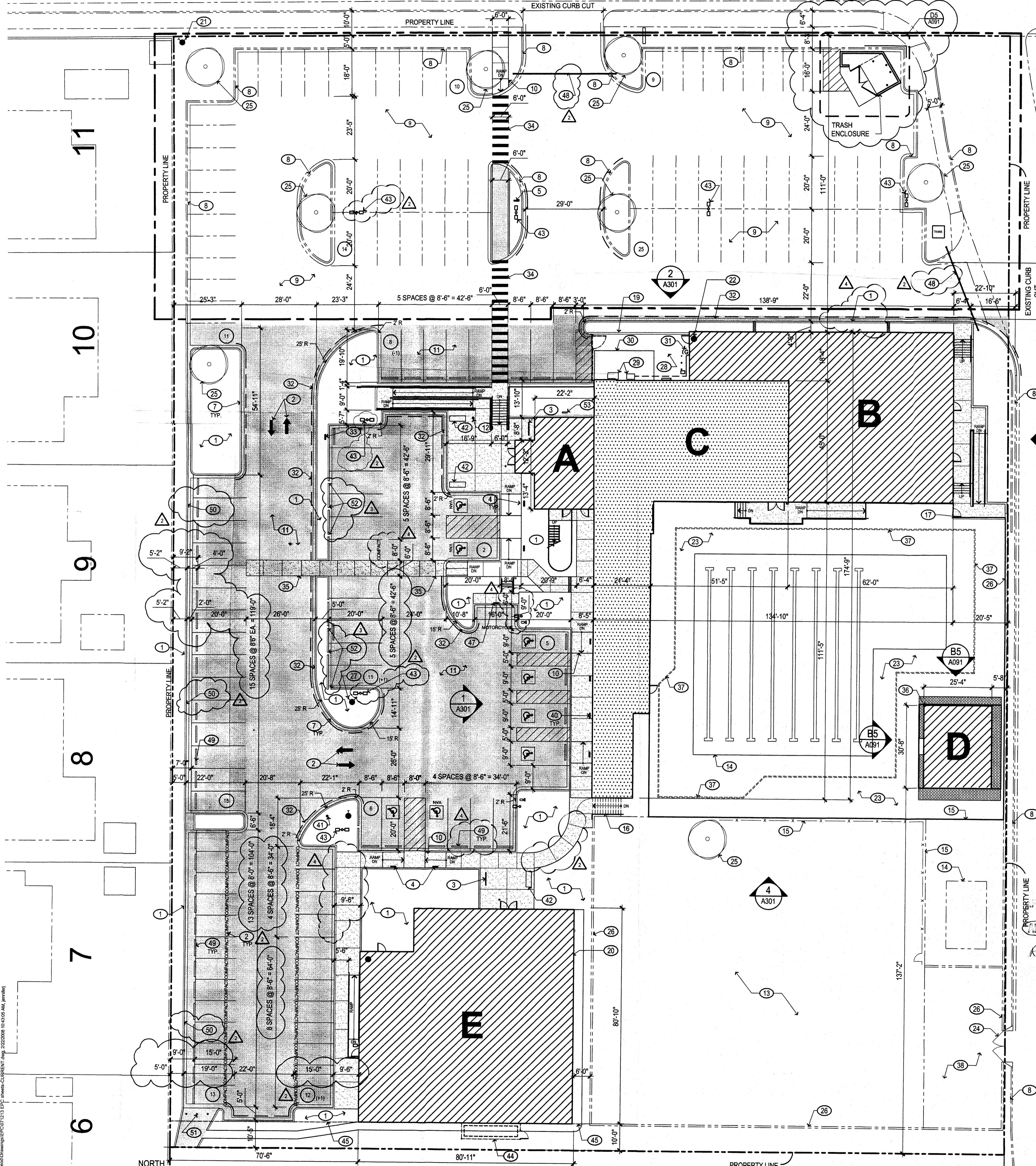


# COMANCHE ROAD NE (R.O.W. 86'-0")



**SITE PLAN**

## GENERAL NOTES

- A. THIS FACILITY AND ITS ACTIVITIES SHALL COMPLY WITH THE CITY OF ALBUQUERQUE NOISE ORDINANCE
- B. ADDITIONAL TEMPORARY OFF-STREET PARKING SUFFICIENT TO MEET THE DEMANDS OF SPECIAL EVENTS SHALL BE PROVIDED BY THE YMCA OR SPECIAL EVENTS SHALL NOT BE PROVIDED
- C. SITE LIGHTING, BOTH LIGHT POLE AND BUILDING MOUNTED, SHALL NOT SHINE ONTO ANY RESIDENTIAL PROPERTY AND WILL COMPLY WITH THE STATE NIGHT SKY PROTECTION ACT.
- D. MECHANICAL ROOF TOP UNITS SHALL MEET CITY ZONING REQUIREMENTS PER SECTION 14-16-3-18 SECTION C, PART 6.

## SITE DATA

LEGAL ADDRESS: 12500 COMANCHE NE  
 ALBUQUERQUE, NM 87114  
 ZONING: SU-1 FOR PLANNED RESIDENTIAL AND RECREATIONAL DEVELOPMENT  
 LOT SIZE: 3.0 ACRES  
**BUILDING AREA INFORMATION**  
 AREA: A NEW FITNESS CENTER MAIN ENTRY ADDITION: 1,490 GROSS SF  
 AREA: B NEW FITNESS CENTER ADDITION: 4,617 GROSS SF  
 TOTAL NEW FITNESS CENTER ADDITION SQUARE FOOTAGE: 6,107 GROSS SF  
 AREA: C EXISTING FITNESS CENTER TO REMAIN: 5,464 GROSS SF  
 TOTAL FITNESS CENTER SQUARE FOOTAGE: 11,571 GROSS SF  
 AREA: D NEW CABANA: 760sf  
 AREA: E NEW PRE-SCHOOL / MULTI-PURPOSE BLDG: 6,274sf

## PARKING REQUIREMENTS

MIXED USE HEALTH CLUB

AREA:	SF	OLF	OCCUPANTS
1ST FLOOR			
RECEPTION/OFFICE:	518 NLSF	/ 200 =	3
2ND FLOOR			
MULTIPURPOSE ROOM:	518 NLSF	/ 15 =	35
AREA B:			
FITNESS CENTER:	4,617 GSF	/ 50 =	93
AREA C:			
OFFICE:	646 NLSF	/ 100 =	7
AREA E:			
OFFICE:	454 NLSF	/ 100 =	5
M.P. / TEEN EXERCISE:	2750 GSF	/ 50 =	55
SUBTOTAL BUILDING OCCUPANTS:			198
HEALTH CLUB PARKING REQS:	198 / 3 =		66
POOL AND POOL DECK:	15,618 SF	/ 200 =	79

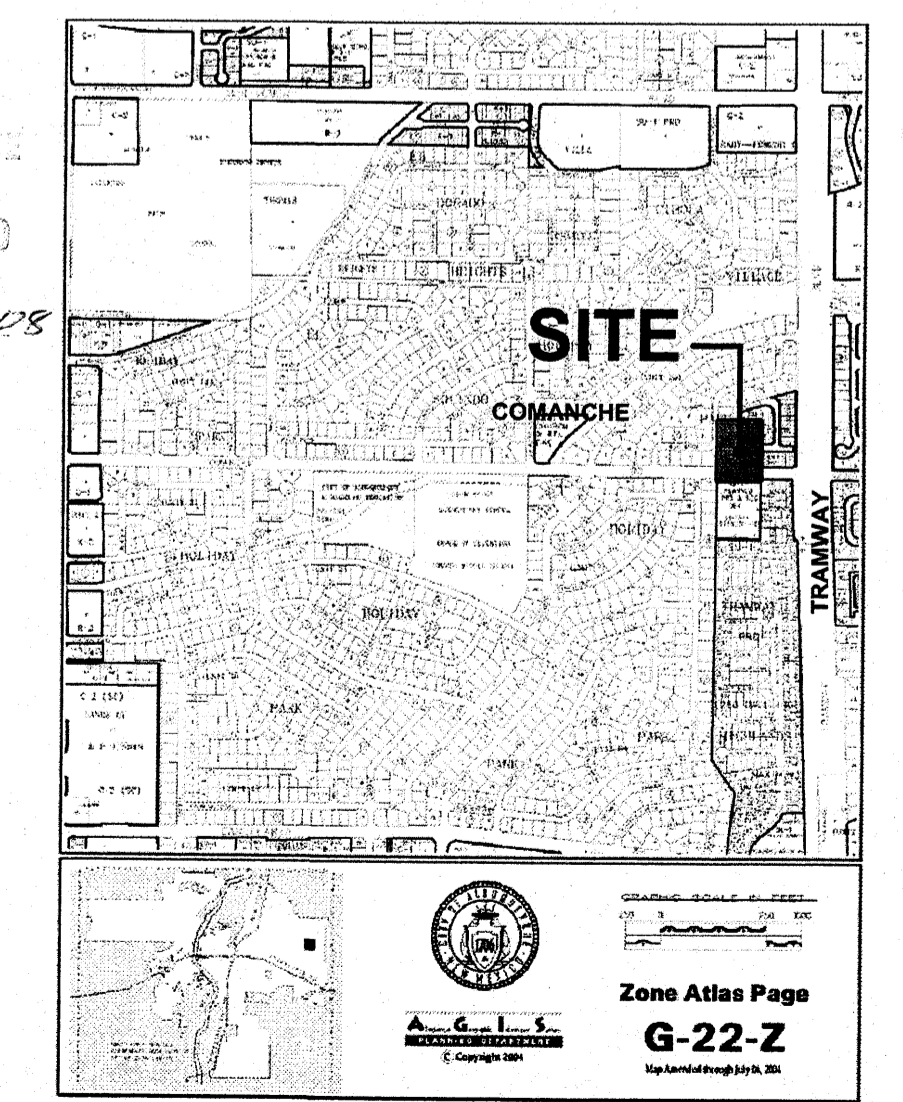
\*DAYCARE (AREA E) (1156 NLSF / 500) + 2 = 5  
 \*\*CHILDWATCH (AREA C) (600 NLSF / 500) + 2 = 4

TRANSIT REDUCTION: 154 x 90% = 139 TOTAL SPACES REQD.  
 141 PROVIDED

ACCESSIBLE PARKING REQUIRED: 8 8 PROVIDED  
 MOTORCYCLE PARKING REQUIRED: 4 4 PROVIDED  
 BICYCLE PARKING REQUIRED: 7 18 PROVIDED

## LEGEND

- NEW CONSTRUCTION
- EXISTING BUILDING
- NEW ASPHALT PAVEMENT
- NEW SIDEWALK
- CONCRETE PAVERS
- SINGLE OR DOUBLE POLE MOUNTED LIGHT FIXTURE, RE. B4/A091
- BOUNDARY FOR EXISTING TO REMAIN



**PROJECT LOCATION**  
 VICINITY MAP: G-22-Z NOT TO SCALE

## KEYED NOTES

1. LANDSCAPED AREA; RE. LANDSCAPING
2. STRIPING/LETTERS, PAINTED, COLOR: WHITE
3. BIKE RACK, MANUF: MADRAX, MODEL: HW238-9-SF-P, 9 BIKE, 7 LOOP HEAVY DUTY WINDER, COLOR: TBD
4. POLE MOUNTED SIGNAGE: ACCESSIBLE PARKING
5. CONCRETE SIDEWALK
6. CONCRETE STAIR
7. CONCRETE CURB AND GUTTER, RE. CIVIL
8. EXISTING CURB AND LANDSCAPE TO REMAIN
9. EXISTING ASPHALT PAVING, PATCH CRACKS, SEAL COAT, AND RESTRIPE
10. WHEEL CHAIR RAMP, RE. D1/A091
11. ASPHALT PAVEMENT
12. FLAG POLE
13. EXISTING LAWN TO REMAIN
14. EXISTING POOL TO REMAIN
15. EXISTING 4'-6" CHAINLINK FENCE TO REMAIN
16. EXISTING CONCRETE STAIR TO REMAIN
17. 8" WROUGHT IRON FENCE AND MAN GATE, PROVIDE PANIC HW AND DEADBOLT LOCK FOR AFTERHOURS SECURITY
18. TRASH AND RECYCLE ENCLOSURE
19. 6'-0" HIGH CMU SCREEN WALL, RE. A301
20. PREFABRICATED METAL BUILDING, BY CONTRACTOR
21. EXISTING FIRE HYDRANT TO REMAIN
22. FIRE RISER
23. EXISTING CONCRETE POOL DECK
24. EXISTING CHAINLINK 2 LEAF GATE
25. EXISTING TREE
26. EXISTING PAINTED CMU WALL, HEIGHT VARIES 6' TO 10', COLOR: CREME
27. NEW FIRE HYDRANT
28. EXISTING TRANSFORMER, TO BE REMOVED
29. EXISTING MECHANICAL DUCTS
30. EXISTING BASEMENT ACCESS HATCH
31. RELOCATE EXISTING BUILDING GAS LINE
32. PAINT CURB OR PAVING IN RED WITH WHITE LETTERS: FIRE LANE NO PARKING
33. POLE MOUNTED SIGNAGE: RESERVED PARKING DON MCLEOD ONLY
34. CROSSWALK, STRIPED AND PAINTED WHITE
35. CROSSWALK, INTEGRALLY COLORED 6" CONCRETE, MANUF: DAVIS CONCRETE, COLOR: SANTA FE BROWN
36. CONCRETE PAVERS TO FILL VOID BETWEEN EXISTING CONCRETE POOL DECK AND NEW RESTROOM SLAB, BY LANDSCAPE CONTRACTOR
37. EXISTING TRENCH DRAIN
38. EXISTING CONCRETE DRIVE PAD
39. NOT USED
40. BUILDING OR FENCE MOUNTED SIGNAGE: ACCESSIBLE PARKING
41. PRESSURE INDICATOR VALVE (PIV), RE. CIVIL
42. BENCH, MANUF: MADRAX, MODEL: SSF-6-FMP STATE STREET-PERFORATED METAL FLAT BENCH, COLOR: TBD
43. LIGHT POLE, NOT TO EXCEED 18' IN HEIGHT WITHIN 100' OF A RESIDENTIAL ZONE AND WILL NOT SHINE ON ANY RESIDENTIAL PROPERTY, RE. B4/A091
44. 4' CHAINLINK EQUIPMENT SCREEN FENCE AND GATE WITH ALUMINUM PRIVACY SLATS
45. 6' CHAINLINK PERIMETER FENCE
46. CONCRETE DRAINAGE SWALE, RE. CIVIL
47. POLE MOUNTED SIGNAGE: MOTORCYCLE PARKING, RE. C3/A091
48. STEEL CABLE WITH KNOX LOCK (KNOX LOCK REQUIRED AT COMANCHE ENTRANCE, PADLOCK AT OTHER LOCATION)
49. CONCRETE WHEELSTOP
50. 8" CONCRETE CURB AND GUTTER
51. BOLLARD, STEEL AND CONCRETE FILLED, PAINT
52. 1'-0" WIDE NOTCH IN CURB FOR WATER RUNOFF COLLECTION IN LANDSCAPE AREA
53. GROUND MOUNTED UP-LIGHT FOR ILLUMINATION OF BUILDING ELEVATION "Y" IN SIGNIA, LIGHT WILL COMPLY WITH THE STATE NIGHT SKY PROTECTION ACT

PROJECT NUMBER: 1006824  
 Application Number: 081113-70100

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12/13/07 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	3/12/08
Date	
	4-18-08
Date	
	3/12/08
Date	
	3/12/08
Date	
	2/25/08
Date	
	4-18-08
Date	

REVISIONS

	9/14/07	EPC COMMENT REVISION
	12/5/07	DESIGN MODIFICATIONS
	12/13/07	EPC COMMENT REVISION
	3/12/08	DRB COMMENT REVISION

REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROJECT NO. 07060 DRAWING NAME: \_\_\_\_\_  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (SITE PLAN) UNOFFICIAL  
 SHEET NO. **A001** OF \_\_\_\_\_

GENERAL CONTRACTOR

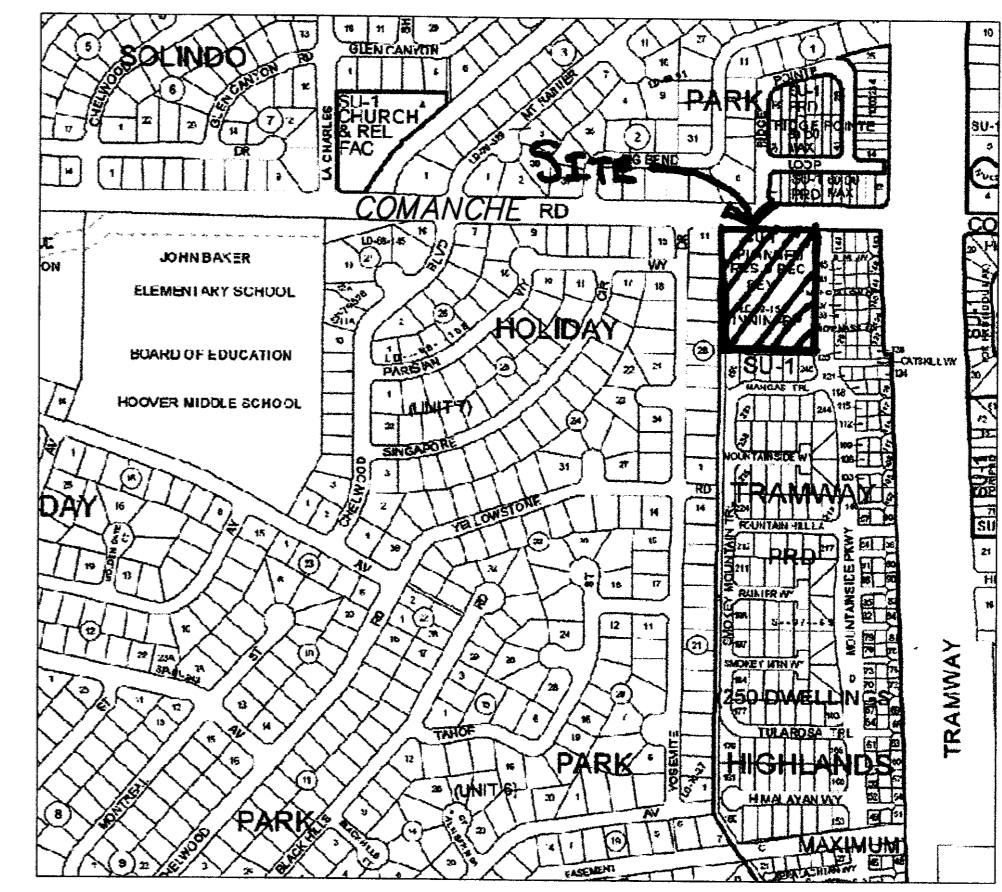
ARCHITECT

7601 Jefferson NE Suite 100  
 Albuquerque, NM 87109  
 505 761-9700  
 fax 761-4222  
 dps@dpsdesign.org

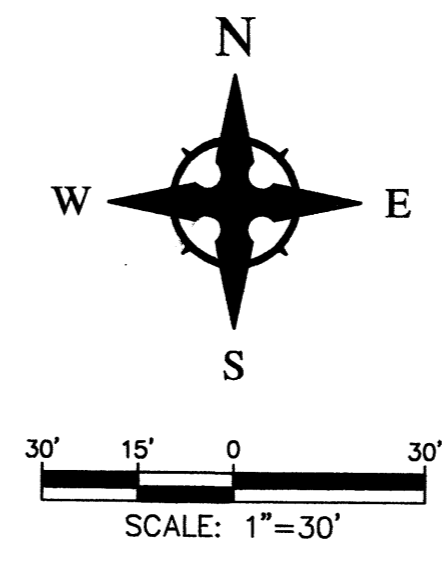
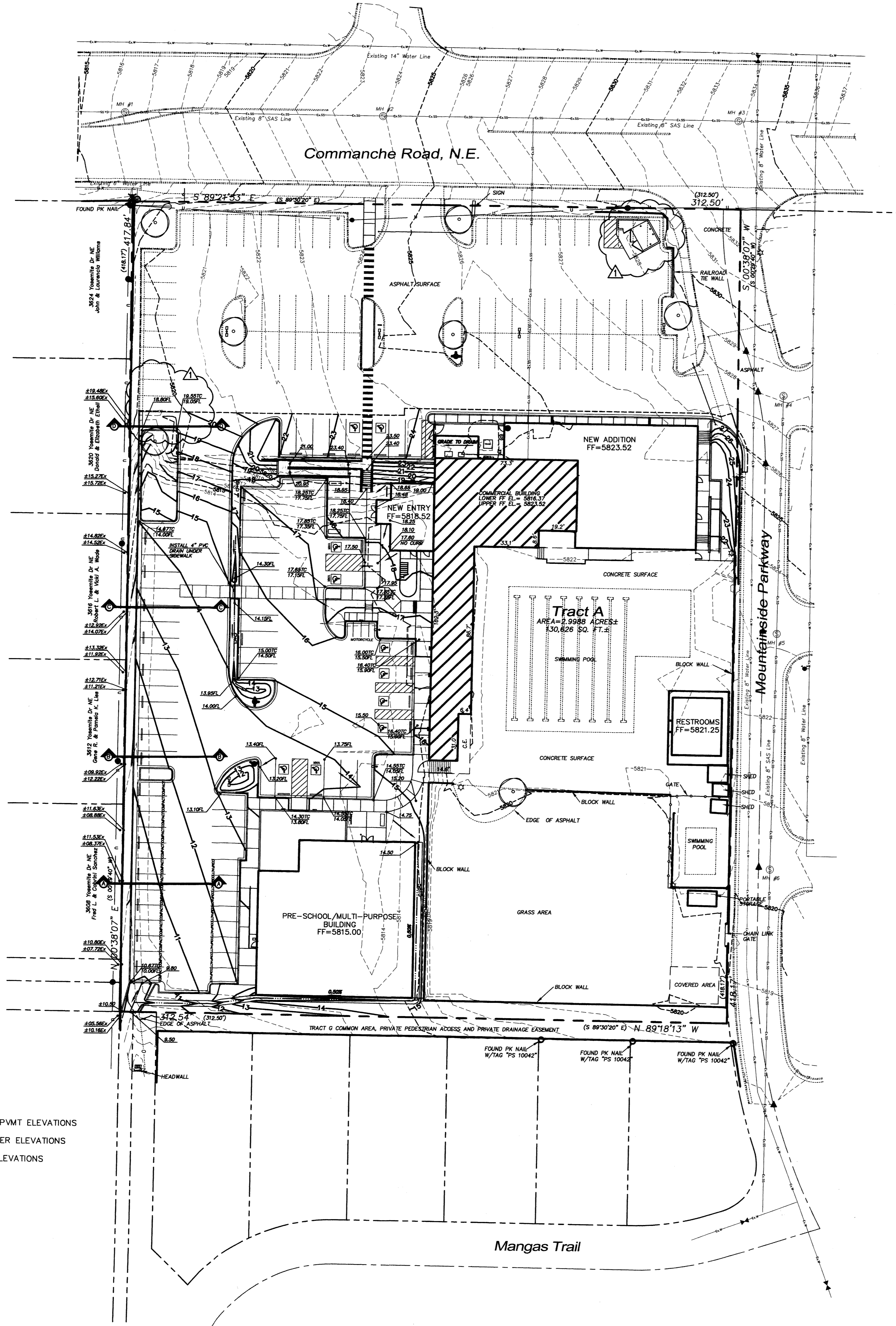
PROJECT

REGISTERED ARCHITECT

**MCLEOD**  
**MOUNTAINSIDE YMCA**  
 12500 Comanche NE  
 Albuquerque, NM 87111



ZONE ATLAS PAGE G22



**CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**  
The purpose of this submittal is to provide a conceptual drainage management plan for the proposed additions to the McLeod YMCA, which includes the demolition of existing buildings and paved surfaces; and the installation of new buildings and parking areas. The site is located at the 12500 Comanche NE in Albuquerque, NM, which is the southwest corner Comanche and Mountain Side Parkway. The site contains approximately 3.0 acres.

**EXISTING HYDROLOGIC CONDITIONS**  
According to the latest approved Drainage Management Plan by Tierra West (COA Hydrology File G22Z-D16), dated September 8, 1997, the runoff from the site is as follows:

Basin 'R' (Total of Basins 'A' and 'B'): 15.05 cfs using 90% Type 'D' and 10% Type 'B' land treatments.

When the improvements were done in +/-1997, most of the drainage from the site was diverted away from Comanche to a drainage swale/inlet located at the southwest corner of the property.

**PROPOSED HYDROLOGIC CONDITIONS**  
The calculations for the developed site (see Table below) show the 100-year runoff rate to be 15.04 cfs, which is 0.01 cfs lower than the calculations prepared by Tierra West in 1997. Seeing that there is a slight decrease in runoff for the proposed condition, there will not be any negative impacts downstream of the site.

The below calculations are for the new asphalt Triangular Channel outlet located at the southwest corner of the site. The section used is the smallest/most critical section of the swale.

Given Data:  
Q (actual) = 15.04 cfs  
Left Side Slope: +/- 5:1 (5' long)  
Right Side Slope: +/- 4.7:1 (4.7' long)  
Depth: +/- 1'  
Manning's 'n' coefficient: 0.017

Channel Area: 4.85 Square Feet  
Wetted Perimeter: 9.9'  
R: 0.49  
Channel Slope: +/- 1.88%

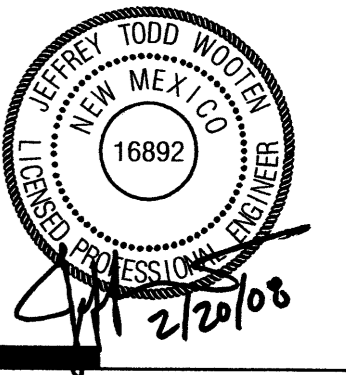
Using Manning's Equation and the above data, the capacity of the Channel is 36.10 cfs which is well over the required flow rate of 15.04 cfs.

**CONCLUSION**  
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. According to the previous approved Drainage Management Plan by Tierra West dated September 8, 1997, the site is allowed to discharge developed flows directly to the southwest corner of the site, without causing a negative impact. With this submittal, we are requesting conceptual grading and drainage plan approval for Site Plan for Building Permit.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

ENGINEER



PROJECT

**MCLEOD  
MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

Existing McLeod YMCA Drainage Calculations (Per Tierra West Calculations Dated 9/8/97)												
This table is based on the COA DPM Section 22.2, Zone: 4												
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>1440</sub> (CF)	V(100) <sub>10day</sub> (CF)
Basin 'R'	3.00	3.00	0.0%	10.0%	0.0%	90.0%	5.02	15.05	n/a	n/a	n/a	n/a
Proposed McLeod YMCA Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
This table is based on the COA DPM Section 22.2, Zone: 4												
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>1440</sub> (CF)	V(100) <sub>10day</sub> (CF)
Basin 'R'	130626	3.00	0.0%	10.0%	0.0%	90.0%	5.02	15.04	2.48	27040	35269	44456

**LEGEND**

- ← FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE

REVISIONS

- △ RELOCATE TRASH ENCLOSURE
- △
- △
- △

DRAWN BY JTW  
REVIEWED BY JTW  
DATE 09/06/07  
PROJECT NO. 07060  
DRAWING NAME

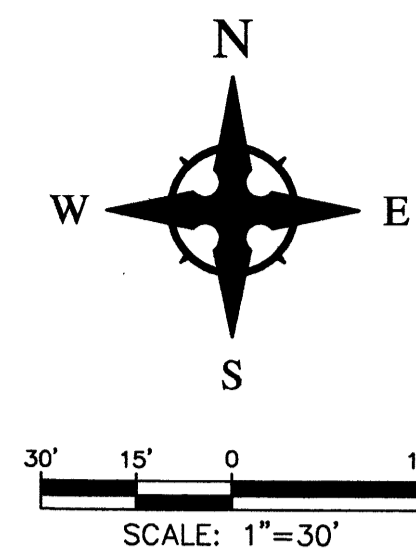
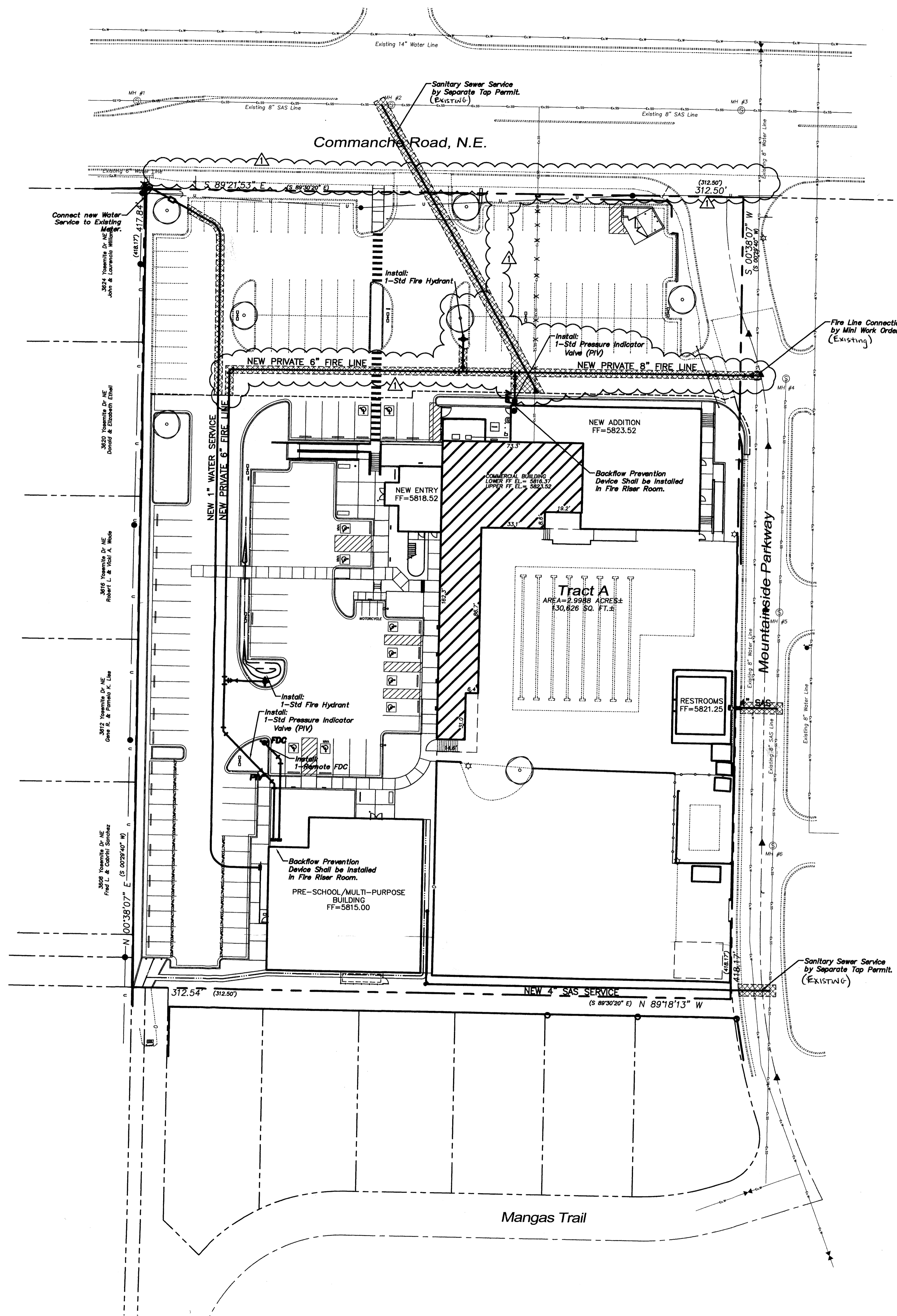
**GRADING  
& DRAINAGE PLAN**

**Wooten  
Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.4200 Fax: 505.771.8905

SHEET NO.

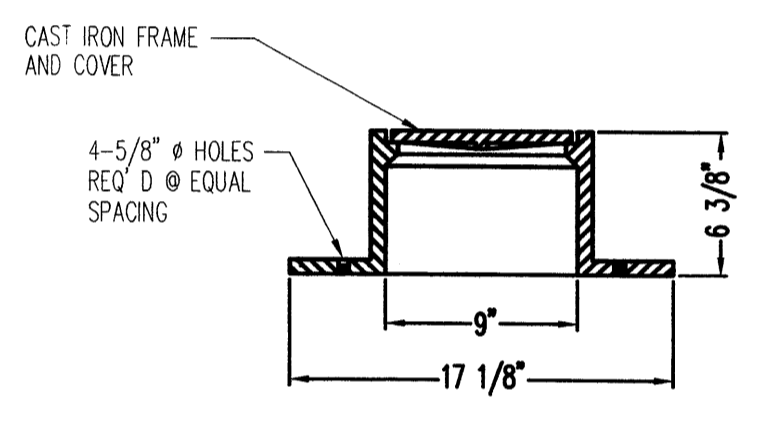
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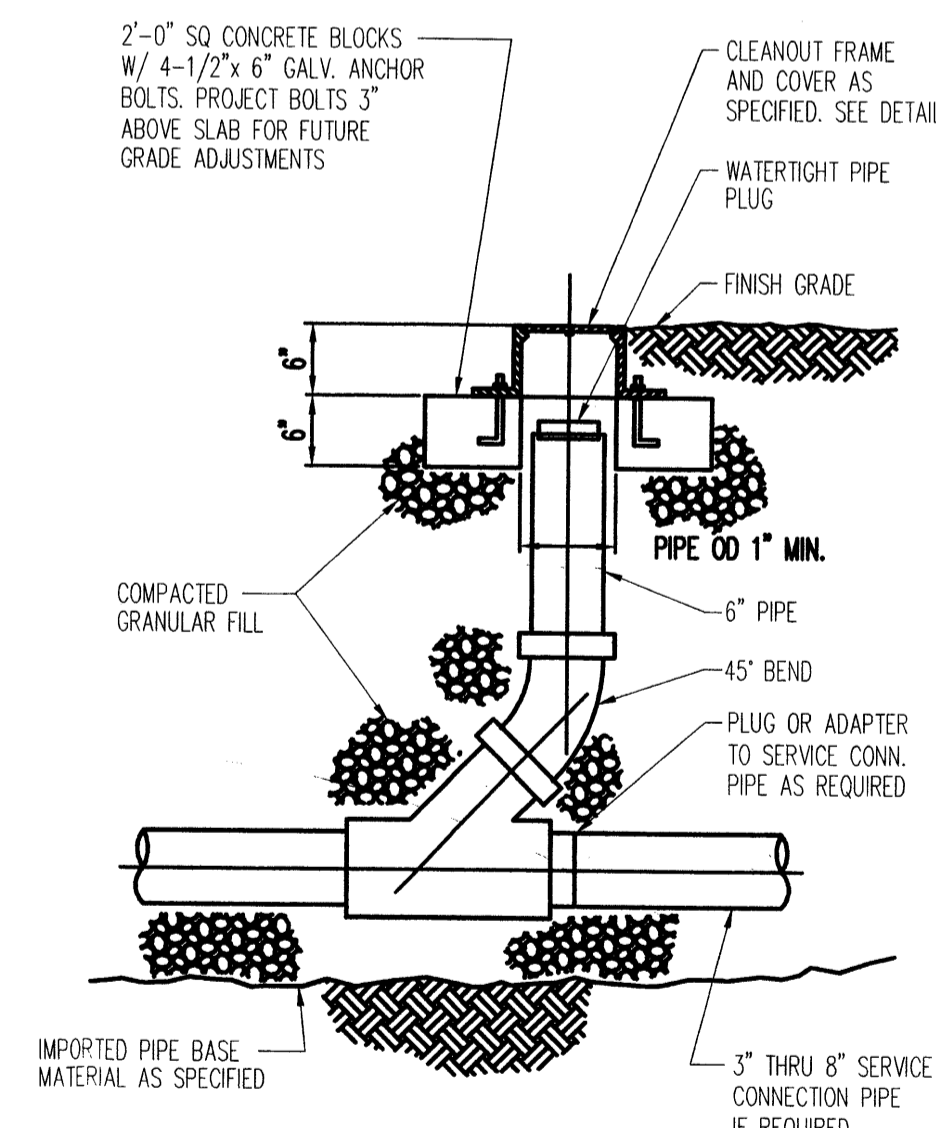
**CAUTION - NOTICE TO CONTRACTOR**

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- UTILITY NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
  2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
  3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
  4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
  5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
  6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
  7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
  8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
  9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
  10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
  11. CONTRACTOR SHALL PREPARE ALL SUBMITTALS MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.



CLEANOUT FRAME & COVER  
N.T.S.



CLEANOUT DETAIL  
N.T.S.

architecture  
interiors  
landscape  
planning  
engineering

**Dekker Perich Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

**NOT FOR CONSTRUCTION**

PROJECT

**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS

△	REVISE FIRE LINES TO BE PRIVATE.
△	
△	
△	

DRAWN BY	JTX
REVIEWED BY	JTX
DATE	09/06/07
PROJECT NO.	07060
DRAWING NAME	

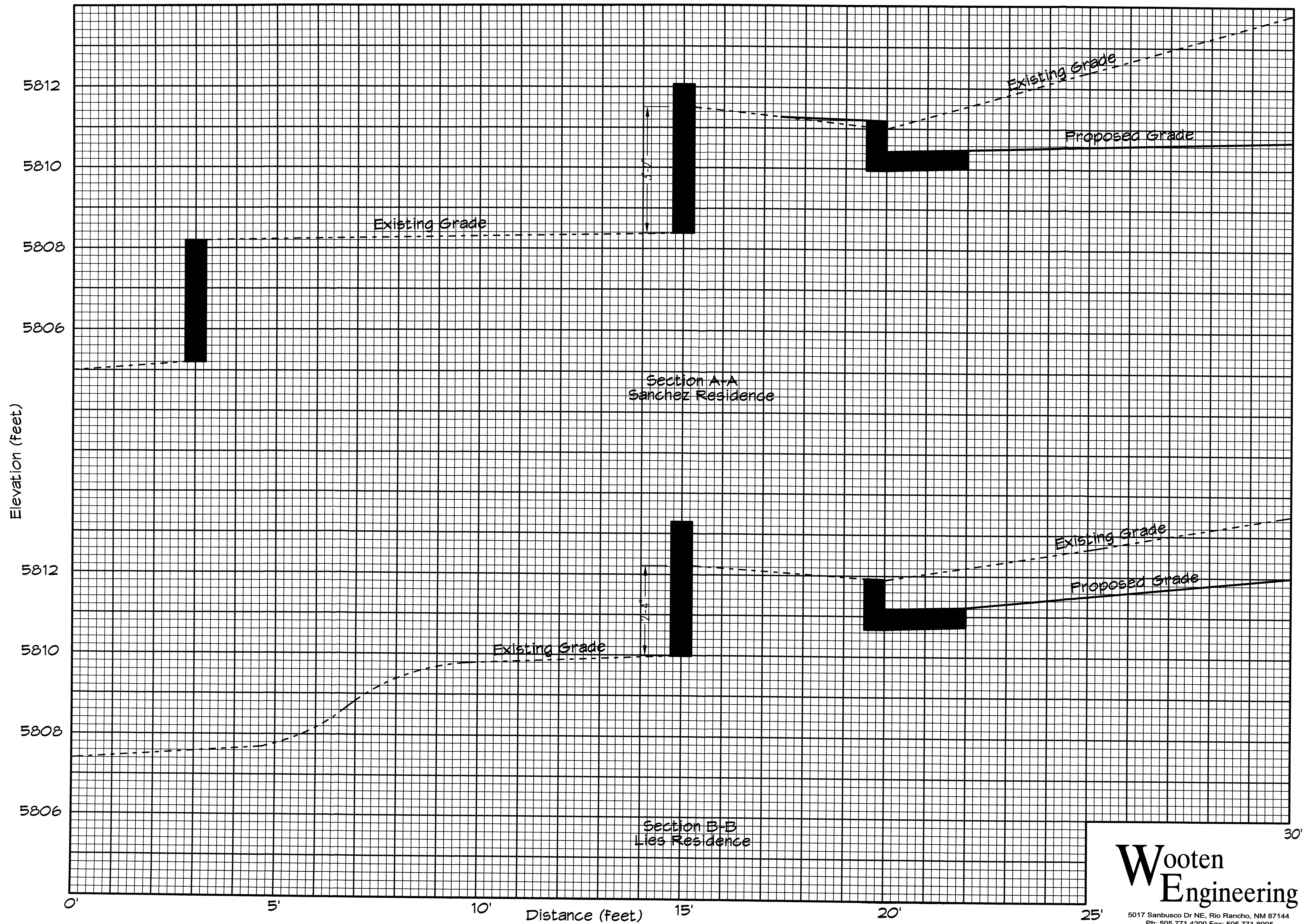
UTILITY PLAN

SHEET NO.

