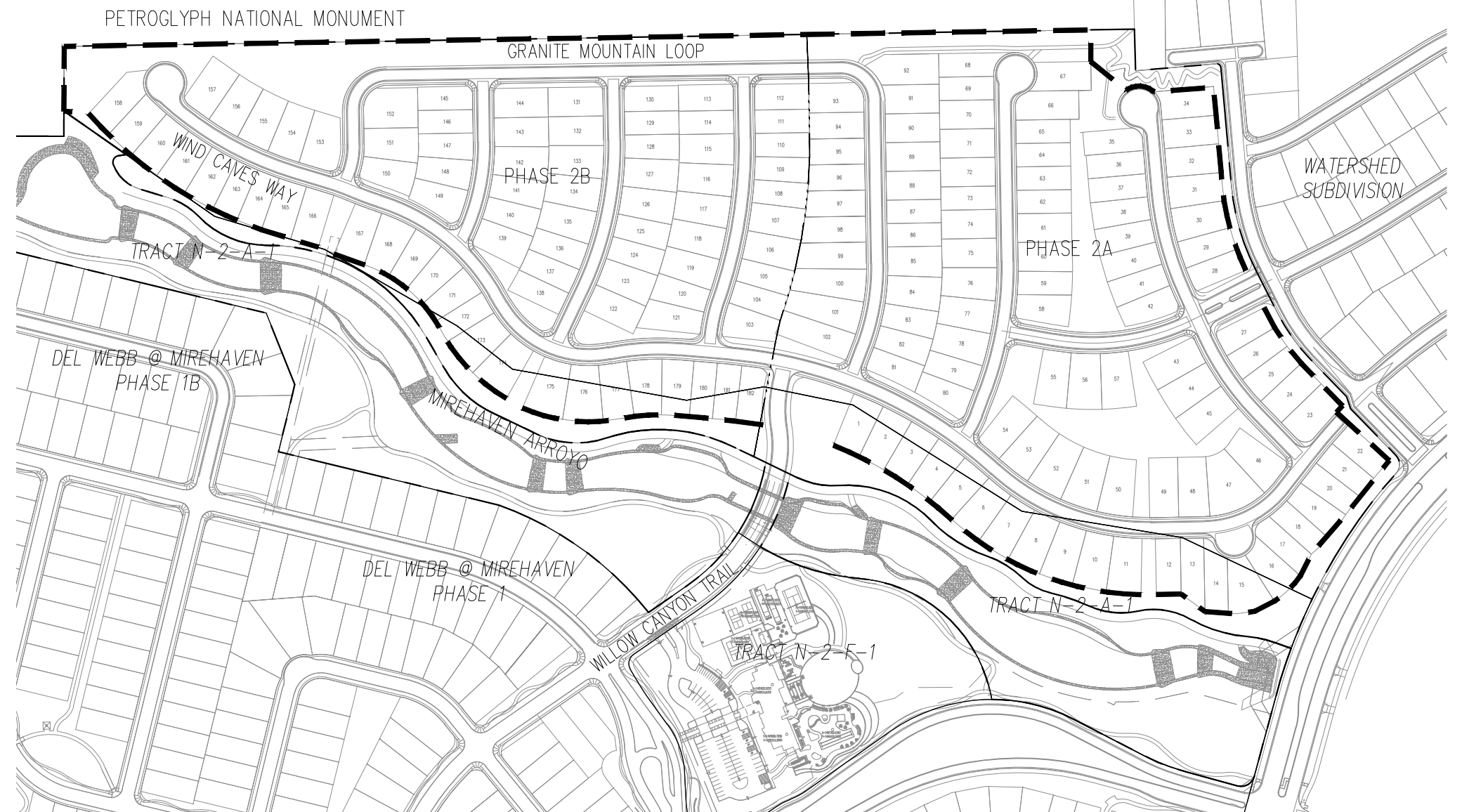
