



**DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL**

**PROJECT NO.** \_\_\_\_\_  
**Application No.** \_\_\_\_\_

**TO:**

- \_\_\_ Kym Dicome, DRB Chair, Planning Department
- \_\_\_ James Hughes, P.E., Hydrology
- \_\_\_ Racquel Michel, P.E., Transportation Development
- \_\_\_ Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA
- \_\_\_ Ben McIntosh, Code Enforcement
- \_\_\_ Jason Coffey, Parks/Municipal Development

**NOTE: PDF Required**  
**\*(Please attach this sheet with each collated set per board member)**

**NEXT HEARING DATE:** \_\_\_\_\_

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

**SUBMITTAL DESCRIPTION:** \_\_\_\_\_

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**CONTACT NAME:** \_\_\_\_\_

**TELEPHONE:** \_\_\_\_\_ **EMAIL:** \_\_\_\_\_

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**DEL WEBB AT MIREHAVEN PHASE 3 & 4  
 (TRACT M AND TRACT N-2-A-1, WATERSHED)**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b><u>PUBLIC WATERLINE IMPROVEMENTS-PHASE 3A</u></b>									
		8" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WILLOW CANYON TRAIL	PHASE 3A/4 BOUNDARY	NORTH BOUNDARY	/	/	/
		10" DIA (3WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WILLOW CANYON TRAIL	ECHO CANYON LANE	NORTH BOUNDARY	/	/	/
		6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	ROCK CREEK TRAIL	WOOD CREEK LANE	SUGAR CREEK LANE	/	/	/
		6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUGAR CREEK LANE	PHASE 3A/ 3B BOUNDARY	WILLOW CANYON TRAIL	/	/	/
		4" DIA (3WR)	WATERLINE W/ NEC. VALVES , MJ'S & RJ'S	SUGAR CREEK LANE	5' PAST EAST PROPERTY LINE OF LOT 43	WILLOW CANYON TRAIL	/	/	/
		6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CRYSTAL CREEK LANE	ROCK CREEK TRAIL	WILLOW CANYON TRAIL	/	/	/
		8" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	ECHO CANYON LANE	WILLOW CANYON TRAIL	MIREHAVEN PARKWAY	/	/	/
		10" DIA (3WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	ECHO CANYON LANE	WILLOW CANYON TRAIL	MIREHAVEN PARKWAY	/	/	/
		6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WOOD CREEK LANE	PHASE 3A/ 3B BOUNDARY	WILLOW CANYON TRAIL	/	/	/
							/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b><u>PUBLIC SANITARY SEWER IMPROVEMENTS -PHASE 3A</u></b>									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WILLOW CANYON TRAIL	PHASE 3A/ 4 BOUNDARY	NORTH BOUNDARY	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	ROCK CREEK TRAIL	LOT 83	SUGAR CREEK LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUGAR CREEK LANE	PHASE 3A/ 3B BOUNDARY	WILLOW CANYON TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CRYSTAL CREEK LANE	LOT 57	WILLOW CANYON TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WOOD CREEK LANE	PHASE 3A/ 3B BOUNDARY	WILLOW CANYON TRAIL	/	/	/

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC STORM DRAIN IMPROVEMENTS-PHASE 3A</b>				
18-42** DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	WILLOW CANYON TRAIL	PHASE 3A/ 4 BOUNDARY	LOT 21
18-30** DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	SUGAR CREEK LANE	LOT 35	WILLOW CANYON TRAIL
	POND	LINEAR PARK		
NOTES:	A GRADING AND DRAINAGE CERTIFICAION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTY			
	ALL SLOPES ON HOA TRACTS TO BE STABILIZED BY NATIVE SEED AND MULCH PER STD SPEC 1012 WITH GRAVEL MULCH OR BETTER			
	* ACTUAL SIZE TO BE DETERMINED BY HGL AT DRC			

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PRIVATE ROADWAY IMPROVEMENTS - ON-SITE PHASE 3A</b>				
32' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	WILLOW CANYON TRAIL	PHASE 3A/ 4 BOUNDARY	NORTH BOUNDARY
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	ROCK CREEK TRAIL	WOOD CREEK LANE	SUGAR CREEK LANE
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	SUGAR CREEK LANE	PHASE 3A/ 3B BOUNDARY	WILLOW CANYON TRAIL
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	CRYSTAL CREEK LANE	ROCK CREEK TRAIL	WILLOW CANYON TRAIL
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	WOOD CREEK LANE	PHASE 3A/ 3B BOUNDARY	WILLOW CANYON TRAIL
36' F-F 6' MEDIAN 15' INGRESS 15' EGRESS	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK†* ON S SIDE ONLY	ECHO CANYON LANE	WILLOW CANYON TRAIL	MIREHAVEN PARKWAY
6'	TRAIL	BETWEEN LOTS 33 & 34	SUGAR CREEK LANE	NORTH BOUNDARY
NOTE:	STREET LIGHTS AS REQUIRED PER THE COA DPM			
	*ALL SIDEWALKS TO BE DEFERRED ALONG FRONTAGE OF LOTS			
	†SIDEWALK TO BE WAIVED ON: 1) NORTHSIDE OF ECHO CANYON LANE			
	**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC			

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC WATERLINE IMPROVEMENTS-PHASE 3B</b>				
6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	PEBBLE CREEK TRAIL	WOOD CREEK LANE	SUGAR CREEK LANE
8" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CEBOLLA CREEK WAY	PHASE 3B/ 4 BOUNDARY	NORTH BOUNDARY
6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUGAR CREEK LANE	CEBOLLA CREEK WAY	PHASE 3A/ 3B BOUNDARY
6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WOOD CREEK LANE	CEBOLLA CREEK WAY	PHASE 3A/ 3B BOUNDARY

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC SANITARY SEWER IMPROVEMENTS -PHASE 3B</b>				
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	PEBBLE CREEK TRAIL	LOT 123	WOODCREEK LANE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CEBOLLA CREEK WAY	LOT 99	NORTH BOUNDARY
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUGAR CREEK LANE	LOT 144	PHASE 3A/ 3B BOUNDARY
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WOOD CREEK LANE	LOT 98	PHASE 3A/ 3B BOUNDARY

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC STORM DRAIN IMPROVEMENTS-PHASE 3B</b>				
	INLET	SUGAR CREEK LANE	ON PHASE 3A/3B BOUNDARY	
	DRAINAGE STRUCTURE TO BE LOCATED AT NATURAL LOWPOINTS ON WESTERN MONUMENT BOUNDARY WHERE A WALL IS TO BE CONSTRUCTED			
NOTE:	A GRADING AND DRAINAGE CERTIFICAITON OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTY			
	ALL SLOPES ON HOA TRACTS TO BE STABILIZED BY NATIVE SEED AND MULCH PER STD SPEC 1012 WITH GRAVEL MULCH OR BETTER			

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PRIVATE ROADWAY IMPROVEMENTS - OFFSITE PHASE 3B</b>				
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK†* ON BOTH SIDES	PEBBLE CREEK TRAIL	WOOD CREEK LANE	SUGAR CREEK LANE
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE TRAIL ON WEST SIDE	CEBOLLA CREEK WAY	PHASE 3B/ 4 BOUNDARY	NORTH BOUNDARY
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	SUGAR CREEK LANE	CEBOLLA CREEK WAY	PHASE 3A/ 3B BOUNDARY
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	WOOD CREEK LANE	CEBOLLA CREEK WAY	PHASE 3A/ 3B BOUNDARY
NOTE:	STREET LIGHTS AS REQUIRED PER THE COA DPM			
*ALL SIDEWALKS TO BE DEFERRED ALONG FRONTAGE OF LOTS				
**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC				

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC WATERLINE IMPROVEMENTS-PHASE 4</b>				
8" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WILLOW CANYON TRAIL	COUGAR CREEK LANE	PHASE 3A/ 4 BOUNDARY
6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BUFFALO BROOK WAY	COUGAR CREEK LANE	LOST CREEK WAY
6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	GNEISS TRAIL	COUGAR CREEK LANE	LOST CREEK WAY
8" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CEBOLLA CREEK WAY	COUGAR CREEK LANE	PHASE 3B/ 4 BOUNDARY
6" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	LOST CREEK WAY	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL
8" DIA (4W)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	COUGAR CREEK LANE	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC SANITARY SEWER IMPROVEMENTS -PHASE 4</b>				
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WILLOW CANYON TRAIL	COUGAR CREEK LANE	PHASE 3A/ 4 BOUNDARY
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	BUFFALO BROOK WAY	LOT 67	COUGAR CREEK LANE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	BUFFALO BROOK WAY	LOT 68	LOST CREEK WAY
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	GNEISS TRAIL	LOT 52	COUGAR CREEK LANE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	GNEISS TRAIL	LOT 53	LOST CREEK WAY
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CEBOLLA CREEK WAY	LOT 42	COUGAR CREEK LANE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	LOST CREEK WAY	LOT 41	WILLOW CANYON TRAIL
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	COUGAR CREEK LANE	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC STORM DRAIN IMPROVEMENTS-PHASE 4</b>				
24** DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	STORM DRAIN EASEMENT BETWEEN LOTS 16 & 17	WILLOW CANYON TRAIL	MIREHAVEN PARKWAY
	SWALE	LINEAR PARK	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL
	DRAINAGE STRUCTURE TO BE LOCATED AT NATURAL LOWPOINTS ON WESTERN MONUMENT BOUNDARY WHERE A WALL IS TO BE CONSTRUCTED			
NOTE:	A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTY			
	ALL SLOPES ON HOA TRACTS TO BE STABILIZED BY NATIVE SEED AND MULCH PER STD SPEC 1012 WITH GRAVEL MULCH OR BETTER			
	* ACTUAL SIZE TO BE DETERMINED BY HGL AT DRC			

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PRIVATE ROADWAY IMPROVEMENTS - PHASE 4</b>				
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 5' WIDE SIDEWALK ON BOTH SIDES	WILLOW CANYON TRAIL	COUGAR CREEK LANE	PHASE 3A/ 4 BOUNDARY
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	BUFFALO BROOK WAY	COUGAR CREEK LANE	LOST CREEK WAY
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	GNEISS TRAIL	COUGAR CREEK LANE	LOST CREEK WAY
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE TRAIL ON WEST SIDE	CEBOLLA CREEK WAY	COUGAR CREEK LANE	PHASE 3B/ 4 BOUNDARY

Private Inspector	City Inspector	City Cnst Engineer
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SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PRIVATE ROADWAY IMPROVEMENTS - PHASE 4 (CONTINUED)</b>				
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	LOST CREEK WAY	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES	COUGAR CREEK LANE	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL
8'	TRAIL	WEST OF LOT 1	CEBOLLA CREEK WAY	SOUTH BOUNDARY
8'	TRAIL	LINEAR PARK	CEBOLLA CREEK WAY	WILLOW CANYON TRAIL
NOTE:	STREET LIGHTS AS REQUIRED PER THE COA DPM			
*ALL SIDEWALKS TO BE DEFERRED ALONG FRONTAGE OF LOTS				
**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC				

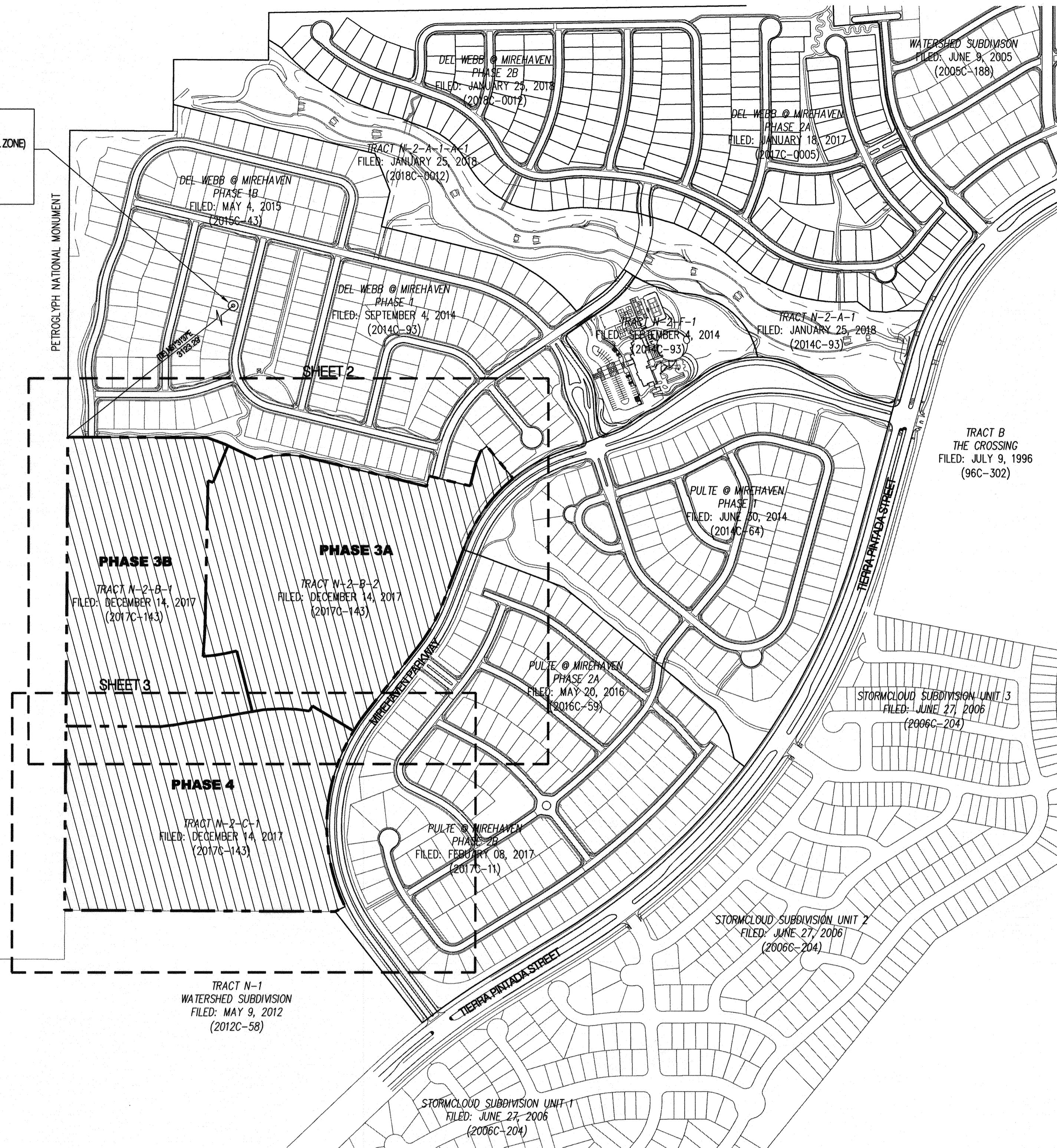
Private Inspector	City Inspector	City Cnst Engineer
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AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
YOLANDA PADILLA MOYER, P.E. PREPARED BY: PRINT NAME		DRB CHAIR	DATE	PARKS & RECREATION	DATE
BOHANNAN HUSTON INC. FIRM:		TRANSPORTATION DEVELOPMENT	DATE	AMAFCA	DATE
SIGNATURE		ABCWUA	DATE	CITY ENGINEER	DATE
MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION			DATE		DATE

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

ACS BRASS TABLE "BH 41"  
 GEOGRAPHIC POSITION (NAD 1983)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N=1,496,608.828 U.S. SURVEY FEET  
 E=1,491,701.376 U.S. SURVEY FEET  
 GROUND TO GRID FACTOR = 0.99967088  
 DELTA ALPHA = -0°17'03.70"

