

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form **S**
Z
 Major Subdivision action
 Minor Subdivision action
 Vacation **V**
 Variance (Non-Zoning) **V**

SITE DEVELOPMENT PLAN **P**
 for Subdivision Purposes
 for Building Permit
 Administrative Amendment (AA)
 IP Master Development Plan **D**
 Cert. of Appropriateness (LUCC) **L**
A

STORM DRAINAGE (Form D)
 Storm Drainage Cost Allocation Plan

ZONING & PLANNING
 Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (**Phase I, II, III**)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)
 Street Name Change (Local & Collector)

APPEAL / PROTEST of...
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX (505) 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ypadilla@bhinc.com
 APPLICANT: Pulte Development of New Mexico PHONE: 505-341-8591
 ADDRESS: 7601 Jefferson St NE Suite 320 FAX: 505-761-9850
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: Kevin.Patton@PulteGroup.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Extension of Preliminary Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts M of Watershed and Tract N-2-A-1 of Del Webb @ Mirehaven Ph1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Watershed Subdivision
 Existing Zoning: SU-2 for PDA Proposed zoning: No change MRGCD Map No _____
 Zone Atlas page(s): H-8 H-9 UPC Code: 100805949134210101 & 100805942229341115

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
10006864 15EPC-40049

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: 2 No. of proposed lots: 182 Total area of site (acres): 72.89 ac

LOCATION PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd
 Between: MIREHAVEN PARKWAY and WESTCREEK PLACE

Check-off if project was previously reviewed by Sketch Plat/Plan X, or Pre-application Review Team . Date of review: _____

SIGNATURE Yolanda Padilla Moyer DATE 1/31/17
 (Print) Yolanda Padilla Moyer, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date _____			\$ _____

Project #

Planner signature / date _____

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Yolanda Meyer
 Applicant name (print)
 Yolanda Meyer 1/31/17
 Applicant signature / date



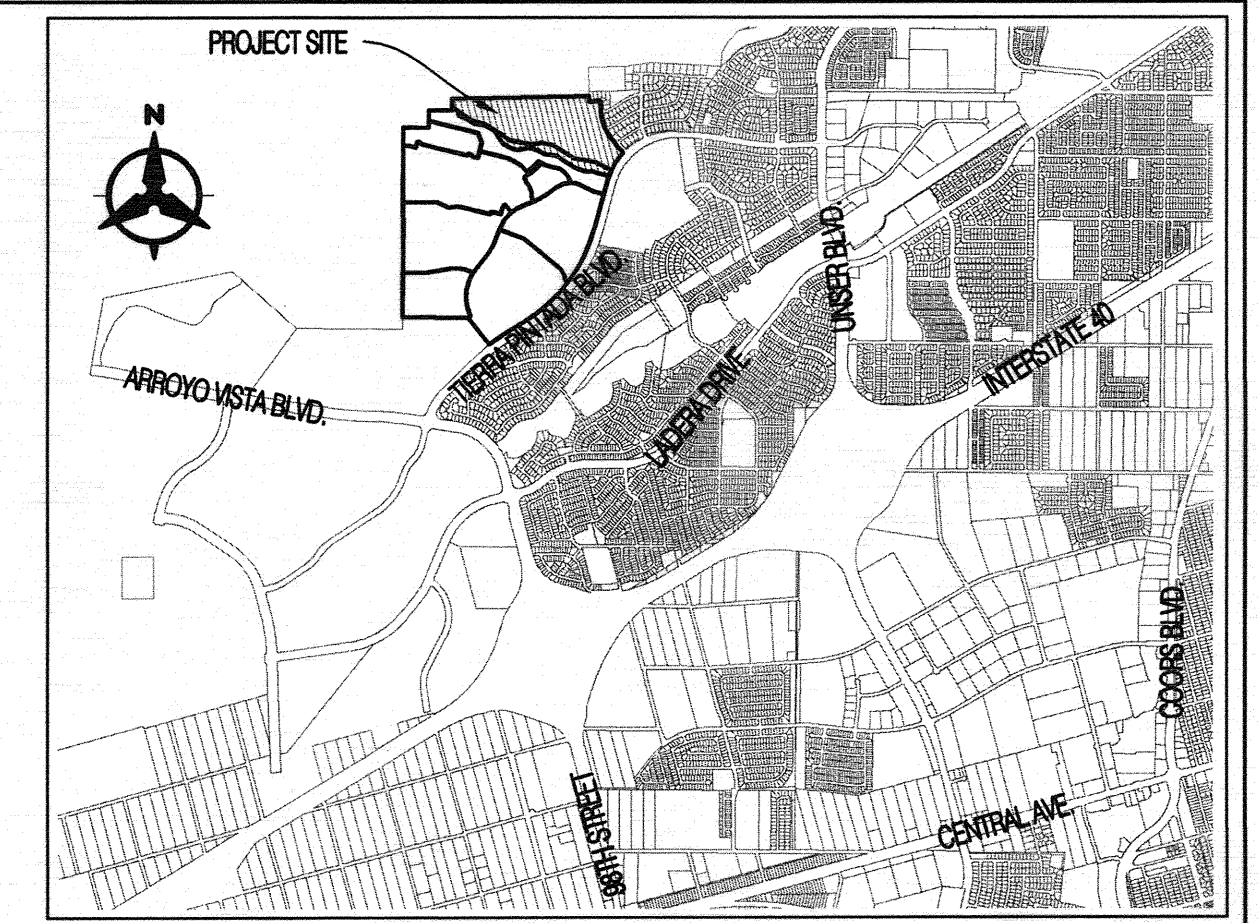
Form revised October 2007

- | | |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected | _____ |
| <input type="checkbox"/> Case #s assigned | _____ |
| <input type="checkbox"/> Related #s listed | _____ |

Project # _____ Planner signature / date _____

PRELIMINARY PLAT
 DEL WEBB @ MIREHAVEN PHASE 2
 (REPLAT OF TRACT M & TRACT N-2-A-1)
 ALBUQUERQUE, NEW MEXICO

DECEMBER, 2015



LOCATION MAP
 SCALE: 1"=3000'
 Zone Atlas Index Number: H-8 & H-9.