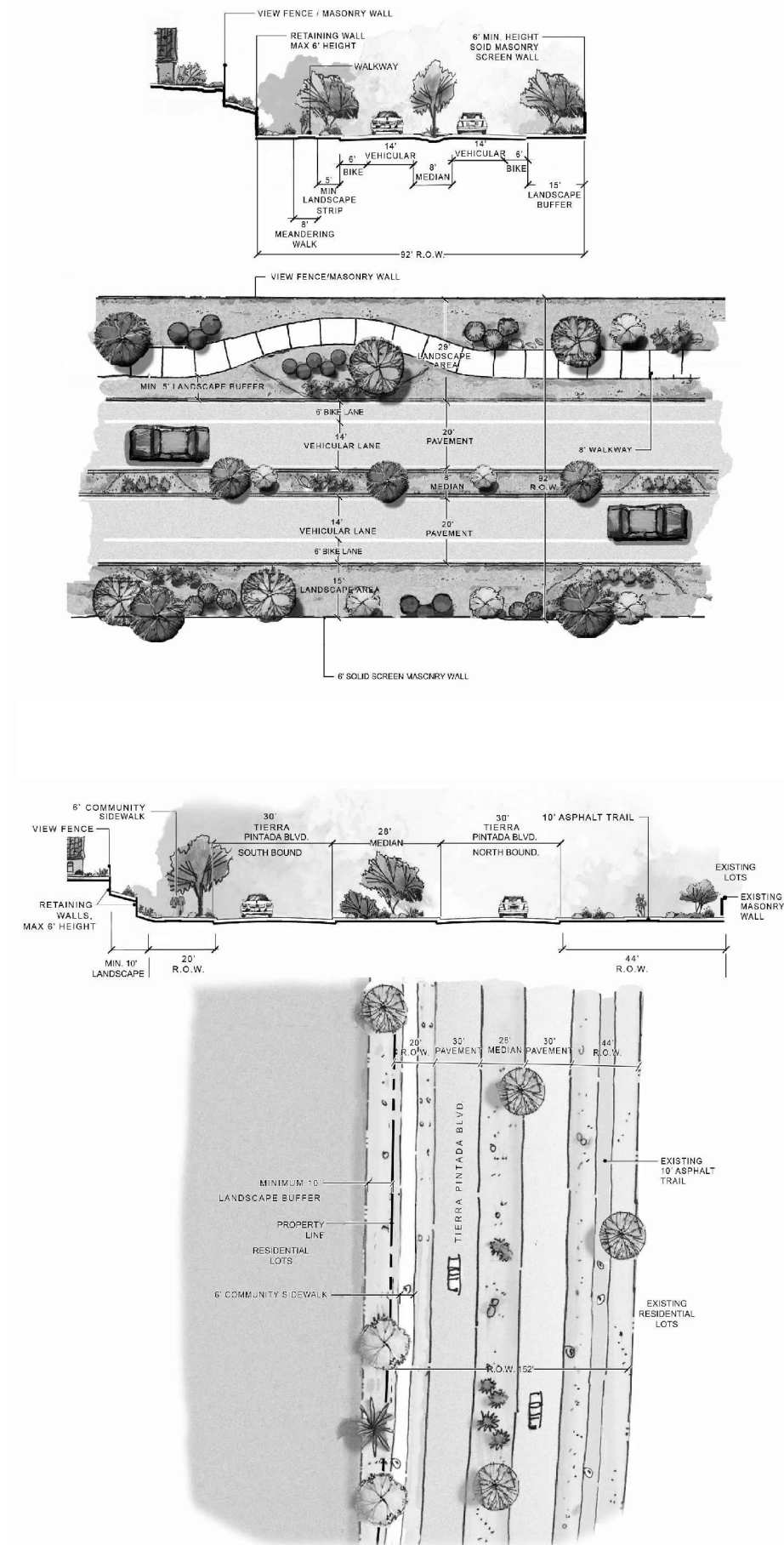


DEL WEBB @ MIREHAVEN PHASE 2

WALL EXHIBIT

December, 2015



--- PROPOSED PERIMETER WALL LOCATION



N.T.S

WATERSHED DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property, which is anticipated to occur in phases. The primary goal for Watershed is to provide lifestyle choices for active adults and traditional, mixed-generation families within two, side-by-side communities that feature private parks, private open space, trails, and other amenities that are sensitive to and complement the adjacent Petroglyph National Monument.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for Watershed. These Design Standards are intended to supplement, but not replace, the Westland Master Plan Design Guidelines. Future subdivision plats and development shall be consistent with this Site Plan for Subdivision and Design Standards, Westland Master Plan, and the Northwest Mesa Escarpment Plan. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code and major amendments shall be approved by the Environmental Planning Commission (EPC).

1. APPROVAL PROCESS

- A. The first tract to develop adjacent to the Petroglyph National Monument shall return to the EPC for review of the Site Development Plan for Subdivision. At that time, the EPC can choose to delegate future site development plans for subdivision to administrative review or to retain its approval authority and review a subsequent submittal. Administrative review would consist of the Planning Director or her/his designee, and an EPC staff planner, performing a design review analysis with each site development plan for subdivision for the proposed tracts to ensure compliance with applicable rules, regulations, standards, and policies prior to submittal to the DRB.
- B. The applicant shall consult with the National Park Service and Parks and Recreation prior to approval of development adjacent to the Petroglyph National Monument.

2. DENSITY and MINIMUM LOT AREA

- A. Pursuant to the Westland Master Plan and Western Albuquerque Land Holdings Sector Development Plan, the overall gross density of the Watershed development shall be limited to 4 dwelling units per acre.
- B. Pursuant to the Westland Master Plan, the minimum lot area shall be 3,200 square feet per dwelling unit and the minimum lot width shall be 32 feet for properties zoned SU-2 for PDA that will be developed with houses.

3. PARKING and PARKING LOT STANDARDS

Parking at Watershed is primarily for single family residential development, however, the private clubhouse will include parking areas. The goal is to provide enough, but not excessive, amounts of parking so that the development does not become dominated by parking. All single family residential homes will include a garage.

- A. Off-street parking for single family residential development shall be provided at the following rate:
 - 2 spaces per 2 bedroom dwelling unit
 - 3 spaces per 3-4 bedroom dwelling unit
 - 4 parking spaces per 5 bedrooms or greater dwelling unit
 - 3 spaces for rear-loaded 3-4 bedroom dwelling unit, of which 1 parking space can be met on-street
- B. The minimum number of parking spaces for the private clubhouse (the only non-residential use allowed) shall be a minimum of 75, which based on a 12,000 square foot building and outdoor recreational amenities (e.g., tennis, pickleball, bocce, event lawn, etc.).
- C. The number and design of handicapped spaces, motorcycle spaces, and bicycle spaces at the private clubhouse shall be based on the final number of parking spaces provided and in accordance with the City Zoning Code, Section 14-16-3-1 Off-Street Parking Regulations.

4. UTILITIES and SCREENING

To ensure the overall aesthetic quality of the property, the visual impact of utilities and equipment shall be minimized by the following:

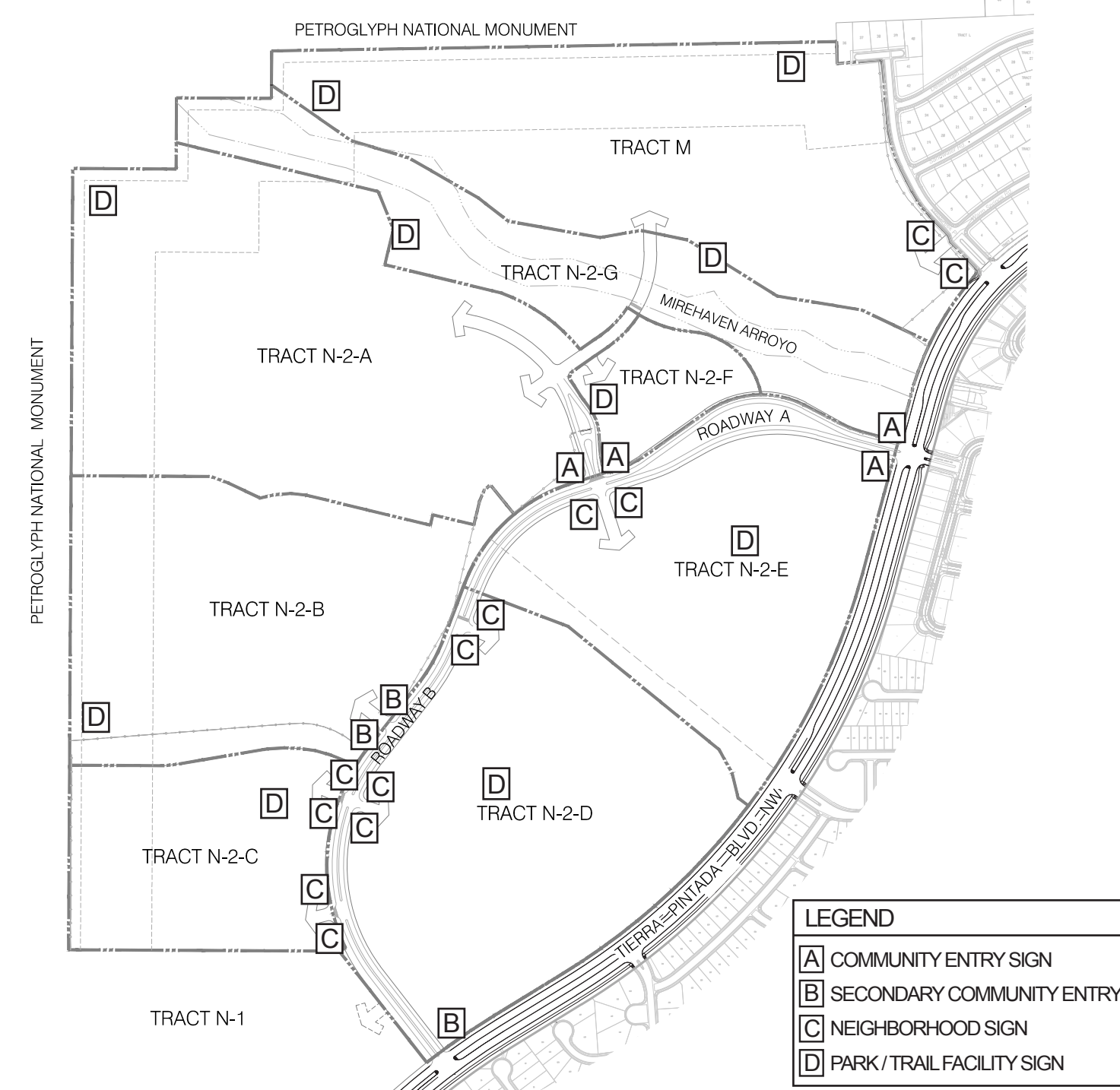
- A. On-site utilities, including electrical, telephone, and communication wires and equipment shall be installed and maintained underground.
- B. Transformers, utility pads, cable TV, and telephone boxes shall be located out of view from public rights-of-way or visually screened with vegetation, fences, or walls. Screening shall be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to PNM Electric Service Guide at www.pnm.com for specifications.
- B. Developers shall contact PNM's New Service Delivery Department to coordinate electric service to avoid potential delays in meeting in-service target dates. Any existing or proposed public utility easements shall be indicated on subsequent Site Plan utility sheets. PNM's standard for electric distribution public utility easements is 10 feet in order to ensure adequate and safe clearances.
- C. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- D. Alleys and interior parking courts may be used for dry utilities and sewer, wherever practical.
- E. All roof-mounted equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- F. Freestanding cellular antenna and cell towers shall be discouraged. Antennas shall be integrated with buildings, light poles, existing utility structures and other public facilities.