**002**  
OF

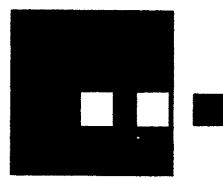
**Wooten Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.4200 Fax: 505.771.8905



**Wooten  
Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
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architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

**MCLEOD  
MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS

- △ 12/21/07
- △
- △
- △

DRAWN BY JTW

REVIEWED BY JTW

DATE 09/06/07

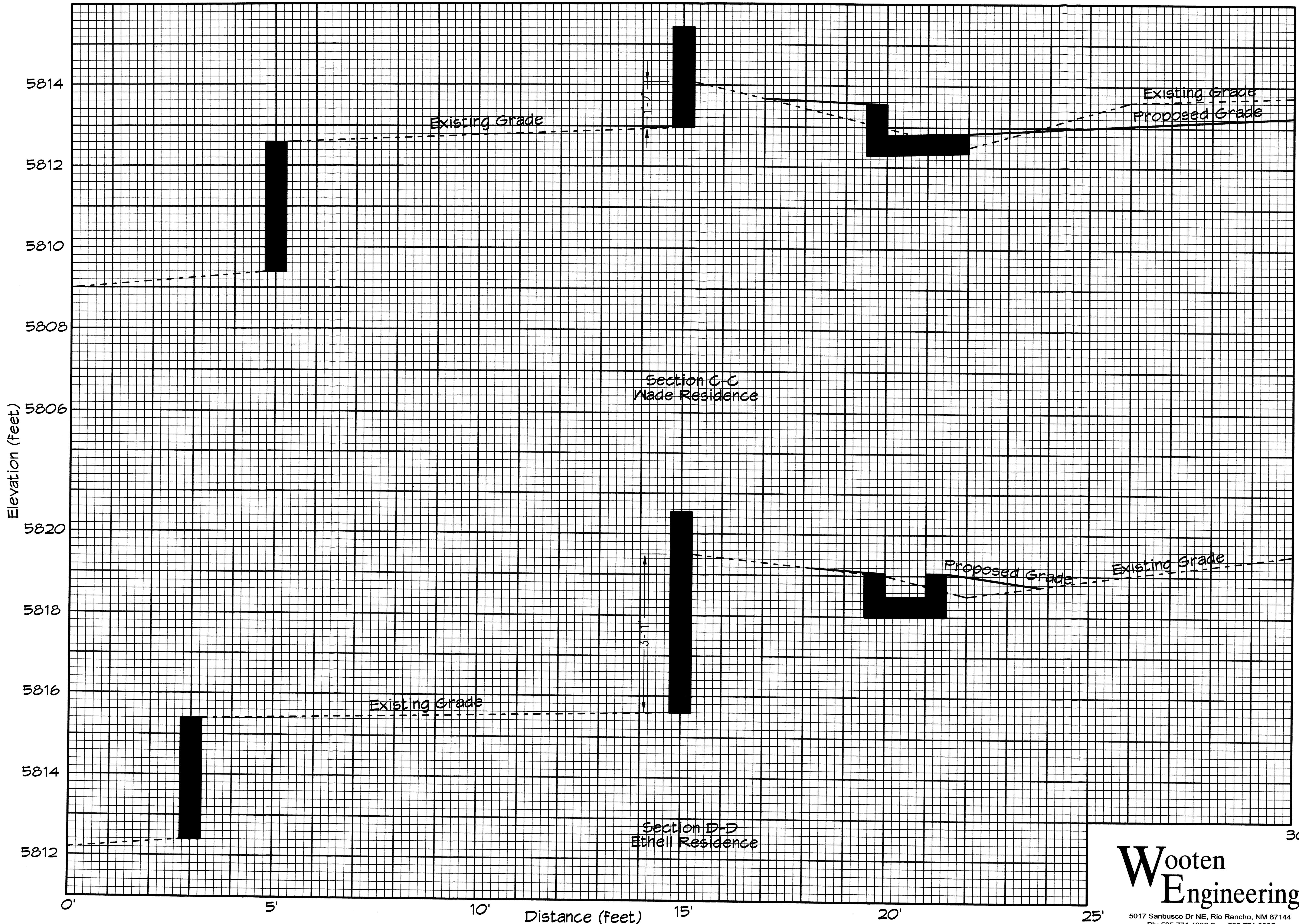
PROJECT NO. 07060

DRAWING NAME

CROSS SECTIONS

SHEET NO.

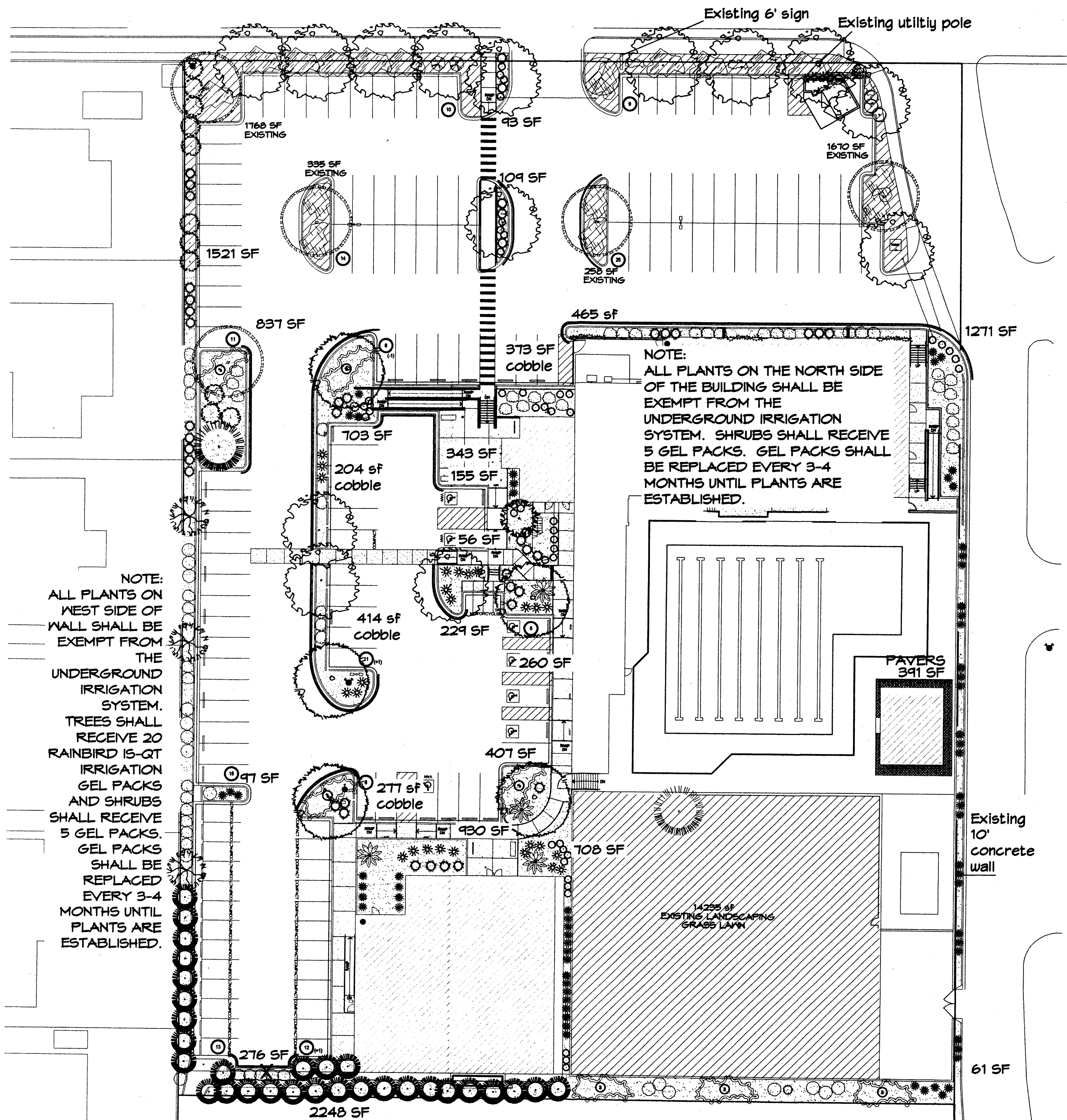
**004**  
OF



**Wooten  
Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.4200 Fax: 505.771.8905

30'

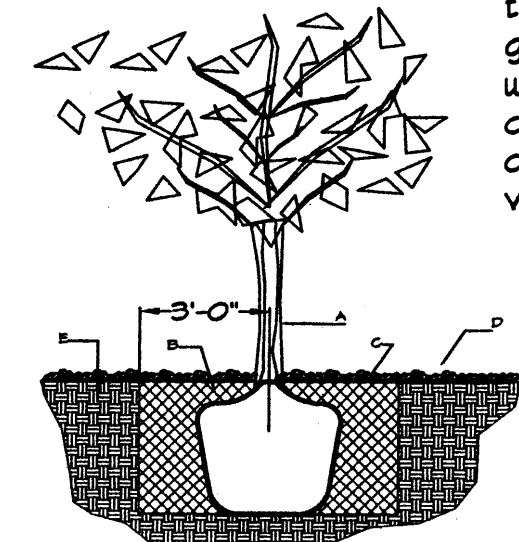
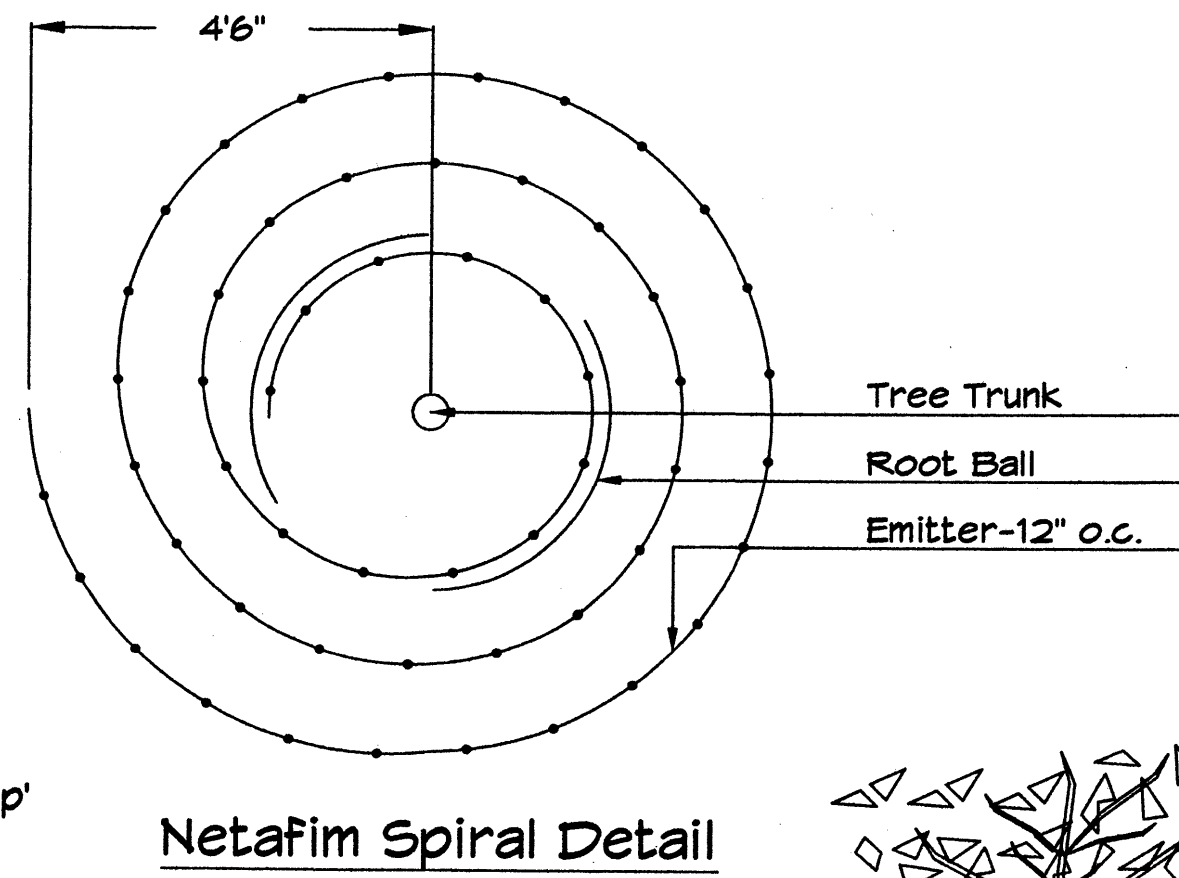


### PLANT PALETTE

- TREES**
- CHINESE PISTACHE (M) 14  
*Pistacia chinensis*  
2" Cal.
  - SHUMARD OAK (M) 5  
*Quercus shumardii*  
2" Cal.
  - AUSTRIAN PINE (M) 1  
*Pinus nigra*  
10'-12'
  - NEW MEXICO OLIVE (L) 3  
*Forestiera neomexicana*  
15 Gal. 225 sf
  - AMUR MAPLE (M) 1  
*Acer ginnala*  
Multi-trunk B4B (2" Cal.)
  - CURLLEAF MTN MAHOGANY (L+) 30  
*Cercocarpus ledifolius*  
5 Gal. 225 sf
- SHRUBS/ORNAMENTAL GRASSES**
- FIVE GAL.**
- MOCK ORANGE (M) 4  
*Philadelphus cultivars*  
5 Gal. 100sf
  - PHOTINIA (M+) 11  
*Photinia Fraseri*  
5 Gal. 64sf
  - APACHE PLUME (L) 17  
*Fallugia paradoxa*  
5 Gal. 25sf
  - LENA'S BROOM (M) 42  
*Cytisus scoparius*  
5 Gal. 16sf
- ONE GAL.**
- POWIS CASTLE SAGE (L+) 54  
*Artemisia X Powis Castle*  
1 Gal. 25sf
  - DEER GRASS (M) 26  
*Muhlenbergia rigens*  
1 Gal. 16sf
  - CATMINT (M) 45  
*Nepeta mussini*  
1 Gal. 4sf
  - BLUE AVENA/OAT GRASS (M) 67  
*Helictotrichon sempervirens*  
1 Gal. 4sf
- DESERT ACCENTS**
- BLUE SOTOL (L) 2  
*Dasylirion wheeleri*  
5 Gal. 4sf
- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
  - COBBLE WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
  - \* DENOTES EVERGREEN MATERIAL
- GROUNDCOVERS**
- GREYLEAF COTONEASTER (M) 21  
*Cotoneaster buxifolius*  
5 Gal. 81sf  
Symbol indicates 3 plants
  - ENGLISH IVY (M) 4  
*Hedera helix*  
1 Gal.
  - EXISTING LANDSCAPING TO REMAIN
  - PAVERS

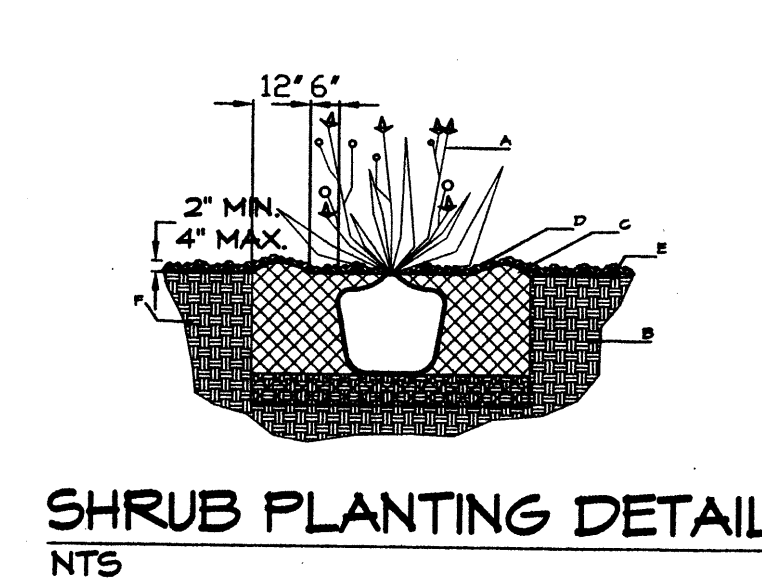
### PLANT PALETTE

- EXISTING
- ASH (M) 5  
*Fraxinus spp.*
  - FLOWERING PEAR (M+) 1  
*Pyrus calleryana*
  - AUSTRIAN PINE (M) 1  
*Pinus nigra*
  - RUSSIAN SAGE (M) 4  
*Perovskia atriplicifolia*  
36 sf
  - INDIAN HAWTHORN (M) 2  
*Raphiolepis indica*  
36sf
  - BLUE CHIP JUNIPER (L+) 3  
*Juniperus horizontalis 'Blue Chip'*  
64 sf
  - TAM JUNIPER (L+) 18  
*Juniperus sabinia Tamariscifolia'*  
196 sf



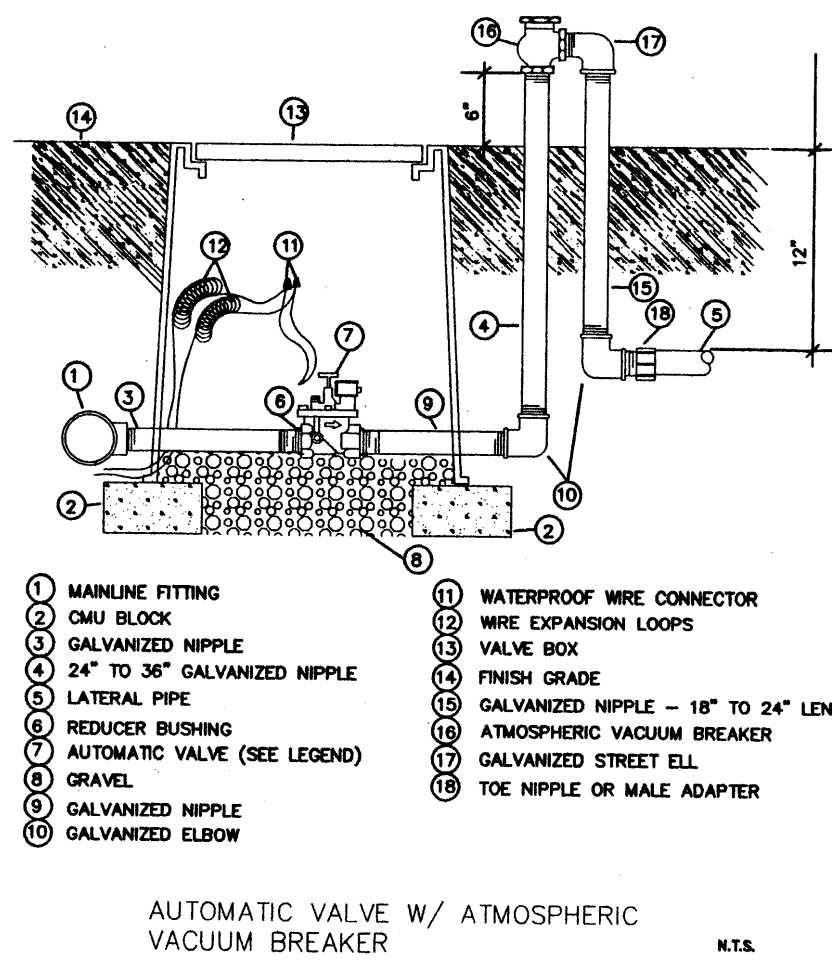
### TREE PLANTING DETAIL

- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.



### SHRUB PLANTING DETAIL

- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.



### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	130416	square Feet
TOTAL BUILDINGS AREA	18605	square Feet
NET LOT AREA	111811	square Feet
LANDSCAPE REQUIREMENT	15%	
REQUIRED LANDSCAPE	16772	square Feet
REQUIRED GROUNDCOVER COVERAGE	12579	square Feet
TOTAL GROUNDCOVER PROVIDED	14959	square Feet
PROVIDED LANDSCAPING (NEW AND EXISTING)	30229	square Feet
EXISTING SOD (max. 20% of landscape required)	14235 (47%)	square Feet
<b>NEW LANDSCAPING</b>		
LANDSCAPE BED PROVIDED	12037	square Feet
REQUIRED GROUNDCOVER PERCENT	75%	square Feet
REQUIRED GROUNDCOVER	9027	square Feet
GROUNDCOVER PROVIDED	9085 (75%)	square Feet
<b>PAVERS</b>		
	391	square Feet
<b>EXISTING LANDSCAPING</b>		
LANDSCAPE BED PROVIDED	4031	square Feet
REQUIRED GROUNDCOVER PERCENT	75%	square Feet
REQUIRED GROUNDCOVER	3023	square Feet
GROUNDCOVER PROVIDED	3936 (95%)	square Feet

### PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 15 Existing # 5 Provided # 10

### STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Comanche  
Required # 9 Existing # 2 Provided # 7

Name of Street: Mountainside Parkway parking  
Required # 3 Existing # 1 Provided # 2

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity including both existing and new landscape areas.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

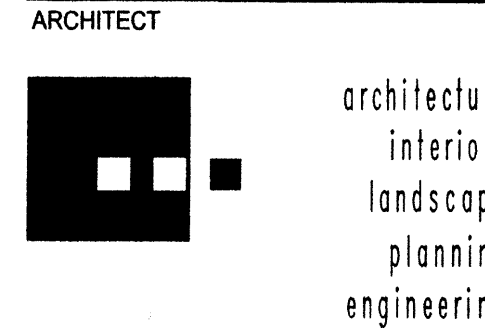
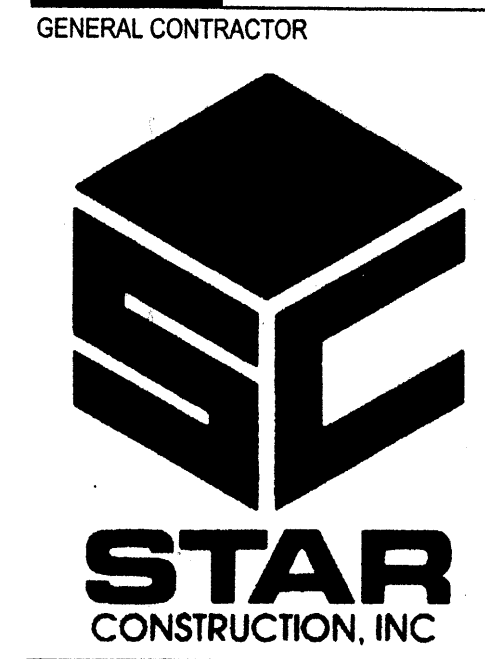
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

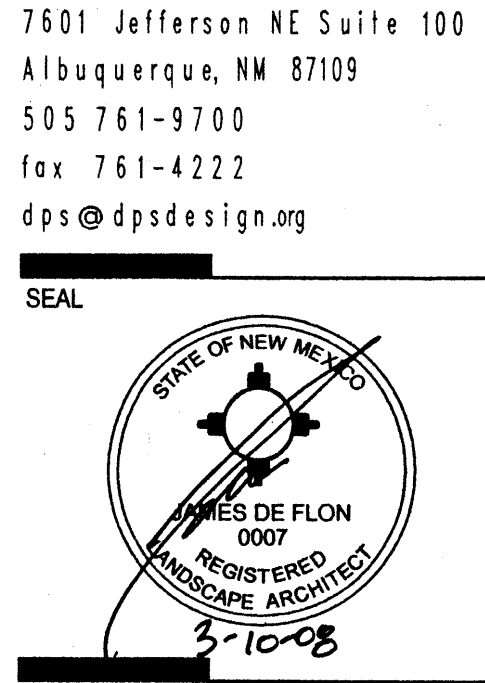
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org



**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

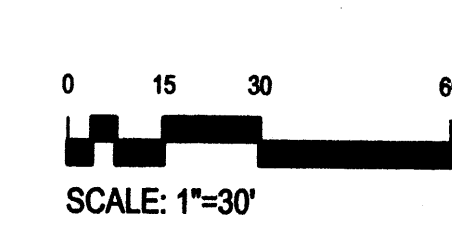
**REVISIONS**

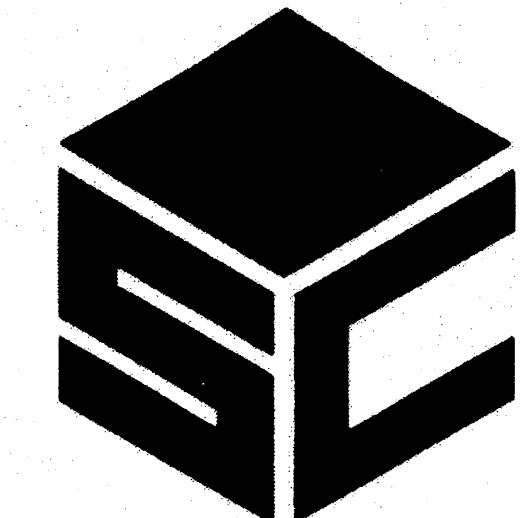
10	3-10-08	Site Revision - cmj
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**DRAWN BY** RMM  
**REVIEWED BY** CJ  
**DATE** 8/23/07  
**PROJECT NO.** 07060  
**DRAWING NAME**  
**SHEET NO.** L001



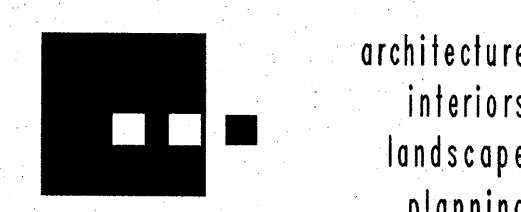
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com





**STAR**  
CONSTRUCTION, INC

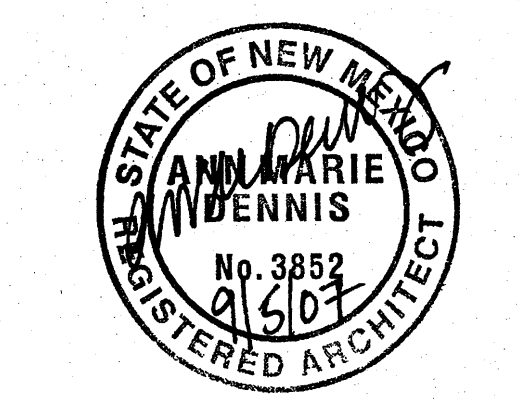
ARCHITECT



**Dekker Perich Sabatini**  
architecture  
interiors  
landscape  
planning  
engineering

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

PROJECT



**MCLEOD**  
**MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

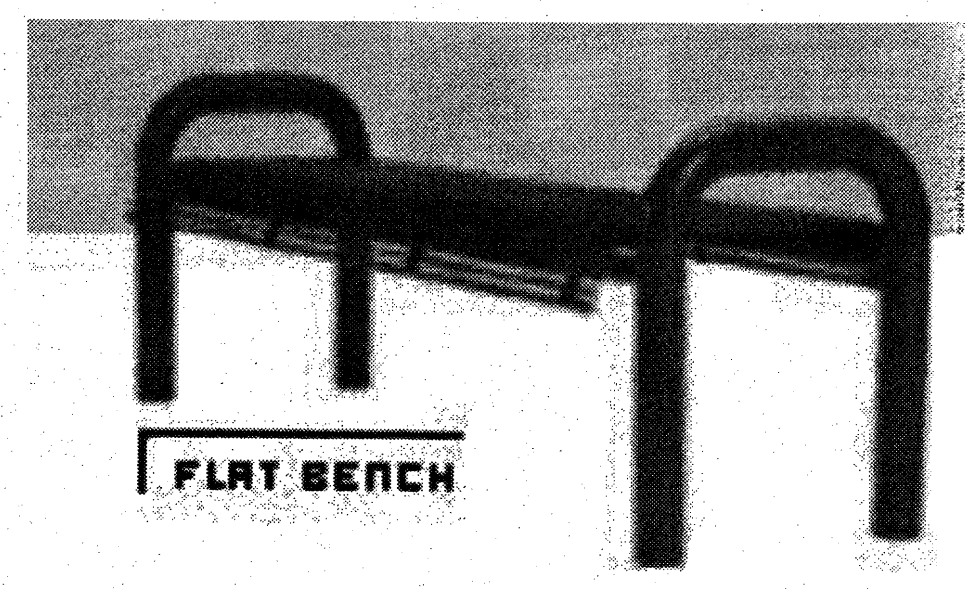
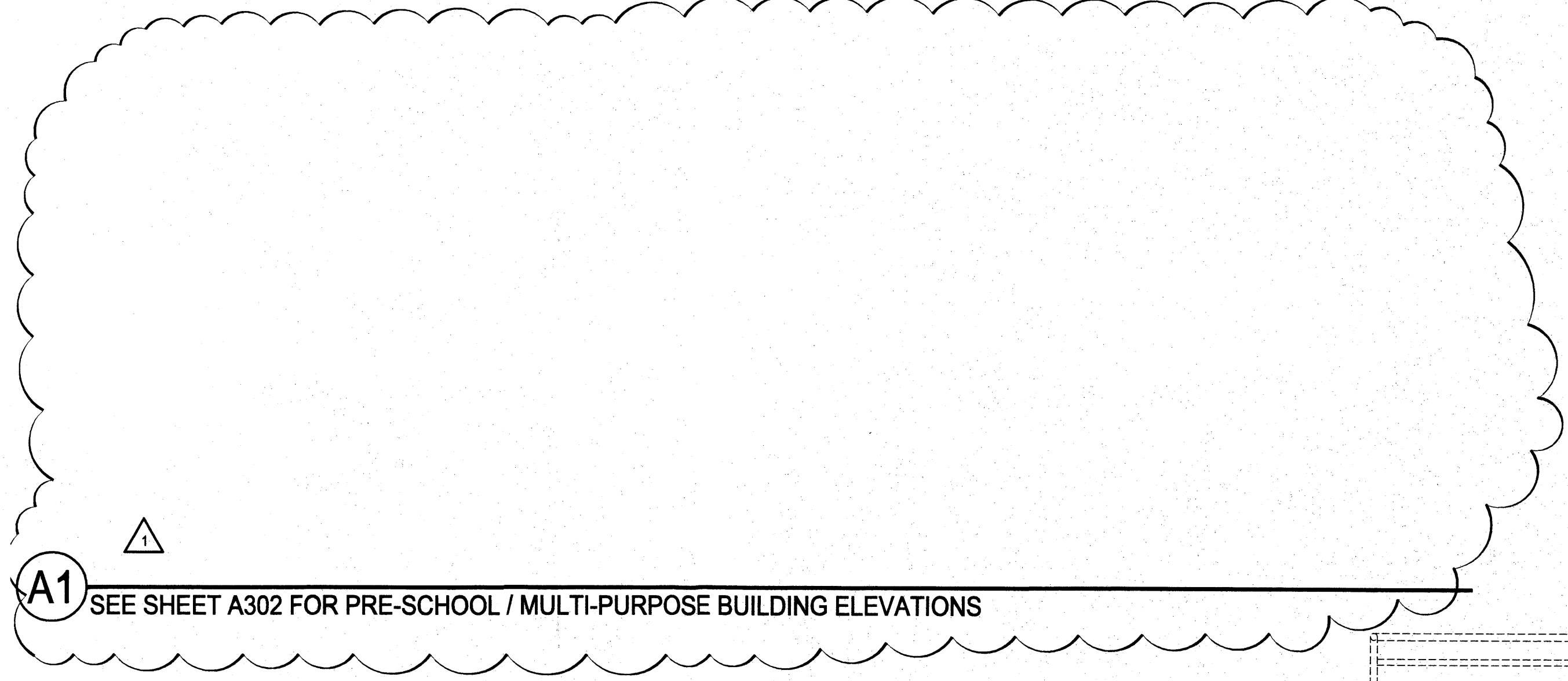
REVISIONS	
1	12/5/07 MODIFICATIONS
2	12/13/07 EPC COMMENT REVISION

DRAWN BY  
REVIEWED BY  
DATE 9/6/07  
PROJECT NO. 07060  
DRAWING NAME

SITE DEVELOPMENT  
PLAN FOR BUILDING  
PERMIT (SITE DETAILS)

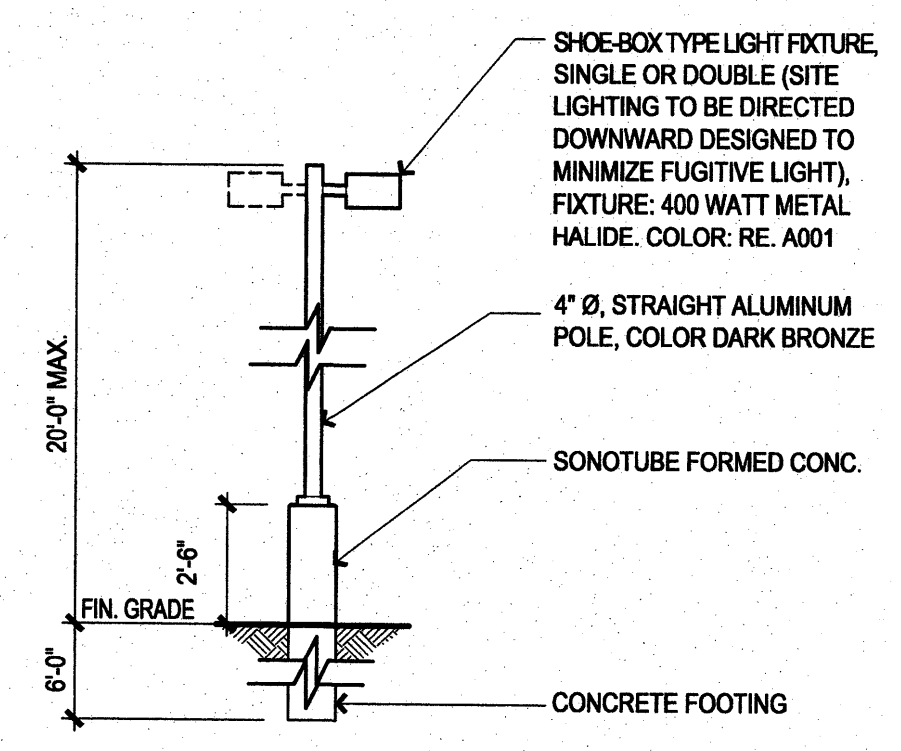
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**A091**  
OF



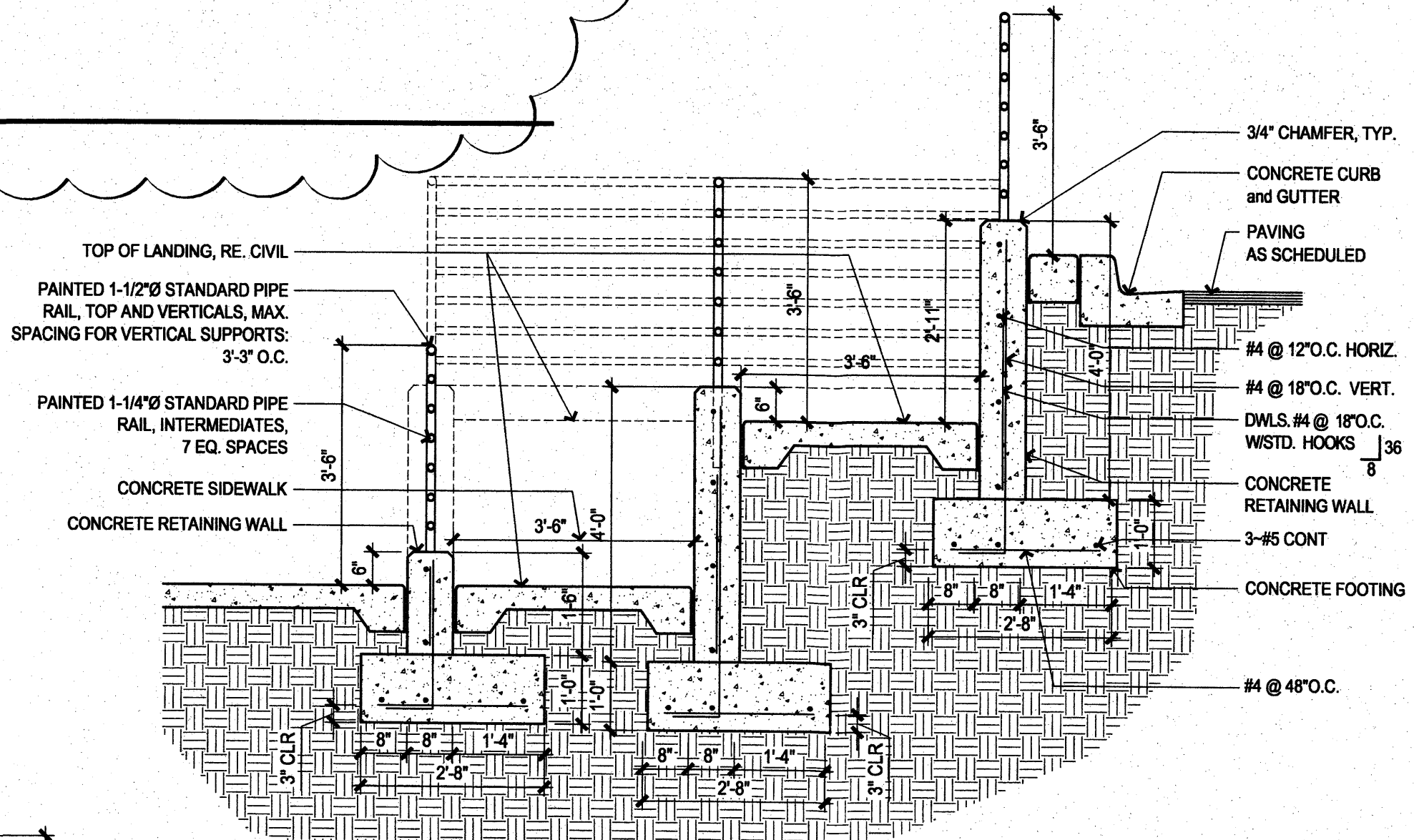
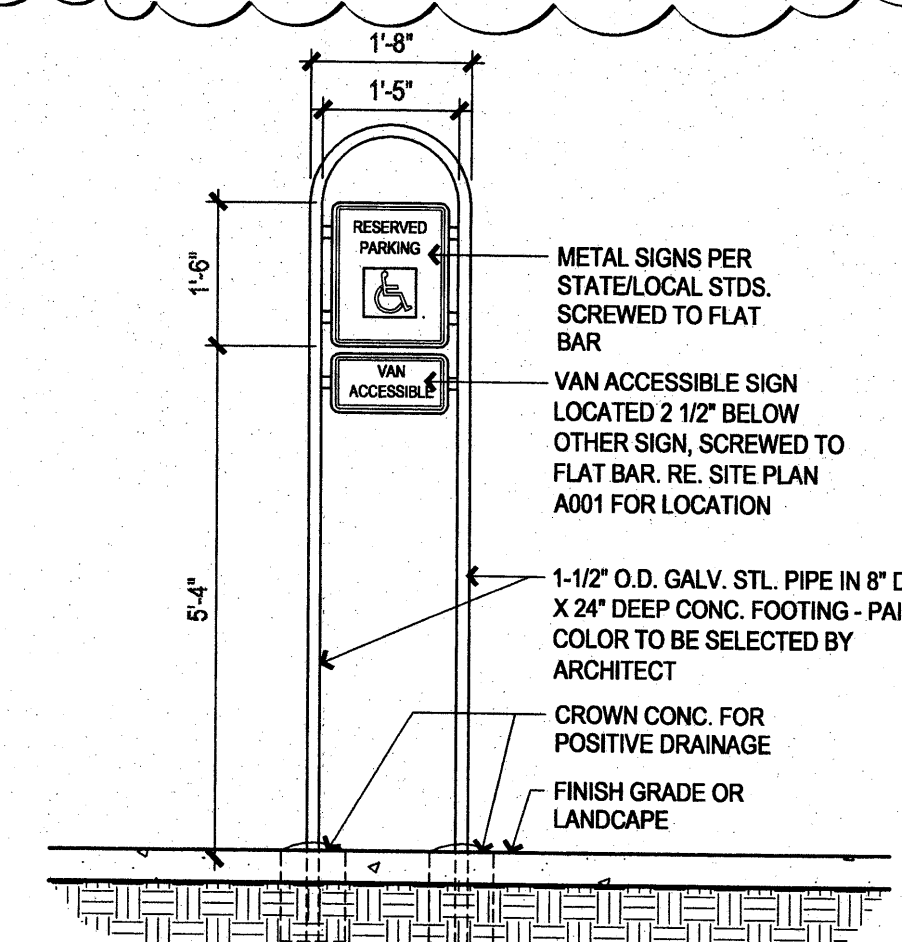
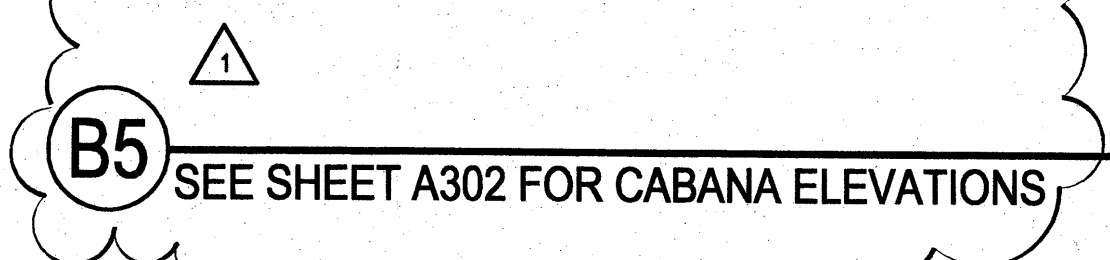
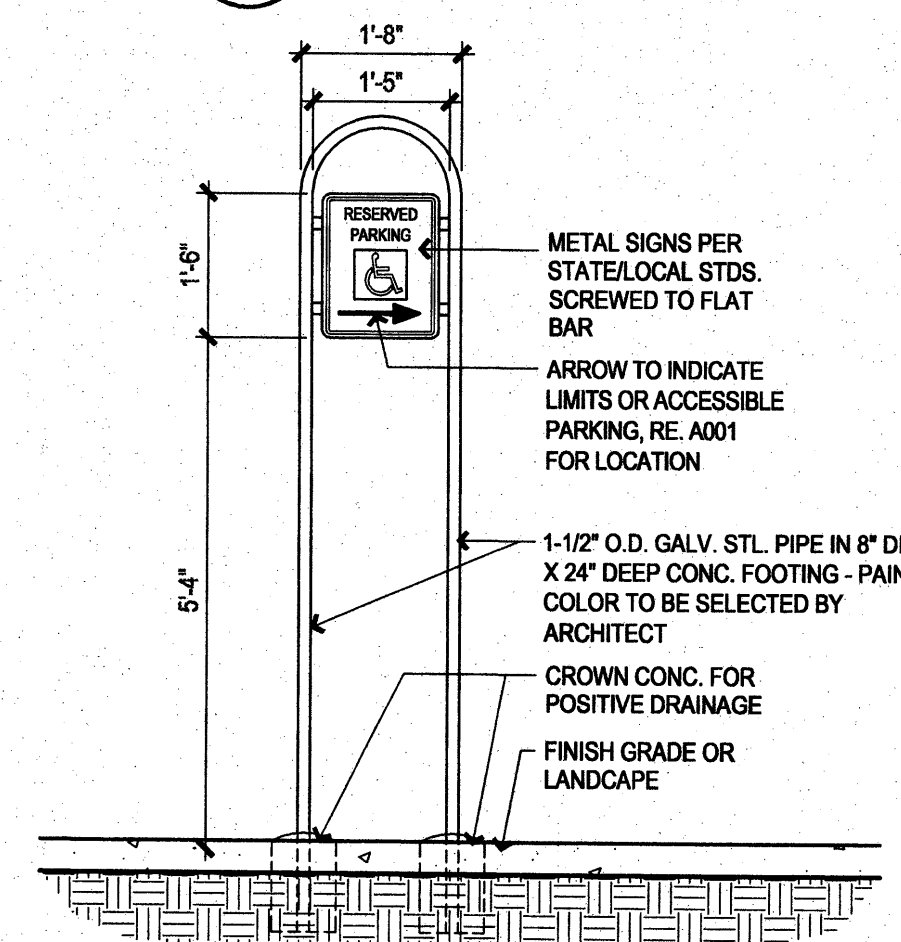
MANUFACTURER: MADRAX  
MODEL: SSF-8-PM-F  
COLOR: TBD, POWDER COATED STEEL SURFACE MOUNT

**A4 BENCH**  
DETAIL

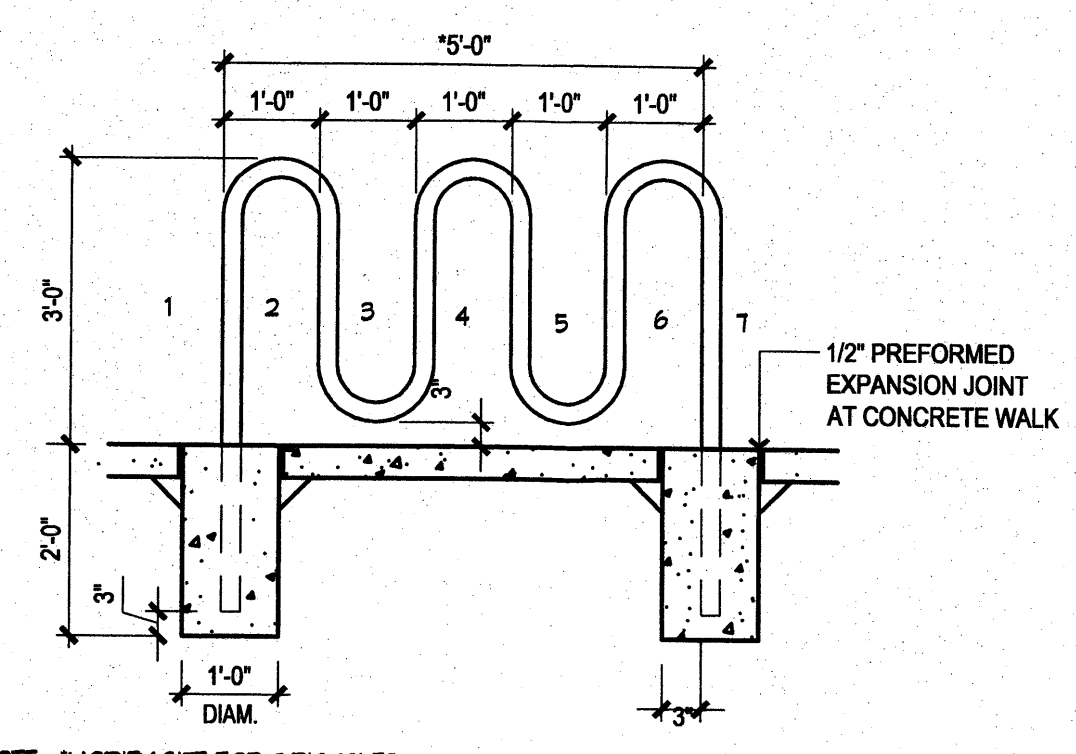


NOTE: LIGHT PATTERNS TO AVOID GLARE OR REFLECTION ON ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS.