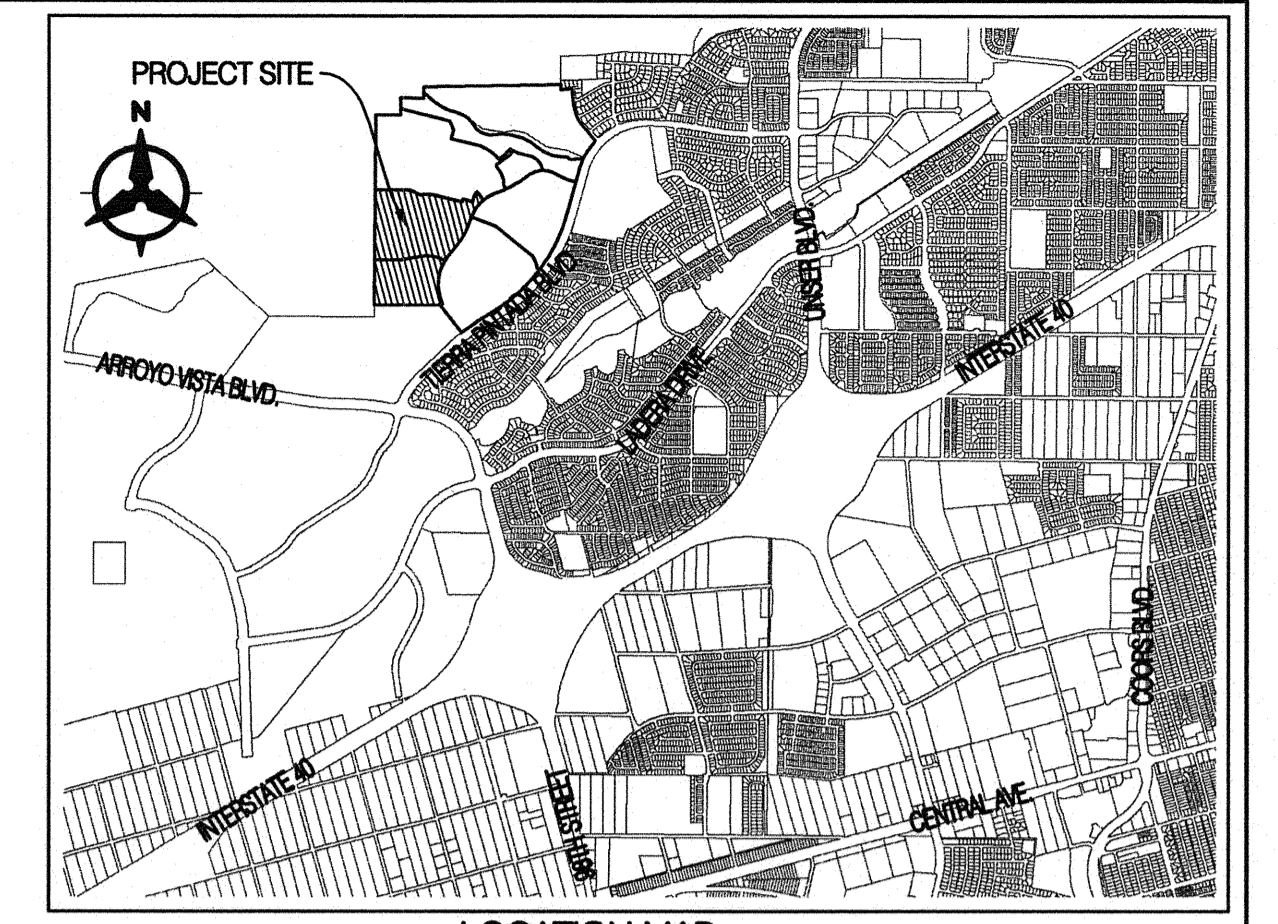
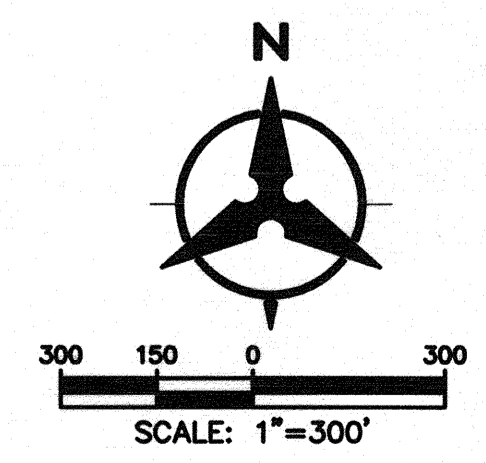


PRELIMINARY PLAT  
 DEL WEBB @ MIREHAVEN PHASE 3 AND PHASE 4  
 (REPLAT OF TRACT N-2-B-1, N-2-B-2 AND TRACT N-2-C-1)  
 ALBUQUERQUE, NEW MEXICO

APRIL, 2018

PLAT IS LOCATED WITHIN TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 8, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	PROJECT SITE



LOCATION MAP  
 SCALE: 1"=3000'  
 Zone Atlas Index Number: H-8

SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "PLOTNER, PS 14271".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 14271".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

*James M. Rimbauer, P.S.* 05/09/18  
 CITY SURVEYOR DATE

OWNER:

WESTERN ALBUQUERQUE LAND HOLDINGS LLC, A DELAWARE LIMITED LIABILITY COMPANY  
 BY: GARRETT DEVELOPMENT CORPORATION, AGENT  
 BY: *Paul E. Swartzell, LP*  
 VP

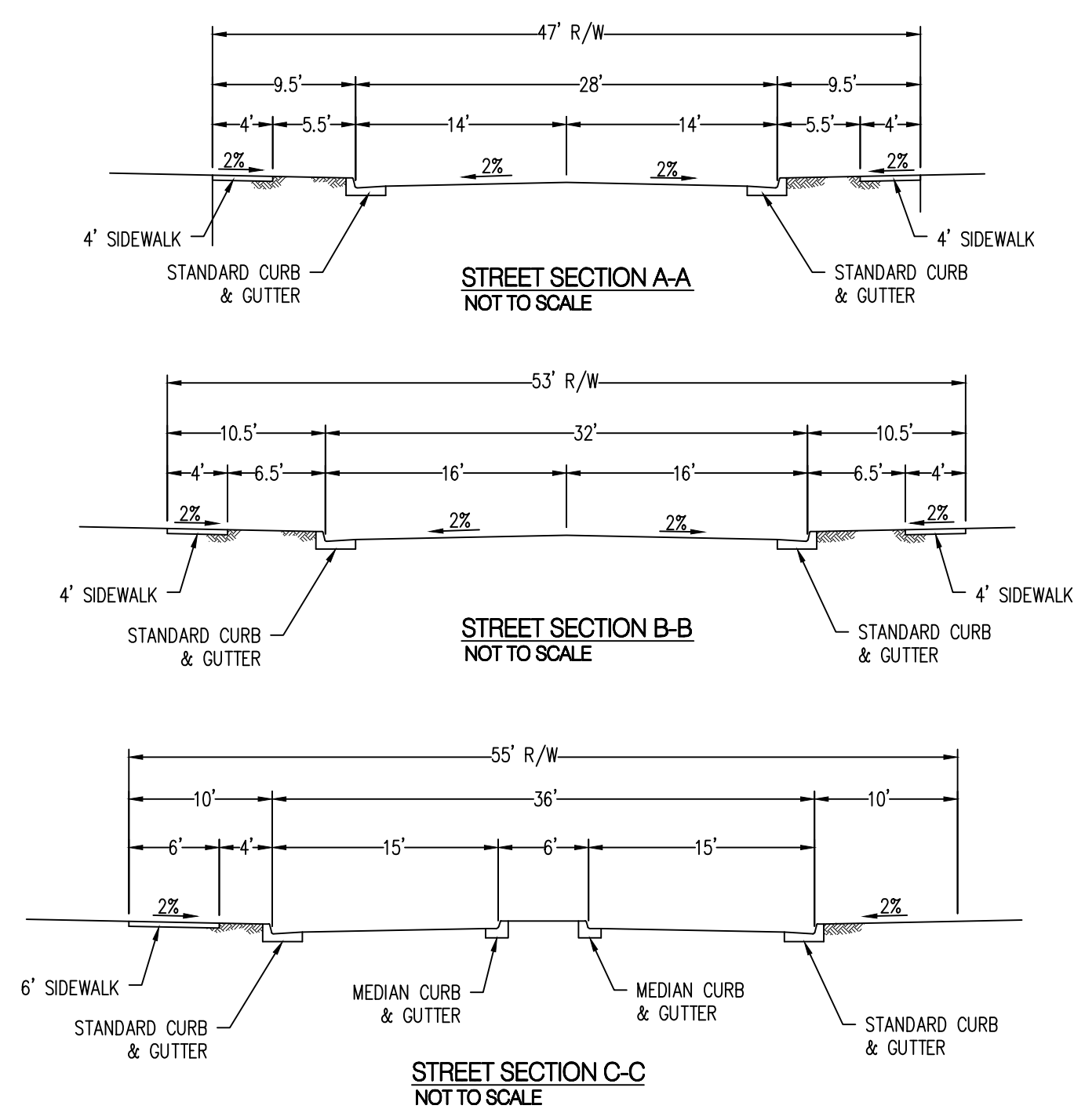
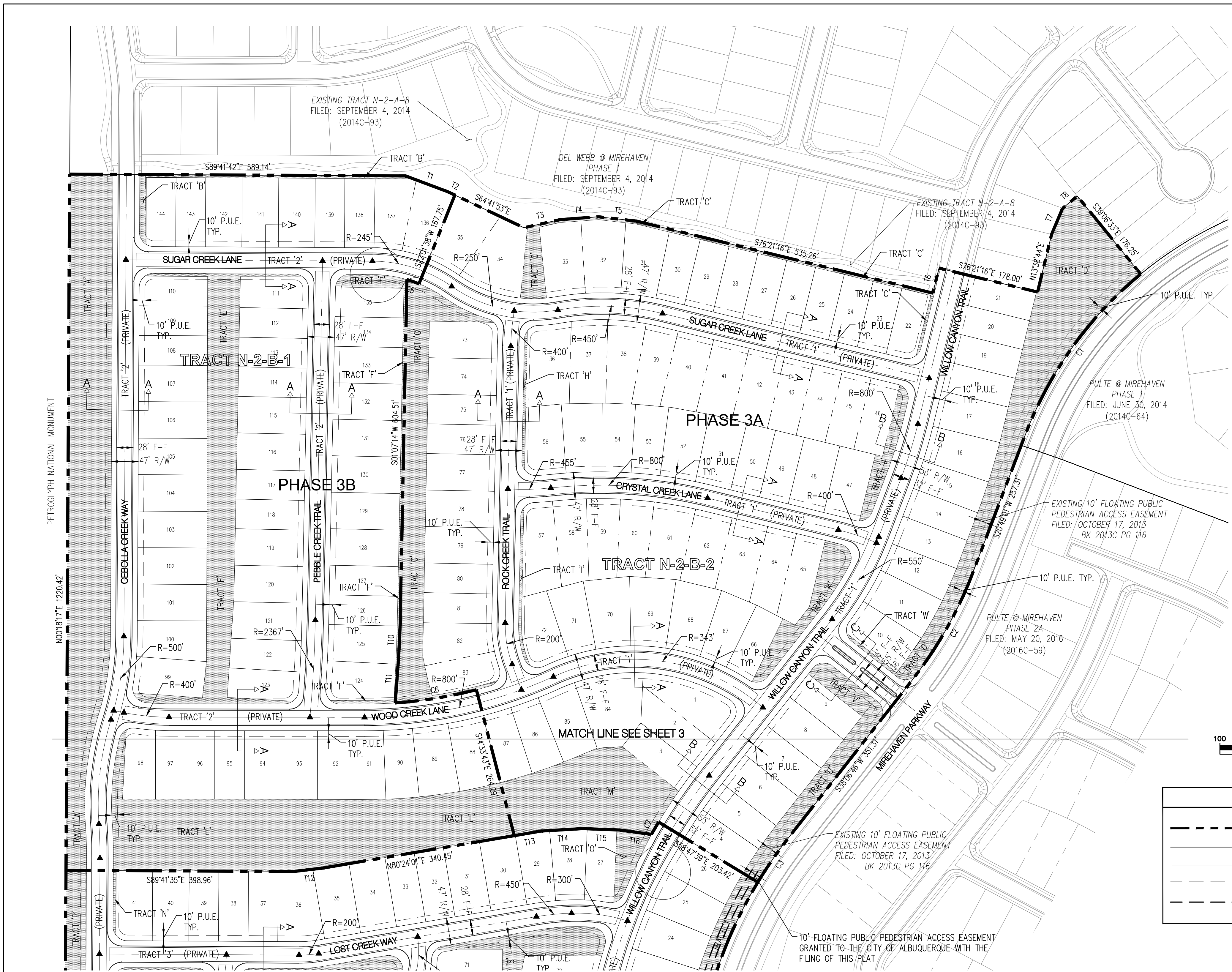
DATE: May 10, 2018

PULTE HOMES OF NEW MEXICO, INC

BY: *[Signature]*

DATE: May 8, 2018

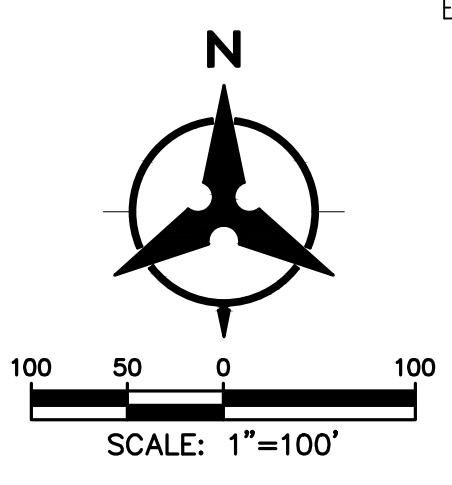




LEGAL DESCRIPTION:  
 A REPLAT OF:  
 TRACT N-2-B-1, N-2-B-2, N-2-C-1  
 WATERSHED SUBDIVISION  
 FILED: DECEMBER 14, 2017 (2017C-0143)

1. EXISTING ZONING: SEE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION  
 PROPOSED ZONING: SEE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION  
 PROPOSED RESIDENTIAL DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
2. TOTAL ACREAGE:  
 EXISTING TRACT N-2-B-1 = 17.6216 ACRES  
 EXISTING TRACT N-2-B-2 = 23.0746 ACRES  
 EXISTING TRACT N-2-C-1 = 21.1472 ACRES
3. MINIMUM LOT DIMENSIONS: 52'x115', 64'x115'  
 MINIMUM LOT AREA: 5980 S.F. 7360 S.F.
4. TRACTS 1, 2, & 3 TO BE OWNED BY THE DEL WEBB H.O.A. AND CONTAINS THE FOLLOWING BLANKET EASEMENTS:

ACREAGE:	ENCUMBERED BY EASEMENT
PHASE 3B	
TRACT 'A' = 1.8660 Acres	A
TRACT 'B' = 0.0839 Acres	B
TRACT 'E' = 0.9529 Acres	B
TRACT 'F' = 0.116 Acres	B
TRACT 'L' = 1.8566 Acres	A
TRACT 'Y' = 4.2281 Acres	A C D
PHASE 3A	
TRACT 'C' = 0.1926 Acres	B
TRACT 'D' = 1.2139 Acres	B
TRACT 'G' = 0.8345 Acres	B
TRACT 'H' = 0.0267 Acres	B
TRACT 'I' = 0.0310 Acres	B
TRACT 'J' = 0.1171 Acres	B
TRACT 'K' = 0.2091 Acres	B
TRACT 'M' = 0.7749 Acres	A
TRACT 'U' = 0.2605 Acres	B
TRACT 'V' = 0.0994 Acres	B
TRACT 'W' = 0.0126 Acres	B
TRACT 'Z' = 3.3709 Acres	A C D
PHASE 4	
TRACT 'N' = 0.0124 Acres	B
TRACT 'O' = 0.1003 Acres	B
TRACT 'P' = 0.7206 Acres	A
TRACT 'Q' = 0.3412 Acres	B
TRACT 'R' = 0.5943 Acres	B
TRACT 'S' = 0.6548 Acres	B
TRACT 'T' = 1.1206 Acres	B
TRACT '3' = 4.3312 Acres	A C D



**LEGEND**

- SUBDIVISION BOUNDARY LINE
- TRACT LINE
- ADJOINING PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT

**Tangent Data**

ID	BEARING	DISTANCE
T1	S89°28'52"E	78.76'
T2	S64°41'53"E	13.85'
T3	N77°25'21"E	64.68'
T4	N85°37'22"E	67.32'
T5	S83°32'17"E	67.17'
T6	N13°38'44"E	45.07'
T7	N22°57'21"E	49.83'
T8	N50°16'30"E	33.41'
T9	S64°12'51"W	46.91'
T10	S02°39'25"W	56.63'
T11	S04°10'06"W	81.48'
T12	N83°18'14"E	51.79'
T13	N80°24'01"E	49.38'
T14	N86°42'59"E	71.57'
T15	S87°47'56"E	65.57'
T16	S82°01'48"E	55.25'