5. SIGNAGE

The signage standards were developed to regulate the size, location, type, and quality of sign elements within the Watershed development. The goal is to provide a wayfinding system throughout Watershed that maintains a consistent style, creates a sense of arrival, and complements the visual character of the property. A specific signage design program shall be approved by the Planning Director, concurrently with the review of each future subdivision.

- A. All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Westland Master Plan Design Guidelines. Pursuant to the SU-2 for PDA zone, the general principles guiding signage within the SU-2 for PDA zone should follow C-1 sign controls or as determined by an approved site development plan, which is satisfied by this Site Plan for Subdivision.
- B. The primary Watershed community entry sign (Sign A) shall be part of a larger wall / landscape entry, and shall identify the project with wall-mounted lettering. Active adult residential signs, neighborhood signs, facility signs (i.e., private parks, trails, trailheads), and directional signs (Signs B, C, and D) shall be monument-style.
- C. All signs shall have a stone or stucco base and columns, the sign face shall be stucco, metal, or cast in place concrete, and shall be lighted with fixtures that meet night sky requirements and illuminate the lettering on the sign only.
- D. Entry monument signs for Watershed and each subdivision shall be placed on both sides of the entry road, where practical.
- E. Directional signs shall be provided within the private roadway easements in Tracts A, B, and F.
- F. Signage within the NWMEP Impact Area cannot exceed 6 square feet of sign face area.
- G. Landscaping and signage shall not interfere with clear sight requirements. All signs, walls, trees, and shrubs between 3 and 8 feet tall (as measured from the gutter pan) shall not be acceptable in this area.
- H. Free-standing signs shall not require any external bracing, angle-iron supports, guy wires or similar devices. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights. Off-premise signs, signs with reader boards, and electronic signs are prohibited.
- I. Building-mounted signs shall not be permitted.
- J. Signs shall not overhang into the public right-of-way or extend above the building roof line.

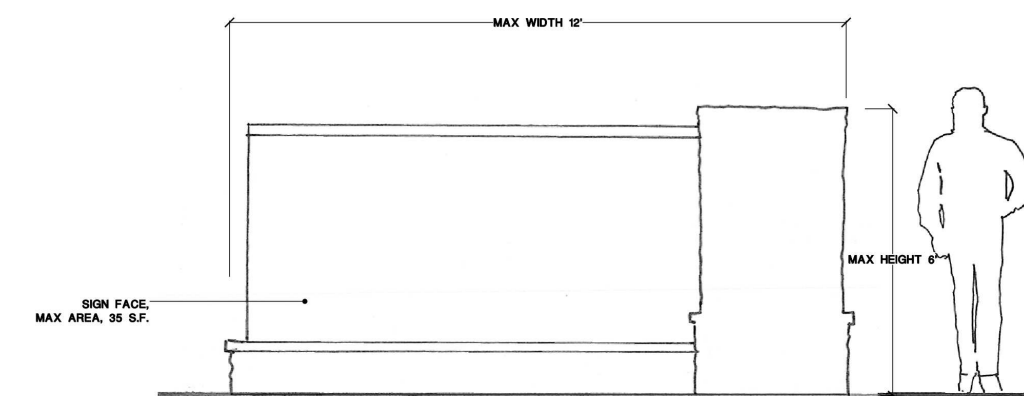
K. ILLUSTRATIVE SIGNAGE LOCATIONS. The following illustrations provide the location and size standards for the sign program at Watershed:



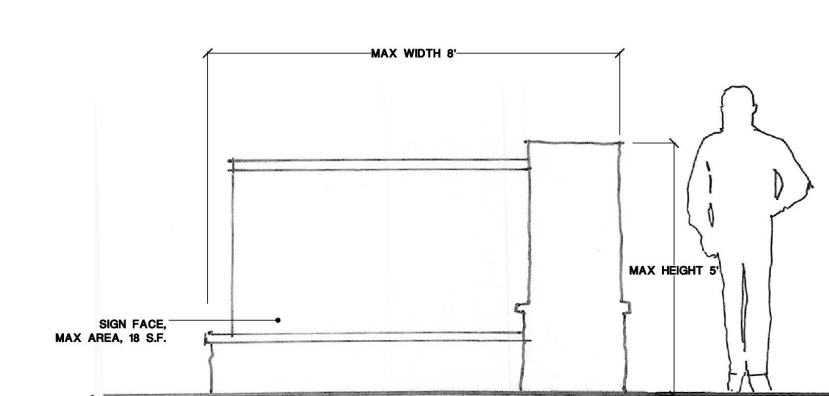
L. ILLUSTRATIVE COMMUNITY ENTRY WALL / SIGN - A



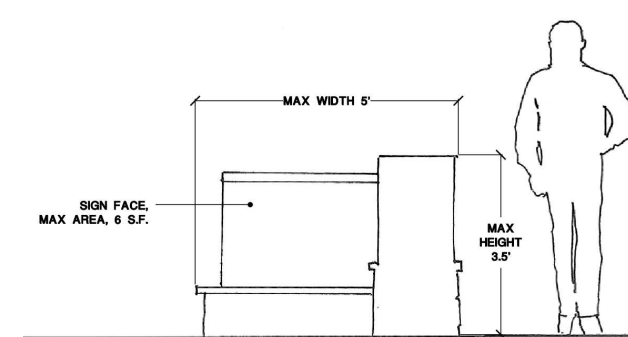
M. ILLUSTRATIVE SECONDARY COMMUNITY ENTRY - B
Max. Height: 6 feet. Max. Length: 12 feet. Max. Sign face: 35 SF.



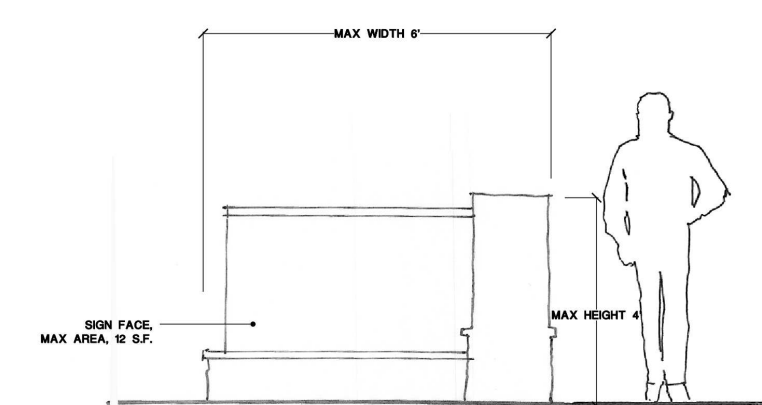
N. ILLUSTRATIVE RESIDENTIAL NEIGHBORHOOD SIGN - C
Max. Height: 5 feet. Max. Length: 8 feet. Max. Sign face: 18 SF



O. ILLUSTRATIVE FACILITIES SIGN - D
(within NWMEP Impact Area)
Max. Height: 3.5 feet. Max. Length: 5 feet. Max. Sign face: 6 SF



P. ILLUSTRATIVE FACILITIES SIGN - D
Max. Height: 4 feet. Max. Length: 6 feet. Max. Sign face: 12 SF



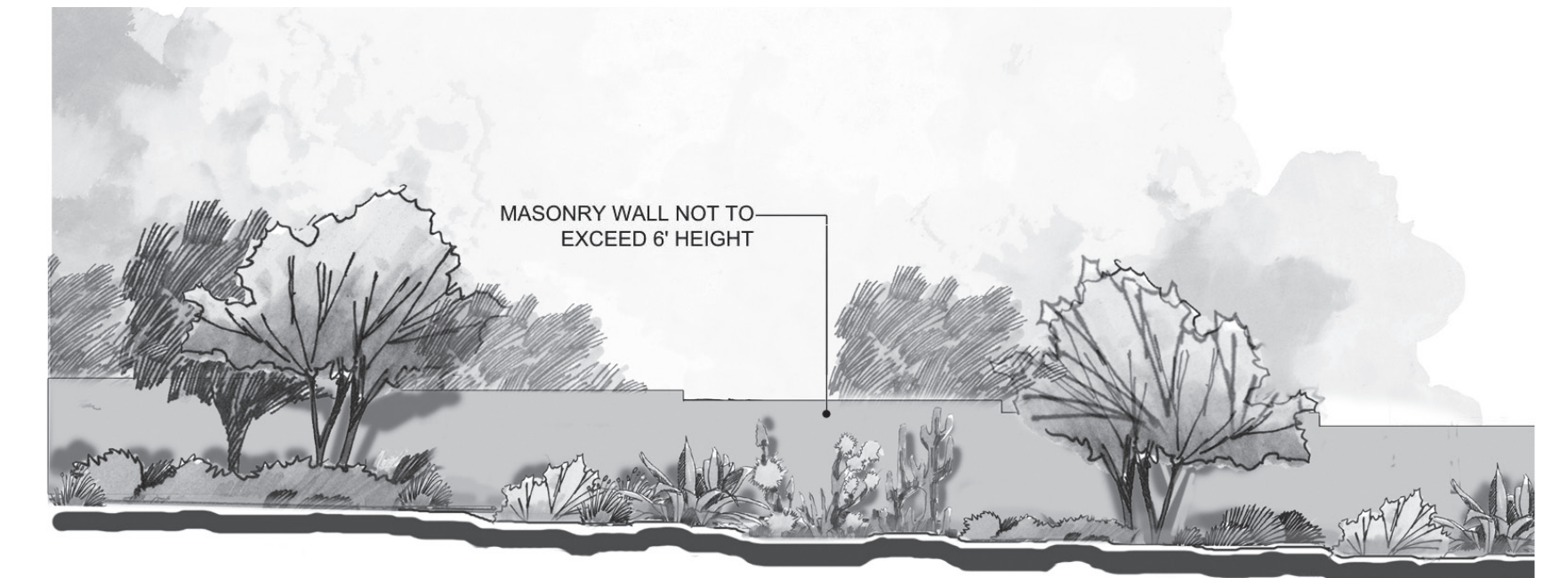
6. WALLS / FENCES

The intent of the wall and fence program for Watershed is to minimize their visual impact through landscaping, meandering within a landscape area, providing openings, and view fence, where appropriate.

- A. Walls and fences shall comply with City Comprehensive Zoning Code, Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls and as specified below.
- B. Landscape provided along walls shall comply with the regulations contained in City Comprehensive Zoning Code, Section 14-16-3-19 (B) (2) (b) e.
- C. View fence (tubular steel) shall be provided in areas adjoining private parks, the Petroglyph National Monument, and the Mirehavent Arroyo. The maximum height of the view fence shall be 6 feet (see illustrations below).
- D. The perimeter wall shall be a combination of walls, view fence, and open fencing. Acceptable materials include CMU block, tubular steel, and other materials pursuant to the City Comprehensive Zoning Code.

- E. Perimeter fences and/or walls shall include pedestrian openings (may be gated) at key locations within the development to ensure convenient access to other areas within the property.
- F. Yard walls shall be finished to match adjoining exterior house walls, where applicable. Walls shall not exceed 6 feet in height except at the gate opening.
- G. No pedestrian or vehicular access gates or openings from private residences directly into the Petroglyph National Monument shall be allowed.
- H. Pursuant to the Northwest Mesa Escarpment Plan (NWMEP), stucco wall colors within the Impact Area shall be limited to yellow ochres, browns, dull reds, and grey-greens existing on the mesa and escarpment, exclusive of the basalt. The reflectance of the approved colors ranges between 14 percent and 63 percent of the light which falls on them. This middle range of reflectance is intended to avoid very light and very dark colors. A chart of the approved colors is available for review at the City Planning Department.
- I. Rear and side yard view fence/walls facing the Petroglyph National Monument shall be staggered by 3 feet horizontally for every two lots.
- J. Development at the edge of public or private open space shall be designed to complement and enhance the open space. Where the adjacent land use requires visual privacy, non-continuous, non-perimeter walls may be constructed. Varied setbacks and landscaping are required.
- K. Unfinished block walls and barbed wire, chain link, concertina wire, wood picket, and plastic/vinyl fencing are prohibited.

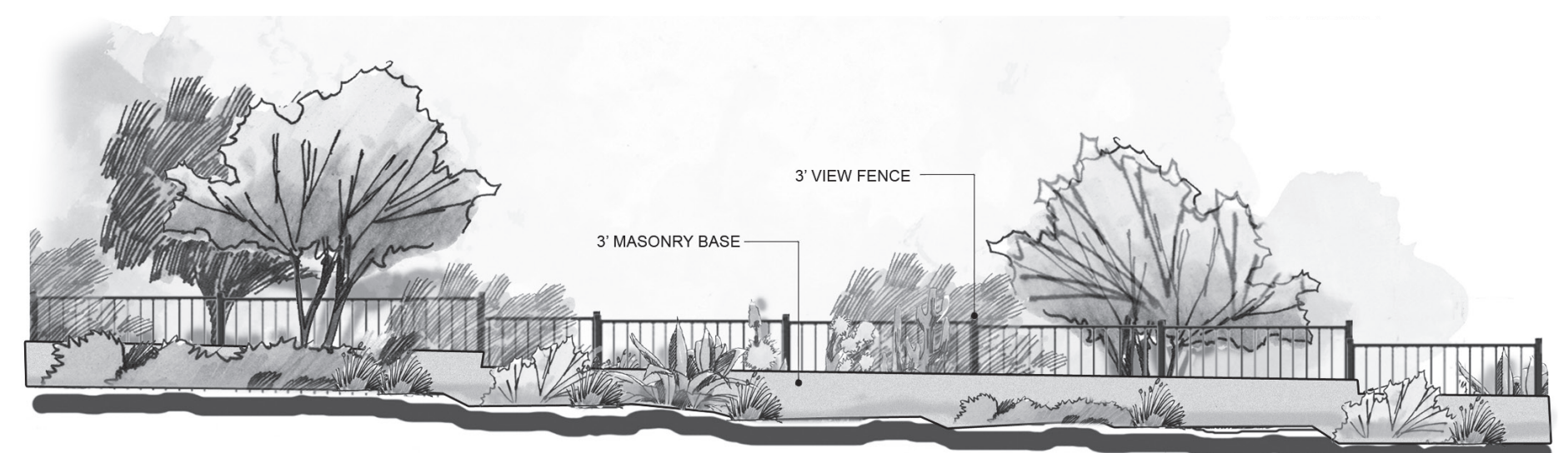
L. ILLUSTRATIVE WALL ELEVATION



M. ILLUSTRATIVE VIEW FENCE (PERIMETER FENCE) ADJACENT TO PRIVATE PARKS, PETROGLYPH NATIONAL MONUMENT, MIREHAVEN ARROYO



N. ILLUSTRATIVE VIEW FENCE WITH MASONRY BASE ADJACENT TO PRIVATE PARKS, PETROGLYPH NATIONAL MONUMENT, MIREHAVEN ARROYO



WATERSHED @ ESTRELLA

SITE PLAN FOR SUBDIVISION

Prepared For:

Pulte Group

August 30, 2013

Prepared By:

SEC Planning, LLC
Consensus Planning, Inc.
Bohannan Huston, Inc.
Sheet 2 of 8