**B4 LIGHT STANDARD ELEVATION**  
1/4" = 1'-0"

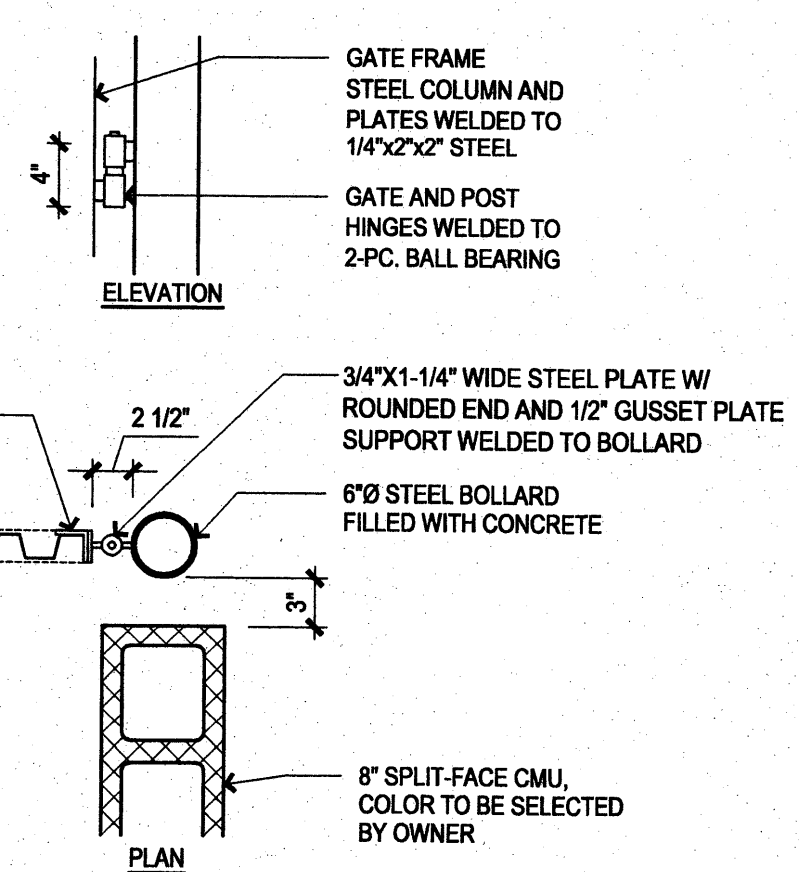


**B3 H.C. ACCESSIBLE CONCRETE RAMP**  
DETAIL



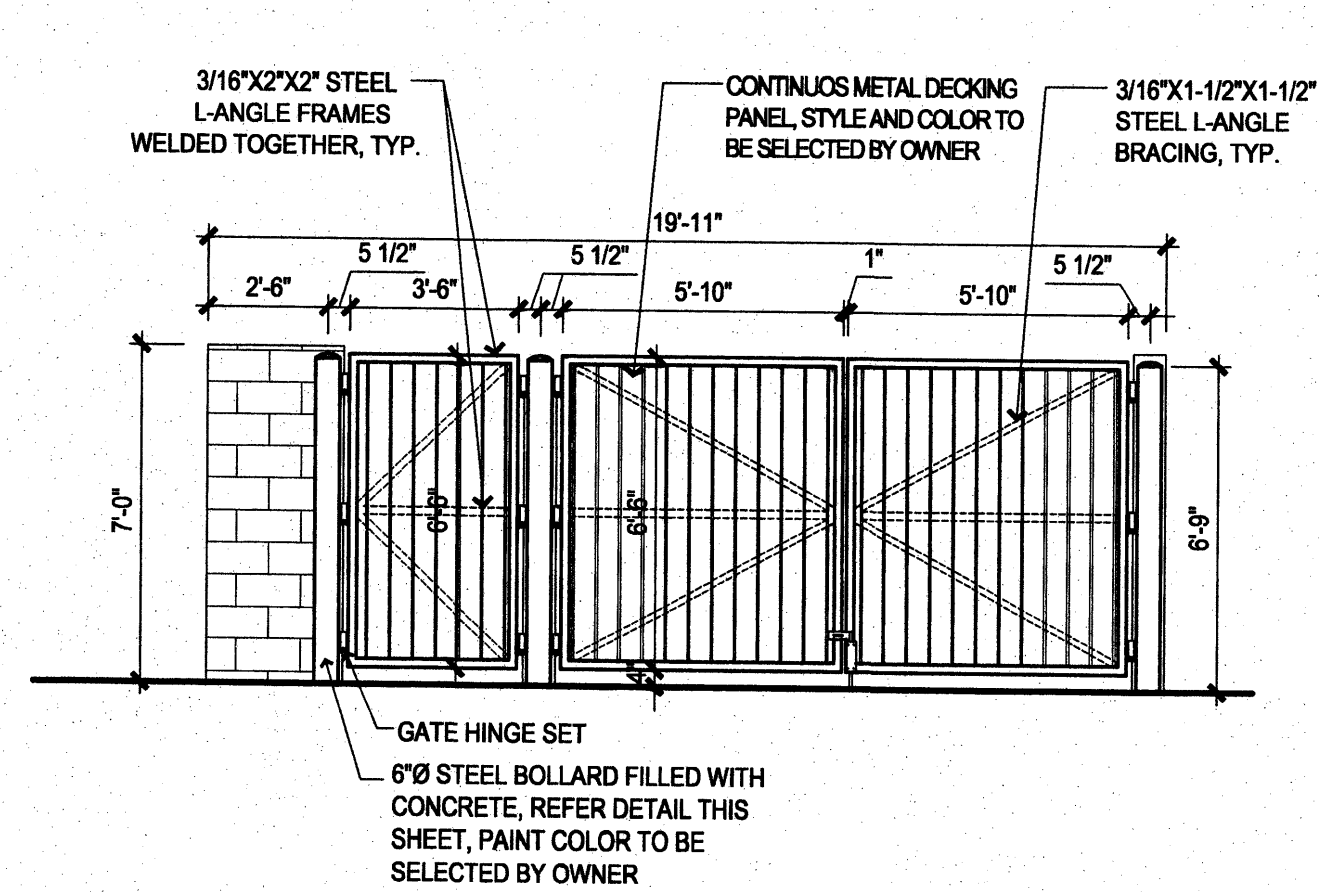
NOTE: \*MODIFY SIZE FOR 4 BICYCLES  
MANUFACTURER: MADRAX DIVISION (OR EQUAL)  
MODEL: HW238-8-IG-P  
COLOR: TBD, POWDER COATED STEEL IN GROUND MOUNT

**C3 BIKE RACK**

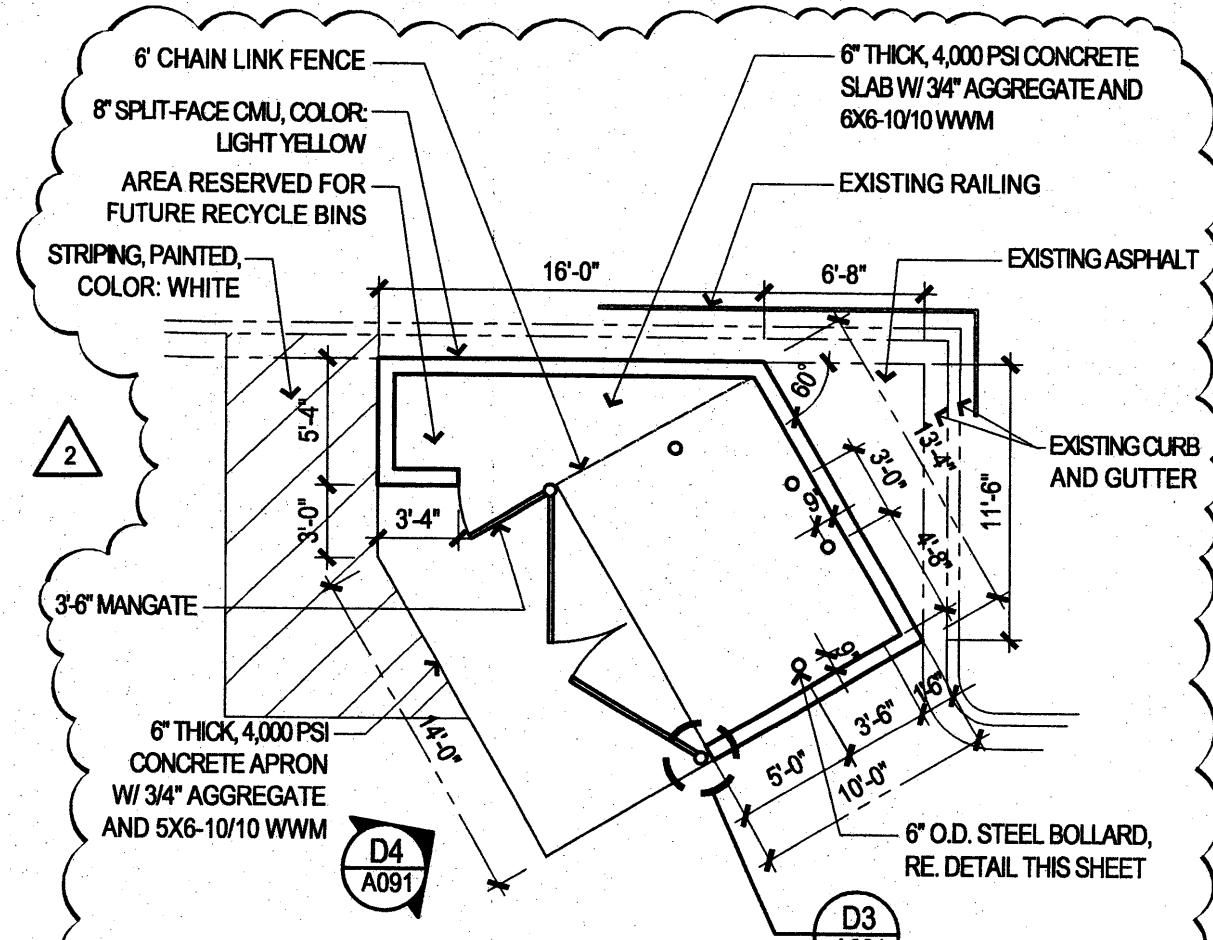


NOTE: PAINT ALL EXPOSED STEEL

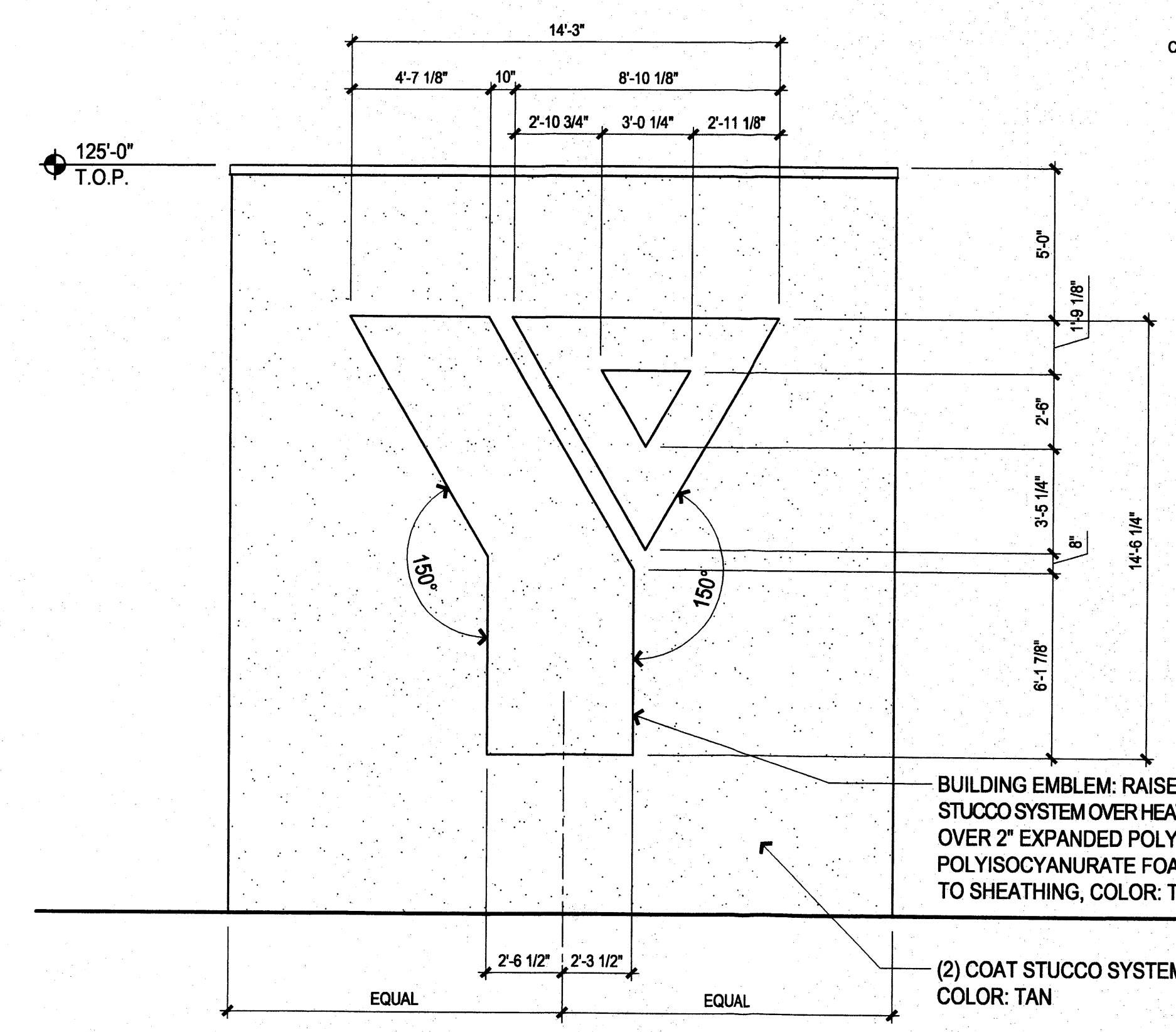
**C4 POLE MOUNTED H.C. SIGNAGE**  
DETAIL



**C5 POLE MOUNTED H.C. SIGNAGE**  
DETAIL

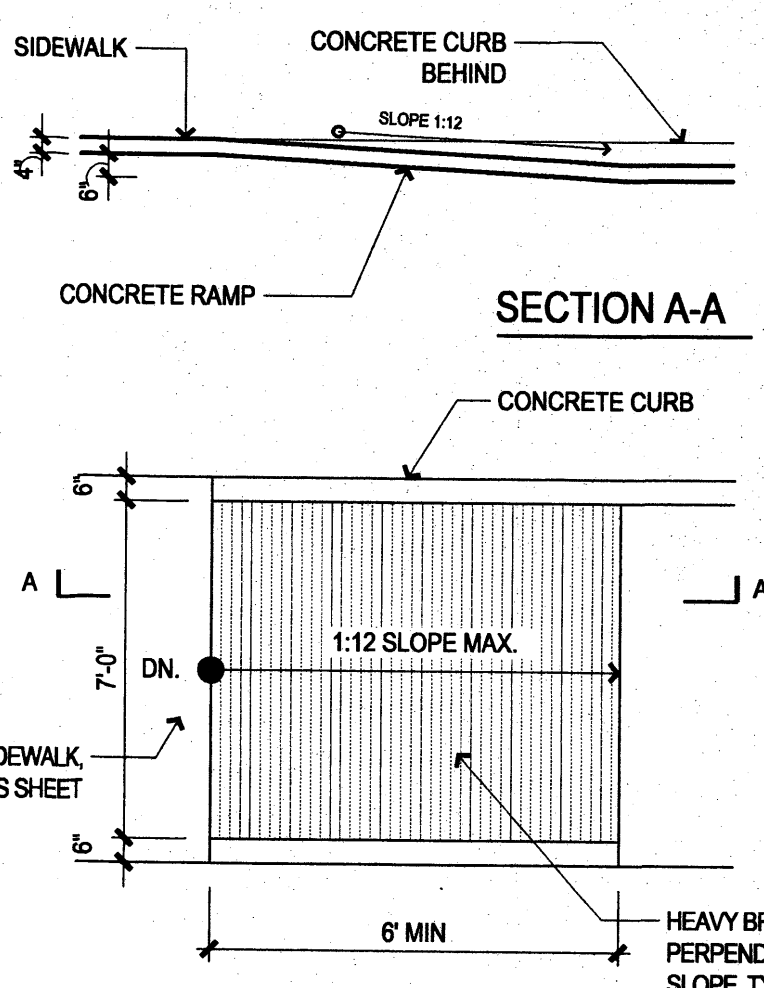


**D5 TRASH ENCLOSURE**  
ENLARGED PLAN

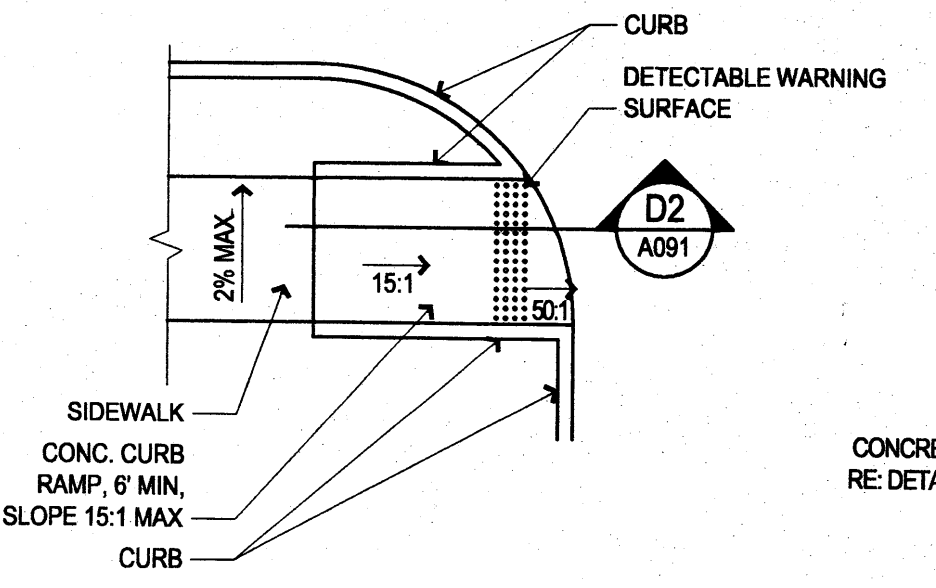


**C1 'Y' INSIGNIA**  
1/4" = 1'-0"

NOTES:  
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.  
2. CONSTRUCT PER A.D.A. STANDARDS



**D1 ACCESSIBLE RAMP CONDITIONS**  
DETAIL



**D3 COLUMN DETAIL at GATES**  
1" = 1'-0"



**D4 TRASH ENCLOSURE GATE**  
DETAIL



0:07060:YMCA MountainSide 07/21/07 EPC: BTJ/ABR/CA/RENTY/ANG: 2008086: 11/14/07: 10/14/07

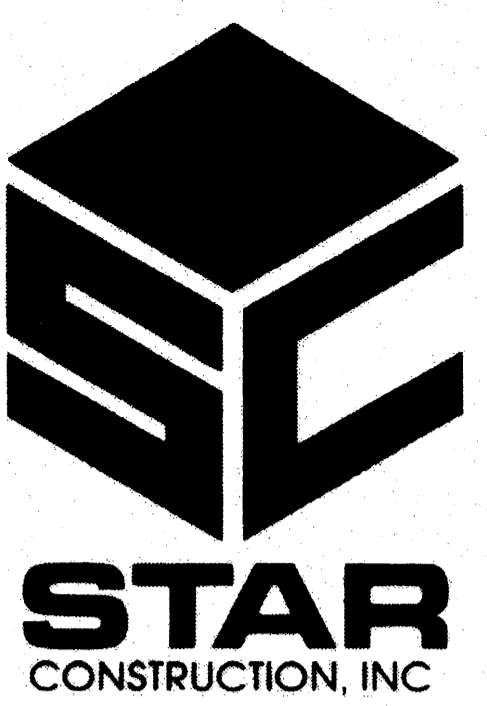
**GENERAL NOTES**

- A. BUILDING MOUNTED SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 OF THE ZONING CODE
- B. ROOF COLOR AND MATERIAL: SINGLE PLY TPO ROOF MEMBRANE, COLOR: WHITE

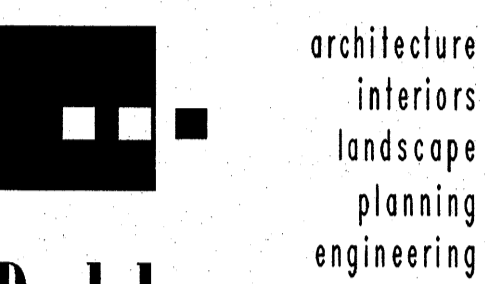
**KEYED NOTES**

1. SIGNAGE, 1'-9" HIGH ACRYLIC LETTERS, FONT: TBD, COLOR: GRAY
2. LEADER BOX AND DOWNSPOUT, PAINTED, COLOR TO MATCH ADJACENT STUCCO OR CMU
3. KNOX BOX, MOUNTED AT 6'-0" A.F.F., MODEL #3266 WITH TAMPER SWITCH, COLOR: BRONZE
4. LIGHT FIXTURE, RE. ELECTRICAL ACRYLIC IMPREGNATED EXPANDING FOAM SEALANT, SILICONE EXTERNAL WEATHER FACING, FIELD APPLIED CORNER BEADS, CONT. ALL AROUND, CUSTOM COLOR TO MATCH ADJACENT STUCCO OR CMU
5. "Y" INSIGNIA, STUCCO OVER 2" FOAM, RE. C1/A091
6. DOOR AS SCHEDULED
7. GLAZING AS SCHEDULED, CLEAR ANODIZED ALUMINUM FRAME WITH LIGHT GRAY GLAZING
8. PREMISE ID SIGNAGE, 12" HIGH ACRYLIC LETTERS, COLOR: GRAY
9. WROUGHT IRON FENCING, RE. ARCH DETAIL FOR MORE INFORMATION
10. PIPE HAND RAILING
11. METAL PARAPET CAP, PAINTED, COLOR TO MATCH ADJACENT CMU

GENERAL CONTRACTOR



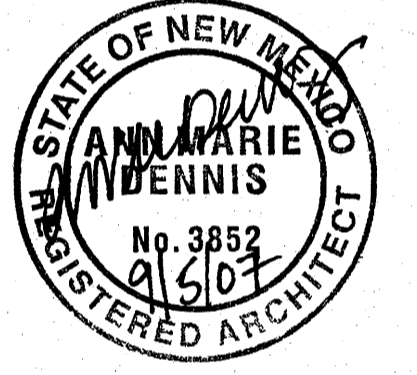
ARCHITECT



**Dekker Perich Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

PROJECT



**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

**LEGEND**

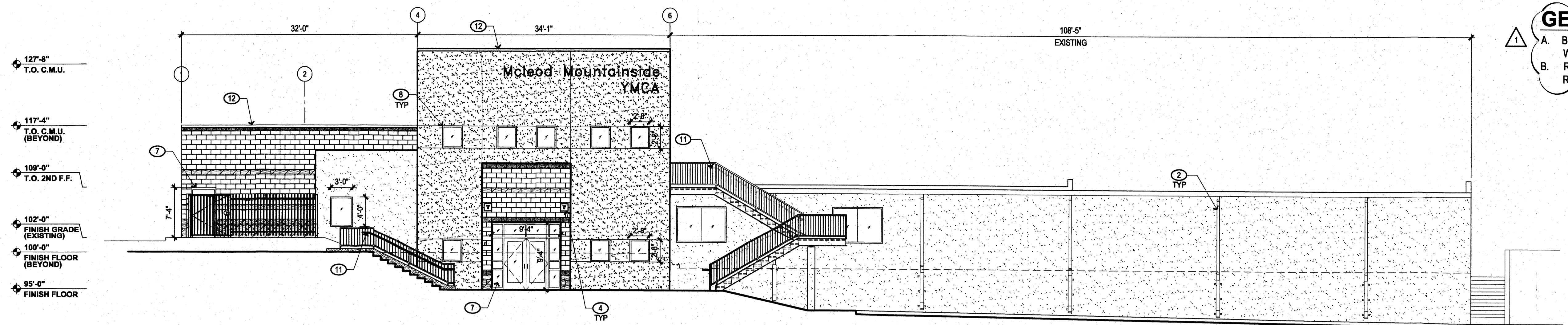
- CMU #1 - 8" SPLIT FACE COLOR: LIGHT YELLOW
- CMU #2 - 8" SPLIT FACE COLOR: OFF-WHITE
- CMU #3 - 8" SMOOTH FACE COLOR: ORANGE RED
- CMU #4 - 8" SMOOTH FACE COLOR: DARK BROWN
- STUCCO #1 - 2 COAT STUCCO SYSTEM OVER 8" CMU, COLOR: ORANGE RED
- STUCCO #2 - 2 COAT STUCCO SYSTEM OVER 8" CMU, COLOR: LIGHT TAN

REVISIONS	
△ 9/14/07	EPC COMMENT REVISION
△ 12/5/07	DESIGN MODIFICATIONS
△ 12/13/07	EPC COMMENT REVISION

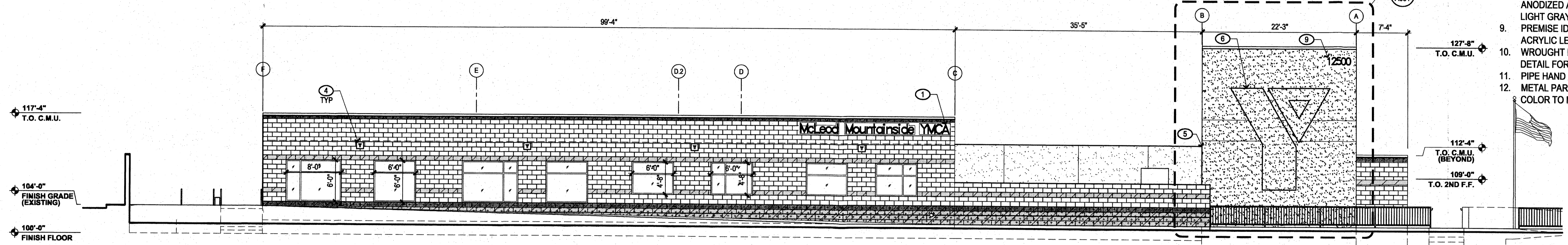
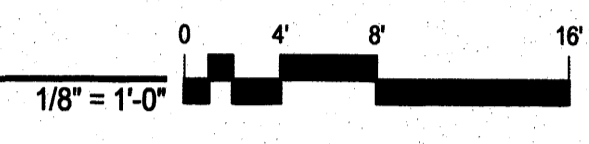
DRAWN BY  
REVIEWED BY  
DATE  
PROJECT NO. 07060  
DRAWING NAME

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (ELEVATIONS)**

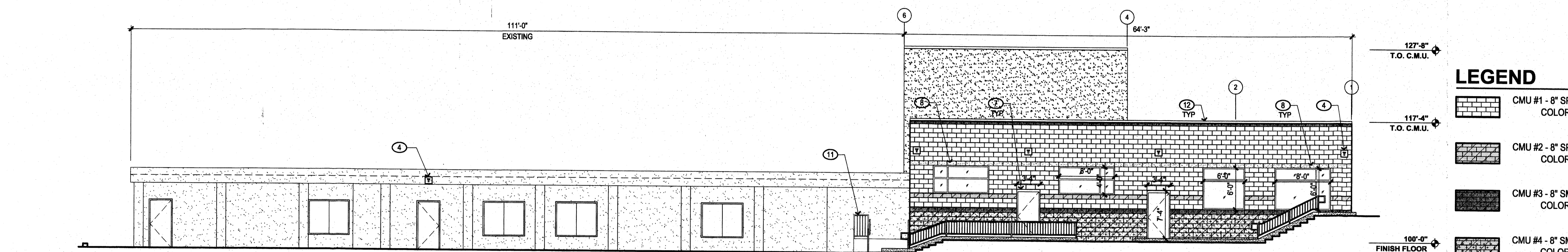
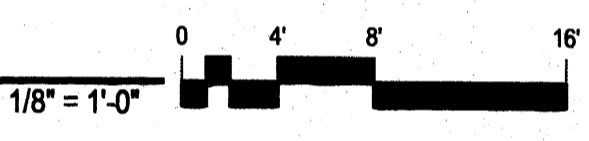
SHEET NO. **A301** OF



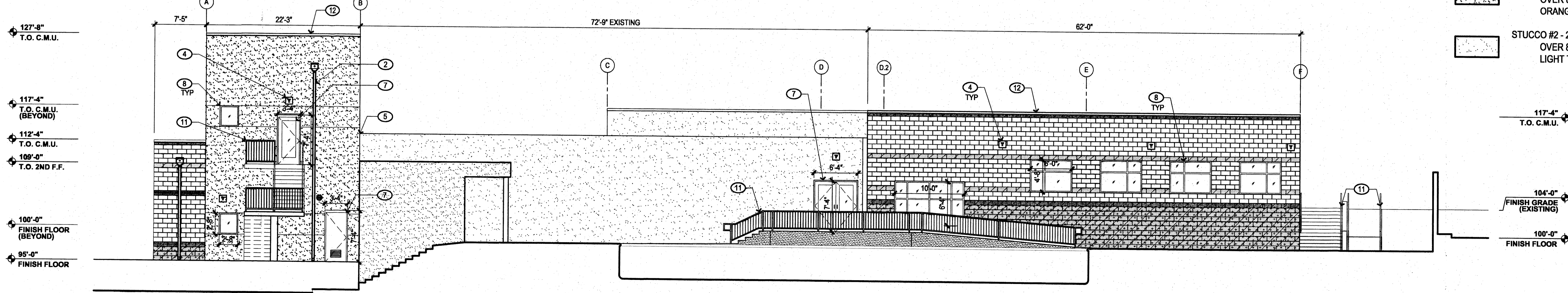
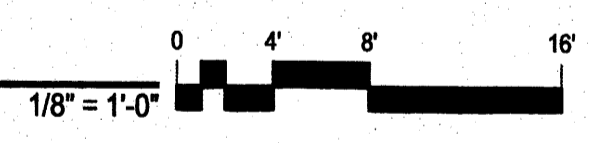
**1 WEST ELEVATION**  
LOOKING EAST



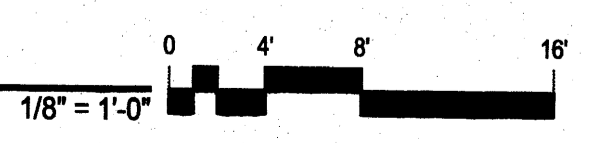
**2 NORTH ELEVATION**  
LOOKING SOUTH



**3 EAST ELEVATION**  
LOOKING WEST

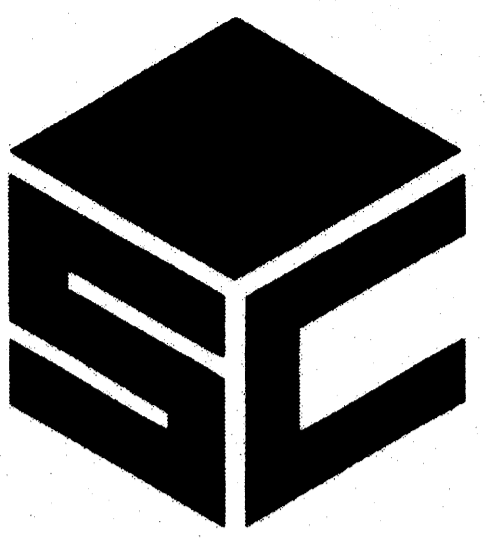


**4 SOUTH ELEVATION**  
LOOKING NORTH

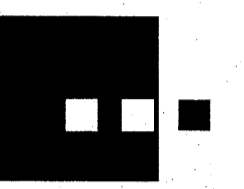


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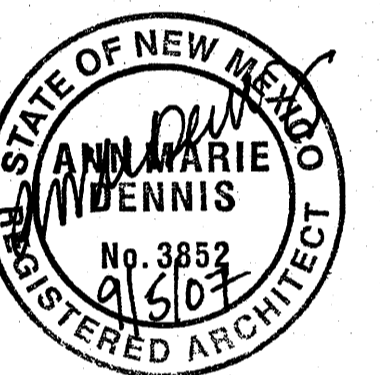
STAR CONSTRUCTION, INC.



interiors  
landscape  
planning  
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org



MCLEOD  
MOUNTAINSIDE YMCA  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS	
12/13/07	EPC COMMENT REVISION

DRAWN BY	
REVIEWED BY	
DATE	12/5/07
PROJECT NO.	07060
DRAWING NAME	

SITE DEVELOPMENT  
PLAN FOR BUILDING  
PERMIT (ELEVATIONS)

A302

### GENERAL NOTES

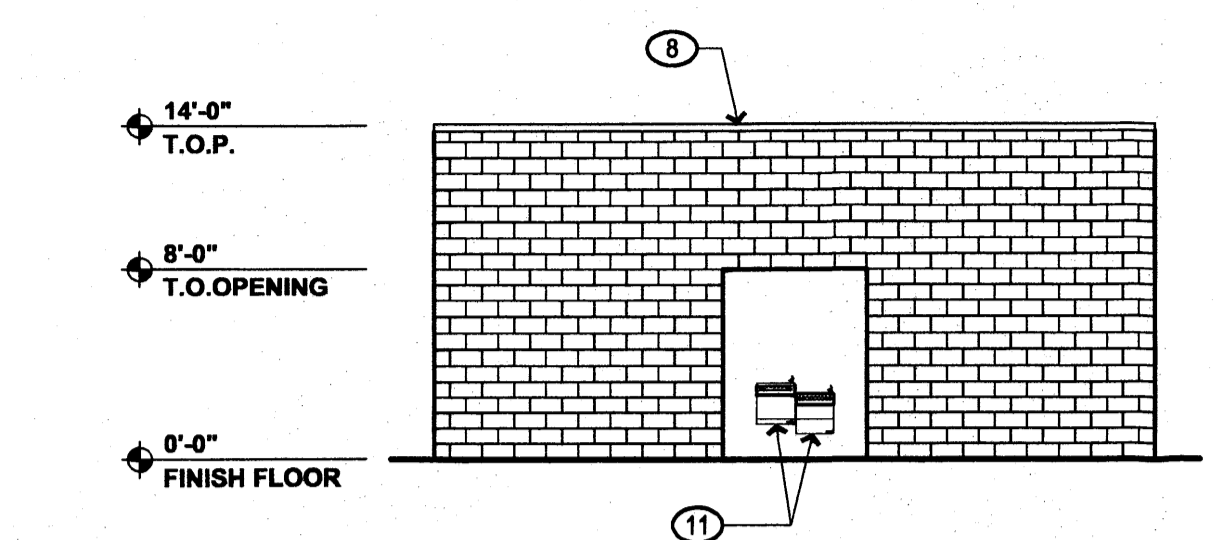
- A. BUILDING MOUNTED SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 OF THE ZONING CODE
- B. ROOF COLOR AND MATERIAL: SINGLE PLY TPO ROOF MEMBRANE, COLOR: WHITE