PLAT IS LOCATED WITHIN TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 8 & 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

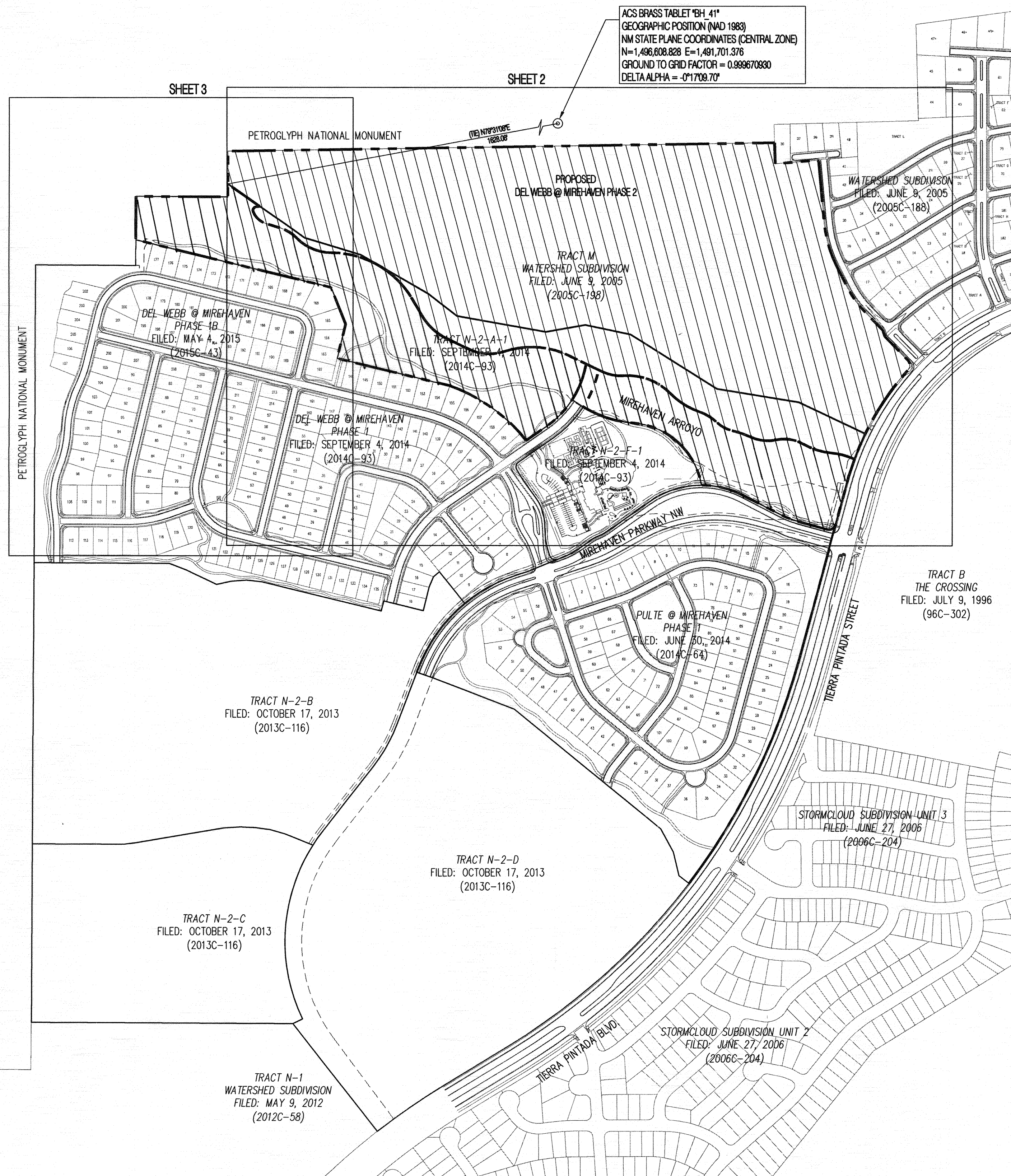
Soren A. Reinhardt P.S. 12/9/15
 CITY SURVEYOR DATE

OWNER:

WESTERN ALBUQUERQUE LAND HOLDINGS LLC, A DELAWARE LIMITED LIABILITY COMPANY
 BY: GARRETT DEVELOPMENT CORPORATION, AGENT

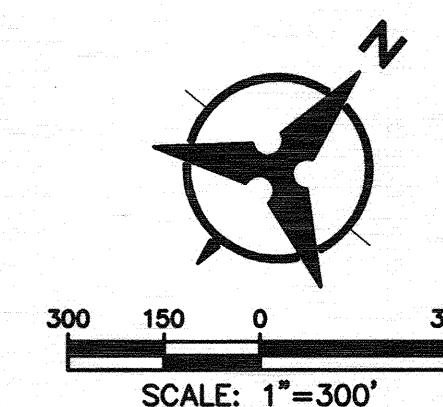
BY: *Ted E. Garrett*
 TED E. GARRETT
 VICE PRESIDENT