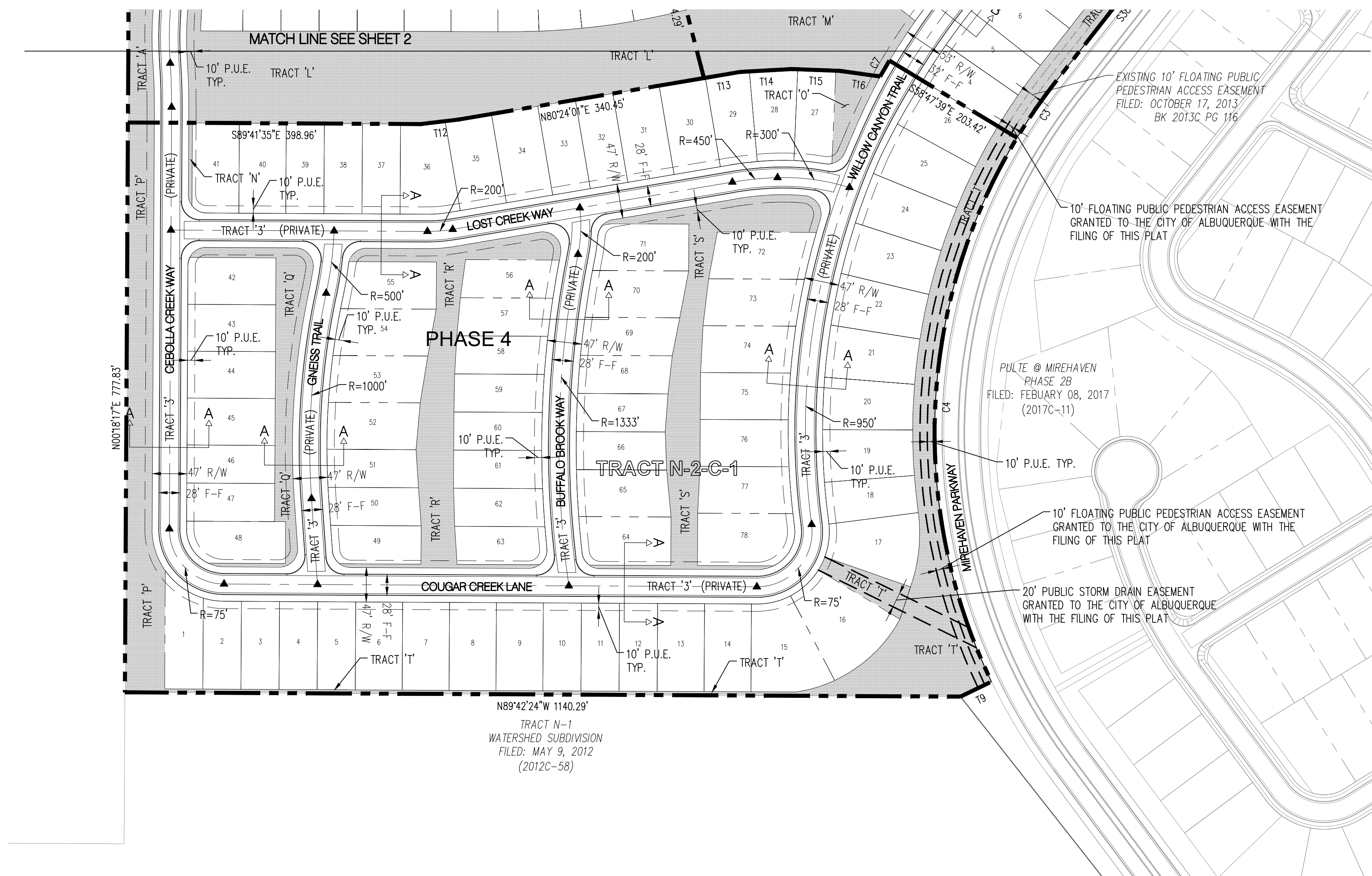
**Curve Data**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	DEG OF CRV
C1	29°40'00" LT	179.96'	351.83'	679.50'	347.92'	S35°39'01"W	08°25'55"
C2	17°17'45" RT	109.58'	217.50'	720.50'	216.67'	S29°27'53"W	07°57'08"
C3	06°57'29" LT	47.39'	94.66'	779.50'	94.60'	S34°38'02"W	07°21'01"
C4	56°56'25" LT	422.71'	774.66'	779.50'	743.18'	S02°41'05"W	07°21'01"
C5	05°48'15" LT	11.23'	22.44'	221.50'	22.43'	N70°52'29"W	25°52'02"
C6	10°38'42" LT	72.34'	144.27'	776.50'	144.06'	N80°45'38"E	07°22'43"
C7	01°28'31" RT	12.57'	25.14'	976.50'	25.14'	N30°28'06"E	05°52'03"

**PRELIMINARY PLAT**  
**DEL WEBB @ MIREHAVEN PHASE 3 AND PHASE 4**  
 (REPLAT OF TRACT N-2-B-1, N-2-B-2 AND TRACT N-2-C-1)  
 ALBUQUERQUE, NEW MEXICO

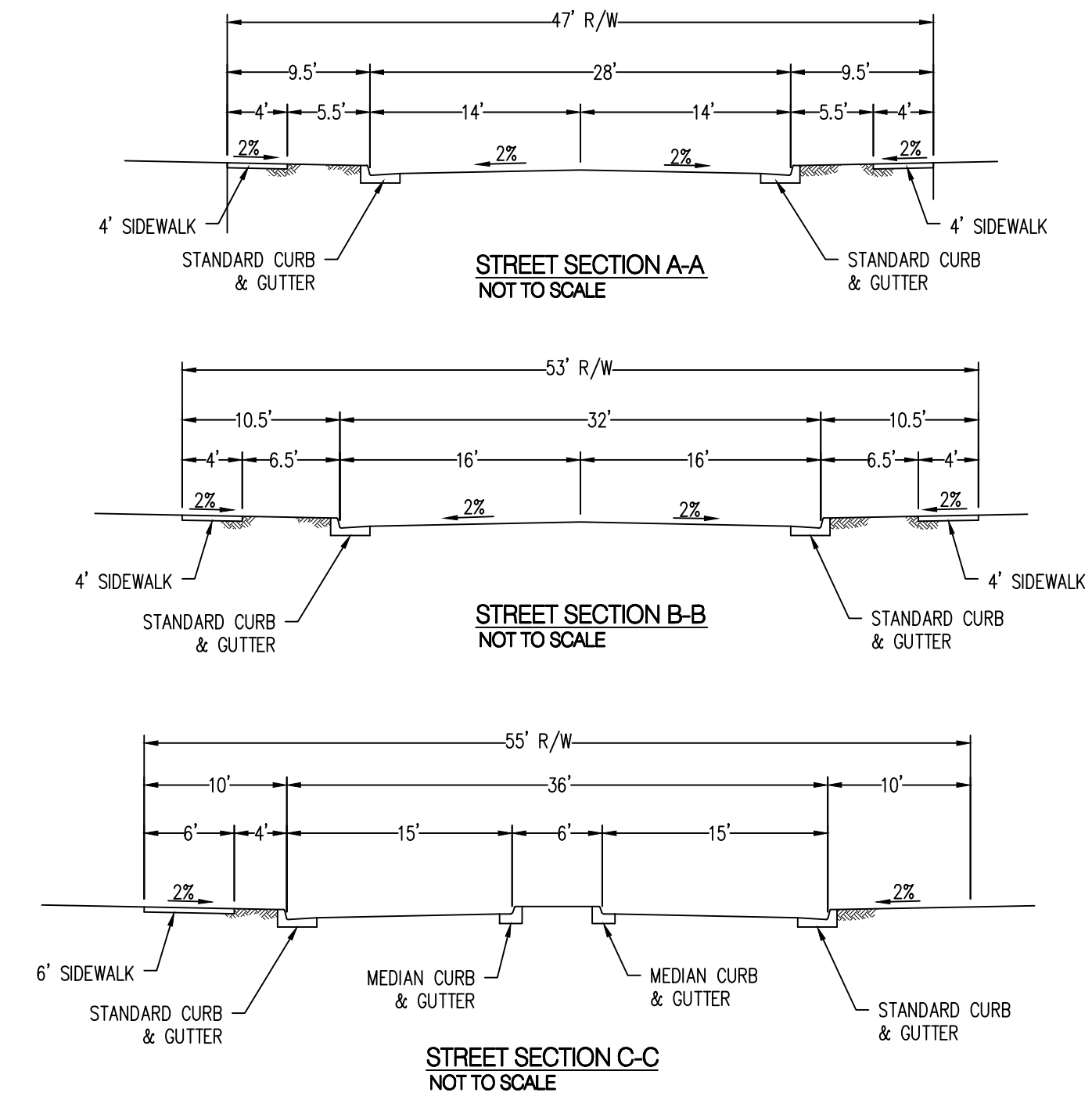
APRIL, 2018

Thu, 28-Jun-2018 - 7:48:am, Plotted by: YPADILLA  
 P:\20180338\CDP\Plans\General\20180338\_Prelat02.dwg



PRELIMINARY PLAT  
 DEL WEBB @ MIREHAVEN PHASE 3 AND PHASE 4  
 (REPLAT OF TRACT N-2-B-1, N-2-B-2 AND TRACT N-2-C-1)  
 ALBUQUERQUE, NEW MEXICO

APRIL, 2018

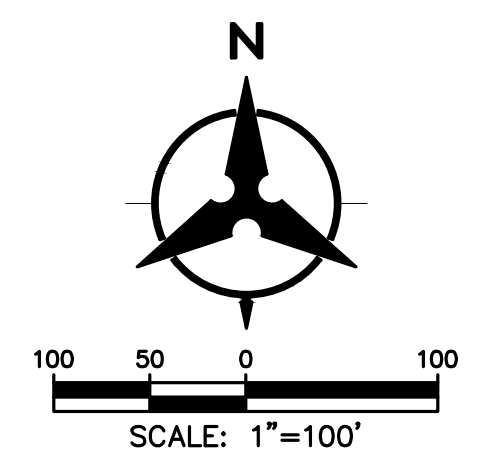


**DRAINAGE FACILITIES MAINTENANCE NOTES:**

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ["DETENTION AREAS"] ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES [STORM WATER DETENTION FACILITIES] IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT [DETENTION AREA] AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT [DETENTION AREA] AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

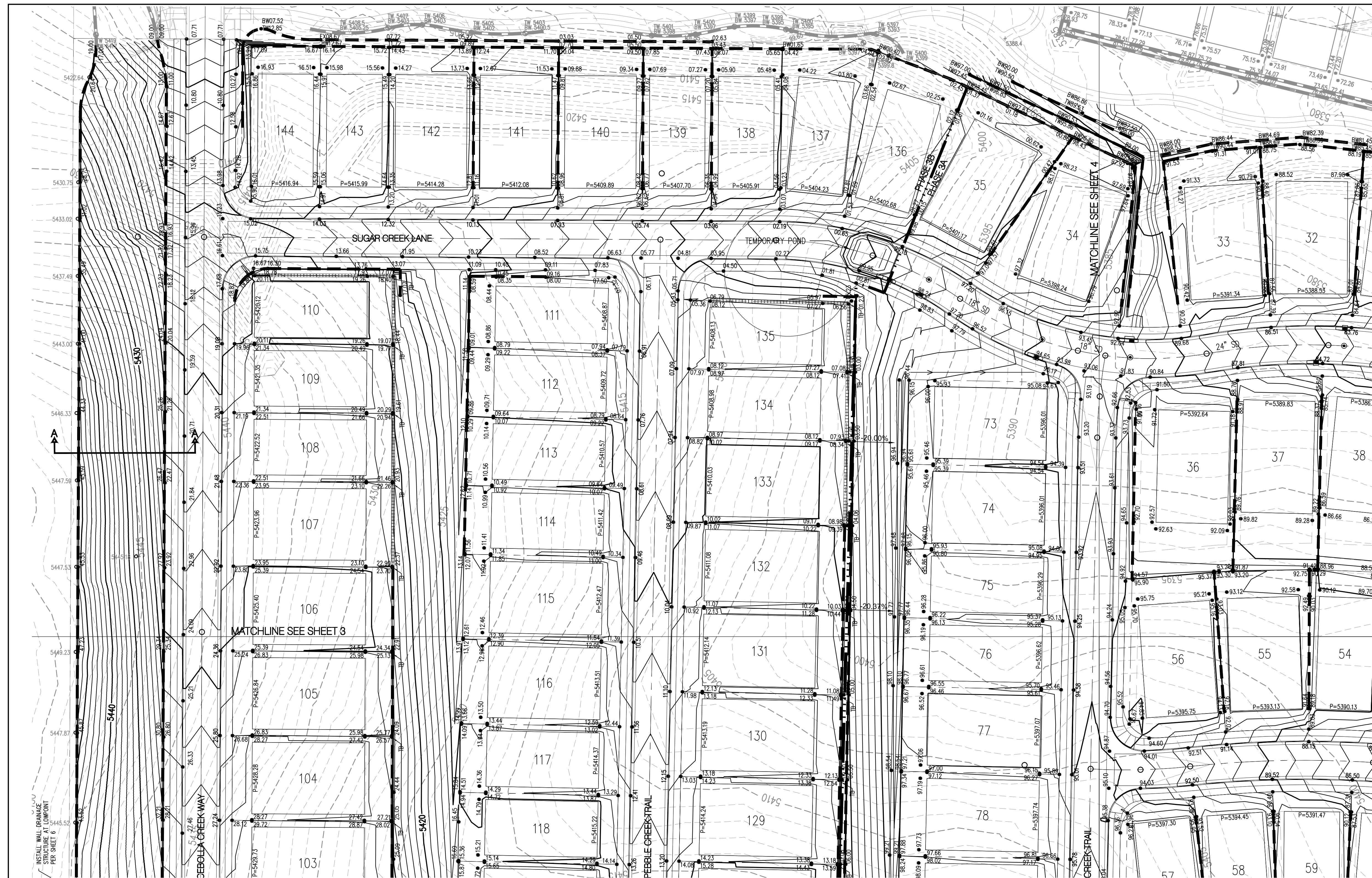
THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT



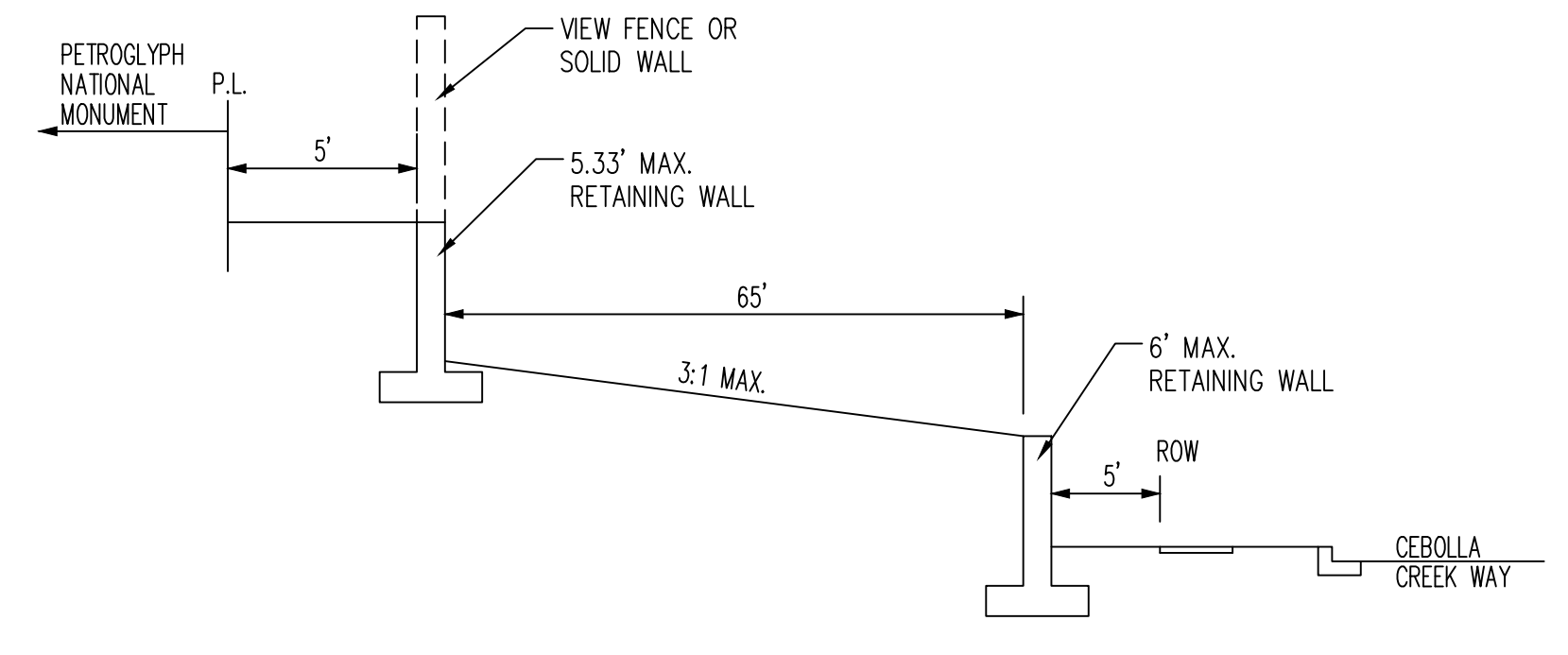
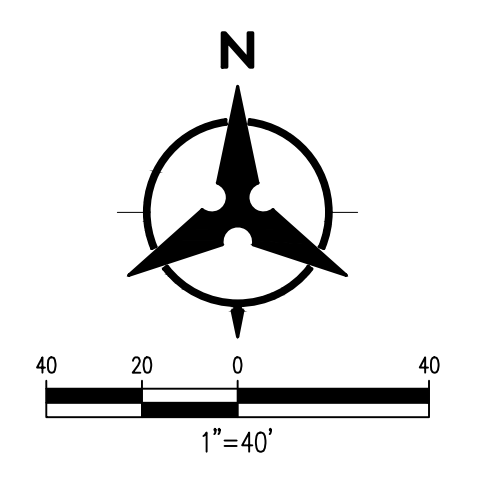
SHEET 3 of 3





**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR --- 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE ———
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK [Wavy line symbol]
- RETAINING WALL [Hatched area symbol]
- PAD [Rectangular symbol]
- TURNED BLOCK [Rectangular symbol]
- STREET SLOPE XX