### KEYED NOTES

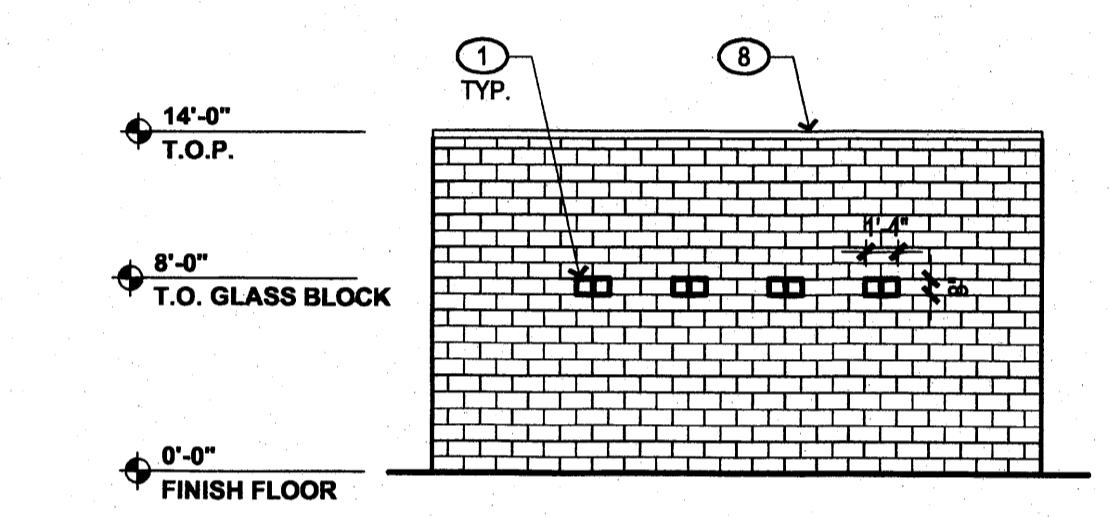
- 1. LIGHT FIXTURE, RE. ELECTRICAL
- 2. DOOR IN CLEAR ANODIZED ALUMINUM FRAME WITH LIGHT GRAY GLAZING
- 3. HOLLOW METAL DOOR
- 4. GLAZING IN CLEAR ANODIZED ALUMINUM FRAME, COLOR: LIGHT GRAY
- 5. 2 COAT STUCCO SYSTEM
- 6. WROUGHT IRON FENCING
- 7. PIPE HAND RAILING
- 8. METAL PARAPET CAP, PAINT, COLOR: TO MATCH ADJACENT STUCCO OR CMU
- 9. METAL CANOPY
- 10. LEADER BOX DOWNSPOUT, PAINTED, COLOR TO MATCH ADJACENT STUCCO OR CMU
- 11. DRINKING FOUNTAIN
- 12. 24 GA. DOWNSPOUT OUTLET, PAINT, COLOR: TO MATCH PRE-FINISHED METAL SIDING
- 13. PRE-FINISHED METAL SIDING, COLOR: OFF-WHITE, NON-REFLECTIVE
- 14. 4' CHAINLINK EQUIPMENT SCREEN FENCE AND GATE WITH PRIVACY SLATS, COLOR: OFF-WHITE, NON-REFLECTIVE

### LEGEND

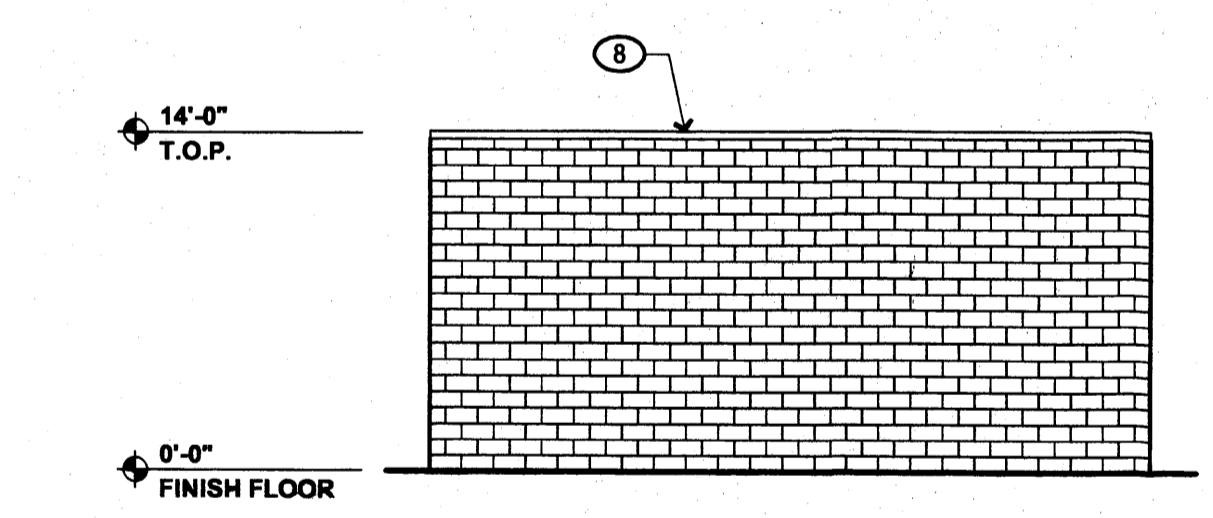
- CMU #1 - 8" SMOOTH FACE  
COLOR: LIGHT YELLOW
- STUCCO #1 - 2 COAT STUCCO SYSTEM  
OVER 8" CMU, COLOR: ORANGE RED



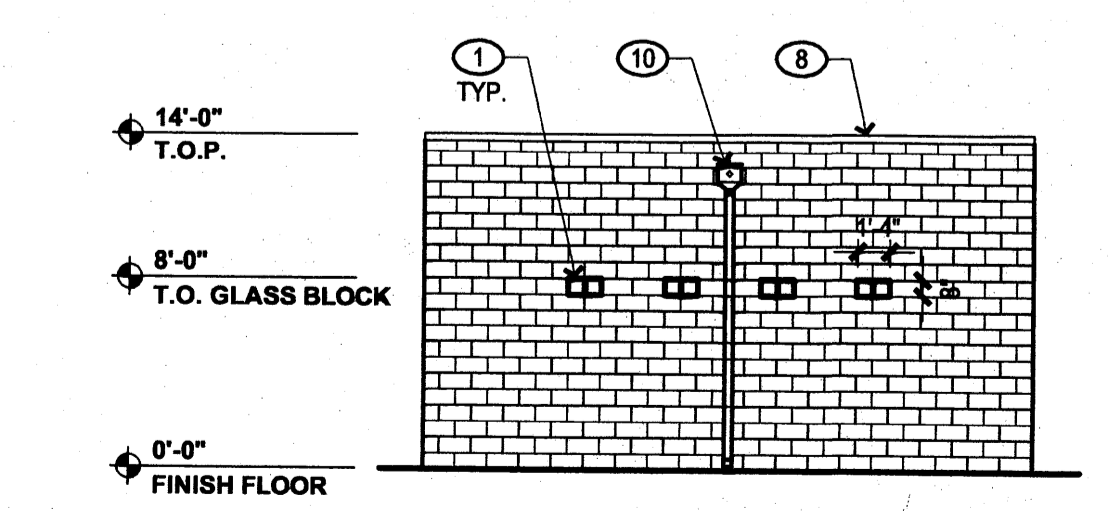
1 WEST ELEVATION - CABANA  
LOOKING EAST  
1/8" = 1'-0"



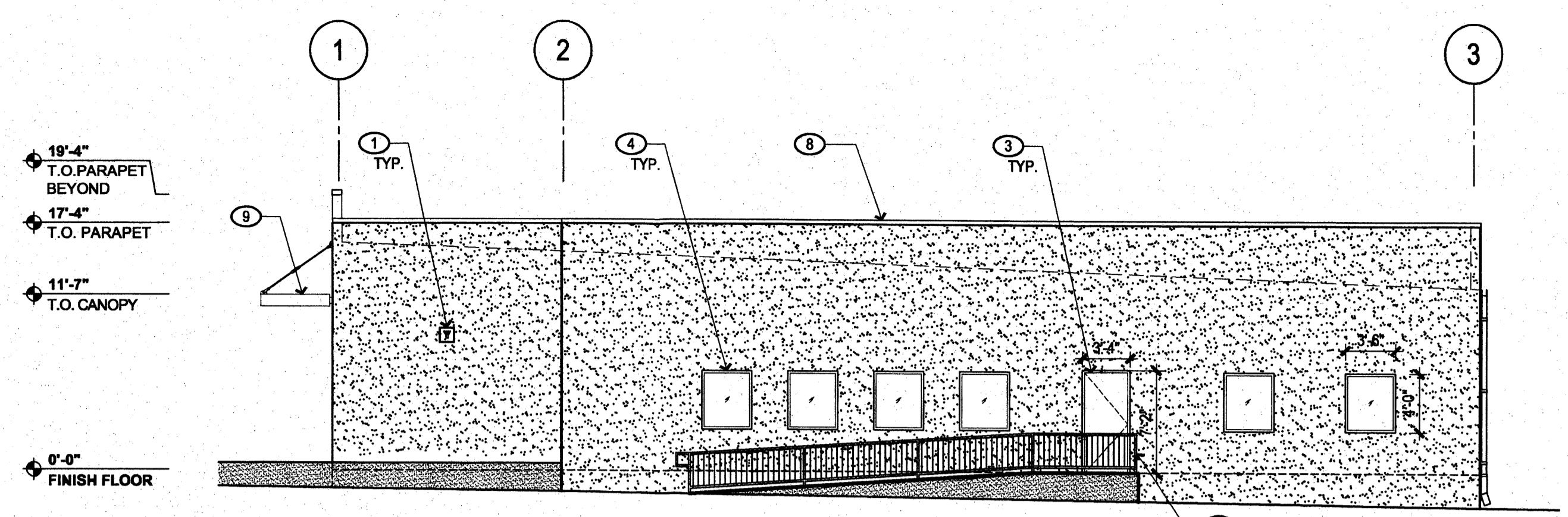
2 NORTH ELEVATION - CABANA  
LOOKING SOUTH  
1/8" = 1'-0"



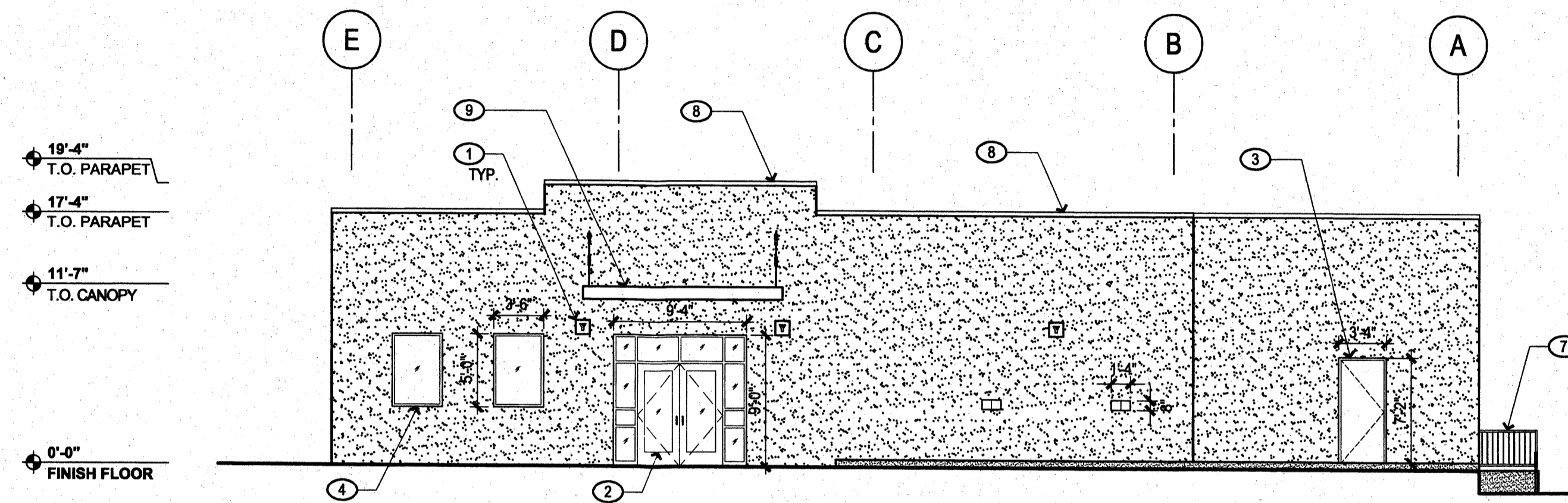
3 EAST ELEVATION - CABANA  
LOOKING WEST  
1/8" = 1'-0"



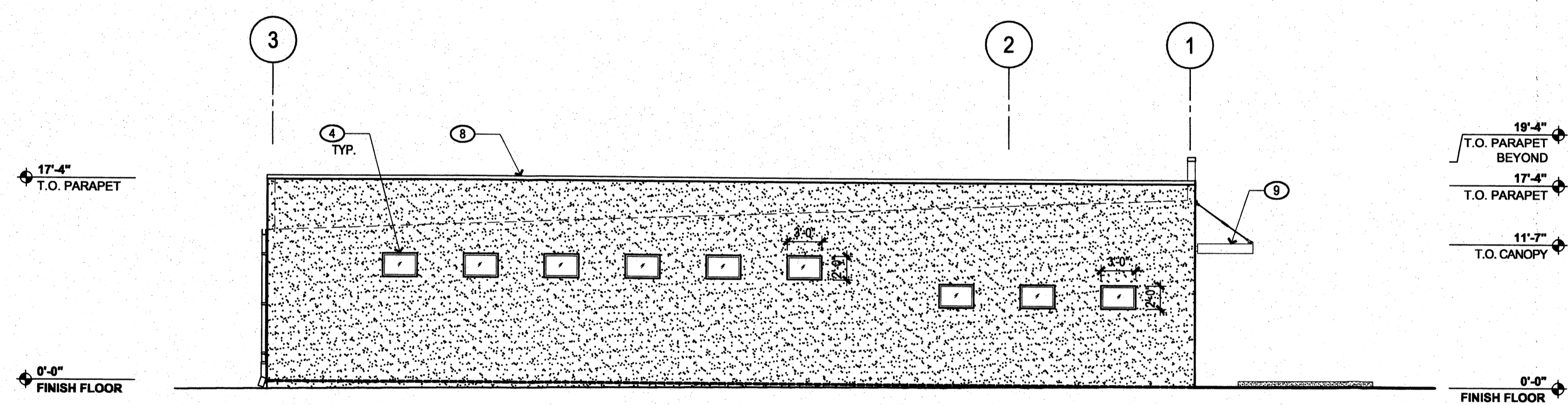
4 SOUTH ELEVATION - CABANA  
LOOKING NORTH  
1/8" = 1'-0"



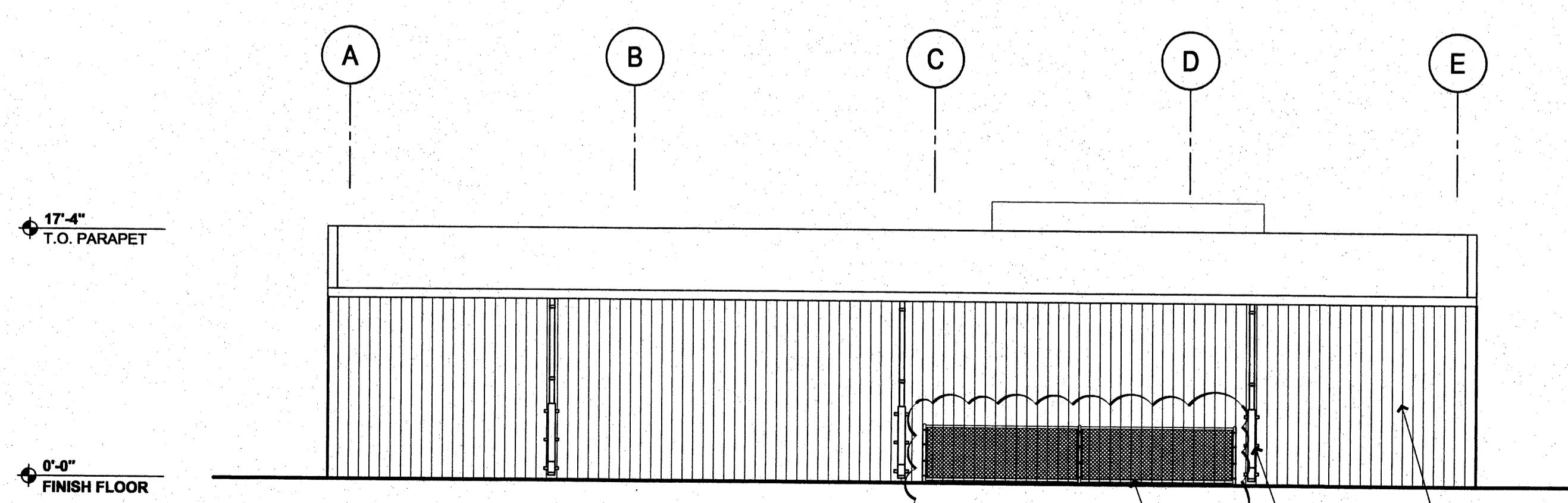
5 WEST ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING EAST  
1/8" = 1'-0"



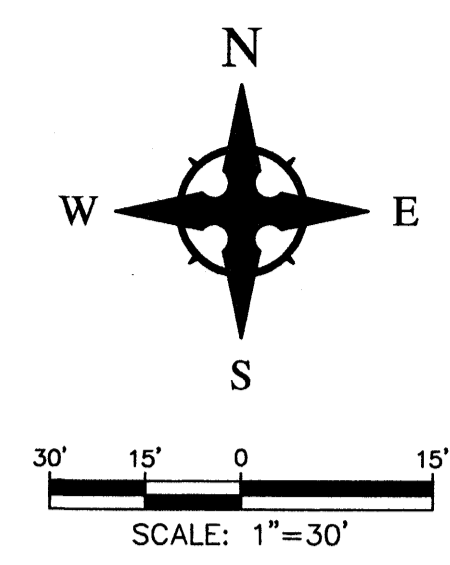
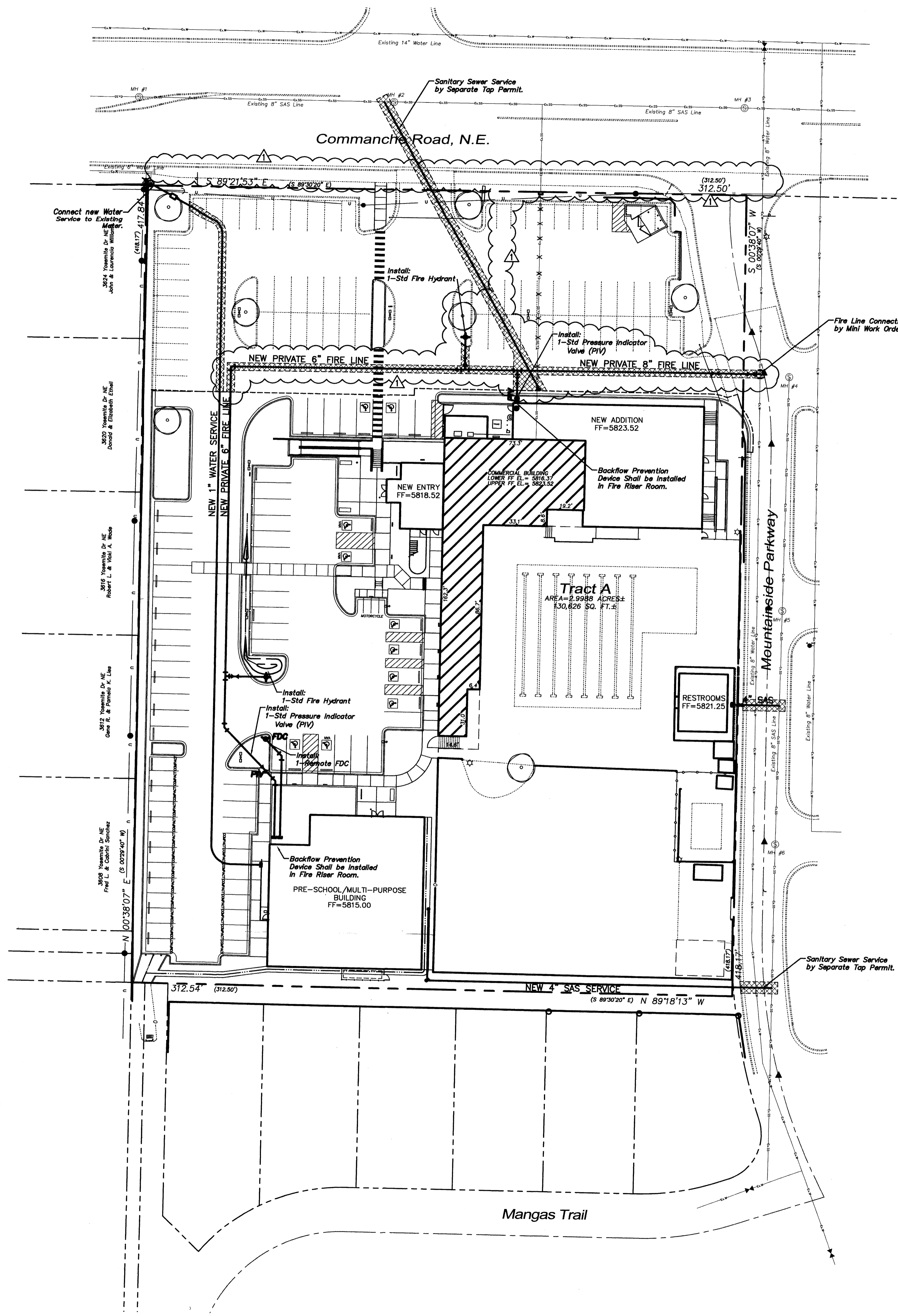
6 NORTH ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING SOUTH  
1/8" = 1'-0"



7 EAST ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING WEST  
1/8" = 1'-0"



8 SOUTH ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING NORTH  
1/8" = 1'-0"

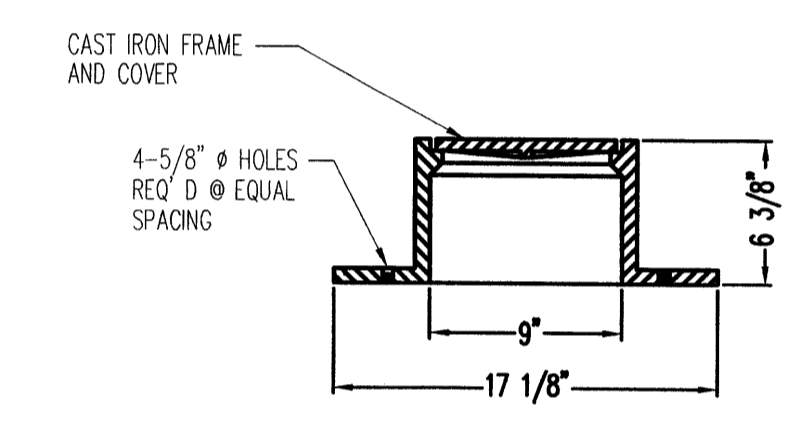


**CAUTION - NOTICE TO CONTRACTOR**

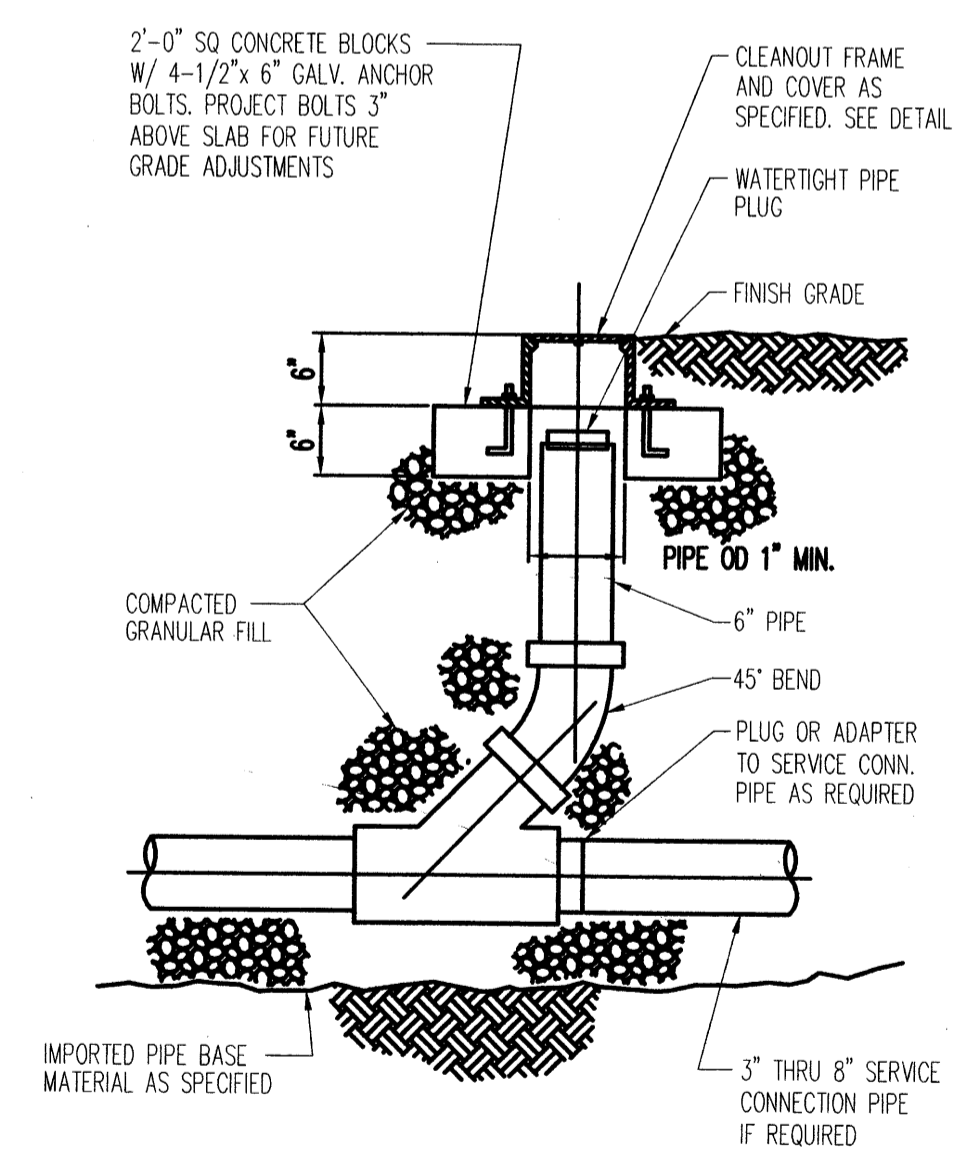
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**UTILITY NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE ( $\pm 0.5'$ ) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.



**CLEANOUT FRAME & COVER**  
N.T.S.



**CLEANOUT DETAIL**  
N.T.S.

**NOT FOR  
CONSTRUCTION**

**MCLEOD  
MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

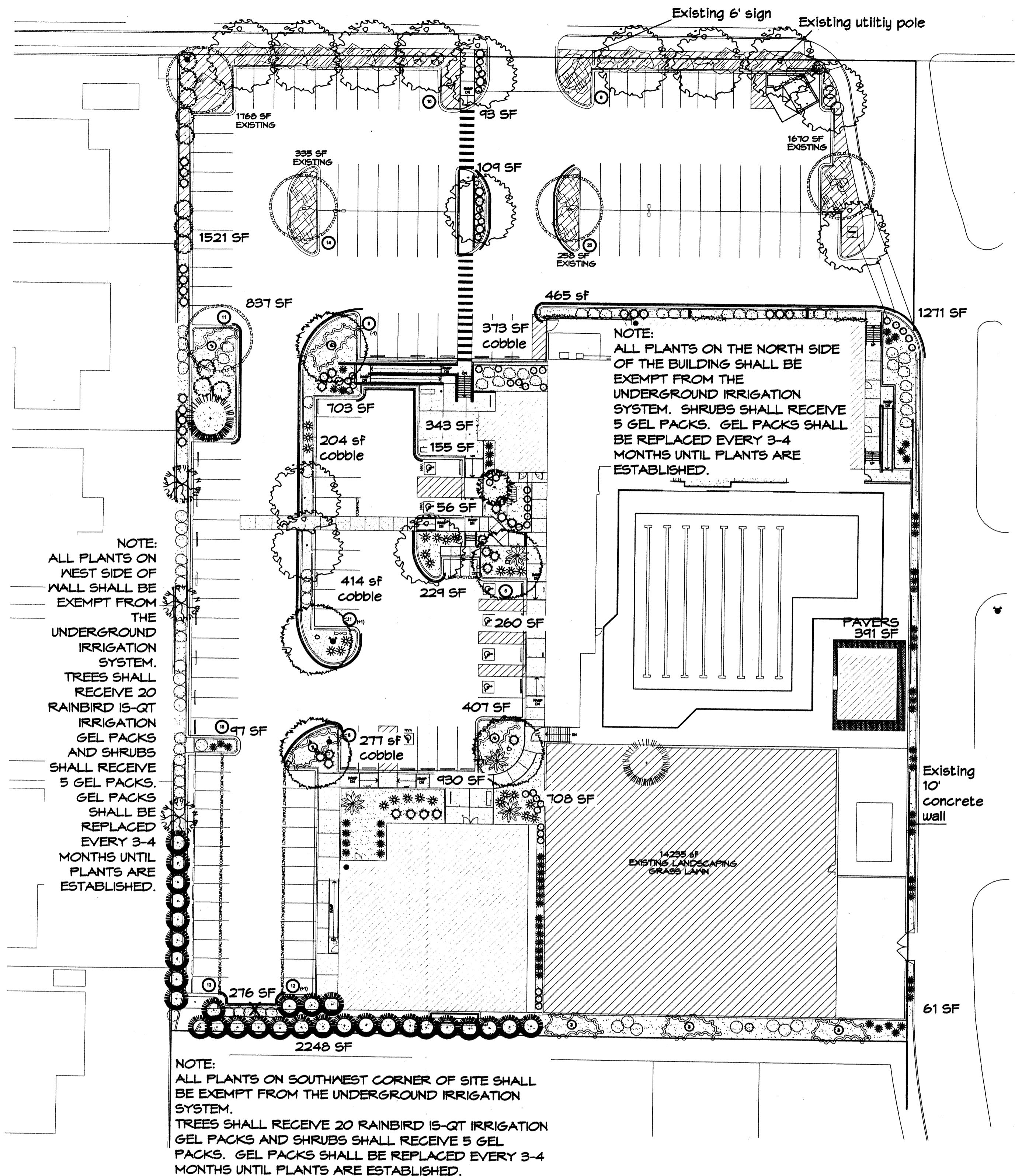
REVISIONS

1	REVISE FIRE LINES TO BE PRIVATE.

DRAWN BY	JTM
REVIEWED BY	JTM
DATE	04/06/07
PROJECT NO.	07060
DRAWING NAME	

UTILITY  
PLAN

JACK  
1006824  
AGENDA ITEM #8

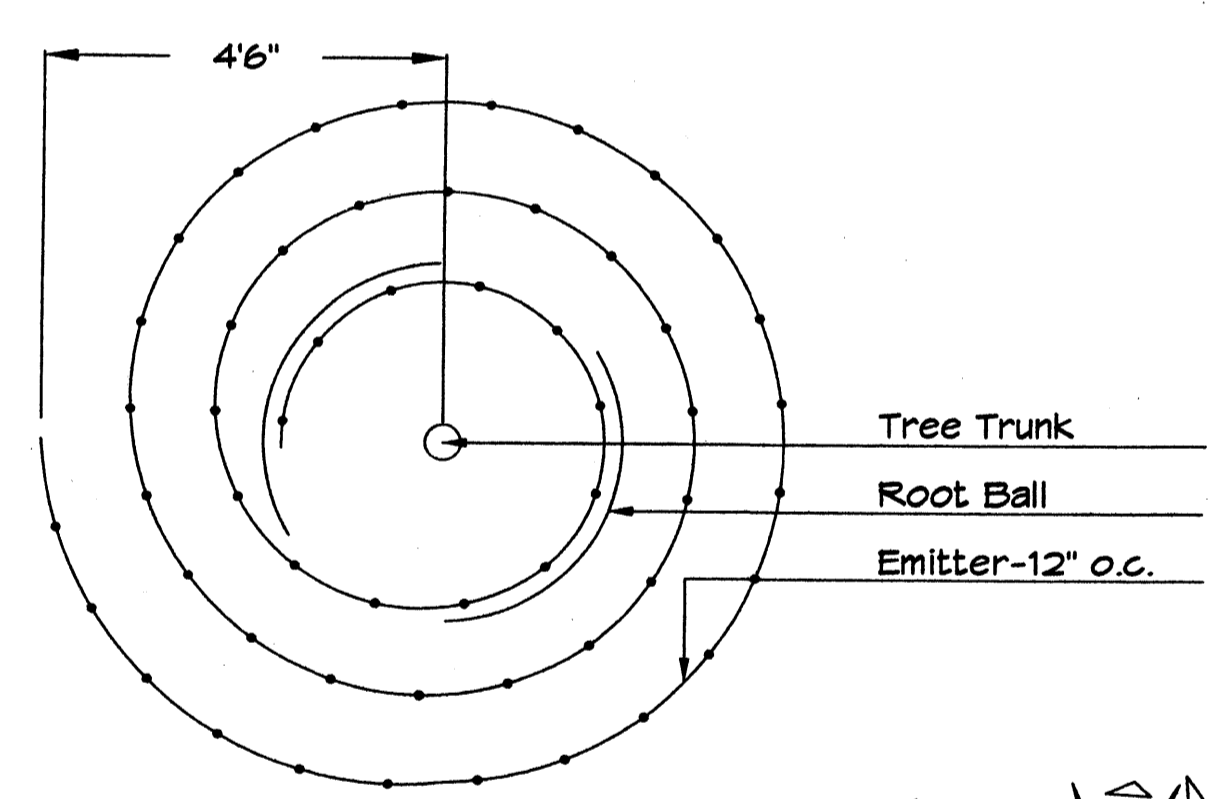


### PLANT PALETTE

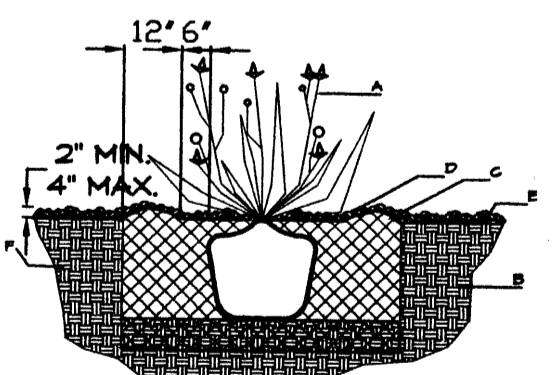
- TREES**
- CHINESE PISTACHE (M) 14  
Pistacia chinensis  
2' Cal.
  - SHUMARD OAK (M) 5  
Quercus shumardii  
2' Cal.
  - AUSTRIAN PINE (M) 1  
Pinus nigra  
10'-12'
  - NEW MEXICO OLIVE (L) 3  
Forestiera neomexicana  
15 Gal. 225 sf
  - AMUR MAPLE (M) 1  
Acer ginnala  
Multi-trunk B&B (2" Cal.)
  - CURLLEAF MTN MAHOGANY(L+) 30  
Cercocarpus ledifolius  
5 Gal. 225 sf
- SHRUBS/ORNAMENTAL GRASSES**
- FIVE GAL.**
- MOCK ORANGE (M) 4  
Philadelphus cultivars  
5 Gal. 100sf
  - PHOTINIA (M+) 11  
Photinia fraseri  
5 Gal. 64sf
  - APACHE PLUME (L) 17  
Fallugia paradoxa  
5 Gal. 25sf
  - LENA'S BROOM (M) 42  
Cytisus scoparius  
5 Gal. 16sf
- ONE GAL.**
- POWIS CASTLE SAGE (L+) 54  
Artemisia X Powis Castle  
1 Gal. 25sf
  - DEER GRASS (M) 26  
Muhlenbergia rigens  
1 Gal. 16sf
  - CATMINT (M) 45  
Nepeta mussini  
1 Gal. 4sf
  - BLUE AVENA/OAT GRASS (M) 67  
Helictotrichon sempervirens  
1 Gal. 4sf
- DESERT ACCENTS**
- BLUE SOTOL (L) 2  
Dasylirion wheeleri  
5 Gal. 4sf
- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
  - COBBLE WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
  - DENOTES EVERGREEN MATERIAL
- GROUNDCOVERS**
- GREYLEAF COTONEASTER (M) 21  
Cotoneaster buxifolius  
5 Gal. 81sf  
Symbol indicates 3 plants
  - ENGLISH IVY (M) 4  
Hedera helix  
1 Gal.
  - EXISTING LANDSCAPING TO REMAIN
  - PAVERS

### PLANT PALETTE

- EXISTING
- ASH (M) 5  
Fraxinus spp.
  - FLOWERING PEAR (M+) 1  
Pyrus calleryana
  - AUSTRIAN PINE (M) 1  
Pinus nigra
  - RUSSIAN SAGE (M) 4  
Perovskia atriplicifolia  
36 sf
  - INDIAN HAWTHORN (M) 2  
Raphiolepis indica  
36sf
  - BLUE CHIP JUNIPER (L+) 3  
Juniperus horizontalis 'Blue Chip'  
64 sf
  - TAM JUNIPER (L+) 18  
Juniperus sabinia 'Tamariscifolia'  
196 sf



Netafim Spiral Detail



### SHRUB PLANTING DETAIL

- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	130416	square feet
TOTAL BUILDINGS AREA	18605	square feet
NET LOT AREA	111811	square feet
LANDSCAPE REQUIREMENT	15%	
REQUIRED LANDSCAPE	16772	square feet
REQUIRED GROUNDCOVER COVERAGE	12579	square feet
TOTAL GROUNDCOVER PROVIDED	14959	square feet
PROVIDED LANDSCAPING (NEW AND EXISTING)	30229	square feet
EXISTING SOD (max. 20% of landscape required)	14295 (47%)	square feet
<b>NEW LANDSCAPING</b>		
LANDSCAPE BED PROVIDED	12037	square feet
REQUIRED GROUNDCOVER PERCENT	75%	square feet
REQUIRED GROUNDCOVER	9027	square feet
GROUNDCOVER PROVIDED	9085 (75%)	square feet
<b>PAVERS</b>		
	391	square feet
<b>EXISTING LANDSCAPING</b>		
LANDSCAPE BED PROVIDED	4031	square feet
REQUIRED GROUNDCOVER PERCENT	75%	square feet
REQUIRED GROUNDCOVER	3023	square feet
GROUNDCOVER PROVIDED	3936 (95%)	square feet

### PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 15 Existing # 5 Provided # 10

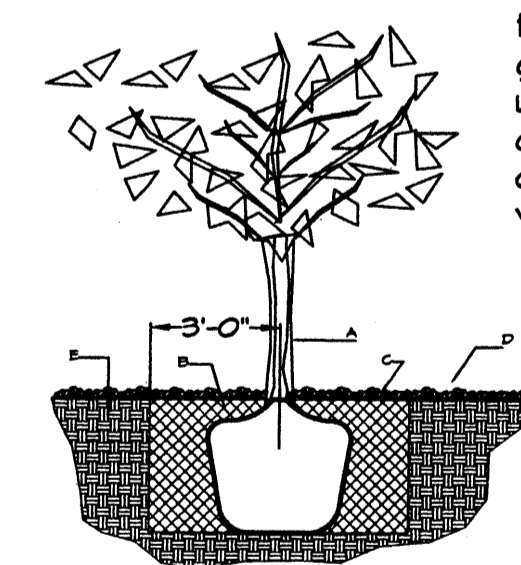
### STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Comanche  
Required # 9 Existing # 2 Provided # 7

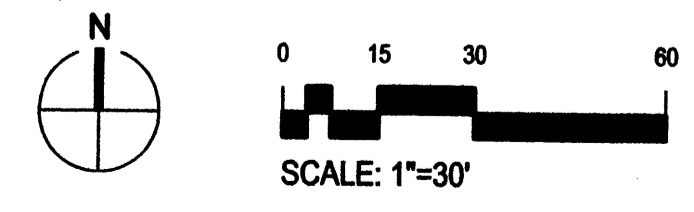
Name of Street: Mountainside Parkway parking  
Required # 3 Existing # 1 Provided # 2

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



### TREE PLANTING DETAIL

- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE HAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - UNDISTURBED SOIL.