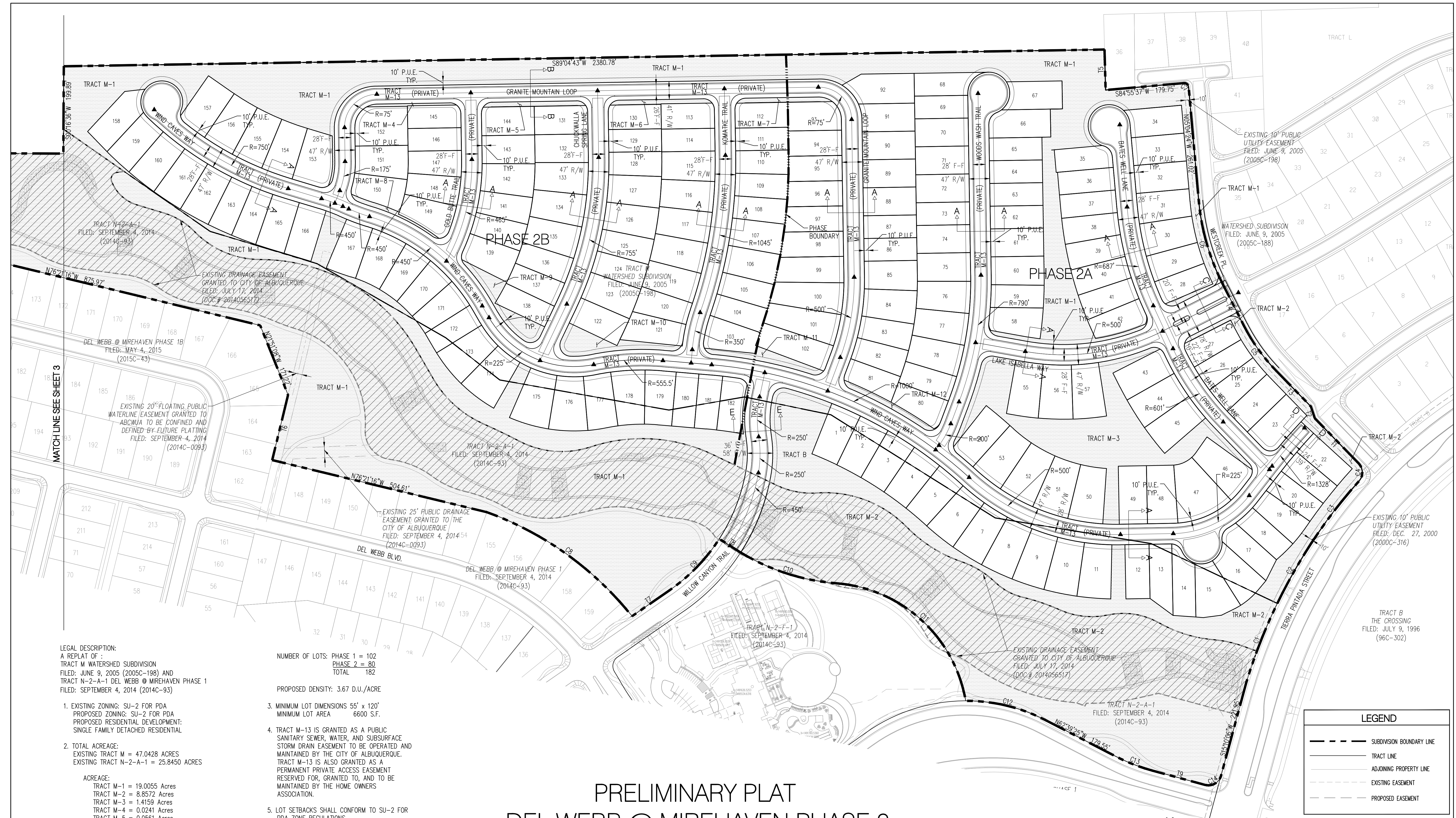
DATE: 12/9/15



ACS BRASS TABLET "BH 41"
 GEOGRAPHIC POSITION (NAD 1983)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 N=1,496,808.828 E=1,491,701.376
 GROUND TO GRID FACTOR = 0.999670930
 DELTA ALPHA = -01.708.707

LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	PROJECT SITE





LEGAL DESCRIPTION:
 A REPLAT OF :
 TRACT M WATERSHED SUBDIVISION
 FILED: JUNE 9, 2005 (2005C-198) AND
 TRACT N-2-A-1 DEL WEBB @ MIREHAVEN PHASE 1
 FILED: SEPTEMBER 4, 2014 (2014C-93)

- EXISTING ZONING: SU-2 FOR PDA
 PROPOSED ZONING: SU-2 FOR PDA
 PROPOSED RESIDENTIAL DEVELOPMENT:
 SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE:
 EXISTING TRACT M = 47.0428 ACRES
 EXISTING TRACT N-2-A-1 = 25.8450 ACRES

ACREAGE:

TRACT M-1	= 19.0055 Acres
TRACT M-2	= 8.8572 Acres
TRACT M-3	= 1.4159 Acres
TRACT M-4	= 0.0241 Acres
TRACT M-5	= 0.0561 Acres
TRACT M-6	= 0.0533 Acres
TRACT M-7	= 0.0515 Acres
TRACT M-8	= 0.0373 Acres
TRACT M-9	= 0.1788 Acres
TRACT M-10	= 0.1916 Acres
TRACT M-11	= 0.1141 Acres
TRACT M-12	= 0.0669 Acres
TRACT M-13	= 10.5387 Acres (SEE NOTE 4 BELOW)

NUMBER OF LOTS: PHASE 1 = 102
 PHASE 2 = 80
 TOTAL 182

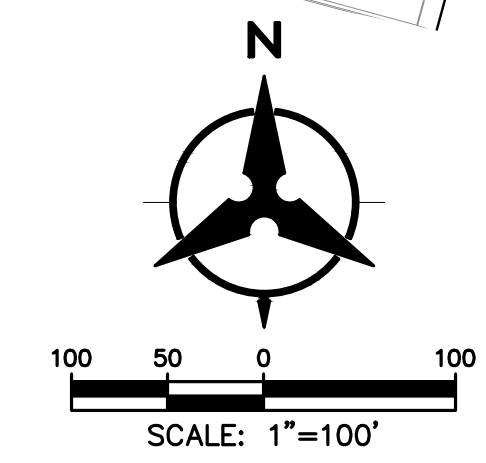
PROPOSED DENSITY: 3.67 D.U./ACRE

- MINIMUM LOT DIMENSIONS 55' x 120'
 MINIMUM LOT AREA 6600 S.F.
- TRACT M-13 IS GRANTED AS A PUBLIC SANITARY SEWER, WATER, AND SUBSURFACE STORM DRAIN EASEMENT TO BE OPERATED AND MAINTAINED BY THE CITY OF ALBUQUERQUE. TRACT M-13 IS ALSO GRANTED AS A PERMANENT PRIVATE ACCESS EASEMENT RESERVED FOR, GRANTED TO, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- LOT SETBACKS SHALL CONFORM TO SU-2 FOR PDA ZONE REGULATIONS.
- PROPOSED SOLAR ACCESS PROVISIONS, SEE PARAGRAPH 14-14-4-(2B) OF THIS ARTICLE