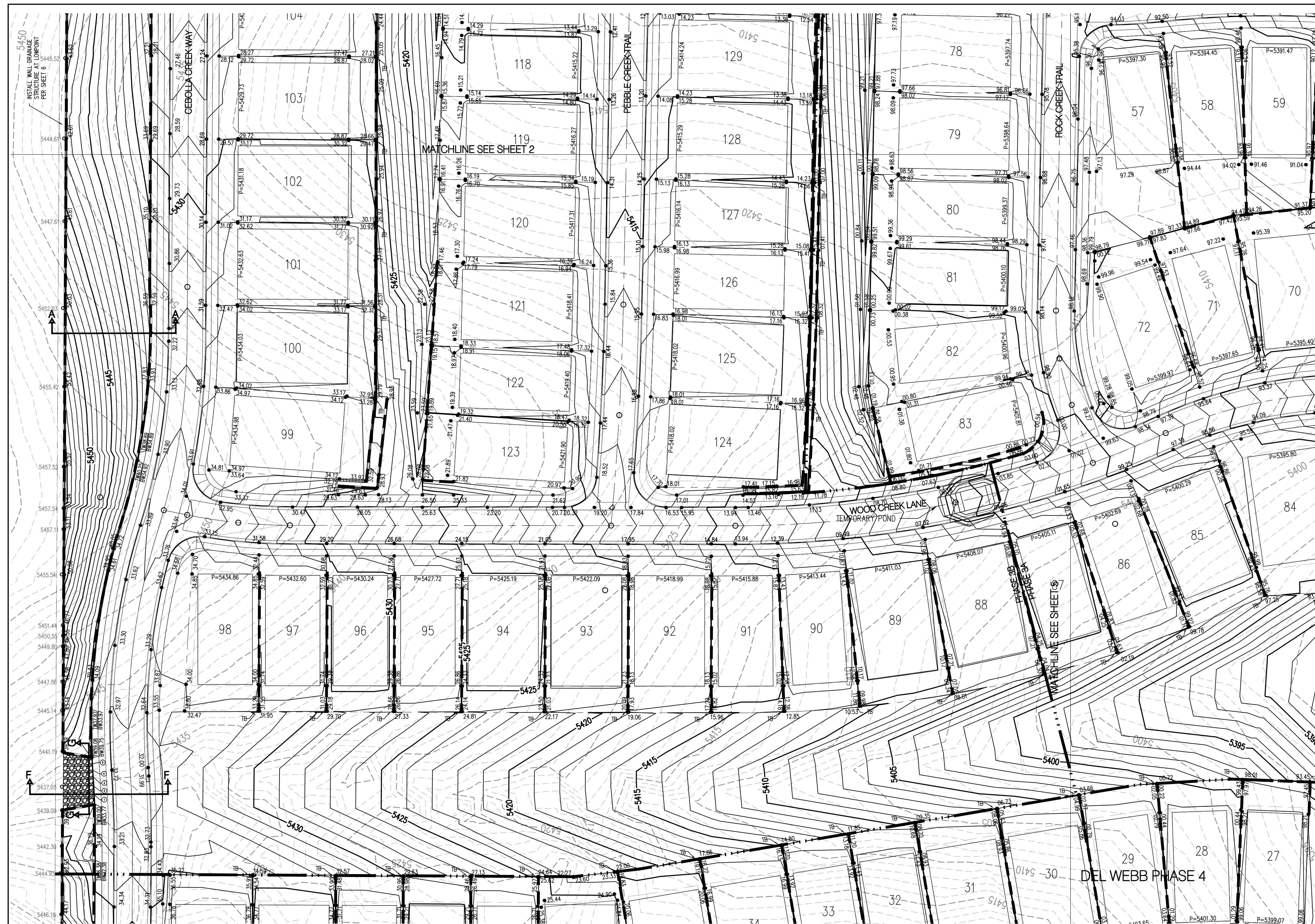
TYPICAL CROSS SECTION A-A  
NOT TO SCALE

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
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		BY	DATE	GEOGRAPHIC POSITION (NAD 83)	STAKED BY	DATE	DATE
REVISIONS		NO.	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	INSPECTOR'S FIELD VERIFICATION BY	DATE	DATE
		BY	DATE	GROUND TO GRID = 0.999675005	DATE	DATE	DATE
DESIGNED BY YPM		DATE 04/18		MICRO-FILM INFORMATION		DATE	
DRAWN BY AR		DATE 04/18		RECORDED BY		DATE	
CHECKED BY YPM		DATE 04/18		NO.		DATE	

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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
DEL WEBB @ MIREHAVEN PHASE 3  
GRADING PLAN

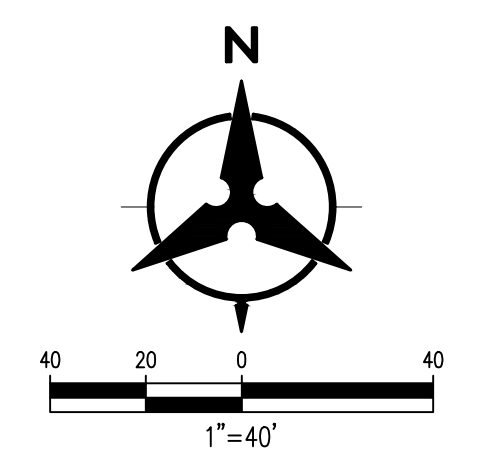
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LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	H-8/9	2	6



**LEGEND**

PROPOSED SPOT ELEVATION	● 5235.25
EXISTING SPOT ELEVATION	● EX 5235.25
PROPOSED CONTOUR	— 5025 —
EXISTING STORM DRAIN LINE	--- --- ---
PROPOSED STORM DRAIN INLET	□
PROPOSED STORM DRAIN LINE	====
PROPOSED STORM DRAIN MANHOLE	○
PROPOSED WATER BLOCK	~ ~ ~ ~
RETAINING WALL	▬
PAD	10 P=5300.00
TURNED BLOCK	XX
STREET SLOPE	XX

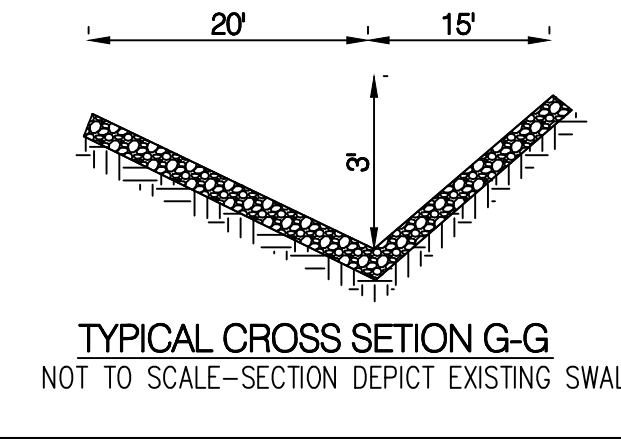
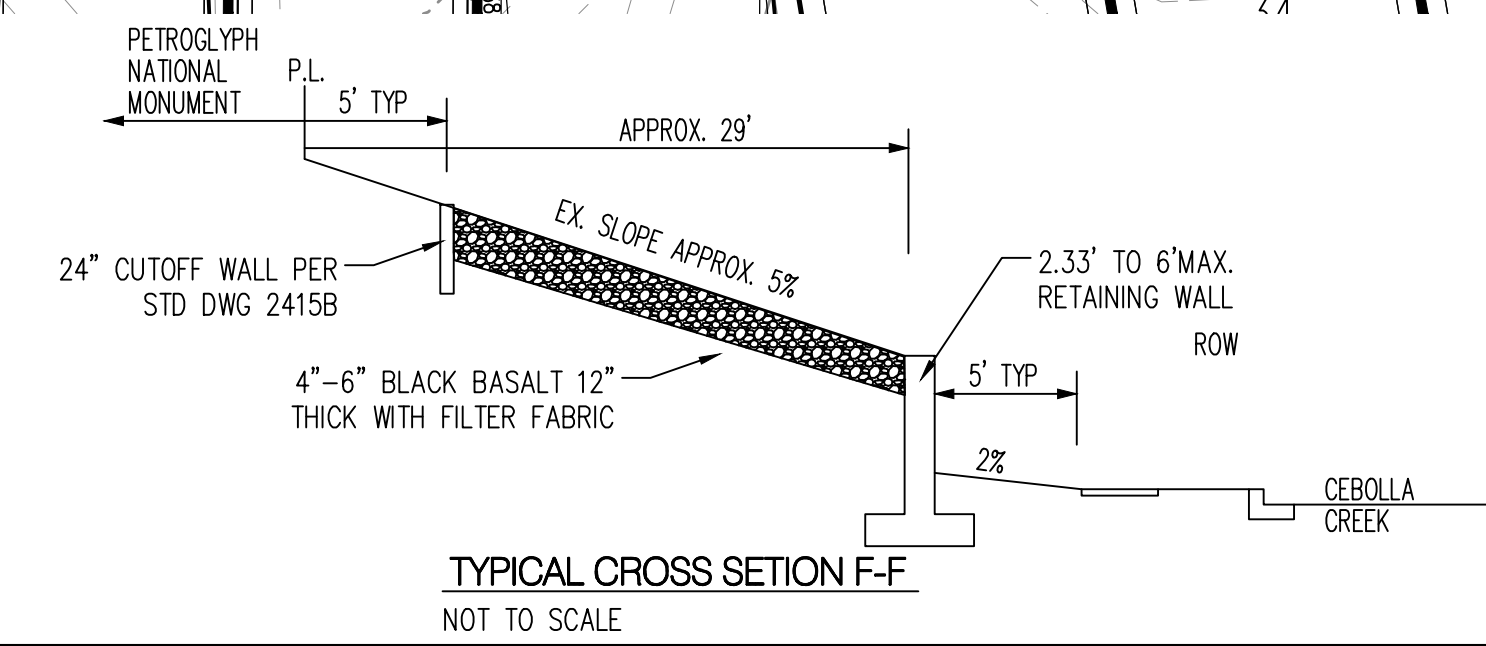
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
		BY	DATE	GEOGRAPHIC POSITION (NAD 83)	STAKED BY	DATE	DATE
REVISIONS		FIELD NOTES		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTOR'S FIELD VERIFICATION BY	
DESIGN		NO.		N=1487364.063 E=1491190.819		DATE	
DATE 04/18		BY		GROUND TO GRID = 0.999675005		DATE	
DATE 04/18		REMARKS		DELTA ALPHA = -007712.26"		DATE	
DATE 04/18		DESIGN		NAVD 1988 ELEVATION = 5319.668		DATE	
DESIGNED BY YPM		BY		MICRO-FILM INFORMATION		NO.	
DRAWN BY AR		REVISIONS		RECORDED BY		DATE	
CHECKED BY YPM		DESIGN		NO.		DATE	

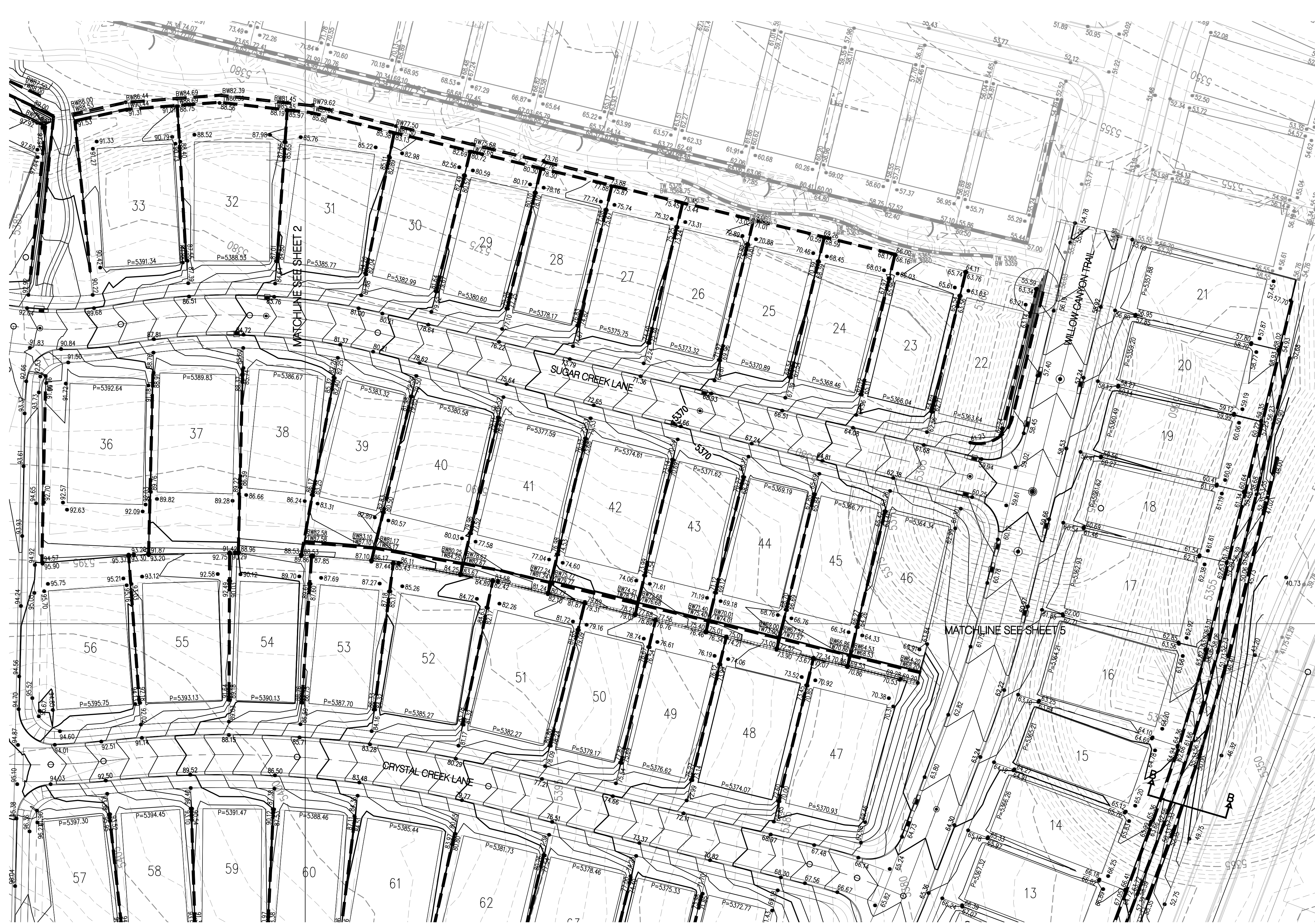


**Point Table**

	TW	BW
1	5438.00*	5433.72
2	5437.00*	5433.71
3	5436.00*	5433.70
4	5437.00*	5433.71
5	5438.00*	5433.72

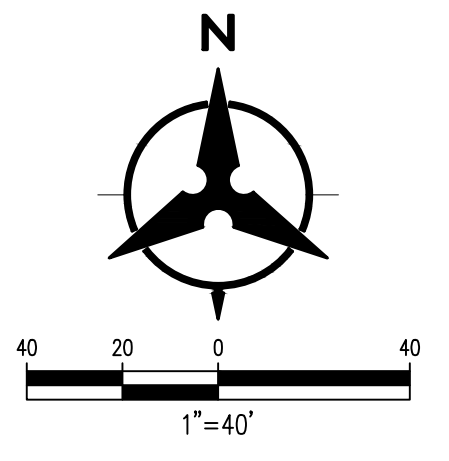
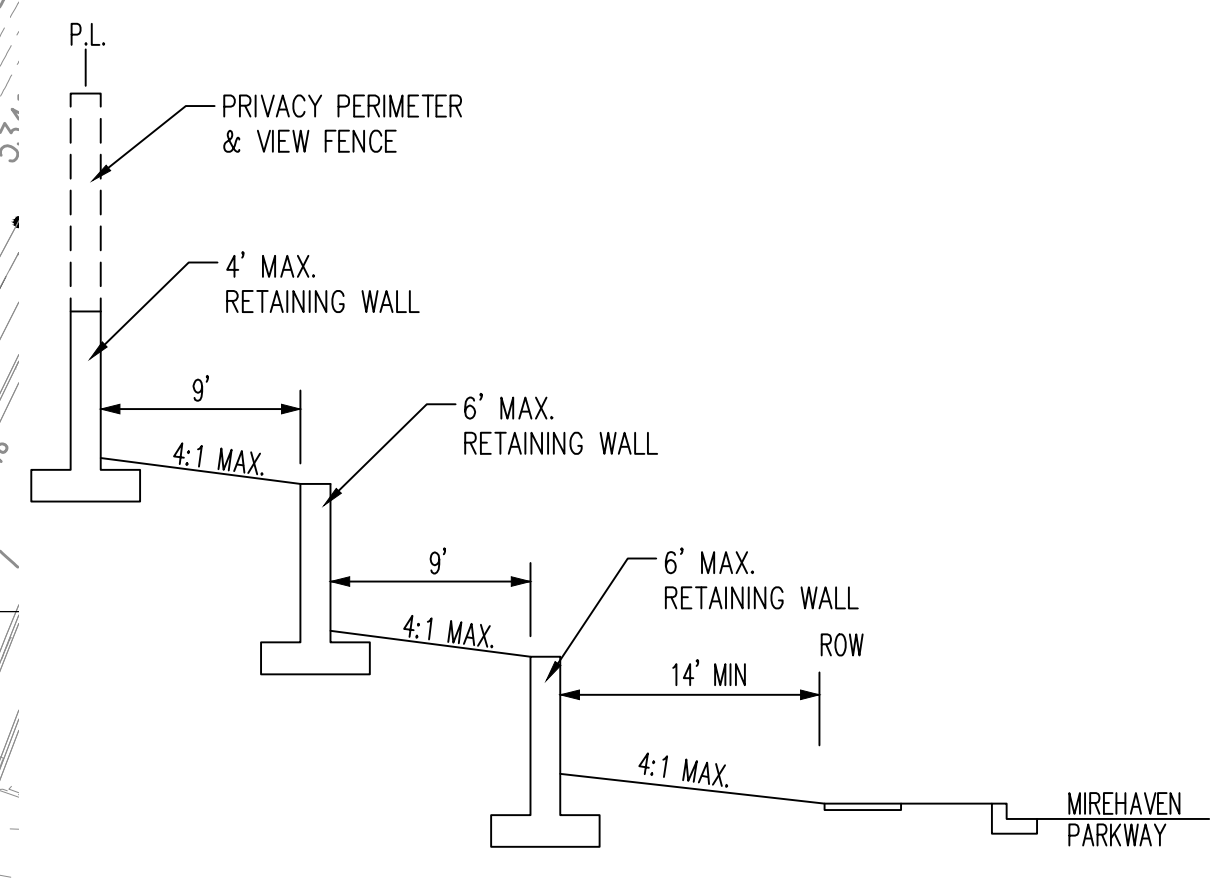
\*EXISTING ELEVATION