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity including both existing and new landscape areas.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

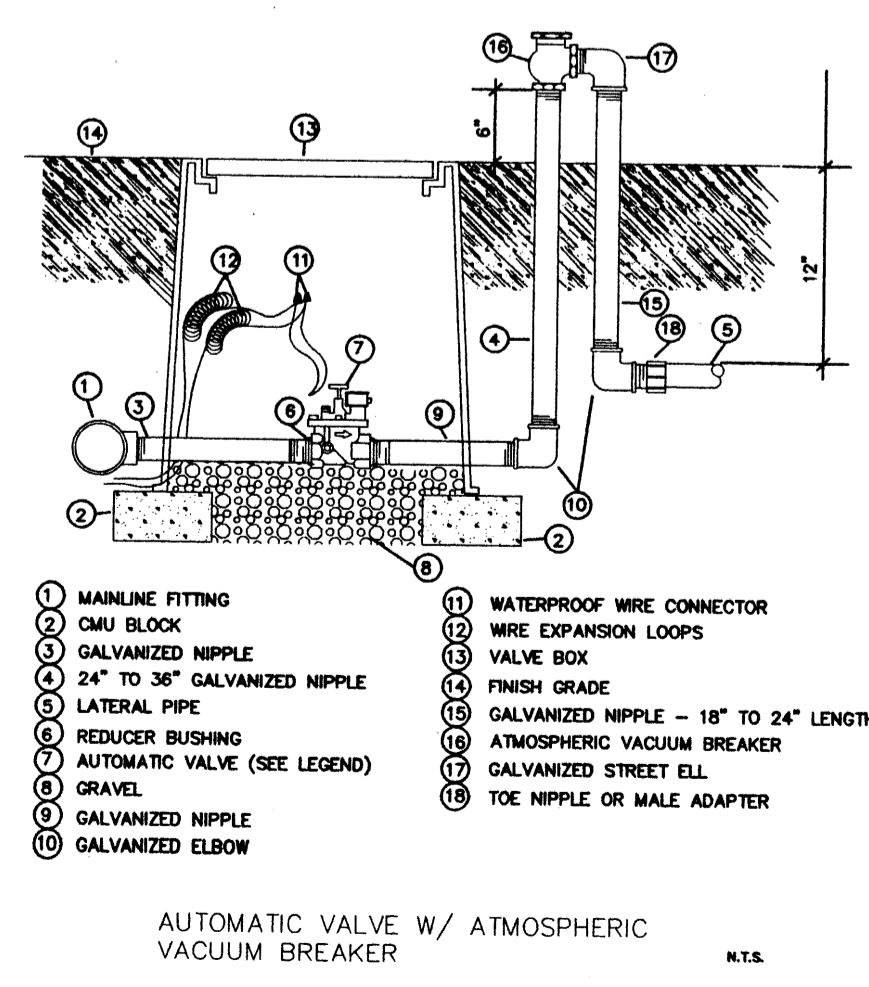
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



GENERAL CONTRACTOR

ARCHITECT

architecture  
interiors  
landscape  
planning  
engineering

**Dekker Perich Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

SEAL

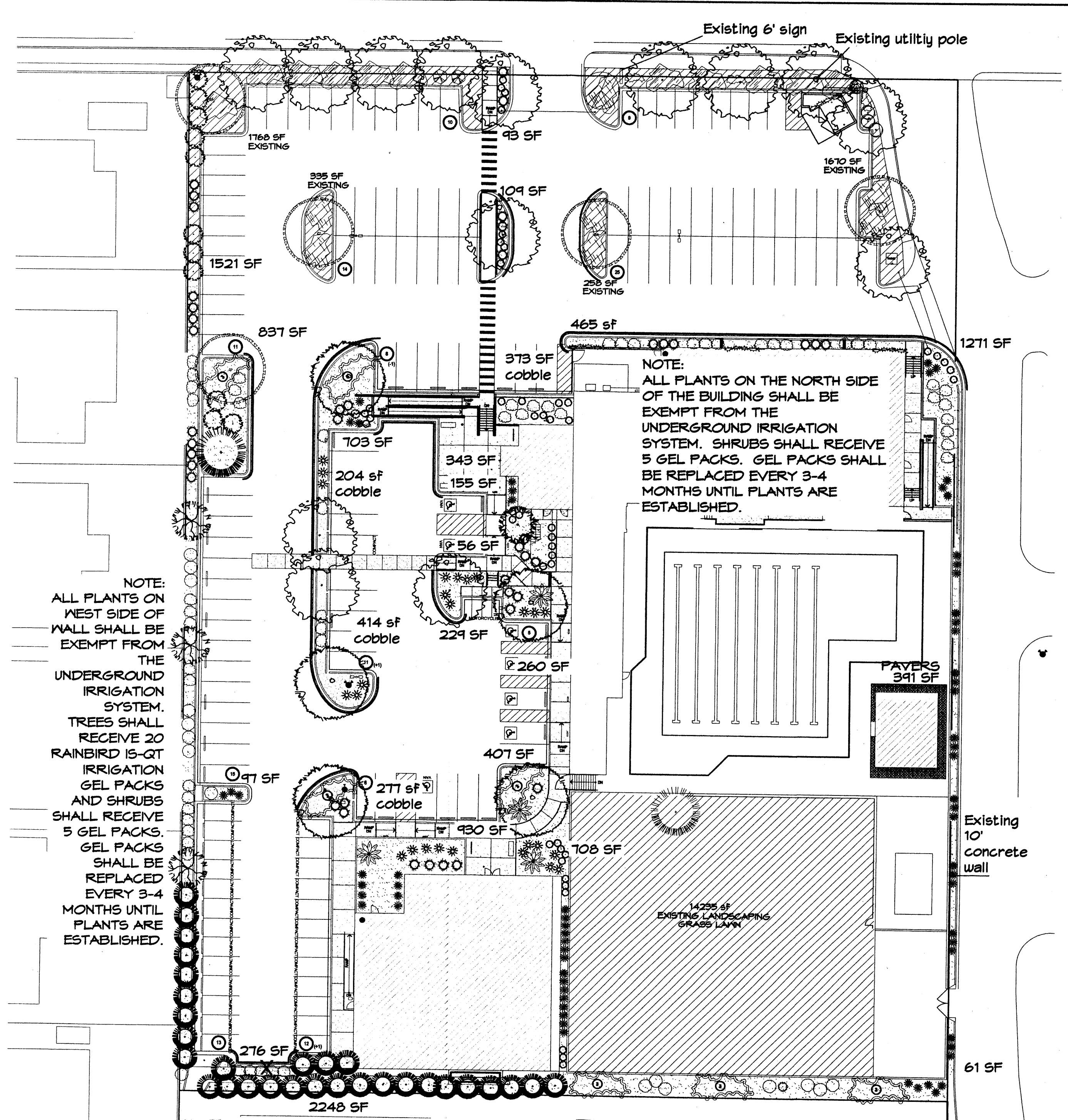
PROJECT

**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS

10	3-10-08	Site Revision - cmj
9		
8		
7		
6		
5		
4		
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1		

DRAWN BY RMM  
REVIEWED BY CJ  
DATE 8/23/07  
PROJECT NO. 07060  
DRAWING NAME  
SHEET NO. **L001**  
1 OF 1

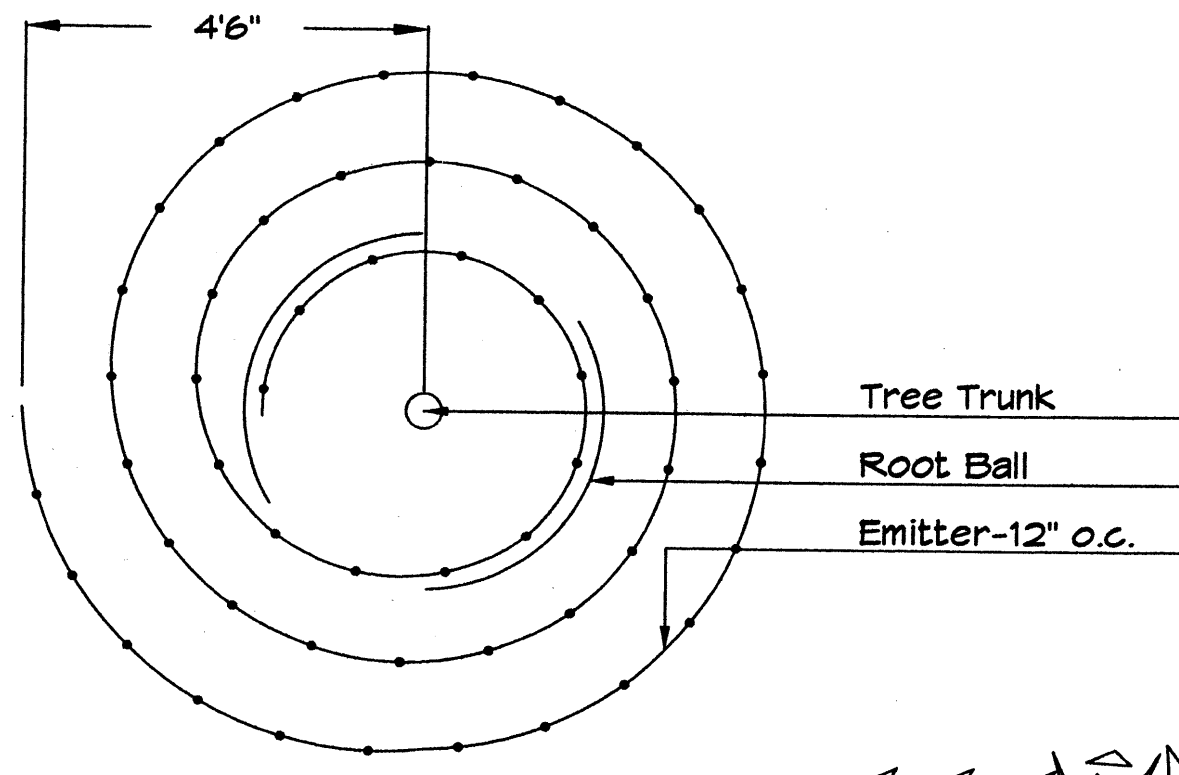


**PLANT PALETTE**

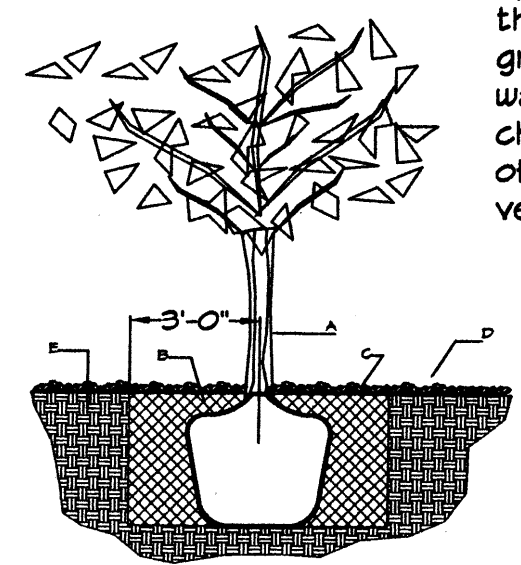
- TREES**
  - CHINESE PISTACHE (M) 14 Pistacia chinensis 2" Cal.
  - SHUMARD OAK (M) 5 Quercus shumardii 2" Cal.
  - AUSTRIAN PINE (M) 1 Pinus nigra 10'-12'
  - NEW MEXICO OLIVE (L) 3 Forestiera neomexicana 15 Gal. 225 sf
  - AMUR MAPLE (M) 1 Acer ginnala Multi-trunk B4B (2" Cal.)
  - CURLLEAF MTN MAHOGANY (L+) 30 Cercocarpus ledifolius 5 Gal. 225 sf
- SHRUBS/ORNAMENTAL GRASSES**
  - FIVE GAL.**
    - MOCK ORANGE (M) 4 Philadelphus cultivars 5 Gal. 100sf
    - PHOTINIA (M+) 11 Photinia fraseri 5 Gal. 64sf
    - APACHE PLUME (L) 17 Fallugia paradoxa 5 Gal. 25sf
    - LENA'S BROOM (M) 42 Cytisus scoparius 5 Gal. 16sf
  - ONE GAL.**
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    - DEER GRASS (M) 26 Muhlenbergia rigens 1 Gal. 16sf
    - CATMINT (M) 45 Nepeta mussini 1 Gal. 4sf
    - BLUE AVENA/OAT GRASS (M) 67 Helictotrichon sempervirens 1 Gal. 9sf
- DESERT ACCENTS**
  - BLUE SOTOL (L) 2 Dasylirion wheeleri 5 Gal. 9sf
- HARDSCAPES**
  - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
  - COBBLE WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
  - \* DENOTES EVERGREEN MATERIAL
- GROUNDCOVERS**
  - GREYLEAF COTONEASTER (M) 21 Cotoneaster buxifolius 5 Gal. 81sf Symbol indicates 3 plants
  - ENGLISH IVY (M) 4 Hedera helix 1 Gal.
  - EXISTING LANDSCAPING TO REMAIN
  - PAVERS

**PLANT PALETTE**

- EXISTING**
  - ASH (M) 5 Fraxinus spp.
  - FLOWERING PEAR (M+) 1 Pyrus calleryana
  - AUSTRIAN PINE (M) 1 Pinus nigra
  - RUSSIAN SAGE (M) 4 Perovskia atriplicifolia 36 sf
  - INDIAN HAMTHORN (M) 2 Rapirolepis indica 36sf
  - BLUE CHIP JUNIPER (L+) 3 Juniperus horizontalis 'Blue Chip' 64 sf
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Netafim Spiral Detail

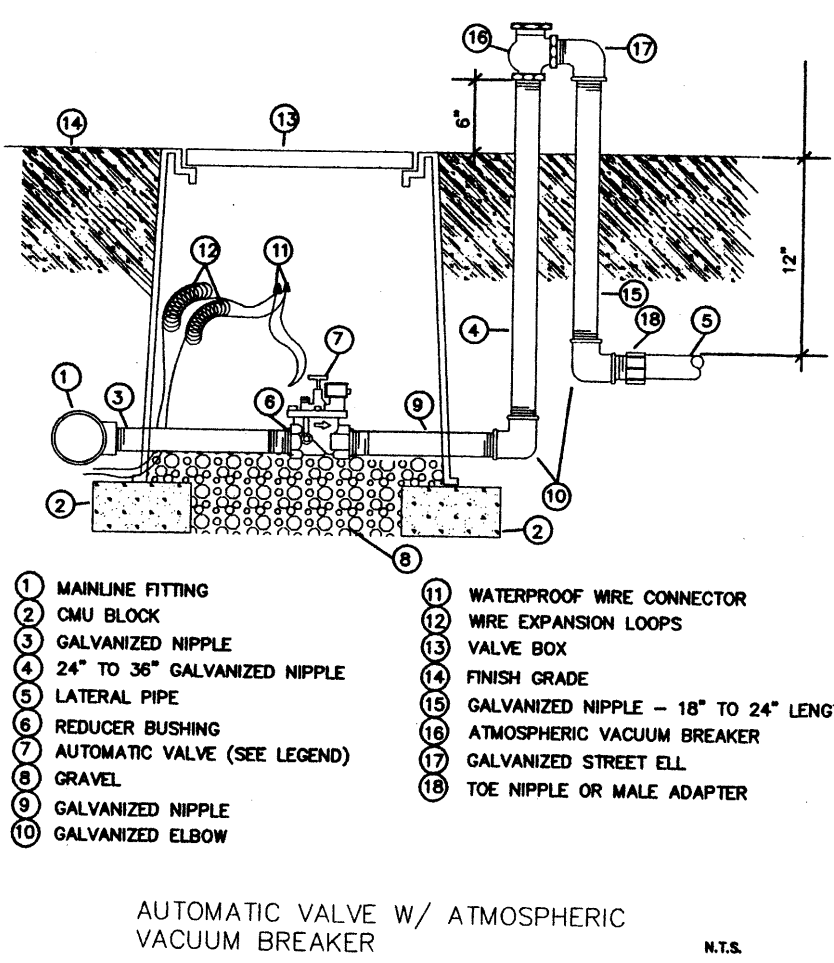


**TREE PLANTING DETAIL**

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- TREE
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AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

**LANDSCAPE CALCULATIONS**

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TOTAL BUILDINGS AREA	18605	square feet
NET LOT AREA	111811	square feet
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REQUIRED GROUNDCOVER PERCENT	75%	square feet
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**PARKING LOT TREE REQUIREMENTS**

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Required # 15 Existing # 5 Provided # 10

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Name of Street: Comanche  
Required # 9 Existing # 2 Provided # 7

Name of Street: Mountainside Parkway parking  
Required # 3 Existing # 1 Provided # 2

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ARCHITECT

architecture  
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**Dekker Perich Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

SEAL

PROJECT

**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS

1	3-10-08	Site Revision - cmj
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DRAWN BY: RMM  
REVIEWED BY: CJ  
DATE: 8/23/07  
PROJECT NO.: 07060  
DRAWING NAME:  
SHEET NO.: L001

1 OF 1

**NOT FOR  
CONSTRUCTION**

**MCLEOD  
MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

- 1. REVISE FIRE LINES TO BE PRIVATE.
- △
- △
- △

JTM

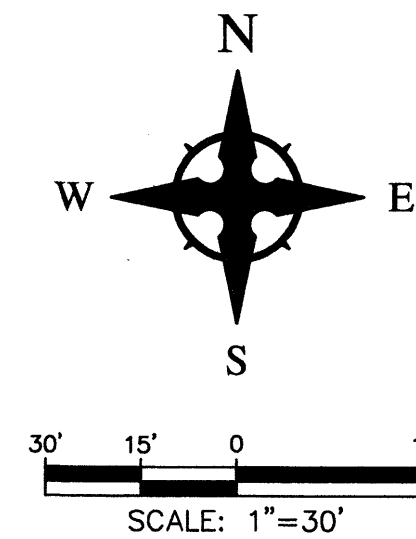
JTM

04/06/07

07060

UTILITY  
PLAN

**0002**

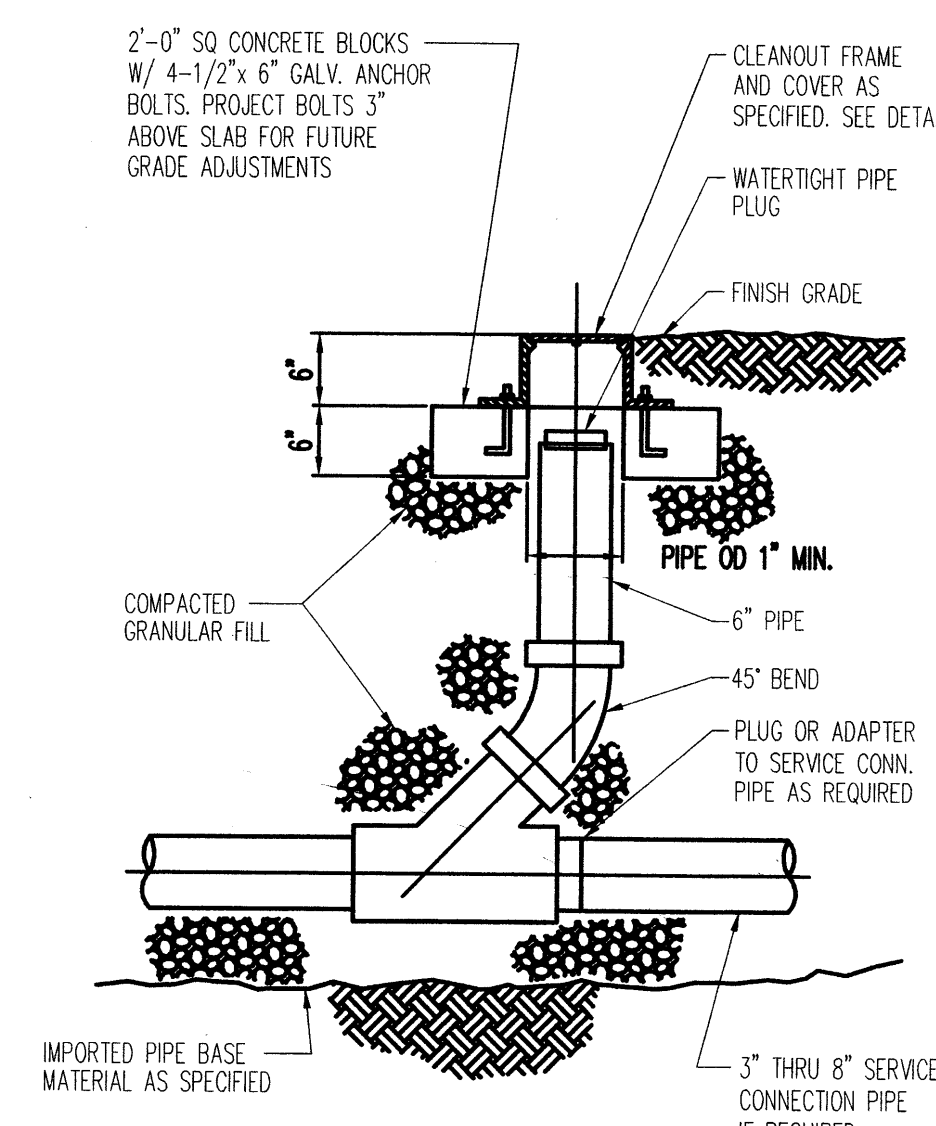
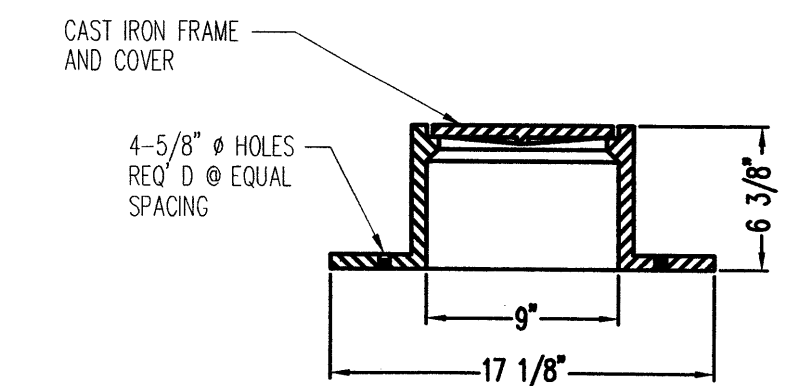
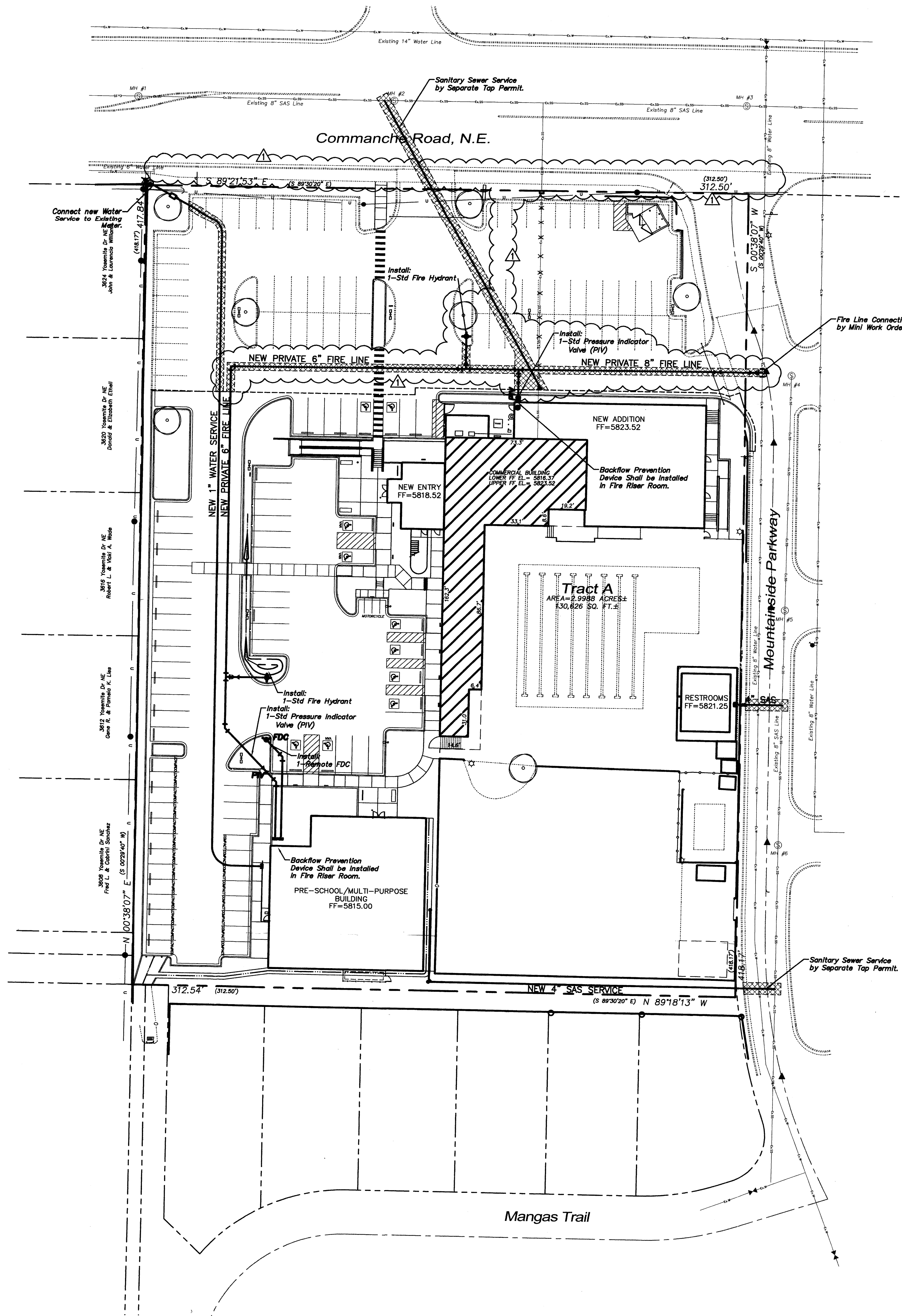


**UTILITY NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
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6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
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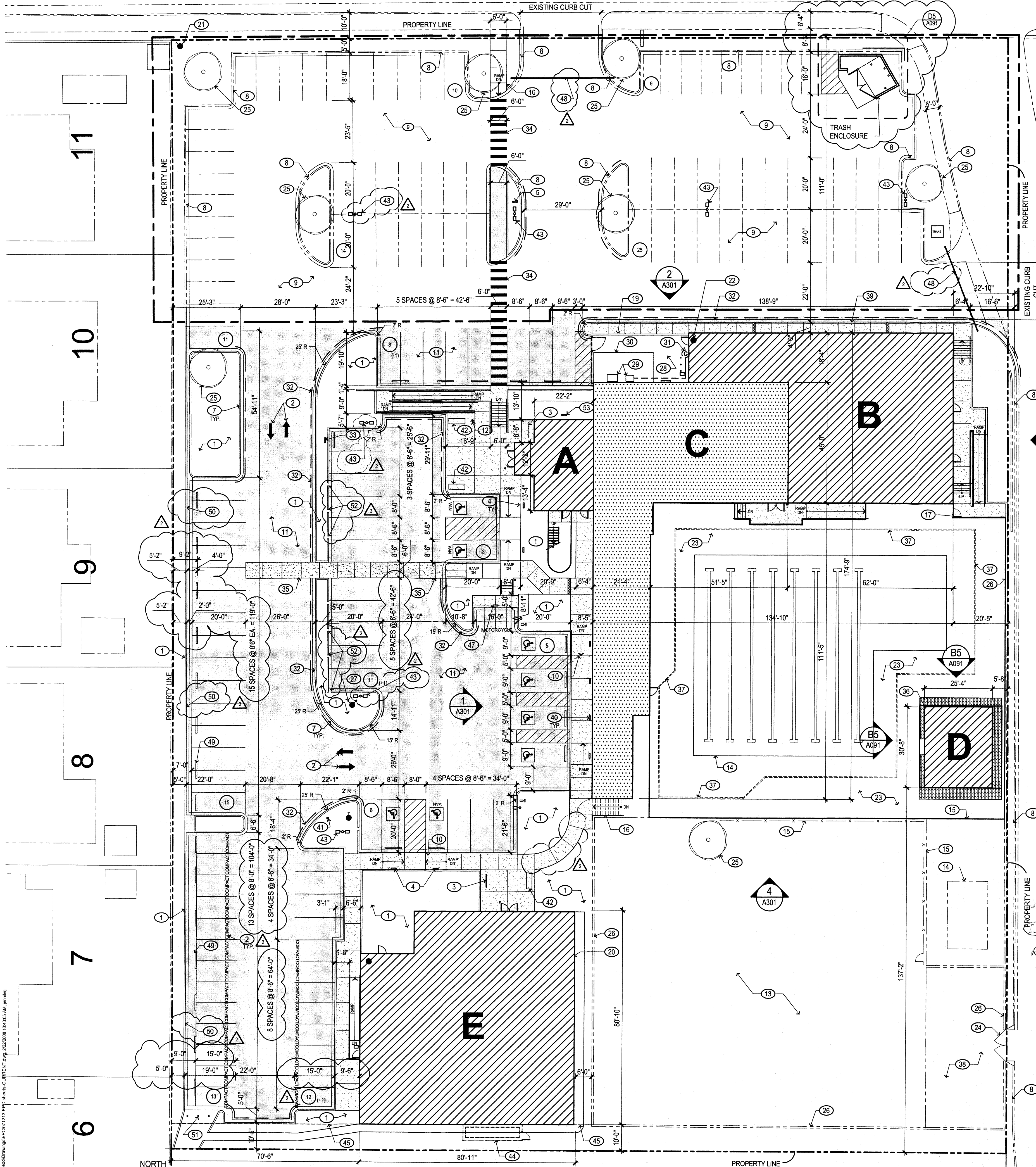
**CLEANOUT DETAIL**  
N.T.S.

**Wooten  
Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.4200 Fax: 505.771.8905

FILE  
1006224

# COMANCHE ROAD NE (R.O.W. 86'-0")



**SITE PLAN**

## GENERAL NOTES

- THIS FACILITY AND ITS ACTIVITIES SHALL COMPLY WITH THE CITY OF ALBUQUERQUE NOISE ORDINANCE
- ADDITIONAL TEMPORARY OFF-STREET PARKING SUFFICIENT TO MEET THE DEMANDS OF SPECIAL EVENTS SHALL BE PROVIDED BY THE YMCA OR SPECIAL EVENTS SHALL NOT BE PROVIDED
- SITE LIGHTING, BOTH LIGHT POLE AND BUILDING MOUNTED, SHALL NOT SHINE ONTO ANY RESIDENTIAL PROPERTY AND WILL COMPLY WITH THE STATE NIGHT SKY PROTECTION ACT.
- MECHANICAL ROOF TOP UNITS SHALL MEET CITY ZONING REQUIREMENTS PER SECTION 14-16-3-18 SECTION C, PART 6.

## SITE DATA

LEGAL ADDRESS: 12500 COMANCHE NE  
ALBUQUERQUE, NM 87114

ZONING: SU-1 FOR PLANNED RESIDENTIAL AND RECREATIONAL DEVELOPMENT

LOT SIZE: 3.0 ACRES

**BUILDING AREA INFORMATION**

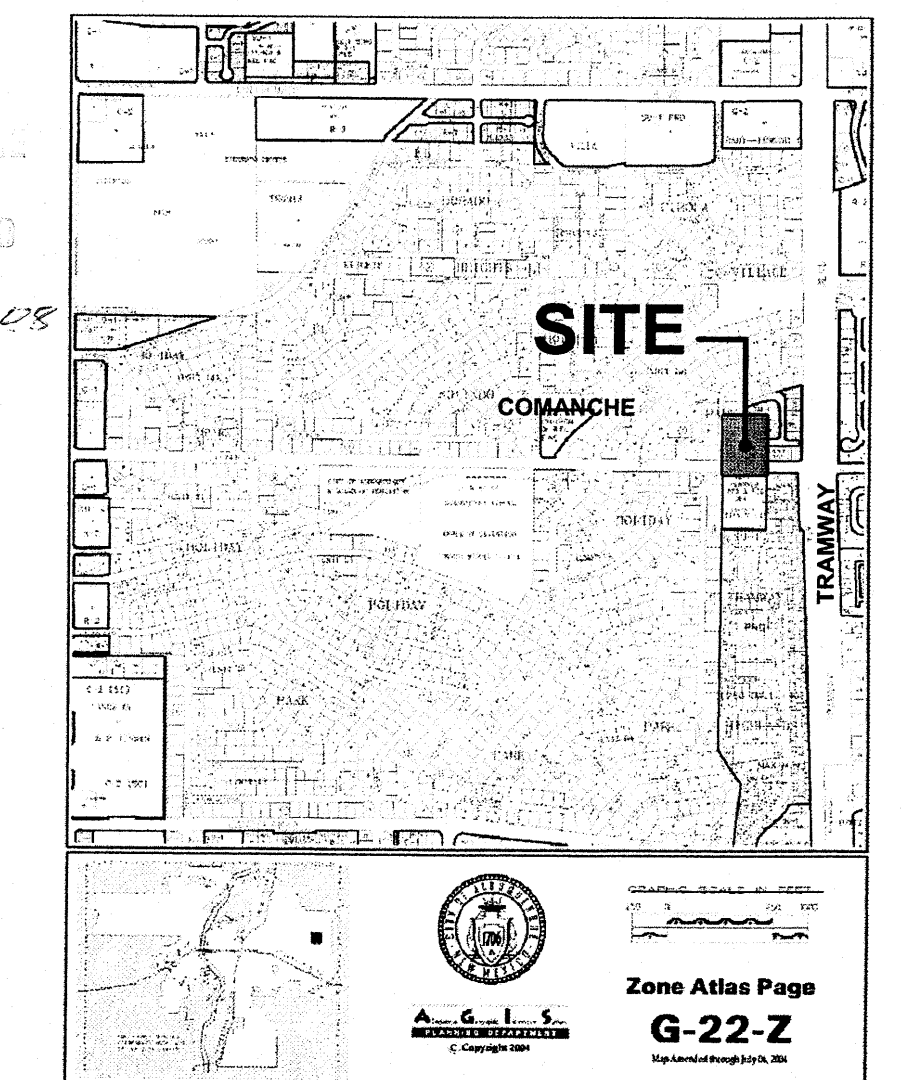
AREA: A NEW FITNESS CENTER MAIN ENTRY ADDITION: 1,490 GROSS SF  
 AREA: B NEW FITNESS CENTER ADDITION: 4,617 GROSS SF  
 TOTAL NEW FITNESS CENTER ADDITION SQUARE FOOTAGE: 6,107 GROSS SF  
 AREA: C EXISTING FITNESS CENTER TO REMAIN: 5,464 GROSS SF  
 TOTAL FITNESS CENTER SQUARE FOOTAGE: 11,571 GROSS SF

## PARKING REQUIREMENTS

MIXED USE HEALTH CLUB	SF	OLF	OCCUPANTS
AREA A:			
1ST FLOOR			
RECEPTION/OFFICE:	518 NLSF	/ 200 =	3
2ND FLOOR			
MULTIPURPOSE ROOM:	518 NLSF	/ 15 =	35
AREA B:			
FITNESS CENTER:	4,617 GSF	/ 50 =	93
AREA C:			
OFFICE:	646 NLSF	/ 100 =	7
AREA E:			
OFFICE:	454 NLSF	/ 100 =	5
M.P. / TEEN EXERCISE:	2750 GSF	/ 50 =	55
SUBTOTAL BUILDING OCCUPANTS:			198
HEALTH CLUB PARKING REQS:	198/3 =		66
POOL AND POOL DECK:	15,618 SF / 200 =		79
*DAYCARE (AREA E) (1156 NLSF / 500) +2= 5			
**CHILDWATCH (AREA C) (600 NLSF / 500) +2= 4			
TRANSIT REDUCTION: 154 x 90% =			139 TOTAL SPACES REQD.
			154 SUBTOTAL SPACES REQD.
			141 PROVIDED
ACCESSIBLE PARKING REQUIRED:	8	8	PROVIDED
MOTORCYCLE PARKING REQUIRED:	4	4	PROVIDED
BICYCLE PARKING REQUIRED:	7	18	PROVIDED

## LEGEND

- NEW CONSTRUCTION
- EXISTING BUILDING
- NEW ASPHALT PAVEMENT
- NEW SIDEWALK
- CONCRETE PAVERS
- SINGLE OR DOUBLE POLE MOUNTED LIGHT FIXTURE, RE. B4/A091
- BOUNDARY FOR EXISTING TO REMAIN



**PROJECT LOCATION**  
VICINITY MAP: G-22-Z NOT TO SCALE

## KEYED NOTES

- LANDSCAPED AREA; RE. LANDSCAPING
- STRIPING/LETTERS, PAINTED, COLOR: WHITE
- BIKE RACK, MANUF: MADRAX, MODEL: HW238-9-SF-P, 9 BIKE, 7 LOOP HEAVY DUTY WINDER, COLOR: TBD
- POLE MOUNTED SIGNAGE: ACCESSIBLE PARKING
- CONCRETE SIDEWALK
- CONCRETE STAIR
- CONCRETE CURB AND GUTTER, RE. CIVIL
- EXISTING CURB AND LANDSCAPE TO REMAIN
- EXISTING ASPHALT PAVING, PATCH CRACKS, SEAL COAT, AND RESTRIPE
- WHEEL CHAIR RAMP
- ASPHALT PAVEMENT
- FLAG POLE
- EXISTING LAWN TO REMAIN
- EXISTING POOL TO REMAIN
- EXISTING 4'-6" CHAINLINK FENCE TO REMAIN
- EXISTING CONCRETE STAIR TO REMAIN
- 8' WROUGHT IRON FENCE AND MAN GATE, PROVIDE PANIC HW AND DEADBOLT LOCK FOR AFTERHOURS SECURITY
- TRASH AND RECYCLE ENCLOSURE
- 8'-0" HIGH CMU SCREEN WALL, RE. A301
- PREFABRICATED METAL BUILDING, BY CONTRACTOR
- EXISTING FIRE HYDRANT TO REMAIN
- FIRE RISER
- EXISTING CONCRETE POOL DECK
- EXISTING CHAINLINK 2 LEAF GATE
- EXISTING TREE
- EXISTING PAINTED CMU WALL, HEIGHT VARIES 6' TO 10', COLOR: CREME
- NEW FIRE HYDRANT
- EXISTING TRANSFORMER, TO BE REMOVED
- EXISTING MECHANICAL DUCTS
- EXISTING BASEMENT ACCESS HATCH
- RELOCATE EXISTING BUILDING GAS LINE
- PAINT CURB OR PAVING IN RED WITH WHITE LETTERS: FIRE LANE NO PARKING
- POLE MOUNTED SIGNAGE: RESERVED PARKING DON MCLEOD ONLY
- CROSSWALK, STRIPED AND PAINTED WHITE
- CROSSWALK, INTEGRALLY COLORED 6" CONCRETE, MANUF: DAVIS CONCRETE, COLOR: SANTA FE BROWN
- CONCRETE PAVERS TO FILL VOID BETWEEN EXISTING CONCRETE POOL DECK AND NEW RESTROOM SLAB, BY LANDSCAPE CONTRACTOR
- EXISTING TRENCH DRAIN
- EXISTING CONCRETE DRIVE PAD
- CONCRETE BUILDING APRON
- BUILDING OR FENCE MOUNTED SIGNAGE: ACCESSIBLE PARKING
- PRESSURE INDICATOR VALVE (PIV), RE. CIVIL
- BENCH, MANUF: MADRAX, MODEL: SSF-6-PM-P STATE STREET-PERFORATED METAL FLAT BENCH, COLOR: TBD
- LIGHT POLE, NOT TO EXCEED 16' IN HEIGHT WITHIN 100' OF A RESIDENTIAL ZONE AND WILL NOT SHINE ON ANY RESIDENTIAL PROPERTY, RE. B4/A091
- 4' CHAINLINK EQUIPMENT SCREEN FENCE AND GATE WITH ALUMINUM PRIVACY SLATS
- 6' CHAINLINK PERIMETER FENCE
- CONCRETE DRAINAGE SWALE, RE. CIVIL
- POLE MOUNTED SIGNAGE: MOTORCYCLE PARKING, RE. C3/A091
- STEEL CABLE WITH KNOX LOCK (KNOX LOCK REQUIRED AT COMANCHE ENTRANCE, PADLOCK AT OTHER LOCATION)
- CONCRETE WHEELSTOP
- 8" CONCRETE CURB AND GUTTER
- BOLLARD, STEEL AND CONCRETE FILLED, PAINT
- 1'-0" WIDE NOTCH IN CURB FOR WATER RUNOFF COLLECTION IN LANDSCAPE AREA
- GROUND MOUNTED UP-LIGHT FOR ILLUMINATION OF BUILDING ELEVATION 'Y' INSIGNIA, LIGHT WILL COMPLY WITH THE STATE NIGHT SKY PROTECTION ACT

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date	REVISIONS	9/14/07	EPC COMMENT REVISION
ABCWUA	Date	12/5/07	DESIGN MODIFICATIONS	
Parks and Recreation Department	Date	12/13/07	EPC COMMENT REVISION	
City Engineer	Date			
Environmental Health Department (conditional)	Date			
Michael Holton (amw crew)	2/25/08			
Solid Waste Department	Date			
DRB Chairperson, Planning Department	Date			

PROJECT NO. 07060  
 DRAWING NAME  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (SITE PLAN) UNOFFICIAL**  
 SHEET NO. **A001** OF

GENERAL CONTRACTOR

ARCHITECT

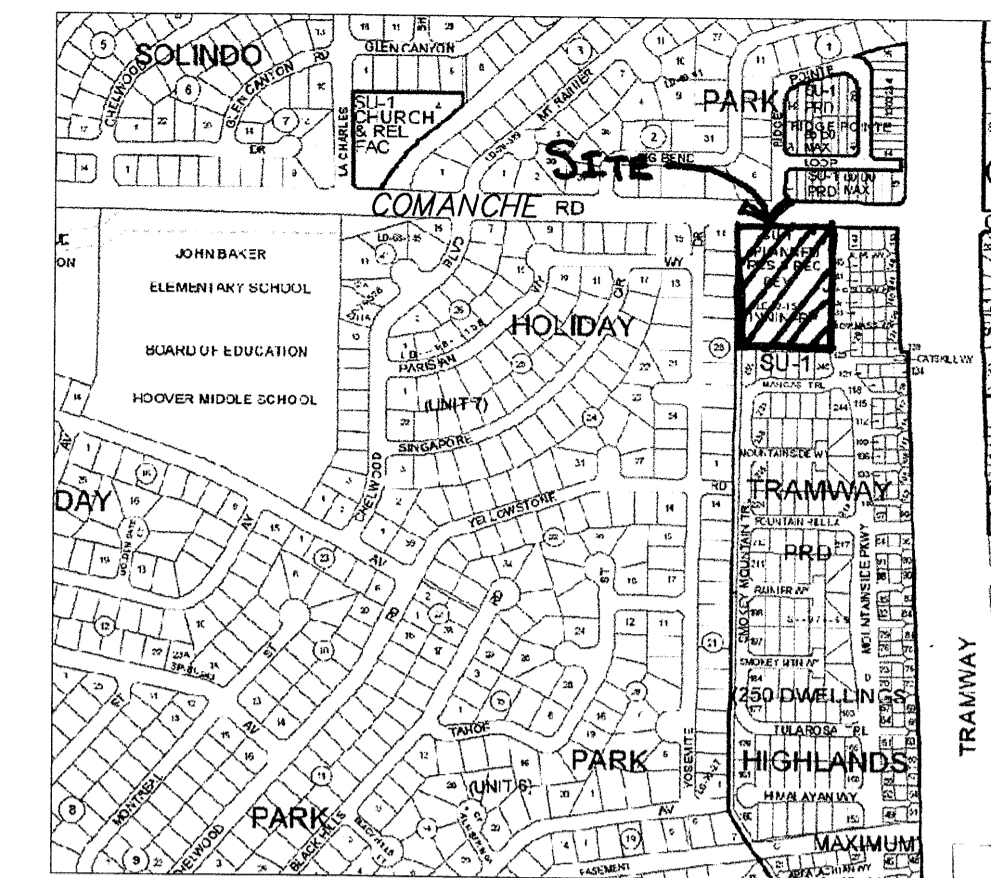
7601 Jefferson NE Suite 100  
 Albuquerque, NM 87109  
 505 761-9700  
 fax 761-4222  
 dps@dpsdesign.org

PROJECT

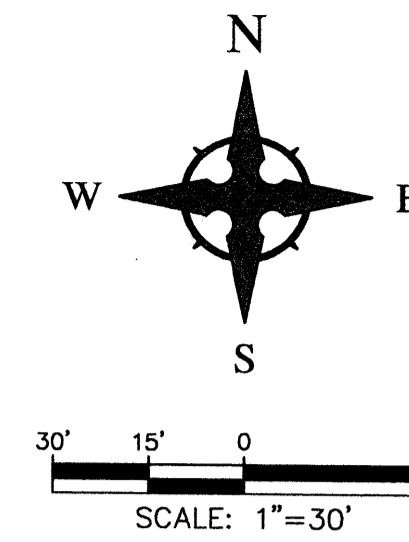
STATE OF NEW MEXICO  
 ANNAMARIE WENNIS  
 No. 3852  
 9/5/07  
 REGISTERED ARCHITECT

**MCLEOD**  
**MOUNTAINSIDE YMCA**  
 12500 Comanche NE  
 Albuquerque, NM 87111

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ZONE ATLAS PAGE G22



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**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**

The purpose of this submittal is to provide a conceptual drainage management plan for the proposed additions to the McLeod YMCA, which includes the demolition of existing buildings and paved surfaces; and the installation of new buildings and parking areas. The site is located at the 12500 Comanche NE in Albuquerque, NM, which is the southwest corner Comanche and Mountainside Parkway. The site contains approximately 3.0 acres.

