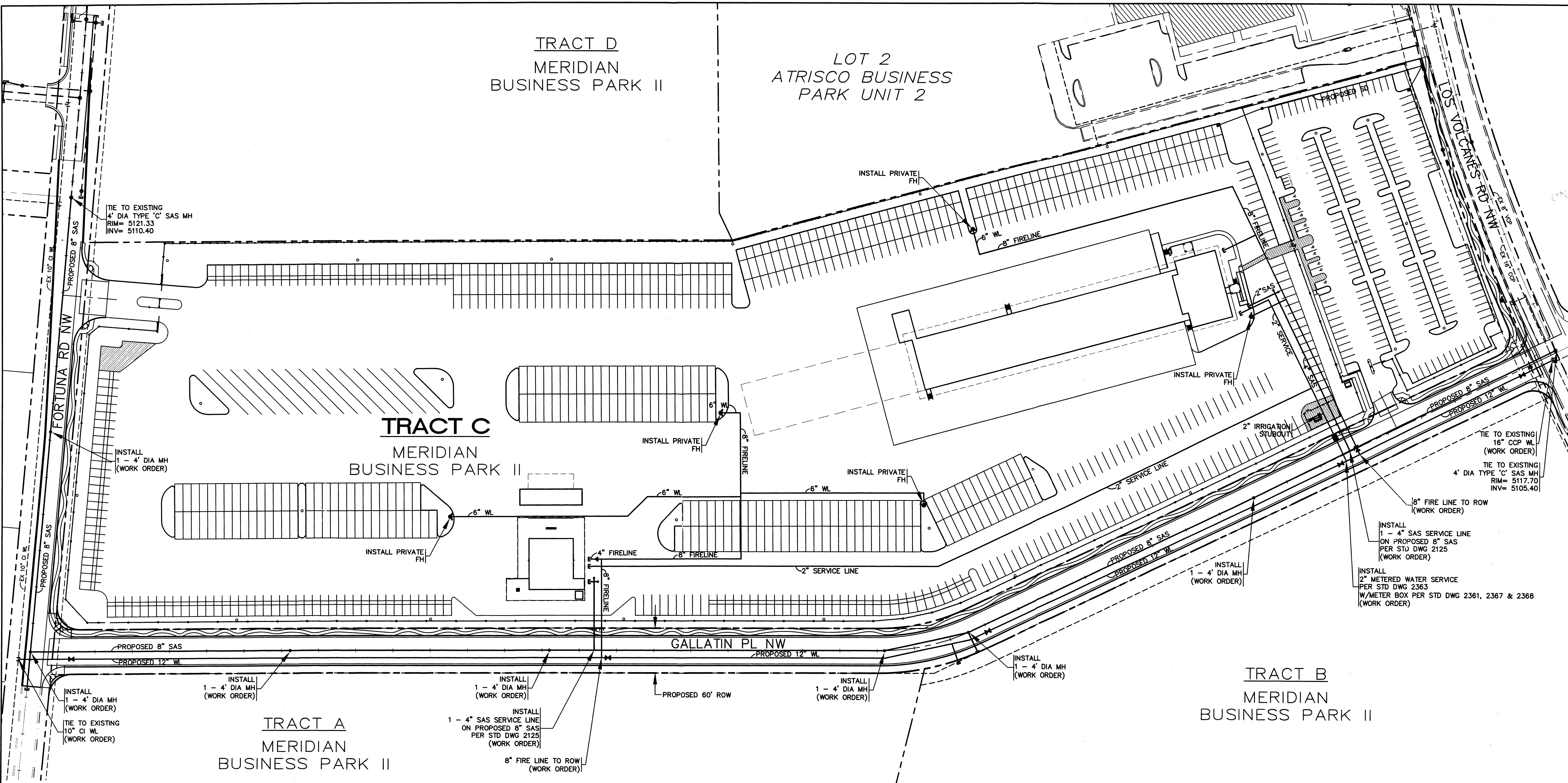
TRACT D
MERIDIAN
BUSINESS PARK II

LOT 2
ATRISCO BUSINESS
PARK UNIT 2

TRACT C
MERIDIAN
BUSINESS PARK II

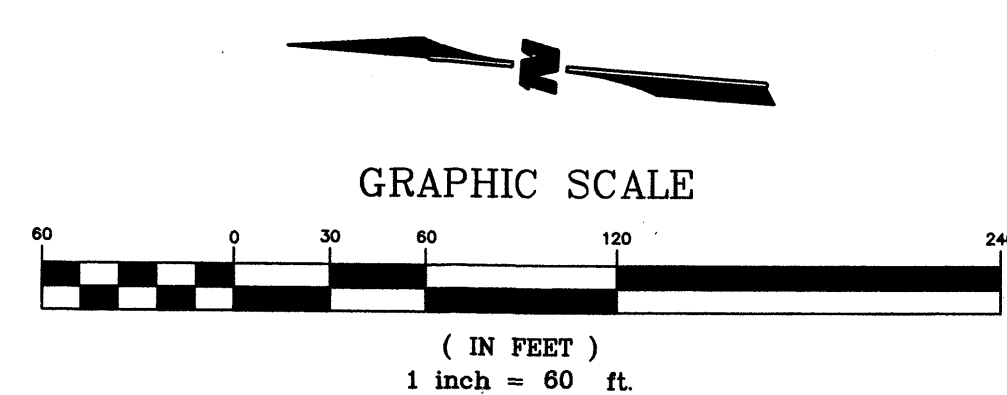
TRACT B
MERIDIAN
BUSINESS PARK II

TRACT A
MERIDIAN
BUSINESS PARK II



LEGEND

- 8" SAS --- EXISTING SANITARY SEWER
- 4" WL --- EXISTING WATER LINE
- ⊙ EXISTING SEWER MANHOLE



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4900 LANG AVE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000

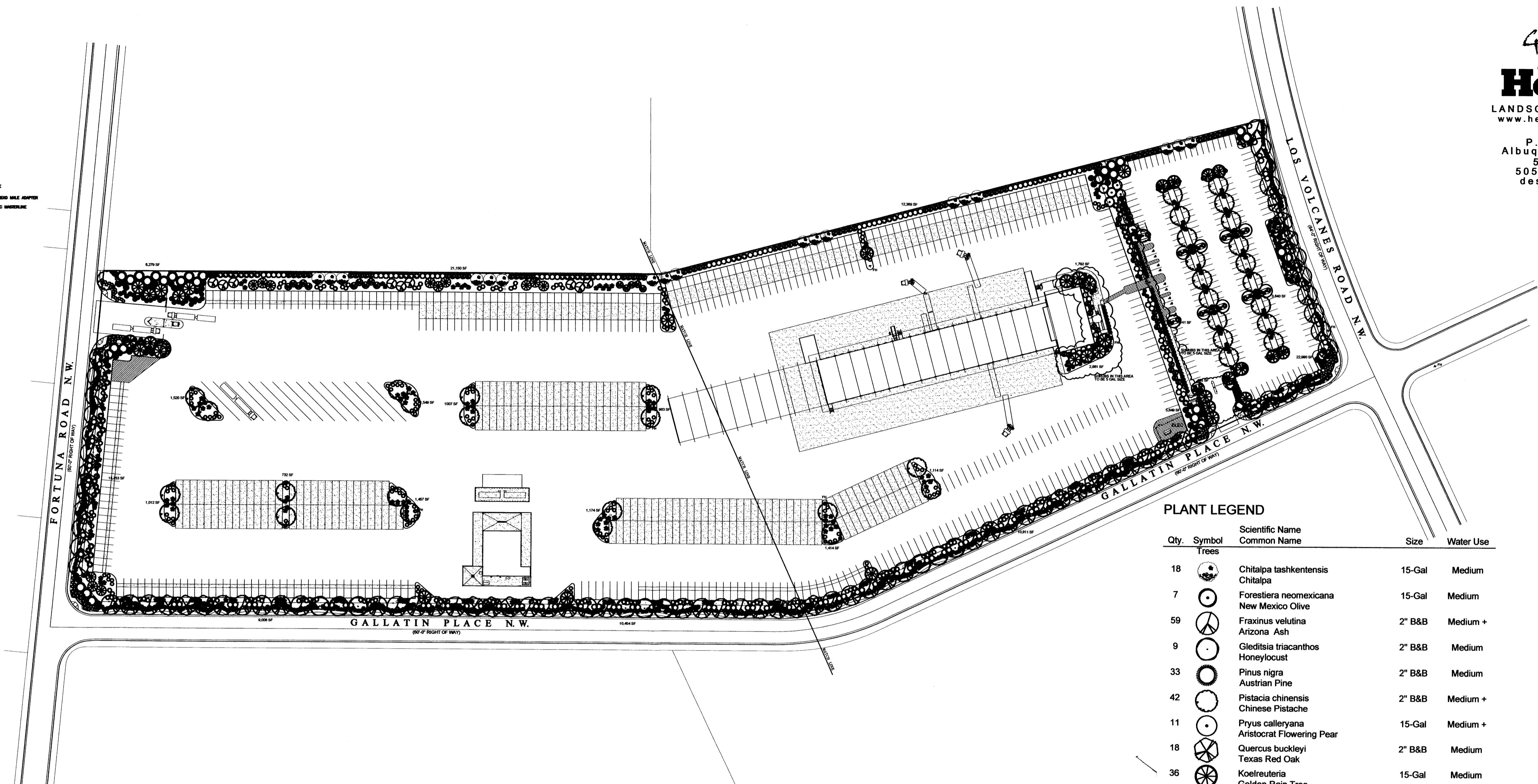
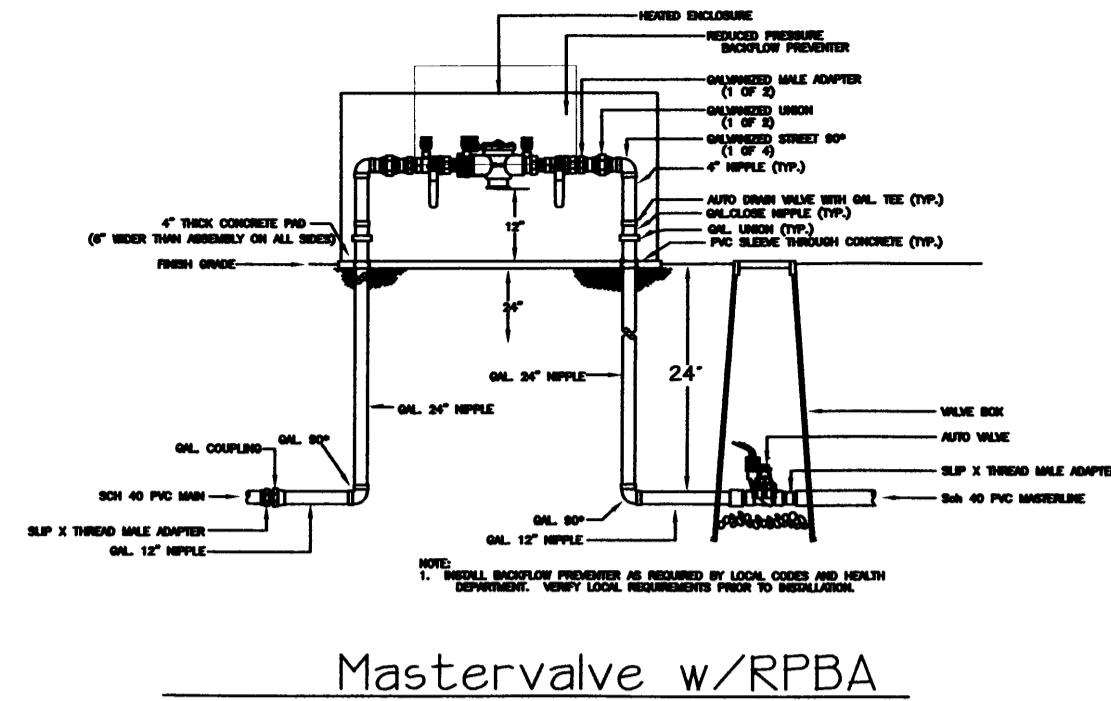
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**CONCEPTUAL UTILITY
PLAN**

REVISIONS	NO.	DATE	REMARKS	BY

DESIGN	KIS	WCI NO. 0760004400	DATE	SEPT 2007
DRAWN	OBR	Zone Map No.	SHEET NO.	
CHECK	KIS	J-10	1 OF 1	



SITE DATA

GROSS LOT AREA	976,759 SF
LESS BUILDING(S)	42,230 SF
LESS R.O.W. LANDSCAPE	15,017 SF
NET LOT AREA	919,512 SF
REQUIRED LANDSCAPE	137,926 SF
15% OF NET LOT AREA	137,930 SF
PROPOSED LANDSCAPE	137,930 SF
PERCENT OF NET LOT AREA	15%
REQUIRED 2" CAL STREET TREES	93
PROVIDED AT 30' O.C. SPACING ALONG STREET	93
REQUIRED 2" CAL PARKING LOT TREES	21
PROVIDED AT 1 PER 10 SPACES (209 SPACES/10)	21
TOTAL REQUIRED 2" CAL TREES	114
TOTAL PROVIDED 2" CAL TREES	161