PRELIMINARY PLAT
 DEL WEBB @ MIREHAVEN PHASE 2
 (REPLAT OF TRACT M & TRACT N-2-A-1)
 ALBUQUERQUE, NEW MEXICO
 DECEMBER, 2015

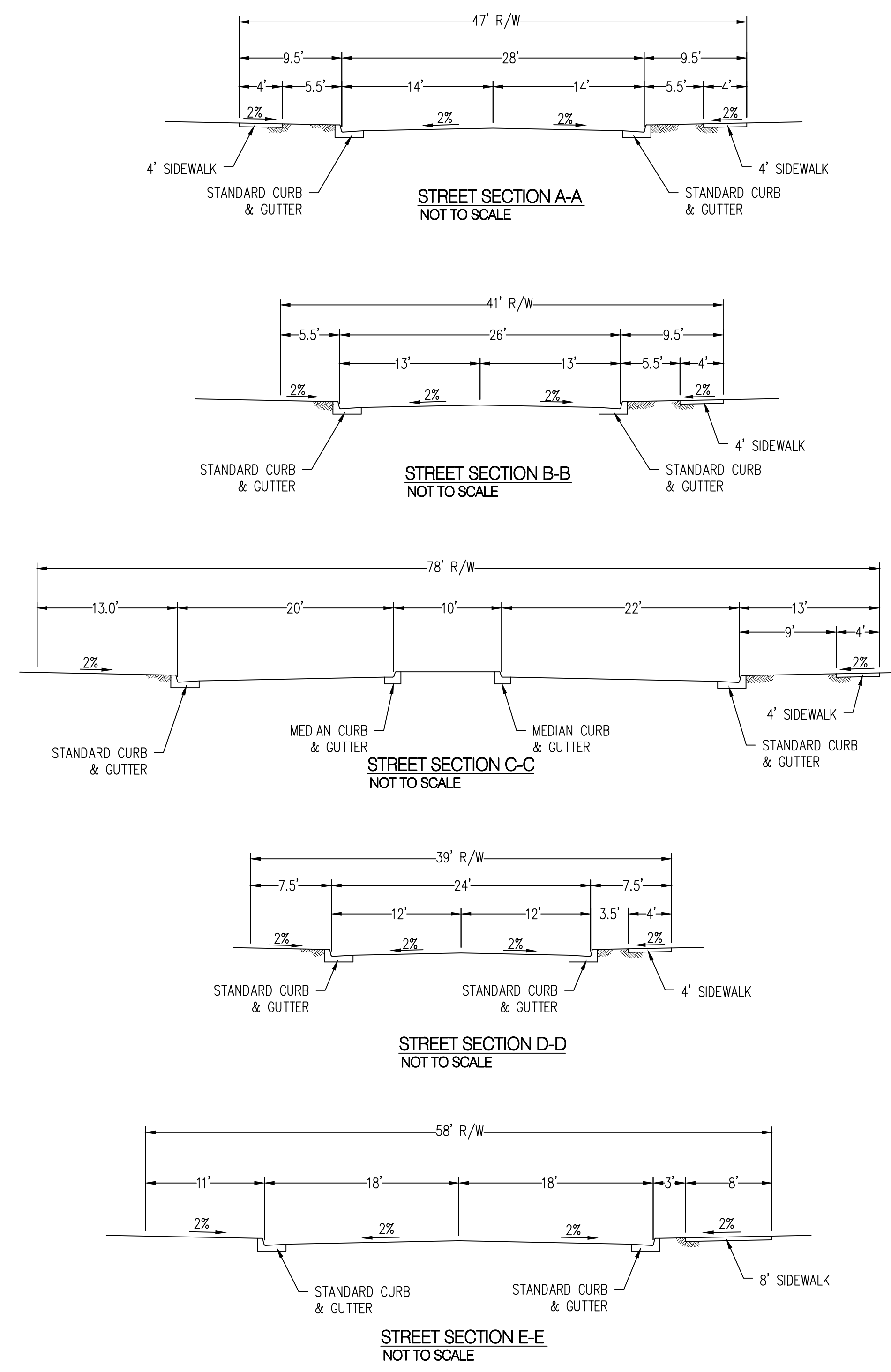
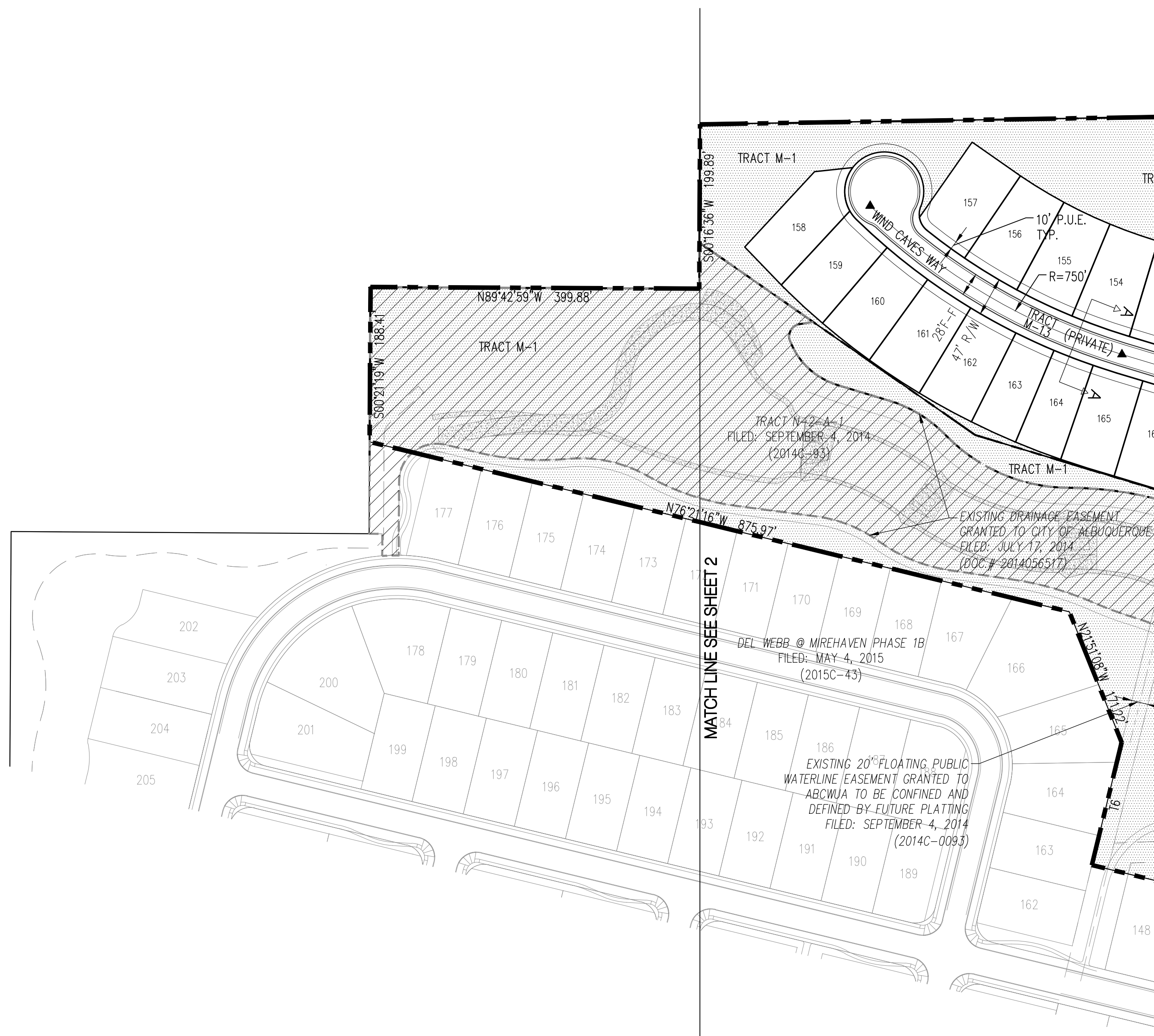
LEGEND