**EXISTING HYDROLOGIC CONDITIONS**

According to the latest approved Drainage Management Plan by Tierra West (COA Hydrology File G22Z-D16), dated September 8, 1997, the runoff from the site is as follows:

Basin 'R' (Total of Basins 'A' and 'B'): 15.05 cfs using 90% Type 'D' and 10% Type 'B' land treatments.

When the improvements were done in +/-1997, most of the drainage from the site was diverted away from Comanche to a drainage swale/inlet located at the southwest corner of the property.

**PROPOSED HYDROLOGIC CONDITIONS**

The calculations for the developed site (see Table below) show the 100-year runoff rate to be 15.04 cfs, which is 0.01 cfs lower than the calculations prepared by Tierra West in 1997. Seeing that there is a slight decrease in runoff for the proposed condition, there will not be any negative impacts downstream of the site.

The below calculations are for the new asphalt Triangular Channel outlet located at the southwest corner of the site. The section used is the smallest/most critical section of the swale.

Given Data:  
Q (actual) = 15.04 cfs  
Left Side Slope: +/- 5:1 (5' long)  
Right Side Slope: +/- 4.7:1 (4.7' long)  
Depth: +/- 1'  
Manning's 'n' coefficient: 0.017

Channel Area: 4.85 Square Feet  
Wetted Perimeter: 9.9'  
R: 0.49  
Channel Slope: +/- 1.88%

Using Manning's Equation and the above data, the capacity of the Channel is 36.10 cfs which is well over the required flow rate of 15.04 cfs.

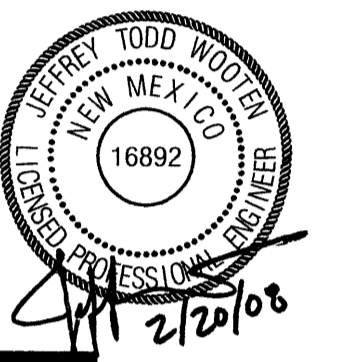
**CONCLUSION**

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. According to the previous approved Drainage Management Plan by Tierra West dated September 8, 1997, the site is allowed to discharge developed flows directly to the southwest corner of the site, without causing a negative impact. With this submittal, we are requesting conceptual grading and drainage plan approval for Site Plan for Building Permit.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE, CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

ENGINEER



PROJECT

**MCLEOD YMCA  
MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS

- RELOCATE TRASH ENCLOSURE

DRAWN BY JTM

REVIEWED BY JTM

DATE 09/06/07

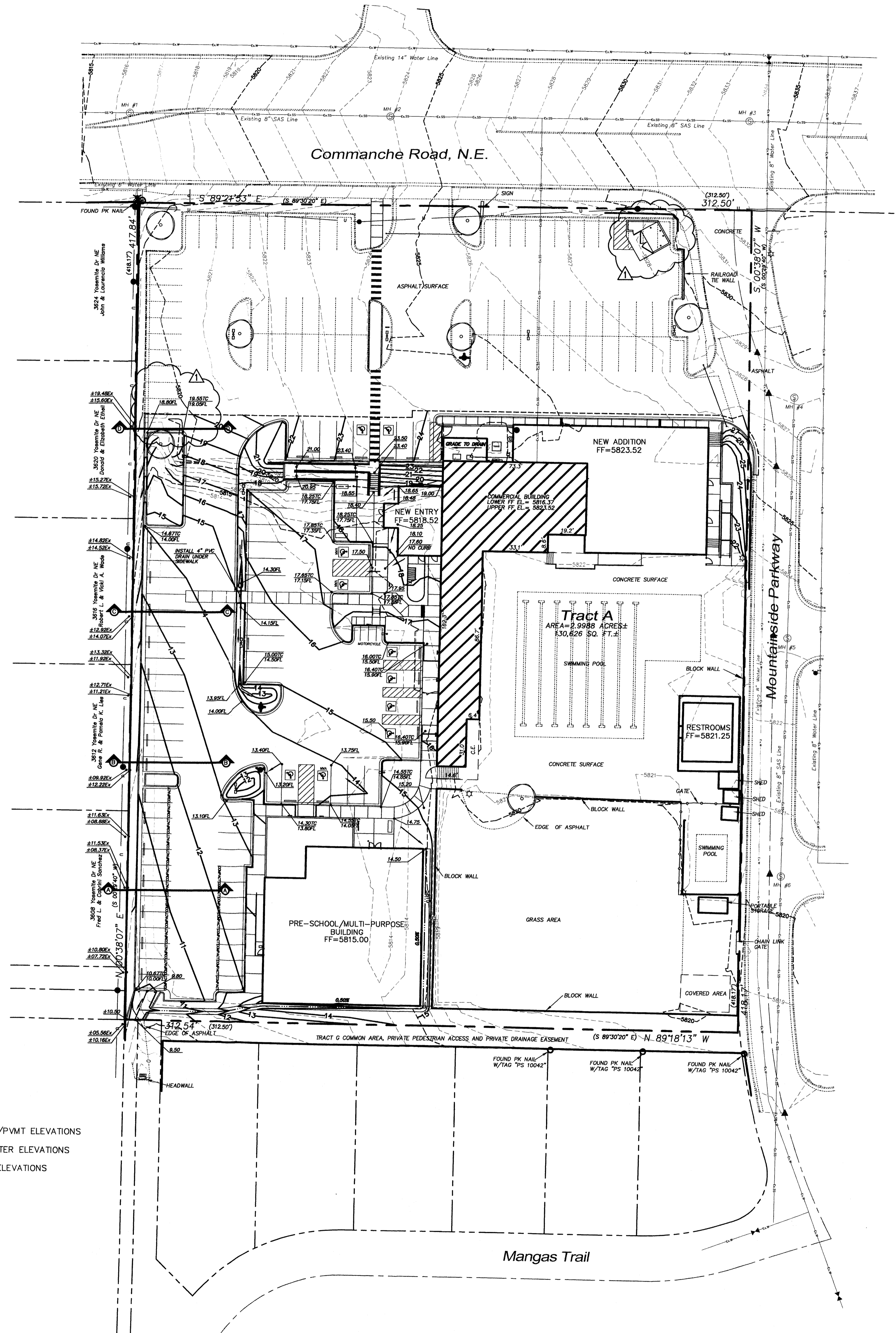
PROJECT NO. 07060

DRAWING NAME

**GRADING  
& DRAINAGE PLAN**

SHEET NO.

**COOL**



**LEGEND**

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE

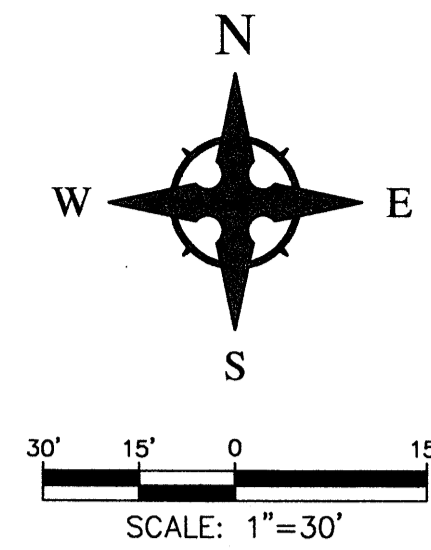
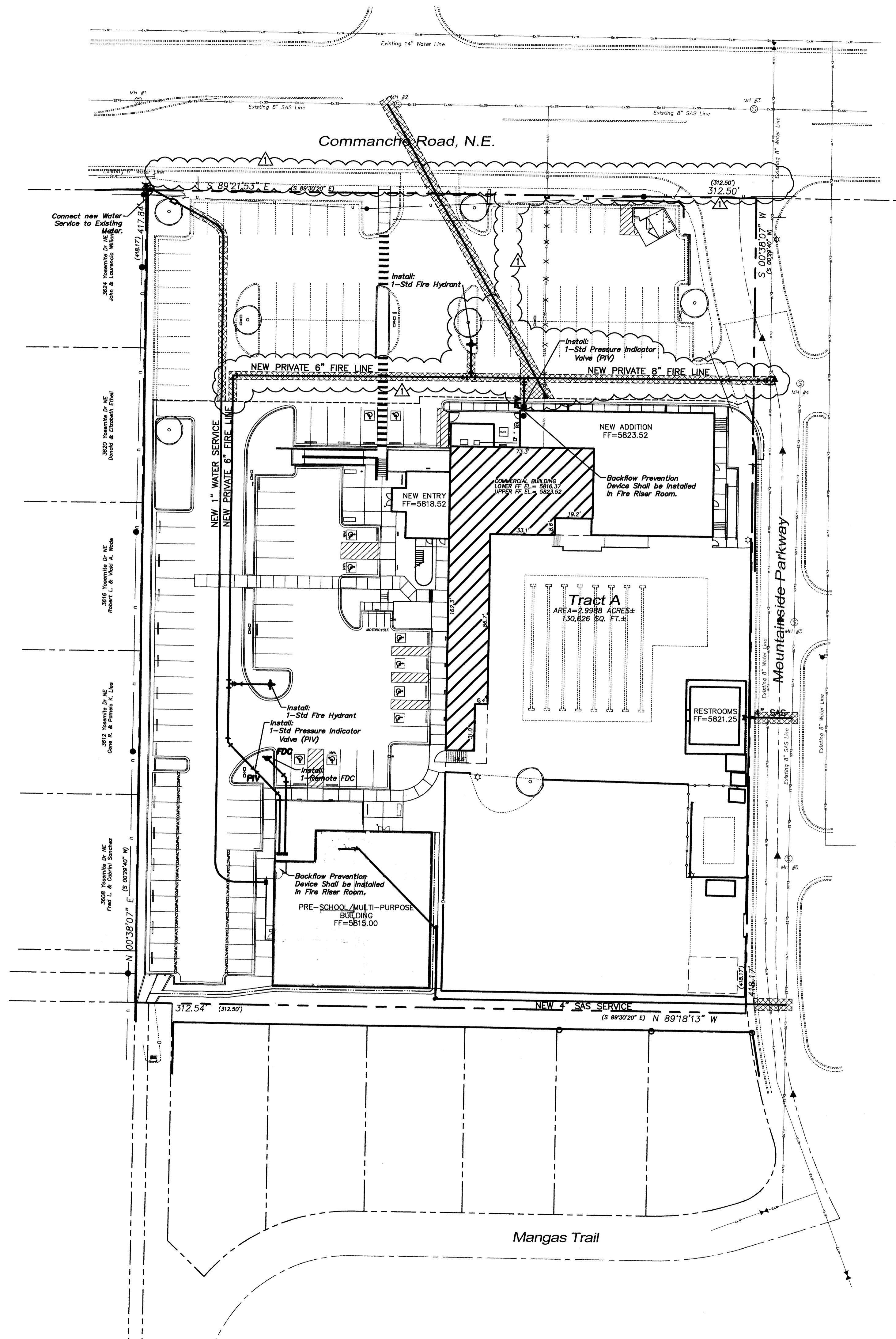
Existing McLeod YMCA Drainage Calculations (Per Tierra West Calculations Dated 9/8/97)												
This table is based on the COA DPM Section 22.2, Zone: 4												
BASIN	Area		Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>1440</sub> (CF)	V(100) <sub>10day</sub> (CF)
	(SQ. FT)	(AC.)	A	B	C	D						
Basin 'R'	3.00	3.00	0.0%	10.0%	0.0%	90.0%	5.02	15.05	n/a	n/a	n/a	n/a

Proposed McLeod YMCA Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
This table is based on the COA DPM Section 22.2, Zone: 4												
BASIN	Area		Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>1440</sub> (CF)	V(100) <sub>10day</sub> (CF)
	(SQ. FT)	(AC.)	A	B	C	D						
Basin 'R'	130626	3.00	0.0%	10.0%	0.0%	90.0%	5.02	15.04	2.48	27040	35269	44456

**Wooten  
Engineering**

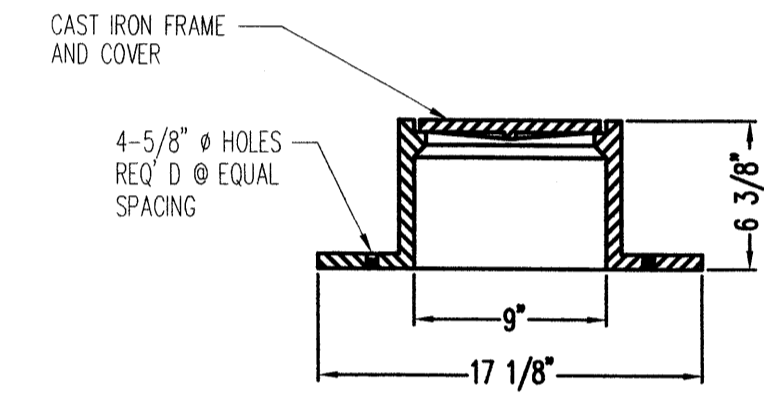
5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
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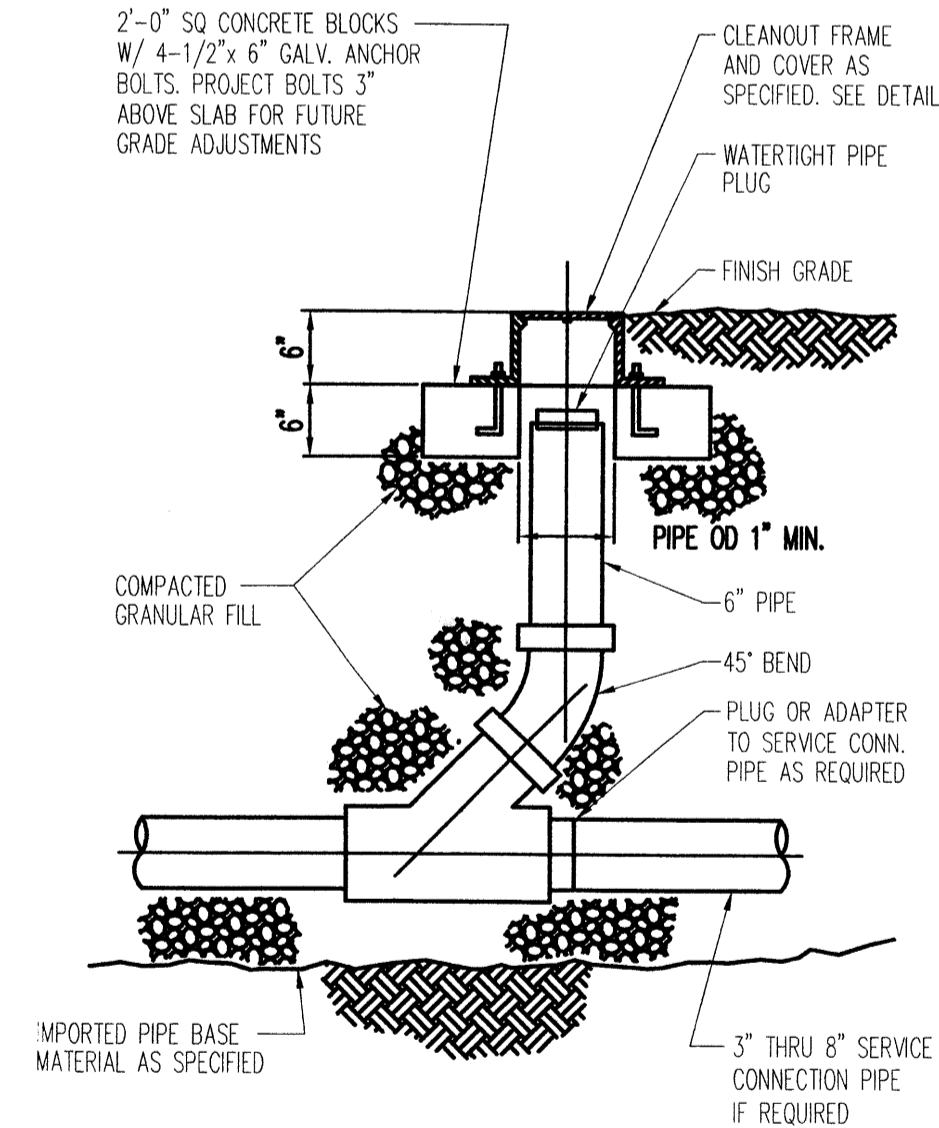
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**CLEANOUT FRAME & COVER**  
N.T.S.



**CLEANOUT DETAIL**  
N.T.S.

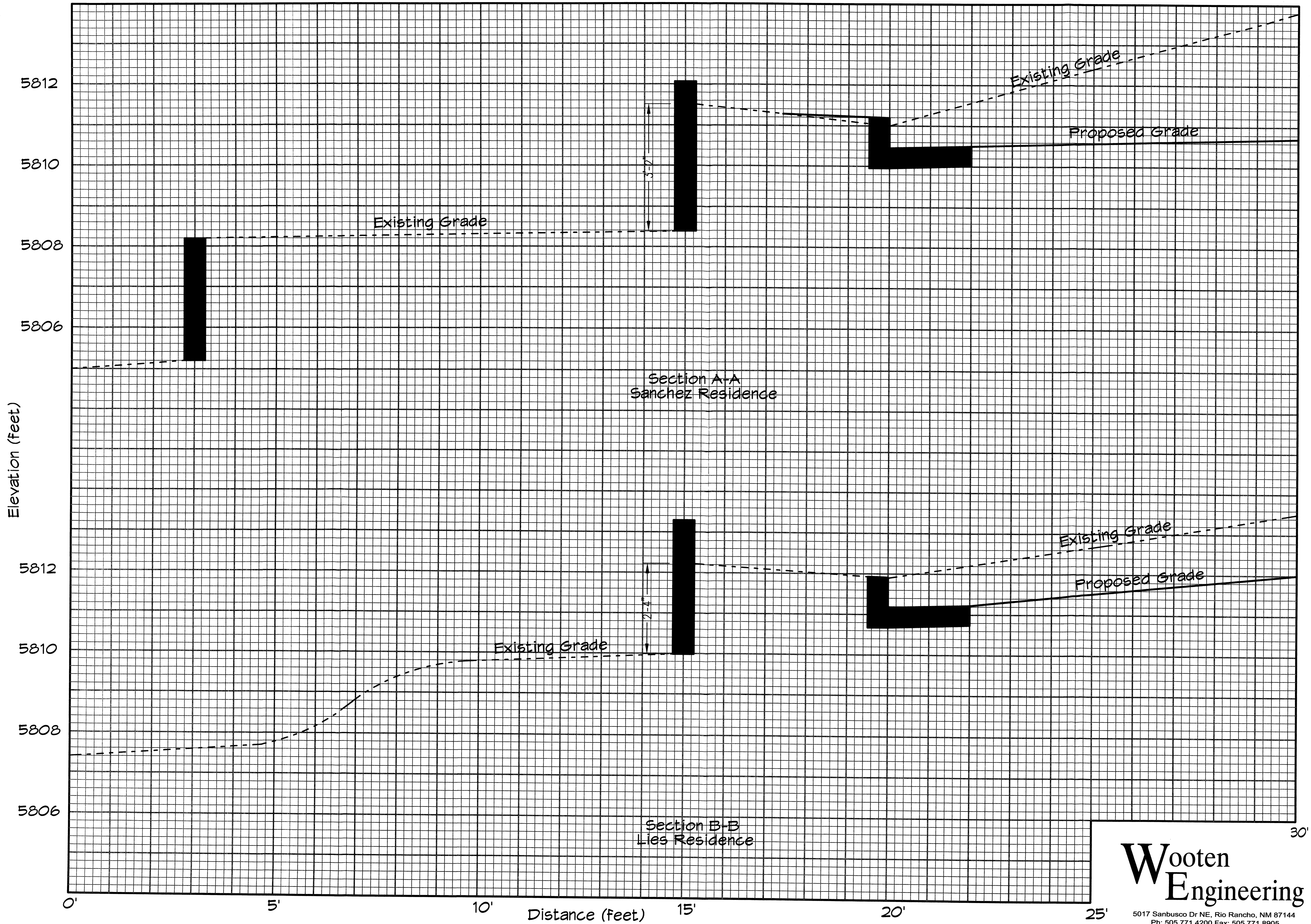
REVISIONS

▲	REVISE FIRE LINES TO BE PRIVATE.
▲	
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DRAWN BY	JTN
REVIEWED BY	JTN
DATE	09/06/07
PROJECT NO.	07060
DRAWING NAME	

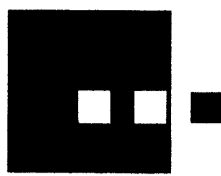
UTILITY  
PLAN





**Wooten  
Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.4200 Fax: 505.771.8905



architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

**MCLEOD  
MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS

- △ 12/5/07
- △
- △
- △

DRAWN BY JTW

REVIEWED BY JTW

DATE 09/06/07

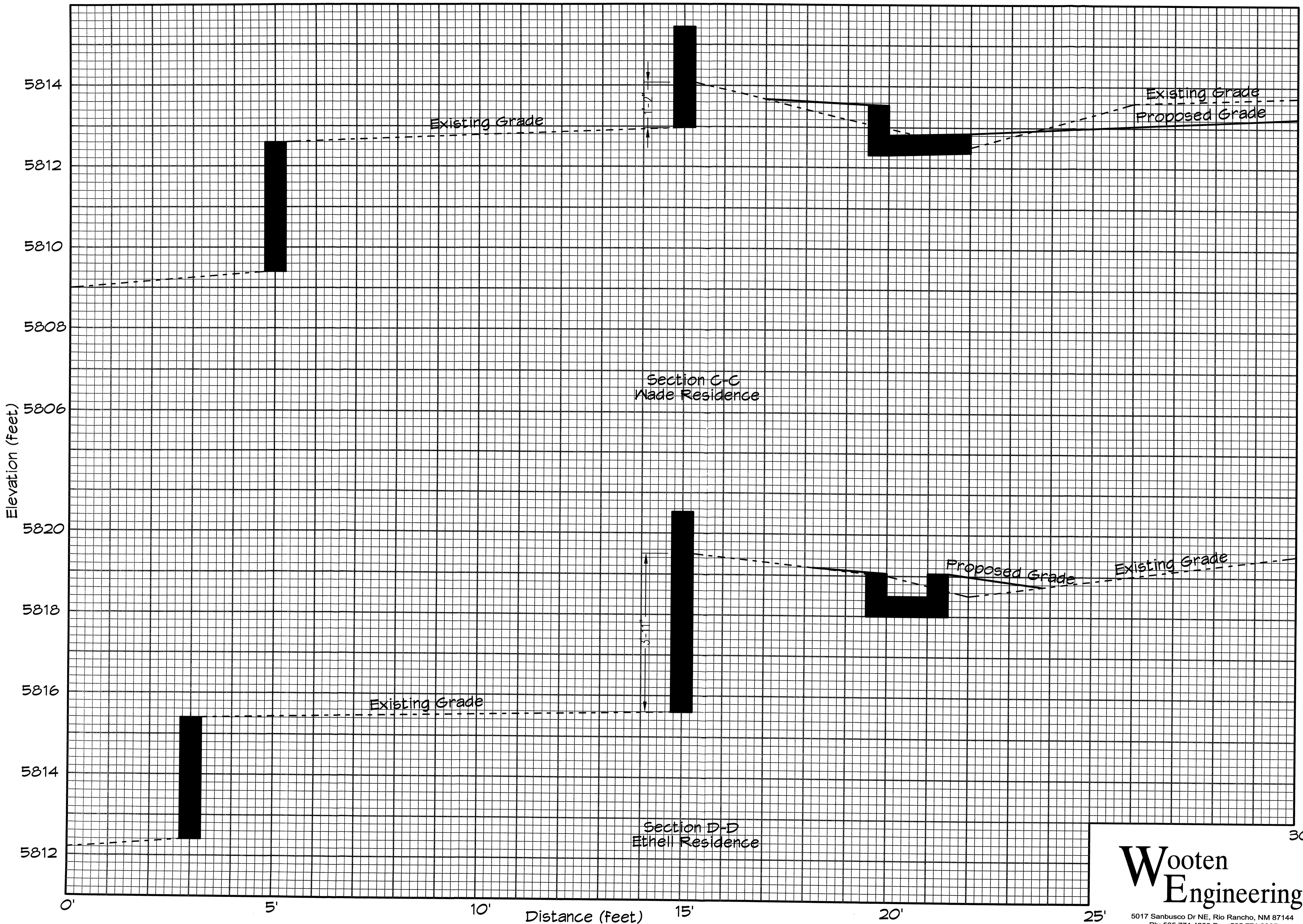
PROJECT NO. 07060

DRAWING NAME

CROSS SECTIONS

SHEET NO.

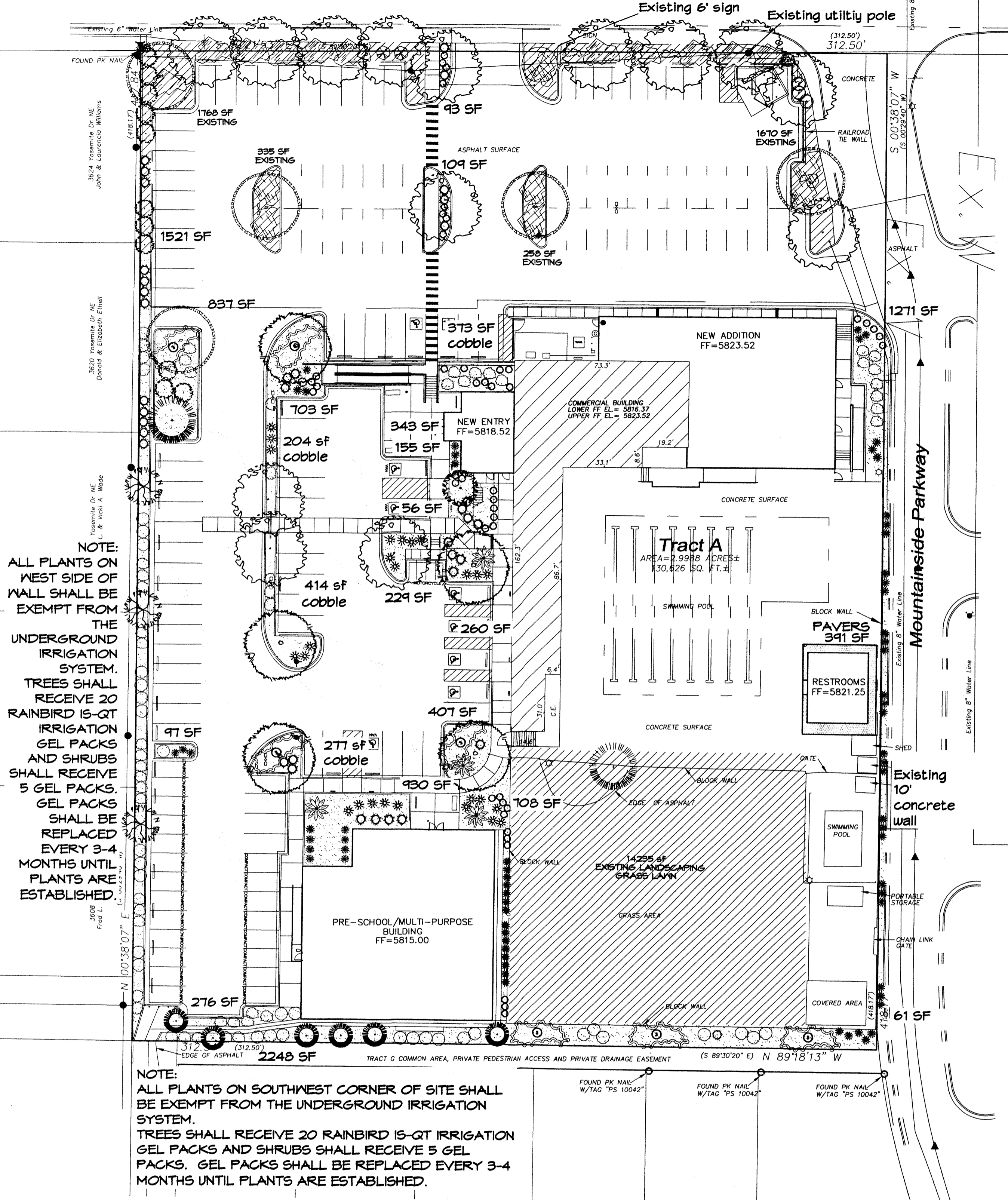
**004**  
OF



**Wooten  
Engineering**

5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.4200 Fax: 505.771.8905

Commanche Road, N.E.



NOTE: ALL PLANTS ON WEST SIDE OF WALL SHALL BE EXEMPT FROM THE UNDERGROUND IRRIGATION SYSTEM. TREES SHALL RECEIVE 20 RAINBIRD IS-QT IRRIGATION GEL PACKS AND SHRUBS SHALL RECEIVE 5 GEL PACKS. GEL PACKS SHALL BE REPLACED EVERY 3-4 MONTHS UNTIL PLANTS ARE ESTABLISHED.

NOTE: ALL PLANTS ON SOUTHWEST CORNER OF SITE SHALL BE EXEMPT FROM THE UNDERGROUND IRRIGATION SYSTEM. TREES SHALL RECEIVE 20 RAINBIRD IS-QT IRRIGATION GEL PACKS AND SHRUBS SHALL RECEIVE 5 GEL PACKS. GEL PACKS SHALL BE REPLACED EVERY 3-4 MONTHS UNTIL PLANTS ARE ESTABLISHED.

LANDSCAPE NOTES: Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition. It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance.

Plant beds shall achieve 75% live ground cover at maturity including both existing and new landscape areas. 3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES: Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, plined in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

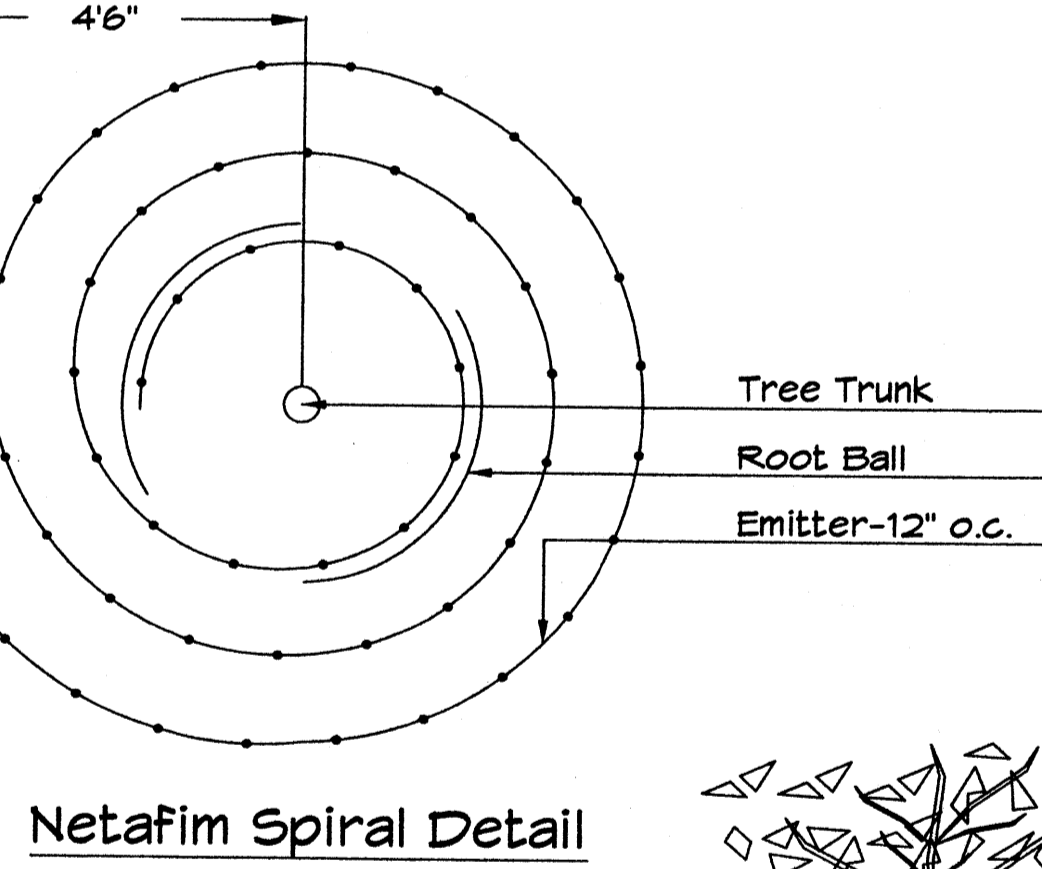
PLANT PALETTE

- TREES: CHINESE PISTACHE (M) 14, SHUMARD OAK (M) 5, AUSTRIAN PINE (M) 1, NEW MEXICO OLIVE (L) 3, AMUR MAPLE (M) 1, CURLLEAF MTN MAHOGANY (L+) 6. SHRUBS/ORNAMENTAL GRASSES: MOCK ORANGE (M) 4, PHOTINIA (M+) 11, APACHE PLUME (L) 31, LENA'S BROOM (M) 36, POWNIS CASTLE SAGE (L+) 52, DEER GRASS (M) 26, CATMINT (M) 45, BLUE AVENA/OAT GRASS (M) 67. DESERT ACCENTS: BLUE SOTOL (L) 2.

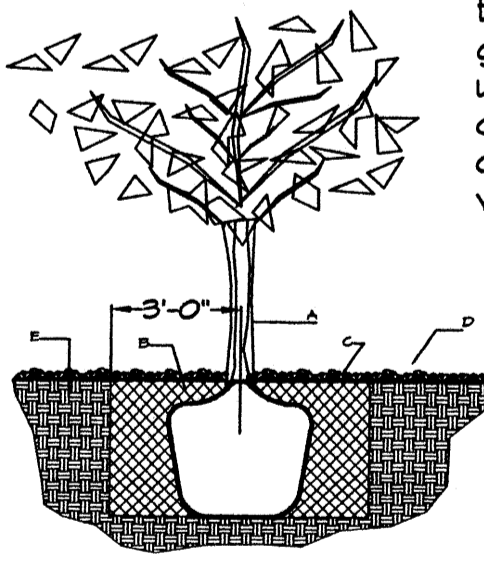
- HARDSCAPES: 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3", COBBLE WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3". GROUNDCOVERS: GREYLEAF COTONEASTER (M) 21, ENGLISH IVY (M) 1, EXISTING LANDSCAPING TO REMAIN, PAVERS.

PLANT PALETTE

- EXISTING: ASH (M) 5, FLOWERING PEAR (M+) 1, AUSTRIAN PINE (M) 1, RUSSIAN SAGE (M) 4, INDIAN HAWTHORN (M) 2, BLUE CHIP JUNIPER (L+) 3, TAM JUNIPER (L+) 18.



Netafim Spiral Detail



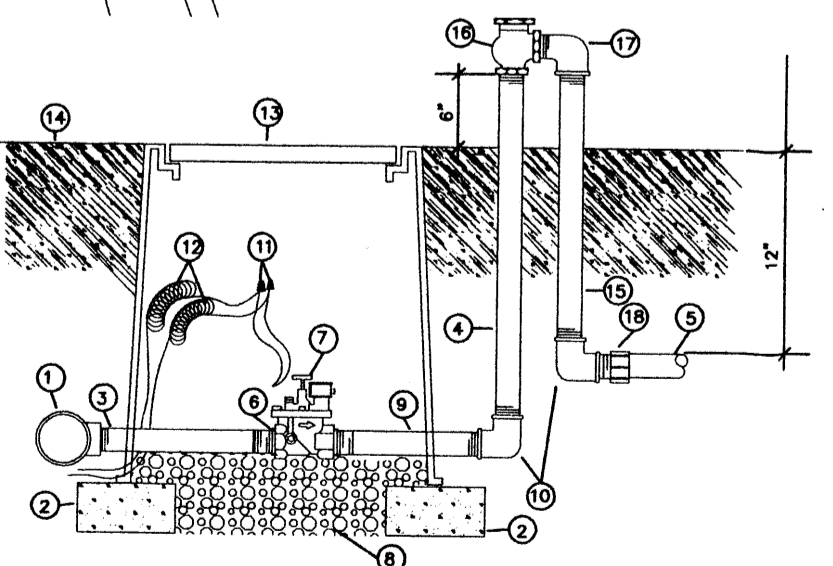
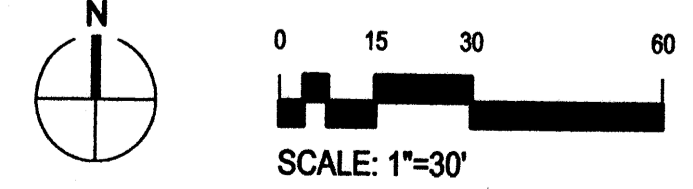
TREE PLANTING DETAIL

GENERAL NOTES:

- 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING. 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL. 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT. 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE B. BACKFILL WITH EXISTING SOIL. C. EARTH BERM AROUND WATER RETENTION BASIN. D. 3" DEPTH OF GRAVEL MULCH. E. FINISH GRADE. F. UNDISTURBED SOIL.