**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR - - - - - 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE |||
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]



BENCH MARKS		SURVEY INFORMATION		AS-BUILT INFORMATION	
US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	NO.	DATE	DATE	DATE
GEOGRAPHIC POSITION (NAD 83)	INSPECTOR'S	BY	DATE	BY	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	FIELD	NO.	DATE	BY	DATE
N=1487364.063 E=1491190.819	VERIFICATION BY	NO.	DATE	BY	DATE
GROUND TO GRID = 0.999675005	CORRECTED BY	NO.	DATE	BY	DATE
DELTA ALPHA = -007712.26"	MICRO-FILM INFORMATION	NO.	DATE	BY	DATE
NAD 1988 ELEVATION = 5319.668	RECORDED BY	NO.	DATE	BY	DATE



NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY: YPM DATE: 04/18  
 DRAWN BY: AR DATE: 04/18  
 CHECKED BY: YPM DATE: 04/18

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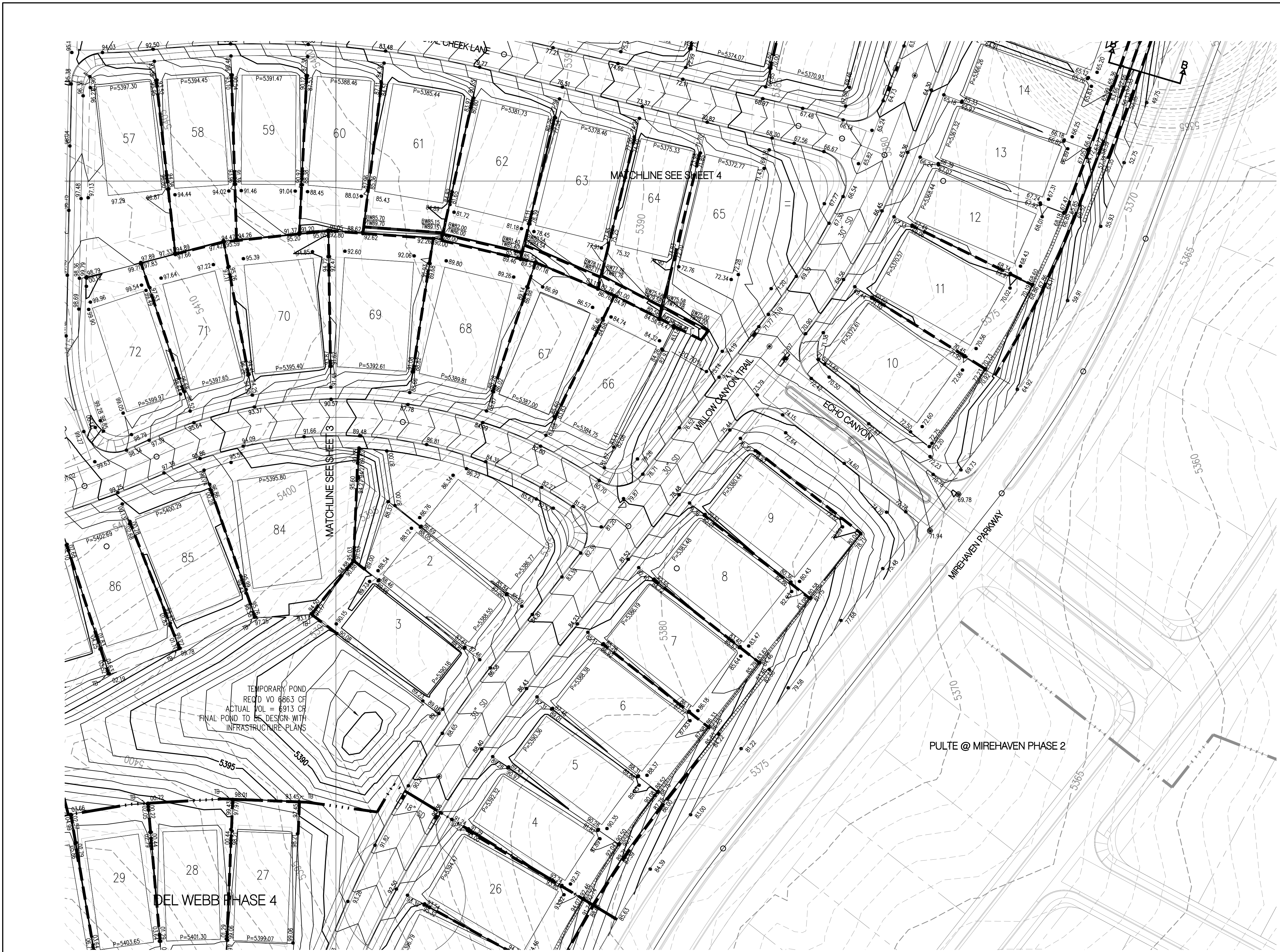
**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

**DEL WEBB @ MIREHAVEN PHASE 3**  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

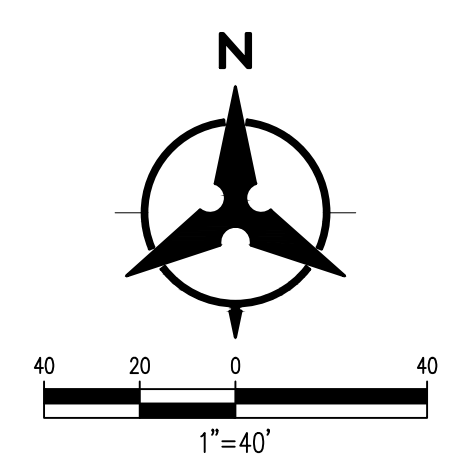
LAST DESIGN UPDATE

CITY PROJECT NO. \_\_\_\_\_ ZONE MAP NO. **H-8/9** SHEET **4** OF **6**



**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR ——— 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE = = = = =
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE XX



ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	BY	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
				GEOGRAPHIC POSITION (NAD 83)	STAKED BY		
				N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	INSPECTOR'S FIELD VERIFICATION BY		
				N=1487364.063 E=1491190.819	DATE		
				GROUND TO GRID = 0.999675005	DATE		
				DELTA ALPHA = -007712.26"	DATE		
				NAVD 1988 ELEVATION = 5319.668	DATE		



NO.	DATE	BY	REMARKS
			DESIGN REVISIONS

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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

**DEL WEBB @ MIREHAVEN PHASE 3**  
GRADING PLAN

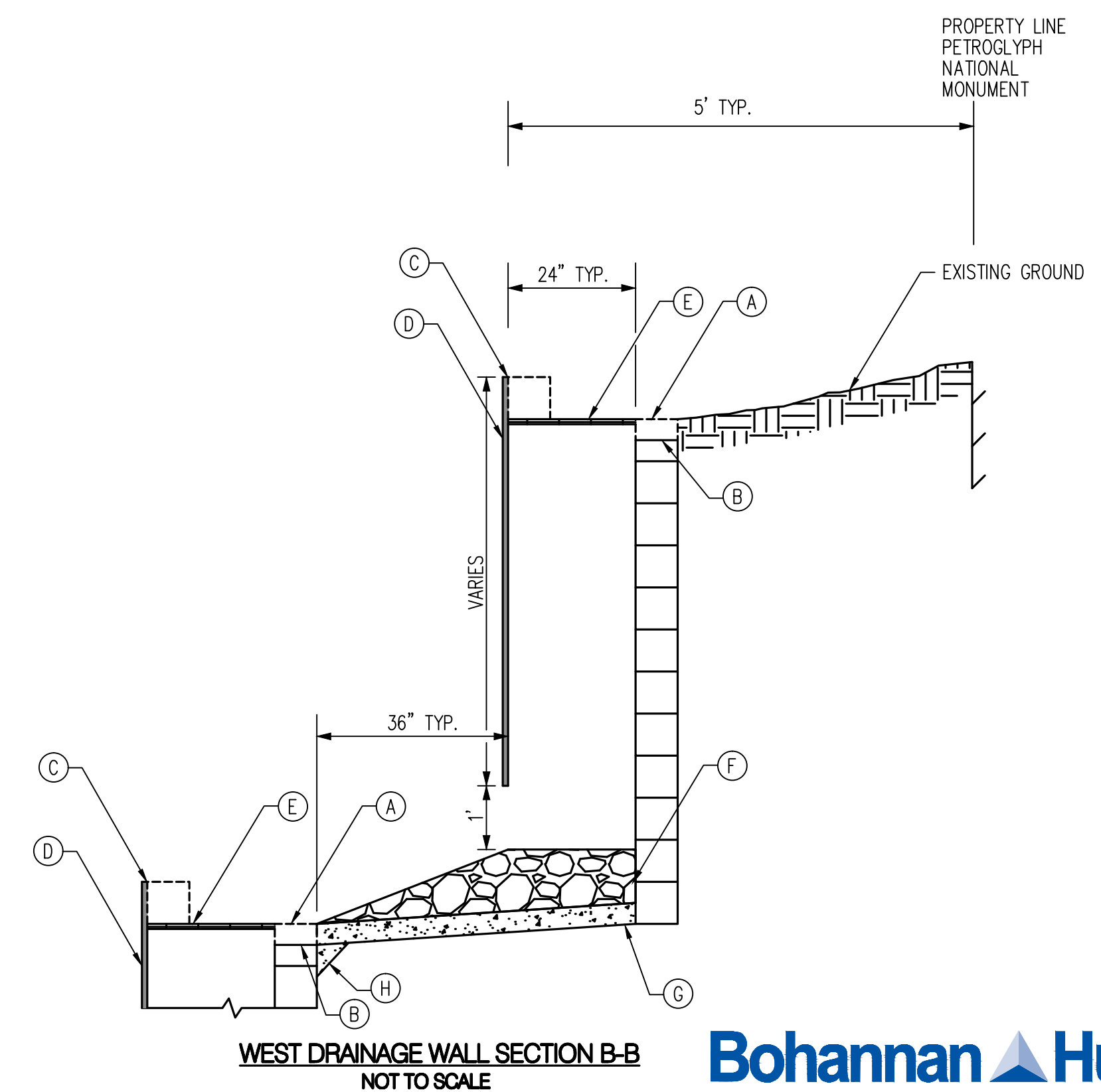
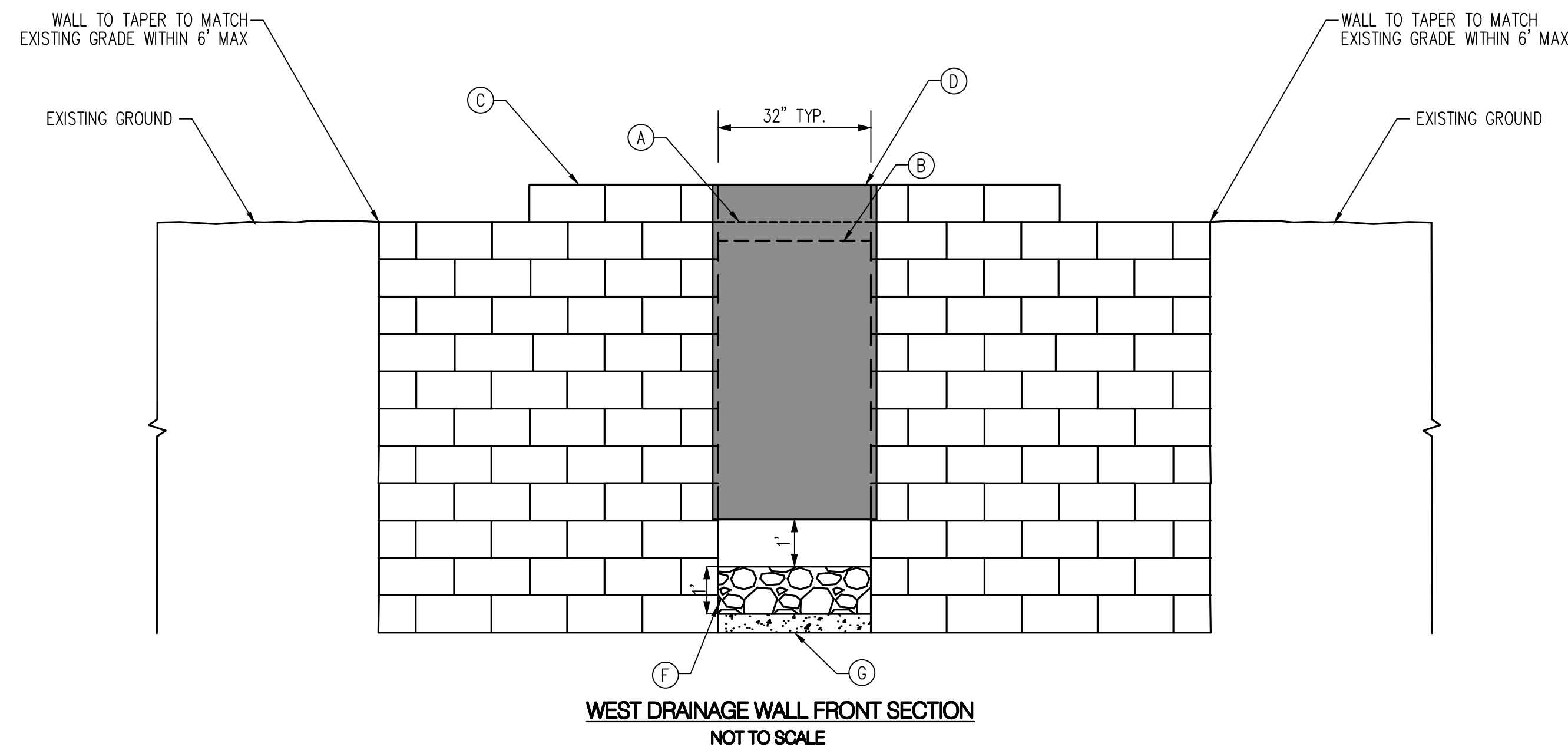
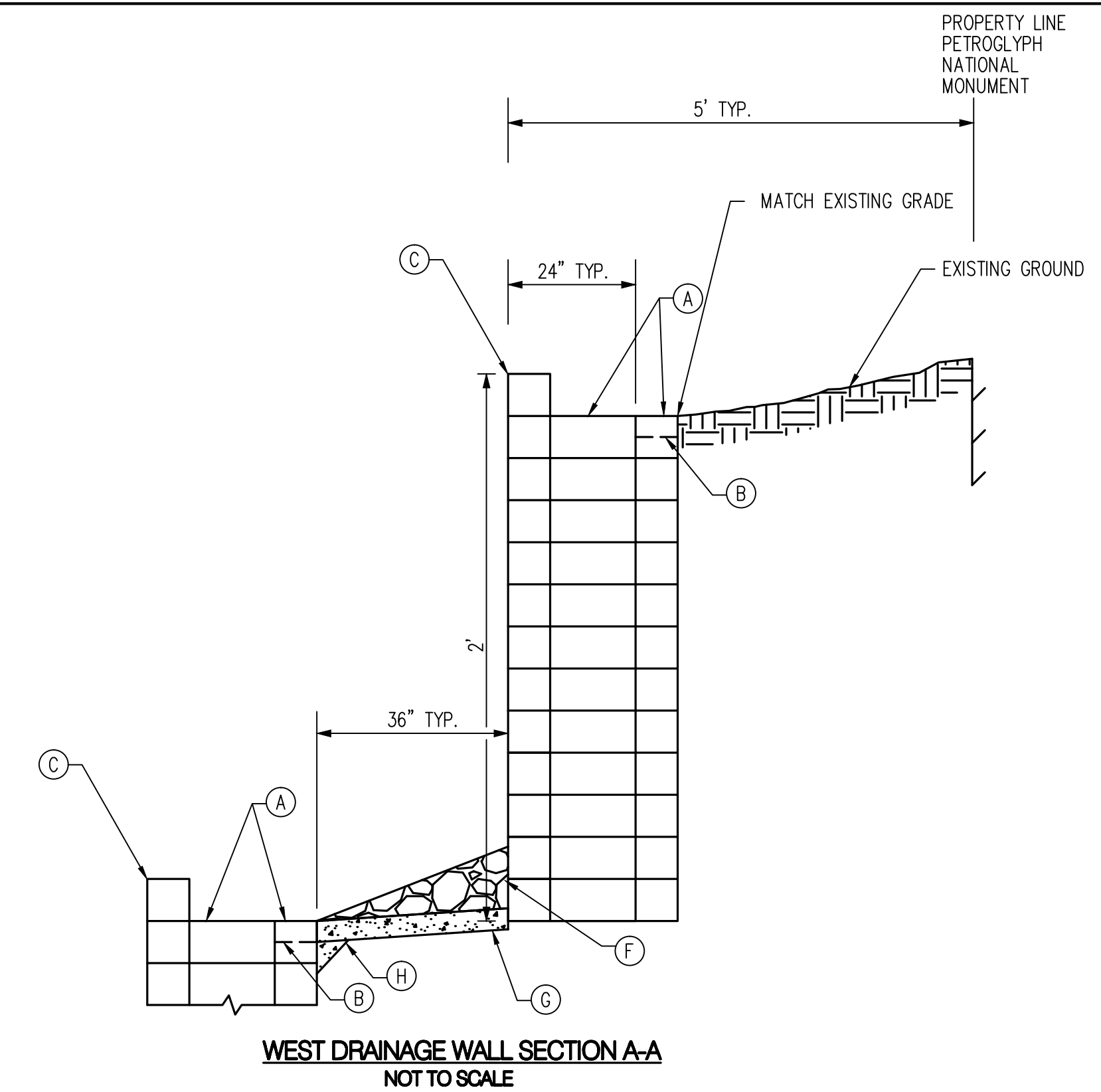
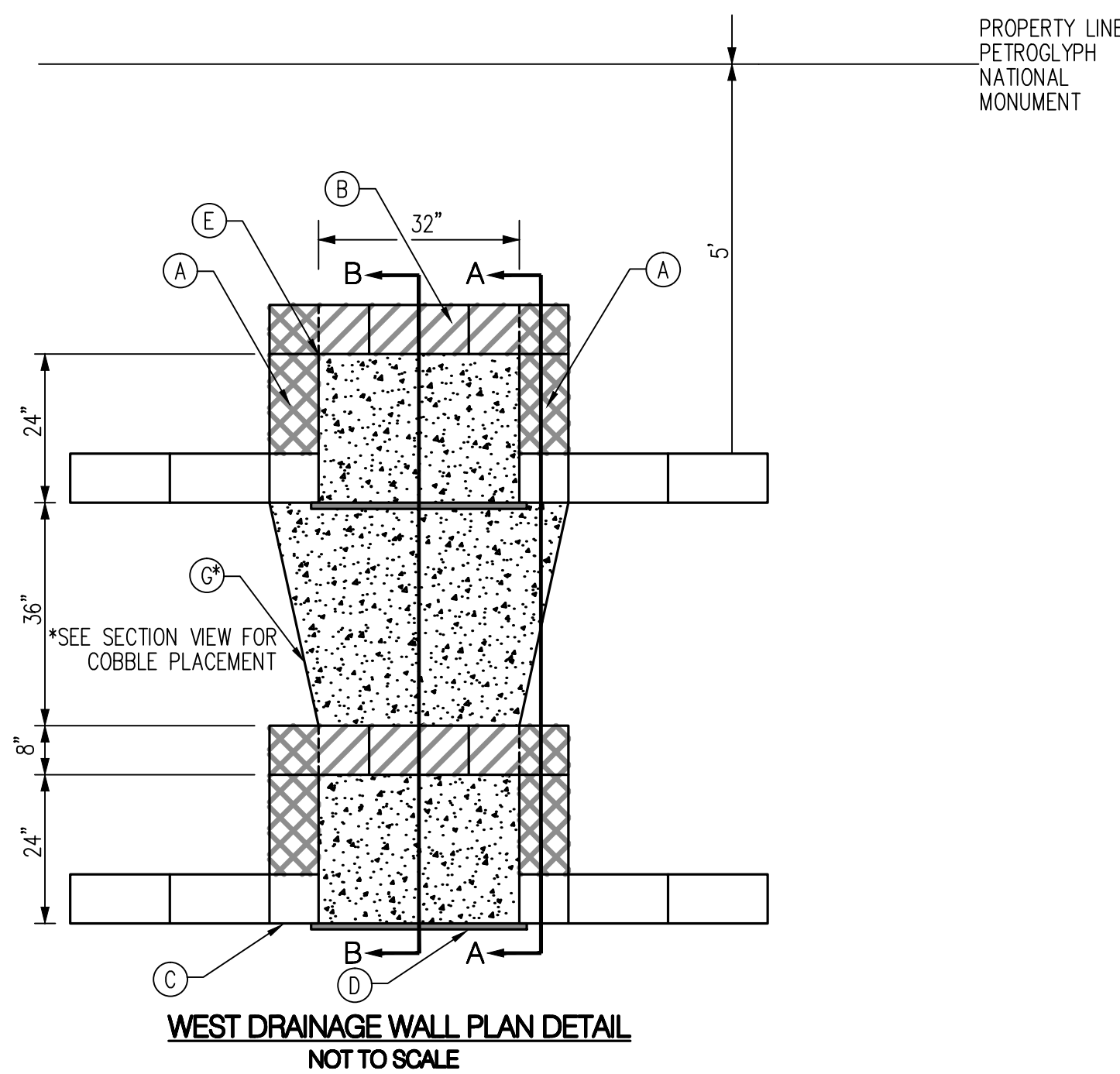
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