	SUBDIVISION BOUNDARY LINE
	TRACT LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT



SHEET 2 of 3

Thu, 10-Dec-2015 - 3:06:pm, Plotted by: AROMERO
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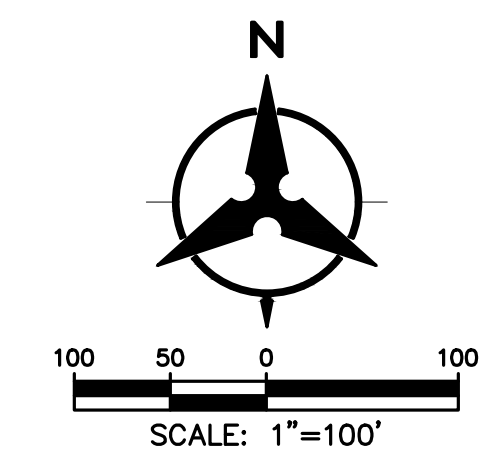


Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	08°50'32"	96.98'	193.57'	1254.32'	193.38'	N21°24'21"E
C2	07°16'53"	79.66'	159.11'	1252.00'	159.00'	N29°28'39"E
C3	08°51'05"	89.24'	178.12'	1153.00'	177.95'	N37°32'38"E
C4	86°09'25"	28.05'	45.11'	30.00'	40.98'	N01°06'32"W
C5	17°15'54"	64.22'	127.46'	423.00'	126.98'	N35°31'31"W
C6	21°47'09"	100.65'	198.86'	523.00'	197.67'	N15°59'23"W
C7	89°58'58"	10.00'	15.70'	10.00'	14.14'	N50°04'23"W
C8	31°37'05"	212.60'	414.35'	750.85'	409.11'	S54°22'18"E
C9	22°29'23"	83.70'	165.25'	421.00'	164.19'	N44°04'20"E
C10	26°40'46"	118.56'	232.82'	500.00'	230.73'	S72°12'14"E
C11	75°45'59"	252.85'	429.77'	325.00'	399.14'	S47°39'38"E
C12	27°27'02"	96.84'	189.97'	396.50'	188.15'	S76°22'56"E
C13	12°09'51"	45.66'	90.97'	428.50'	90.80'	S68°44'20"E
C14	90°00'38"	30.01'	47.13'	30.00'	42.43'	N60°10'25"E