- 1. MAINLINE FITTING 2. GMI BLOCK 3. GALVANIZED NIPPLE 4. 24" TO 36" GALVANIZED NIPPLE 5. LATERAL PIPE 6. REDUCER BUSHING 7. AUTOMATIC VALVE (SEE LEGEND) 8. GRAVEL 9. GALVANIZED NIPPLE 10. GALVANIZED ELBOW 11. WATERPROOF WIRE CONNECTOR 12. WIRE EXPANSION LOOPS 13. VALVE BOX 14. FINISH GRADE 15. GALVANIZED NIPPLE - 18" TO 24" LENGTH 16. ATMOSPHERIC VACUUM BREAKER 17. GALVANIZED STREET ELB 18. TEE NIPPLE OR MALE ADAPTER

SHRUB PLANTING DETAIL

GENERAL NOTES:

- 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB B. BACKFILL WITH EXISTING SOIL. C. EARTH BERM AROUND WATER RETENTION BASIN. D. 3" DEPTH OF GRAVEL MULCH. E. FINISH GRADE. F. UNDISTURBED SOIL.

LANDSCAPE CALCULATIONS

Table with 2 columns: Description and Value. Includes rows for TOTAL LOT AREA (130416), TOTAL BUILDINGS AREA (10605), NET LOT AREA (11181), LANDSCAPE REQUIREMENT (15%), REQUIRED LANDSCAPE (16772), REQUIRED GROUND COVER COVERAGE (12579), TOTAL GROUND COVER PROVIDED (14959), PROVIDED LANDSCAPING (NEW AND EXISTING) (30229), EXISTING SOD (14235 (47%)), NEW LANDSCAPING, LANDSCAPE BED PROVIDED (11572), REQUIRED GROUND COVER PERCENT (75%), REQUIRED GROUND COVER (8679), GROUND COVER PROVIDED (8689 (75%)), PAVERS (391), EXISTING LANDSCAPING, LANDSCAPE BED PROVIDED (4031), REQUIRED GROUND COVER PERCENT (75%), REQUIRED GROUND COVER (3023), GROUND COVER PROVIDED (3936 (95%)).

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces Required # 15 Existing # 5 Provided # 10

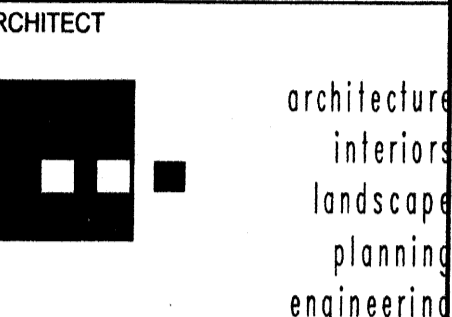
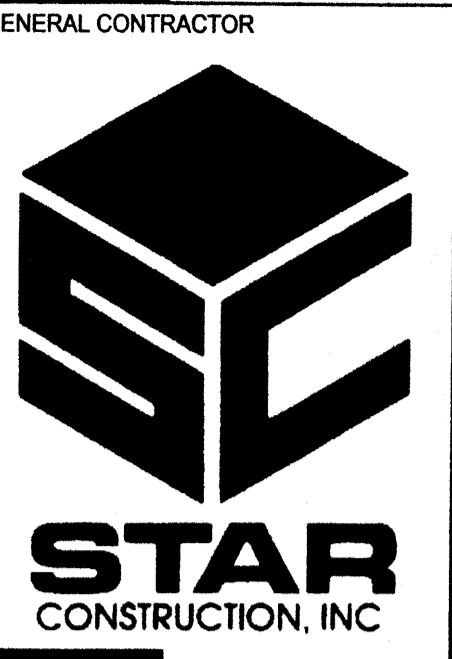
STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

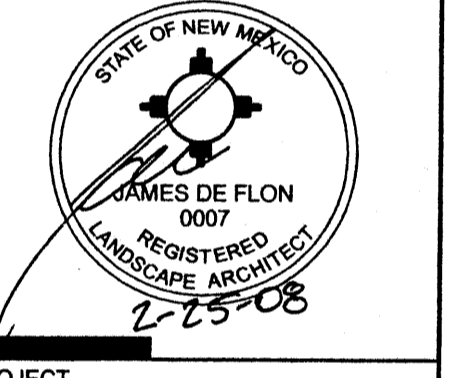
Name of Street: Comanche Required # 9 Existing # 2 Provided # 7

Name of Street: Mountainside Parkway parking Required # 3 Existing # 1 Provided # 2

NOTE TO CLIENT: Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



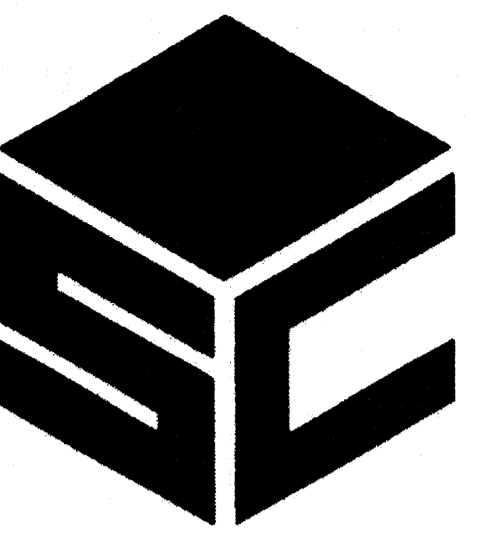
7601 Jefferson NE Suite 100 Albuquerque, NM 87109 505 761-9700 fax 761-4222 dps@dpsdesign.org



PROJECT: MCLEOD MOUNTAINSIDE YMCA 12500 Comanche NE Albuquerque, NM 87111

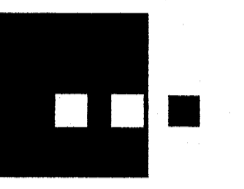
REVISIONS table with 3 columns: Revision number, Date, and Description. Includes revisions for 9-19-07 mm, 9-28-07 mm, 10-10-07 mm, 12-04-07 mm, 2-11-08 mm, and 2-25-08 mm.

DRAWN BY: RMM REVIEWED BY: CJ DATE: 8/23/07 PROJECT NO.: 07060 DRAWING NAME: LANDSCAPING PLAN SHEET NO.: L001



STAR CONSTRUCTION, INC.

ARCHITECT

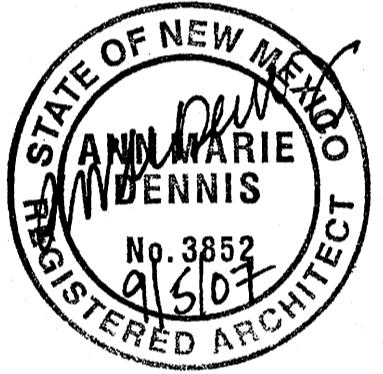


interiors  
landscape  
planning  
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

PROJECT



MCLEOD  
MOUNTAINSIDE YMCA  
12500 Comanche NE  
Albuquerque, NM 87111

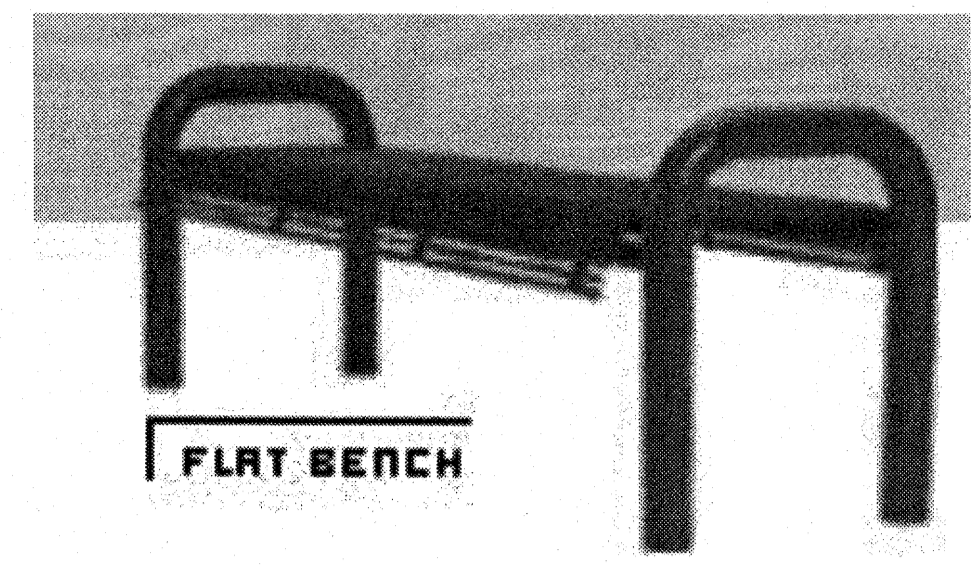
REVISIONS	
12/5/07	MODIFICATIONS
12/13/07	EPC COMMENT REVISION

DRAWN BY  
REVIEWED BY  
DATE 9/6/07  
PROJECT NO. 07080  
DRAWING NAME

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (SITE DETAILS)

SHEET NO.

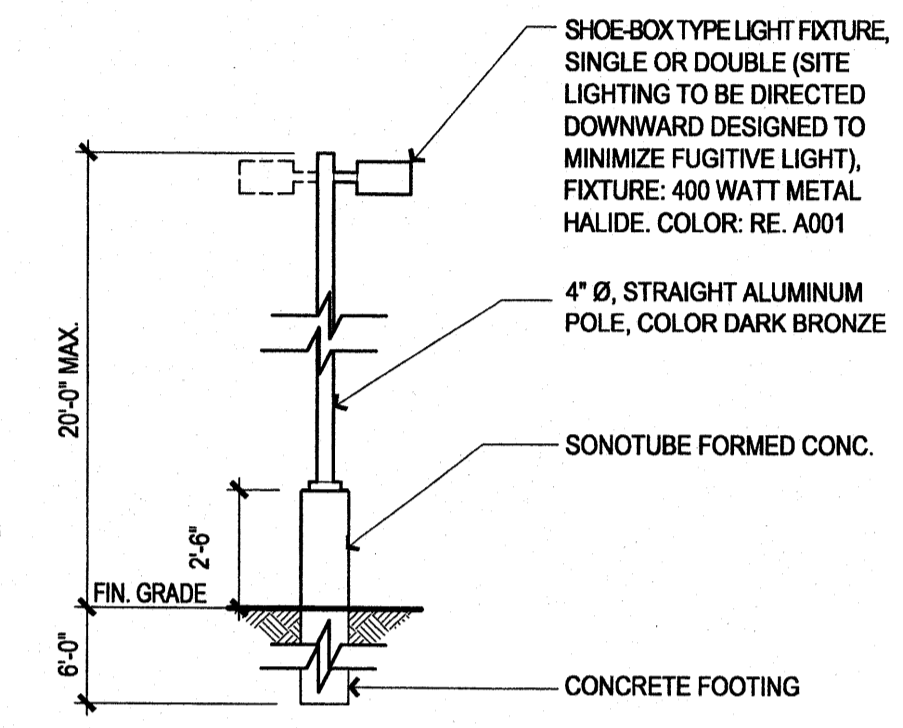
A091 OF



FLAT BENCH

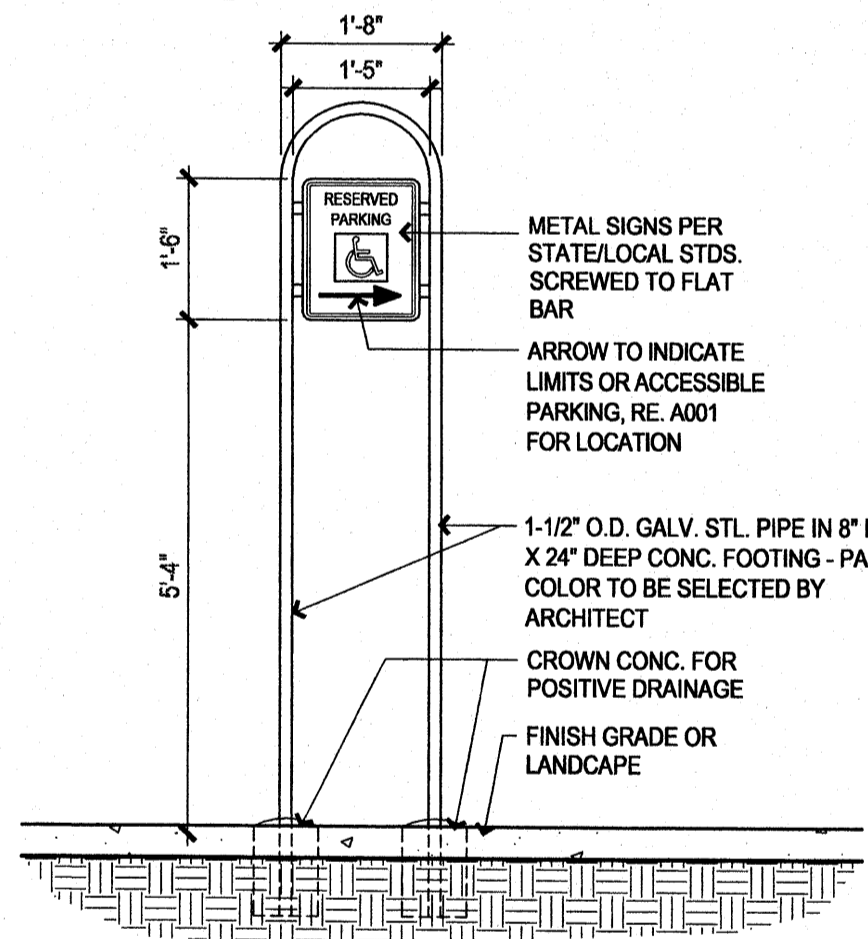
MANUFACTURER: MADRAX  
MODEL: SSF-6-PM-P  
COLOR: TBD, POWDER COATED STEEL SURFACE MOUNT

A4 BENCH DETAIL

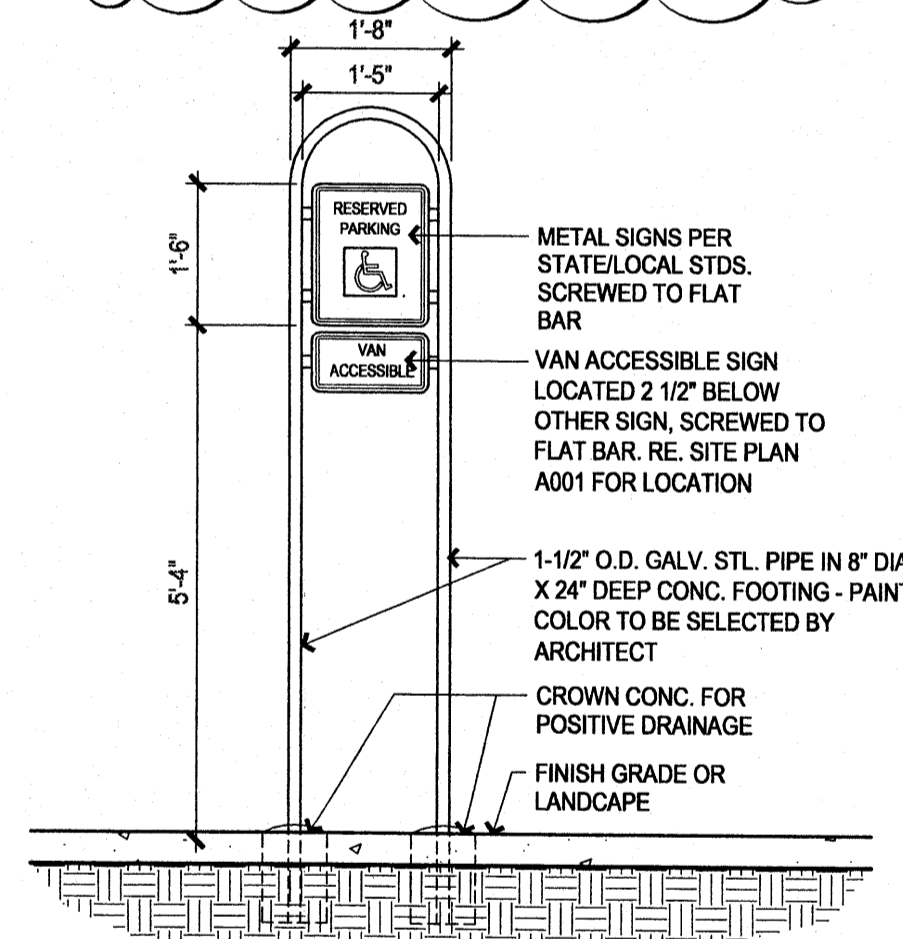


NOTE: LIGHT PATTERNS TO AVOID CLARE OR REFLECTION ON ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS.

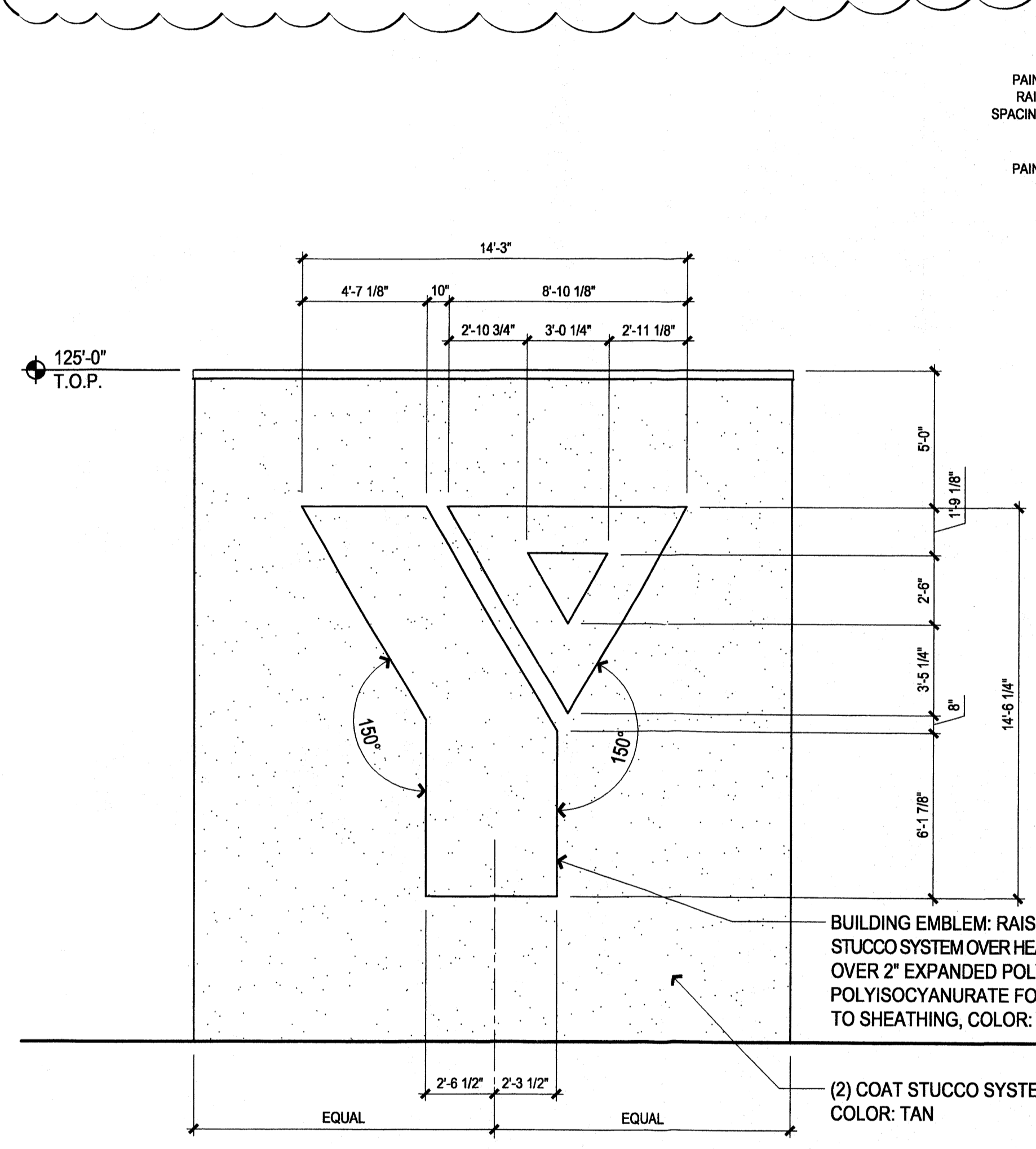
B4 LIGHT STANDARD ELEVATION 1/4" = 1'-0"



B5 SEE SHEET A302 FOR CABANA ELEVATIONS

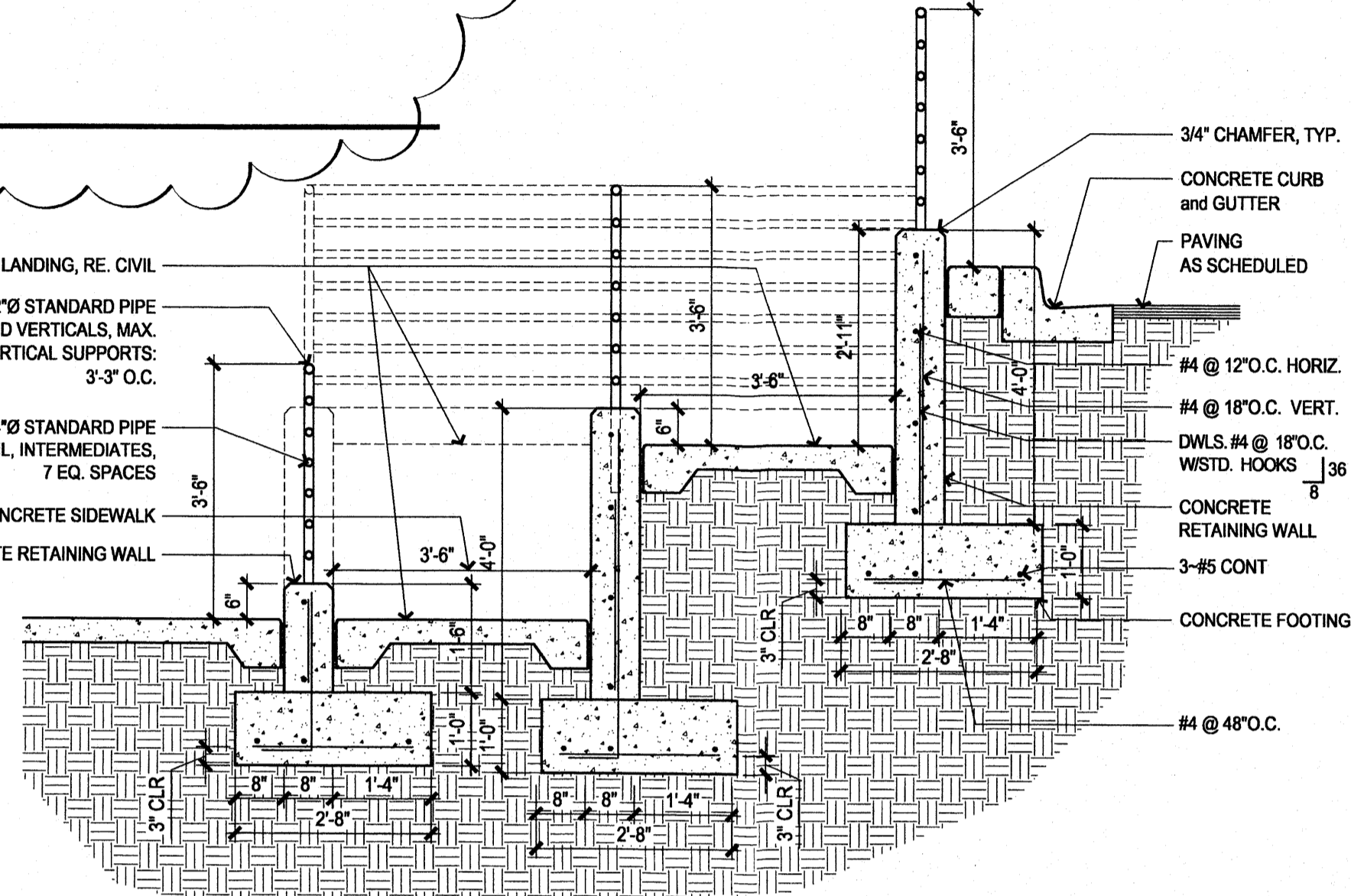


A1 SEE SHEET A302 FOR PRE-SCHOOL / MULTI-PURPOSE BUILDING ELEVATIONS

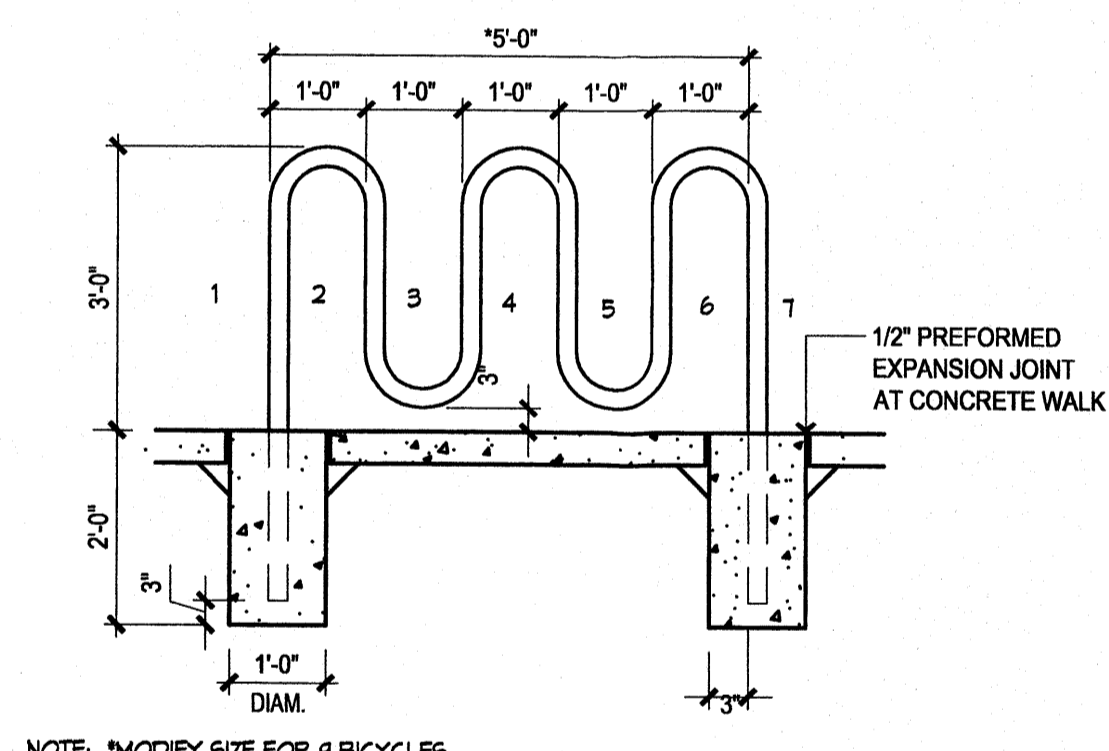


C1 'Y' INSIGNIA 1/4" = 1'-0"

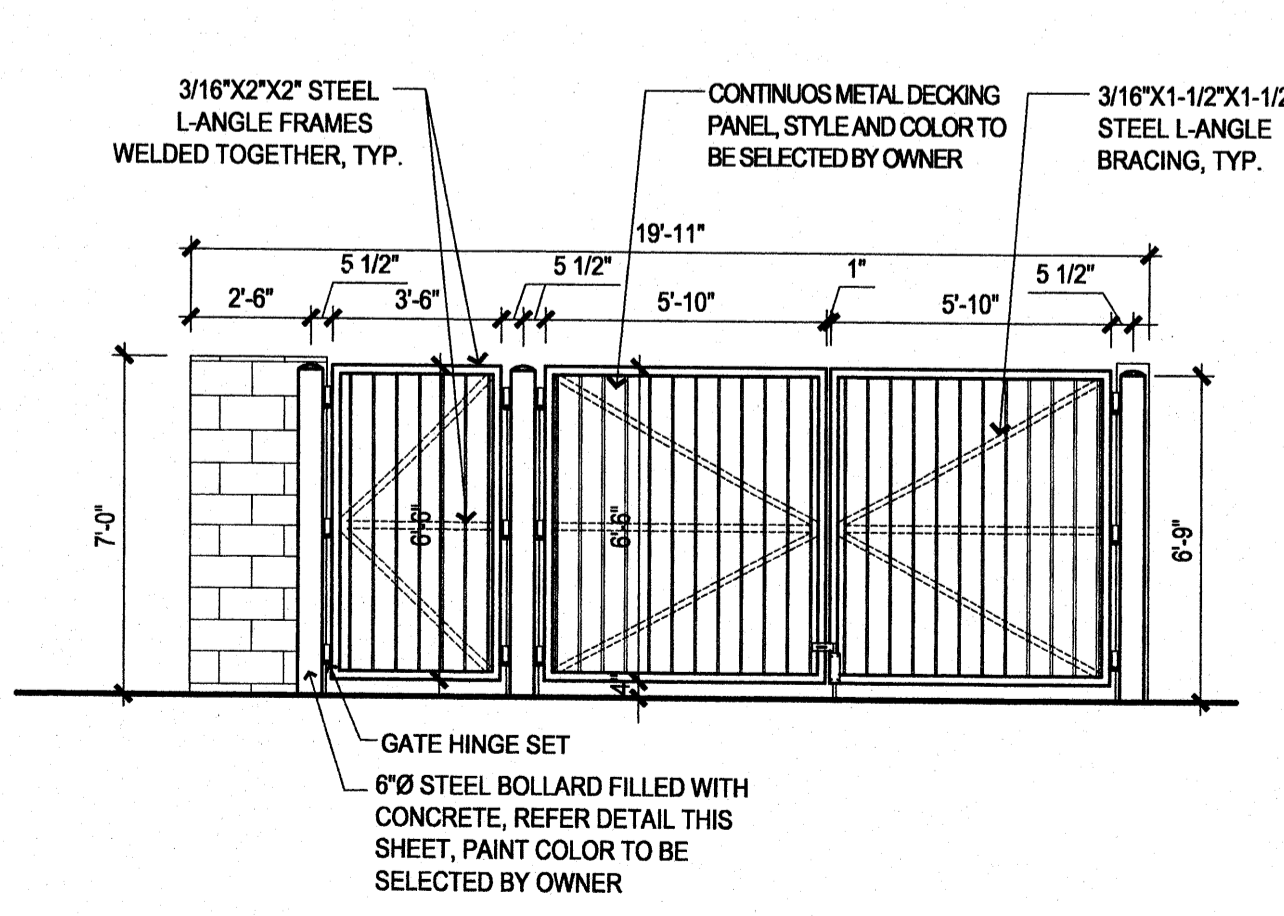
B3 H.C. ACCESSIBLE CONCRETE RAMP DETAIL 1/2" = 1'-0"



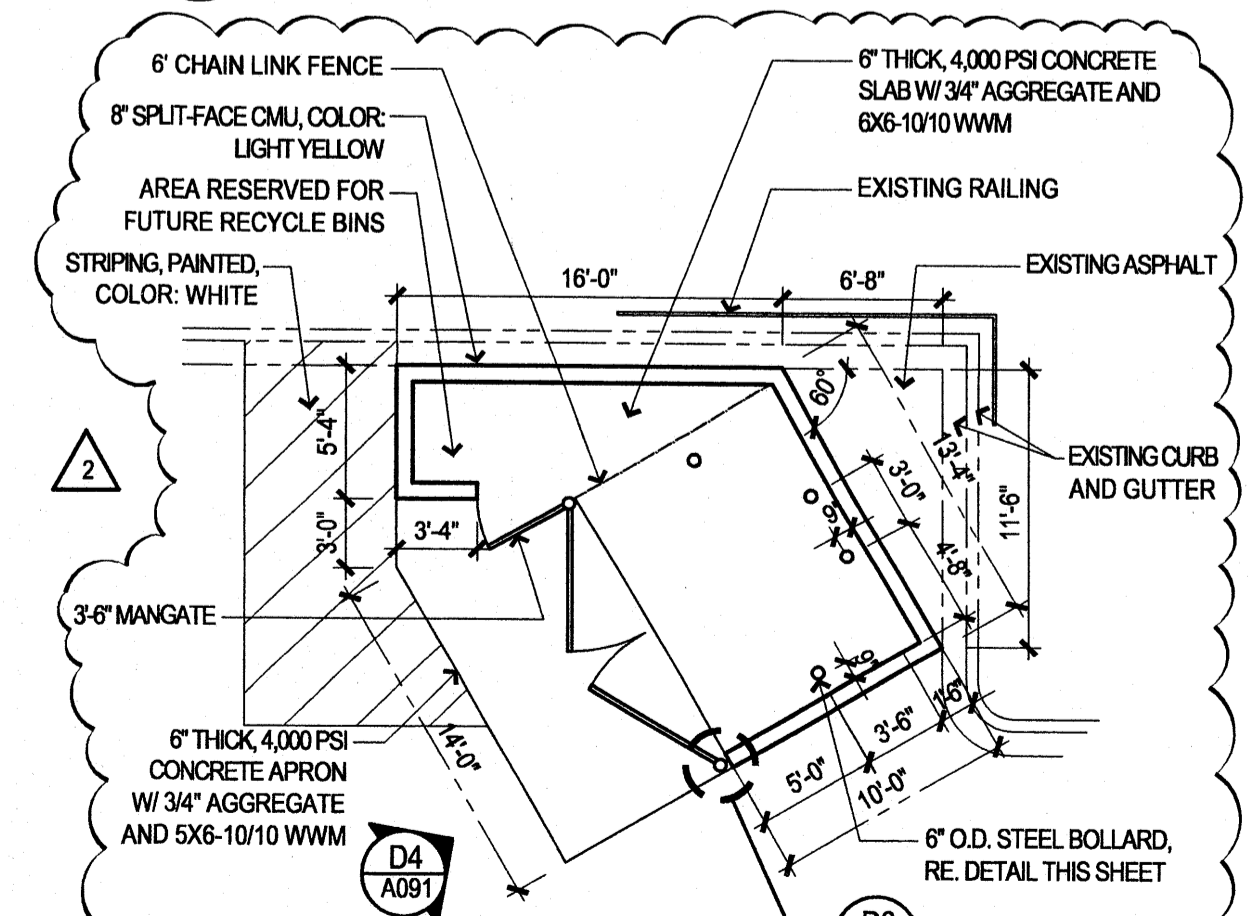
C3 BIKE RACK 1/2" = 1'-0"



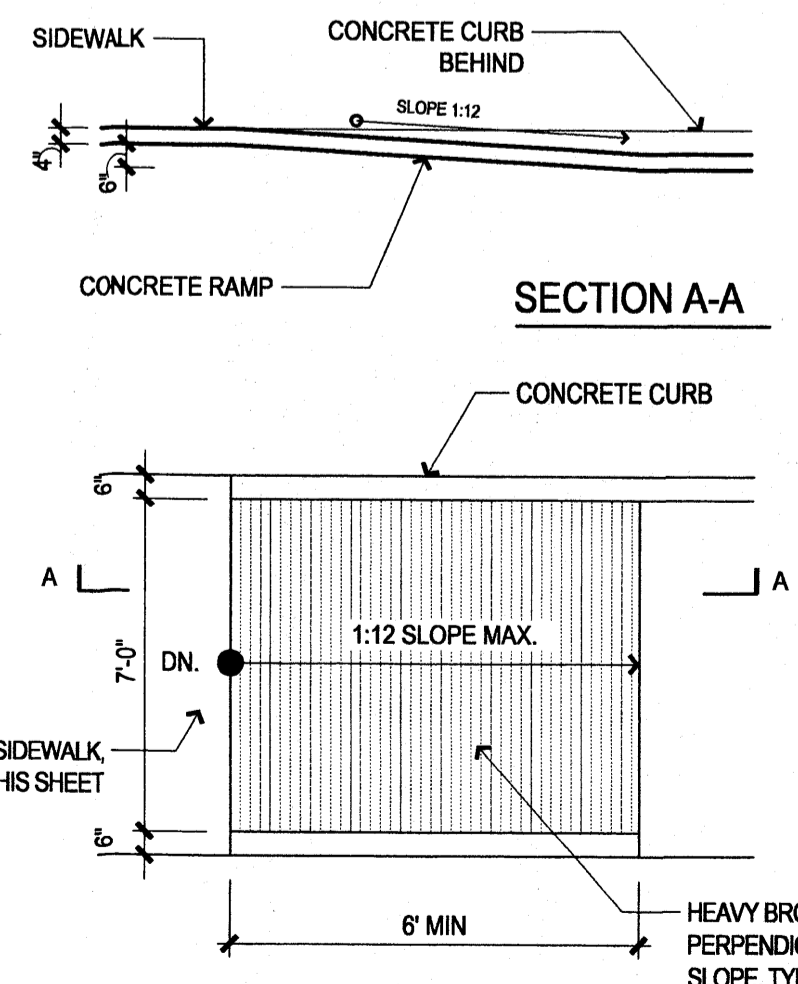
C4 POLE MOUNTED H.C. SIGNAGE DETAIL 1/2" = 1'-0"



C5 POLE MOUNTED H.C. SIGNAGE DETAIL 1/2" = 1'-0"

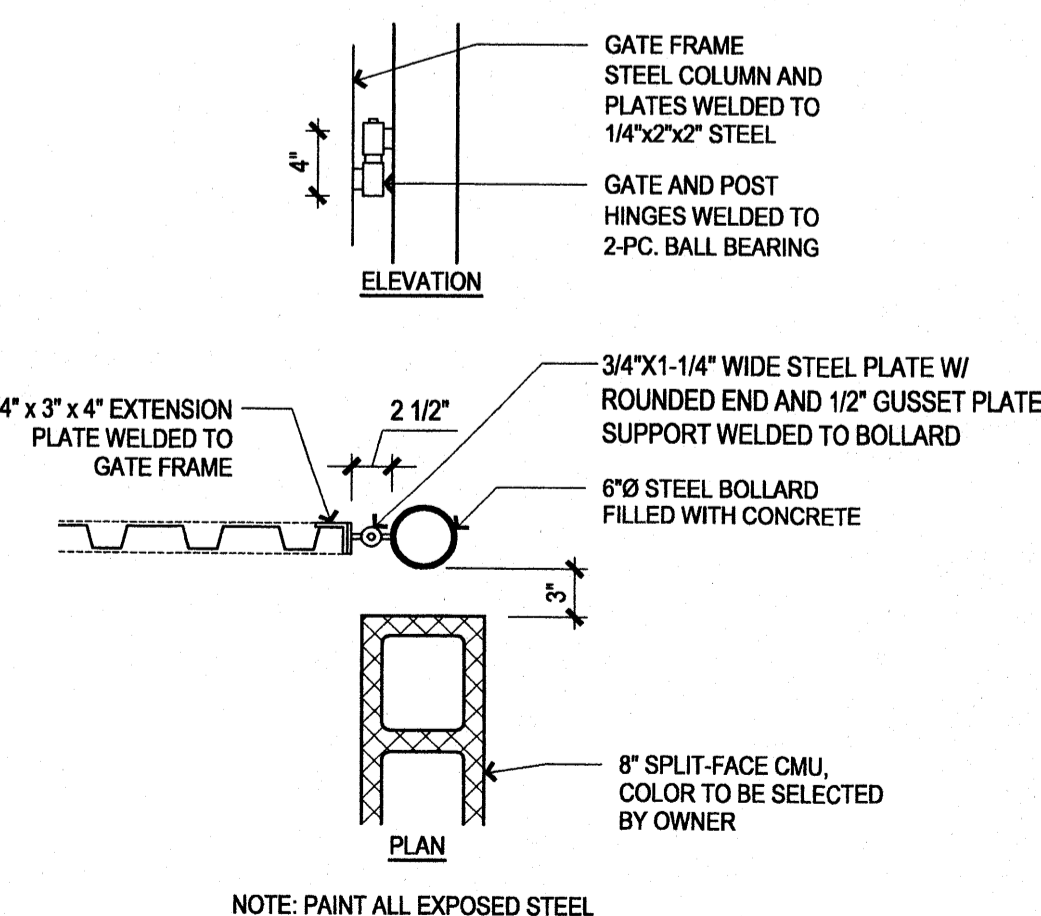


NOTES:  
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.  
2. CONSTRUCT PER A.D.A. STANDARDS

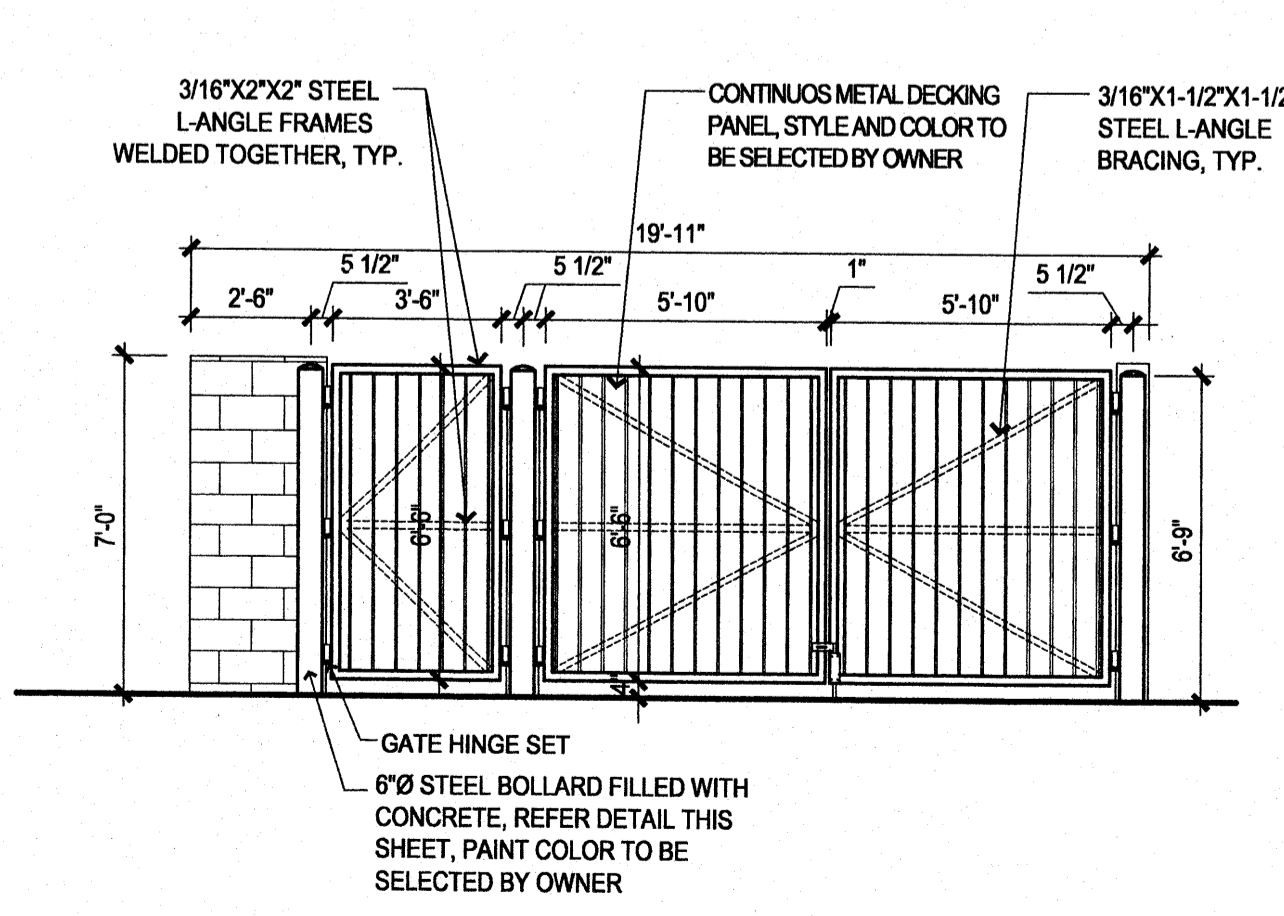


D1 ACCESSIBLE RAMP CONDITIONS DETAIL NTS

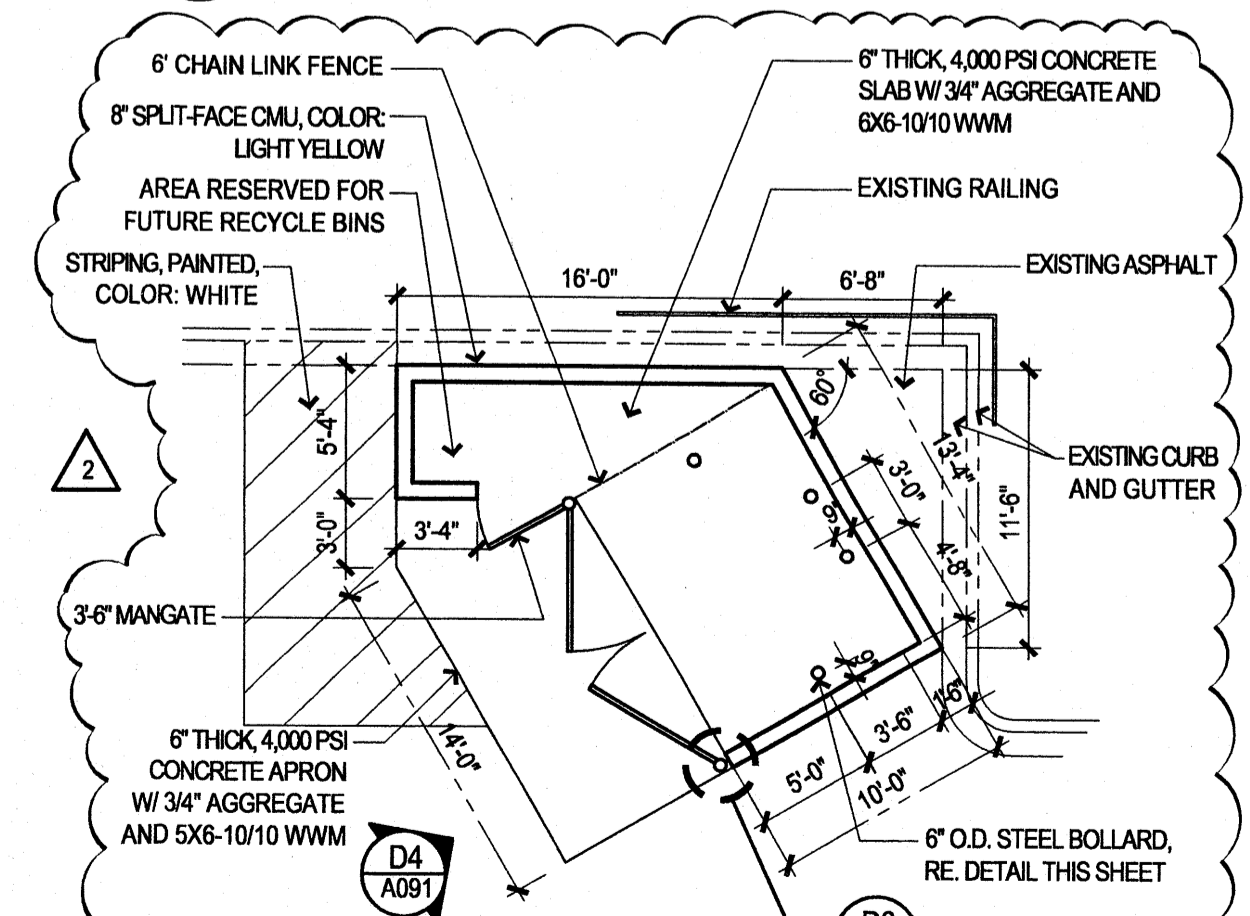
D3 COLUMN DETAIL at GATES 1" = 1'-0"



D4 TRASH ENCLOSURE GATE DETAIL 1/4" = 1'-0"



D5 TRASH ENCLOSURE ENLARGED PLAN 1/8" = 1'-0"



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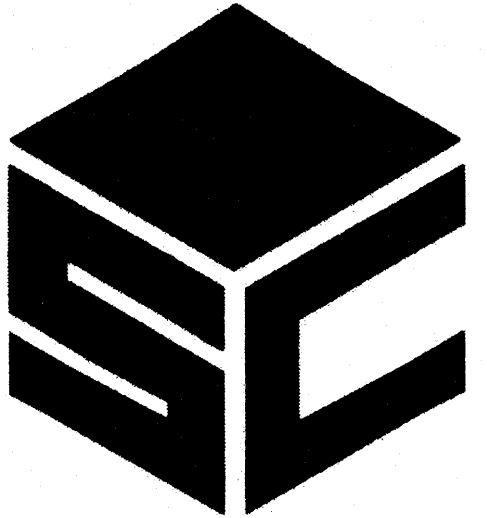
**GENERAL NOTES**

- A. BUILDING MOUNTED SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 OF THE ZONING CODE
- B. ROOF COLOR AND MATERIAL: SINGLE PLY TPO ROOF MEMBRANE, COLOR: WHITE

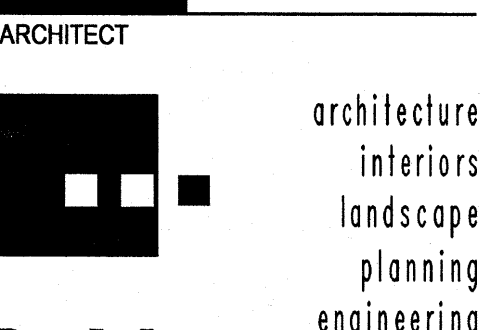
**KEYED NOTES**

1. SIGNAGE, 1'-9" HIGH ACRYLIC LETTERS, FONT: TBD, COLOR: GRAY LEADER BOX AND DOWNSPOUT, PAINTED, COLOR TO MATCH ADJACENT STUCCO OR CMU
2. KNOX BOX, MOUNTED AT 6'-0" A.F.F., MODEL #3266 WITH TAMPER SWITCH, COLOR: BRONZE
3. LIGHT FIXTURE, RE. ELECTRICAL ACRYLIC IMPREGNATED EXPANDING FOAM SEALANT, SILICONE EXTERNAL WEATHER FACING, FIELD APPLIED CORNER BEADS, CONT. ALL AROUND, CUSTOM COLOR TO MATCH ADJACENT STUCCO OR CMU
4. "Y" INSIGNIA, STUCCO OVER 2" FOAM, RE. C1/A091
5. DOOR AS SCHEDULED
6. GLAZING AS SCHEDULED, CLEAR ANODIZED ALUMINUM FRAME WITH LIGHT GRAY GLAZING
7. PREMISE ID SIGNAGE, 12" HIGH ACRYLIC LETTERS, COLOR: GRAY WROUGHT IRON FENCING, RE. ARCH DETAIL FOR MORE INFORMATION
8. PIPE HAND RAILING
9. METAL PARAPET CAP, PAINTED, COLOR TO MATCH ADJACENT CMU

GENERAL CONTRACTOR



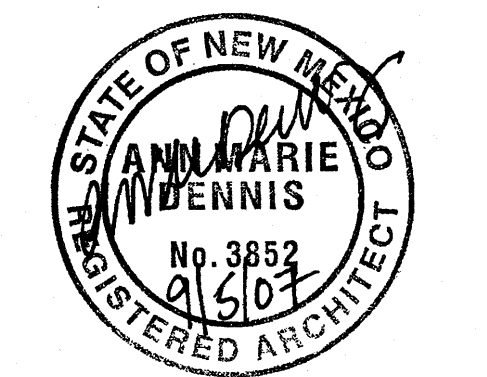
ARCHITECT



architecture  
interiors  
landscape  
planning  
engineering

**Dekker Perich Sabatini**  
7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

PROJECT



**MCLEOD MOUNTAINSIDE YMCA**  
12500 Comanche NE  
Albuquerque, NM 87111

**LEGEND**

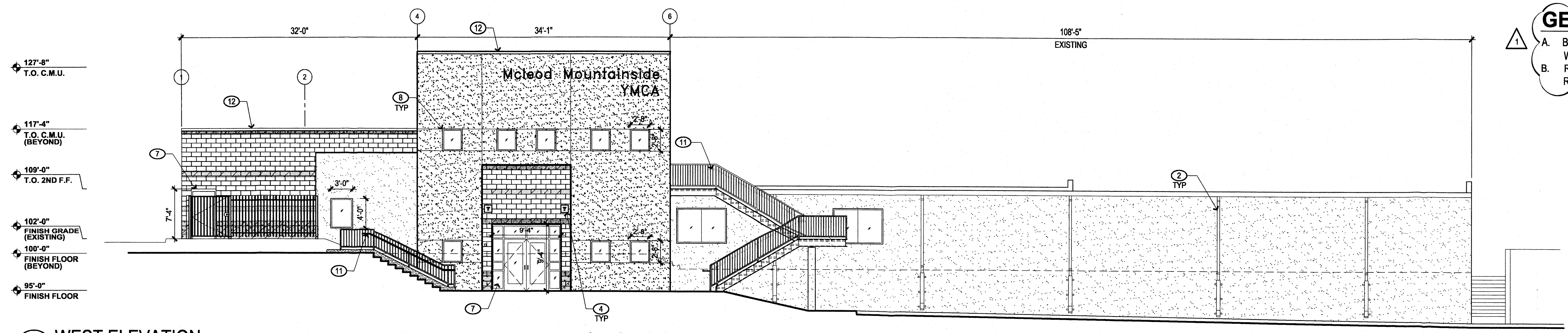
- CMU #1 - 8" SPLIT FACE  
COLOR: LIGHT YELLOW
- CMU #2 - 8" SPLIT FACE  
COLOR: OFF-WHITE
- CMU #3 - 8" SMOOTH FACE  
COLOR: ORANGE RED
- CMU #4 - 8" SMOOTH FACE  
COLOR: DARK BROWN
- STUCCO #1 - 2 COAT STUCCO SYSTEM  
OVER 8" CMU, COLOR:  
ORANGE RED
- STUCCO #2 - 2 COAT STUCCO SYSTEM  
OVER 8" CMU, COLOR:  
LIGHT TAN

REVISIONS

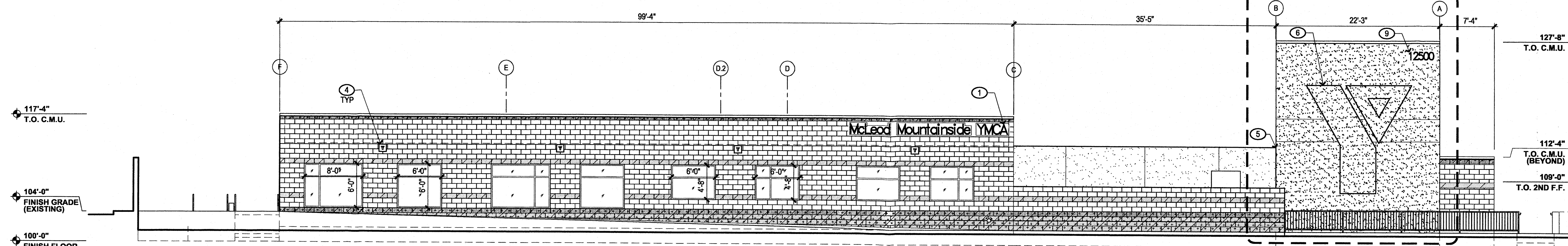
1	9/14/07	EPC COMMENT REVISION
2	12/5/07	DESIGN MODIFICATIONS
3	12/13/07	EPC COMMENT REVISION

DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE \_\_\_\_\_  
PROJECT NO. 07060  
DRAWING NAME \_\_\_\_\_

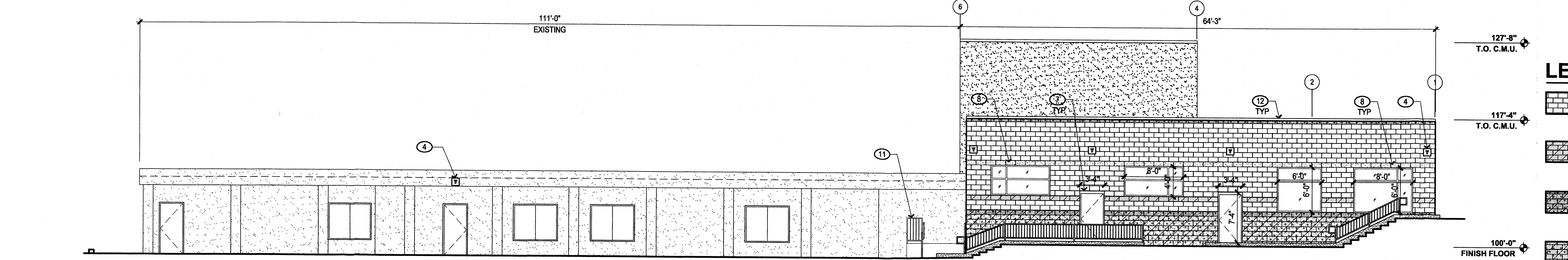
**SITE DEVELOPMENT  
PLAN FOR BUILDING  
PERMIT (ELEVATIONS)**



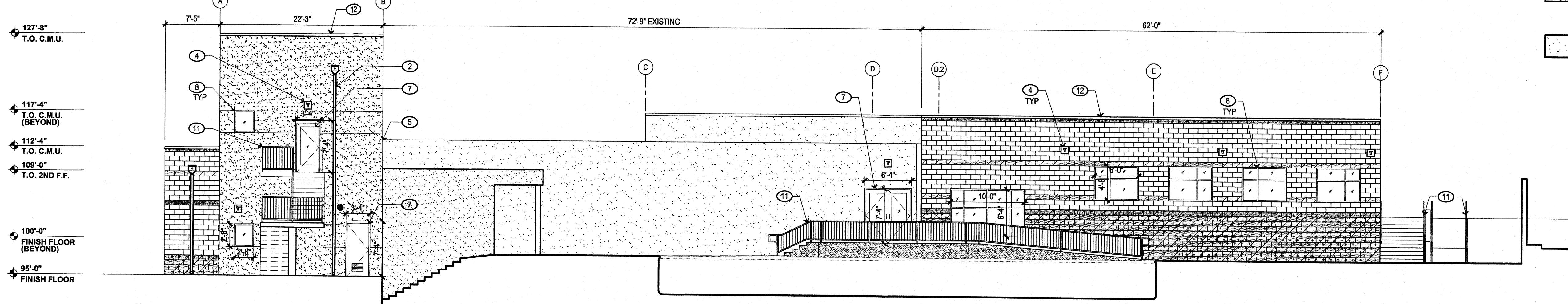
**1 WEST ELEVATION**  
LOOKING EAST



**2 NORTH ELEVATION**  
LOOKING SOUTH

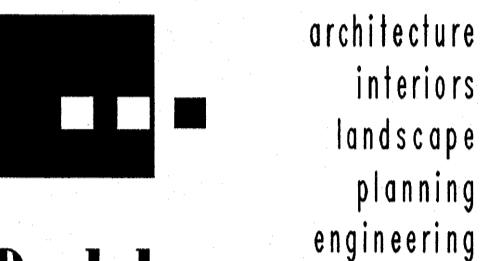
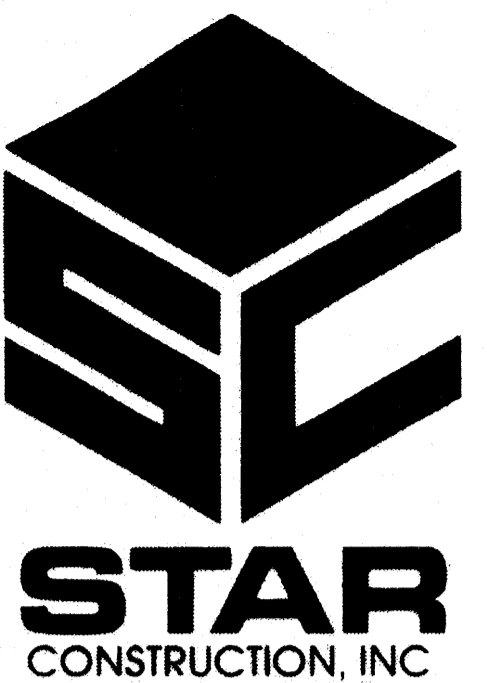


**3 EAST ELEVATION**  
LOOKING WEST



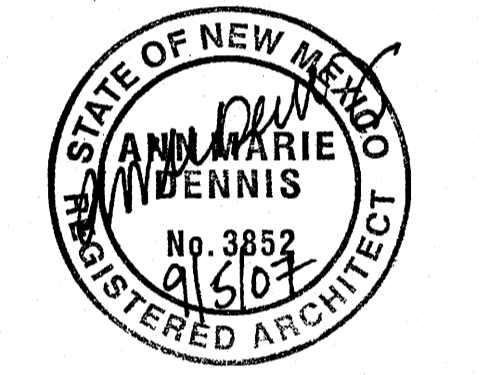
**4 SOUTH ELEVATION**  
LOOKING NORTH

© 07/06/11 MCA, McLeod MountainSide YMCAs, EPC, Current, 2/25/2008 3:47:48 PM, jpm



Dekker Perich Sabatini

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org



MCLEOD  
MOUNTAINSIDE YMCA  
12500 Comanche NE  
Albuquerque, NM 87111

REVISIONS	
▲ 12/13/07	EPC COMMENT REVISION
▲	

DRAWN BY	
REVIEWED BY	
DATE	12/5/07
PROJECT NO.	07060
DRAWING NAME	

SITE DEVELOPMENT  
PLAN FOR BUILDING  
PERMIT (ELEVATIONS)

### GENERAL NOTES

- A. BUILDING MOUNTED SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 OF THE ZONING CODE
- B. ROOF COLOR AND MATERIAL: SINGLE PLY TPO ROOF MEMBRANE, COLOR: WHITE

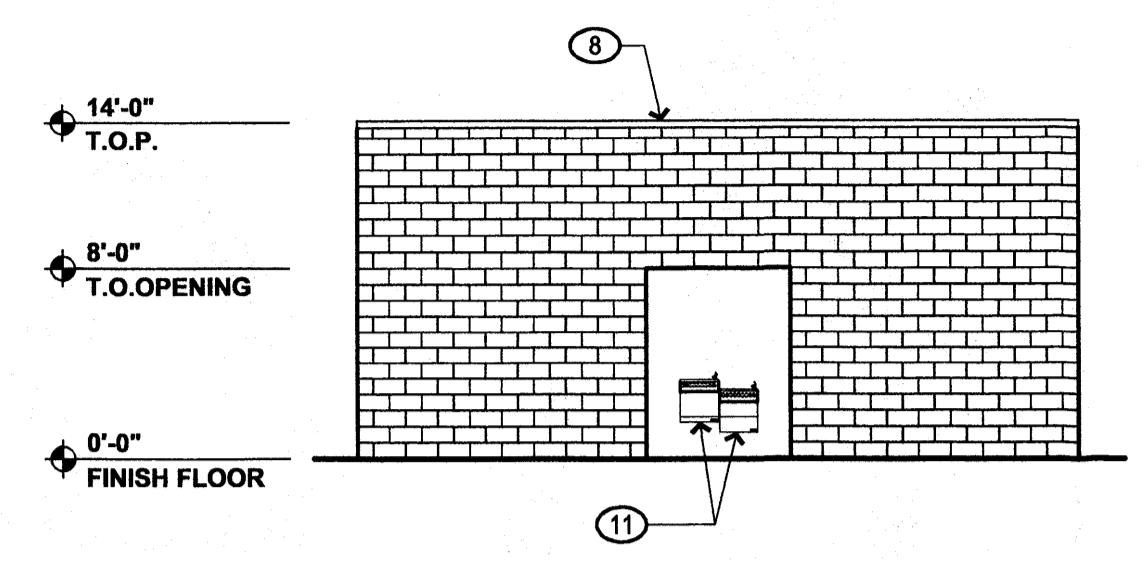
### KEYED NOTES

1. LIGHT FIXTURE, RE. ELECTRICAL
2. DOOR IN CLEAR ANODIZED ALUMINUM FRAME WITH LIGHT GRAY GLAZING
3. HOLLOW METAL DOOR
4. GLAZING IN CLEAR ANODIZED ALUMINUM FRAME, COLOR: LIGHT GRAY
5. 2 COAT STUCCO SYSTEM
6. WROUGHT IRON FENCING
7. PIPE HAND RAILING
8. METAL PARAPET CAP, PAINT, COLOR: TO MATCH ADJACENT STUCCO OR CMU
9. METAL CANOPY
10. LEADER BOX DOWNSPOUT, PAINTED, COLOR TO MATCH ADJACENT STUCCO OR CMU
11. DRINKING FOUNTAIN
12. 24 GA. DOWNSPOUT OUTLET, PAINT, COLOR: TO MATCH PRE-FINISHED METAL SIDING

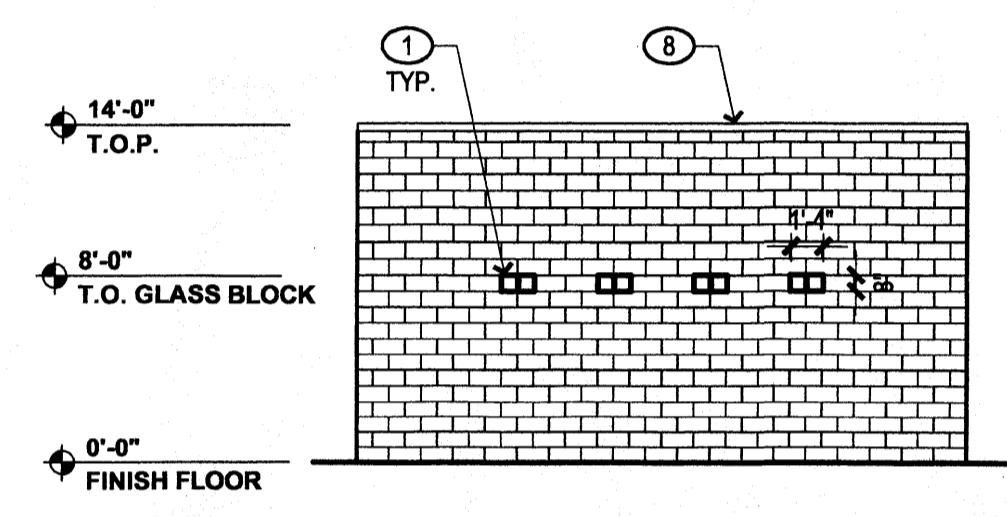
13. PRE-FINISHED METAL SIDING, COLOR: OFF-WHITE, NON-REFLECTIVE
14. 4' CHAINLINK EQUIPMENT SCREEN FENCE AND GATE WITH PRIVACY SLATS, COLOR: OFF-WHITE, NON-REFLECTIVE

### LEGEND

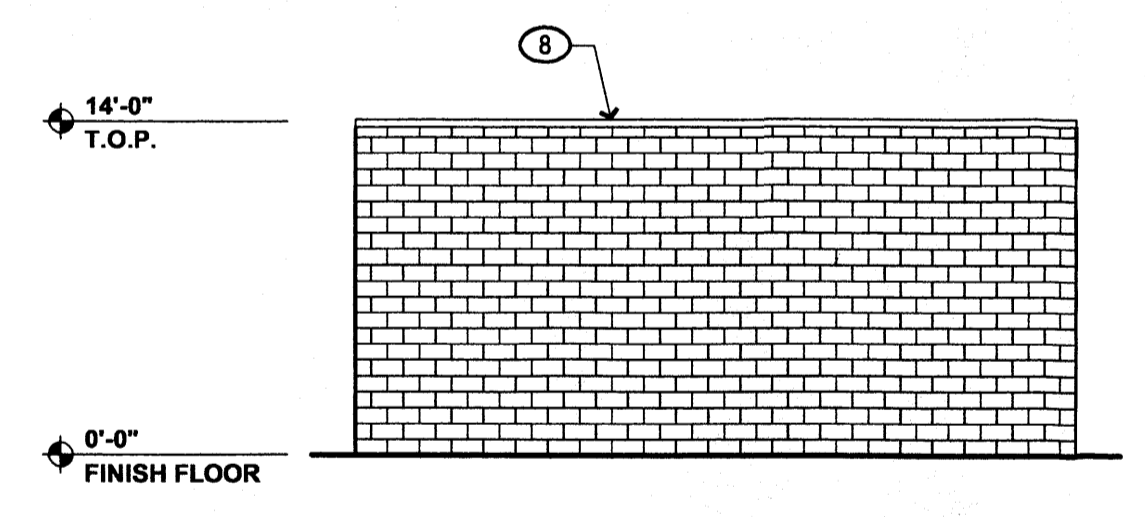
- CMU #1 - 8" SMOOTH FACE  
COLOR: LIGHT YELLOW
- STUCCO #1 - 2 COAT STUCCO SYSTEM  
OVER 8" CMU, COLOR: ORANGE RED



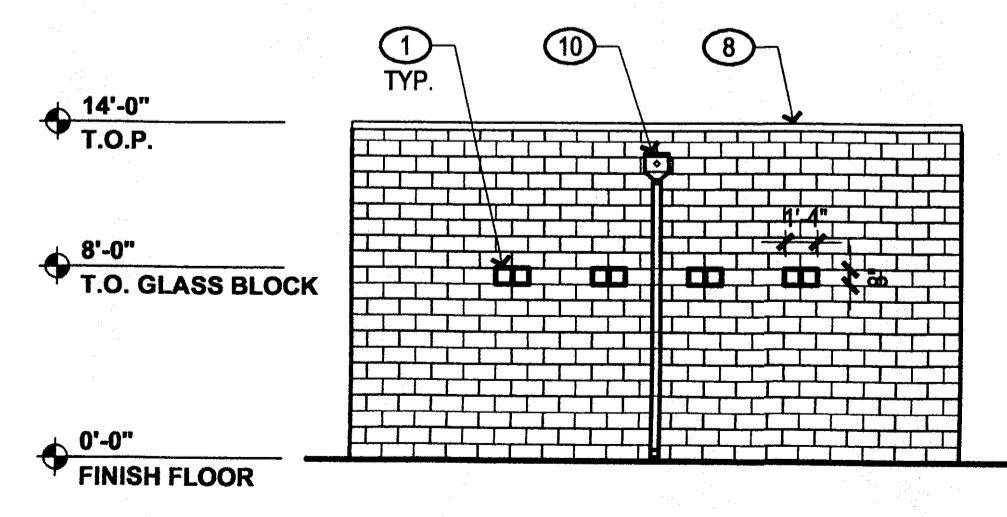
1 WEST ELEVATION - CABANA  
LOOKING EAST 1/8" = 1'-0"



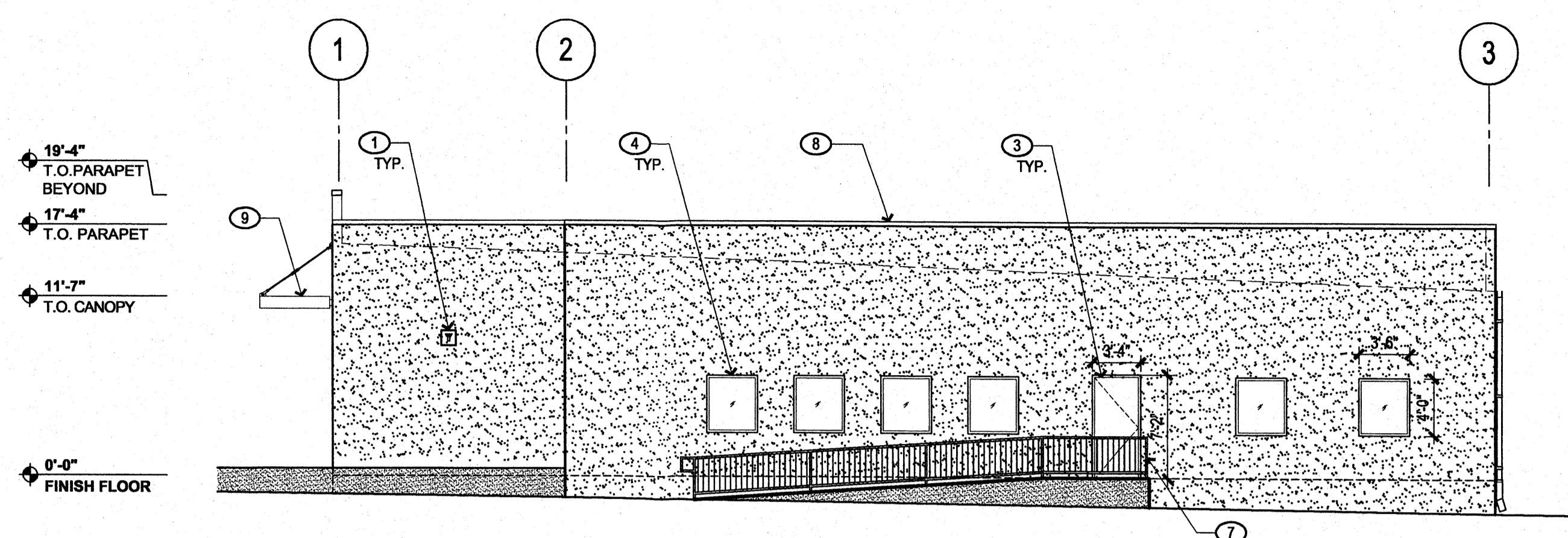
2 NORTH ELEVATION - CABANA  
LOOKING SOUTH 1/8" = 1'-0"



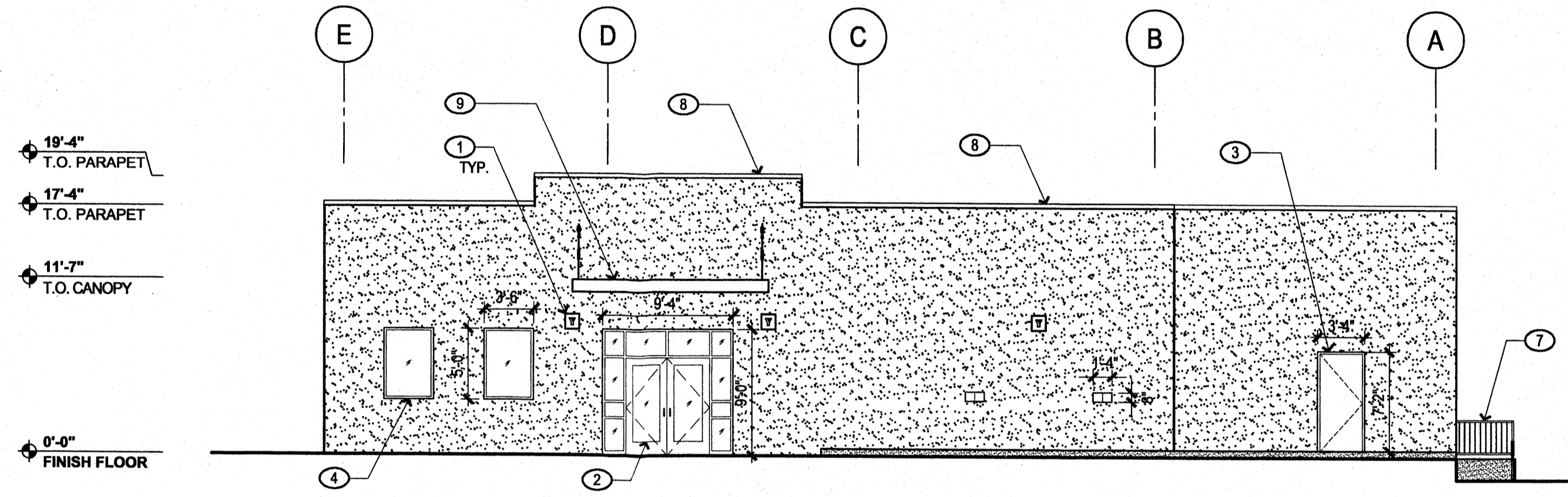
3 EAST ELEVATION - CABANA  
LOOKING WEST 1/8" = 1'-0"



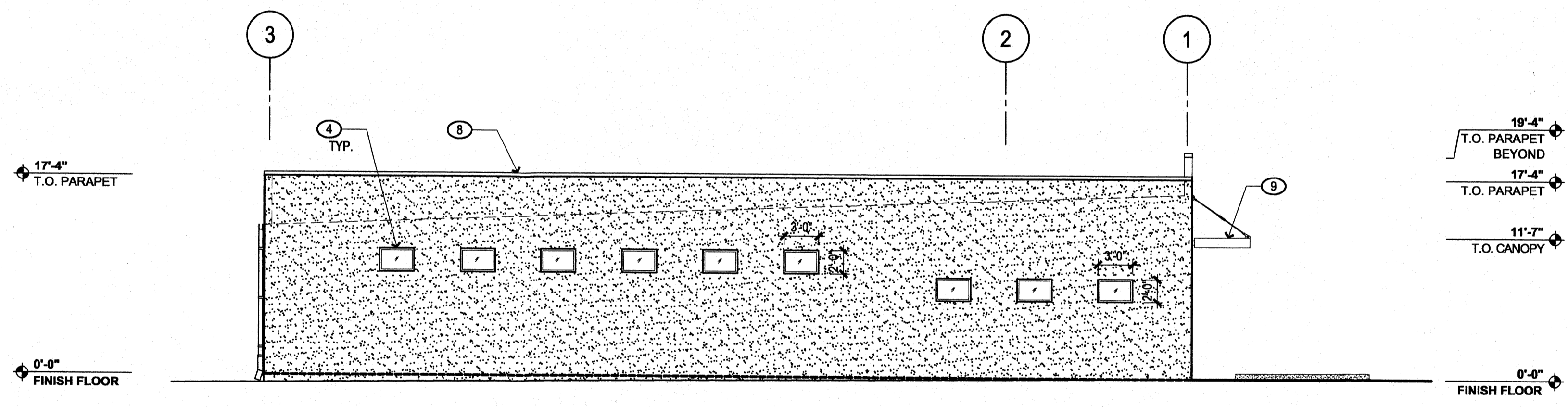
4 SOUTH ELEVATION - CABANA  
LOOKING NORTH 1/8" = 1'-0"



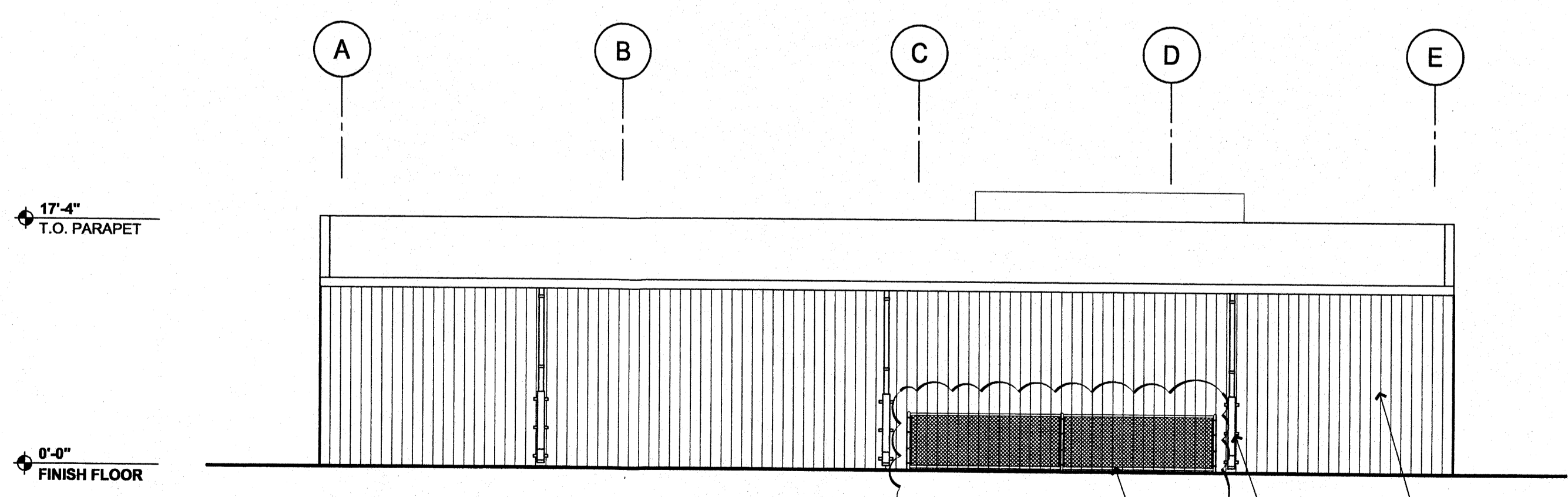
5 WEST ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING EAST 1/8" = 1'-0"



6 NORTH ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING SOUTH 1/8" = 1'-0"



7 EAST ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING WEST 1/8" = 1'-0"



8 SOUTH ELEVATION - PRE-SCHOOL / MULTI-PURPOSE BUILDING  
LOOKING NORTH 1/8" = 1'-0"