



# DRB CASE ACTION LOG ( SITE DEV. PLN – BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70100

Project # 1006824

Project Name: R P TINNIN

Agent: DEKKER PERICH SABATINI

Phone No.: 881-4787

Your request was approved on 03/04/08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

UTILITIES: CLOSE OUT MINI WORK ORDER  
SETUP AUNT  
CALL OUT EX/PROPOSED SVCS  
OK 4-18-08

CITY ENGINEER / AMAFCA: \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): - Staff Planner initials on plan  
or revised memo

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Created On: EPC date

12/13/07



# DRB CASE ACTION LOG ( SITE DEV. PLN - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70100 Project # 1006824  
 Project Name: R P TINNIN  
 Agent: DEKKER PERICH SABATINI Phone No.: 881-4787

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- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

**March 12, 2008 9:00AM  
MEMBERS:**

**Jack Cloud, AICP, DRB Chairman, Planning Department  
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development                      Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA  
Brad Bingham, P.E., Hydrology/ Alternate City Engineer              Christina Sandoval, Parks/Municipal Development**

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**CASES WHICH REQUIRE PUBLIC NOTIFICATION  
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1005108**  
08DRB-70059 MAJOR - PRELIMINARY  
PLAT APPROVAL  
08DRB-70105 SIDEWALK WAIVER  
  
THE DESIGN GROUP agent(s) for RALPH CORRIZ request(s) the above/ referenced action(s) for all or a portion of Tract(s) 67-A-1 AND 67-A-2, **MRGCD MAP #29**, zoned R-1 and C-1, located on the east side of 4TH ST NW BETWEEN VINEYARD RD NW AND WILLOW RD NW containing approximately 2.4 acre(s). (E-15) [Deferred from 2/27/08]. **DEFERRED TO 3/26/08 AT THE AGENT'S REQUEST.**
  
2. **Project# 1007051**  
08DRB-70014 VACATION OF PUBLIC  
RIGHT-OF-WAY  
  
JOSEPH B. GARCIA agent(s) for JOE M. CRUZ request(s) the above action(s) for all or a portion of **THE AMOLE DEL NORTE DIVERSION**, adjacent to Tract 398-B, Town of Atrisco Grant Unit 3, zoned A-1 (County), located on the north side of SAGE RD SW BETWEEN 75<sup>th</sup> ST AND RAEL ST SW containing approximately 0.83 acre(s). (L-10) [February 13, 2008]. **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITION OF FINAL PLAT IS FOR ALL AS-BUILTS OF RECORD BE SUBMITTED CONCURRENTLY WITH THE PLATTING ACTION.**

3. **Project# 1001562**  
08DRB-70071 VACATION OF PUBLIC  
EASEMENT  
08DRB-70089 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 11-P1, 12-P1, & 13-P1, Block(s) 1, Tract(s) 1-A, **RESERVE AT FOUR HILLS SUBDIVISION** zoned R-D, located on SEA BISCUIT DRIVE BETWEEN SECRETARIAT AV AND SEATTLE SLEW AVE containing approximately .7208 acre(s). (M-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF GRADING PLAN ON THE PLAT, AND TO PLANNING FOR EXHIBIT INDICATING LOCATION OF SIDEWALK AND DISTANCE OF FACE OF CURB TO PROPERTY LINE AND TO RECORD.**

4. **Project# 1003684**  
08DRB-70074 MAJOR - 2YR SUBD IMP  
AGMT EXT (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for CAPITAL ALLIANCE INVESTMENT/COLLATZ request(s) the above action(s) for all or a portion of **ANASAZI Unit(s) 1**, zoned R-1, located on MCMAHON BLVD NE BETWEEN ANASAZI RIDGE AVE NW AND WESTSIDE BLVD NW containing approximately 40.3491 acre(s). (A-10) **AN 18 MONTH EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

5. **Project# 1004354**  
08DRB-70048 SITE DEVELOPMENT  
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) *[Deferred from 2/20/08 & 3/5/08]* **DEFERRED TO 3/19/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1006865**  
08DRB-70117 EPC APPROVED SDP  
FOR BUILD PERMIT

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the above action(s) for all or a portion of Tract(s) A-1, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR DR NE containing approximately 15.701 acre(s). (G-16) **DEFERRED TO 3/26/08 AT THE AGENT'S REQUEST.**

7. **Project# 1006973**  
08DRB-70119 EPC APPROVED SDP  
FOR BUILD PERMIT  
08DRB-70120 EPC APPROVED SDP  
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for MIDWEST PHILLIPS EDISON AND COMPANY request(s) the above action(s) for all or a portion of Lot(s) 19 A-1, **PARADISE NORTH** zoned SU-1 FOR C-1 USES, located on UNSER BLVD NW BETWEEN MCMAHON BLVD NW AND SUMMER REDGE NW containing approximately 3.6 acre(s). (A-11) **DEFERRED TO 3/26/08 AT THE AGENT'S REQUEST.**

8. ~~**Project# 1006824**~~  
08DRB-70100 EPC APPROVED SDP  
FOR BUILD PERMIT

DEKKER PERICH SABATINI agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) A, **R P TINNIN**, zoned SU-1 FOR PLANNED RESIDENTIAL AND RECREATIONAL DEVELOPMENT, located on COMANCHE NE BETWEEN TRAMWAY NE AND JUAN TABO NE containing approximately 3.01 acre(s). (G-22) *[Deferred from 3/5/08]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA TO CLOSE OUT MINI WORK ORDER, ACCOUNT SET-UP, AND TO CALL OUT EXISTING/PROPOSED SERVICES AND TO PLANNING FOR STAFF PLANNERS INITIALS ON PLAT OR REVISED MEMO.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

9. **Project# 1000523**  
08DRB-70085 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for BROADWAY VISTA PARTNERS request(s) the above action(s) for all or a portion of Block 19, Tract(s) A, B, C, D, E, & F TRACT 3, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-1, C-1, located on PASEO DEL NORTE BETWEEN VENTURA AND HOLBROOK containing approximately 4.7776 acre(s). (C-20) *[Deferred from 3/5/08]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/08, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

10. **Project# 1006939**  
08DRB-70078 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit 3**, zoned M-1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.9085 acre(s). (H-16) *[Deferred from 2/27/08 & 3/5/08]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/08 AND WITH AN APPROVED GRADING AND DRAINAGE PLAN DATED 3/7/08, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS DEFERRED FOR THE SIA.**

11. **Project# 1006950**  
08DRB-70115 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for SIERRA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) B-B NMDOT ROW TBKA TRACT A LANDS OF SIERRA WEST LLC, zoned R-1, located on WYOMING BLVD NE BETWEEN MOUNTAIN RD NE AND INTERSTATE 40 NE containing approximately 1.1249 acre(s). (J-20)  
**THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR VERIFICATION OF EXISTING EASEMENT STATUS AND TO PLANNING TO RECORD.**

12. **Project# 1005403**  
08DRB-70092 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE LLC request(s) the above action(s) for all or a portion of Tract(s) 12-A1-A & 12-A-1B, **HACIENDAS DON VILLEGAS**, zoned RLT, located on RIO GRANDE BLVD NW BETWEEN INDIAN SCHOOL NW AND CONTEREAS PL NW containing approximately 1.2084 acre(s). (H-13) [*Deferrd from 3/5/08*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/08, AND WITH AN APPROVED GRADING AND DRAINAGE PLAN DATED 12/6/07, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE WITH THE CONDITION THAT THE SIDEWALK MUST EXTEND TO DRIVE PAD ON LOT 4 PER TRANSPORTATION DEVELOPMENT. THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

13. **Project# 1006571**  
08DRB-70118 SKETCH PLAT REVIEW  
AND COMMENT

DOUG SMITH agent(s) for JIO RANCESORD request(s) the above action(s) for all or a portion of Tract(s) 309-B-2, zoned RA-2, located on MOUNTAIN RD NW BETWEEN MONTOYA RD NW AND LULAC AVE NW containing approximately .5326 acre(s). (J-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project# 1007147**  
08DRB-70113 SKETCH PLAT REVIEW  
AND COMMENT

JOSE ARMAS agent(s) for JOSE ARMAS request(s) the above action(s) for all or a portion of Lot(s) 28-A, Block(s) 39, **MESA VERDE ADDITION** zoned R-3, located on WESCONSIN NE BETWEEN MARQUETTE NE AND COPPER NE containing approximately .2662 acre(s). (K-19) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project# 1007149**  
08DRB-70114 SKETCH PLAT REVIEW  
AND COMMENT

PLAZA SURVEYS, LLC agent(s) for YOLANDA SANCHEZ request(s) the above action(s) for all or a portion of Tract(s) 122B, zoned RA-2, located on ELFEGO NW BETWEEN TEODORO NW AND GRIEGOS RD NW containing approximately .9709 acre(s). (F-13) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project# 1007150**  
08DRB-70116 SKETCH PLAT REVIEW  
AND COMMENT

SURVEYS SOUTHWEST LTD agent(s) for WILLIAM O'CONNELL request(s) the above action(s) for all or a portion of Lot(s) 3, **FLAMINGO HEIGHTS** zoned O-1, located on ST JOSEPHS CT NW BETWEEN LADERA DR NW AND ATRISCO DR NW containing approximately .48 acre(s). (G-11) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Other Matters: None.

ADJOURNED: 10:24

**City of Albuquerque  
Planning Department  
Inter-Office Memorandum**

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**Date:** March 4, 2008  
**To:** Jack Cloud, DRB Chair  
**From:** Carol Toffaleti, Planner, Development Review  
**(cc:** Jennifer Jaramillo, Dekker/Perich/Sabatini)  
**Subject:** Project #1006824, 07EPC-40055, 08DRB-70100 - Mountainside YMCA

On December 13, 2007, the Environmental Planning Commission approved Project #1006824, 07EPC-40055, a Site Development Plan for Building Permit subject to 9 conditions of approval, for a site of approximately 3 acres located on Comanche Rd. NE, zoned SU-1 for Planned Residential and Recreational Development. The project includes building additions to the existing YMCA, off-street parking and new and upgraded landscaping.

The applicant has met the 9 conditions of approval with the following exceptions:

Condition 6.g.

The proposed landscaping along the southwest boundary of the site, where it adjoins 3604 Yosemite Drive, consists of Powis Castle Sage. This species will not provide the solid screening required to protect the residential property from the adjacent parking, because the fence separating the properties is open chain link fencing.

*Staff recommends that the sage be replaced, and/or supplemented, with low water use evergreen plant(s) that reach a height of at least 6'. (Staff also recommends that the symbols used on the landscape plan for Apache Plume and Powis Castle Sage be more distinct from each other.)*

Condition 8

The condition calls for shared parking agreements to be approved by Code Enforcement and attached to the site development plan prior to DRB sign-off. The additional parking is to address extra demand during swim meets and special events at the YMCA on weekends.

*The applicant has explained verbally that two shared parking agreements have been agreed but not yet finalized. One with the Hoover Middle School is drafted and awaiting the Planning Director's signature. The second, with ABQ Ride for use of their park and ride lot off Tramway, is still progressing through the city system.*



The landscape plan was revised to include English ivy as a screen for the refuse enclosure that was relocated to the northeast corner of the site in response to Condition 9.

*Staff asks that the ivy be moved to the north side of the recycle enclosure, rather than the refuse enclosure, as it is the former that will be visible from Comanche and require screening.*

The changes to the landscape plan and the submittal of parking agreements may be delegated to the DRB for final sign-off.

If you have any questions, feel free to contact me on 924-3345.

A handwritten signature in black ink that reads "Carl Taffel". The signature is written in a cursive style with a large initial "C".

P.S. Please note in the cover letter that Condition 5d actually refers to motorcycle parking *signage* and Condition 5g to keyed note #52.

**6939**

### DXF Electronic Approval Form

DRB Project Case #: 1006939

Subdivision Name: BRUNACINI INDUSTRIAL PARK UNIT III

Surveyor: THOMAS D JOHNSTON

Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 11/21/2008

Hard Copy Received: 11/21/2008

Coordinate System: NMSP Grid (NAD 83)

  
Approved

02-22-2008  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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**AGIS Use Only**  
Copied fc 6939 to agiscov on 2/22/2008 Contact person notified on 2/22/2008

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006824

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

DATE: March 12, 2008



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

March 5, 2008 9:00AM

**MEMBERS:**

**Jack Cloud, AICP, DRB Chairman, Planning Department**

**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development  
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA  
Christina Sandoval, Parks/Municipal Development**

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**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1002944**  
08DRB-70063 - 2YR EXTENSION OF  
SUBDIVISION IMPROVEMENTS  
MARK GOODWIN AND ASSOCIATES PA agent(s) for H & C REAL ESTATE LLC request(s) the above action(s) for all or a portion of Tract(s) F-1-A & F-1-B, **LANDS OF ZOLIN/KUNTAN, TRES ESQUINAS, LLC & CURB INC**, zoned SU-1 FOR MIXED USES DETAILED IN PROJECT# 1000936, located on the west side of UNSER BLVD NW BETWEEN MCMAHON BLVD NW AND NIGHT WHISPER RD NW containing approximately 1.8859 acre(s). (A-11) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
  
2. **Project# 1006516**  
07DRB-70030 BULK LAND VARIANCE  
07DRB-70031 MAJOR - PRELIMINARY  
PLAT APPROVAL  
07DRB-70032 MINOR - TEMP DEFR  
SWDK CONST  
07DRB-70033 SIDEWALK WAIVER  
07DRB-70034 VACATION OF PUBLIC  
EASEMENT  
07DRB-70085 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) *[Deferred from 6/27/07, 7/25/07, 8/22/07 & 9/26/07 11/28/07 & 1/30/08]* **DEFERRED TO 4/9/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1004677**  
08DRB-70101 EPC APPROVED SDP  
FOR SUBDIVISION

C DAVID DAY, MOULE & POLYZOIDES ARCHITECTS agent(s) for JAY REMBE AND/OR HIS ASSIGNS request(s) the above action(s) for all or a portion of Tract(s) 129A, 131, 133A1, 133A2, 133B, 134, AND 135A, **ALBUQUERQUE LITTLE THEATER, CALVIN HORN, AND LAGUNA SUBDIVISION**, zoned SU-1/SU-1/ ALBUQUERQUE LITTLE THEATER & SU-2/SU-1 CLD, located on CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE SW containing approximately 3.86 acre(s). (J-13) **DEFERRED TO 3/19/08 AT THE AGENT'S REQUEST.**

4. **Project# 1006824**  
08DRB-70100 EPC APPROVED SDP  
FOR BUILD PERMIT

DEKKER PERICH SABATINI agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) A, **R P TINNIN**, zoned SU-1 FOR PLANNED RESIDENTIAL AND RECREATIONAL DEVELOPMENT, located on COMANCHE NE BETWEEN TRAMWAY NE AND JUAN TABO NE containing approximately 3.01 acre(s). (G-22) **DEFERRED TO 3/12/08 AT THE AGENT'S REQUEST.**

5. **Project# 1004354**  
08DRB-70048 SITE DEVELOPMENT  
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) [*Deferred from 2/20/08*] **DEFERRED TO 3/12/08 AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

6. **Project# 1006879**  
08DRB-70096 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

PRECISION SURVEYS INC agent(s) for ANSELMO C'DE BACA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24 TBKA 23-A & 24-A, Block(s) 5, **BELMONT PLACE**, zoned R-1, located on BELLROSE AVE NW BETWEEN 6TH AND PUBLIC AVE 5TH STREET NW containing approximately 0.1627 acre(s). (G-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project# 1005403**  
08DRB-70092 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE LLC request(s) the above action(s) for all or a portion of Tract(s) 12-A1-A & 12-A-1B, **HACIENDAS DON VILLEGAS**, zoned RLT, located on RIO GRANDE BLVD NW BETWEEN INDIAN SCHOOL NW AND CONTEREAS PL NW containing approximately 1.2084 acre(s). (H-13) **DEFERRED TO 3/12/08 AT THE AGENT'S REQUEST.**
8. **Project# 1001026**  
08DRB-70098 VACATION OF PRIVATE  
EASEMENT  
08DRB-70099 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- WAYJON SURVEYING INC agent(s) for TEMPLE HILL LLC request(s) the above action(s) for all or a portion of Tract(s) A-2, **TRACTS A-1 & A-2, MED-ART SQUARE, VELMONTE ADDITION**, zoned O-1, containing approximately 1.0002 acre(s). (J-15) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND TO RECORD.**
9. **Project# 1006939**  
08DRB-70078 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- WAYJOHN SURVEYING INC agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit 3**, zoned M-1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.9085 acre(s). (H-16) [*Deferred from 2/27/08*] **DEFERRED TO 3/12/08 AT THE AGENT'S REQUEST.**
10. **Project# 1004919**  
07DRB-70073 MINOR - FINAL PLAT  
APPROVAL
- WAYJOHN SURVEYING INC agent(s) for DAVID MURPHY request(s) the above action(s) for all or a portion of Tract(s) 127-B, 128-B, 129-B-2, 129-B-1, 131 & 131-A (to be known as **NORTH 2<sup>ND</sup> STREET BUSINESS CENTER**), zoned M-1, located on 2<sup>nd</sup> ST NW between MONTANO NW and GRIEGOS NW containing approximately 6.1315 acre(s). [*Deferred from 06/27/07, 07/11/07, 07/25/07, 08/01/07 & 8/8/07*] [REF: 06DRB-00747] (F-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND REVISION TO NOTE 8 INDICATING EASEMENT DEDICATION TO ABCWUA.**