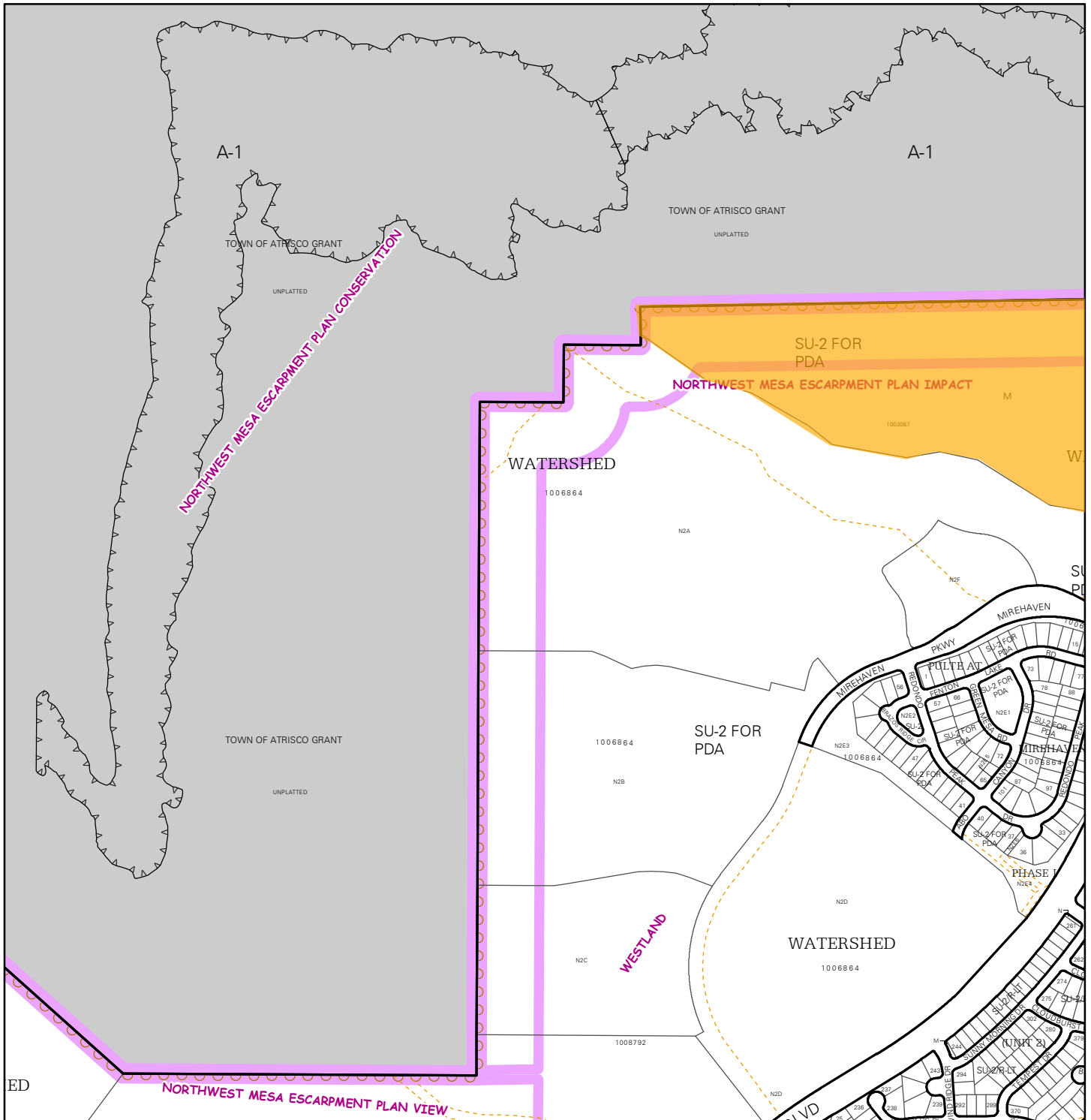
Tangent Data		
ID	BEARING	DISTANCE
T1	N44°11'15"W	143.54'
T2	N18°11'10"W	28.36'
T3	N44°08'30"W	114.76'
T4	N26°57'44"W	107.08'
T5	N01°30'09"W	92.66'
T6	S13°38'34"W	153.60'
T7	S55°19'02"W	103.95'
T8	N57°20'21"W	58.00'
T9	N74°49'16"W	124.65'

PRELIMINARY PLAT
DEL WEBB @ MIREHAVEN PHASE 2
 (REPLAT OF TRACT M & TRACT N-2-A-1)
 ALBUQUERQUE, NEW MEXICO
 DECEMBER, 2015

LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT



Thu, 10-Dec-2015 - 3:04:pm, Plotted by: AROMERO
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For more current information and details visit: <http://www.cabq.gov/gis>