**KEYED NOTES**

- (A) SIDE WALLS OF HORSESHOE NOTCH SHALL MATCH EXISTING GRADE AND SHALL BE ONE COURSE (8") LOWER THAN FACE OF WALL HEIGHT.
- (B) BACK WALL OF HORSESHOE NOTCH SHALL BE 1.5 COURSES (APPROX. 12") LOWER THAN FACE OF WALL HEIGHT.
- (C) FACE OF WALL ONE COURSE (8") HIGHER THAN EXISTING GROUND AT NOTCH.
- (D) METAL PLATE TO BE ATTACHED TO FACE OF WALL. TOP OF METAL PLATE TO MATCH TOP OF FACE OF WALL. TO BE INSTALLED BY OTHER.
- (E) PREVENTATIVE GRATING TO BE ANCHORED TO CORNERS OF WALL (3/4" STEEL BARS PLACED 4" O.C.)
- (F) 6" COBBLE (2 LIFTS, 12" TOTAL)
- (G) 3" CONCRETE SLAB, 4000 PSI
- (H) 6"x6" TRIANGULAR CONCRETE WEDGE

**GENERAL NOTES**

1. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND OWNER PRIOR TO CONSTRUCTION.
2. NO DISTURBANCE IS ALLOWED ON THE MONUMENT, IF DAMAGE OCCURS TO NEIGHBOR'S PROPERTY THEN WRITTEN ACCEPTANCE OF THE REPAIRS WILL BE REQUIRED PRIOR TO ACCEPTANCE OF ENGINEER'S CERTIFICATION. CONTRACTOR MUST IMMEDIATELY STABILIZE THE SLOPE TO PREVENT EROSION FROM ENCROACHING INTO THE NEIGHBOR'S PROPERTY PER DETAILS THIS SHEET.



BENCH MARKS		AS-BUILT INFORMATION	
US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
GEOGRAPHIC POSITION (NAD 83)	INSPECTOR'S	DATE	DATE
N.M. STATE PLANE COORDINATES	ACCEPTANCE BY	DATE	DATE
(CENTRAL ZONE)	VERIFICATION BY	DATE	DATE
N=1487364.063 E=1491190.819	DRAWN BY	DATE	DATE
GROUND TO GRID = 0.999675005	DESIGNED BY	DATE	DATE
DELTA ALPHA = -007712.26"	CHECKED BY	DATE	DATE
NAVD 1988 ELEVATION = 5319.688	NO.	DATE	DATE

SURVEY INFORMATION		FIELD NOTES	
NO.	BY	NO.	BY

ENGINEER'S SEAL		REVISIONS	
		NO.	DATE
		BY	DATE
		DESIGN	DATE 04/18
			DATE 04/18
			DATE 04/18

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**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**

**DEL WEBB @ MIREHAVEN PHASE 3**  
WALL DRAINAGE STRUCTURE DETAIL

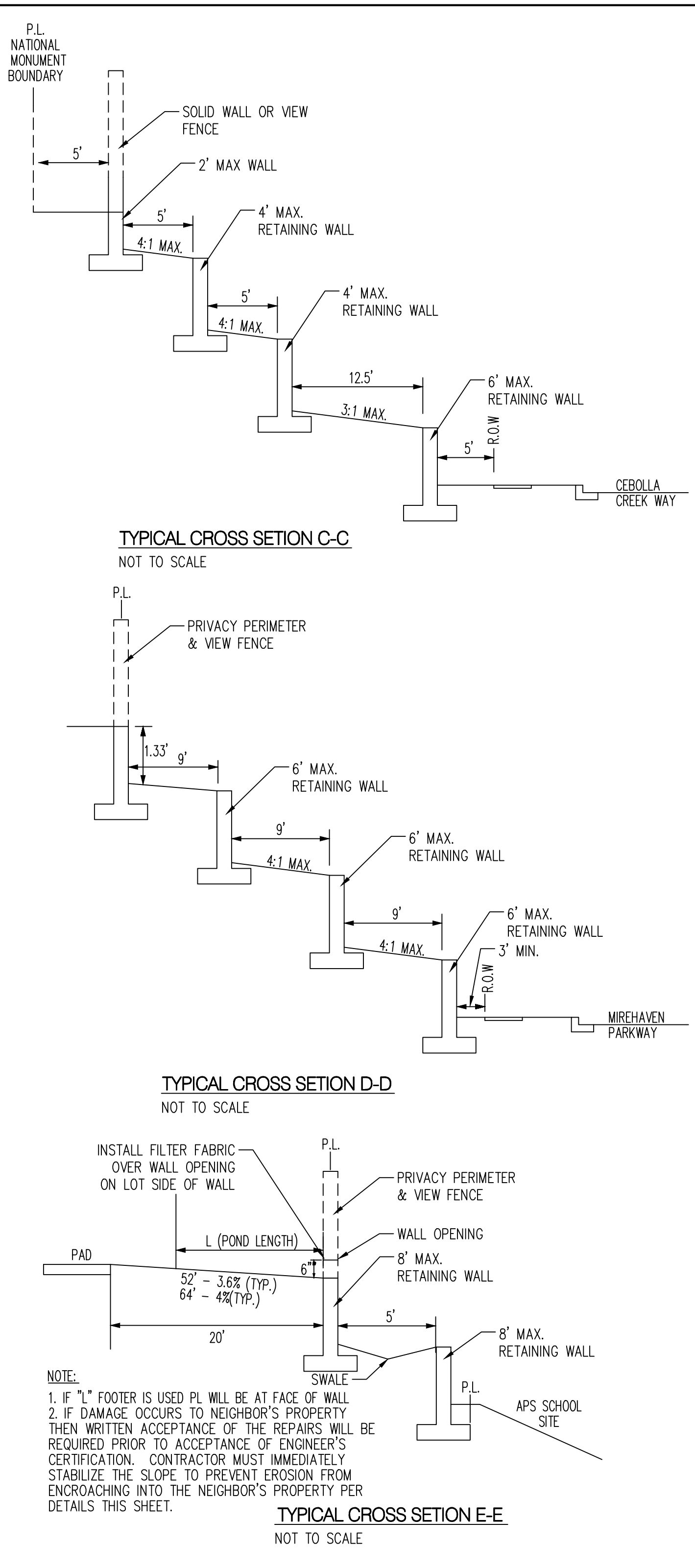
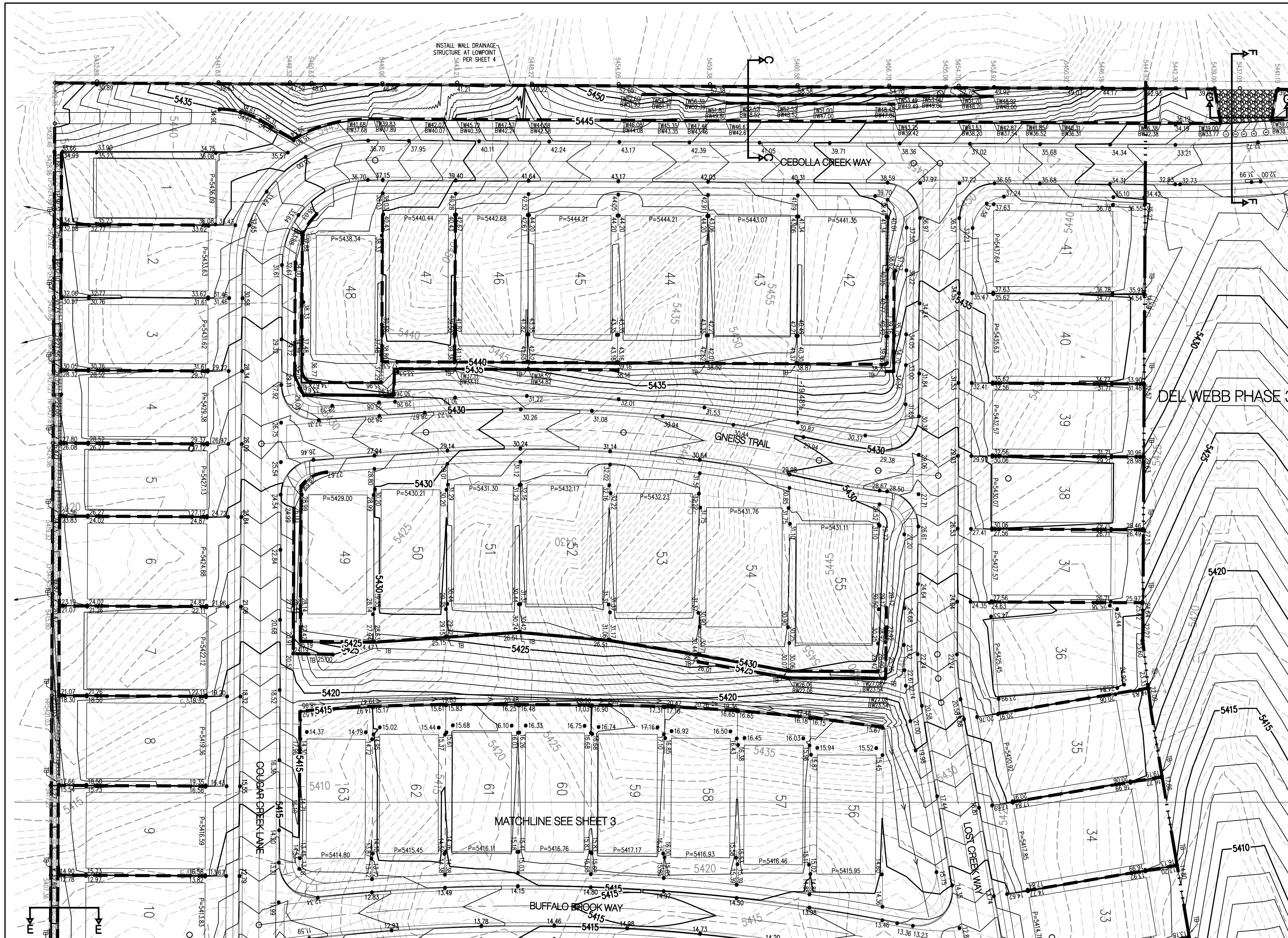
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. \_\_\_\_\_ ZONE MAP NO. \_\_\_\_\_ SHEET 6 OF 6

H-8/9





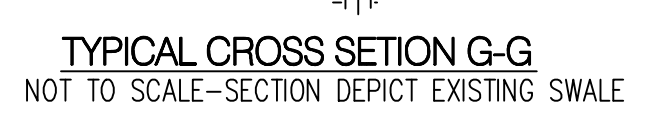
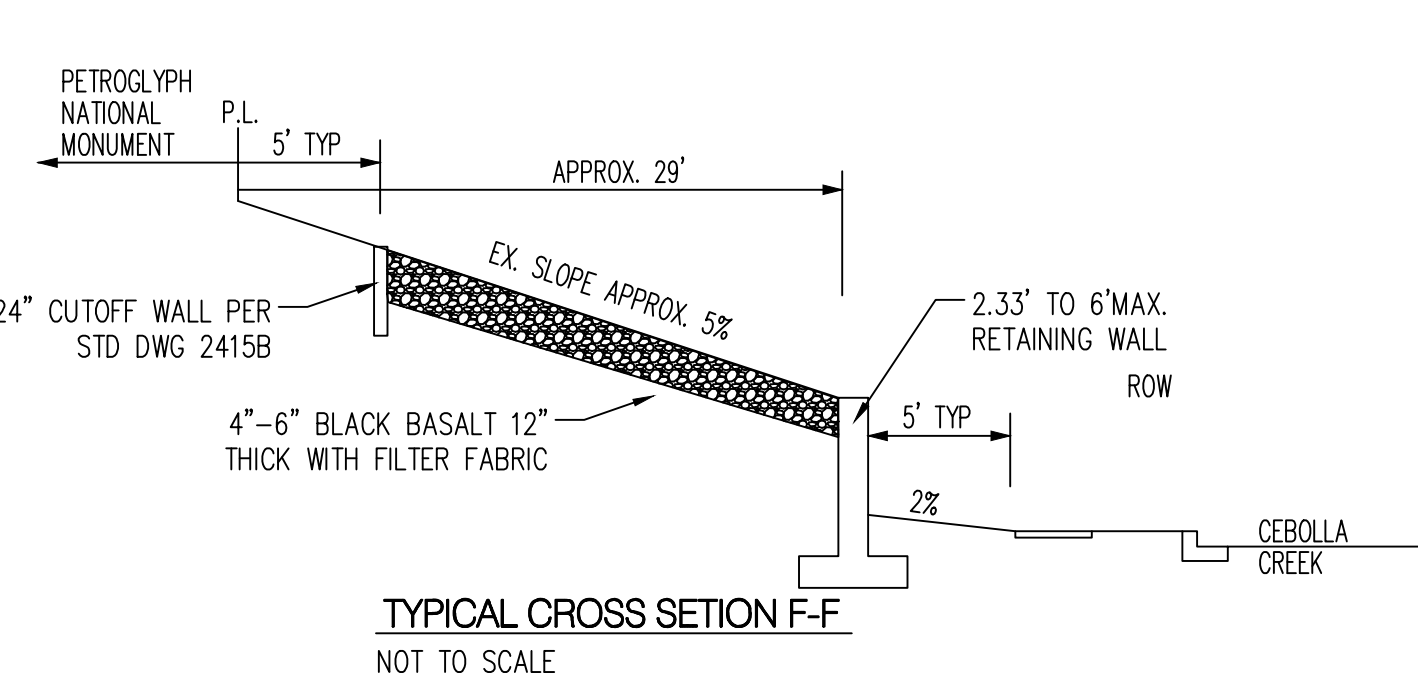


**POND VOLUMES LOTS 1-15:**

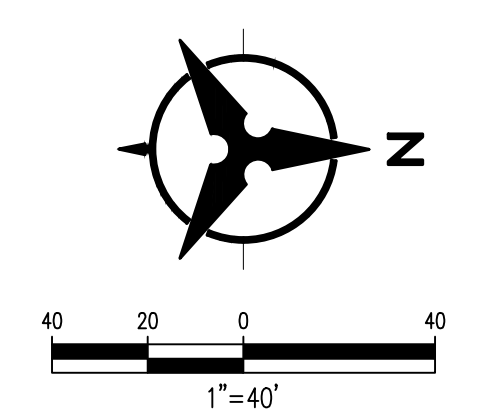
PAD WIDTH (FT)	Turn Block Ht (in)	POND WIDTH (FT)	V (cf)
52	4	9.2	79.73
	6	13.9	180.7
	8	18.6	322.4
64	4	8.25	288
	6	12.5	800
	8	16.75	357.3

**TOTAL POND VOLUME = 8-52' PLUS 8-64' LOTS**

Turn Block Ht (in)	Total V (cf)
4	1341.86667
6	3045.6
8	5437.86667



- LEGEND**
- PROPOSED SPOT ELEVATION: ● 5235.25, ● EX 5235.25
  - EXISTING SPOT ELEVATION: ○ 5025
  - PROPOSED CONTOUR: ---
  - EXISTING STORM DRAIN LINE: - - - - -
  - PROPOSED STORM DRAIN INLET: □
  - PROPOSED STORM DRAIN MANHOLE: ○
  - PROPOSED WATER BLOCK: ▭
  - RETAINING WALL: [Symbol]
  - PAD: [Symbol]
  - TURNED BLOCK: [Symbol]
  - STREET SLOPE: [Symbol]



SEE SECTION E-E FOR "L" LOCATION

CONTRACTOR SHALL INSTALL 5" WIDE 0.825" DEEP SWALE ALONG THE SOUTHSIDE OF LOTS 1 THROUGH LOT 15.

**NOTE:**  
 1. IF "L" FOOTER IS USED PL WILL BE AT FACE OF WALL  
 2. IF DAMAGE OCCURS TO NEIGHBOR'S PROPERTY THEN WRITTEN ACCEPTANCE OF THE REPAIRS WILL BE REQUIRED PRIOR TO ACCEPTANCE OF ENGINEER'S CERTIFICATION. CONTRACTOR MUST IMMEDIATELY STABILIZE THE SLOPE TO PREVENT EROSION FROM ENCRANCHING INTO THE NEIGHBOR'S PROPERTY PER DETAILS THIS SHEET.

**AS-BUILT INFORMATION**

CONTRACTOR	REWARD 1989
STAKED BY	
INSPECTOR'S DATE	
FIELD VERIFICATION DATE	
DATE	

**BENCH MARKS**

US&GS BRASS DISC STAMPED "REWARD 1989"

GEOGRAPHIC POSITION (NAD 83)  
 (CENTRAL ZONE)  
 N=1487364.063 E=149190.819  
 GROUND TO GRID = 0.999675005  
 DELTA ALPHA = -0071712.26"  
 NAD 1988 ELEVATION = 5319.688

**SURVEY INFORMATION**

NO.	DATE	BY

**ENGINEER'S SEAL**

BOHANNAN HUSTON  
 BOHANNAN HUSTON  
 28-1000  
 PROFESSIONAL ENGINEER

**REVISIONS**

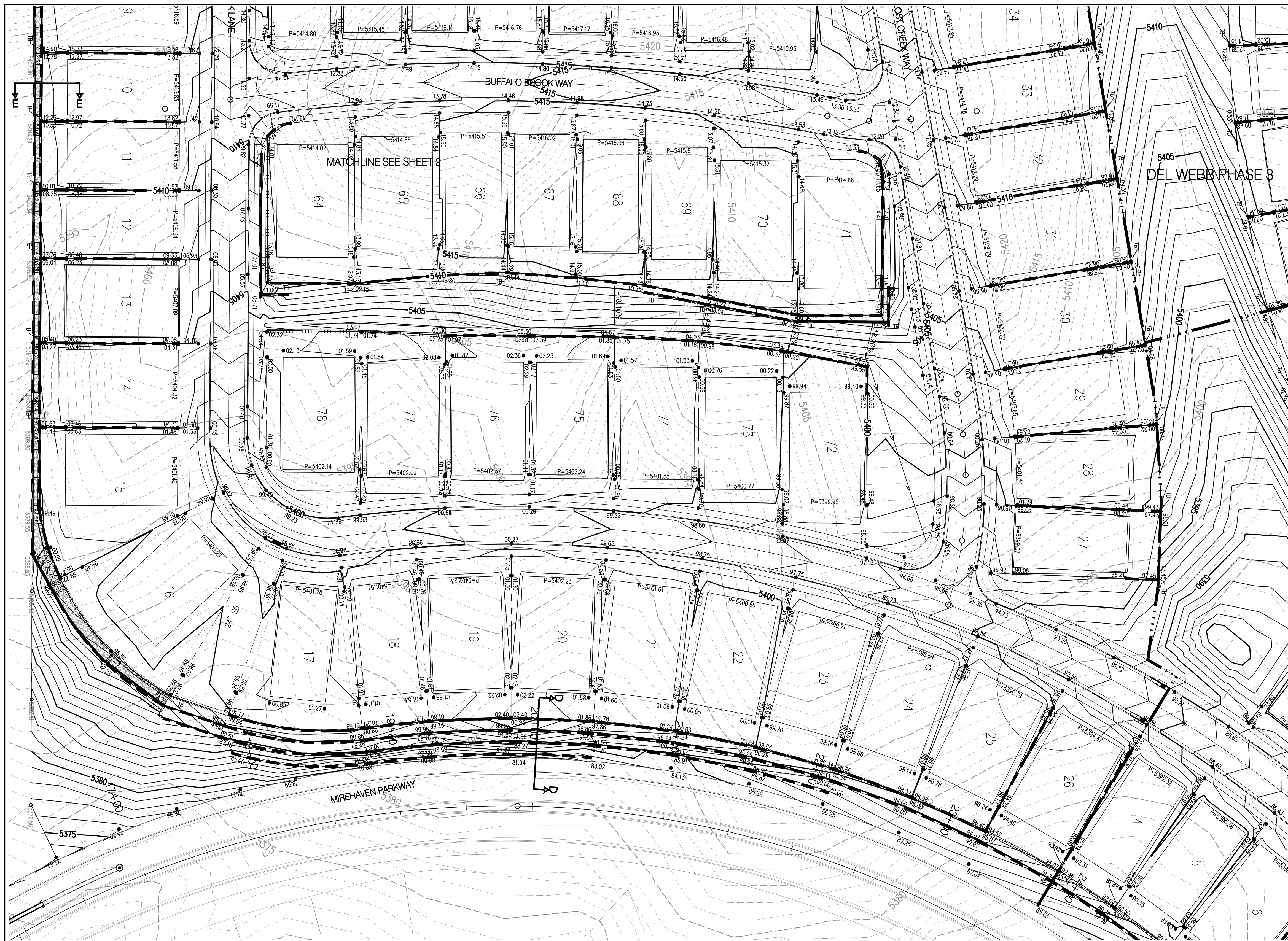
NO.	DATE	BY	REMARKS
DESIGN	DATE 04/18	YPM	
	DATE 04/18	AR	
	DATE 04/18	YPM	

**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 DEL WEBB @ MIREHAVEN PHASE 4  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

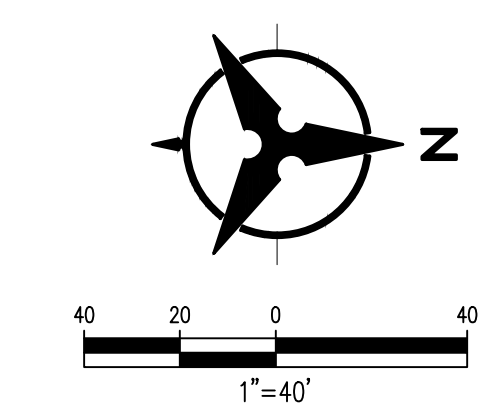
CITY PROJECT NO. H-8/9 SHEET 2 OF 4

DESIGNED BY: YPM DATE: 04/18  
 DRAWN BY: AR DATE: 04/18  
 CHECKED BY: YPM DATE: 04/18



**LEGEND**

PROPOSED SPOT ELEVATION	● 5235.25
EXISTING SPOT ELEVATION	● EX 5235.25
PROPOSED CONTOUR	— 5025
EXISTING STORM DRAIN LINE	— — — —
PROPOSED STORM DRAIN INLET	□
PROPOSED STORM DRAIN LINE	▬▬▬▬▬▬
PROPOSED STORM DRAIN MANHOLE	○
PROPOSED WATER BLOCK	⊞
RETAINING WALL	⌞
PAD	10 P=5300.00
TURNED BLOCK	XX
STREET SLOPE	XX



ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
				GEOGRAPHIC POSITION (NAD 83)	STAKED BY		
				N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	INSPECTOR'S FIELD VERIFICATION BY		
					DATE		
					DATE		
					DATE		
					DATE		
					DATE		
					DATE		
					DATE		



NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY: YPM DATE: 04/18  
 DRAWN BY: AR DATE: 04/18  
 CHECKED BY: YPM DATE: 04/18

**Bohannon & Huston**  
 www.bhinc.com 800.877.5332

**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**  
**DEL WEBB @ MIREHAVEN PHASE 4**  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	H-8/9	3	4





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** Del Webb @ MIREHAVEN PHASE 3 & 4 **Building Permit #:** \_\_\_\_\_ **City Drainage #:** H-9  
**DRB#:** 10006864 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tracts N-2-B-1, N-2-B-2, N-2-C-1  
**City Address:** \_\_\_\_\_

**Engineering Firm:** BOHANNAN HUSTON INC **Contact:** Yolanda Moyer  
**Address:** 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109  
**Phone#:** 798-7945 **Fax#:** \_\_\_\_\_ **E-mail:** ypadilla@bhinc.com

**Owner:** PULTE **Contact:** KEVIN PATTON  
**Address:** 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109  
**Phone#:** 505-341-8591 **Fax#:** \_\_\_\_\_ **E-mail:** kevin.patton@pultegroup.com

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

**TYPE OF SUBMITTAL:**

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 06-28-18 By: YOLANDA PADILLA MOYER, P.E.

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

July 28, 2018

Mr. James D. Hughes, P.E.  
Principal Engineer  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Del Webb at Mirehaven Phase 3&4 Grading and Drainage Plan and Drainage Report  
Engineers Stamp Dated: 05/10/2018 (H09D017G)

Dear Mr. Hughes:

Enclosed are responses to the comments provided on June 19, 2018. Responses are listed in red below.

### **Prior to approval of the Grading and Drainage Plan for Preliminary Plat and Grading Permit:**

1. Show the Property line in the wall sections, and include dimensions. The PL is still missing in the Unit 3 Plan Sheet 4 Section BB which also shows a 4:1 in the right of way where a trail should be shown. The plan view at this location shows an excessively steep, 2:1, slope. Additional wall(s) is required. Please correct both the plan view and the section. **Cross-sections have been updated. There was a mistake in the elevations which have been corrected and the contours and elevations represent the correct 4:1 slope.**
2. Provide written permission from the adjoining property owners if walls (including footers and excavation for footers) encroach into adjacent properties. Unit 4 sheet 2, Section CC shows a wall in cut centered on the west boundary line. The section must be modified to show no encroachment into the monument or provide written permission from neighbor. **Along the APS boundary the wall will be offset so the footer is not in private property or an L-footer will be utilized. Cross-section E-E has been updated to reflect this. As for the Petroglyph National Monument, Cross-section C-C has been updated to reflect this the wall is located 5' from boundary.**
3. Change "North" to "West" on the detail sheets of concentrated flow paths down the steep slopes next to the National Monument. **This has been corrected.** Modify the detail to prevent runoff from flanking the drainage structure. **No modification necessary. A weir calculation is provided to show that the current design can handle of the offsite flow getting to each structure.** Show the property line on the detail. **This has been added** Also add a note to the contractor instructing him; "No disturbance is allowed on the monument, if damage occurs to neighbor's property then written acceptance of the repairs will be required prior to acceptance of Engineer's Certification. Contractor must

**Engineering ▲**

**Spatial Data ▲**

**Advanced Technologies ▲**

immediately stabilize the slope to prevent erosion from encroaching into the neighbor's property per details on sheet 4 of Unit 4 and sheet 6 of Unit 3".

Note has been added.

4. Stabilization of the concentrated flow path at the west Boundary between Units 3 & 4 is required, and should be noted in both the Unit 3 & 4 plans. Grading plan has been updated, cross-sections added and erosion control added at this location on both unit 3 and 4 grading plan sheets. Swale calculation is enclosed to show existing swale section lined with basalt can accommodate the offsite runoff.
5. Add details of rear yard ponds along the south boundary next to APS to limit runoff from the 2 and 10 year storms to pre-developed rates. Treating the first flush is not enough. Typical Pond grading details, plan view and sections are required. As an alternative consider redesign to drain these lots to the street instead of onto the neighbor. New basin maps have been provided to show 2yr and 10yr runoff and volume for both the existing and proposed basins draining to the APS site. Details and tables have been added to the Unit 4 grading plan to show the volume needed to be retained for the 2YR storm. For both the 10yr and 100yr the developed runoff and volume is less than existing. Cross-section E-E shows the volume storage based on needing a 6" high turned block needed to retain the difference in the developed vs existing runoff for the 2yr storm.
6. Public Drainage easements must be noted on the preliminary plat on Tracts 1, 2, 3, A,M, P and T. Private drainage easements must be noted on the remaining tracts. No differentiation between public and private is evident on the plat. This has been updated on plat. However, Tract T is incorrect it should be Tract L. Tract T is located along Tierra Pintada where Tract L is west of Tract M. Note 10 was previously added to address the private easements on all other tracts. We have also added a table to indicated which tracts have which easements. The planview tends to get to busy when there is too much hatching or shading.
7. Private maintenance of all drainage improvements in all drainage easements, both surface and subsurface, must be provided by adding the standard drainage easement note on the preliminary plat and changing the wording of the note on the right hand side of sheet 2 of the preliminary Plat. Plat has been updated to remove the maintenance and refer to Sheet 3 Maintenance Note. Surface and subsurface and been removed and only reads Public Drainage Easement.
8. An erosion and Sediment Control Plan must be submitted to Stormwater Quality. It will be submitted prior to Grading Permit

Prior to approval of Work Order the drainage report must be revised to include: Items below will be address prior to work order approval.

9. Documentation that the developed flows were anticipated in the downstream facilities, specifically at the Ladera Ponds/Diversion (include drainage basin maps from the Mirehaven Master Plan that show these basins were accounted for in the design of the downstream facilities). The AMAFCA e-Mail is acceptable to demonstrate capacity of the Ladera ponds, but this report must include excerpts from the previous Master Plan documenting how flows from

this development were combined with the upstream off site basins of the Mirehaven Arroyo.

10. HGL calculations per DPM and profiles showing HGL,
11. A Detail of the pond outlet structure. Hydraulic calculations must be contained in a bound report with an engineer's stamp and signature on it.

A separate copy of the basins maps, preliminary plat and grading plan are enclosed to be replaced in the drainage report. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



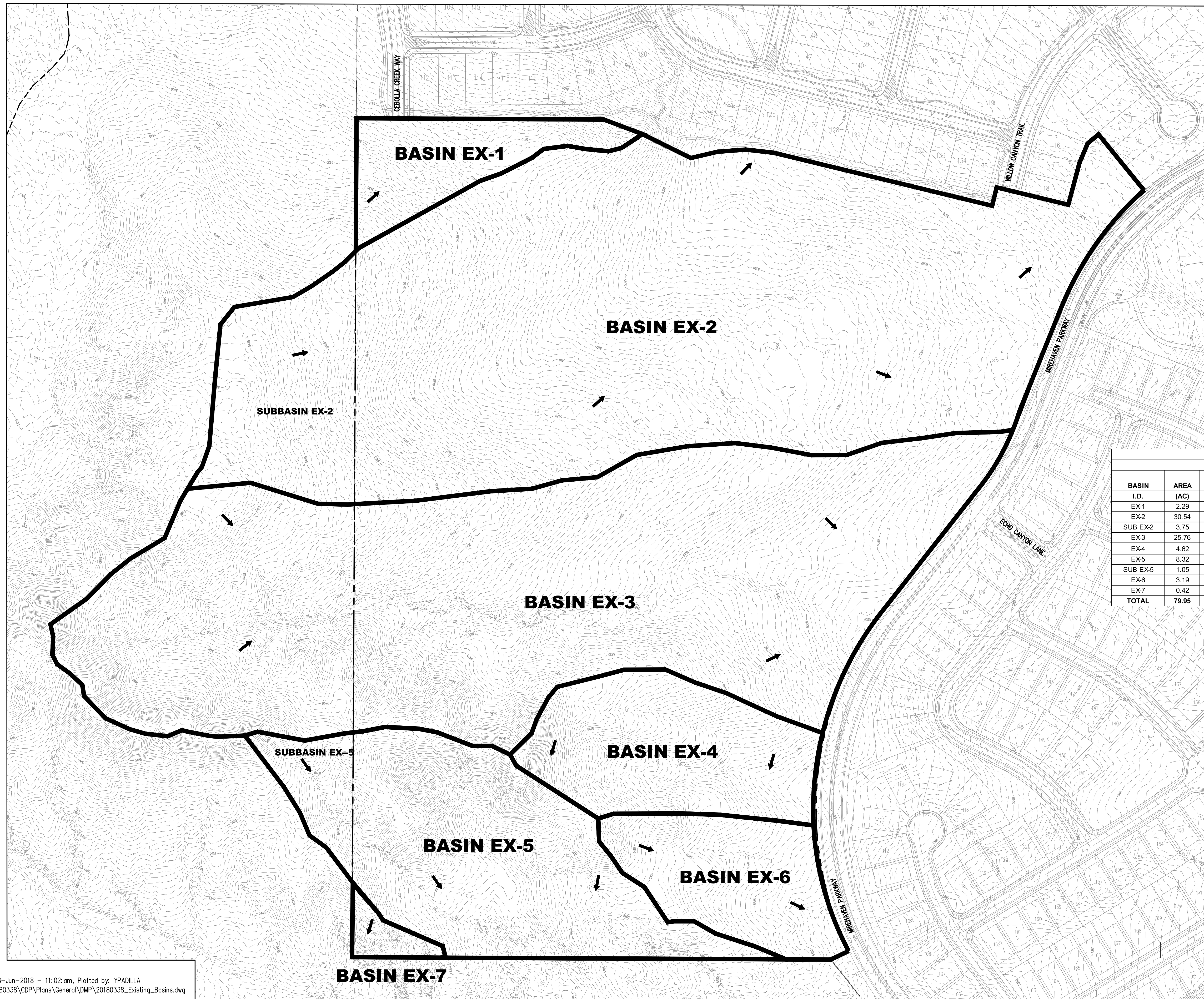
Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development and Planning

YPM/cc  
Enclosures

cc: Kevin Patton, Pulte Group w/enclosures



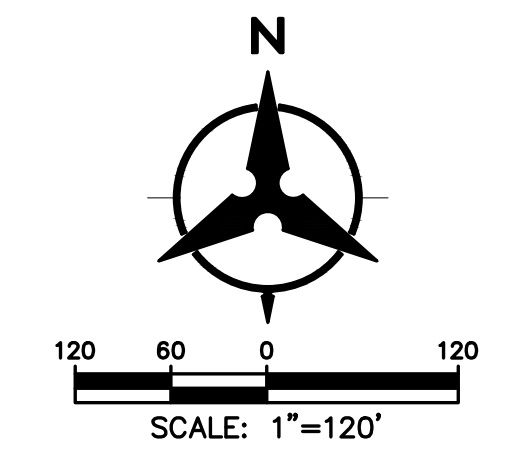
DEL WEBB @ MIREHAVEN  
 PHASES 3&4  
 EXISTING BASINS MAP  
 APRIL 2018



**EXISTING BASIN SUMMARY**

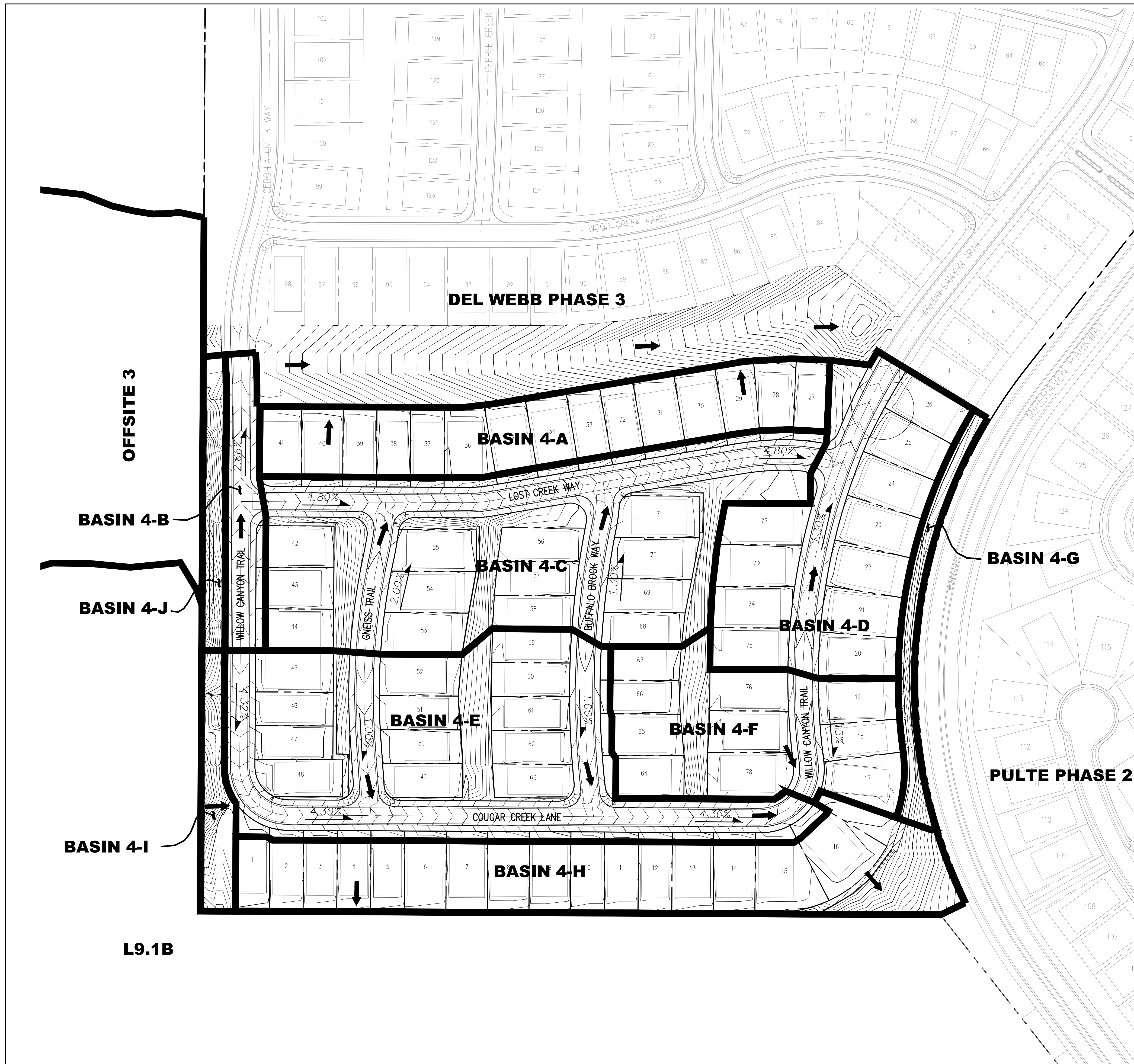
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)	DISCHARGE (CFS)	DISCHARGE (CFS)	VOLUME (AC-FT)	VOLUME (AC-FT)	VOLUME (AC-FT)
		A	B	C	D	2 yr	10 yr	100YR	2yr	10 yr	
EX-1	2.29	38.00%	57.00%	5.00%	0.00%	0.1	1.4	4.08	0.00	0.03	0.11
EX-2	30.54	64.50%	33.50%	2.00%	0.00%	0.7	13.6	47.42	0.01	0.34	1.34
SUB EX-2	3.75	64.50%	33.50%	2.00%	0.00%	0.1	1.7	5.82	0.00	0.04	0.17
EX-3	25.76	40.00%	42.50%	17.50%	0.00%	2.6	17.5	48.13	0.05	0.43	1.36
EX-4	4.62	29.00%	57.00%	14.00%	0.00%	0.4	3.3	8.89	0.01	0.08	0.25
EX-5	8.32	24.00%	43.50%	32.50%	0.00%	1.4	7.2	17.60	0.03	0.18	0.50
SUB EX-5	1.05	24.00%	43.50%	32.50%	0.00%	0.2	0.9	2.22	0.00	0.02	0.06
EX-6	3.19	53.00%	42.50%	4.50%	0.00%	0.1	1.7	5.30	0.00	0.04	0.15
EX-7	0.42	15.00%	66.00%	19.00%	0.00%	0.0	0.3	0.88	0.00	0.01	0.02
<b>TOTAL</b>	<b>79.95</b>					<b>5.59</b>	<b>47.50</b>	<b>140.33</b>	<b>0.12</b>	<b>1.18</b>	<b>3.97</b>

- LEGEND**
- BASIN BOUNDARY
  - FLOW ARROW
  - PROPOSED STORM DRAIN
  - EXISTING STORM DRAIN
  - PROPOSED STREET SLOPE OR FLOW PATH
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET



# DEL WEBB @ MIREHAVEN PHASE 4 PROPOSED BASINS MAP

JUNE 2018

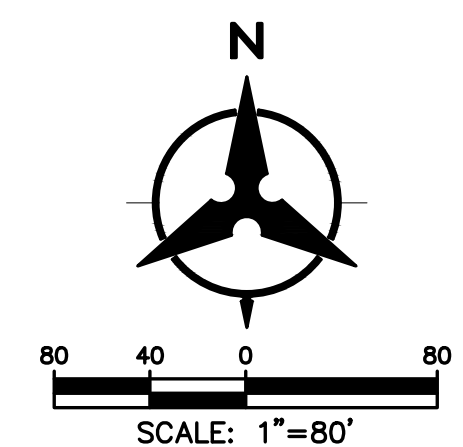


DEVELOPED BASIN SUMMARY											
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)			VOLUME (AC-FT)		
		A	B	C	D	2 yr	10 yr	100YR	2yr	10 yr	10 yr
4-A	2.19	0.00%	30.00%	30.00%	40.00%	1.8	4.0	7.0	0.06	0.13	0.23
4-B	0.59	0.00%	0.00%	34.00%	66.00%	0.8	1.4	2.3	0.03	0.05	0.08
4-C	4.75	0.00%	30.00%	30.00%	40.00%	3.9	8.7	15.3	0.13	0.27	0.51
4-D	2.75	0.00%	30.00%	30.00%	40.00%	2.3	5.0	8.8	0.07	0.16	0.29
4-E	4.56	0.00%	30.00%	30.00%	40.00%	3.8	8.3	14.7	0.12	0.26	0.49
4-F	2.14	0.00%	30.00%	30.00%	40.00%	1.8	3.9	6.9	0.06	0.12	0.23
4-G	0.41	0.00%	20.00%	80.00%	0.00%	0.2	0.5	1.1	0.00	0.01	0.03
4-H	3.06	0.00%	30.00%	30.00%	40.00%	2.5	5.6	9.8	0.08	0.18	0.33
4-I	0.38	0.00%	20.00%	80.00%	0.00%	0.1	0.5	1.0	0.00	0.01	0.03
4-J	0.37	0.00%	20.00%	80.00%	0.00%	0.1	0.5	1.0	0.00	0.01	0.03
OFFSITE 3	7.60	19.00%	50.00%	31.00%	0.00%	1.3	6.7	16.3	0.03	0.17	0.46
<b>TOTAL</b>	<b>28.80</b>					<b>18.7</b>	<b>45.2</b>	<b>84.2</b>	<b>0.6</b>	<b>1.4</b>	<b>2.7</b>

NOTE: ALL BLOCKS DRAIN TOWARD THE FRONT/STREET UNLESS OTHERWISE NOTED BY FLOW ARROW/DIRECTION ABOVE.

### LEGEND

- BASIN BOUNDARY
- FLOW ARROW
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED STREET SLOPE OR FLOW PATH
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET



# Channel Report

<Name> **Westside Swale at Lowpoint**

### Triangular

Side Slopes (z:1) = 6.87, 4.90

Total Depth (ft) = 3.00

Invert Elev (ft) = 10.00

Slope (%) = 4.00

N-Value = 0.045

### Calculations

Compute by: Known Q

Known Q (cfs) = 16.30

### Highlighted

Depth (ft) = 0.87

Q (cfs) = 16.30

Area (sqft) = 4.45

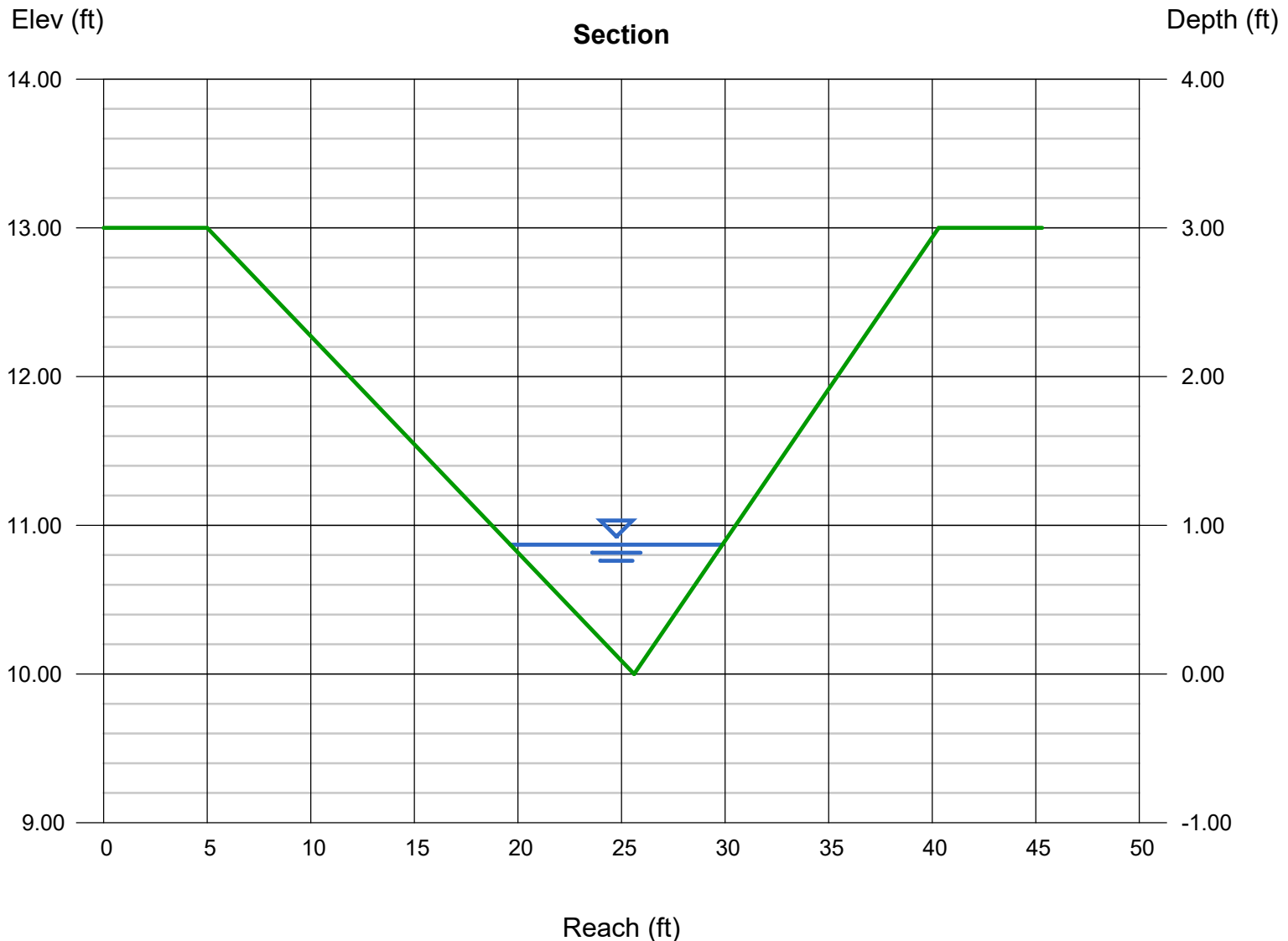
Velocity (ft/s) = 3.66

Wetted Perim (ft) = 10.39

Crit Depth, Yc (ft) = 0.87

Top Width (ft) = 10.24

EGL (ft) = 1.08



# Weir Report

<Name>

## Rectangular Weir

Crest = Sharp  
Bottom Length (ft) = 5.67  
Total Depth (ft) = 0.67

## Calculations

Weir Coeff. Cw = 3.02  
Compute by: Known Depth  
Known Depth (ft) = 0.67

## Highlighted

Depth (ft) = 0.67  
Q (cfs) = 9.391  
Area (sqft) = 3.80  
Velocity (ft/s) = 2.47  
Top Width (ft) = 5.67

Q sub Ex 2 = 5.82cfs  
Q sub Ex 5 = 2.22cfs  
both less than 9.39cfs

<Name>