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
18	(Symbol)	Chitalpa tashkentensis Chitalpa	15-Gal	Medium
7	(Symbol)	Forestiera neomexicana New Mexico Olive	15-Gal	Medium
59	(Symbol)	Fraxinus velutina Arizona Ash	2" B&B	Medium +
9	(Symbol)	Gleditsia triacanthos Honeylocust	2" B&B	Medium
33	(Symbol)	Pinus nigra Austrian Pine	2" B&B	Medium
42	(Symbol)	Pistacia chinensis Chinese Pistache	2" B&B	Medium +
11	(Symbol)	Pryus calleryana Aristocrat Flowering Pear	15-Gal	Medium +
18	(Symbol)	Quercus buckleyi Texas Red Oak	2" B&B	Medium
36	(Symbol)	Koelreuteria Golden Rain Tree	15-Gal	Medium
15	(Symbol)	Caesalpinia Bird of Paradise	5-Gal	Low
9	(Symbol)	Chilopsis Desert Willow	5-Gal	Medium
12	(Symbol)	Vitex Chaste Tree	5-Gal	Medium
Shrubs/Groundcovers				
80	(Symbol)	Buddleia davidii Butterfly Bush	1-5-Gal	Medium
304	(Symbol)	Caryopteris clandonensis Blue Mist	1-5-Gal	Medium
92	(Symbol)	Cotoneaster parneyi Clusterberry	1-5-Gal	Low +
69	(Symbol)	Ericameria laricifolia 'Aguirre' Turpentine Bush	1-5-Gal	Low+
217	(Symbol)	Hesperaloe parviflora Red Yucca	1-5-Gal	Low+
50	(Symbol)	Baccharis pilularis Dwarf Coyote Brush	1-5-Gal	Low +
93	(Symbol)	Lavandula angustifolia English Lavender	1-5-Gal	Low
54	(Symbol)	Cornus Red Twig Dogwood	1-5-Gal	Medium+
124	(Symbol)	Vauquelinia Arizona Rosewood	1-5-Gal	Low +
46	(Symbol)	Prunus besseyi Western Sand Cherry	1-5-Gal	Medium
58	(Symbol)	Rhus trilobata Three-leaf Sumac	1-5-Gal	Low+
14	(Symbol)	Rosmarinus officinalis Rosemary	1-5-Gal	Low +
171	(Symbol)	Fallugia Apache Plume	1-5-Gal	Low+
111	(Symbol)	Rhus Gro Low Sumac	1-5-Gal	Low +
Ornamental Grasses				
74	(Symbol)	Calamagrostis acutiflora Karl Foerster Grass	1-5-Gal	Medium
190	(Symbol)	Miscanthus sinensis 'Gracillimus' Maiden Grass	1-5-Gal	Medium

Growing Better Heads Up
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com
 P.O. BOX 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulc.com

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MARK	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	10/1/07	-
-	9/24/07	-

PROJECT NUMBER: 07305
 DRAWING FILE: FEDEX-ATRISCO-C-102-ESP
 DRAWN BY: JC
 CHECK BY: MS
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
 DATE: AUGUST 24, 2007

SHEET TITLE
LANDSCAPE SITE PLAN

SHEET NUMBER
L-100

L1

SCALE 1" = 100'-0"

MASTER LANDSCAPE PLAN



J:\albf\albf_Ground\Fedex-atrisco-L1.dwg, 10/1/2007 8:55:27 AM, Jc

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 505.898.9615
 505.898.2105 (fax)
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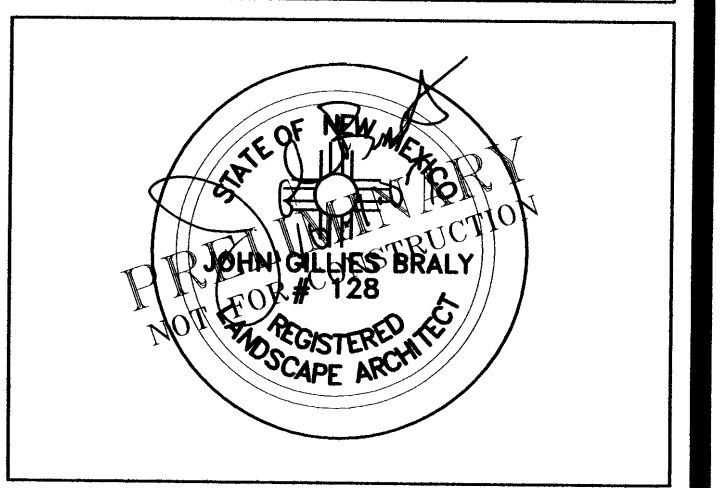
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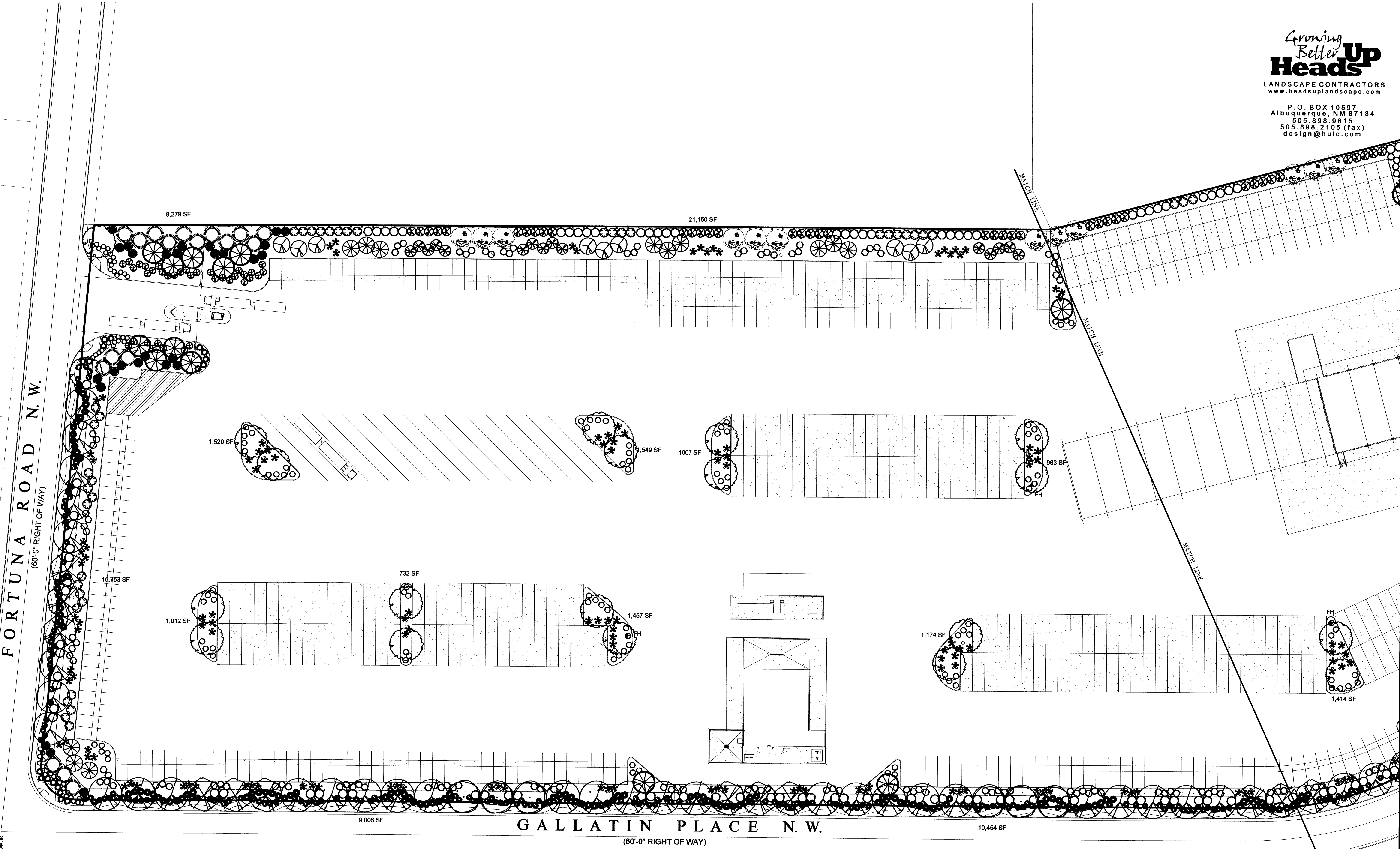
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 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
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-	9/24/07	-

PROJECT NUMBER: 07305
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 CHECK BY: XXX
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 DATE: AUGUST 2, 2007

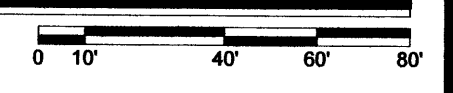
SHEET TITLE
ENLARGED PARTIAL LANDSCAPE PLAN

SHEET NUMBER
L-101



L2
 SCALE: 1" = 40'-0"

ENLARGED PARTIAL LANDSCAPE PLAN



J:\Jobs\FEDEX Groundwater\atrisco-102-2007.dwg, 10/10/2007 8:52:32 AM, JF

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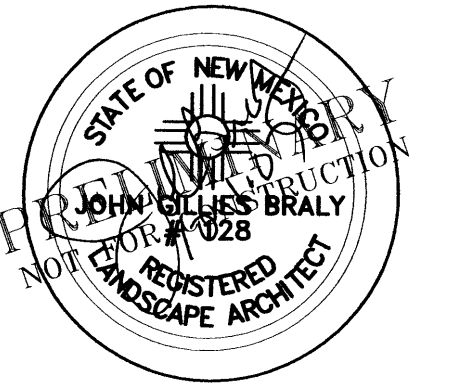
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 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

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FEDEX FREIGHT ALBUQUERQUE

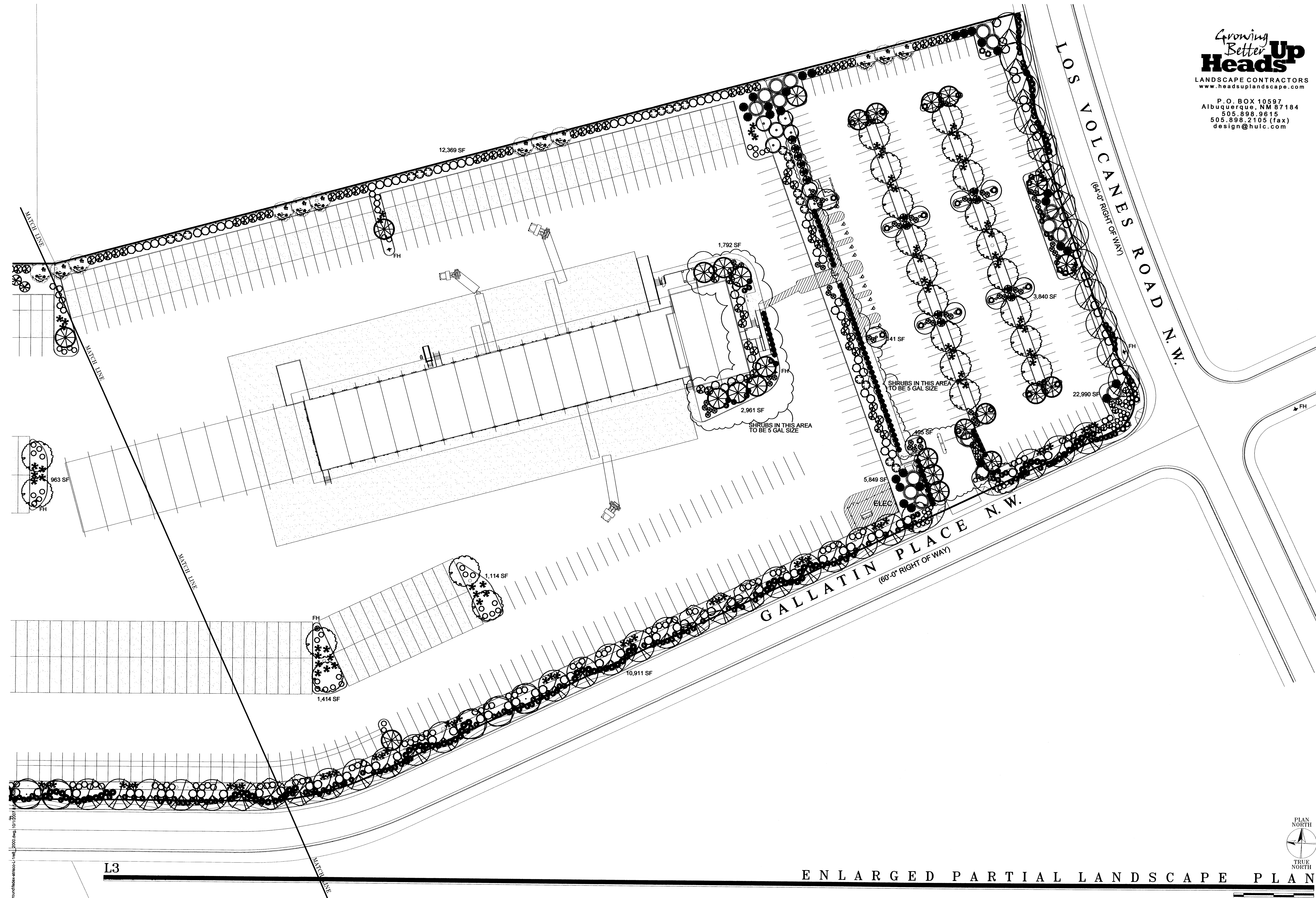
SERVICE AND DISTRIBUTION CENTER
 7601 LOS VOLCANES ROAD, N.W.
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	10/1/07	-
-	9/24/07	-

PROJECT NUMBER: 07305
 DRAWING FILE: FEDEX-ATRISCO-C-102-ESP
 DRAWN BY: SMF
 CHECK BY: XXX
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
 DATE: AUGUST 2, 2007

SHEET TITLE
ENLARGED PARTIAL LANDSCAPE PLAN

SHEET NUMBER
L-102

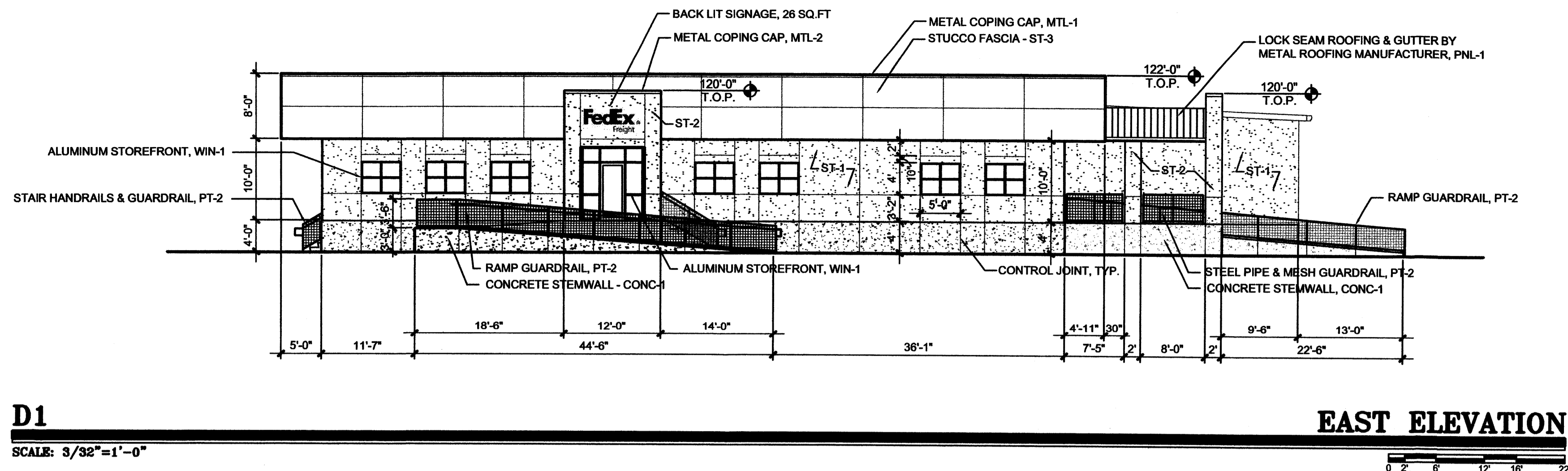


0 10' 40' 60' 80'

ENLARGED PARTIAL LANDSCAPE PLAN

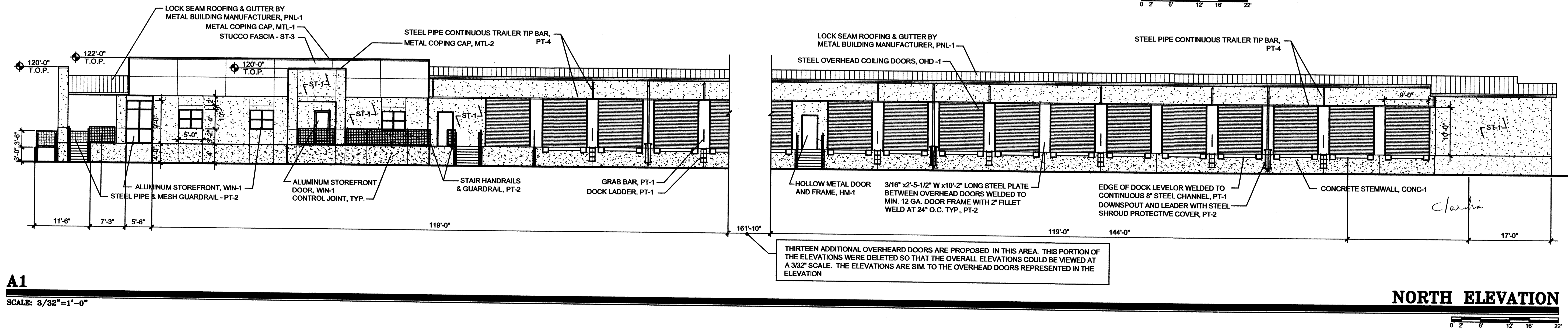
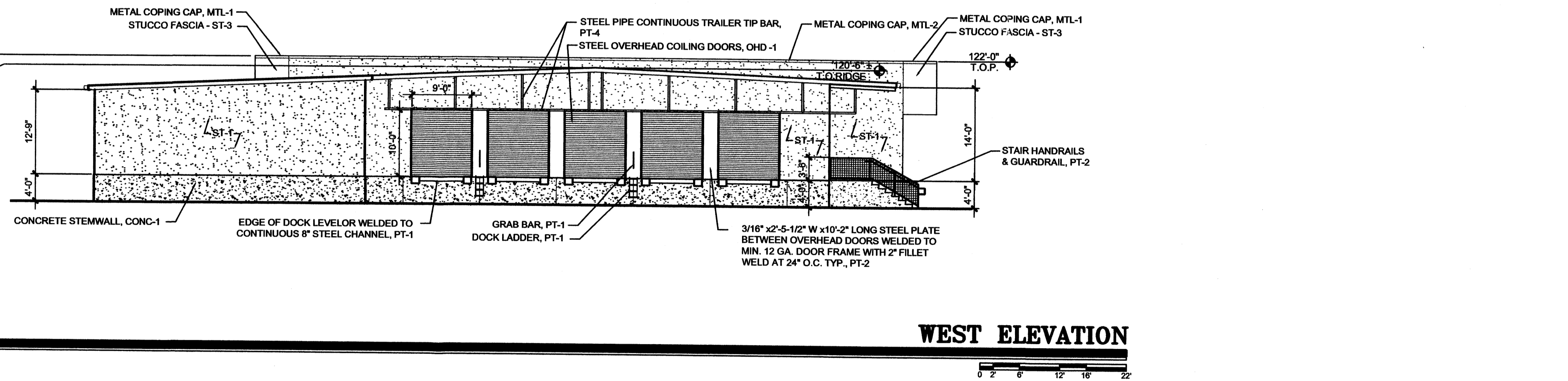
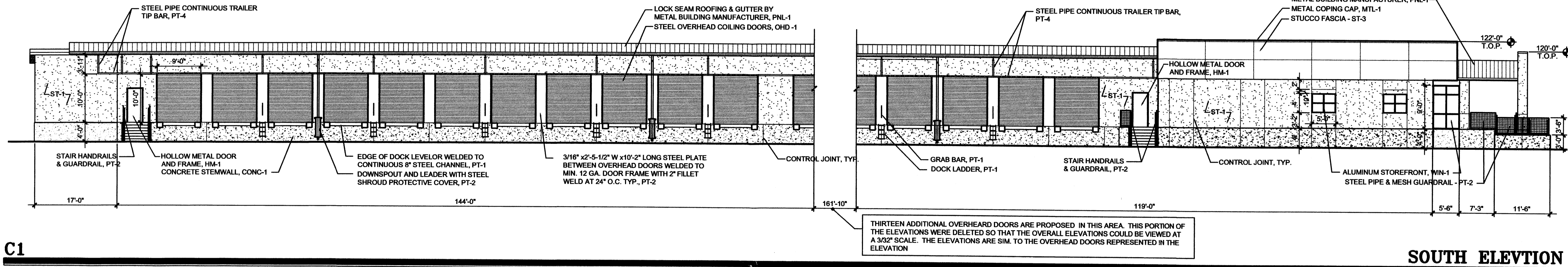
L3

J:\Users\FRED_Ground\workspace\atriisco-L-102.dwg, 10/1/2007 11:41:00 AM



EXTERIOR FINISH LEGEND

- ST-1: EXTERIOR INSULATION AND FINISH SYSTEM WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH BENJAMIN MOORE HC98, PROVIDENCE OLIVE
- ST-2: EXTERIOR INSULATION AND FINISH SYSTEM WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH BENJAMIN MOORE 2116-20, VINTAGE WINE
- ST-3: EXTERIOR INSULATION AND FINISH SYSTEM WITH ELASTOMERIC COLOR COAT - COLOR: WHITE
- CONC-1: ALL EXPOSED CONCRETE STEM WALLS TO BE RUBBED AS SPECIFIED, COLOR: GREY
- PNL-1: METAL BUILDING PANEL
COLOR: KYNAR 500 FINISH, TUNDRA
- PT-1: PAINT
COLOR: BLACK
- PT-2: PAINT
COLOR: BENJAMIN MOORE AC17, SEA PINE
- PT-3: PAINT
COLOR: BENJAMIN MOORE AC17, SEA PINE
- PT-4: PAINT
COLOR: COLOR TO MATCH FED-X RED
- HM-1: HOLLOW METAL FRAMES & DOORS
COLOR: BENJAMIN MOORE HC98, PROVIDENCE OLIVE
- WIN-1: ALUMINUM STOREFRONT
COLOR: CLEAR ANODIZED ALUMINUM
- MTL-1: METAL COPING CAP
COLOR: KYNAR 500 FINISH, TUNDRA
- MTL-2: METAL COPING CAP
COLOR: KYNAR 500 FINISH, TUNDRA



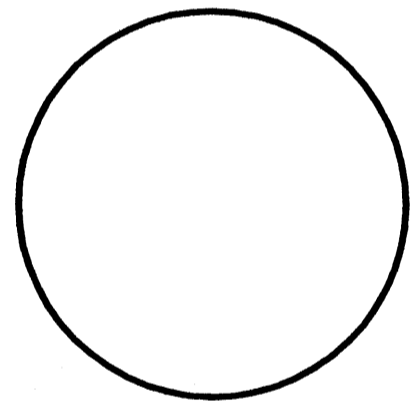
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FEDEX FREIGHT ALBUQUERQUE

SERVICE AND DISTRIBUTION CENTER

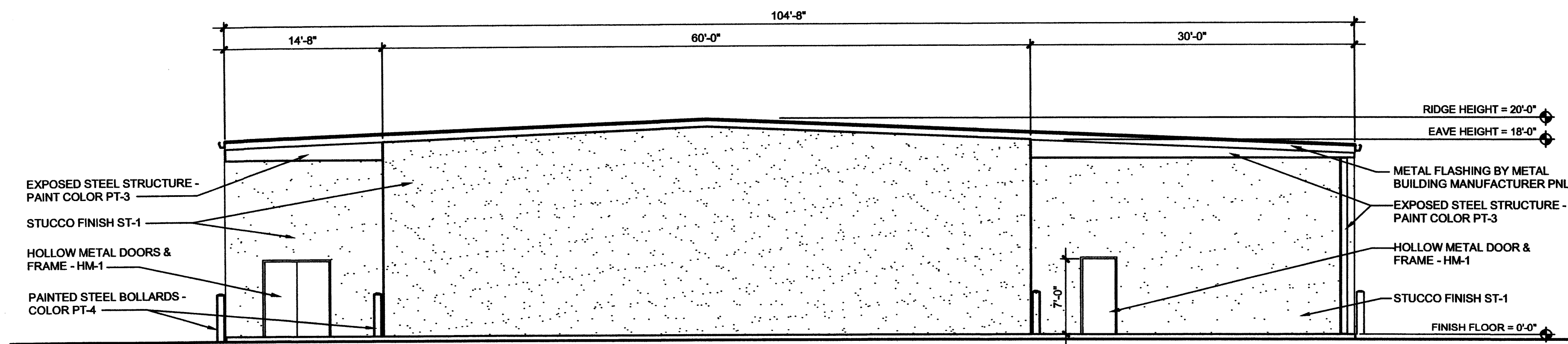
7601 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 07305
DRAWING FILE: FEDEX-ATRISCO-C102-ESDP
DRAWN BY: EA
CHECK BY: XXX
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DATE: SEPTEMBER 18, 2007

SHEET TITLE
OFFICE WAREHOUSE EXTERIOR ELEVATIONS

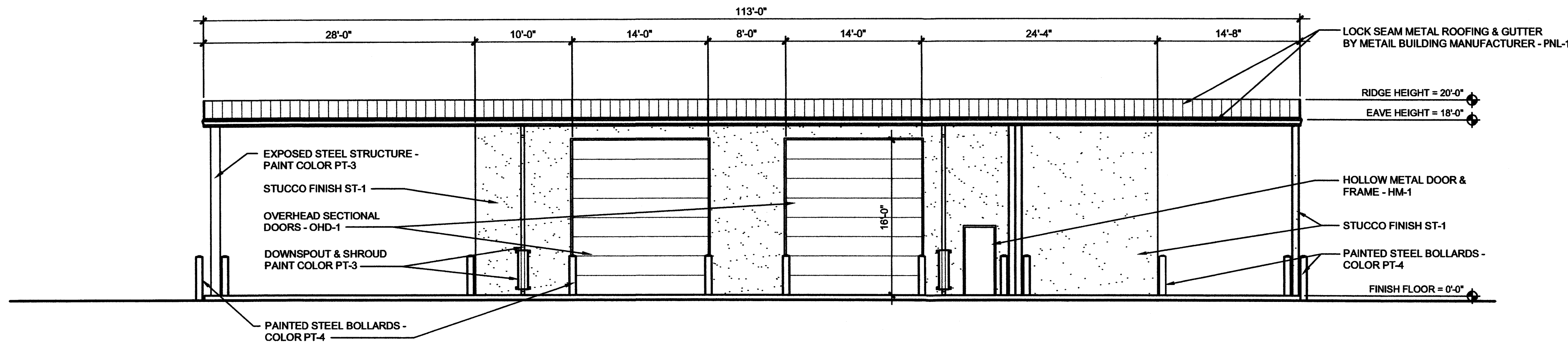
SHEET NUMBER
A-201



EAST ELEVATION

D1

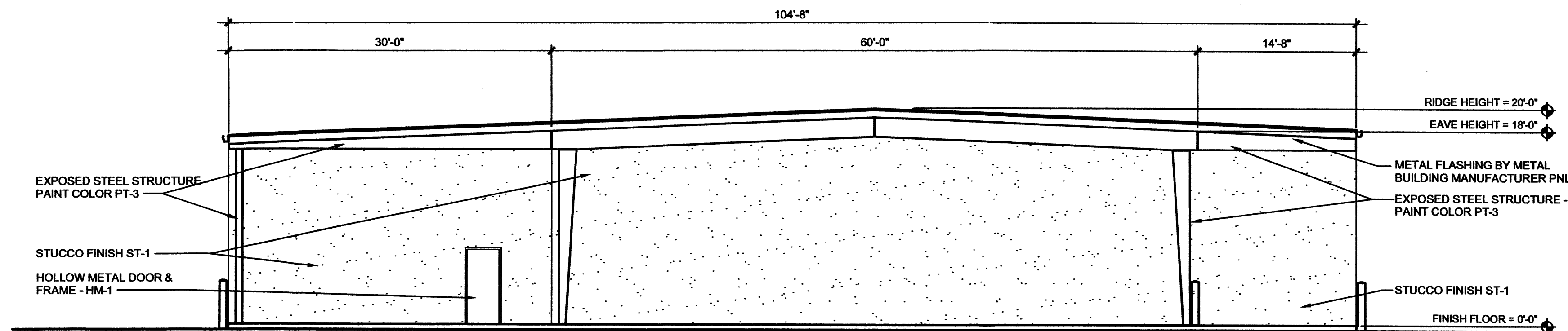
SCALE: 1/8" = 1'-0"



NORTH ELEVATION

C1

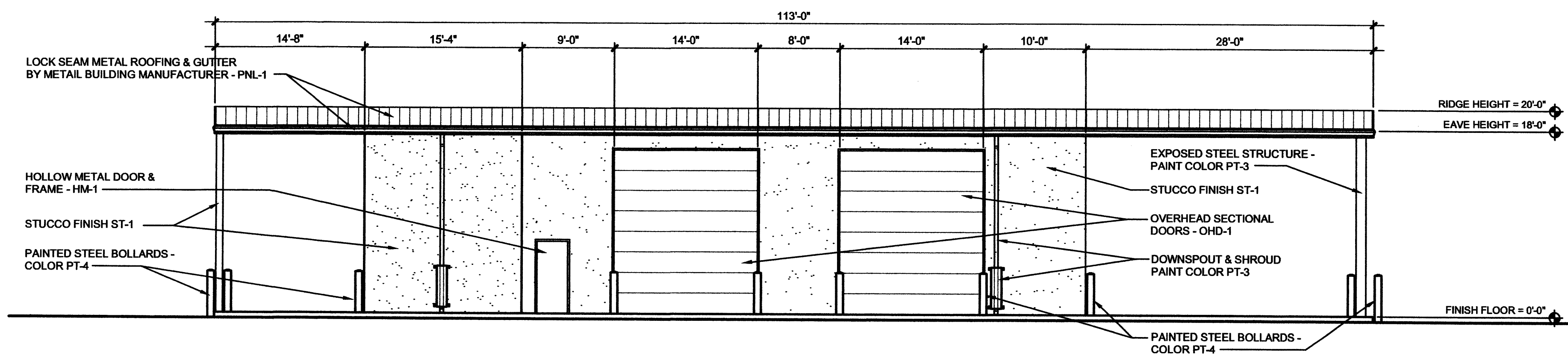
SCALE: 1/8" = 1'-0"



WEST ELEVATION

B1

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

A1

SCALE: 1/8" = 1'-0"



EXTERIOR FINISH LEGEND

- ST-1: EXTERIOR INSULATION AND FINISH SYSTEM WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH BENJAMIN MOORE HC98, PROVIDENCE OLIVE
- ST-2: EXTERIOR INSULATION AND FINISH SYSTEM WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH BENJAMIN MOORE 2116-20, VINTAGE WINE
- ST-3: EXTERIOR INSULATION AND FINISH SYSTEM WITH ELASTOMERIC COLOR COAT - COLOR: WHITE
- CONC-1: ALL EXPOSED CONCRETE STEM WALLS TO BE RUBBED AS SPECIFIED, COLOR: GREY
- PNL-1: METAL BUILDING PANEL COLOR: KYNAR 500 FINISH, TUNDRA
- PT-1: PAINT COLOR: BLACK
- PT-2: PAINT COLOR: BENJAMIN MOORE AC17, SEA PINE
- PT-3: PAINT COLOR: BENJAMIN MOORE AC17, SEA PINE
- PT-4: PAINT COLOR: COLOR TO MATCH FED-X RED
- HM-1: HOLLOW METAL FRAMES & DOORS COLOR: BENJAMIN MOORE HC98, PROVIDENCE OLIVE
- WIN-1: ALUMINUM STORFRONT COLOR: CLEAR ANODIZED ALUMINUM
- MTL-1: METAL COPING CAP COLOR: KYNAR 500 FINISH, TUNDRA
- MTL-2: METAL COPING CAP COLOR: KYNAR 500 FINISH, TUNDRA

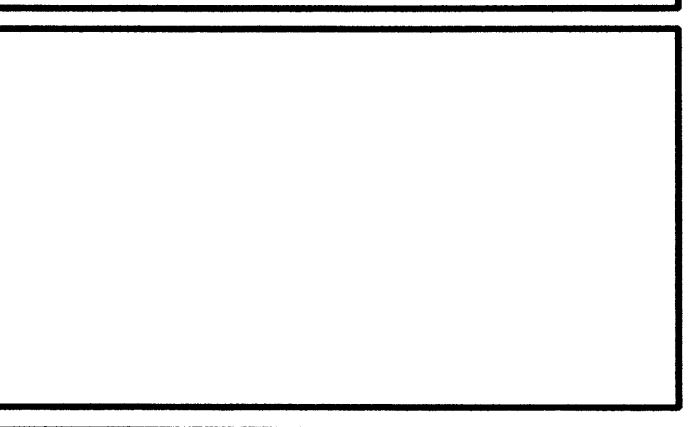


CLAUDIO VIGIL ARCHITECTS

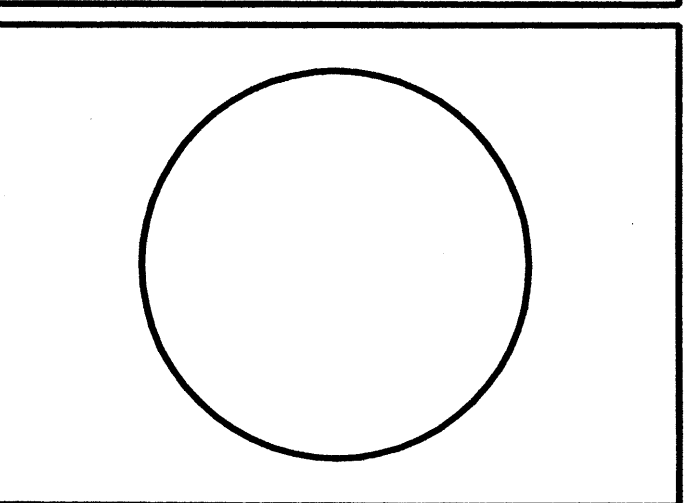
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FEDEX FREIGHT ALBUQUERQUE

SERVICE AND DISTRIBUTION CENTER

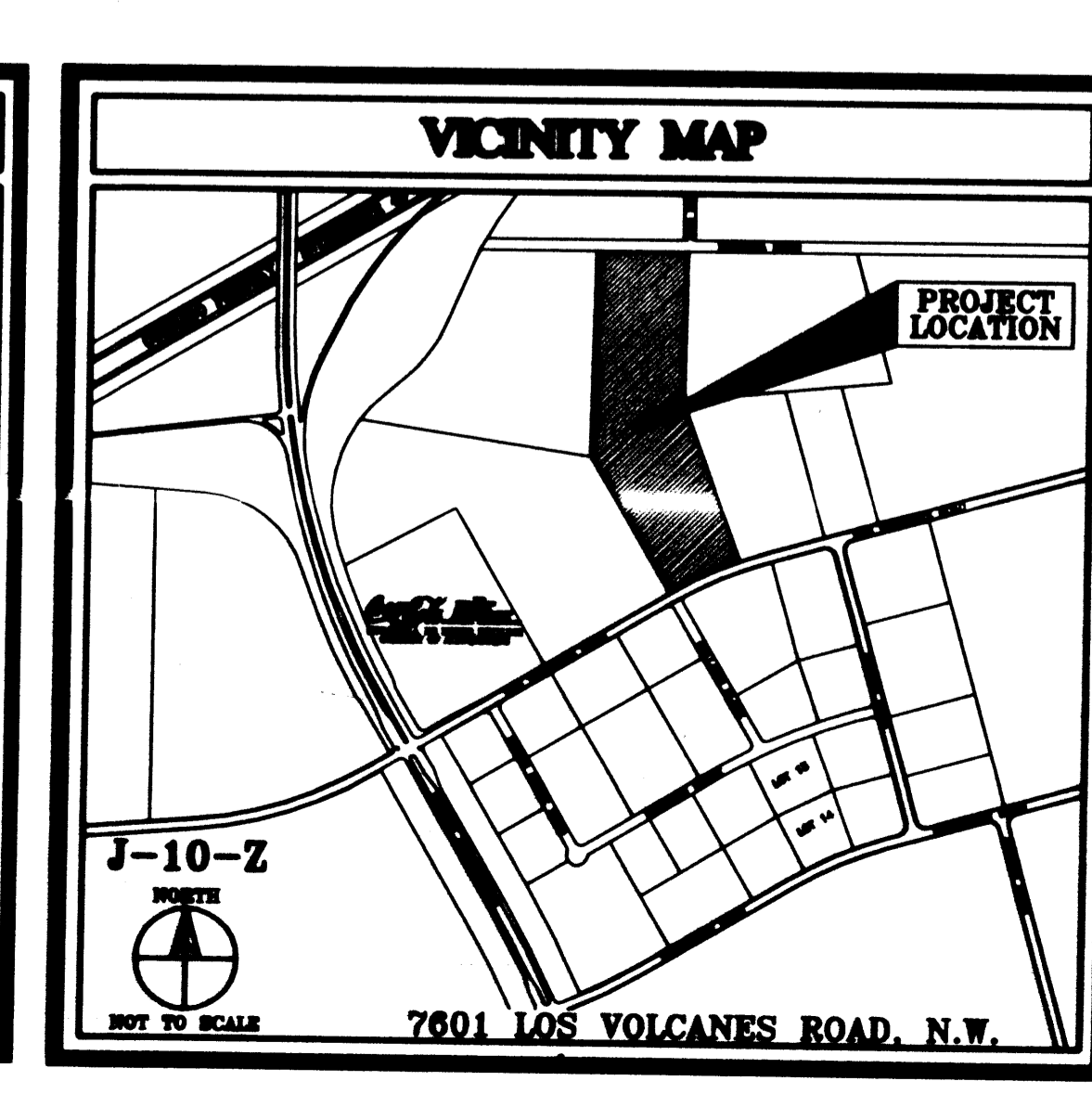
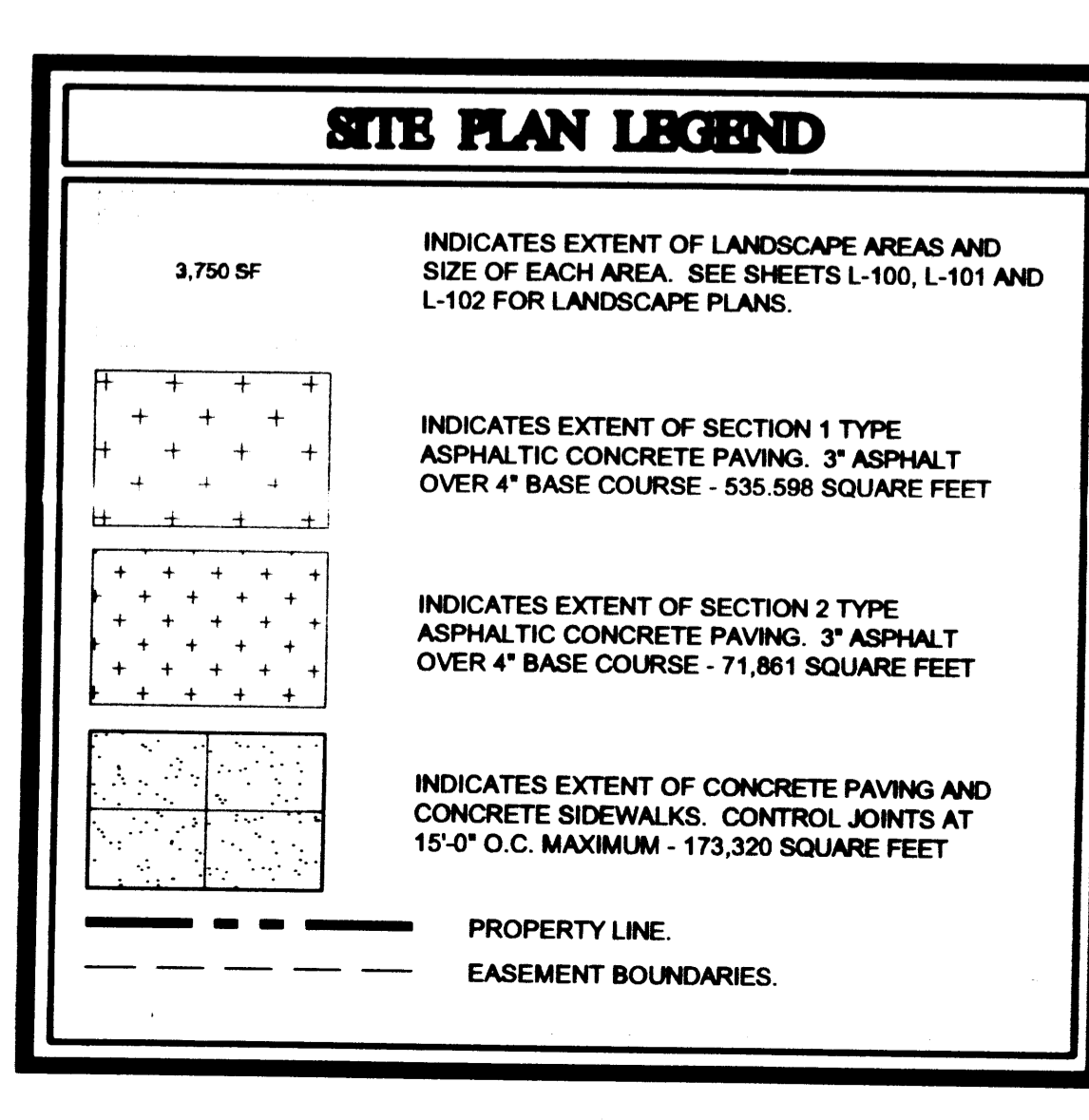
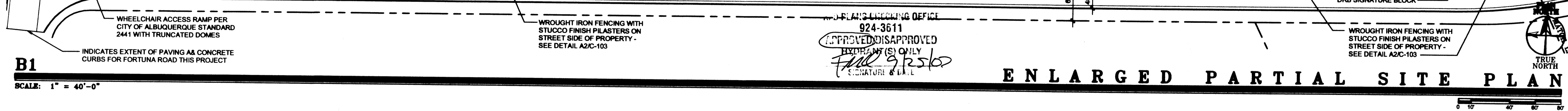
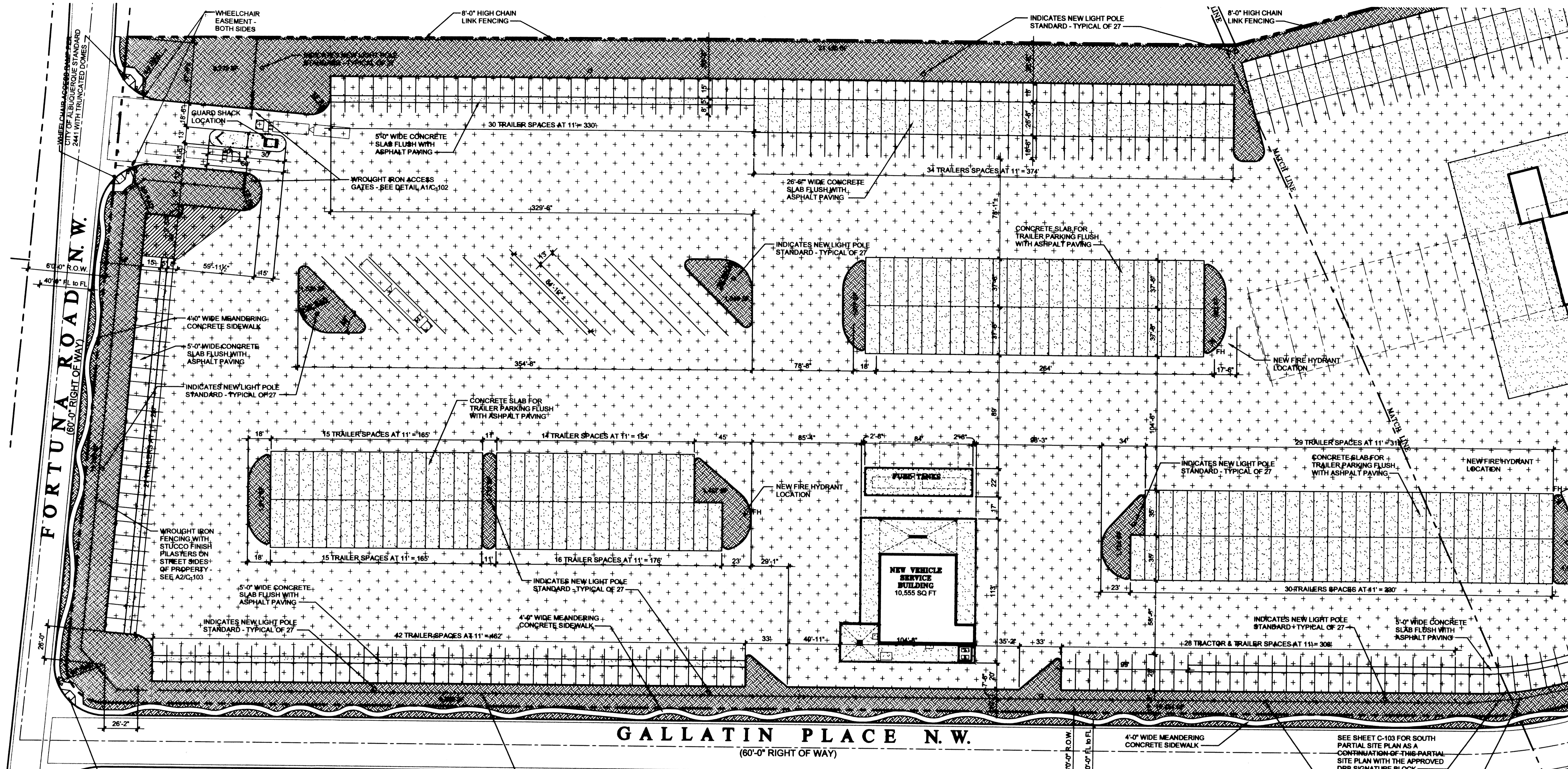
7601 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 07305
DRAWING FILE: FEDEX-ATRISCO-A202-ELEV
DRAWN BY: SMF
CHECK BY: XXX
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
DATE: SEPTEMBER 18, 2007

SHEET TITLE
SERVICE BUILDING EXTERIOR ELEVATIONS

SHEET NUMBER
A-202



PROJECT INFORMATION

PROJECT: FEDERAL EXPRESS - FEDEX FREIGHT ALBUQUERQUE SERVICE AND DISTRIBUTION CENTER

LOCATION: 7601 LOS VOLCANES ROAD, N.W. ALBUQUERQUE, NEW MEXICO

OWNER: BRUNACINI DEVELOPMENT COMPANY, LTD. 7400 MERIDIAN PLACE, N.W. ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT C, MERIDIAN BUSINESS PARK PHASE II

UNIFORM PROPERTY CODE: 101005813511530103

ZONING ATLAS MAP: J-10-Z

CURRENT ZONING CLASSIFICATION: IP, INDUSTRIAL PARK ZONE

PROPOSED ZONING CLASSIFICATION: NO CHANGE - IP, INDUSTRIAL PARK ZONE

BUILDING FUNCTION: NEW OFFICE WAREHOUSE DISTRIBUTION CENTER WITH VEHICLE SERVICE BUILDING

CONSTRUCTION TYPE: TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM

TOTAL BUILDING AREA:

OFFICE WAREHOUSE:	OFFICE AREA = 5,380 SQUARE FEET
	WAREHOUSE = 26,296 SQUARE FEET
	TOTAL BUILDING AREA = 31,676 SQUARE FEET
	TOTAL BUILDING & ROOFED AREA = 40,162 SQUARE FEET
SERVICE BUILDING:	TOTAL BUILDING & WORK AREA = 10,555 SQUARE FEET
	TOTAL BUILDING & ROOFED AREA = 10,773 SQUARE FEET

PROJECT INFORMATION

TOTAL LOT AREA: 976,759 SQUARE FEET, 22.4233 ACRES

NET LOT AREA: TOTAL LOT AREA = 976,759 SQUARE FEET
MINUS TOTAL BUILDING AREA = 42,230 SQUARE FEET
MINUS ROW LANDSCAPING = 15,017 SQUARE FEET
TOTAL NET LOT AREA = 919,512 SQUARE FEET

TOTAL PARKING/PAVED AREA: 780,779 SQ FT

TOTAL LANDSCAPE AREA REQUIRED: 137,926 SQ FT

TOTAL LANDSCAPE AREA PROVIDED: 137,930 SQ FT

PERCENTAGE OF SITE LANDSCAPED: 14.12 %

LANDSCAPE TO PARKING AREA RATIO: 1 TO 5.6607

PARKING ANALYSIS:

OFFICE & SERVICE AREA = 15,935 / 200 = 79,675 PARKING SPACES
WAREHOUSE AREA = 26,296 / 2000 = 13,147.5 PARKING SPACES
TOTAL = 92,82 PARKING SPACES
TOTAL PARKING SPACES REQUIRED = 93 PARKING SPACES
TOTAL PARKING SPACES PROVIDED = 209 PARKING SPACES
INCLUDES 10 ACCESSIBLE PARKING SPACES - 6 REGULAR CAR ACCESSIBLE AND 4 VAN ACCESSIBLE - ADDITIONALLY 4 MOTORCYCLE PARKING SPACES

PARKING SPACE SIZES: 9'-0" WIDE X 18'-0" LONG WITH 2'-0" OVERHANG

BICYCLE SPACES: 83 PARKING SPACES / 20 = 4.65 BICYCLE SPACES
TOTAL BICYCLE SPACES REQUIRED = 5 BICYCLE SPACES
TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES (4 BIKES PER BIKE RACK)

SITE LIGHTING: NEW SITE AREA LIGHTS SHALL BE POLE MOUNTED AND LIGHT PARKING & TRUCK AREAS WITHOUT SHINING ONTO ADJACENT SITES. STREET LIGHTS - 30'-0" TO 40'-0" ABOVE ROADWAY, PARKING LIGHTS - 20'-0" TO 30'-0" ABOVE PARKING LOT, AREA LIGHTING - 10'-0" TO 15'-0" ABOVE GRADE

CITY REFERENCE NUMBERS: Z-92-57

SIGNATURE BLOCK

PROJECT NUMBER: 1008801

APPLICATION CASE NUMBER: 07DBR-70240

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO. IF YES, THEN A SET OF APPROVED DBC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DBR SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	DATE: 9-26-07
<i>[Signature]</i>	DATE: 9-26-07
<i>[Signature]</i>	DATE: 9/26/07
<i>[Signature]</i>	DATE: 3-28-08
<i>[Signature]</i>	DATE: 9/25/07
<i>[Signature]</i>	DATE: 3/28/08

ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE: _____

SOLID WASTE MANAGEMENT DATE: _____

WASTE CHAIRPERSON, PLANNING DEPARTMENT DATE: _____

CLAUDIO VIGIL ARCHITECTS

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Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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FEDEX FREIGHT ALBUQUERQUE

SERVICE AND DISTRIBUTION CENTER

7601 LOS VOLCANES ROAD, N.W. ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 07305

DRAWING FILE: FEDEX-ATRISCO-C102-ESDP

DRAWN BY: SMF

CHECK BY: XXX

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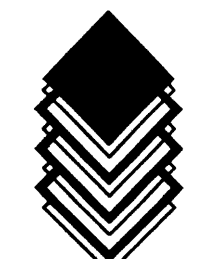
DATE: SEPTEMBER 18, 2007

SHEET TITLE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER

C-102



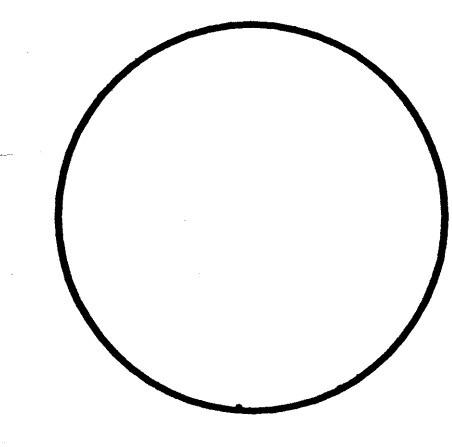
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Fax: (505) 842-1330

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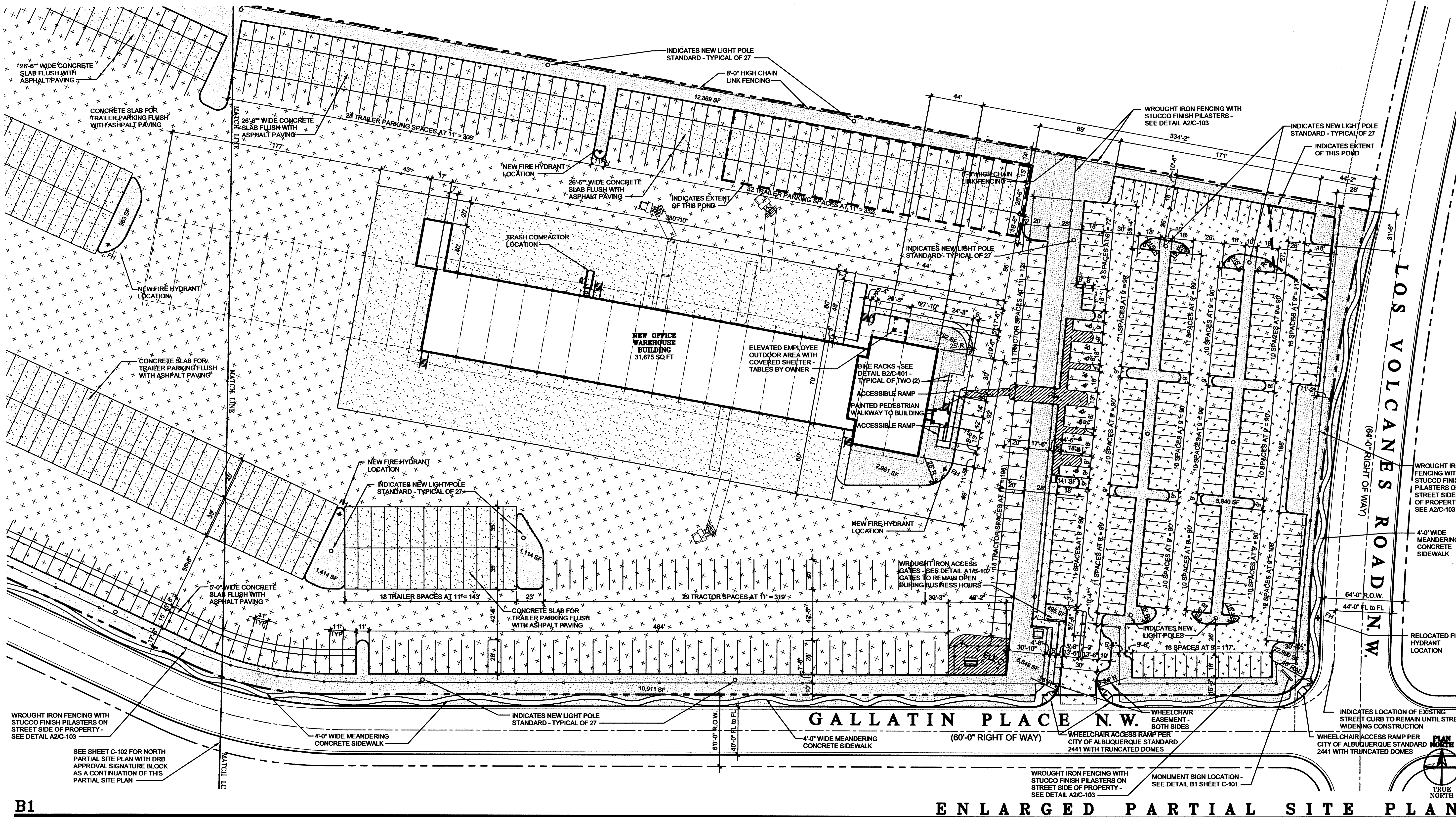
PROFESSIONAL SEAL



FEDEX FREIGHT ALBUQUERQUE

SERVICE AND DISTRIBUTION CENTER

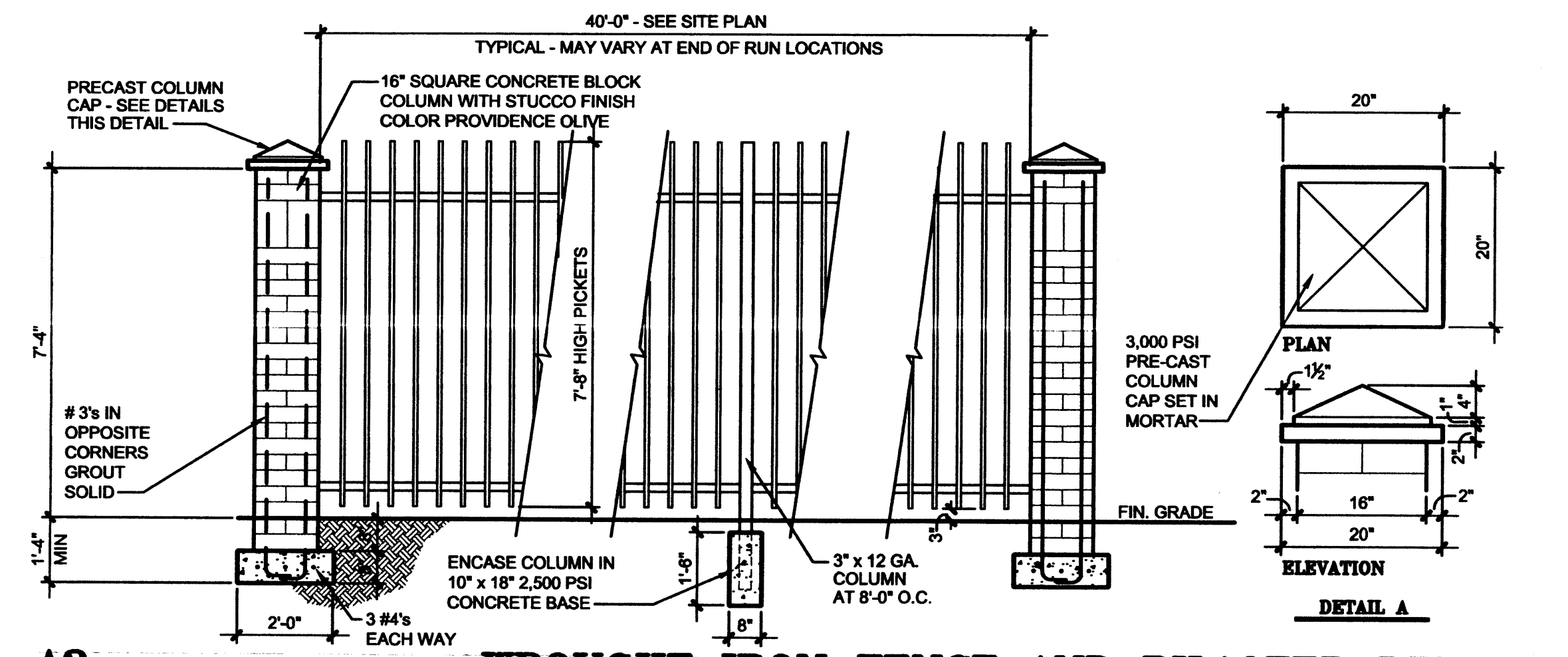
7601 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO



B1

SCALE: 1" = 40'-0"

ENLARGED PARTIAL SITE PLAN



A2 WROUGHT IRON FENCE AND PILASTER DETAILS

SCALE: 3/8" = 1'-0"

SITE PLAN LEGEND

	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA. SEE SHEETS L-100, L-101 AND L-102 FOR LANDSCAPE PLANS.
	INDICATES EXTENT OF SECTION 1 TYPE ASPHALTIC CONCRETE PAVING, 3" ASPHALT OVER 4" BASE COURSE - 635,598 SQUARE FEET
	INDICATES EXTENT OF SECTION 2 TYPE ASPHALTIC CONCRETE PAVING, 3" ASPHALT OVER 4" BASE COURSE - 71,861 SQUARE FEET
	INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AT 15'-0" O.C. MAXIMUM - 173,320 SQUARE FEET
	PROPERTY LINE.
	EASEMENT BOUNDARIES.

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 07305
DRAWING FILE: FEDEX-ATRISCO-C103-ESDP
DRAWN BY: SMF
CHECK BY: XXX
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DATE: SEPTEMBER 25, 2007

SHEET TITLE
ENLARGED PARTIAL SITE PLAN

SHEET NUMBER
C-103



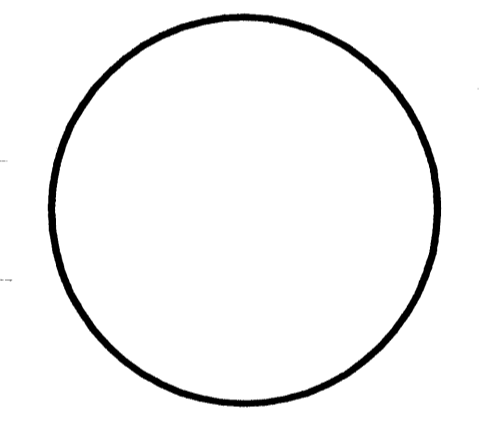
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Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

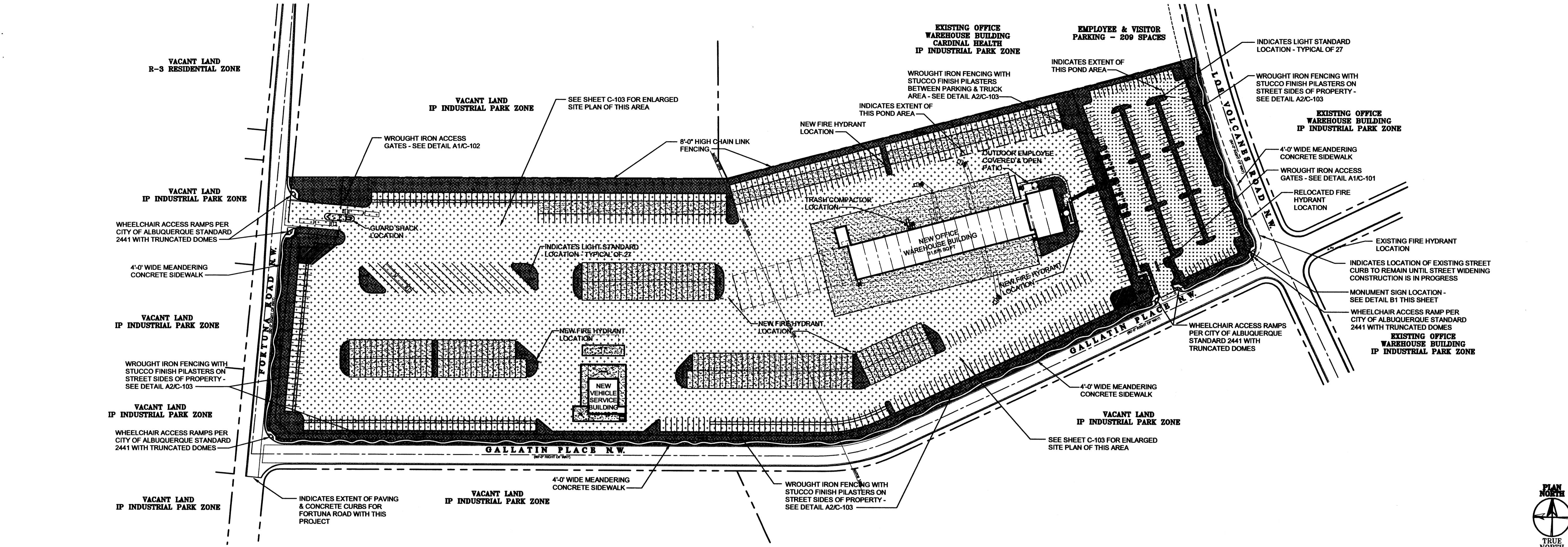
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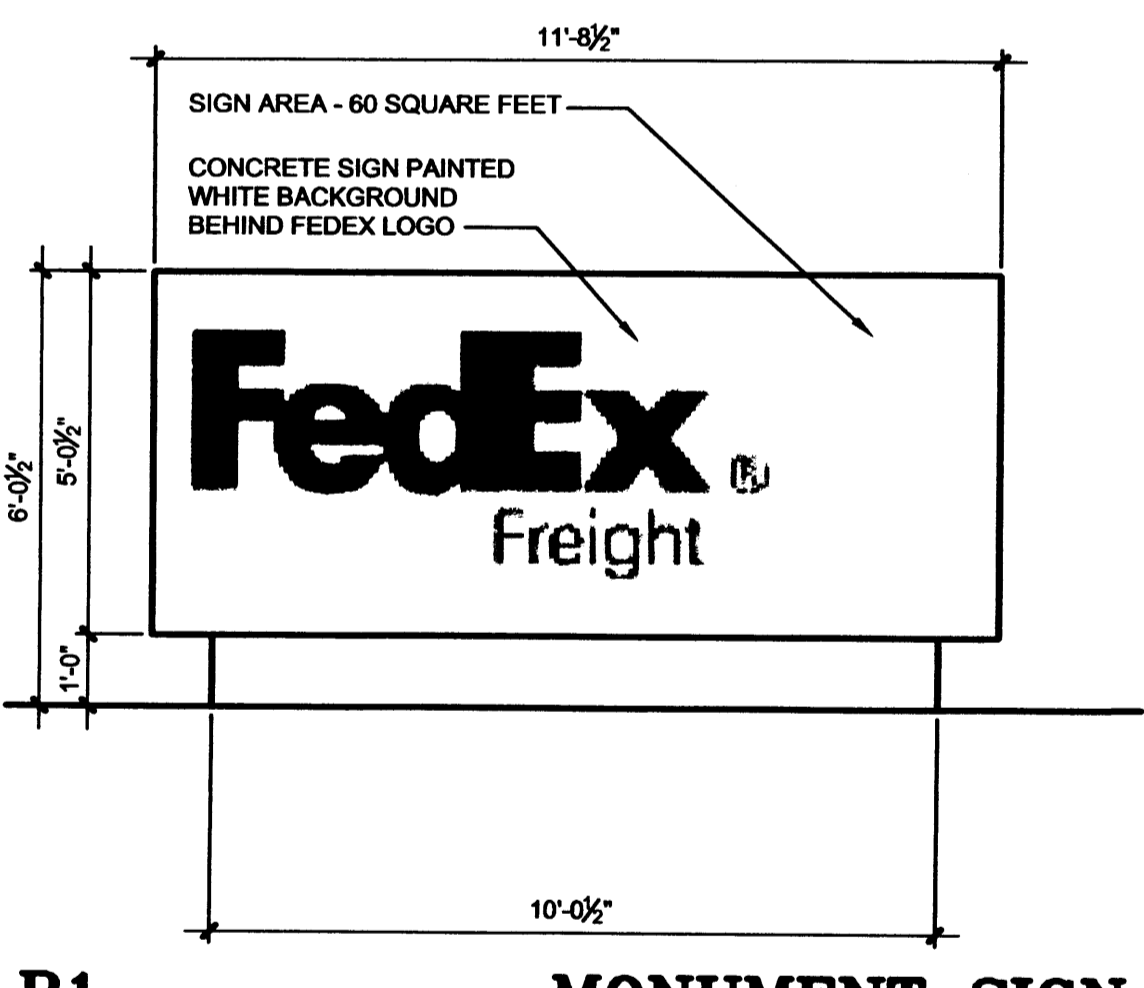
FEDEX FREIGHT ALBUQUERQUE SERVICE AND DISTRIBUTION CENTER
7801 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO



MASTER SITE PLAN

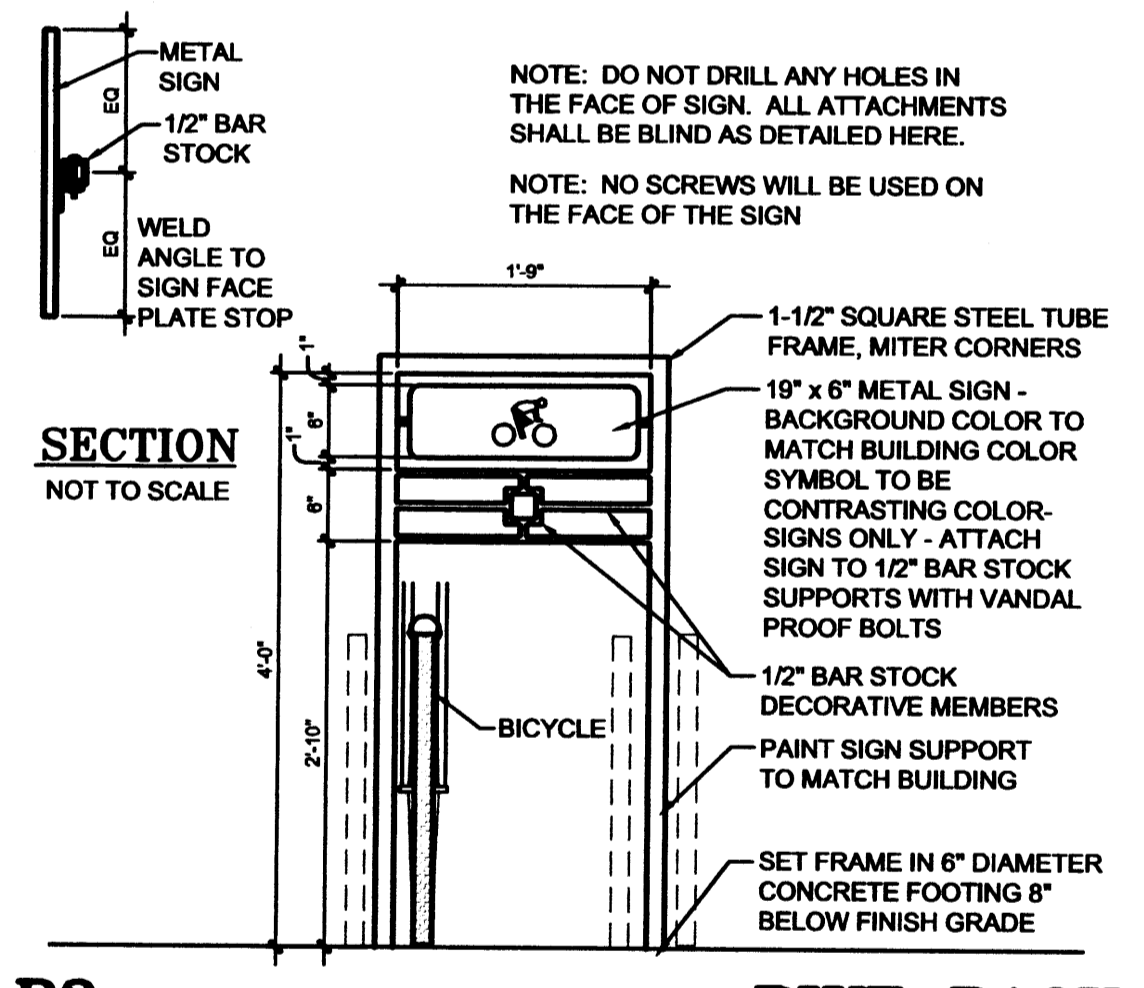
C1

SCALE: 1" = 100'-0"



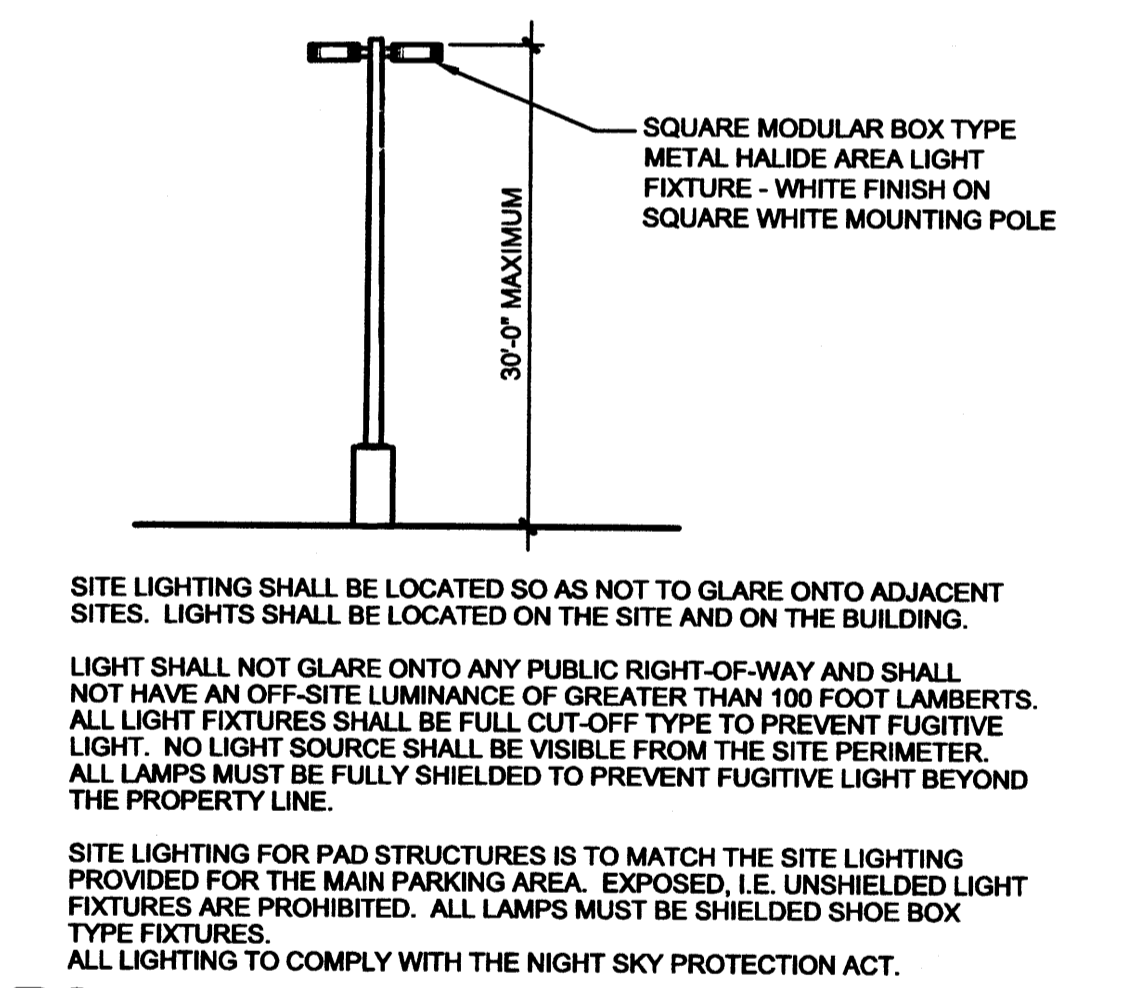
B1 MONUMENT SIGN

SCALE: 3/8" = 1'-0"



B2 BIKE RACK

SCALE: 3/4" = 1'-0"



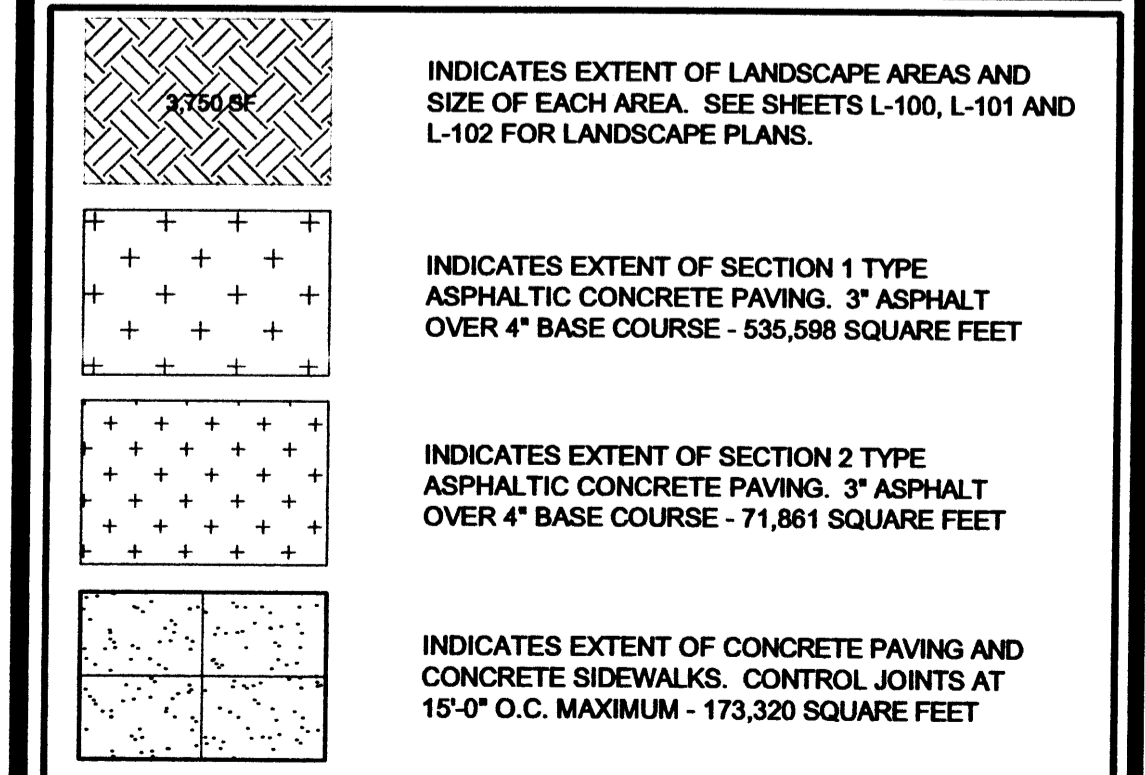
B3 EXTERIOR POLE LIGHT

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE METES AND BOUNDS DESCRIPTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION OR DEMOLITION.
3. ALL WORK WITHIN THE RIGHT OF WAY SHALL MEET CITY OF ALBUQUERQUE STANDARDS.
4. THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR ARCHITECTURAL AND BUILDING CODE PURPOSES ONLY.
5. TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3'-0" FROM ANY EXISTING OR NEW UNDERGROUND UTILITY LINES.
6. ALL NEW FIRE HYDRANTS SHALL BE OPERATING PRIOR TO THE BEGINNING OF CONSTRUCTION.

SITE PLAN LEGEND



MARK	DATE	DESCRIPTION

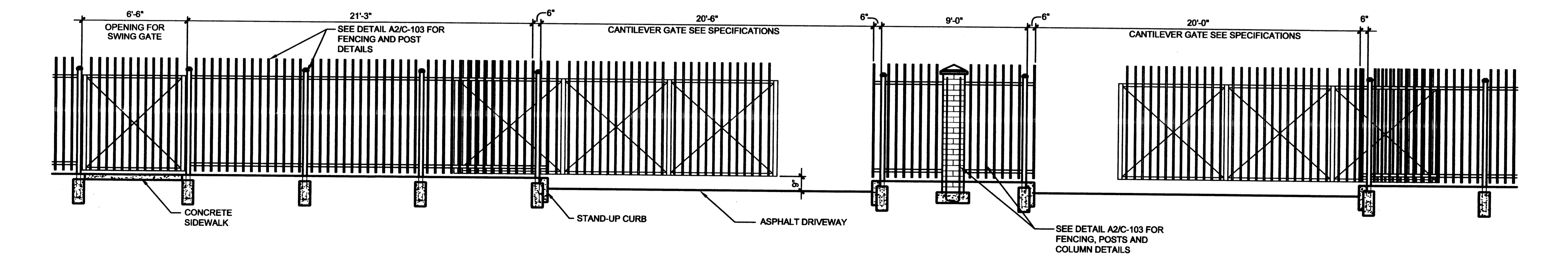
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DRAWING FILE: FEDEX-ATRISCO-C101-SDP
DRAWN BY: SME
CHECK BY: CXC
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
DATE: SEPTEMBER 25, 2007

SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER
C-101

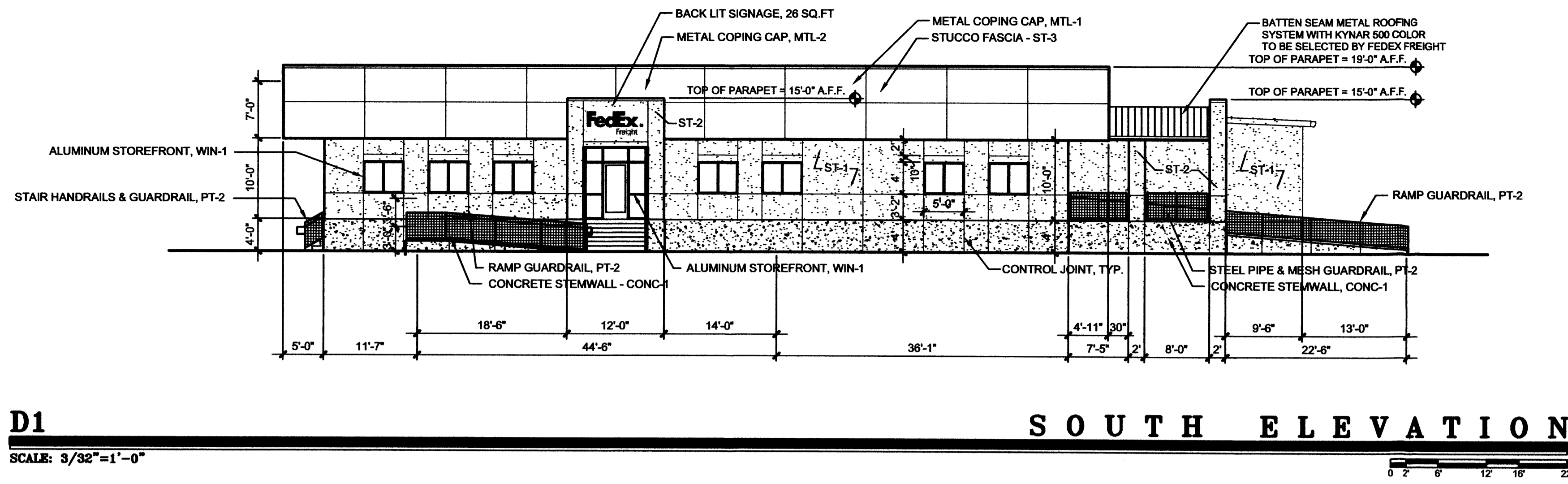
A1

SCALE: 1/4" = 1'-0"



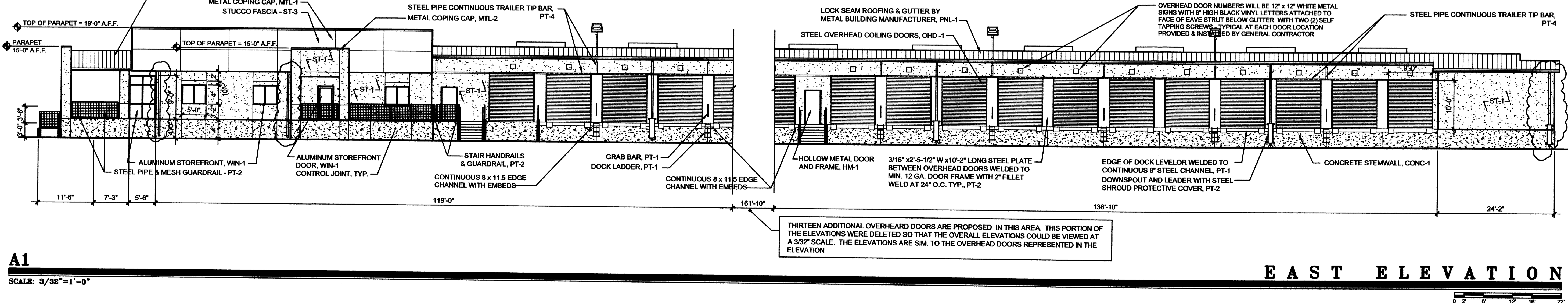
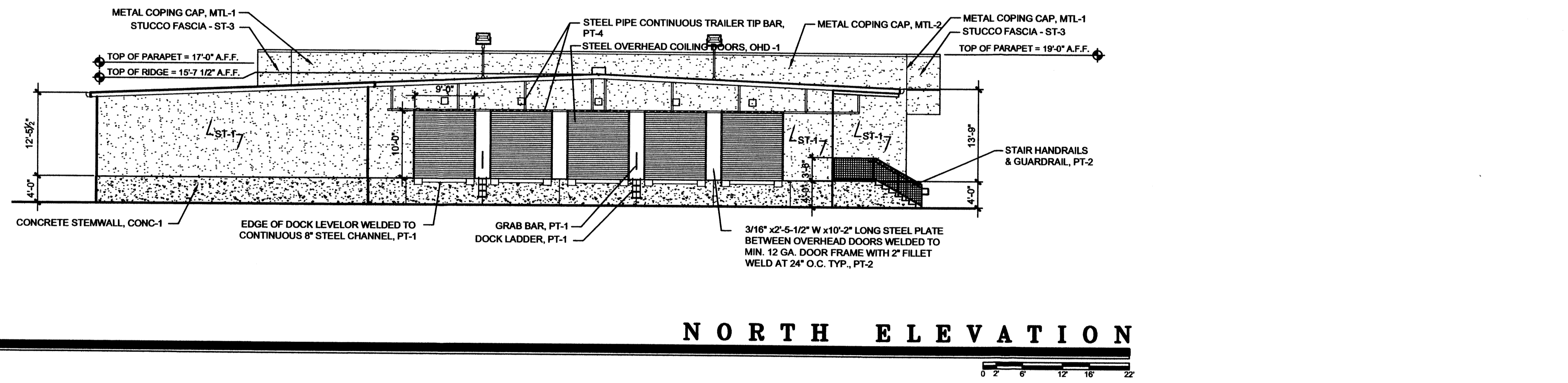
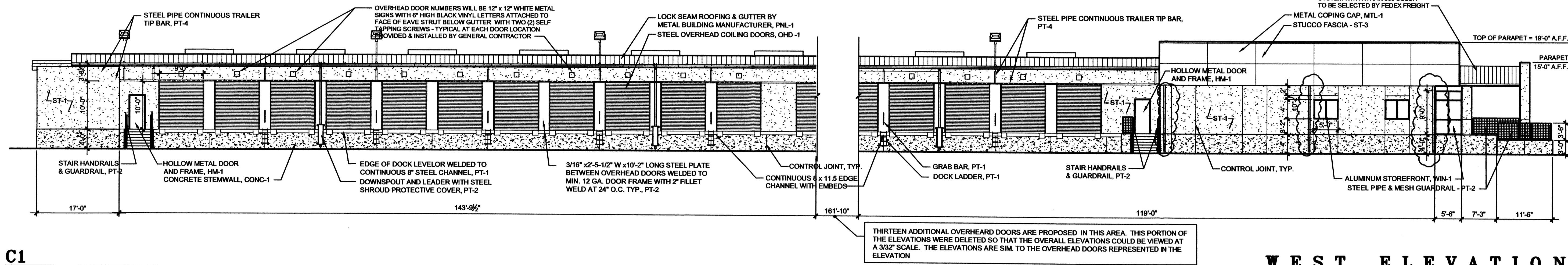
WROUGHT IRON CANTILEVER GATES AT MAIN DRIVEWAY

SCALE: 1/4" = 1'-0"



EXTERIOR FINISH LEGEND

- ST-1: EXTERIOR INSULATION AND FINISH SYSTEM OR STUCCO WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH DRYVIT #110 - VAN DYKE QUARTZPUTZ TEXTURE
- ST-2: EXTERIOR INSULATION AND FINISH SYSTEM OR STUCCO WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH DRYVIT #110 - VAN DYKE QUARTZPUTZ TEXTURE
- ST-3: EXTERIOR INSULATION AND FINISH SYSTEM OR STUCCO WITH ELASTOMERIC COLOR COAT - COLOR: WHITE
- CONC-1: ALL EXPOSED CONCRETE STEM WALLS TO BE RUBBED AS SPECIFIED, COLOR: GREY
- PNL-1: METAL BUILDING PANEL COLOR: KYNAR 500 FINISH, TUNDRA
- PT-1: PAINT COLOR: SHERWIN WILLIAMS KOHL SW 1028
- PT-2: PAINT COLOR: SHERWIN WILLIAMS KOHL SW 1028
- PT-3: PAINT COLOR: SHERWIN WILLIAMS KOHL SW 1028
- PT-4: PAINT COLOR: SAFETY YELLOW
- HM-1: HOLLOW METAL FRAMES & DOORS COLOR: SHERWIN WILLIAMS KOHL SW 1028
- WIN-1: ALUMINUM STOREFRONT COLOR: ANODIZED BRONZE ALUMINUM
- MTL-1: METAL COPING CAP COLOR: ANODIZED BRONZE ALUMINUM
- MTL-2: METAL COPING CAP COLOR: ANODIZED BRONZE ALUMINUM



CLAUDIO VIGIL ARCHITECTS

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PROFESSIONAL SEAL

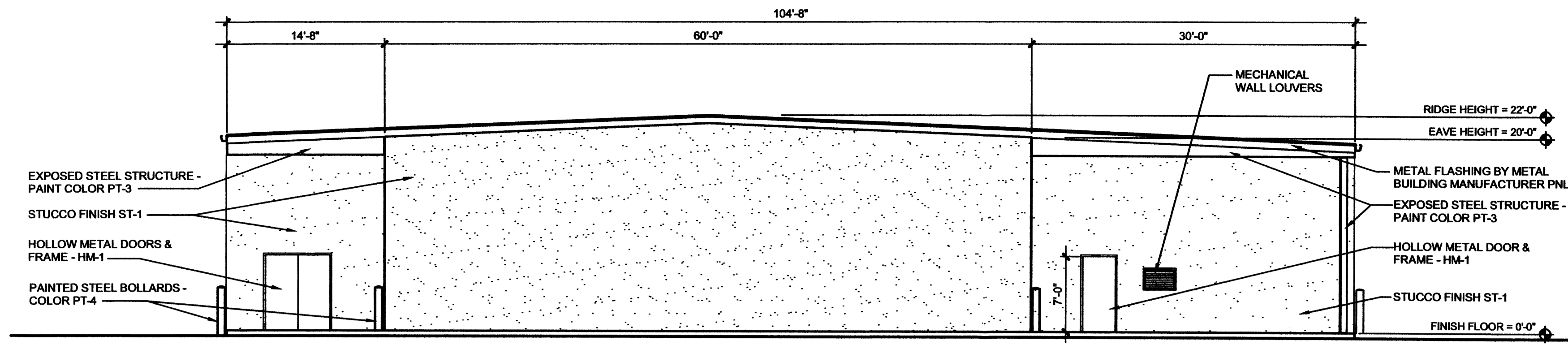
FEDEX FREIGHT ALBUQUERQUE
SERVICE AND DISTRIBUTION CENTER
7601 LOS VOLCANES ROAD, N.W.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
3	3-20-08	BUILDING PERMIT SUBMITTAL
2	2-5-08	FEDEX RESUBMITTAL TWO
1	11-20-07	FEDEX RESUBMITTAL

PROJECT NUMBER: 07305
DRAWING FILE: FEDEX-ATRISCO-C102-ESOP
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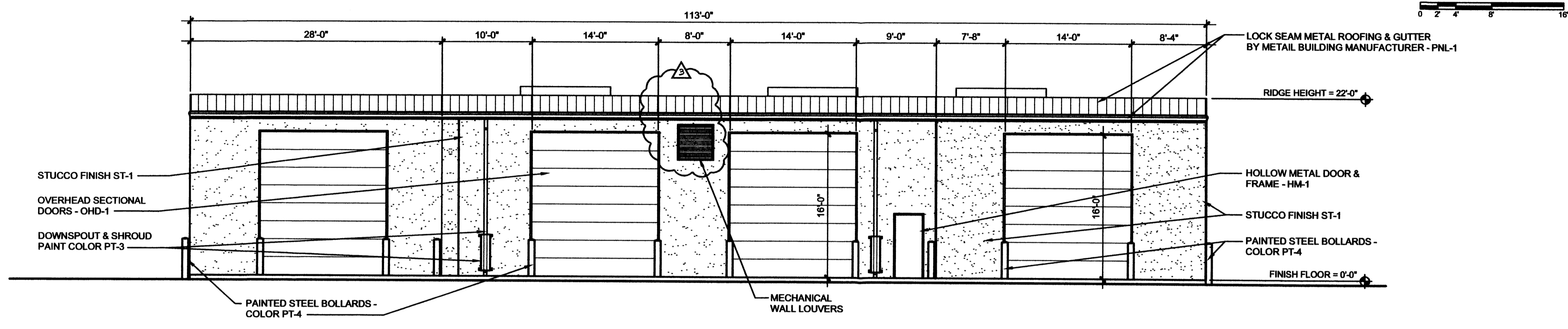
OFFICE WAREHOUSE EXTERIOR ELEVATIONS

SHEET NUMBER
A-201



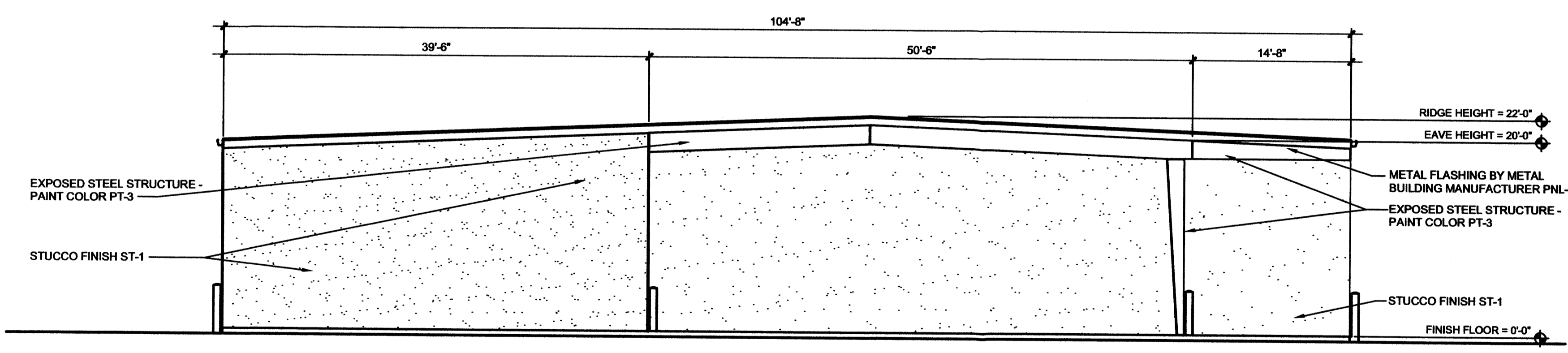
D1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



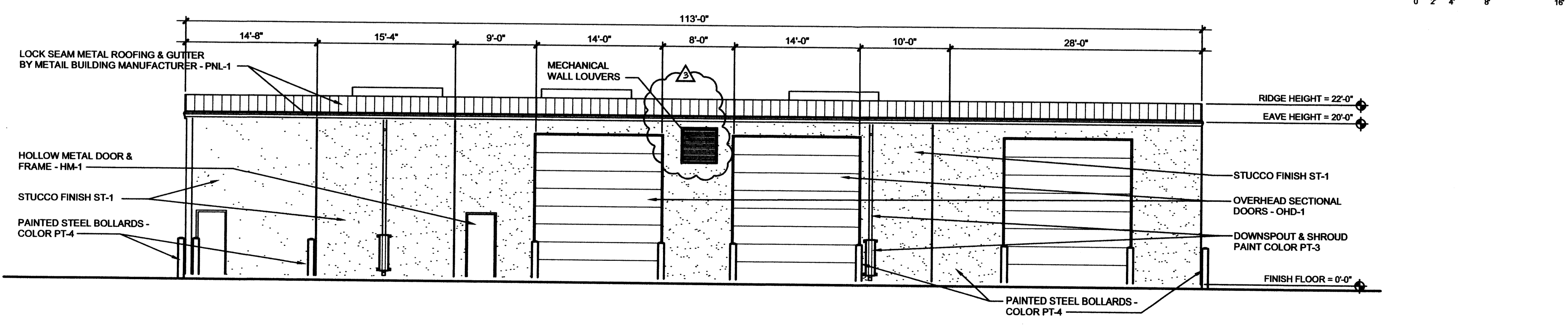
C1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



B1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

- ST-1: EXTERIOR INSULATION AND FINISH SYSTEM OR STUCCO WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH DRYVIT #110 - VAN DYKE QUARTZPUTZ TEXTURE
- ST-2: EXTERIOR INSULATION AND FINISH SYSTEM OR STUCCO WITH ELASTOMERIC COLOR COAT - COLOR: TO MATCH DRYVIT #110 - VAN DYKE QUARTZPUTZ TEXTURE
- ST-3: EXTERIOR INSULATION AND FINISH SYSTEM OR STUCCO WITH ELASTOMERIC COLOR COAT - COLOR: WHITE
- CONC-1: ALL EXPOSED CONCRETE STEM WALLS TO BE RUBBED AS SPECIFIED, COLOR: GREY
- PNL-1: METAL BUILDING PANEL
COLOR: KYNAR 500 FINISH, TUNDRA
- PT-1: PAINT
COLOR: SHERWIN WILLIAMS KOHL SW 1028
- PT-2: PAINT
COLOR: SHERWIN WILLIAMS KOHL SW 1028
- PT-3: PAINT
COLOR: SHERWIN WILLIAMS KOHL SW 1028
- PT-4: PAINT
COLOR: SAFETY YELLOW
- HM-1: HOLLOW METAL FRAMES & DOORS
COLOR: SHERWIN WILLIAMS KOHL SW 1028
- WIN-1: ALUMINUM STORFRONT
COLOR: ANODIZED BRONZE ALUMINUM
- MTL-1: METAL COPING CAP
COLOR: ANODIZED BRONZE ALUMINUM
- MTL-2: METAL COPING CAP
COLOR: ANODIZED BRONZE ALUMINUM

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ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
4	7-21-08	SHOP INSPECTION BAY
3	3-20-08	BUILDING PERMIT SUBMITTAL
2	2-5-08	FEDEX RESUBMITTAL TWO
1	11-20-07	FEDEX RESUBMITTAL

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SHEET TITLE
SERVICE BUILDING EXTERIOR ELEVATIONS

SHEET NUMBER
A-202