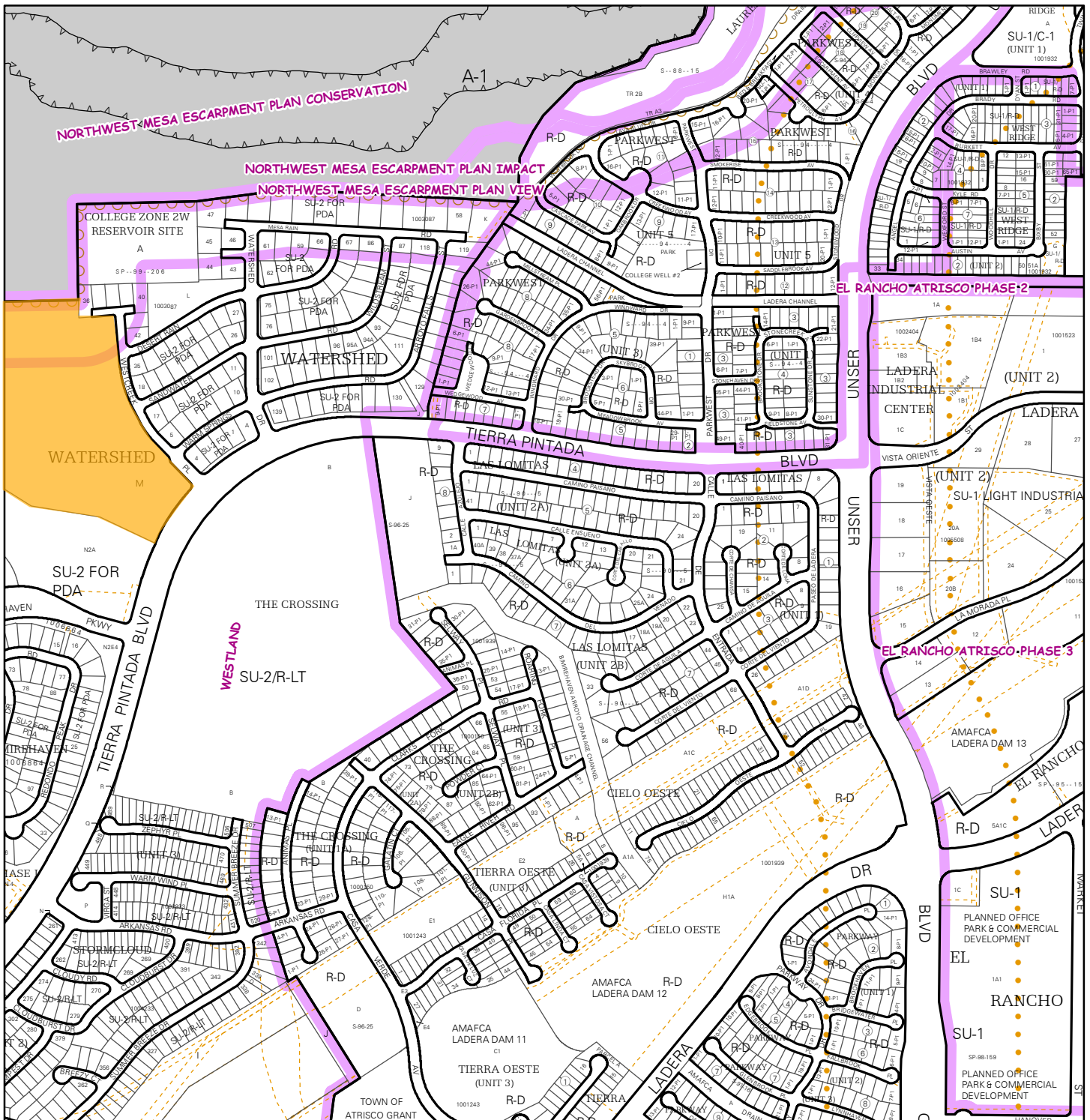
Map amended through: 9/2/2014

Note: Grey Shading Represents Area Outside of the City Limits

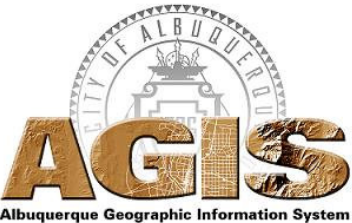
Zone Atlas Page:
H-08-Z

Selected Symbols

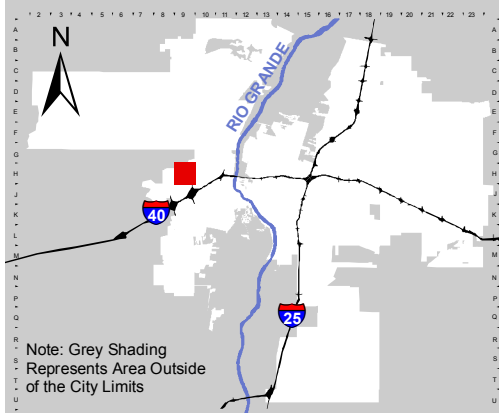
- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014

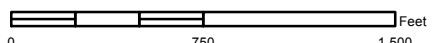


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	



January 3, 2017

Mr. Jack Cloud, DRB Chair
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87103

Re: Del Webb at Mirehaven Phase 2 (Replat of Tract M at Watershed and Tract N-2-A-1 of Del Webb at Mirehaven Phase 1) – Preliminary Plat Extension Request DRB#1006864

Enclosed for Development Review Board (DRB) preliminary plat review and comment are copies of the following information:

- Original Preliminary Plat dated December 2015
- Zone Atlas Map
- Copy of Original DRB Approved Infrastructure List dated January 2016
- Copy of the Official Notice of Decision dated January 2016
- DRB Application
- Form S(3)
- Submittal Fees

This preliminary plat extension is being presented to the Development Review Board for the purpose of obtaining City review and approval. The original preliminary plat expires on January 27, 2016 as noted on the original infrastructure list. The subdivision is being developed in two phases, Del Webb @ Mirehaven Phase 2A and 2B. The final plat has been recorded for Phase 2A, whereas at this time the final plat for Phase 2B has not been recorded, therefore we are requesting the approval of a one (1) year extension.

This development represents the second phase of the private, age restricted residential development at Mirehaven and encompasses approximately 72.89 acres subdivided into approximately 182 lots of varying sizes and 13 Private Open Space Parcels. Roadway and pavement widths are indicated on the preliminary plat.

We request that this item be scheduled for the next appropriate DRB hearing. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development and Planning

YPM
Enclosures

cc: Kevin Patton, Pulte Group w/enclosure

ORIGINAL

Current DRG
Project No. _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
DEL WEBB AT MIREHAVEN PHASE 2
(TRACT M AND TRACT N2A-1, WATERSHED)

Date Submitted: 1/27/2018
Date Site Plan Approved: 1-27-16
Date Preliminary Plat Approved: 1-27-17
Date Preliminary Plat Expires: 1-27-17
DRB Project No. 100864

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRG Chair determines that supplemental items and/or unforeseen items have not been included in the infrastructure listing, the DRG Chair may include those items in the listing and related financial guarantees. Likewise, if the DRG Chair determines that unapproved or non-assessed items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRG Chair, the User Department and agreement. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which must be necessary to complete the project and which normally are the Subdivisor's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Civil Engineer
		10" DIA (3WR)	WATERLINE W/ NEC. VALVES PHS, M/S & R/S	WIND CAVES WAY	PHASE 2A2B BOUNDARY WILLOW CANYON TRAIL	WEST CREEK PLACE	/	/	/
		6" DIA (3WR)	WATERLINE W/ NEC. VALVES PHS, M/S & R/S	LAKE ISABELLA WAY	WOODS WASH TRAIL	BATES WELL LANE	/	/	/
		6" DIA (3WR)	WATERLINE W/ NEC. VALVES PHS, M/S & R/S	GRANITE MOUNTAIN LOOP	PHASE 2A2B BOUNDARY	WIND CAVES WAY	/	/	/
		6" DIA (3WR)	WATERLINE W/ NEC. VALVES PHS, M/S & R/S	WOODS WASH TRAIL	CUL-DE-SAC TERMINUS	WIND CAVES WAY	/	/	/
		6" DIA (3WR)	WATERLINE W/ NEC. VALVES PHS, M/S & R/S	BATES WELLS LANE	CUL-DE-SAC TERMINUS	WIND CAVES WAY	/	/	/
			FIRE HYDRANT REMOVAL	SW CORNER OF TIERRA PINTADA AND WESTCREEK PLACE			/	/	/

SIA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Civil Engineer
		8" DIA	SANITARY SEWER W/ NEC. MHS & SERVICES	WIND CAVES WAY	PHASE 2A2B BOUNDARY WILLOW CANYON TRAIL	WEST CREEK PLACE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHS & SERVICES	LAKE ISABELLA WAY	LOT 55	BATES WELL LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHS & SERVICES	GRANITE MOUNTAIN LOOP	LOT 92	WIND CAVES WAY	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHS & SERVICES	WOODS WASH TRAIL	CUL-DE-SAC TERMINUS	WIND CAVES WAY	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHS & SERVICES	BATES WELLS LANE	CUL-DE-SAC TERMINUS	WIND CAVES WAY	/	/	/