11. **Project# 1000523**  
08DRB-70085 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for BROADWAY VISTA PARTNERS request(s) the above action(s) for all or a portion of Block 19, Tract(s) A, B, C, D, E, & F TRACT 3, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-1, C-1, located on PASEO DEL NORTE BETWEEN VENTURA AND HOLBROOK containing approximately 4.7776 acre(s). (C-20) **DEFERRED TO 3/12/08 AT THE AGENT'S REQUEST.**

12. **Project# 1004675**  
08DRB-70075 AMENDMENT TO  
PRELIMINARY PLAT  
08DRB-70076 SIDEWALK WAIVER  
08DRB-70077 MINOR - TEMP DEFR  
SWDK CONST

MARK GOODWIN AND ASSOCIATES PA agent(s) for TS MCNANEY request(s) the above action(s) for all or a portion of Lot 1 TO BE KNOWN AS VISTA DE LA LUZ, **SP-KINDSCHERFFLAND; AND SW 1/4 ON NE 1/4 SEC 35/ T11N/ R2E**, zoned SU-1 PRD, located on COORS BLVD NW BETWEEN WESTERN TRAIL NW AND DELLYNE AV NW containing approximately 27.674 acre(s). (F-11) **THE AMENDMENT TO PRELIMINARY PLAT WAS APPROVED. THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

13. **Project# 1007139**  
08DRB-70102 SKETCH PLAT REVIEW  
AND COMMENT

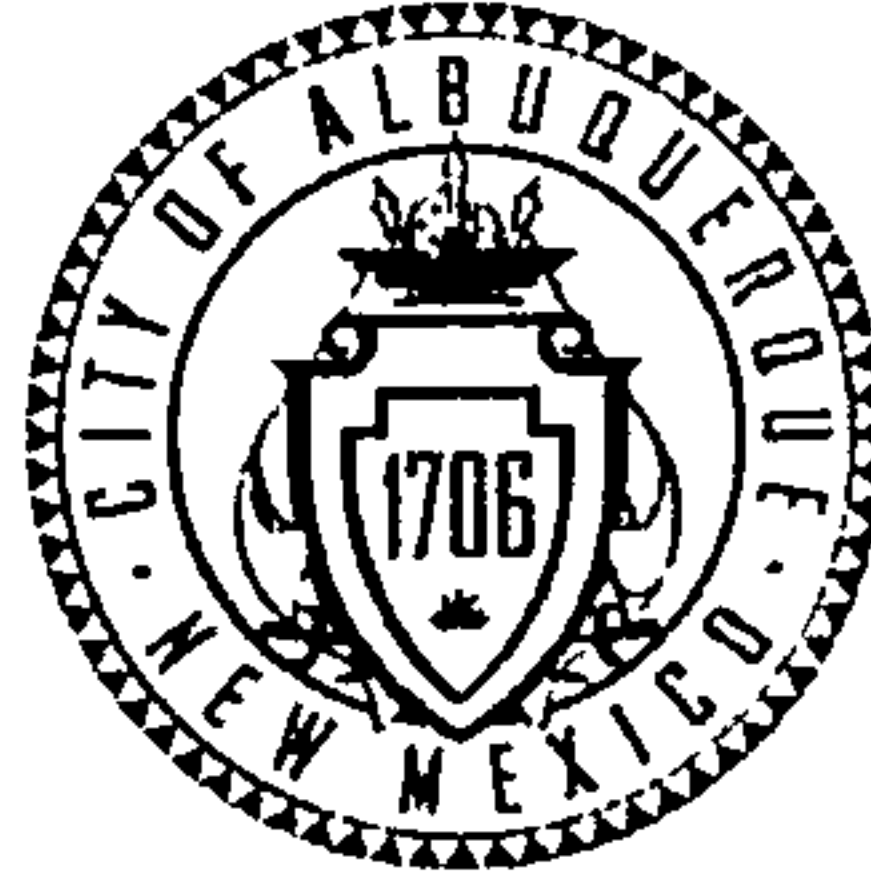
MARK GOODWIN AND ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Tract(s) 3-1, **JUAN TABO HILLS Unit(s) 1**, zoned R-D, located on GULFSTREAM SE BETWEEN JUAN TABO SE AND TIJERAS ARROYO (M-22) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project# 1007140**  
08DRB-70103 SKETCH PLAT REVIEW  
AND COMMENT

MARK GOODWIN AND ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-A, **JUAN TABO HILLS Unit(s) 1**, zoned R-D, located on VIA POSADA SE BETWEEN JUAN TABO SE AND TIJERAS ARROYO containing approximately 9.5455 acre(s). (M-22) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Other Matters: None

ADJOURNED: 10:00



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: December 14, 2007

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project# 1006824\***  
07EPC-40055 SITE DEVELOPMENT -  
BUILDG PRMT

YMCA of Central New Mexico  
2403 San Mateo NE, STE P-16  
Albuq.NM 87109

**LEGAL DESCRIPTION:** for all or a portion of Tract A, RP TINNIN SUBDIVISION zoned SU-1 for Planned Residential & Recreational Development located on COMANCHE RD NE BETWEEN YOSEMITE DR AND MOUNTAIN SIDE containing approximately 3 acres. (G-22)  
Carol Toffaleti, Staff Planner

On December 13, 2007 the Environmental Planning Commission voted to approve Project 1006824/07EPC-40055, a Site Development Plan for Building Permit, for Tract A, R.P. TINNIN Subdivision, zoned SU-1 for Planned Residential and Recreational Development, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. The request is for a site development plan for building permit for Tract A, R.P. TINNIN Subdivision, a site of approximately 3 acres located on Comanche Rd NE between Yosemite Dr. and Mountainside Parkway, zoned SU-1 for Planned Residential and Recreational Development.
2. The subject site contains the Mountainside Branch YMCA, with an existing indoor activity center and outdoor swimming pool. The applicant proposes three additions to the facility: a 1490 sf multi-purpose room and new main entry; a 4,617 fitness center; and a 760 sf poolside restroom cabana. A new 6,217 sf building, separate and southwest of the main facility, will serve as a combined day care/teen center. Landscaping, street trees and additional parking are also proposed.
3. An approved site development plan for the site (Z-93-7, April 1993) includes general notes on compliance with the City noise ordinance and on the provision of additional off-street parking for special events. This request will amend the 1993 site development plan (Z-93-7).



4. The site is in the Established Urban Area of the Comprehensive Plan. The proposal furthers the following goals and policies of the Comprehensive Plan:
  - a. The Goal for the Established Urban Area and Policy II.B.5.m, because upgrades to parking and landscaped areas and the architectural quality of the remodelled facility will improve the visual environment in the area.
  - b. Policy II.B.5.d, because the site development plan addresses neighborhood concerns, including grading and drainage along the west boundary wall, parking, lighting, safety and pedestrian access, and therefore respects neighborhood values.
  - c. The Transportation and Transit Goal and Policy II.D.4g, because the site design accommodates access to, and circulation on, the site for all forms of travel and improves pedestrian safety.
5. The walls on the west property line are shared by the YMCA with the adjoining residential property-owners.
6. Conditions are attached to correct inconsistencies and omissions on the site development plan, landscape plan and building elevations, and to bring them into greater compliance with applicable zoning regulations.
7. Contacts from the affected neighborhood associations, Holiday Park, Eldorado Heights and Big Bend, registered general support for the proposal at a meeting on August 10<sup>th</sup>, 2007 held by the applicant. The applicant also presented the proposal at a meeting of the Eldorado Heights neighborhood association on October 16<sup>th</sup>, 2007. Concerns were raised regarding neighborhood notification and communication, and the lack of water conservation measures in the project.
8. The EPC approved a deferral requested by the applicant from the October 18<sup>th</sup> to the November 8<sup>th</sup>, 2007 hearing due to incomplete neighborhood notification.
9. Two contacts of the Holiday Park, Eldorado Heights and Big Bend Neighborhood Associations and property-owners within 100' of the site were notified of the proposal.
10. Public concerns regarding water management, grading and drainage at the west boundary, parking, lighting, safety and noise were expressed at the November 8<sup>th</sup>, 2007 EPC hearing. At the hearing, the EPC voted to defer the request for 30 days to the December 13, 2007 hearing to enable the applicant to revise the site development plan.
11. Comments were received from the property owner at 3604 Yosemite Dr., a neighborhood resident and a resident east of Tramway Blvd. New matters raised include: concern about the use of park & ride and requests for cost estimates for rainwater harvesting and graywater recycling, for the relocation of the day care/teen center and for a deferral of EPC review to the January 17<sup>th</sup> hearing.

12. The submitted site development plan shows a five foot landscape buffer along the western side of the site in conjunction with a four-foot, paved area between the property line and the parking area ("buffer zone"). The actual, five-foot landscape buffer is five feet less than the ten foot landscape buffer required by the Zoning Code, but the intent of the Landscaping Regulations is met by the nine-foot "buffer zone" as submitted. The five-foot landscape buffer with xeric non-irrigated landscaping, in conjunction with the four-foot paving area, will help to minimize pervious surfaces along the western property line where water infiltration near a shared garden wall is not desired.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**  
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - c. Site plan shall comply and be designed per DPM Standards.
4. Grading and drainage shall be designed and implemented to ensure that flows do not travel to adjacent properties to the west and that the structural integrity of existing walls, including shared walls on the west property line, is not compromised.

5. The following changes shall be made to the Site Development Plan:
  - a. The pedestrian connection from Comanche Road to the front entry, including crosswalks and stairs, shall be shown graphically as 6' wide.
  - b. Under Site Data, show the full zoning designation, "SU-1 for Planned Residential and Recreational Development".
  - c. Keyed Note 43 shall include the text "not to exceed 16' in height within 100' of a residential zone". A note shall state that lights will not shine on any residential property.
  - d. Key the motorcycle parking signage shown on the plan.
  - e. Correct the key number on the bike rack and add a key for the bench, that are both located in front of Building E.
  - f. Include General Notes 1 and 2 from the approved site development plan (see Z-68-89-1, Z-93-7) regarding noise and parking for special events.
  - g. Include notched curbs to allow runoff into landscaped beds in locations where infiltration will not compromise the structural integrity of the west boundary walls and any other elements of the drainage plan.
  - h. Correct the height of the wall in Keyed Note 19.
  - i. Delete Keyed Note 45.
  - j. Provide the height of the fence in Keyed Note 47.
  
6. The following changes shall be made to the Landscape Plan:
  - a. Change the scale, including the bar scale, to match the site development plan or the grading and drainage plan.
  - b. In the landscape calculations, move the text regarding sod to the Existing Landscaping section.
  - c. Add shrubs to the landscaped strip in the existing parking area along the west boundary to enhance buffering.
  - d. Replace Vitex in the west boundary landscape buffer with a low water use species.
  - e. In the note regarding irrigation in the west boundary landscape buffer, replace "should" with "shall" in the last sentence.
  - f. Replace Scotch Broom with another, less invasive, variety such as Lena's Broom.
  - g. Adjust plantings to include evergreen shrubs and/or small trees, in the landscaped beds at the rear of 3614 Yosemite Dr. and along the south boundary of the site to provide screening for residential properties, per Section 14-16-3-10(E)(4) of the Zoning Code.
  
7. The following changes shall be made to the Building Elevations:
  - a. Include typical dimensions of doors and windows.
  - b. Indicate any illumination of signage. State in the notes that signage shall comply with Section 14-16-3-5 of the Zoning Code.
  - c. Indicate roof color and material of all buildings.

- d. Indicate how roof-mounted mechanical equipment on all buildings will be hidden or screened from view from the public ROW and residential properties, per Section 14-16-3-18 (C)(5) in the Zoning Code.
  - e. Indicate the material and color of all facades of Building E.
  - f. Key building-mounted lighting on Buildings A, B & C.
  - g. Provide common colors of wall materials.
8. A shared parking agreement to handle parking demand for swim meets and other special events shall be submitted by the applicant to Code Enforcement for approval and attached to the site development plan prior to DRB sign-off.
  9. The dumpster shall be moved away from the western property line to an alternate location that is acceptable to the Solid Waste Management Department.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 28, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION  
DECEMBER 13, 2007  
PROJECT #1006824  
PAGE 6 OF 6

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

*for*   
Richard Dineen  
Planning Director

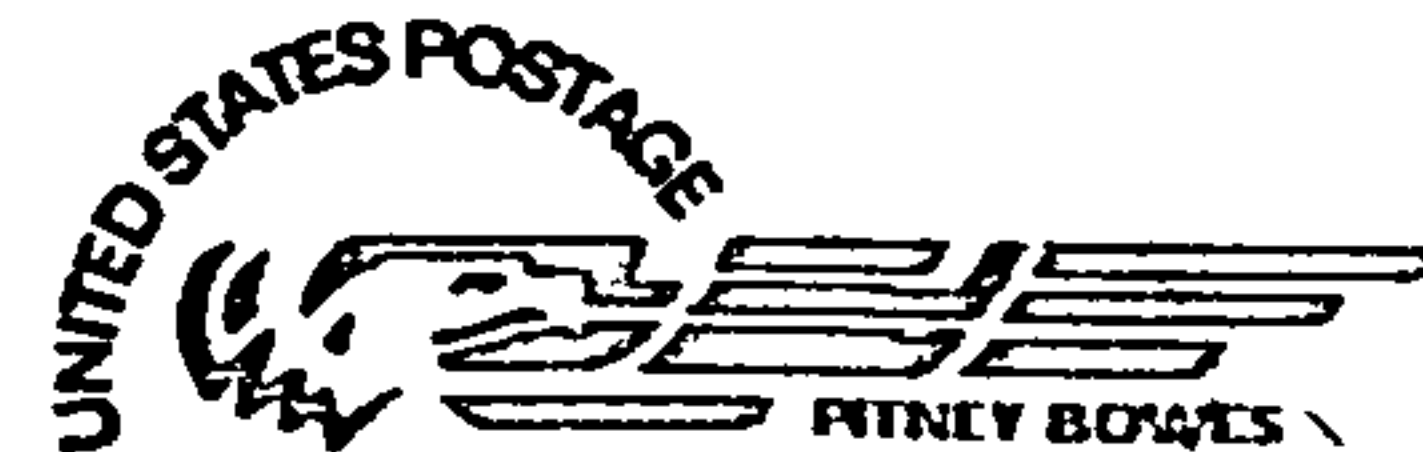
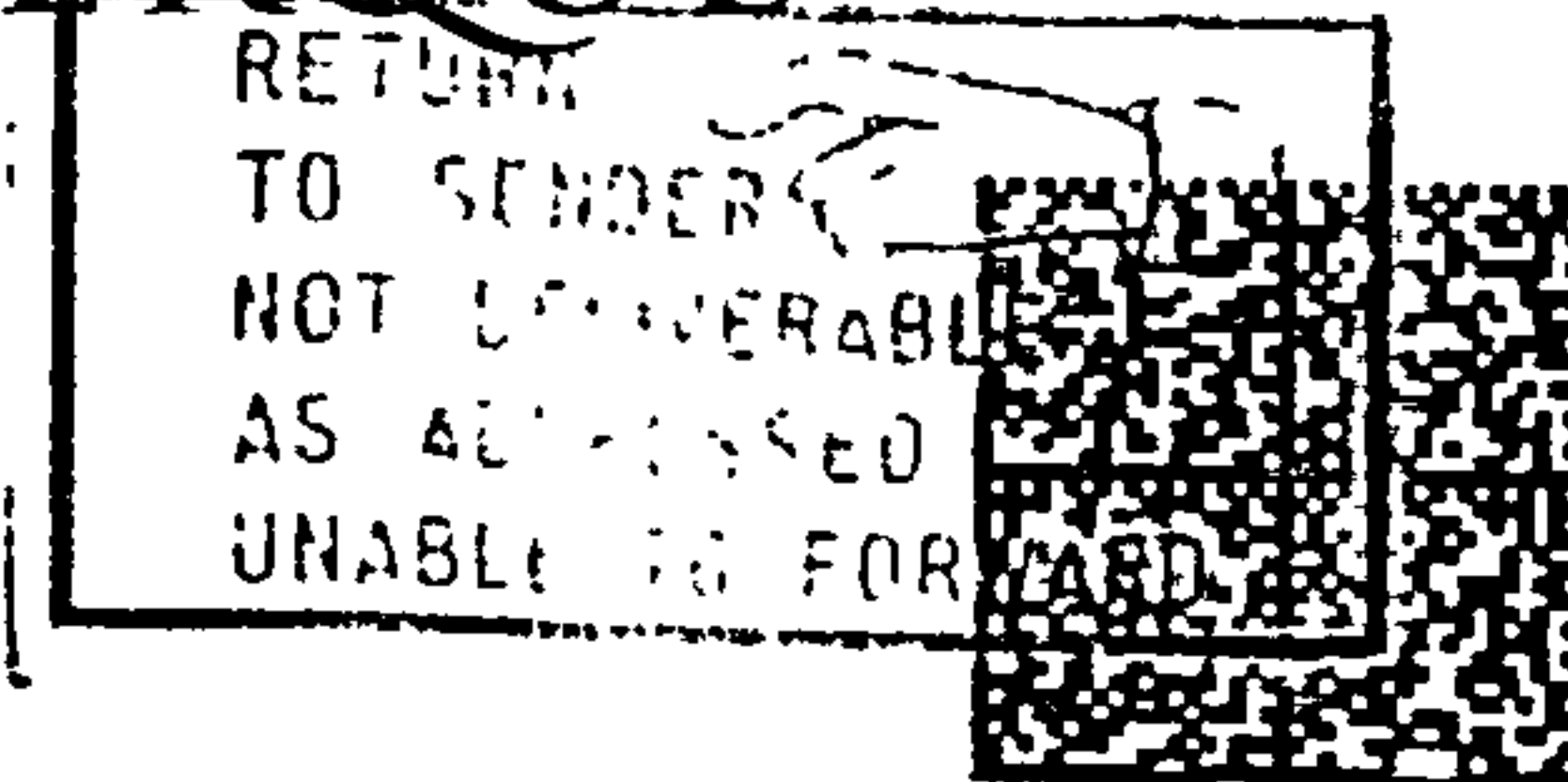
RD/CT/ac

cc: Dekker Perich Sabatini, 7601 Jefferson Blvd. NE, #100, Albuquerque, NM 87114  
Joe Abbin, Holiday Park NA, 11716 Tivoli Ave. NE, Albuquerque, NM 87111  
Max Decker, Holiday Park NA, 3420 Montreal NE, Albuquerque, NM 87111  
Sharon Busboom, Eldorado Heights, 12000 La Charles Ave. NE, Albuquerque, NM 87111  
Mary Pertile, Eldorado Heights, 4113 Shiloh Dr. NE, Albuquerque, NM 87111  
Ken Orth, Big Bend NA, 3801 Big Bend Rd. NE, Albuquerque, NM 87111  
Julie Thompson-Roberson, Big Bend NA, 3740 Big Bend NE, Albuquerque, NM 87111  
Michael Block, 3520 Parisian Way, Albuquerque, NM 87111  
Linda McCutcheon, 3524 Parisian Way NE, Albuquerque, NM 87111  
Bing LeRoy, 13625 Cedarbrook NE, Albuquerque, NM  
Richard Darnell, 405 Cornell SE, Albuquerque, NM 87106  
Cabrini Sanchez, 3608 Yosemite Dr. NE, Albuquerque, NM 87111  
Robert Wade, 3616 Yosemite Dr. NE, Albuquerque, NM 87111  
Don Ethell, 3620 Yosemite Dr. NE, Albuquerque, NM 87111  
John McCall, 721 5<sup>th</sup> St. NW, Albuquerque, NM 87102

# CITY OF ALBUQUERQUE



Planning Department

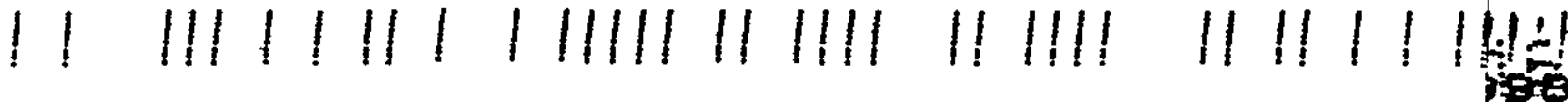


02 1M \$ 00.41<sup>0</sup>  
0004219022 DEC 14 2007  
MAILED FROM ZIP CODE 87102

*Does NOT belong  
to Design Review*

Richard Darnell  
405 Cornell SE  
Albuquerque, NM 87106

DARN405 871 CE 1 N C 70 12/18/07  
UNABLE TO FORWARD/FOR REVIEW  
\*\*CO16\*\*  
NO FORWARDING ORDER ON FILE  
RETURN TO POSTMASTER  
OF ORIGINAL ADDRESSEE FOR REVIEW  
BC: 87108358599 PM \*0288-08388-14-37





# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006824

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

3-12-08

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED ; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

DATE: March 5, 2008



**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

02/26/2008 Issued By: PLNSDH

**Permit Number: 2008 070 100** **Category Code 910**

**Application Number:** 08DRB-70100, Epc Approved Sdp For Build Permit

**Address:**

**Location Description:** COMANCHE NE BETWEEN TRAMWAY NE AND JUAN TABO NE

**Project Number:** 1006824

**Applicant**

*Ymca Of Central New Mexico*

2403 San Mateo Blvd, Ste P-16  
Albuquerque NM 87109  
881-4787

**Agent / Contact**

Dekker Perich Sabatini  
Chris Gunning  
7601 Jefferson Ne Suite 100  
Albuquerque NM 87109

chrisg@dpsabq.com

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
<b>TOTAL:</b>		<b>\$20.00</b>

City Of Albuquerque  
Treasury Division

2/26/2008 10:45AM LOC: ANNX  
WS# 008 TRANSH 0010  
RECEIPT# 00087893-00087893  
PERMITH 2008070100 TRSDMFC  
Trans Ant \$20.00  
Conflict Manag. Fee \$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You

# A City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p><b>SUBDIVISION</b> <span style="float: right;"><b>S</b></span></p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation <span style="float: right;"><b>V</b></span></p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b> <span style="float: right;"><b>P</b></span></p> <p><input checked="" type="checkbox"/> ...for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) <b>L</b></p>	<p style="text-align: center;">Supplemental form</p> <p><b>ZONING</b> <span style="float: right;"><b>Z</b></span></p> <p><input type="checkbox"/> Annexation &amp; Zone Establishment</p> <p><input type="checkbox"/> Sector Plan</p> <p><input type="checkbox"/> Zone Change</p> <p><input type="checkbox"/> Text Amendment</p> <p><input type="checkbox"/> Special Exception <span style="float: right;"><b>E</b></span></p> <p><b>APPEAL / PROTEST of...</b> <span style="float: right;"><b>A</b></span></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: YMCA OF CENTRAL NEW MEXICO PHONE: 505-881-4787  
 ADDRESS: 2403 SAN MATEO BLVD STE P-16 FAX: 505-881-5350  
 CITY: ALBUQUERQUE STATE NM ZIP 87190 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNER  
 AGENT (if any): DEKKER/PERICHA/SABATINI PHONE: 505-761-9700  
 ADDRESS: 7601 JEFFERSON BLVD NE 100 FAX: 505-761-4222  
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: 13,099 SF ADDITIONAL TO EXISTING YMCA @ 12500 COMANCHE NE, WITH RELATED SITEWORK

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. R.P. TINNIN SUBDIVISION  
 Current Zoning: SU-1, FOR PLANNED RESIDENTIAL AND RECREATIONAL DEVELOPMENT Proposed zoning: N/A  
 Zone Atlas page(s): G-22-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 3.01 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 12500 COMANCHE NE  
 Between: TRAMWAY and JUAN TABO

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): E-68-89-1, E-93-7, S-1075-1, 1000521

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_  
 SIGNATURE JENNIFER JARAMILLO DATE 2/26/08  
 (Print) \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised December 2000

<input type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill <input checked="" type="checkbox"/> F.H.D.P. density bonus <input type="checkbox"/> F.H.D.P. fee rebate	<p style="text-align: center;">Application case numbers</p> <p><u>08DRB</u> : _____ : <u>70100</u></p> <p>_____ : _____ : _____</p> <p>_____ : _____ : _____</p> <p>_____ : _____ : _____</p> <p>Hearing date <u>03/05/08</u></p>	<p style="text-align: center;">Action</p> <p><u>SBP</u></p> <p><u>CME</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p style="text-align: center;">S.F. Fees</p> <p><u>P(3)</u> \$ <u>0</u></p> <p>_____ \$ <u>20.00</u></p> <p>_____ \$ _____</p> <p>_____ \$ _____</p> <p>_____ \$ _____</p> <p>Total \$ <u>20.00</u></p>
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Sandy Handley 02/26/08 Project # 1006824  
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

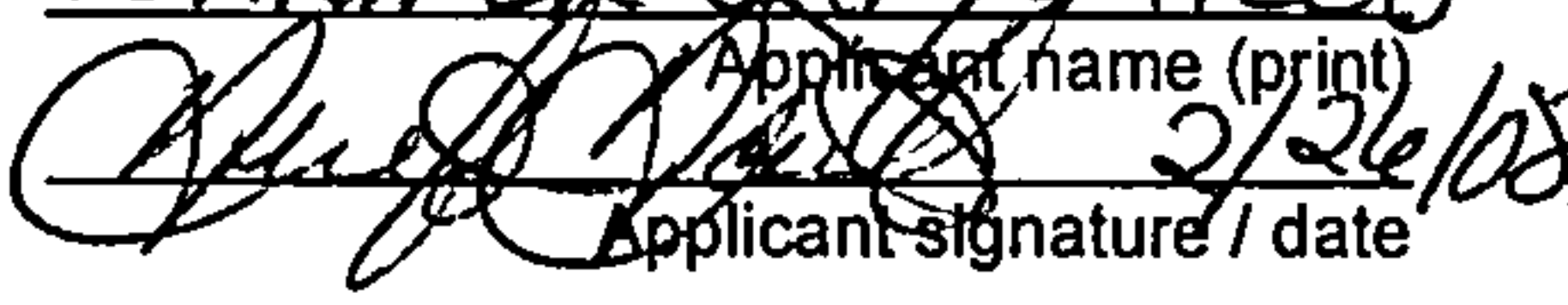
- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JENNIFER JARAMILLO  
Applicant name (print)  
  
Applicant signature / date 2/26/08

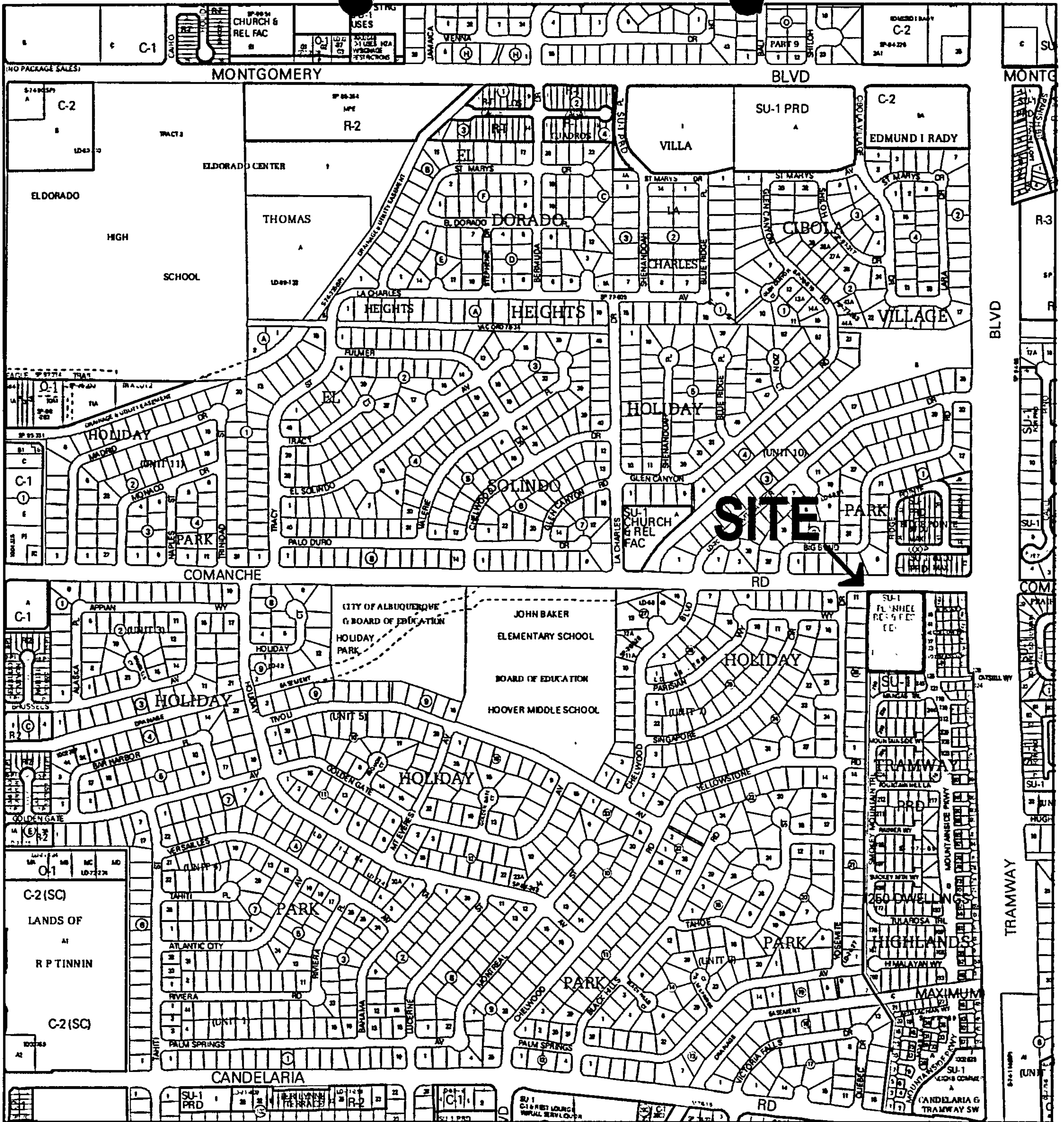


Form revised October 2007

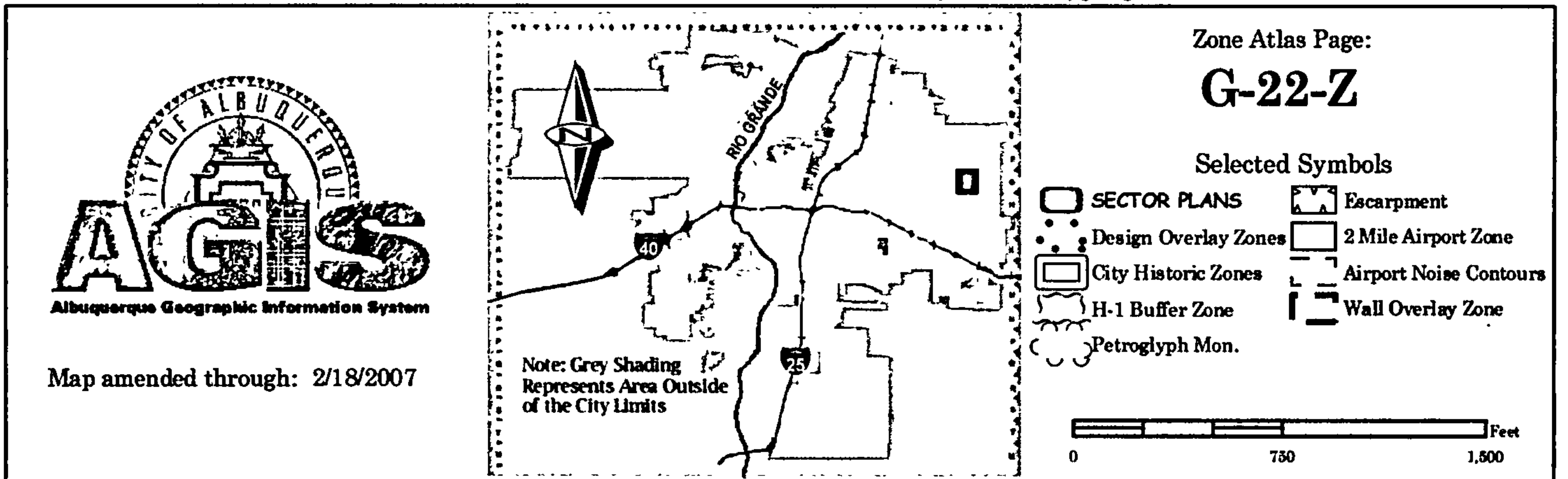
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 08DRB - 70100

Sandy Handley 02/26/08  
Planner signature / date  
 Project # 1000824



For more current information and more details visit: <http://www.cabq.gov/gis>



February 26, 2008

City of Albuquerque  
Planning Department  
Development Review Board  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Re: Project # 1006824  
07EPC-40055**

To Whom It May Concern:

On behalf of our client, the YMCA of Central New Mexico, Dekker/Perich/Sabatini respectfully submits to the DRB application for Site Development Plan for Building Permit. This project was delegated to the DRB based on EPC approval dated 12/13/07.

The proposed project consists of (4) four additions to the existing Mountainside Branch YMCA on 12500 Comanche Road. The additions will include: a 1,490 sf multipurpose room and new main entry; a 4,617 sf fitness center; a 760 sf restroom cabana; and a new 6,119 sf day care facility and multi-purpose building. The project will also upgrade landscaping and off-street parking to meet all current zoning ordinances.

The existing site is approximately 3.0 acres and faces Comanche Rd, just west of Tramway Blvd. On the site is an existing 11,000 square foot swim and youth activity center. The existing building is not up to modern standards for fitness facilities. The YMCA wishes to expand their facilities and encourage new membership; so that they may continue to be a vital part of the community. There are currently (79) parking spaces; this has been a point of contention with the effected neighbors. The Mountainside YMCA sponsors a powerful swim club, their swim meets can overwhelm the existing parking lot and the adjacent neighborhoods. The proposed project will add (61) parking spaces which will bring the lot up to current code and help alleviate this problem

The EPC Conditions for Approval dated 12/13/07 have been resolved in the following manner:

**Condition 1**

This letter will explain in detail how each EPC Condition has been met by site plan modification and other means.

**Condition 2:**

A meeting was held on 2/22/08 with the assigned staff planner, Carol Toffaleti. Each condition was shown to have been met.

**Condition 3:**

This project shall comply with recommended conditions from City Engineer, Municipal Development, Water Authority, and NMDOT.

**Condition 4:**

Grading and drainage is designed to ensure that flows do not travel to adjacent properties to the west and that the structural integrity of existing walls, including shared walls along the west property line, will not be compromised.

**Condition 5a:**

The pedestrian connection from Comanche Road to the front entry has been shown graphically with a dimension string as 6'-0.

**Condition 5b:**

Under Site Data, zoning designation reads "SU-1 for Planned Residential and Recreational Development".

**Condition 5c:**

Keyed note 43 changed to read "Light pole, not to exceed 16' in height within 100' of a residential zone and will not shine on any residential property."

**Condition 5d:**

A keyed note has been added to designate motorcycle parking area.

**Condition 5e:**

At the front entry of building E, the Pre-school/Multi-Purpose Building, the bike rack keyed note has been corrected to read #3 and keyed note #42 has been added to the bench.

**Condition 5f:**

General Notes 1 and 2 from previously approved site development plan regarding noise and parking for special events has been added.

**Condition 5g:**

Notched curbs have been added to allow collection of water runoff along landscape islands north of building E called out with new keyed note #53.

**Condition 5h:**

Height of north screen wall clarified in keyed note 19, keyed note reads "6'-0" high CMU screen wall."

**Condition 6a:**

Sheet L001 scale changed to match grading and drainage, 1" = 30'-0".

**Condition 6b:**

Text regarding sod moved to section "Existing Landscaping".

**Condition 6c:**

Shrubs were added at the west landscape strip along existing parking area to enhance buffering.

**Condition 6d:**

Replaced Vitex with low water use New Mexico Olive in the west boundary landscape buffer.

**Condition 6e:**

In the note regarding irrigation at the west landscape buffer, the word "should" was replaced with the word "shall" in the last sentence.

**Condition 6f:**

Lena's Broom, a less invasive species, will be used in place of Scotch Broom.

**Condition 6g:**

Evergreen shrubbery; Apache Plume and Powis Castle Sage, are located at the SW corner of the site to help shield 3604 Yosemite DR from the YMCA. These shrubs as well as Curlleaf Mtn Mahogany trees were added along the south boundary. Apache Plume grows to a height of 6' and Powis Castle Sage to 5'. Both are low water use plants.

**Condition 7a:**

Typical dimensions have been added at doors and windows.

**Condition 7b:**

Keyed note 53 was added to the site plan to locate the light fixture that is to illuminate the 'Y' insignia building elevation on the north façade of building A. The light fixture will comply with the State Night Sky Protection Act as well as COA Comprehensive Zoning Code 14-16-3-5.

Condition 7c:

Roof color and material has been added as a general note.

Condition 7d:

Roof mounted mechanical equipment is screened per COA Comprehensive Zoning Code 14-16-3-18. Roof mounted mechanical equipment at building E has been moved to the ground south of the building and will be screened by a 4'-0" high chainlink fence with non-reflective off-white aluminum privacy slats.

Condition 7e:

To indicate material and color of all facades of buildings D and E, elevations have been removed from sheet A091 and moved to new sheet A302. A material legend has also been provided.

Condition 7f:

Building-mounted lighting has been keyed on Buildings A, B, and C.

Condition 7g:

Building material legend on sheets A301 and A302 state common colors.

Condition 8:

A parking agreement for special events between Abq Rides and the YMCA, and Hoover Middle School and the YMCA, has been agreed to in principal; and shall be fully executed by all required parties prior to final approval by DRB. (Letters confirming these agreements in principal are part of the public record for this case)."

Condition 9:

The dumpster has been moved from along the west property line to the northeast corner of the site along Comanche Road. This location has been approved by the City of Albuquerque as well as the YMCA of Central New Mexico.

Very truly yours,

**Dekker/Perich/Sabatini Ltd.**



Jennifer R. Jaramillo

Encl: None

Cc: Carol Toffaleti, Keith Poitras, Linda Stevens, Curtis Proctor, file



**YMCA of Central  
New Mexico**

**CORPORATE OFFICES**

Post Office Box 3308  
Albuquerque, NM 87190

February 26, 2008

Albuquerque Planning Department  
Environmental Planning Commission  
600 2<sup>nd</sup> Street NW Plaza del Sol  
Albuquerque, NM 87102

Re: McLeod Mountainside YMCA – Additions and Remodel Project  
DRB Submittal (2/26/08)

**To Whom It May Concern,**

With this letter, the YMCA gives permission to Dekker/Perich/Sabatini, to submit any applications necessary and to act as agent on behalf of the YMCA for the above mentioned project in all matters pertaining to EPC and DRB.

If there are any questions, please feel free to contact Marian Bolton, CEO or Linda Stevens, CFO of the YMCA of Central New Mexico at 505-881-4787.

Regards,

Linda Stevens,  
CFO, HR, Risk

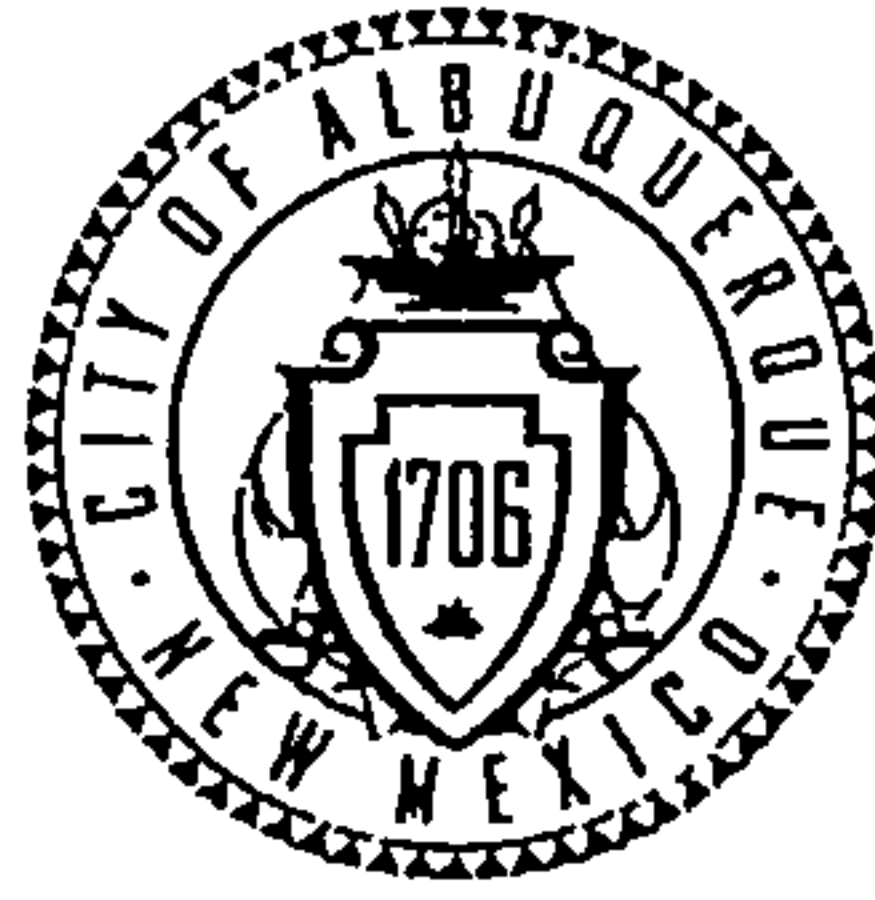
Cc: Curtis R. Proctor, AIA

*We Build Strong Kids, Strong Families, Strong Communities.*

Office: (505) 881-4787 • Fax: (505) 881-5350

[www.ymcacnm.org](http://www.ymcacnm.org)





City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: January 15, 2008

## AMENDED OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1006824\***  
07EPC-40055 SITE DEVELOPMENT -  
BUILDG PRMT

YMCA of Central New Mexico  
2403 San Mateo NE, STE P-16  
Albuq.NM 87109

LEGAL DESCRIPTION: for all or a portion of Tract A, RP TINNIN SUBDIVISION zoned SU-1 for Planned Residential & Recreational Development located on COMANCHE RD NE BETWEEN YOSEMITE DR AND MOUNTAIN SIDE containing approximately 3 acres. (G-22)  
Carol Toffaleti, Staff Planner

On December 13, 2007 the Environmental Planning Commission voted to approve Project 1006824/07EPC-40055, a Site Development Plan for Building Permit, for Tract A, R.P. TINNIN Subdivision, zoned SU-1 for Planned Residential and Recreational Development, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. The request is for a site development plan for building permit for Tract A, R.P. TINNIN Subdivision, a site of approximately 3 acres located on Comanche Rd NE between Yosemite Dr. and Mountainside Parkway, zoned SU-1 for Planned Residential and Recreational Development.
2. The subject site contains the Mountainside Branch YMCA, with an existing indoor activity center and outdoor swimming pool. The applicant proposes three additions to the facility: a 1490 sf multi-purpose room and new main entry; a 4,617 fitness center; and a 760 sf poolside restroom cabana. A new 6,217 sf building, separate and southwest of the main facility, will serve as a combined day care/teen center. Landscaping, street trees and additional parking are also proposed.
3. An approved site development plan for the site (Z-93-7, April 1993) includes general notes on compliance with the City noise ordinance and on the provision of additional off-street parking for special events. This request will amend the 1993 site development plan (Z-93-7).

AMENDED OFFICIAL NOTICE OF DECISION  
DECEMBER 13, 2007  
PROJECT #1006824  
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4. The site is in the Established Urban Area of the Comprehensive Plan. The proposal furthers the following goals and policies of the Comprehensive Plan:
  - a. The Goal for the Established Urban Area and Policy II.B.5.m, because upgrades to parking and landscaped areas and the architectural quality of the remodelled facility will improve the visual environment in the area.
  - b. Policy II.B.5.d, because the site development plan addresses neighborhood concerns, including grading and drainage along the west boundary wall, parking, lighting, safety and pedestrian access, and therefore respects neighborhood values.
  - c. The Transportation and Transit Goal and Policy II.D.4g, because the site design accommodates access to, and circulation on, the site for all forms of travel and improves pedestrian safety.
5. The walls on the west property line are shared by the YMCA with the adjoining residential property-owners.
6. Conditions are attached to correct inconsistencies and omissions on the site development plan, landscape plan and building elevations, and to bring them into greater compliance with applicable zoning regulations.
7. Contacts from the affected neighborhood associations, Holiday Park, Eldorado Heights and Big Bend, registered general support for the proposal at a meeting on August 10<sup>th</sup>, 2007 held by the applicant. The applicant also presented the proposal at a meeting of the Eldorado Heights neighborhood association on October 16<sup>th</sup>, 2007. Concerns were raised regarding neighborhood notification and communication, and the lack of water conservation measures in the project.
8. The EPC approved a deferral requested by the applicant from the October 18<sup>th</sup> to the November 8<sup>th</sup>, 2007 hearing due to incomplete neighborhood notification.
9. Two contacts of the Holiday Park, Eldorado Heights and Big Bend Neighborhood Associations and property-owners within 100' of the site were notified of the proposal.
10. Public concerns regarding water management, grading and drainage at the west boundary, parking, lighting, safety and noise were expressed at the November 8<sup>th</sup>, 2007 EPC hearing. At the hearing, the EPC voted to defer the request for 30 days to the December 13, 2007 hearing to enable the applicant to revise the site development plan.
11. Comments were received from the property owner at 3604 Yosemite Dr., a neighborhood resident and a resident east of Tramway Blvd. New matters raised include: concern about the use of park & ride and requests for cost estimates for rainwater harvesting and graywater recycling, for the relocation of the day care/teen center and for a deferral of EPC review to the January 17<sup>th</sup> hearing.

12. The submitted site development plan shows a five foot landscape buffer along the western side of the site in conjunction with a four-foot, paved area between the property line and the parking area ("buffer zone"). The actual, five-foot landscape buffer is five feet less than the ten foot landscape buffer required by the Zoning Code, but the intent of the Landscaping Regulations is met by the nine-foot "buffer zone" as submitted. The five-foot landscape buffer with xeric non-irrigated landscaping, in conjunction with the four-foot paving area, will help to minimize pervious surfaces along the western property line where water infiltration near a shared garden wall is not desired.

### CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:  
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - c. Site plan shall comply and be designed per DPM Standards.
4. Grading and drainage shall be designed and implemented to ensure that flows do not travel to adjacent properties to the west and that the structural integrity of existing walls, including shared walls on the west property line, is not compromised.

5. The following changes shall be made to the Site Development Plan:
  - a. The pedestrian connection from Comanche Road to the front entry, including crosswalks and stairs, shall be shown graphically as 6' wide.
  - b. Under Site Data, show the full zoning designation, "SU-1 for Planned Residential and Recreational Development".
  - c. Keyed Note 43 shall include the text "not to exceed 16' in height within 100' of a residential zone". A note shall state that lights will not shine on any residential property.
  - d. Key the motorcycle parking signage shown on the plan.
  - e. Correct the key number on the bike rack and add a key for the bench, that are both located in front of Building E.
  - f. Include General Notes 1 and 2 from the approved site development plan (see Z-68-89-1, Z-93-7) regarding noise and parking for special events.
  - g. Include notched curbs to allow runoff into landscaped beds in locations where infiltration will not compromise the structural integrity of the west boundary walls and any other elements of the drainage plan.
  - h. Correct the height of the wall in Keyed Note 19.
  - i. Delete Keyed Note 45.
  - j. Provide the height of the fence in Keyed Note 47.
  
6. The following changes shall be made to the Landscape Plan:
  - a. Change the scale, including the bar scale, to match the site development plan or the grading and drainage plan.
  - b. In the landscape calculations, move the text regarding sod to the Existing Landscaping section.
  - c. Add shrubs to the landscaped strip in the existing parking area along the west boundary to enhance buffering.
  - d. Replace Vitex in the west boundary landscape buffer with a low water use species.
  - e. In the note regarding irrigation in the west boundary landscape buffer, replace "should" with "shall" in the last sentence.
  - f. Replace Scotch Broom with another, less invasive, variety such as Lena's Broom.
  - g. Adjust plantings to include evergreen shrubs and/or small trees, in the landscaped beds at the rear of 3604 Yosemite Dr. and along the south boundary of the site to provide screening for residential properties, per Section 14-16-3-10(E)(4) of the Zoning Code.
  
7. The following changes shall be made to the Building Elevations:
  - a. Include typical dimensions of doors and windows.
  - b. Indicate any illumination of signage. State in the notes that signage shall comply with Section 14-16-3-5 of the Zoning Code.
  - c. Indicate roof color and material of all buildings.

- d. Indicate how roof-mounted mechanical equipment on all buildings will be hidden or screened from view from the public ROW and residential properties, per Section 14-16-3-18 (C)(5) in the Zoning Code.
  - e. Indicate the material and color of all facades of Building E.
  - f. Key building-mounted lighting on Buildings A, B & C.
  - g. Provide common colors of wall materials.
8. A shared parking agreement to handle parking demand for swim meets and other special events shall be submitted by the applicant to Code Enforcement for approval and attached to the site development plan prior to DRB sign-off.
  9. The dumpster shall be moved away from the western property line to an alternate location that is acceptable to the Solid Waste Management Department.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 28, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

AMENDED OFFICIAL NOTICE OF DECISION  
DECEMBER 13, 2007  
PROJECT #1006824  
PAGE 6 OF 6

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

*C. Marone*

*for* Richard Dineen  
Planning Director

RD/CT/ac

cc: Dekker Perich Sabatini, 7601 Jefferson Blvd. NE, #100, Albuquerque, NM 87114  
Joe Abbin, Holiday Park NA, 11716 Tivoli Ave. NE, Albuquerque, NM 87111  
Max Decker, Holiday Park NA, 3420 Montreal NE, Albuquerque, NM 87111  
Sharon Busboom, Eldorado Heights, 12000 La Charles Ave. NE, Albuquerque, NM 87111  
Mary Pertile, Eldorado Heights, 4113 Shiloh Dr. NE, Albuquerque, NM 87111  
Ken Orth, Big Bend NA, 3801 Big Bend Rd. NE, Albuquerque, NM 87111  
Julie Thompson-Roberson, Big Bend NA, 3740 Big Bend NE, Albuquerque, NM 87111  
Michael Block, 3520 Parisian Way, Albuquerque, NM 87111  
Linda McCutcheon, 3524 Parisian Way NE, Albuquerque, NM 87111  
Bing LeRoy, 13625 Cedarbrook NE, Albuquerque, NM 87111  
Richard Darnell, 405 Cornell SE, Albuquerque, NM 87106  
Cabrini Sanchez, 3608 Yosemite Dr. NE, Albuquerque, NM 87111  
Robert Wade, 3616 Yosemite Dr. NE, Albuquerque, NM 87111  
Don Ethell, 3620 Yosemite Dr. NE, Albuquerque, NM 87111  
John McCall, 721 5<sup>th</sup> St. NW, Albuquerque, NM 87102  
Betty Gronewald, 3604 Yosemite Dr. NE, Albuquerque, NM 87111

## SITE DEVELOPMENT PLAN CHECKLIST FOR BUILDING PERMITS

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Site development plan submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building Elevations

(1)

Submitted shall be organized in the above manner. In addition, 8 1/2" by 11" reductions must be included with plan submitted. The following checklist describes the minimum information necessary for element. Applicant shall check off all items shown on the site plan or label as **NA**, if not applicable.

### SHEET #1 - SITE PLAN

#### A. General Information

1. Scale

Under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	

2. Bar Scale

3. North Arrow

4. Scaled Vicinity Map

5. Existing structures on site and site adjacent to the proposal that impact, or are impacted by the project.

6. Property lines

7. Existing and proposed easement (identify each)

**ALLOWED PER EPC, INCLUDED ON GRADING & DRAINAGE SHEET**

#### B. Proposed Development

**N/A** 1. Structural

- A. Existing and proposed structures on the property and in the adjacent properties including privacy and retaining walls
- B. Square footage of each structure
- C. Proposed of each structure
- D. Temporary structures, sign and other improvements
- E. Wall(s), fence(s), and screening: height, length, color, and materials.  
Show cross-sections for retaining walls.
- F. Dimensions of all principal site elements
- G. Loading facilities
- H. Site lighting (height, type, and intensity)

## SHEET #2 - LANDSCAPING PLAN

If appropriate maybe shown on sheet #1, site plan with the approval of planning staff.  
See article 6-1-1-1 at all water conservation/water waste and maintenance statement.

ALLOWED  
PER EPC

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
- 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Irrigation System
- 9. Planting Beds
- 10. Turf Area - only 20% of landscaped area can be high water turf, in square feet and percentage.
- 11. Responsibility for maintenance
- 12. Statement of Water Waste, etc.
- 13. Landscaped area requirement, in square feet and percent: 16,772 sf = 15%
- 14. Landscaped area provided, in square and percent: 30,229 sf 27%

## SHEET #3 - GRADING PLAN

ALLOWED  
PER EPC

### A. General Information

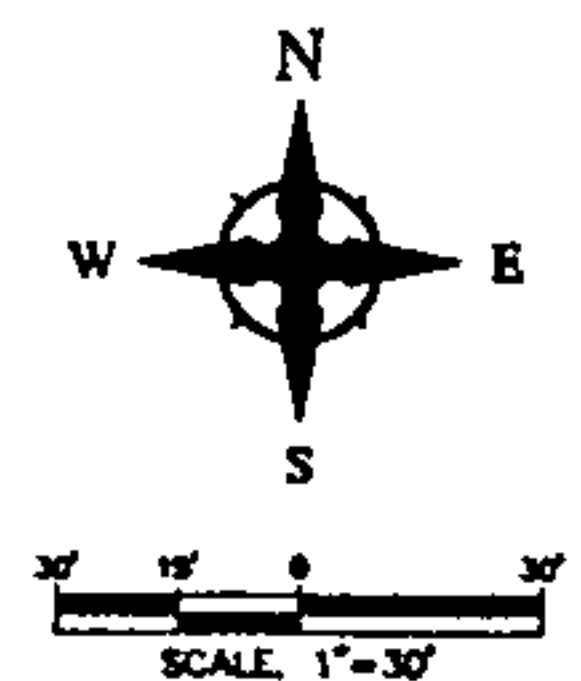
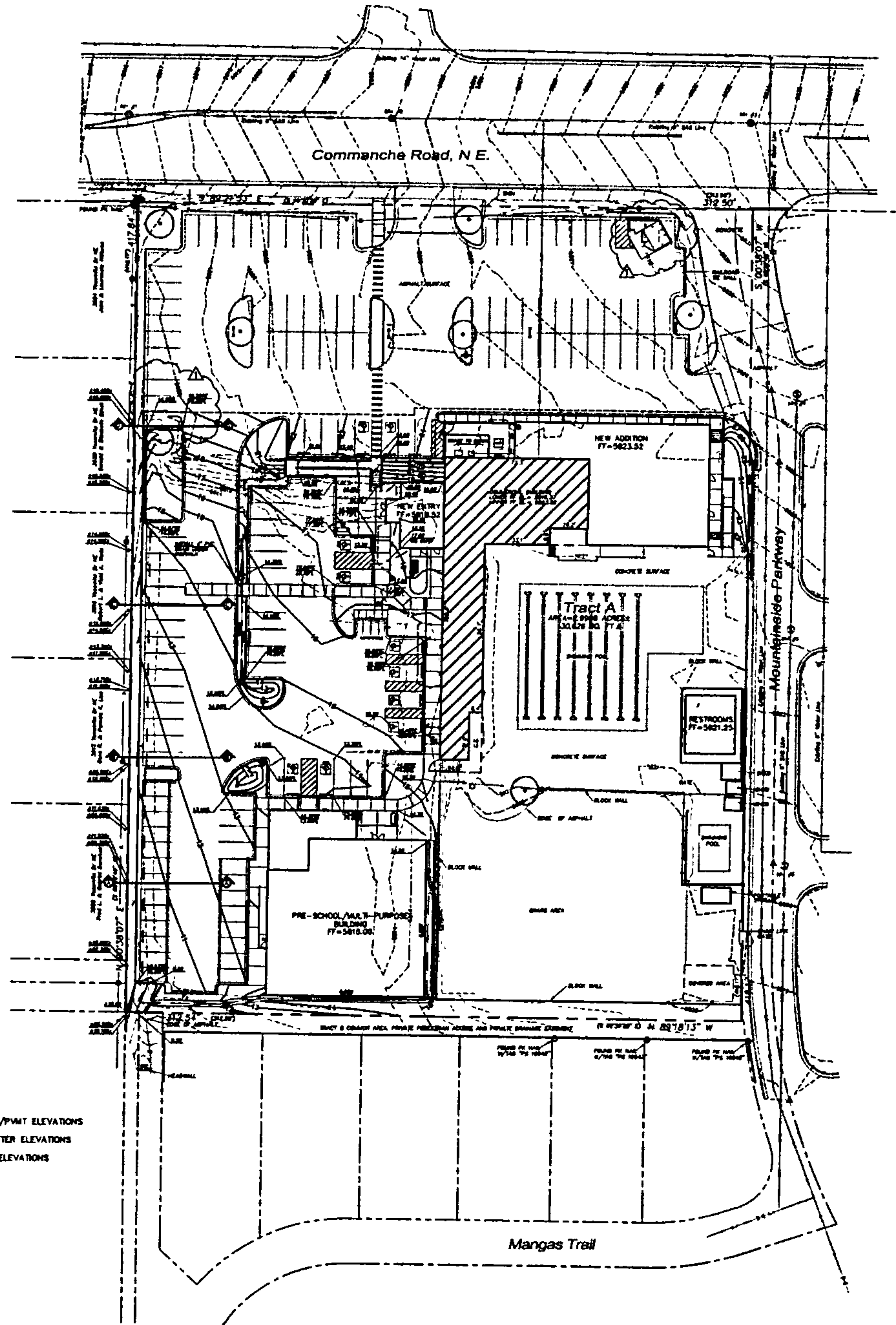
- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- 5. Property Lines
- 6. Existing and proposed easements
- 7. Proposed contours and/or spot elevations
- 8. Retaining walls

### B. Proposal

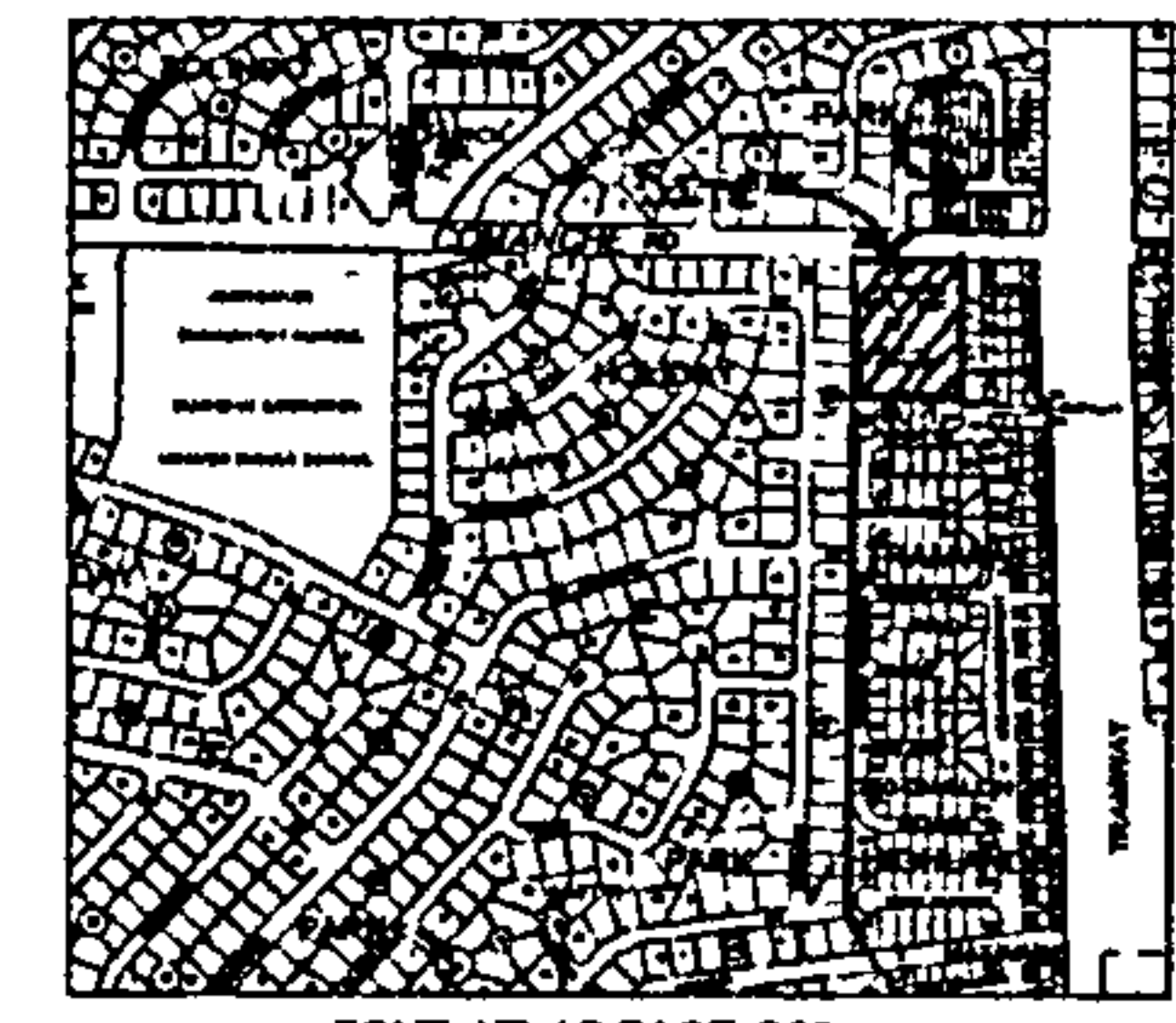
- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
  - A. Conceptual grading and drainage plan
  - B. Drainage plan (maybe required for other submittals)
  - C. Drainage Report (maybe required for other submittals)
- A. Cross Sections  
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point







**CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELEASE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**Dekker Perich Sabatini**  
 7601 Jefferson NE Suite 100  
 Albuquerque, NM 87105  
 505 761-9700  
 Fax 761-6222  
 dps@dpsdesign.com  
 ARCHITECT

**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**  
 The purpose of this submittal is to provide a conceptual drainage management plan for the proposed addition to the McLeod YMCA, which includes the demolition of existing buildings and paved surfaces, and the installation of new buildings and parking areas. The site is located at the 12500 Comanche NE in Albuquerque, NM, which is the southwest corner Comanche and Mountside Parkway. The site contains approximately 3.0 acres.

**EXISTING HYDROLOGIC CONDITIONS**  
 According to the latest approved Drainage Management Plan by Tierra West (COA Hydrology File G22Z-D16), dated September 8, 1997, the runoff from the site is as follows:  
 Basin 'R' (Total of Basins 'A' and 'B'): 15.85 cfs using 90% Type 'D' and 10% Type 'B' load treatments.

When the improvements were done in +/-1997, most of the drainage from the site was diverted away from Comanche to a drainage swale/inlet located at the southwest corner of the property.

**PROPOSED HYDROLOGIC CONDITIONS**  
 The calculations for the developed site (see Table below) show the 100-year runoff rate to be 15.84 cfs, which is 0.01 cfs lower than the calculations prepared by Tierra West in 1997. Seeing that there is a slight decrease in runoff for the proposed condition, there will not be any negative impacts downstream of the site.

The below calculations are for the new asphalt Triangular Channel outlet located at the southwest corner of the site. The section used is the smallest/most critical section of the swale.

Given Data:  
 Q (actual) = 15.04 cfs  
 Left Side Slope = +/- 5.1 (5' long)  
 Right Side Slope = +/- 4.7 (4.7' long)  
 Depth = +/- 1'  
 Manning's "n" coefficient: 0.017  
 Channel Area: 4.85 Square Feet  
 Wetted Perimeter: 9.9'  
 R: 0.49  
 Channel Slope: +/- 1.88%

Using Manning's Equation and the above data, the capacity of the Channel is 36.10 cfs which is well over the required flow rate of 15.04 cfs.

**CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. According to the previous approved Drainage Management Plan by Tierra West dated September 8, 1997, the site is allowed to discharge developed flows directly to the southwest corner of the site, without causing a negative impact. With this submittal, we are requesting conceptual grading and drainage plan approval for Site Plan for Building Permit.

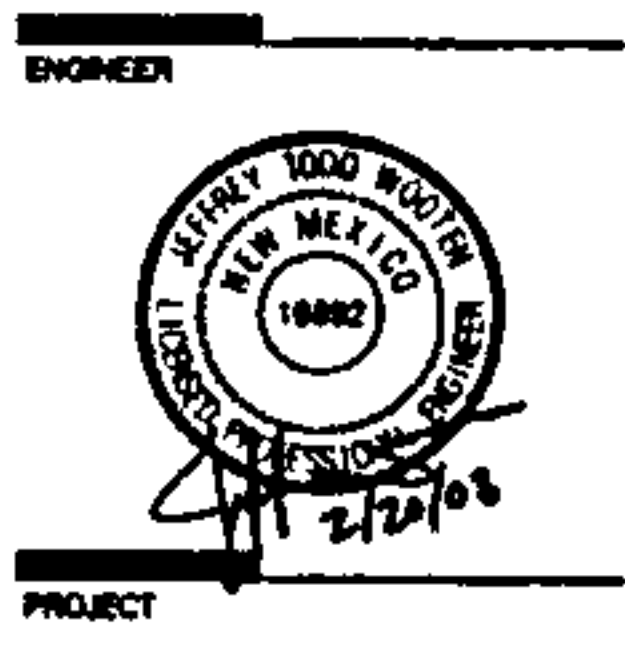
Existing McLeod YMCA Drainage Calculations (Per Tierra West Calculations Dated 8/8/97)												
BASIN	Area (SQ FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs)	Q(100) (cfs)	WT E (inches)	V(100) (cfs)	V(100) (cfs)	V(100) (cfs)
			A	B	C	D						
Basin 'R'	5.00	0.0%	10.0%	0.0%	90.0%	8.02	15.05	n/a	n/a	n/a	n/a	

Proposed McLeod YMCA Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
BASIN	Area (SQ FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs)	Q(100) (cfs)	WT E (inches)	V(100) (cfs)	V(100) (cfs)	V(100) (cfs)
			A	B	C	D						
Basin 'R'	130820	3.00	0.0%	10.0%	0.0%	90.0%	8.02	15.04	2.68	27940	35260	44456

- LEGEND**
- FLOW ARROW
  - 22.8' PROPOSED TOP OF GRADE/PAVT ELEVATIONS
  - FL27.8' PROPOSED FLOW LINE/GUTTER ELEVATIONS
  - TC27.8' PROPOSED TOP OF CURB ELEVATIONS
  - - - 515 - - - EXISTING CONTOUR
  - - - 810 - - - PROPOSED CONTOUR
  - EXISTING STORM DRAIN
  - FLOW LINE
  - - - RIDGE LINE

**Wooten Engineering**  
 8017 Sanbucos Dr NE, Rio Rancho, NM 87144  
 Ph. 505 771 4200 Fax 505 771 8908



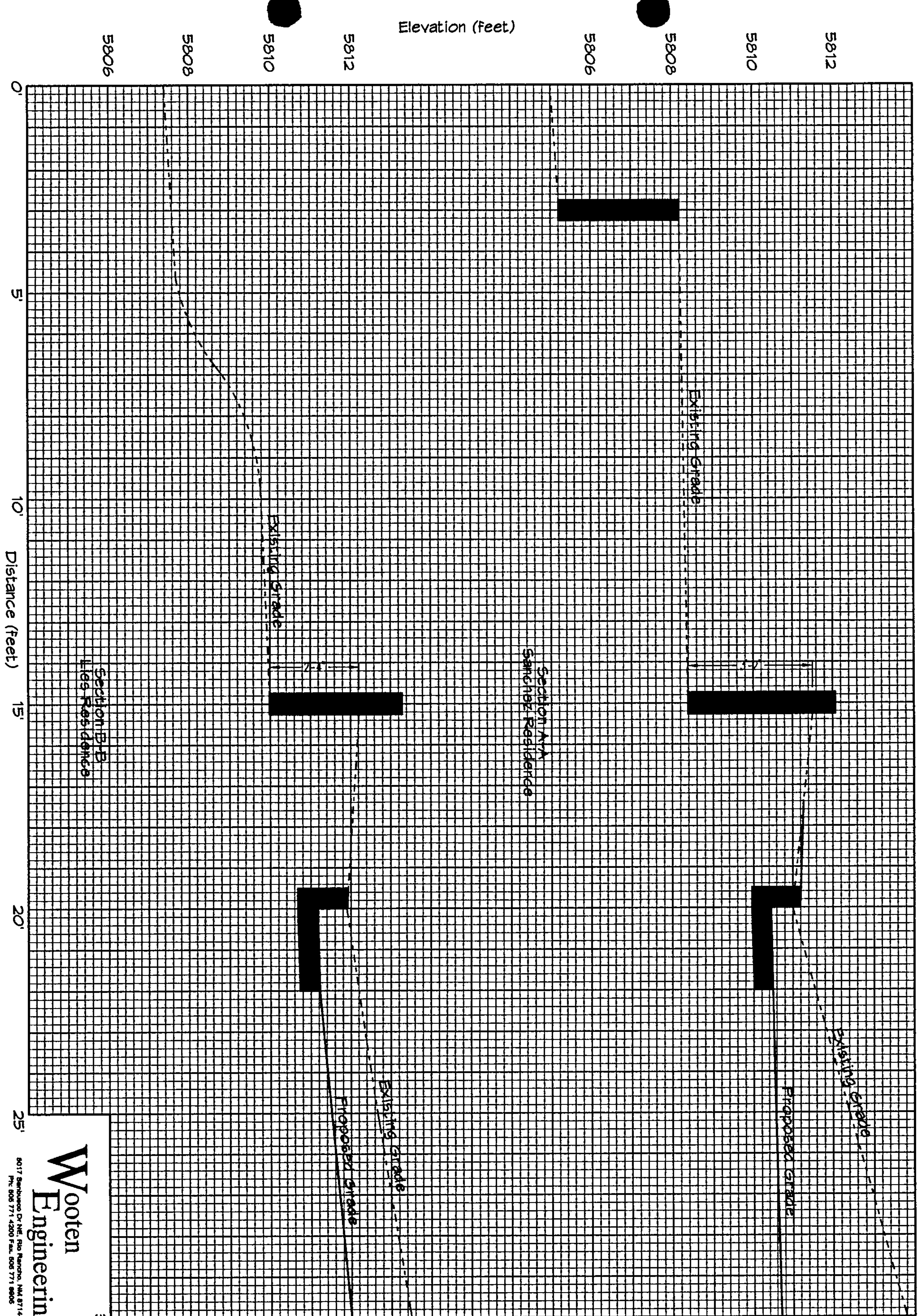
**MCLEOD YMCA**  
 MOUNTAINSIDE YMCA  
 12500 Comanche NE  
 Albuquerque, NM 87111

REVISIONS:  
 △ RELOCATE SWIM ENCLOSURE  
 △  
 △  
 △

DRAWN BY: JTH  
 REVIEWED BY: JTH  
 DATE: 01/08/01  
 PROJECT NO: 07060  
 DRAWING NAME: GRADING & DRAINAGE PLAN

SHEET NO: **COO1**





**Wooten Engineering**  
 8017 Sanbueno Dr. NE, P.O. Number, NM 87144  
 Ph: 505 771 4200 Fax: 505 771 8805

SHEET NO. **C003** OF **C004**

DESIGNED BY: JN  
 DRAWN BY: JN  
 DATE: 04/04/00  
 PROJECT NO: 0704  
 DRAWING NAME: CROSS SECTIONS

**MCLEOD MOUNTAINSIDE YMCA**  
 12500 Comanche NE  
 Albuquerque, NM 87111

**MOUNTAINSIDE YMCA**  
 12500 Comanche NE  
 Albuquerque, NM 87111

**Dekker Perich Sabatini**  
 7101 Ardmore Dr. Suite 100  
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 505 755-9700  
 505 755-9701  
 fax 505-422-2222  
 492 @ dperich.com

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GENERAL CONTRACTOR



established  
interior  
landscape  
planning  
architecture

**Dekker Perich Sabatini**

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505.761-3718  
fax 505.761-4222  
info@perichsab.com



**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

**GENERAL NOTES**

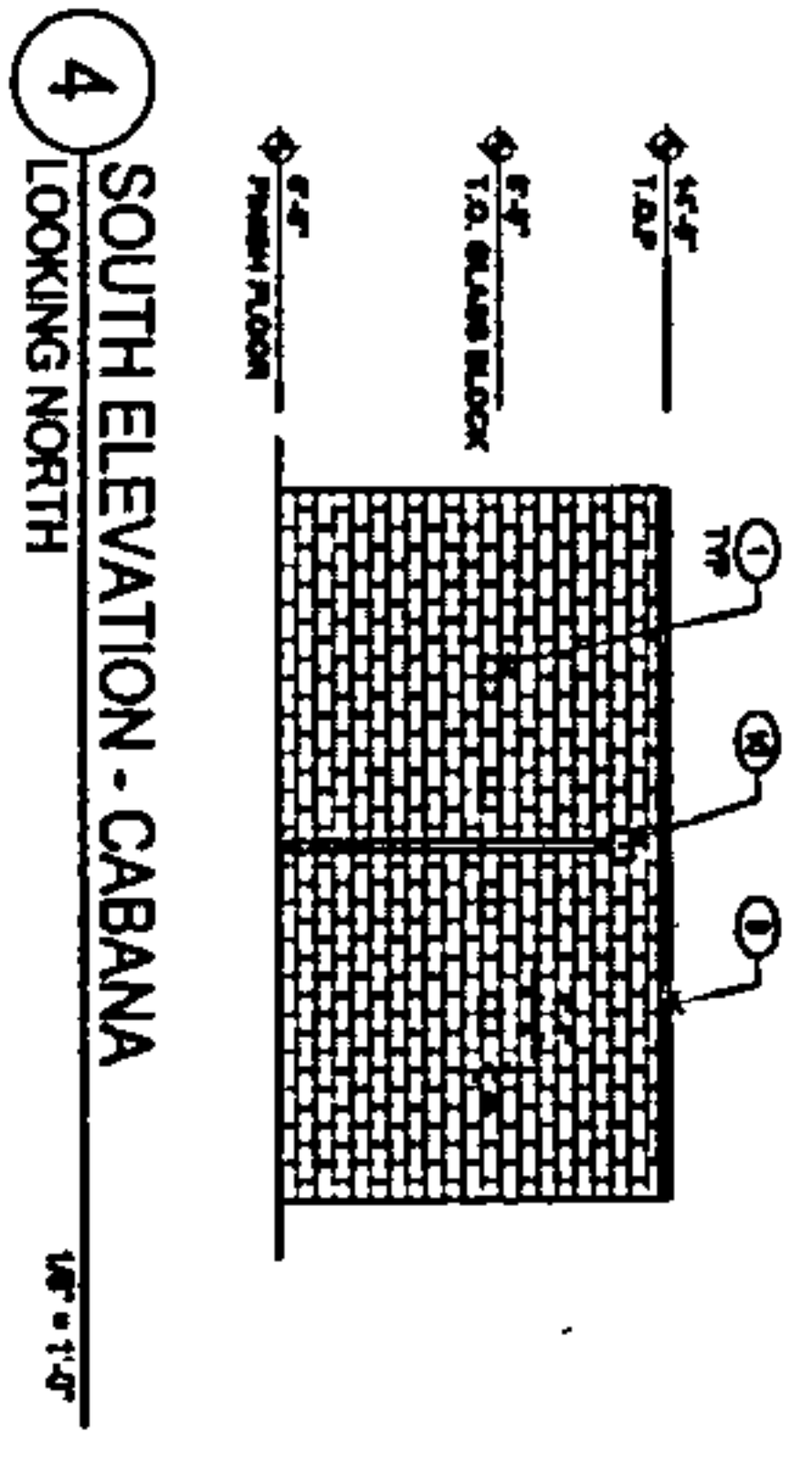
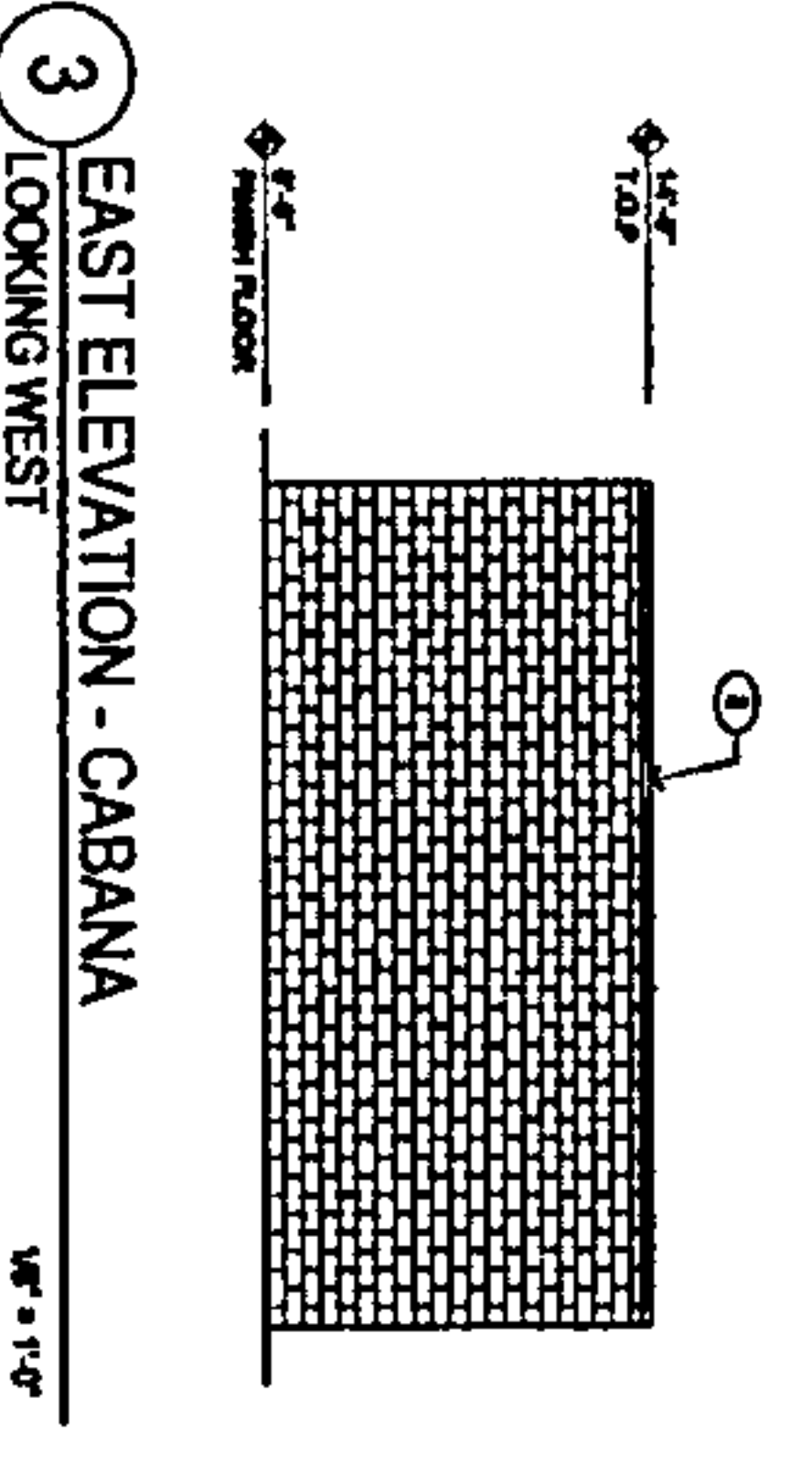
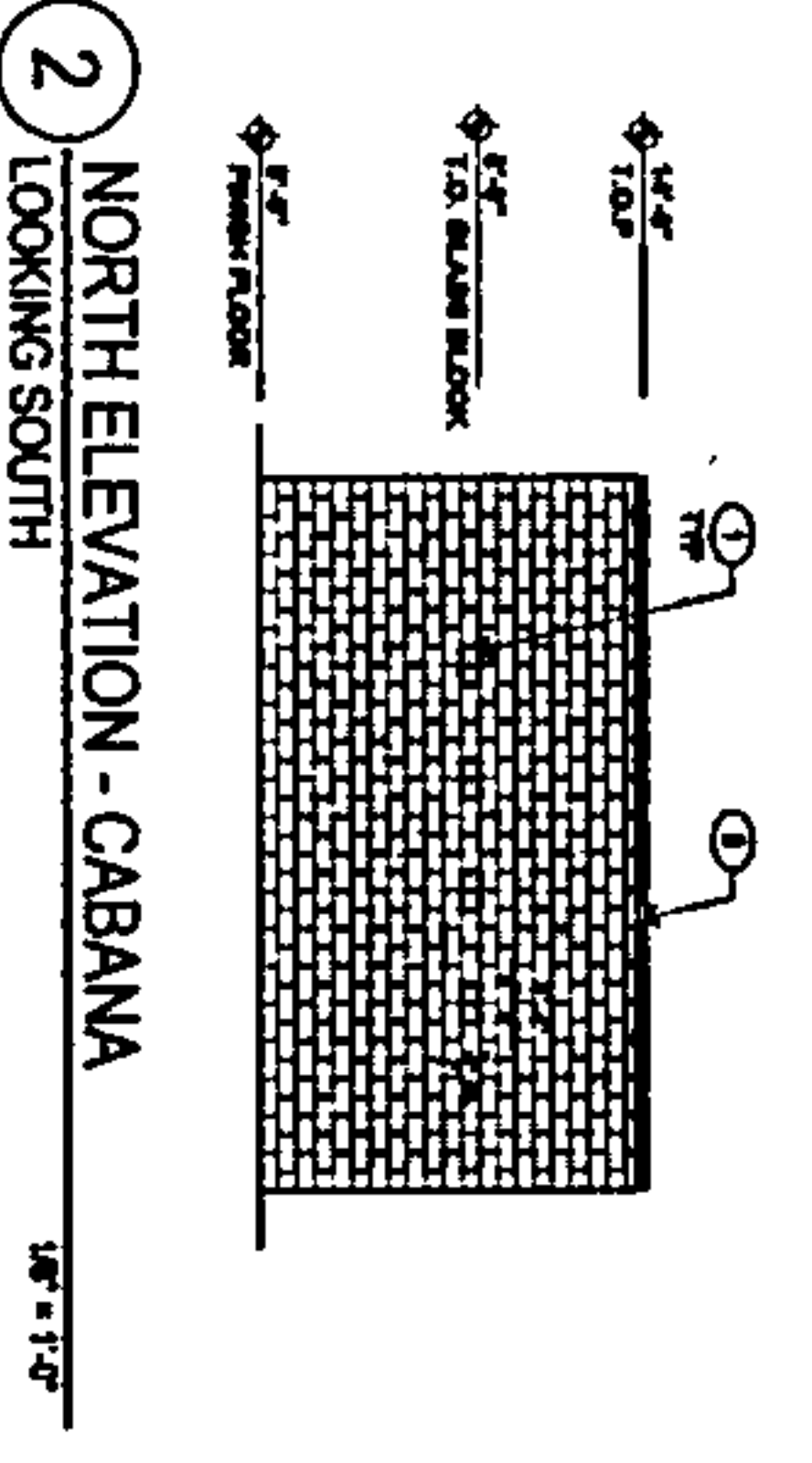
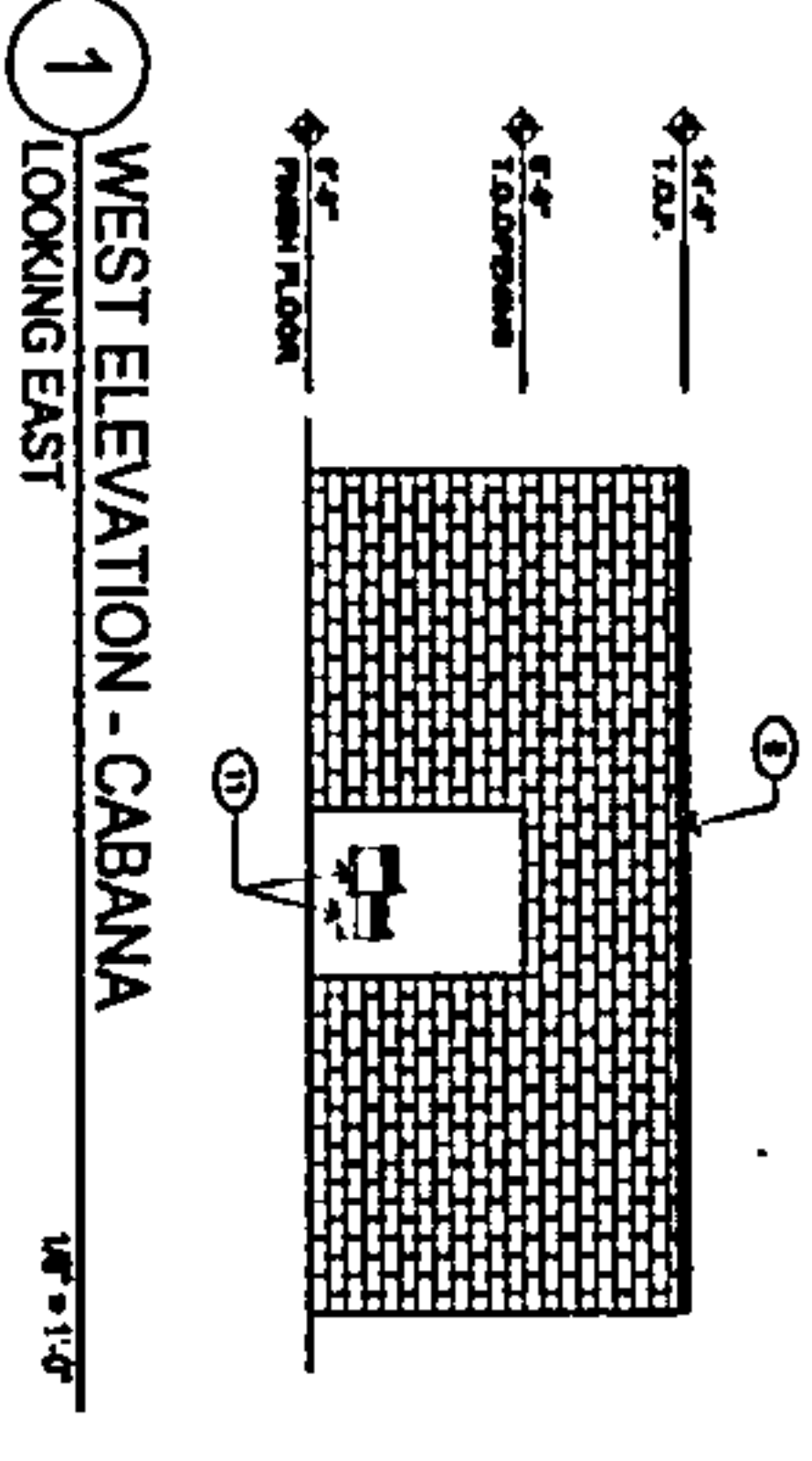
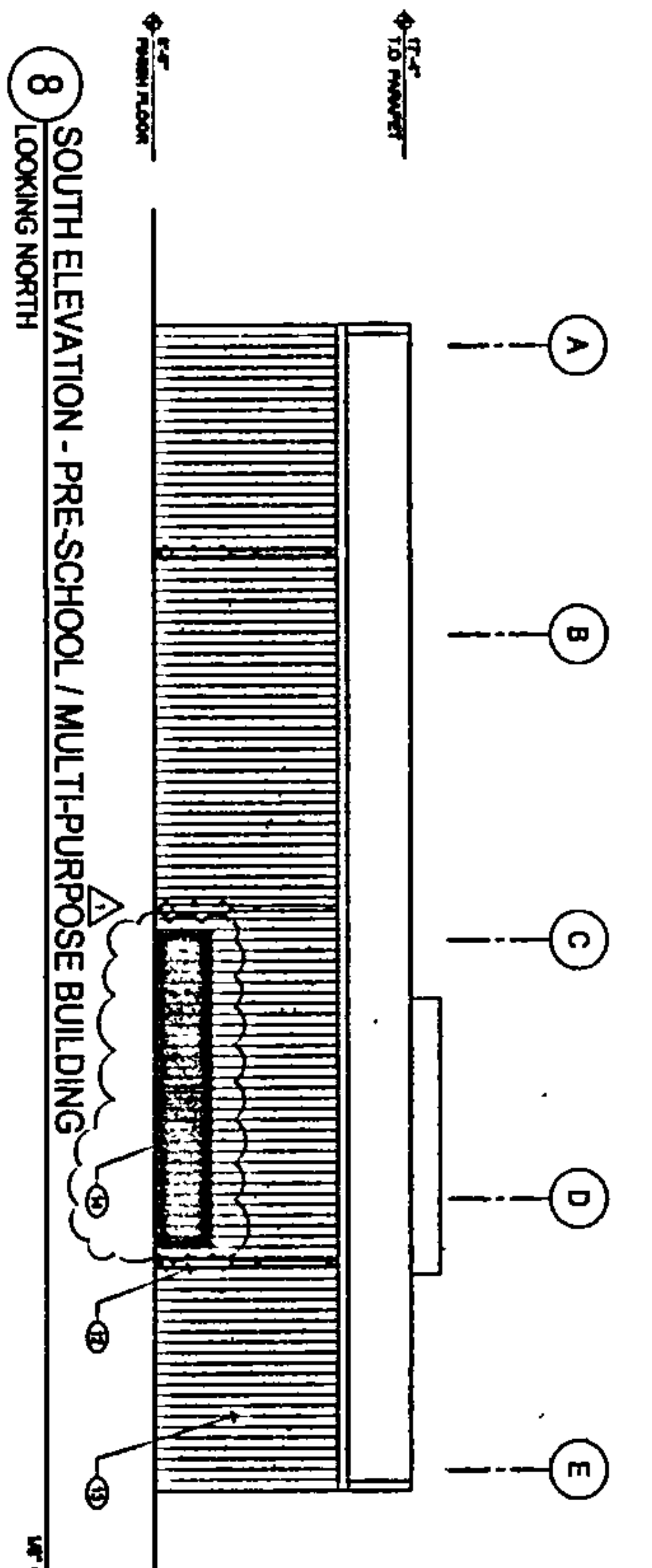
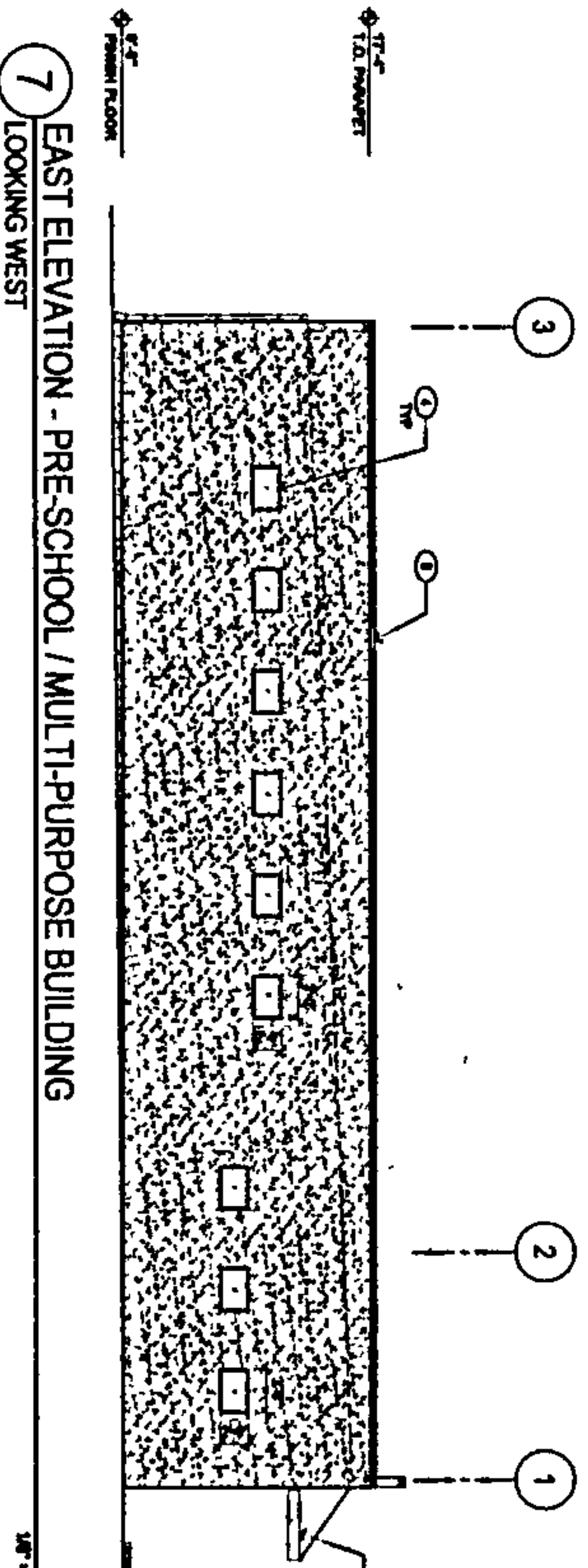
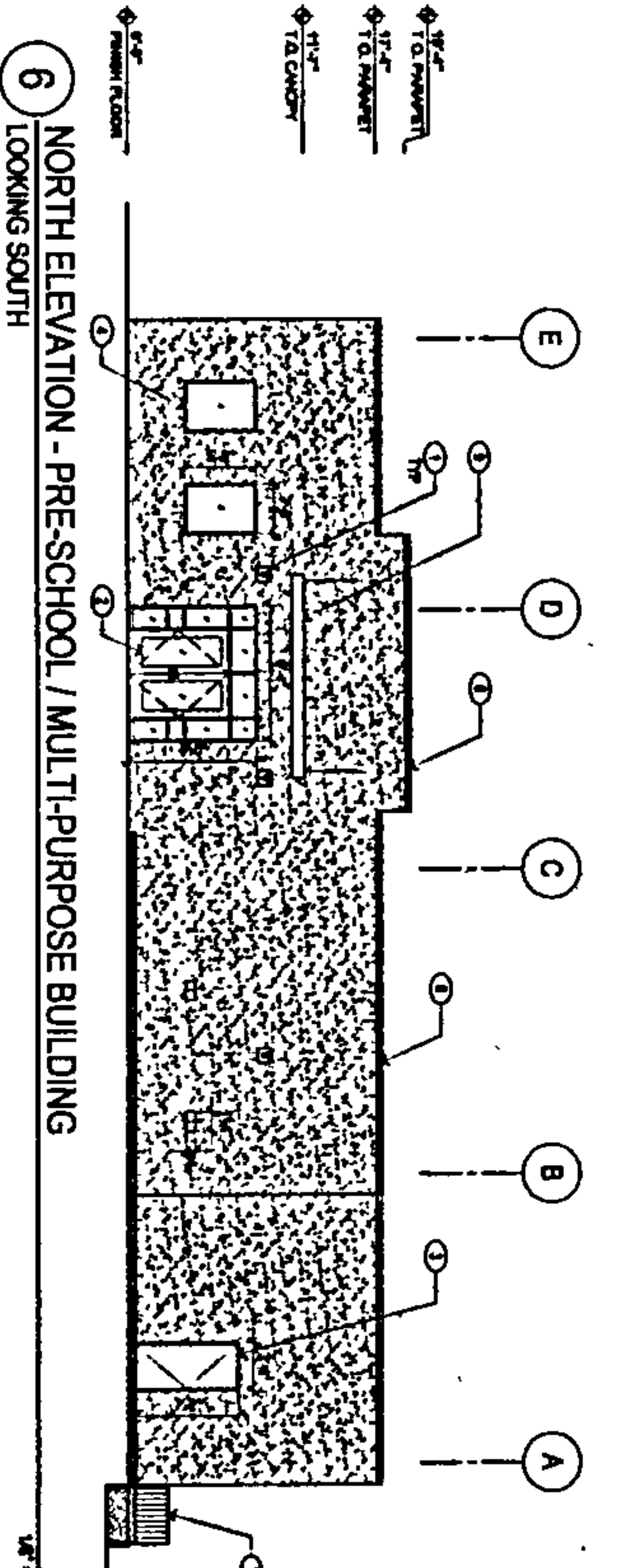
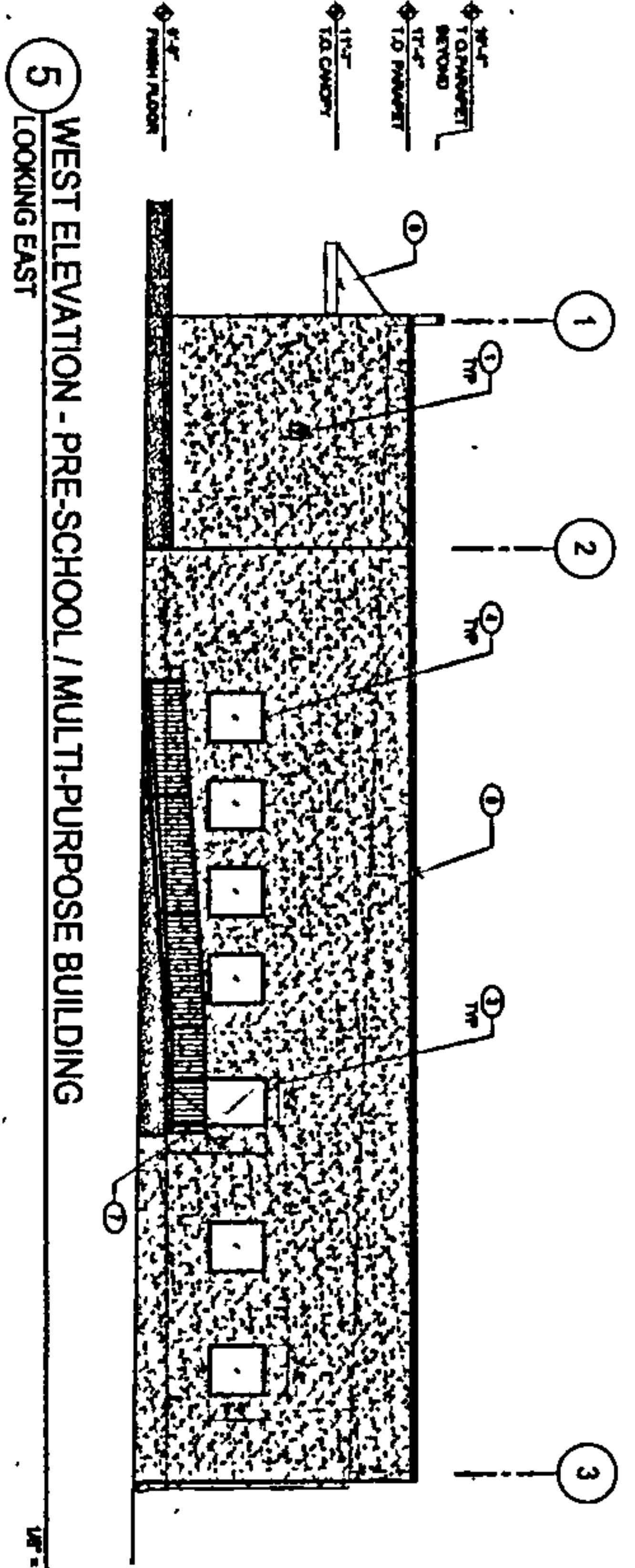
- A BUILDING MOUNTED SIGN SHALL COMPLY WITH SECTION 14-16-3.8 OF THE ZONING CODE
- B ROOF COLOR AND MATERIAL, SINGLE PLY TPO
- C ROOF MEMBRANE, COLOR: WHITE

**KEYED NOTES**

- 1 LIGHT FIXTURE, RE. ELECTRICAL
- 2 DOOR IN CLEAR ANODIZED ALUMINUM FRAME WITH LIGHT GRAY GLAZING
- 3 HOLLOW METAL DOOR
- 4 GLAZING IN CLEAR ANODIZED ALUMINUM FRAME, COLOR: LIGHT GRAY
- 5 2 COAT STUCCO SYSTEM
- 6 FINISH WITH MATCHING STUCCO
- 7 METAL FINISH WITH MATCHING STUCCO
- 8 METAL FINISH WITH MATCHING STUCCO
- 9 METAL FINISH WITH MATCHING STUCCO
- 10 LEADER BOX DOWNSPOUT, PAINTED, COLOR TO MATCH ADVISORY STUCCO OR CMU
- 11 DRAINING FOUNTAIN
- 12 21 GA. DOWNSPOUT OUTLET, PAINT, COLOR TO MATCH PRE-FINISHED METAL SIDING
- 13 PRE-FINISHED METAL SIDING, COLOR: OFF-WHITE, NON-REFLECTIVE
- 14 4" CHANNEL EQUIPMENT SCREEN FENCE AND GATE WITH PRIVACY SLATS, COLOR: OFF-WHITE, NON-REFLECTIVE

**LEGEND**

- CMU 8" - 8" SMOOTH FACE  
COLOR: LIGHT YELLOW
- STUCCO #1 - 2 COAT STUCCO SYSTEM OVER 8" CMU, COLOR: ORANGE RED



REVISIONS  
DATE  
BY  
APPROVED BY  
DATE  
BY

DRAWN BY  
DATE  
BY

PROJECT NO. 15802  
DRAWING NAME  
SITE DEVELOPMENT  
PLAN FOR BUILDING  
PERMIT (ELEVATIONS)

SHEET NO. A302

# Shared Parking Agreement Between YMCA of Central New Mexico and Hoover Middle School

Agreement No. \_\_\_\_\_

Date of Agreement: 4/16/08

In conjunction with the addition to the YMCA Mountainside Branch, located at 12500 Comanche NE (the "Property") for which the legal description is *Tract A, RP Tinni Subdivision*, the Hoover Middle School has allowed, and YMCA of Central New Mexico ("Owner") has elected to reduce off-street parking requirements based upon Section 14-16-3-1-E-6 of the Zoning Ordinance of the City of Albuquerque and currently known proposed tenant uses. The approved site plan, as shown in *Exhibit A*, includes parking and the reduced parking calculations. The off-site shared parking lot, located at 12015 Tivoli Avenue NE for which the legal description is, *Western 1/2 NW Section Township 10N R4E Section 3*, has agreed to allow the Owner to share up to 50 parking spaces for special events at the YMCA.

A site plan of the off-site shared parking lot is attached in *Exhibit B* hereto. YMCA will provide a shuttle service from the park and ride to the YMCA facility.

This agreement may be terminated by either party provided that ninety (90) days written notice is given to the other party.

The Owner, and its successors and assigns, agrees that it will not change the tenant use at the Property in a manner that increases the number of required parking spaces unless additional spaces are provided. In the event that there are changes to the tenant uses, which would increase the number of required parking spaces at the Property, the parking calculations shall be updated by the Owner to reflect such change and presented to the City.

The foregoing shall not, however, impair the right of the Owner of its successors to declare exclusive parking areas for such items as employee parking, handicap spaces, loading, designated timed areas such as "15 minute" temporary parking areas set forth on any site plan of the Property approved by the City, or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this Agreement. The terms of this Agreement shall bind the Owners, successors, and assigns. This Agreement can be amended by the mutual consent of the Owner and the City of Albuquerque Planning Director.

Doc# 2008043872

04/18/2008 08:21 AM Page: 1 of 4  
AGRE R: \$15.00 M. Toulouse, Bernalillo County



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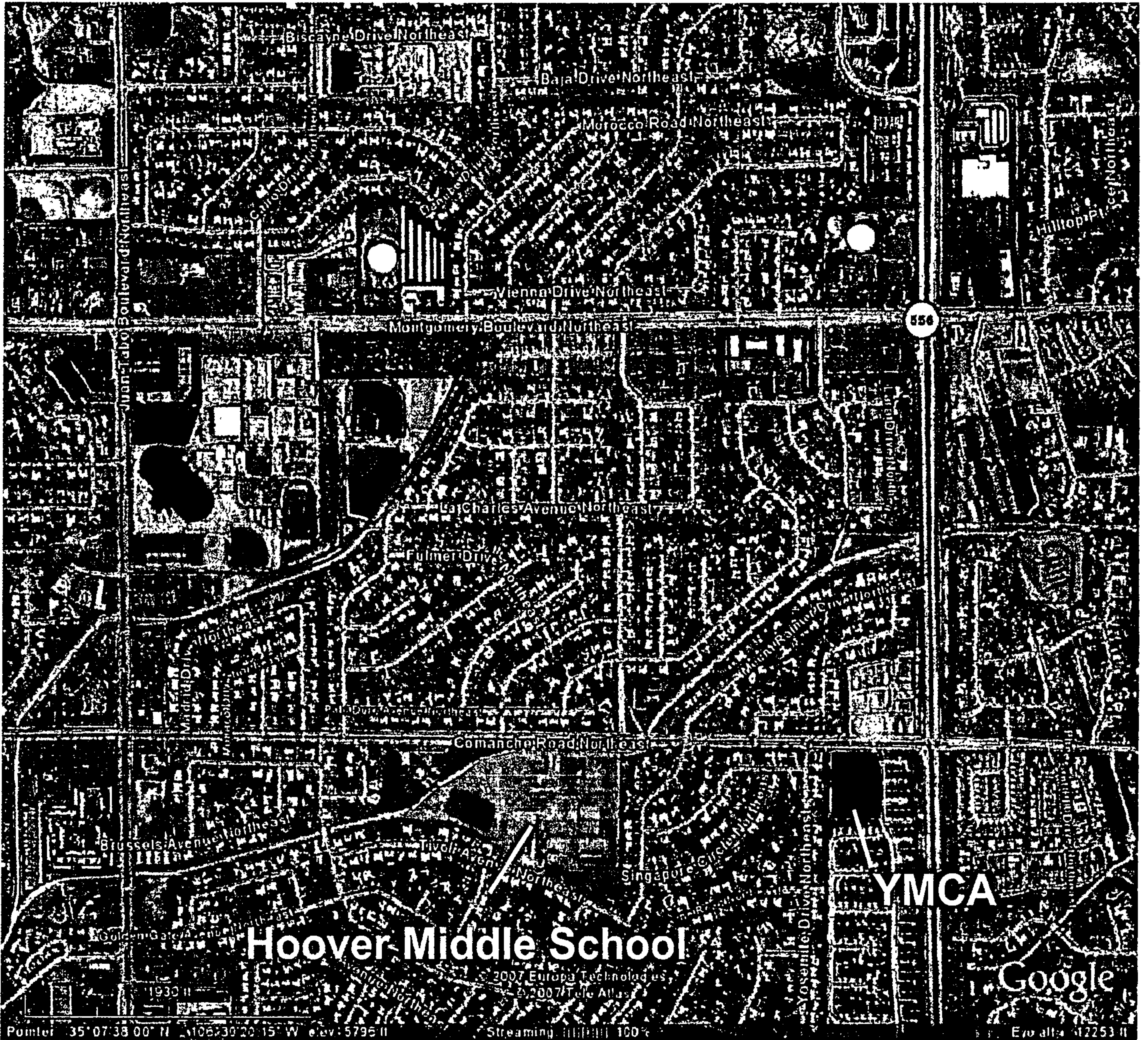


EXHIBIT A

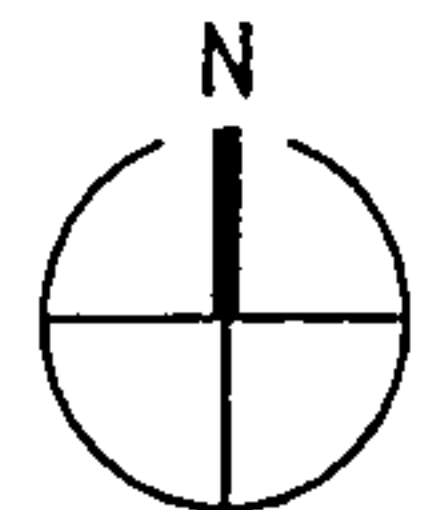


**Dekker/Perich/Sabatini**  
architecture interiors landscape planning engineering





HOOVER MIDDLE SCHOOL  
 12015 TIVOLI AVENUE NE  
 50 SPACES



**Dekker/Perich/Sabatini**

architecture • interiors • landscape • planning • engineering

7601 Jefferson NE, Suite 100  
 Albuquerque, NM 87109

505 761-9700  
 fax 761-4222

		EXHIBIT B	
MCLEOD MOUNTAINSIDE YMCA 12500 COMANCHE NE ALBUQUERQUE, NM 87111	DRAWN BY	DPS	SCALE NOT TO SCALE
	REVIEWED BY	DPS	
	DATE ISSUED		1
	PROJECT NO.	07-0060.002	OF

# Shared Parking Agreement Between City of Albuquerque and YMCA of Central New Mexico

Agreement No. 20080813

Date of Agreement: 4/15/2008

In conjunction with the addition to the YMCA Mountainside Branch, located at 12500 Comanche NE (the "Property") for which the legal description is *Tract A, RP Tinni Subdivision*, the City of Albuquerque has allowed, and YMCA of Albuquerque ("Owner") has elected to reduce off-street parking requirements based upon Section 14-16-3-1-E-6 of the Zoning Ordinance of the City of Albuquerque and currently known proposed tenant uses. The approved site plan, as shown in *Exhibit A*, includes parking and the reduced parking calculations. The off-site shared parking lot, located at 12600 Montgomery Blvd NE for which the legal description is, *Tract 3A2 of Summary Plat Lots 2A & 3A being a replat of Lot 3 and a portion of Lot 2, Block 2, Unit 1, Glenwood Hills*, has agreed to allow the Owner to share up to 75 parking spaces for special events at the YMCA.

A site plan of the off-site shared parking lot is attached in *Exhibit B* hereto. The Park & Ride lot site plan indicates 92 parking spaces are provided. ABQ Ride has agreed to provide up to 75 parking spaces for the YMCA to use for special events.

In addition, ABQ Ride has agreed to allow the YMCA to use unused parking spaces at the Park & Ride lot during the week provided transit uses are accommodated. YMCA will provide a shuttle service from the park and ride to the YMCA facility.

This agreement may be terminated by either party provided that ninety (90) days written notice is given to the other party.

The Owner, and its successors and assigns, agrees that it will not change the tenant use at the Property in a manner that increases the number of required parking spaces unless additional spaces are provided. In the event that there are changes to the tenant uses, which would increase the number of required parking spaces at the Property, the parking calculations shall be updated by the Owner to reflect such change and presented to the City.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking areas for such items as employee parking, handicap spaces, loading, designated timed areas such as "15 minute" temporary parking areas set forth on any site plan of the Property approved by the City, or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces on the site plan.

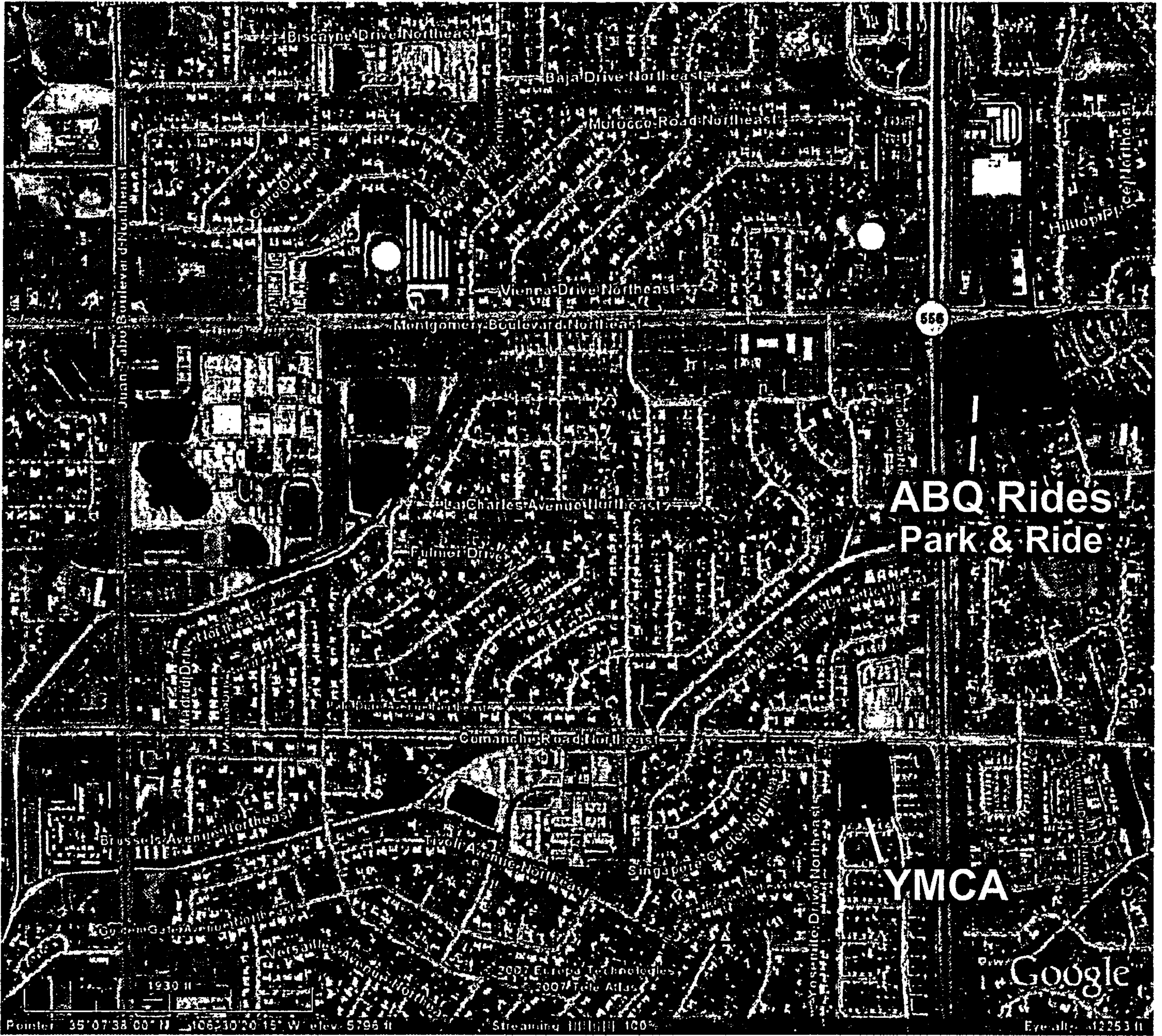
The Owner shall comply with all applicable laws, ordinances, and codes of the Federal, State and local governments for special events at the YMCA. The Owner agrees to pay promptly all taxes, license fees, and other obligations of whatever nature, applicable to its operations.

Doc# 2008043873

04/18/2008 08:21 AM Page: 1 of 4  
AGRE R: \$15.00 M. Toulouse, Bernalillo County







**ABQ Rides  
Park & Ride**

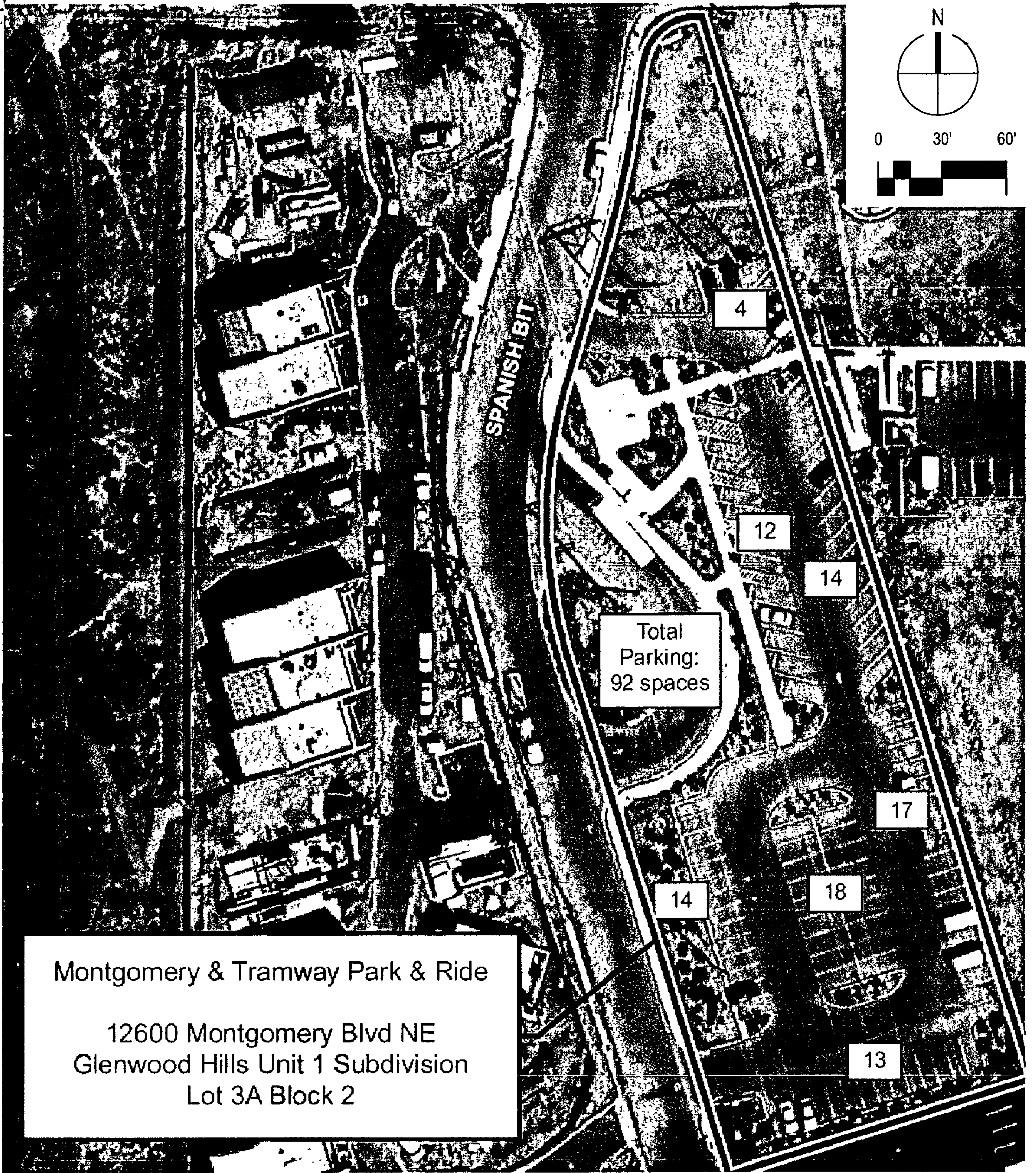
**YMCA**

**Google**

**EXHIBIT A**



**Dekker/Perich/Sabatini**  
architecture interiors landscape planning engineering



Montgomery & Tramway Park & Ride  
 12600 Montgomery Blvd NE  
 Glenwood Hills Unit 1 Subdivision  
 Lot 3A Block 2

Total  
 Parking:  
 92 spaces



**Dekker/Perich/Sabatini**  
 architecture - interiors - landscape - planning - engineering  
 7601 Jefferson NE, Suite 100  
 Albuquerque, NM 87109

505 761-9700  
 fax 761-4222

MCLEOD MOUNTAINSIDE YMCA 12500 COMANCHE NE ALBUQUERQUE, NM 87111		EXHIBIT B	
		DRAWN BY REVIEWED BY DATE ISSUED PROJECT NO.	DPS DPS  07-0060.002