SIA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Civil Engineer
		18-30" DIA	ROP W/ NEC. MHS, LATERALS & INLETS	WIND CAVES WAY	LOT 54/55	BATES WELLS LANE	/	/	/
		18" DIA	ROP W/ NEC. MHS, LATERALS & INLETS	BATES WELLS LANE	60' NORTH OF WIND CAVES WAY INTERSECTION	WIND CAVES WAY	/	/	/
		18-42" DIA	ROP W/ NEC. MHS, LATERALS & INLETS	WILLOW CANYON TRAIL	WIND CAVES WAY	MIREHAVEN ARROYO	/	/	/
		42" DIA	ROP W/ NEC. MHS, LATERALS & INLETS	PUBLIC STORM DRAIN EASEMENT BTWN LOTS 11/12	WIND CAVES WAY	MIREHAVEN ARROYO	/	/	/
		18" DIA	ROP W/ NEC. MHS, LATERALS & INLETS	TRACT M-1 BEHIND LOTS 13-15	PUBLIC STORM DRAIN EASEMENT BTWN LOTS 11/12	SE CORNER OF PROPERTY BEHIND LOT 15	/	/	/

NOTE: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTY

PUBLIC ROADWAY IMPROVEMENTS - ON-SITE PHASE 2A

22' F-F (REGRESS) 20' F-F (INGRESS) 10' MEDIAN	RESIDENTIAL PAVING W/ PCC CURB & GUTTER - 4' WIDE PCC SIDEWALK* S SIDE ONLY	LAKE ISABELLA WAY	BATES WELLS LANE	WEST CREEK PLACE	/	/	/
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK* ON BOTH SIDES	LAKE ISABELLA WAY	WOODS WASH TRAIL	BATES WELLS LANE	/	/	/
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK* ON BOTH SIDES	WIND CAVES WAY	PHASE 2A/2B BOUNDARY WILLOW CANYON TRAIL	BATES WELLS LANE	/	/	/
24' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE	WIND CAVES WAY	BATES WELLS LANE	STREET TERMINUS	/	/	/
10' WIDE	Z' RAISED PATTERN CONCRETE CROSSWALK	WIND CAVES WAY	TRAIL CONNECTION BTWN LOTS 4890	TRAIL CONNECTION BTWN LOTS 1112	/	/	/
26' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK* ON S SIDE ONLY	GRANITE MOUNTAIN LOOP	PHASE 2A/2B BOUNDARY	LOT 92	/	/	/
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK* ON BOTH SIDES	GRANITE MOUNTAIN LOOP	LOT 92	WIND CAVES WAY	/	/	/
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK* ON NORTH SIDE ONLY	WOODS WASH TRAIL	CUL-DE-SAC TERMINUS	WIND CAVES WAY	/	/	/
26' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK* ON BOTH SIDES	BATES WELLS LANE	CUL-DE-SAC TERMINUS	WIND CAVES WAY	/	/	/
36' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK* EAST SIDE ONLY 6 BIKE LANES ON BOTH SIDES	WILLOW CANYON TRAIL	WIND CAVES WAY	MIREHAVEN ARROYO	/	/	/
8'	ASPHALT OR GRAVEL TRAIL	PUBLIC PEDESTRIAN ACCESS EASEMENT	EXISTING NATIONAL MONUMENT GATE AT THE NE CORNER OF SITE	WESTCREEK PLACE	/	/	/
8'	ASPHALT TRAIL	HOA TRACT M-2 BTWN LOTS 1112	WIND CAVES WAY	MIREHAVEN ARROYO	/	/	/
8'	ASPHALT OR GRAVEL TRAIL	HOA TRACT M-1	NE CORNER GRANITE MOUNTAIN / LOT 92	EXISTING NATIONAL MONUMENT GATE AT THE NE CORNER OF SITE	/	/	/
8'	ASPHALT TRAIL	HOA TRACT M-1	BATES WELLS LANE	EXISTING NATIONAL MONUMENT GATE AT THE NE CORNER OF SITE	/	/	/
8'	ASPHALT TRAIL	HOA TRACT M-1	BATES WELLS LANE	EXISTING NATIONAL MONUMENT GATE AT THE NE CORNER OF SITE	/	/	/
8'	ASPHALT TRAIL	HOA TRACT M-3	LAKE ISABELLA WAY	LAKE ISABELLA WAY	/	/	/
4'	CONCRETE SIDEWALK	WESTSIDE OF WESTCREEK PLACE	HAMMERHEAD	WIND CAVES WAY BATES WELLS LANE TIERRA PINTADA BLVD	/	/	/
NOTE:	STREET LIGHTS AS REQUIRED PER THE COA OPM				/	/	/
<p>*ALL SIDEWALKS TO BE DEFERRED ALONG FRONTAGE OF LOTS *SIDEWALK TO BE WAIVED ON: 1) NORTHSIDE OF GRANITE MOUNTAIN LOOP, 2) NORTHSIDE OF LAKE ISABELLA WAY 3) NORTHSIDE OF WIND CAVES WAY EAST OF BATES WELLS LANE</p>							
<p>**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC</p>							



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 27, 2016

Project# 1006864

15DRB-70451 - PRELIMINARY PLAT
15DRB-70452 SIDEWALK VARIANCE
15DRB-70453 SIDEWALK WAIVER
15DRB-70454 SUBDN DESIGN VARIANCE FROM MIN DPM STDS
15DRB-70455 - TEMP DEFERRAL OF SIDEWALK CONSTRUCTION

BOHANNAN HUSTON INC & CONSENSUS PLANNING agents for WESTERN ALBUQUERQUE LAND HOLDINGS request the referenced/ above actions for Tract M, **WATERSHED SUBDIVISION** and Tract N-2-A-1, **DEL WEBB @ MIREHAVEN PHASE 1**, zoned SU-2 FOR PDA, located on the west side of TIERRA PINTADA BLVD NW south of WEST CREEK PL NW containing approximately 73 acres. (H-8 & 9) *[Deferred from 1/6/16,1/20/16]*

At the January 27, 2016 Development Review Board meeting, with the signing of the infra-structure list dated 1/27/16 and with an approved grading and drainage plan engineer stamp 1/15/16 the preliminary plat was approved. A sidewalk variance to sidewalks was approved as shown on exhibit in the planning file. The sidewalk waiver was approved as shown on exhibit c in the planning file. A subdivision design variance from minimum DPM design standards was approved as shown on the exhibit in the planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on exhibit in the planning file.


Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by February 11, 2016, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair