

**LOCATION MAP**  
NOT TO SCALE

**SUBDIVISION DATA**

- 1. DRB No.
- 2. Zone Atlas Index Number: H-8 & H-9.
- 3. Zoning: SU-2 FOR PDA
- 4. Gross Subdivision Acreage: 13.5560 Acres.
- 5. Total number of Lots/Tracts Created: Fifty-five (55) Lots and ~~THREE (3)~~ **TWO (2)** Tracts.
- 6. 0 miles public street right-of-way created.
- 7. 0.24 miles private streets created.
- 8. Area of private streets created: 1.5523 Acres (Tract N-2-A-2-B).
- 9. Date of Survey: March, 2014.
- 10. Plat is located within Town of Atrisco Grant, projected Sections 8 & 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

**PURPOSE OF PLAT**

The purpose of this Plat is to Subdivide Tracts N-2-A-2, N-2-A-18, N-2-A-19, N-2-A-20 & N-2-A-21 as the same are shown and designated in Del Webb @ Mirehaven Phase 1, filed September 4, 2014 in Book 2014C, Page 0093 as Document No. 2014070165 into fifty-five (55) Lots and ~~THREE (3)~~ **TWO (2)** Tracts and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable One for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not specifically described and shown on this plat.

The City of Albuquerque and its designees and/or contractors may install, maintain and service water and wastewater lines within the 10' PUE.

**DESCRIPTION**

A certain tract of land located within the Town of Atrisco Grant, projected Sections 8 & 9, Township 10 North, Range 2 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of of Tracts "N-2-A-2, N-2-A-18, N-2-A-19, N-2-A-20 & "N-2-A-21", Del Webb @ Mirehaven Phase 1, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 4, 2014 in Book 2014C Page 0093 as Document No. 2014070165.

Tract contains 13.5560 acres of land, more or less.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as shown on this plat. Private access easements are permanent.

PULTE HOMES OF NEW MEXICO, INC.

BY: *Garret Price*  
Garret Price, Vice President of Land  
Pulte Homes of New Mexico, Inc.



State of New Mexico )  
  ) SS  
County of Bernalillo )

This instrument was acknowledged before me on 5 day of February, 2015,  
by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 10/16/15 *Polly E Lydens*  
Notary Public

**NOTES**

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N03°09'40"E
- 2. Distances are ground distances.
- 3. Record Bearings and distances are the same as shown on this plat and the same as shown on the Plat of Del Webb @ Mirehaven Phase 1, filed September 4, 2014 in Book 2014C, Page 0093 as Document No. 2014070165.
- 4. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1911525-AL04, Effective Date: March 6, 2014.
- 5. Portions of Tract N-2-A-2, Lots 165, 166, 170-173, and 202-204 are located in Flood Zone "A O", per FIRM Map Number 35001C0307H, Revised August 16, 2012 and FIRM Map Number 35001 C0326H, Revised August 16, 2012. A LOMR-F will be or has been requested to remove lots 165, 166,, and 170-173 from the floodplain. Lots 202 thru 204 will be removed from the floodplain by a Letter of Map Revision.
- 6. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".
- 7. Tracts N-2-A-2-A, N-2-A-2-C, N-2-A-2-D, N-2-A-2-E, N-2-A-2-F, N-2-A-2-G and N-2-A-2-H, AND N-2-A-2-1 is designated as Private Commons Area with the filing of this plat.
- 8. Tract N-2-A-2-B is subject to a blanket Public Sanitary Sewer, Public Water granted to and to be maintained by the ABCWUA and Subsurface Storm Drain Easement Granted to and to be maintained by the City of Albuquerque with the filing of this plat. Tract N-2-A-2-B contains 1.5523 acres of land and is also granted as a Private Access Easement reserved for, granted to, and to be maintained by the Homeowners Association with the filing of this plat. PNM, NM Gas Company, CenturyLink (Qwest), and Comcast shall have the right to cross said private streets (Tract N-2-A-2-B) at locations as mutually agreed upon by the owner and said named public utility company.
- 9. The front (adjacent to street) lot corner will not be staked with the exception of intermediate "pc's and pt's". A witness corner projected along the property line being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset distance will be adjusted by even foot increments to fall within the pan. Remaining lot corners will be marked with a 5/8" rebar and plastic cap stamped "Gromatzky PS 16469", a nail and washer stamped "Gromatzky PS 16469" or a nail and washer stamped "line only".
- 10. Centerline monuments to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".

**PLAT OF  
DEL WEBB @ MIREHAVEN  
PHASE 1B**  
(A REPLAT OF TRACTS N-2-A-2, N-2-A-18, N-2-A-19, N-2-A-20,  
N-2-A-21 DEL WEBB @ MIREHAVEN PHASE I)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2015

PROJECT NUMBER 1006864  
APPLICATION NUMBER 15-70059

UTILITY APPROVALS:  
*[Signature]* 2/5/15  
QWEST CORPORATION d/b/a CENTURYLINK QC DATE  
*[Signature]* 2/5/15  
COMCAST CABLE DATE  
*[Signature]* 2-9-15  
PNM ELECTRIC SERVICES DATE  
*[Signature]* 2/5/15  
NEW MEXICO GAS COMPANY DATE

CITY APPROVALS:  
*[Signature]* 2/5/15  
CITY SURVEYOR DATE  
*[Signature]* 02-18-15  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE  
*[Signature]* 02/18/15  
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE  
*[Signature]* 2-18-15  
PARKS & RECREATION DEPARTMENT DATE  
*[Signature]* 4-30-15  
A.M.A.F.O. DATE  
*[Signature]* 4/29/15  
CITY ENGINEER DATE  
*[Signature]* 4-30-15  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE  
*[Signature]* 4-30-15  
REAL PROPERTY DIVISION DATE

**TAX CERTIFICATION**

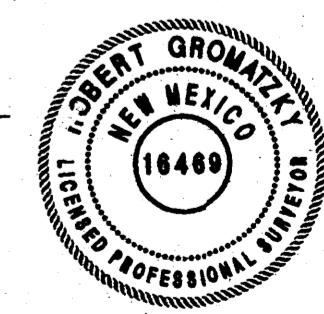
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #  
See attached 10080593792440509  
1008059376226041230  
PROPERTY OWNER OF RECORD: Pulte Homes  
of New Mexico Inc.

*[Signature]* 05-04-2015  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

**SURVEYOR'S CERTIFICATION** 10080593092824610

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*[Signature]*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: FEBRUARY 5, 2015



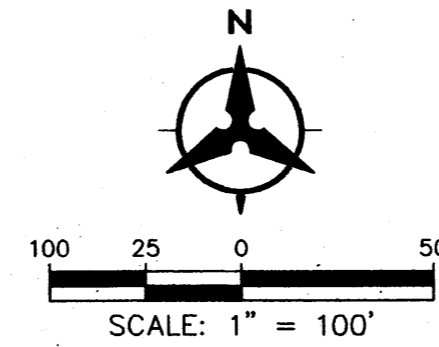
DOCM 2015036902  
05/04/2015 12:12 PM Page 1 of 4  
PLAT R: 326 05 B: 2015C P: 0093 M: Toulouse Oliver, Bernalillo Cour

P:\20150327\SURVEY\GRAPHICS\Del Webb Phase 1B Plat.dwg  
Thu, 5-Feb-2015 - 10:49 am, Plotted by: RGRMATZKY

BOUNDARY CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°00'00"	25.00'	39.27'	25.00'	35.36'	N81°21'16"W
C2	90°00'00"	25.00'	39.27'	25.00'	35.36'	S68°38'44"W
C3	90°00'00"	25.00'	39.27'	25.00'	35.36'	S68°38'44"W

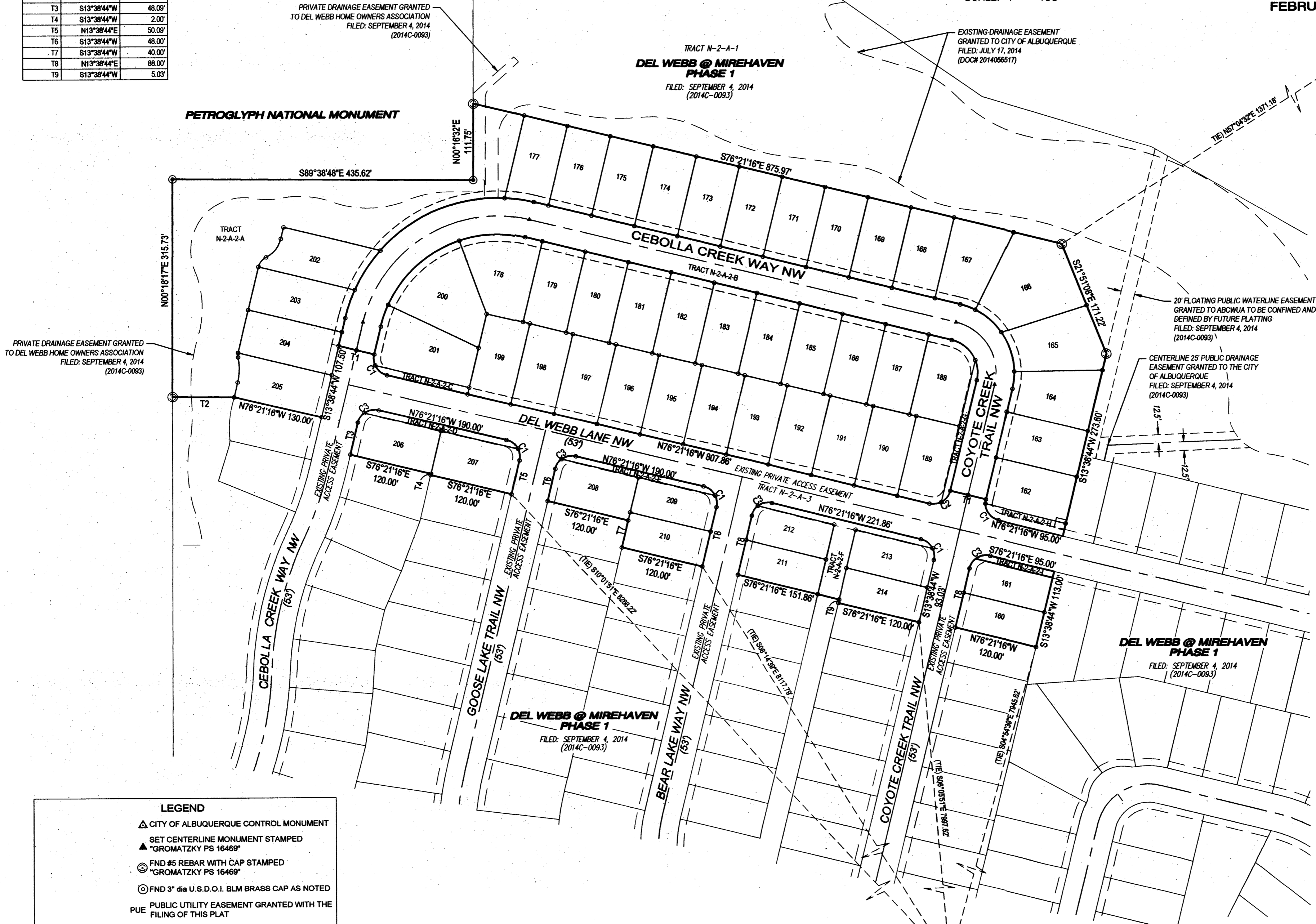
BOUNDARY TANGENT DATA		
ID	BEARING	DISTANCE
T1	N76°21'16"W	53.00'
T2	N89°41'43"W	89.19'
T3	S13°38'44"W	48.09'
T4	S13°38'44"W	2.00'
T5	N13°38'44"E	50.09'
T6	S13°38'44"W	48.00'
T7	S13°38'44"W	40.00'
T8	N13°38'44"E	88.00'
T9	S13°38'44"W	5.03'

NOTE: SEE SHEETS 3-4 FOR SUBDIVISION DETAILS



**PLAT OF  
DEL WEBB @ MIREHAVEN  
PHASE 1B**  
(A REPLAT OF TRACTS N-2-A-2, N-2-A-18, N-2-A-19, N-2-A-20,  
N-2-A-21 DEL WEBB @ MIREHAVEN PHASE I)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2015

ACS BRASS TABLET "BH\_41"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,486,808.828 E=1,491,701.376  
GROUND TO GRID FACTOR = 0.999970830  
DELTA ALPHA = -0°17'09.70"



PRIVATE DRAINAGE EASEMENT GRANTED TO DEL WEBB HOME OWNERS ASSOCIATION FILED: SEPTEMBER 4, 2014 (2014C-0093)

PRIVATE DRAINAGE EASEMENT GRANTED TO DEL WEBB HOME OWNERS ASSOCIATION FILED: SEPTEMBER 4, 2014 (2014C-0093)

EXISTING DRAINAGE EASEMENT GRANTED TO CITY OF ALBUQUERQUE FILED: JULY 17, 2014 (DOCK# 2014066517)

20' FLOATING PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA TO BE CONFINED AND DEFINED BY FUTURE PLATTING FILED: SEPTEMBER 4, 2014 (2014C-0093)

CENTERLINE 25' PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE FILED: SEPTEMBER 4, 2014 (2014C-0093)

PETROGLYPH NATIONAL MONUMENT

N00°18'17"E 315.73'

TRACT N-2-A-2-A

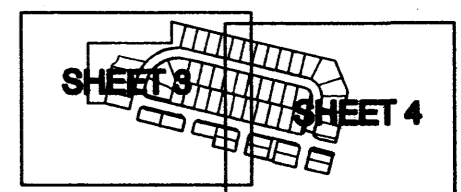
TRACT N-2-A-1  
**DEL WEBB @ MIREHAVEN  
PHASE 1**  
FILED: SEPTEMBER 4, 2014 (2014C-0093)

FILED: SEPTEMBER 4, 2014 (2014C-0093)

**DEL WEBB @ MIREHAVEN  
PHASE 1**  
FILED: SEPTEMBER 4, 2014 (2014C-0093)

**DEL WEBB @ MIREHAVEN  
PHASE 1**  
FILED: SEPTEMBER 4, 2014 (2014C-0093)

- LEGEND**
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
  - SET CENTERLINE MONUMENT STAMPED "GROMATZKY PS 16469"
  - ⊙ FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16469"
  - ⊙ FND 3" dia U.S.D.O.I. BLM BRASS CAP AS NOTED
  - PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
  - BOUNDARY LINE
  - - - LOT LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - - - ADJOINING PROPERTY LINE

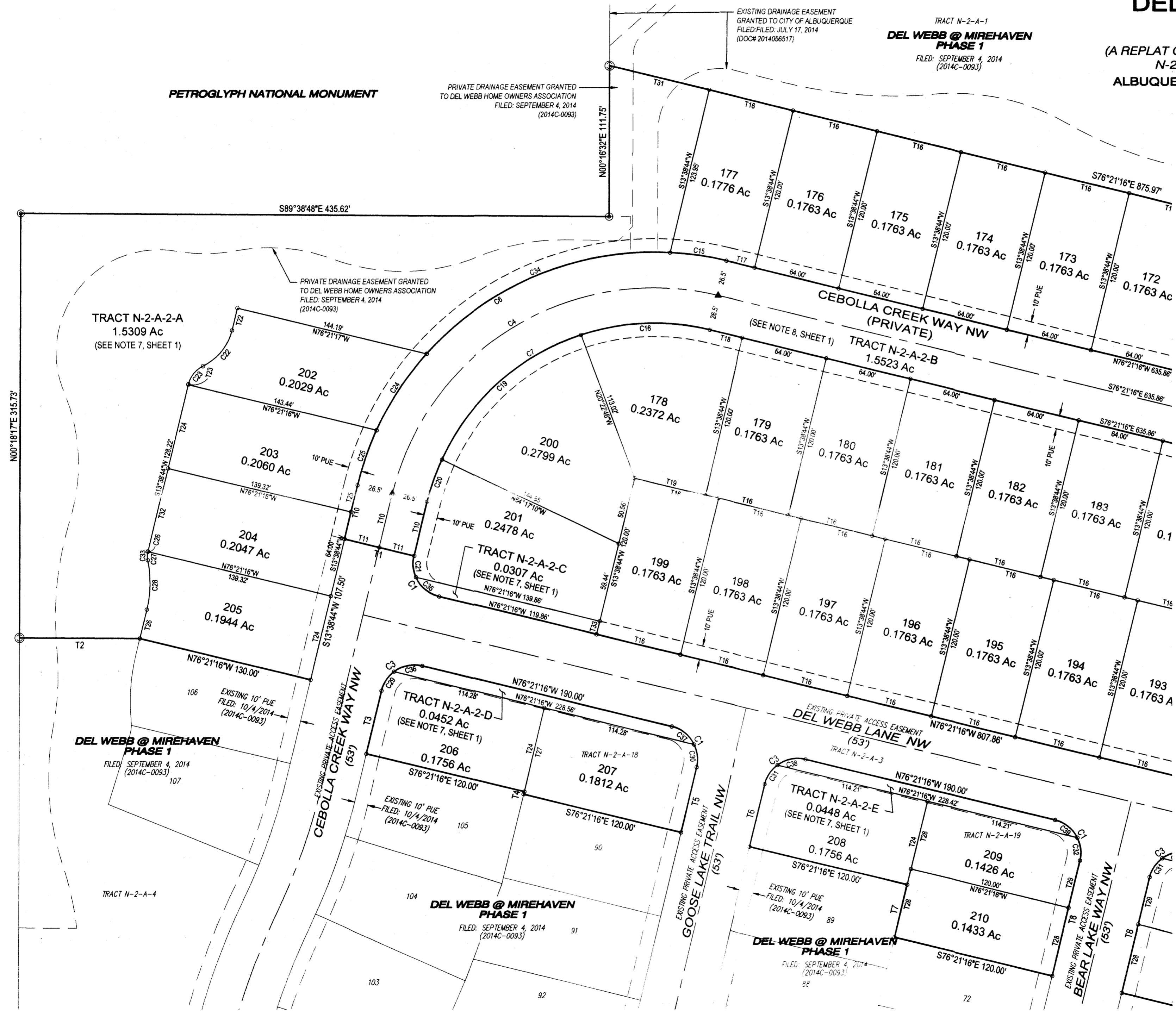
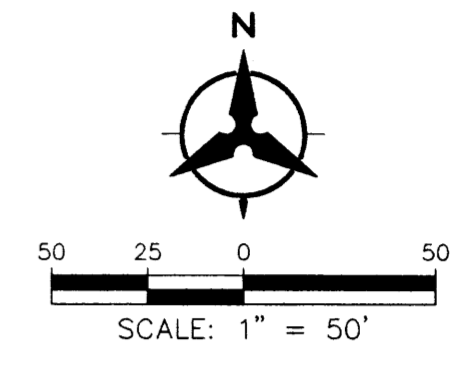


DOCK# 2015036902  
05/04/2015 12:12 PM Page: 2 of 4  
PLAT R-325.08 B-2015C P. 0043 M. Toulouse Oliver, Bernalillo Cour

ACS BRASS TABLET "REWARD 1969"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,487,364.063 E=1,481,180.819  
GROUND TO GRID FACTOR = 0.999975005  
DELTA ALPHA = -0°17'12.26"  
NAVD 1988 ELEVATION = 5319.888

**Bohannon & Huston**  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

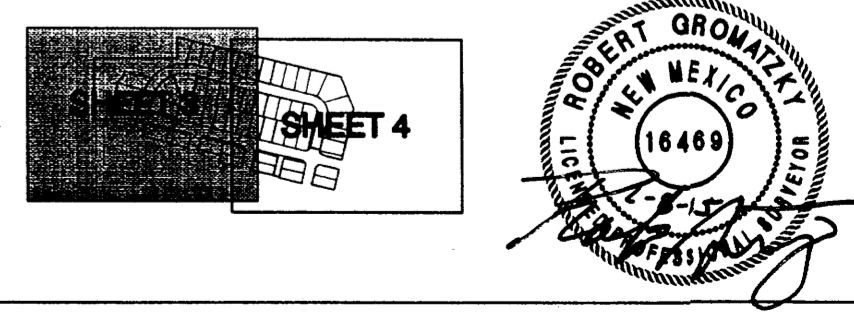
PLAT OF  
**DEL WEBB @ MIREHAVEN**  
**PHASE 1B**  
 (A REPLAT OF TRACTS N-2-A-2, N-2-A-18, N-2-A-19, N-2-A-20,  
 N-2-A-21 DEL WEBB @ MIREHAVEN PHASE I)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2015



**LEGEND**

- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ SET CENTERLINE MONUMENT STAMPED "GROMATZKY PS 16469"
- ⊙ FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16469"
- ⊙ FND 3" dia U.S.D.O.I. BLM BRASS CAP AS NOTED
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- BOUNDARY LINE
- LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE

SEE SHEET 8 FOR CURVE AND TANGENT TABLES



**Bohannon & Huston**  
 7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

P:\20150327\SURVEY\GRAPHICS\Del Webb Phase 1B Plat.dwg  
 Mon, 9-Feb-2015 - 8:44:am, Plotted by: VRAMOS

**PLAT OF  
DEL WEBB @ MIREHAVEN  
PHASE 1B**  
(A REPLAT OF TRACTS N-2-A-2, N-2-A-18, N-2-A-19, N-2-A-20,  
N-2-A-21 DEL WEBB @ MIREHAVEN PHASE I)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2015



50 25 0 50  
SCALE: 1" = 50'

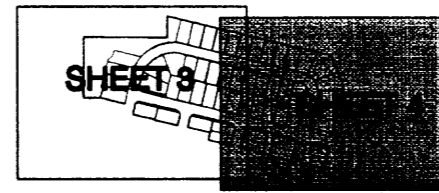
**LEGEND**

- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ SET CENTERLINE MONUMENT STAMPED "GROMATZKY PS 16469"
- FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16469"
- FND 3" dia U.S.D.O.I. BLM BRASS CAP AS NOTED
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- BOUNDARY LINE
- - - LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE

SEE SHEET 8 FOR CURVE AND TANGENT TABLES

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°00'00"	25.00	39.27	25.00	35.36	N31°21'16"W
C2	90°00'00"	25.00	39.27	25.00	35.36	S58°38'43"W
C3	90°00'00"	25.00	39.27	25.00	35.36	S58°38'44"W
C4	90°00'00"	200.00	314.16	200.00	282.84	N58°38'44"E
C5	90°00'00"	75.00	117.81	75.00	106.07	S31°21'16"E
C6	90°00'00"	226.50	365.79	226.50	320.32	S58°38'44"W
C7	90°00'00"	173.50	272.53	173.50	245.37	N58°38'44"E
C8	90°00'00"	48.50	76.18	48.50	68.59	S31°21'16"E
C9	90°00'00"	101.50	159.44	101.50	143.54	N31°21'16"W
C10	14°23'20"	3.16	6.28	25.00	6.28	S06°27'04"W
C11	14°30'19"	12.92	25.70	101.50	25.63	S06°23'34"W
C12	34°09'17"	31.18	60.51	101.50	58.61	S17°56'14"E
C13	28°27'20"	25.74	50.41	101.50	49.89	S49°14'32"E
C14	12°53'04"	11.46	22.83	101.50	22.78	S69°54'44"E
C15	10°42'38"	21.23	42.34	226.50	42.28	S81°42'36"E
C16	31°58'38"	49.71	96.83	173.50	95.58	S87°39'25"W
C17	54°31'53"	25.00	46.16	48.50	44.44	N49°05'20"W
C18	39°47'31"	9.05	17.36	25.00	17.02	N83°44'59"E
C19	46°59'00"	75.41	142.27	173.50	138.32	S48°10'36"W
C20	11°02'22"	16.77	33.43	173.50	33.38	S19°09'55"W
C21	36°52'12"	8.33	16.09	25.00	15.81	S04°47'22"E
C22	50°42'13"	18.95	35.40	40.00	34.25	S38°59'50"W
C23	50°42'13"	9.48	17.70	20.00	17.13	S38°59'50"W
C24	17°14'48"	34.35	68.18	226.50	67.92	N33°12'46"E
C25	10°56'38"	21.70	43.26	226.50	43.20	N19°07'03"E
C26	00°46'21"	0.10	0.21	15.50	0.21	N13°15'33"E
C27	24°05'59"	3.31	6.52	15.50	6.47	S00°49'23"W
C28	24°52'20"	18.74	36.90	85.00	36.61	S01°12'34"W
C29	39°31'57"	8.98	17.25	25.00	16.91	S33°24'42"W
C30	39°31'57"	8.98	17.25	25.00	16.91	N06°07'15"W
C31	39°47'31"	9.05	17.36	25.00	17.02	S33°22'29"W
C32	39°47'31"	9.05	17.36	25.00	17.02	N06°15'01"W
C33	24°52'20"	3.42	6.73	15.50	6.68	N01°12'34"E
C34	51°05'55"	108.27	202.00	226.50	195.37	N67°23'08"E
C35	53°07'48"	12.50	23.18	25.00	22.36	S49°47'22"E
C36	50°28'03"	11.78	22.02	25.00	21.32	S78°24'42"W
C37	50°28'03"	11.78	22.02	25.00	21.32	N51°07'15"W
C38	50°12'29"	11.71	21.91	25.00	21.21	S78°22'29"W
C39	50°12'29"	11.71	21.91	25.00	21.21	N51°15'01"W
C40	35°28'07"	15.51	30.02	48.50	29.55	N04°05'20"W
C41	50°12'29"	11.71	21.91	25.00	21.21	N38°44'59"E
C42	75°36'40"	19.40	32.99	25.00	30.65	S38°32'56"E
C43	39°47'31"	9.05	17.36	25.00	17.02	S33°22'29"W
C44	50°12'29"	11.71	21.91	25.00	21.21	S78°22'29"W

TANGENT DATA					
ID	BEARING	DISTANCE	ID	BEARING	DISTANCE
T1	N76°21'16"W	53.00	T21	N76°21'16"W	48.00
T2	N89°41'43"W	89.19	T22	S13°38'44"W	17.14
T3	S13°38'44"W	48.09	T23	S13°38'44"W	0.43
T4	S13°38'44"W	2.00	T24	S13°38'44"W	64.00
T5	N13°38'44"E	50.09	T25	S13°38'44"W	21.00
T6	S13°38'44"W	48.00	T26	S13°38'44"W	21.94
T7	S13°38'44"W	40.00	T27	S13°38'44"W	66.00
T8	N13°38'44"E	88.00	T28	S13°38'44"W	52.00
T9	S13°38'44"W	5.03	T29	S13°38'44"W	36.00
T10	N13°38'44"E	41.50	T30	S13°38'44"W	41.03
T11	S76°21'16"E	26.50	T31	N76°21'16"W	75.94
T12	S13°38'44"W	69.00	T32	S13°38'44"W	63.79
T13	S13°38'44"W	24.80	T33	S13°38'44"W	10.00
T14	N21°51'08"W	75.79	T34	N76°21'16"W	31.86
T15	N76°21'16"W	71.41	T35	S13°38'44"W	18.79
T16	N76°21'16"W	64.00			
T17	N76°21'16"W	21.91			
T18	N76°21'16"W	25.40			
T19	N76°21'16"W	54.04			
T20	N76°21'16"W	73.96			



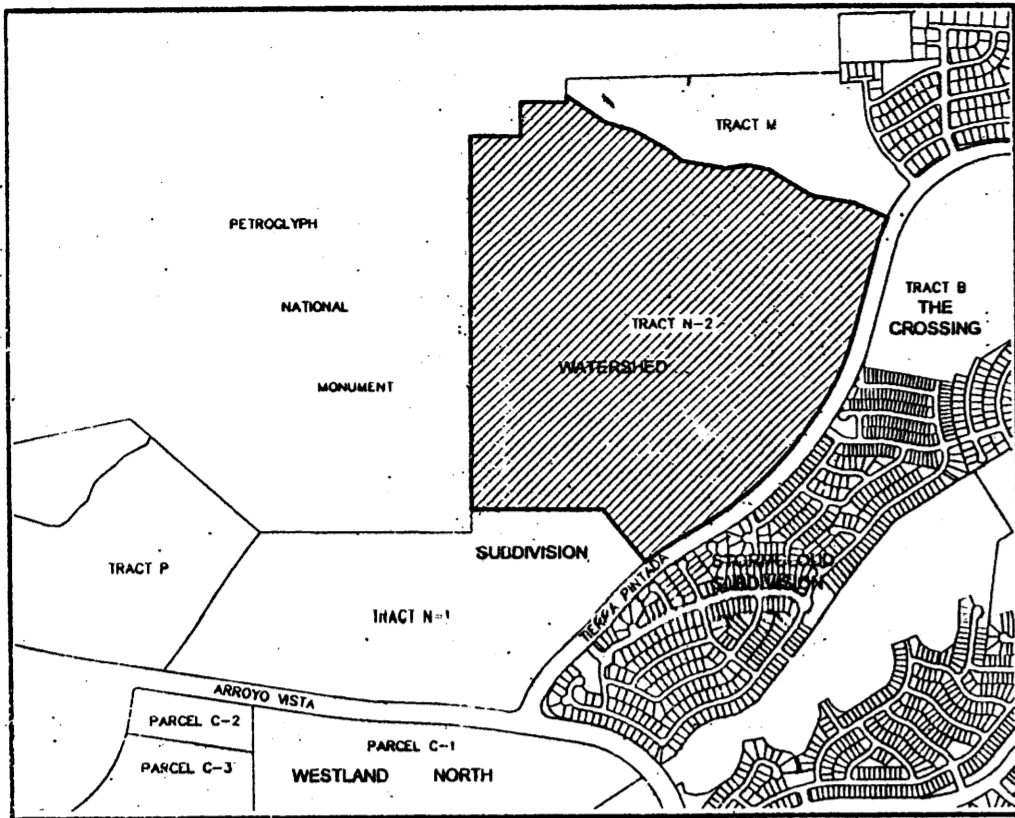
**Bohannon & Huston**  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 4 OF 4

DOCH 2015036902

FILED: 2015 FEB 12 12 57 PM Page 4 of 4  
\$25.00 B 20 00 00 Toulouse Office Bernalillo Cour





LOCATION MAP  
ZONE ATLAS INDEX MAP NO. H-8, H-9 & J-7  
NOT TO SCALE

**DESCRIPTION**

A certain tract of land located within the Town of Atrisco Grant, projected Sections 8, 9, & 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract "N-2", Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58.

This tract contains 237.7947 acres, more or less.



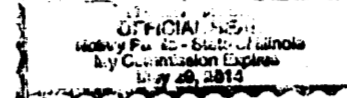
**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat to the City of Albuquerque, New Mexico in Fee Simple with Warranty Covenants.

WESTERN ALBUQUERQUE LAND HOLDINGS LLC,  
a Delaware limited liability company

BY: BARCLAYS CAPITAL REAL ESTATE INC.  
as Servicing Member

By: *Mark Wuest*  
Mark Wuest  
Vice President, Barclays Capital Real Estate Inc.



STATE of New York ) STATE OF ILLINOIS  
SS  
County of New York ) COUNTY OF COOK

This instrument was acknowledged before me on 16 day of SEPTEMBER 2013, by Mark Wuest, Vice President of Barclays Capital Real Estate Inc., servicing member of Western Albuquerque Land Holdings LLC, a Delaware limited liability company.

My Commission Expires: MAY 29, 2014  
Notary Public

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**

PROJECT NUMBER 1006864

APPLICATION NUMBER 13088-70658, 13088-70646

**UTILITY APPROVALS:**

QWEST TELECOMMUNICATIONS	DATE	10/2/13
COMCAST CABLE	DATE	9/30/13
ENR ELECTRIC SERVICES	DATE	9-13-13
NEW MEXICO GAS COMPANY	DATE	10/1/2013

**CITY APPROVALS:**

CITY SURVEYOR	DATE	9-17-13
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE	09-18-13
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE	09/18/13
PARKS & RECREATION DEPARTMENT	DATE	9-18-13
AMAFCA	DATE	10/2/2013
CITY ENGINEER	DATE	10-2-13
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE	10-4-13

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

1008059424161410101

PROPERTY OWNER OF RECORD Western Albuquerque Land Holdings LLC

*Sharon Hill*  
BERNALILLO COUNTY TREASURER'S OFFICE 10/17/13  
DATE

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469

Date: July 31, 2013



**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. H-8, H-9 & J-7.
3. Gross Subdivision Acreage: 237.7947 acres.
4. Total Number of Tracts Created: 7 Tracts.
5. No Streets were created.
6. Date of Survey: July, 2013.
7. Plat is located within the Town of Atrisco Grant, within projected Sections 8, 9 & 17, T10N, R2E, NMPM.

**PURPOSE OF PLAT**

The Purpose of this plat is to subdivide Tract N-2, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58, into seven (7) tracts and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N03°09'40"E
2. Distances are ground distances.
3. Record Bearings and distances are the same as shown on this plat and the same as shown on the Plat of Tracts N-1 & N-2, Watershed Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58.
4. Record Bearings and distances of Dependent Resurvey and Metes and Bounds Survey for the Petroglyph National Monument, United States Department of the Interior, Bureau of Land Management, Santa Fe, New Mexico dated June 21, 1991 are shown in parenthesis.
5. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1519838-AL04, Effective Date: March 8, 2011.
6. Portions of Tract N-2 are located in Flood Zones "AO" and "X", per FIRM Map Number 35001C0307H, Revised August 16, 2012 and FIRM Map Number 35001C0326G, Revised August 16, 2012.
7. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".
8. Interior tract corners shall be monumented with a 5/8" rebar and plastic cap stamped "GROMATZKY PS 16469".

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Future subdivision of Tracts shown on this Plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

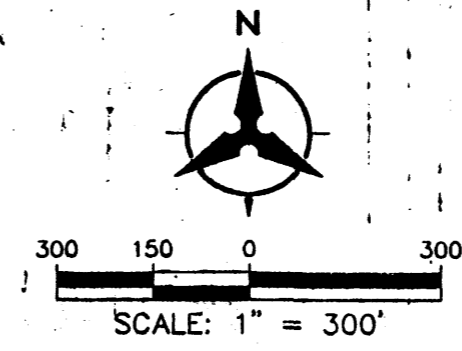
By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

DOCH 2013115035

10/17/2013 03:38 PM Page 1 of 2  
PLAT R 125 00 B 2013C P 0116 M Toulouse Olivere Bernalillo Cour

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**



**LEGEND**

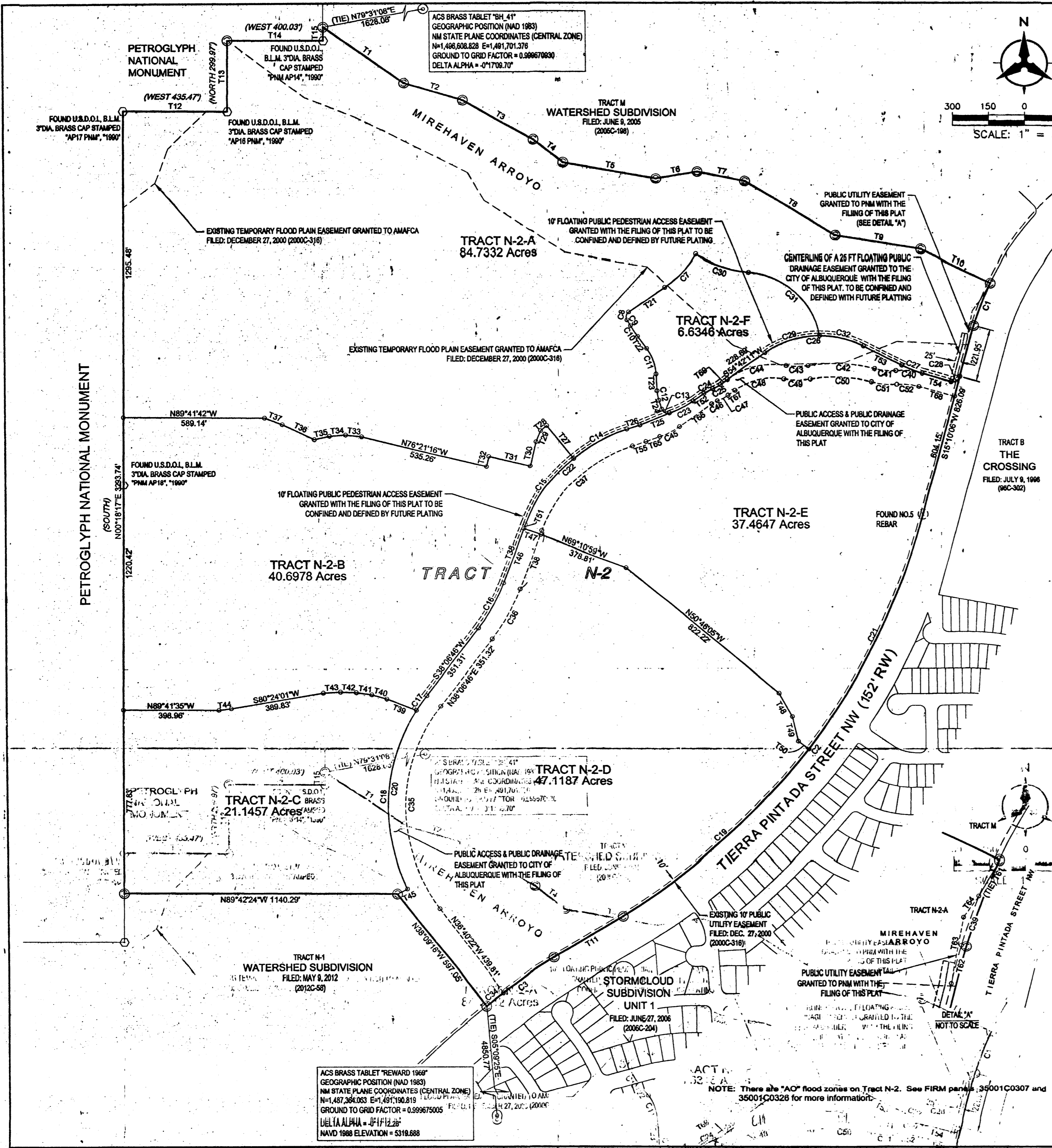
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16489"
- FND-NO.5 REBAR NO CAP
- FND-NO.5 REBAR WITH CAP STAMPED "GROMATZKY PS 16489"
- FND-BRASS CAP AS NOTED
- BOUNDARY LINE
- LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE

**Curve Data**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	08°51'21"	96.95	193.52	1252.00	193.32	S21°24'31"W
C2	43°21'03"	1131.94	2154.84	2848.00	2103.81	S36°51'23"W
C3	06°41'04"	173.09	345.79	2964.00	345.60	S55°11'13"W
C7	22°30'36"	95.32	188.19	479.00	188.86	S44°03'44"W
C8	87°14'38"	23.83	38.07	25.00	34.49	S11°14'43"W
C9	02°29'38"	14.03	28.05	644.50	28.05	S30°40'47"E
C10	06°46'13"	27.06	54.06	457.50	54.03	S32°49'04"E
C11	33°04'15"	59.97	116.59	202.00	114.98	S19°40'03"E
C12	14°49'39"	20.49	40.78	187.50	40.65	S10°32'45"E
C13	89°58'54"	24.99	39.28	25.00	36.35	S82°57'01"E
C14	21°33'30"	129.37	255.67	679.50	254.17	S61°15'41"W
C15	29°39'55"	179.95	351.82	679.50	347.80	S22°57'21"W
C16	17°17'45"	109.58	217.50	720.50	216.67	S29°27'54"W
C17	05°37'21"	38.28	76.49	779.50	76.46	S35°18'06"W
C18	58°18'35"	434.54	792.84	779.50	759.10	S03°21'08"W
C19	21°20'28"	536.61	1060.78	2848.00	1054.65	S47°51'22"W
C20	63°53'55"	486.13	899.33	779.50	824.86	N06°09'48"E
C21	22°01'47"	564.36	1095.03	2848.00	1088.30	S26°10'15"W
C22	51°13'24"	325.73	607.49	679.50	687.46	N46°25'43"E
C23	17°17'21"	56.24	111.62	368.50	111.20	N83°22'81"E
C24	14°50'06"	20.90	41.56	180.60	41.44	N62°07'14"E
C25	14°50'06"	18.16	36.12	139.50	36.02	N62°07'14"E
C26	62°38'25"	241.27	433.48	396.50	412.22	N86°01'23"E
C27	12°09'51"	45.66	90.97	428.50	90.80	S68°44'20"E
C28	90°00'38"	30.01	47.13	30.00	42.43	N60°10'25"E
C29	35°11'22"	125.74	243.52	396.50	239.71	S72°17'52"W
C30	26°40'48"	118.56	232.82	500.00	230.73	S72°12'14"E
C31	75°45'56"	262.85	429.77	325.00	390.14	S47°30'36"E
C32	27°27'02"	96.84	189.97	396.50	188.15	N76°22'56"W
C34	01°43'56"	44.81	89.41	2964.00	89.61	N62°42'39"E
C35	74°47'08"	540.02	922.18	706.50	858.09	N00°43'12"E
C36	17°17'45"	120.68	239.53	793.50	238.08	N29°27'54"E
C37	51°13'24"	290.74	542.22	606.50	534.34	N46°25'43"E
C39	05°02'17"	55.52	110.97	1282.00	110.93	S19°30'13"W
C40	19°24'09"	55.90	110.73	327.00	110.21	N64°31'20"W
C41	18°40'58"	44.91	89.81	273.00	89.62	N64°52'57"E
C42	23°54'43"	142.19	280.28	671.80	278.22	N67°29'51"E
C43	19°18'34"	48.44	92.01	278.00	31.91	N68°47'56"W
C44	45°09'11"	135.99	267.70	327.00	251.08	S77°19'48"W
C45	16°22'57"	47.07	93.50	327.00	93.18	N62°53'39"E
C46	14°50'06"	13.87	27.58	106.50	27.50	N62°07'14"E
C47	14°50'06"	25.19	50.10	193.50	49.96	N62°07'14"E
C48	45°09'11"	113.51	215.14	273.00	209.62	N77°18'46"E
C49	19°18'34"	56.63	110.20	327.00	109.68	S68°47'55"E
C50	23°54'43"	130.78	267.71	617.50	255.64	S67°29'51"E
C51	18°40'58"	53.79	106.82	327.00	106.18	S64°52'57"E
C52	19°24'09"	48.87	92.48	273.00	92.01	S64°31'20"E

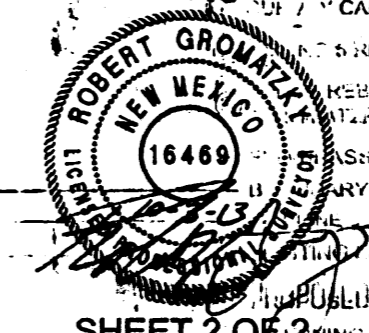
**Tangent Data**

ID	BEARING	DISTANCE
T1	S65°06'53"E	408.99
T2	S73°12'01"E	284.39
T3	S60°03'22"E	339.94
T4	S52°00'10"E	158.60
T5	S76°54'17"E	393.07
T6	N80°08'14"E	178.33
T7	S78°18'21"E	201.89
T8	S57°52'44"E	443.63
T9	S80°39'34"E	361.04
T10	S64°38'27"E	319.71
T11	S58°31'45"W	339.78
T12	S69°38'48"E	435.62
T13	N00°18'32"E	300.02
T14	S89°43'28"E	400.09
T15	N00°17'20"E	56.11
T21	S65°19'02"W	184.39
T22	N36°12'11"W	63.99
T23	N03°07'55"W	67.17
T24	N17°07'34"W	39.10
T25	S67°44'25"W	133.42
T26	S72°02'28"W	57.69
T27	N36°08'33"W	178.28
T28	S50°16'30"W	33.41
T29	S22°57'21"W	49.83
T30	S13°38'44"W	104.00
T31	N96°21'18"W	178.00
T32	S13°38'44"W	46.07
T33	N63°32'17"W	67.17
T34	S86°37'22"W	67.32
T35	S77°25'21"W	64.69
T36	N64°14'53"W	147.78
T37	N69°28'52"W	78.78
T38	S20°49'01"W	287.31
T39	N66°20'32"W	132.47
T40	N74°04'48"W	66.49
T41	N62°01'48"W	66.57
T42	N67°47'59"W	66.57
T43	S66°42'58"W	71.57
T44	S63°18'14"W	51.79
T45	S64°12'51"W	46.01
T46	S20°49'01"W	236.59
T47	S64°45'56"W	75.52
T48	N66°47'32"W	113.69
T49	N66°09'29"W	108.12
T50	N62°49'51"W	54.67
T51	S26°40'13"W	18.78
T52	S67°42'17"W	56.01
T53	N66°39'25"W	70.69
T54	N74°04'48"W	194.68
T55	N72°22'28"W	39.74
T56	N30°57'16"E	65.08
T57	S15°10'44"W	61.70
T58	N10°47'14"E	141.70
T59	N36°48'46"E	54.63
T60	N71°08'06"E	61.39
T61	N54°42'11"E	164.80
T62	S74°49'16"E	36.24
T63	S74°49'16"E	154.67
T64	S64°42'11"W	36.24



ACS BRASS TABLET "REWARD 1969"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,487,364.033 E=1,491,190.819  
GROUND TO GRID FACTOR = 0.999675005  
DELTA ALPHA = 0°11'12.26"  
NAVD 1988 ELEVATION = 5319.688

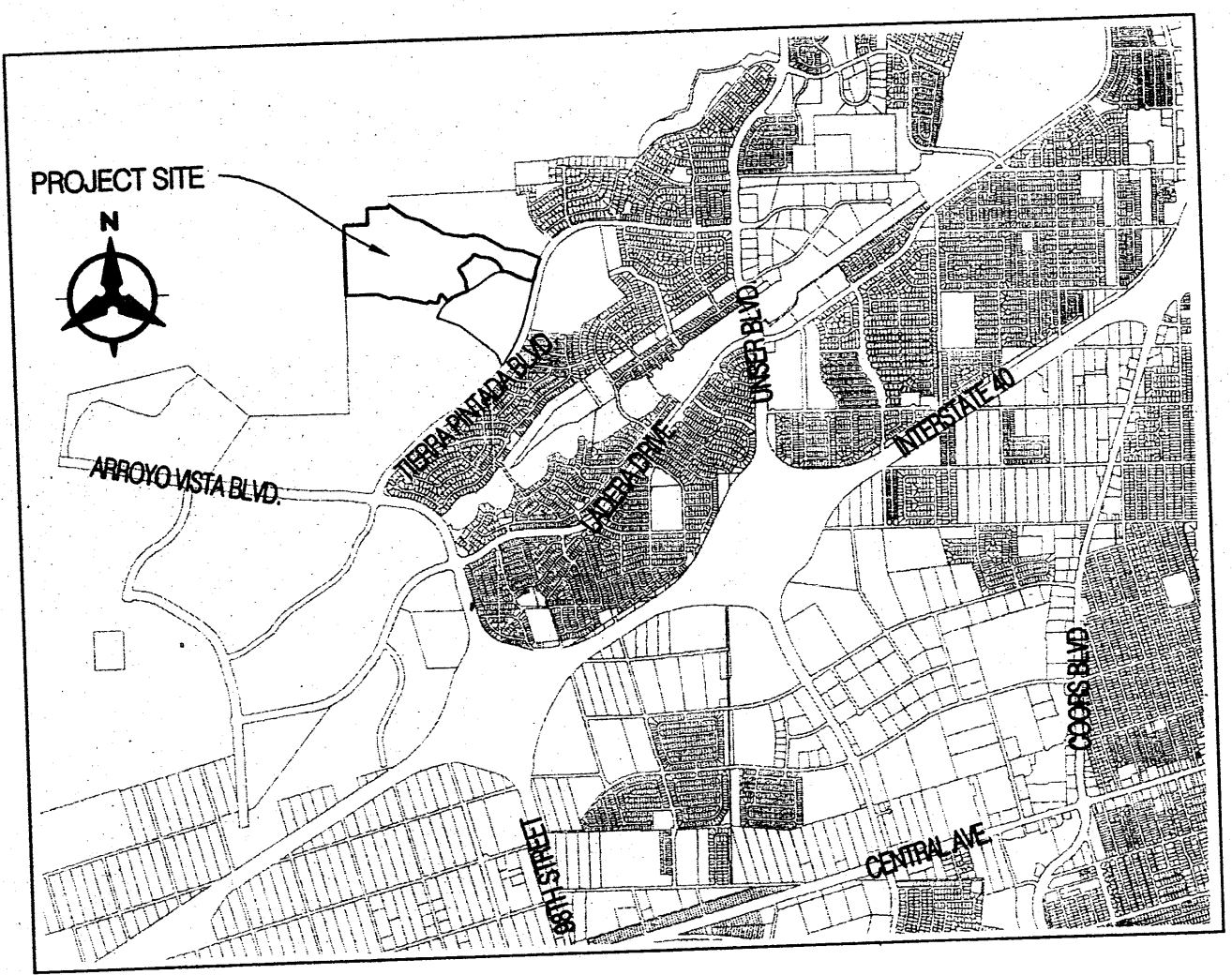
NOTE: There are "AO" flood zones on Tract N-2. See FIRM panels 39001C0307 and 35001C0326 for more information.



**Bohannon & Huston**  
SHEET 2 OF 2  
ALBUQUERQUE, NEW MEXICO

PROJECT #: 1006864  
 DATE: 1-22-14  
 APP #:  
 13-70808 (P) 13-70810 (SW)  
 13-70809 (SW) 13-70811 (SW)

# PRELIMINARY PLAT DEL WEBB @ MIREHAVEN PHASE I (REPLAT OF TRACT N-2-A) ALBUQUERQUE, NEW MEXICO DECEMBER, 2013



**LOCATION MAP**  
 SCALE: 1"=3000'

**SURVEY NOTES:**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES  
*David P. Acosta* 12-23-13  
 CITY SURVEYOR DATE

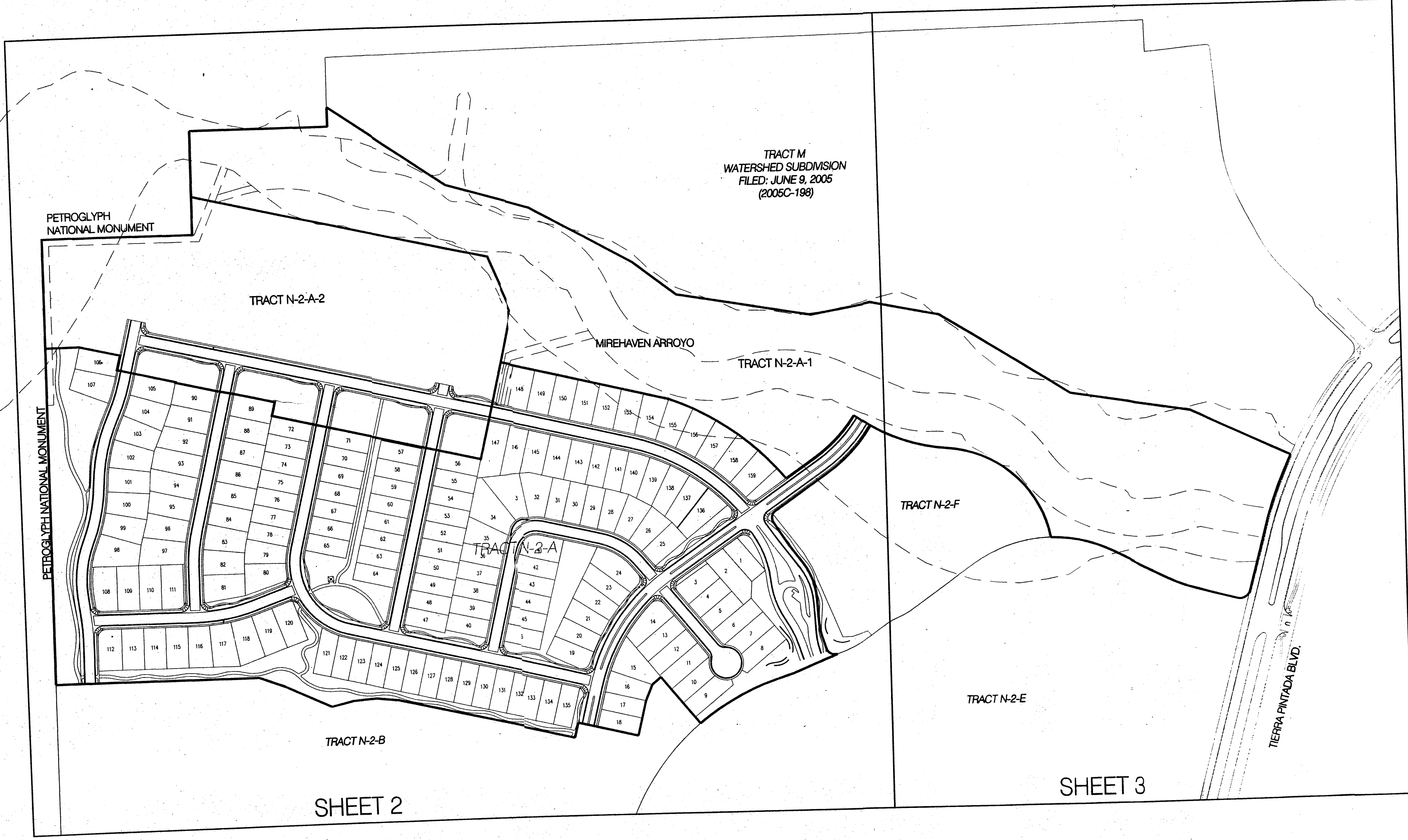
**LEGAL DESCRIPTION:**

A REPLAT OF:  
 TRACT N-2-A, WATERSHED SUBDIVISION  
 FILED:  
 1. EXISTING ZONING FOR : SU-2 FOR PDA  
 PROPOSED ZONING: SU-2 FOR PDA  
 PROPOSED RESIDENTIAL DEVELOPMENT:  
 SINGLE FAMILY DETACHED RESIDENTIAL

- TOTAL ACREAGE:  
 EXISTING TRACT N-2-A = 84.733 ACRES  
 ACREAGE:  
 TRACT N-2-A-1 = 25.845 ACRES  
 TRACT N-2-A-2 = 11.632 ACRES  
 TRACT N-2-A-3 = 11.914 ACRES (SEE NOTE 4 BELOW)  
 TRACT N-2-A-4 = 2.131 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-5 = 0.014 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-6 = 0.013 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-7 = 0.060 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-8 = 1.559 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-9 = 1.043 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-10 = 0.117 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-11 = 0.575 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-12 = 0.050 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-13 = 0.160 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-14 = 0.025 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-15 = 0.639 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-16 = 0.086 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-17 = 0.125 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-18 = 0.328 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-19 = 0.402 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-20 = 0.506 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-21 = 0.713 ACRES (PRIVATE COMMONS AREA)  
 TRACT N-2-A-22 = 0.308 ACRES (PRIVATE COMMONS AREA)

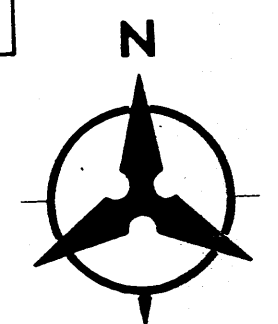
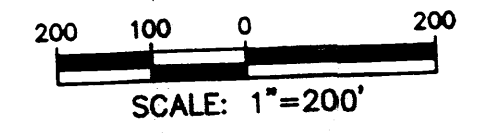
- SUBDIVISION ACREAGE: 43.477 ACRES  
 NUMBER OF LOTS: 159  
 PROPOSED DENSITY: 3.66 D.U./ACRE
- MINIMUM LOT DIMENSIONS 52' x 120'  
 MINIMUM LOT AREA 6240 S.F.
  - LOT SETBACKS SHALL CONFORM TO SU-2 FOR PDA ZONE REGULATIONS.
  - TRACT N-2-A-3 IS GRANTED AS A PUBLIC SANITARY SEWER, WATER, AND SUBSURFACE STORM DRAIN EASEMENT. TO BE OPERATED AND MAINTAINED BY THE CITY OF ALBUQUERQUE. TRACT N-2-A-3 IS ALSO GRANTED AS A PERMANENT PRIVATE ACCESS EASEMENT RESERVED FOR, GRANTED TO, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

OWNER:  
 WESTERN ALBUQUERQUE LAND HOLDINGS LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 BARCLAYS CAPITAL REAL ESTATE INC.  
 AS SERVICING MEMBER  
*Mark Wuest* 12/19/2013  
 MARK WUEST  
 VICE PRESIDENT, BARCLAYS CAPITAL REAL ESTATE INC.



Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C61	62°38'25"	241.27'	433.48'	396.50'	412.22'	N86°01'23"E
C62	12°09'51"	45.66'	90.57'	428.50'	90.80'	S68°44'20"E
C63	90°00'38"	30.01'	47.3'	30.00'	42.43'	N60°10'25"E
C64	22°01'47"	554.36'	1095.03'	2848.00'	1088.30'	S26°10'15"W
C65	51°13'24"	325.73'	607.49'	679.50'	587.46'	N46°25'43"E
C66	17°21'21"	56.24'	111.62'	368.50'	111.20'	N63°22'51"E
C67	14°50'06"	20.90'	41.8'	160.50'	41.44'	N62°07'14"E
C68	14°50'06"	18.16'	36.2'	139.50'	36.02'	N62°07'14"E
C69	08°51'21"	96.95'	193.12'	1252.00'	193.32'	S21°24'31"W
C70	27°27'02"	96.84'	189.57'	396.50'	188.15'	N76°22'56"W
C71	75°45'59"	252.85'	429.77'	325.00'	399.14'	N47°39'38"W
C72	26°40'46"	118.56'	232.8'	500.00'	230.73'	N72°12'14"W
C73	22°30'36"	95.32'	188.1'	479.00'	186.98'	S44°03'44"W
C74	87°14'38"	23.83'	38.0'	25.00'	34.49'	S11°41'42"W
C75	02°29'38"	14.03'	28.6'	644.50'	28.05'	S30°40'47"E
C76	06°46'13"	27.06'	54.5'	457.50'	54.03'	S32°49'04"E
C77	33°04'15"	59.97'	116.5'	202.00'	114.98'	S19°40'03"E
C78	14°49'39"	20.49'	40.8'	157.50'	40.65'	S10°32'45"E
C79	89°58'54"	24.99'	39.2'	25.00'	35.35'	S62°57'01"E
C80	21°33'30"	129.37'	255.6'	679.50'	254.17'	S61°15'41"W

Tangent Data		
ID	BEARING	DISTANCE
T47	N74°49'16"W	124.65'
T48	N52°48'51"W	54.87'
T49	N13°29'28"W	106.12'
T50	N28°47'32"W	113.85'
T51	N70°45'54"W	75.52'
T52	S20°49'01"W	18.76'
T53	S72°02'26"W	57.69'
T54	S67°44'25"W	133.42'
T55	S54°42'11"W	56.01'
T56	S00°17'20"W	56.11'
T57	N52°00'10"W	156.60'
T58	N36°12'11"W	63.99'
T59	N03°07'55"W	67.17'
T60	N17°57'34"W	39.10'
T61	S50°16'30"W	33.41'
T62	S22°57'21"W	49.83'
T63	S13°38'44"W	104.00'
T64	S13°38'44"W	45.07'
T65	N83°32'17"W	67.17'
T66	S85°37'22"W	67.32'
T67	S77°25'21"W	64.68'
T68	N64°41'53"W	147.78'
T69	N69°28'52"W	78.76'



Tue, 17-Dec-2013 - 5:01:pm, Plotted by: AROMERO  
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PRELIMINARY PLAT  
 DEL WEBB @ MIREHAVEN PHASE I  
 (REPLAT OF TRACT N-2-A)  
 ALBUQUERQUE, NEW MEXICO  
 DECEMBER, 2013

ACS BRASS TABLET "BH\_41"  
 GEOGRAPHIC POSITION (NAD 1983)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N=1,496,608.828 E=1,491,701.376  
 GROUND TO GRID FACTOR = 0.999670930  
 DELTA/ALPHA = -0'17'09.70"

PETROGLYPH NATIONAL MONUMENT

20' PRIVATE DRAINAGE EASEMENT TO BE MAINTAINED BY H.O.A.

EXISTING TEMPORARY FLOOD PLAIN EASEMENT GRANTED TO AMAFCA FILED: DECEMBER 27, 2000 (2000C-316) TO BE VACATED (IN FULL OR PART) AND ASSIGNED TO THE CITY OF ALBUQUERQUE BY SEPARATE ACTION

**FUTURE PHASE 2**  
 TRACT N-2-A-2

PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY SEPARATE DOCUMENT

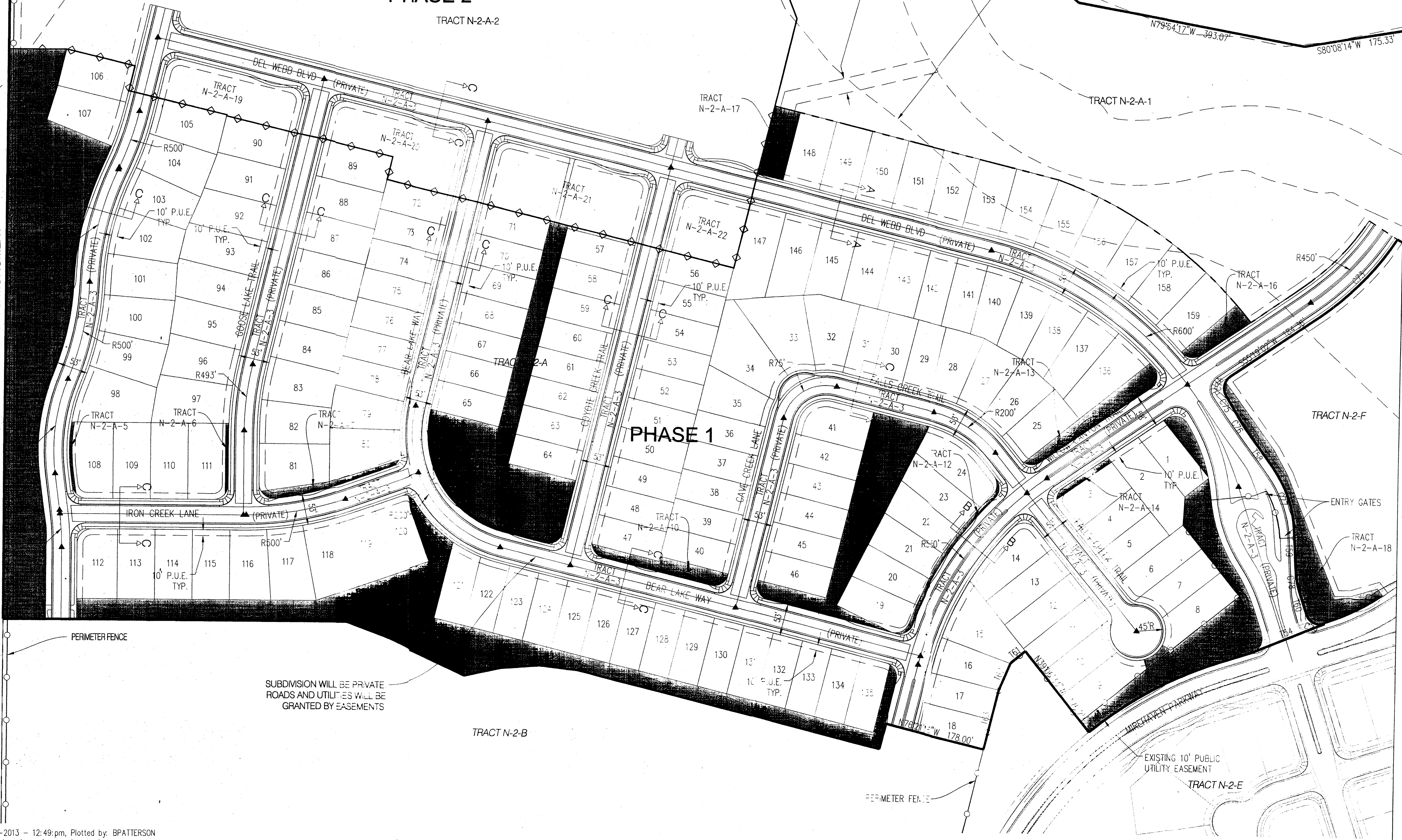
TRACT M WATERSHED SUBDIVISION FILED: JUNE 9, 2005 (2005C-198)

EXISTING TEMPORARY FLOOD PLAIN EASEMENT GRANTED TO AMAFCA FILED: DECEMBER 27, 2000 (2000C-316) TO BE VACATED (IN FULL OR PART) AND ASSIGNED TO THE CITY OF ALBUQUERQUE BY SEPARATE ACTION

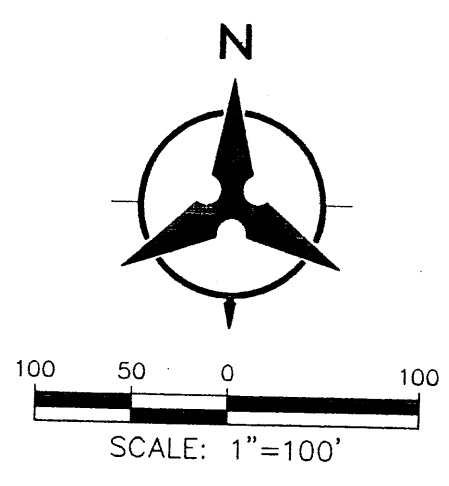
25' PUBLIC DRAINAGE EASEMENT

PETROGLYPH NATIONAL MONUMENT

MATCH LINE SEE SHEET 3

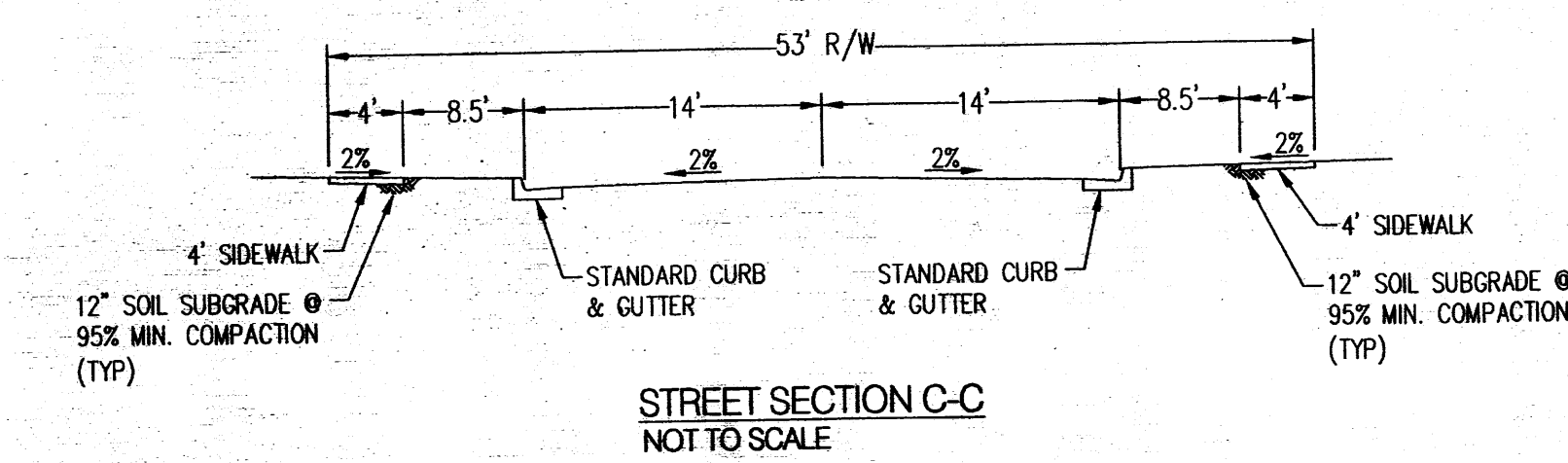
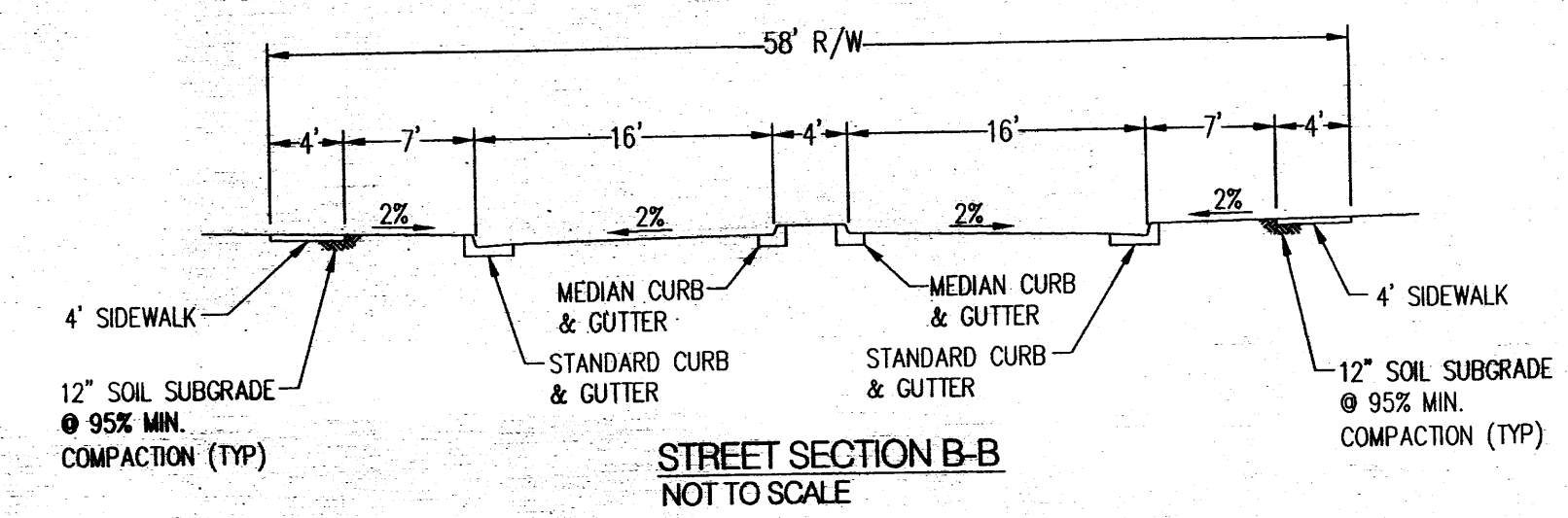
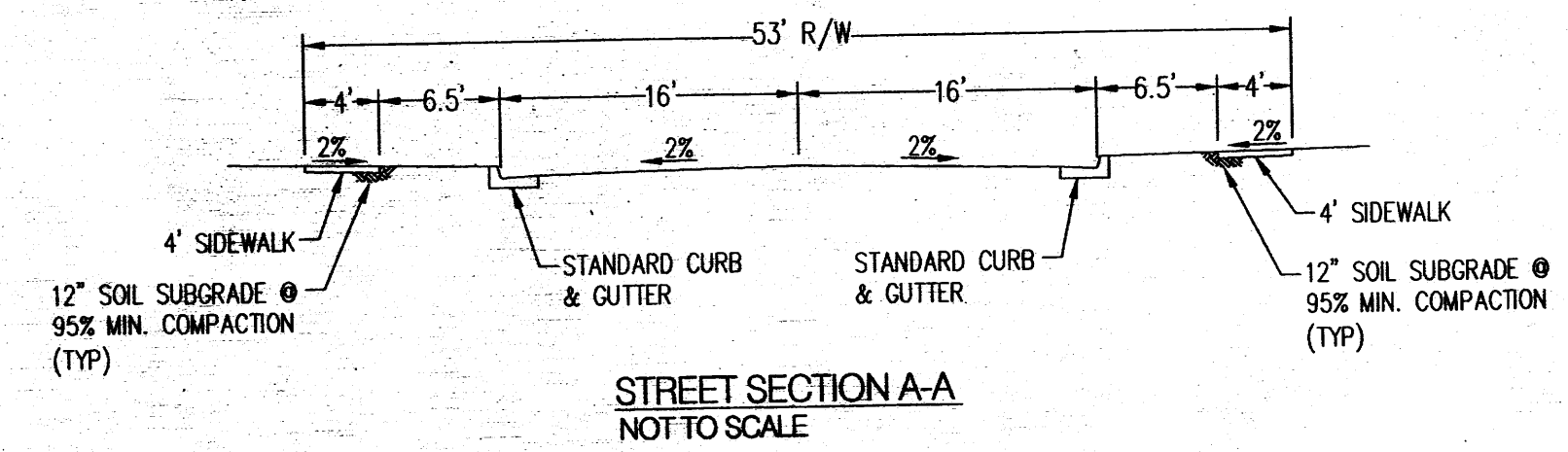
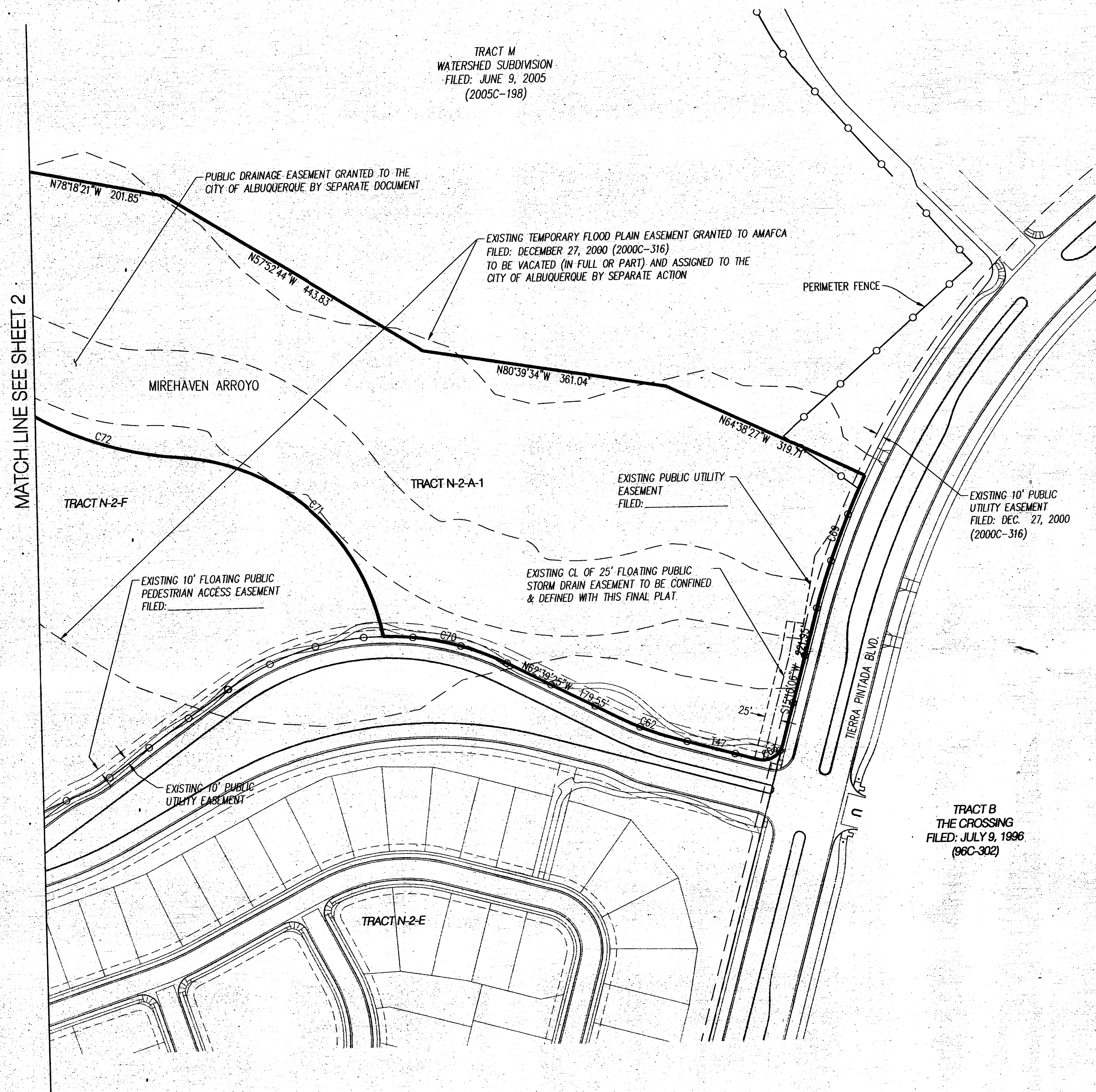


LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PERIMETER FENCE
	PHASE BOUNDARY

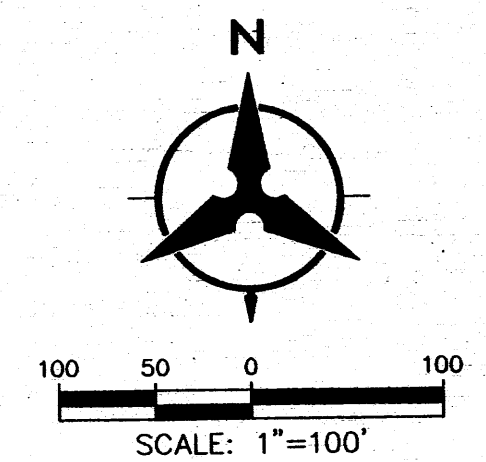




PRELIMINARY PLAT  
 DEL WEBB @ MIREHAVEN PHASE I  
 (REPLAT OF TRACT N-2-A)  
 ALBUQUERQUE, NEW MEXICO  
 DECEMBER, 2013



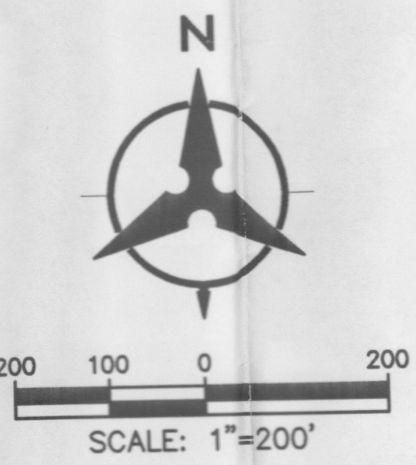
LEGEND	
---	SUBDIVISION BOUNDARY LINE
—	TRACT LINE
---	ADJOINING PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
○	PERIMETER FENCE





----- PHASE BOUNDARY

*Sign has dark chocolate  
hues coral  
light*



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BHI JOB NO. 20130375

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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT

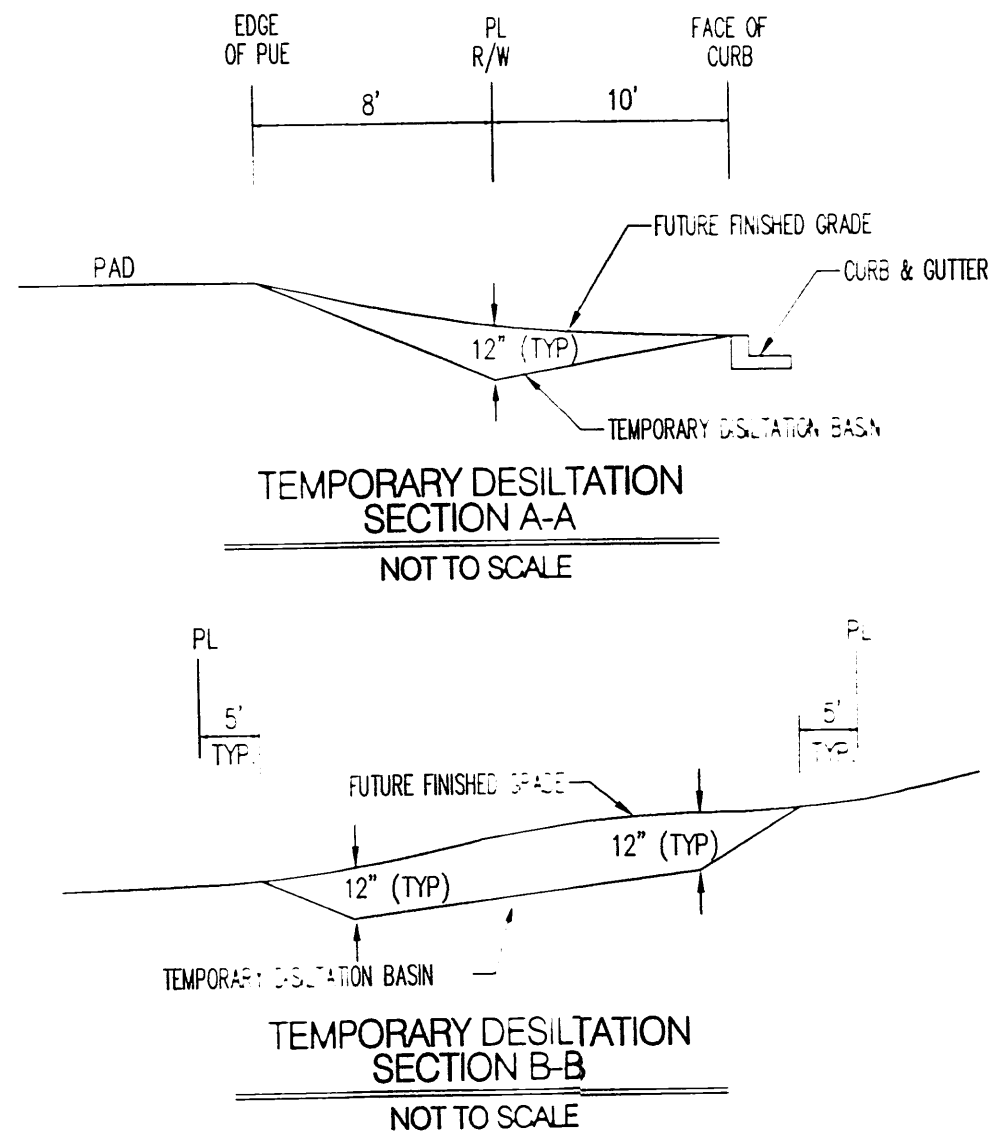
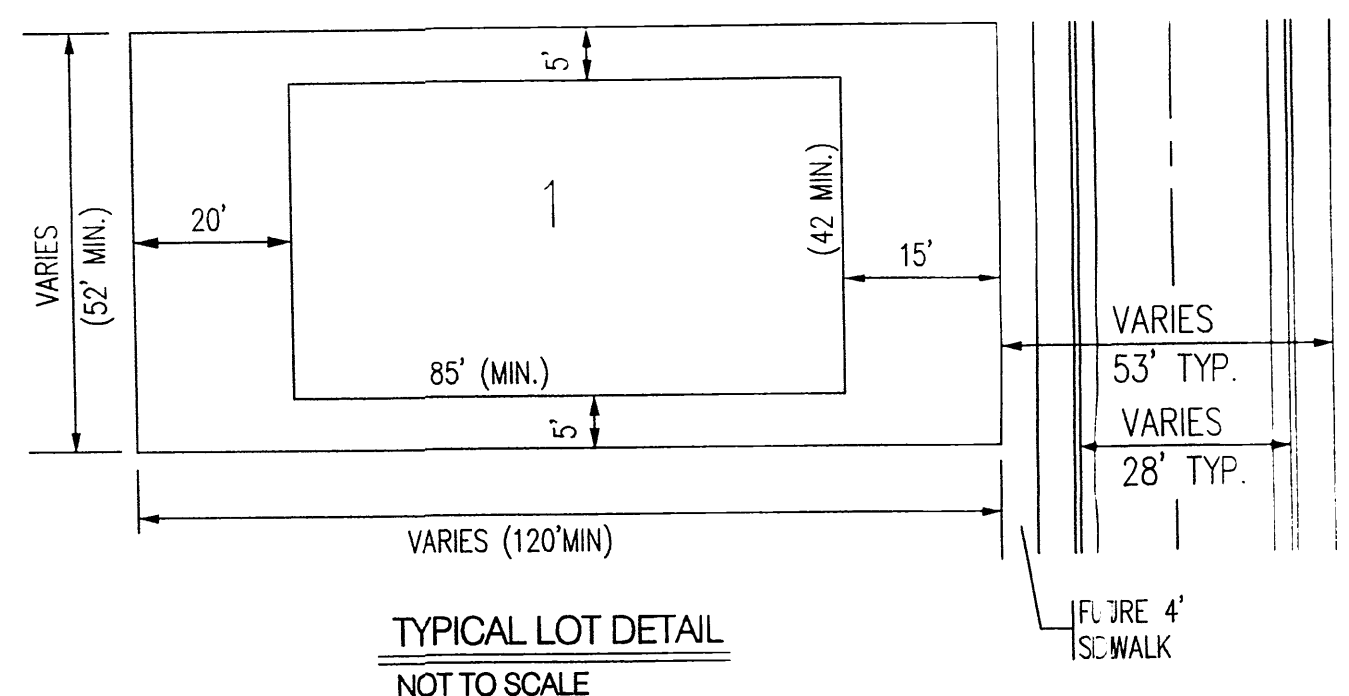
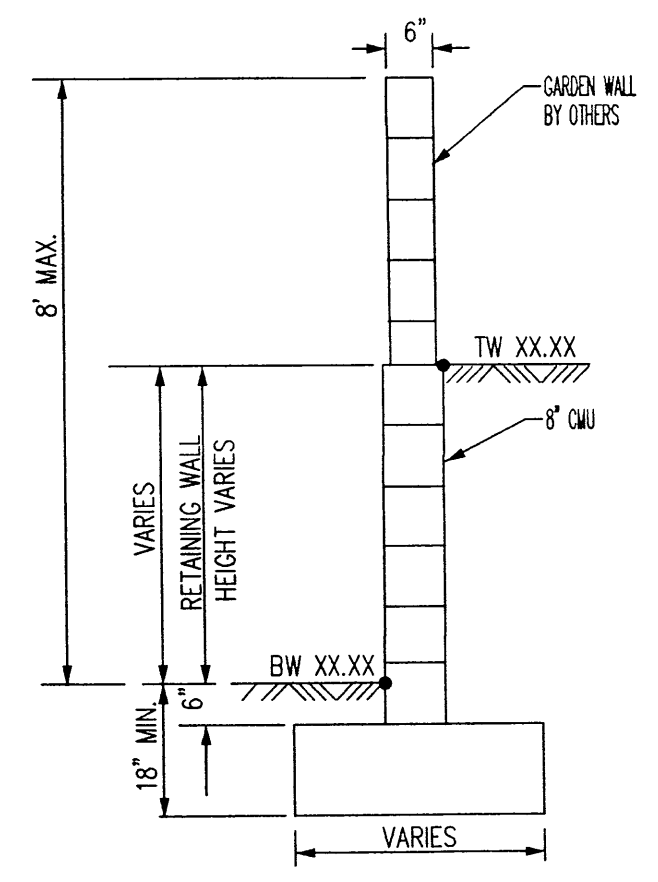
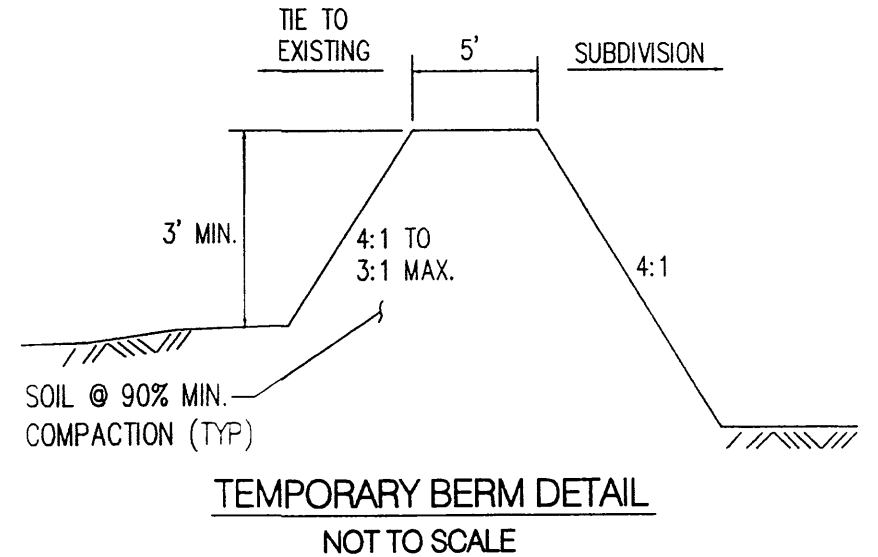
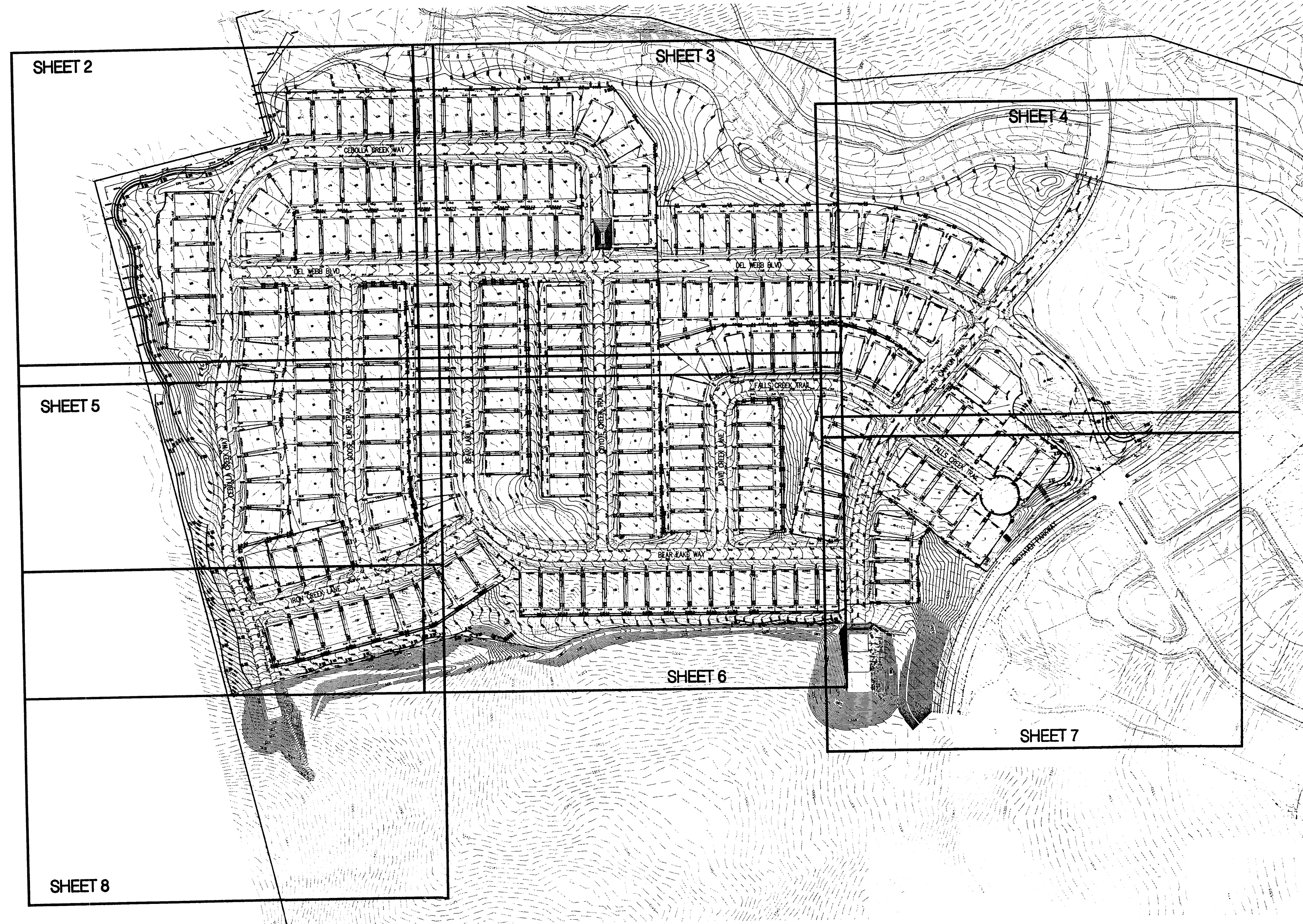
PULTE @ MIREHAVEN PHASE 1  
FUTURE OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		1	6

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	BY	US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
				GEOGRAPHIC POSITION (NAD 83)	WORKED BY	DATE	DATE
				N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	INSPECTOR'S ACCEPTANCE BY	DATE	DATE
				N=1487364.063 E=1491190.819	FIELDIGATION BY	DATE	DATE
				GROUND TO GRID = 0.999675005	DRAWINGS CORRECTED BY	DATE	DATE
				DELTA ALPHA = -0017'12.26"	MICRO-FILM INFORMATION	DATE	DATE
				NAVD 1988 ELEVATION = 5519.688	RECORDED BY	DATE	DATE
					NO.		

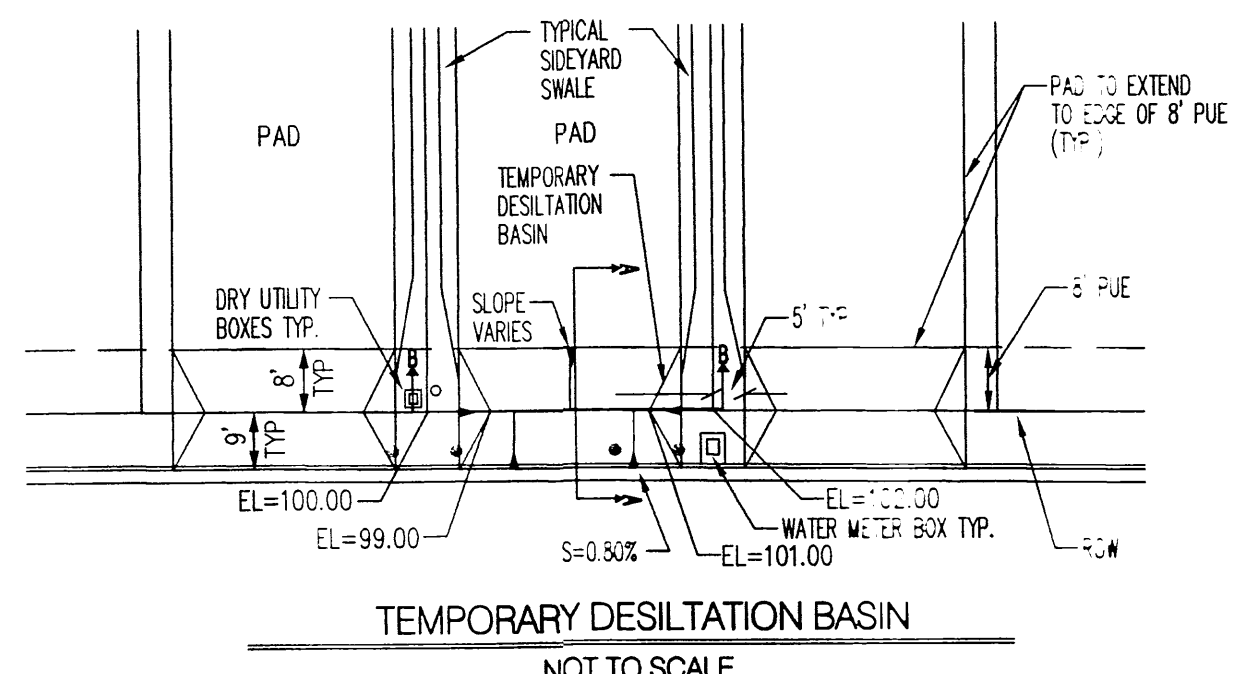
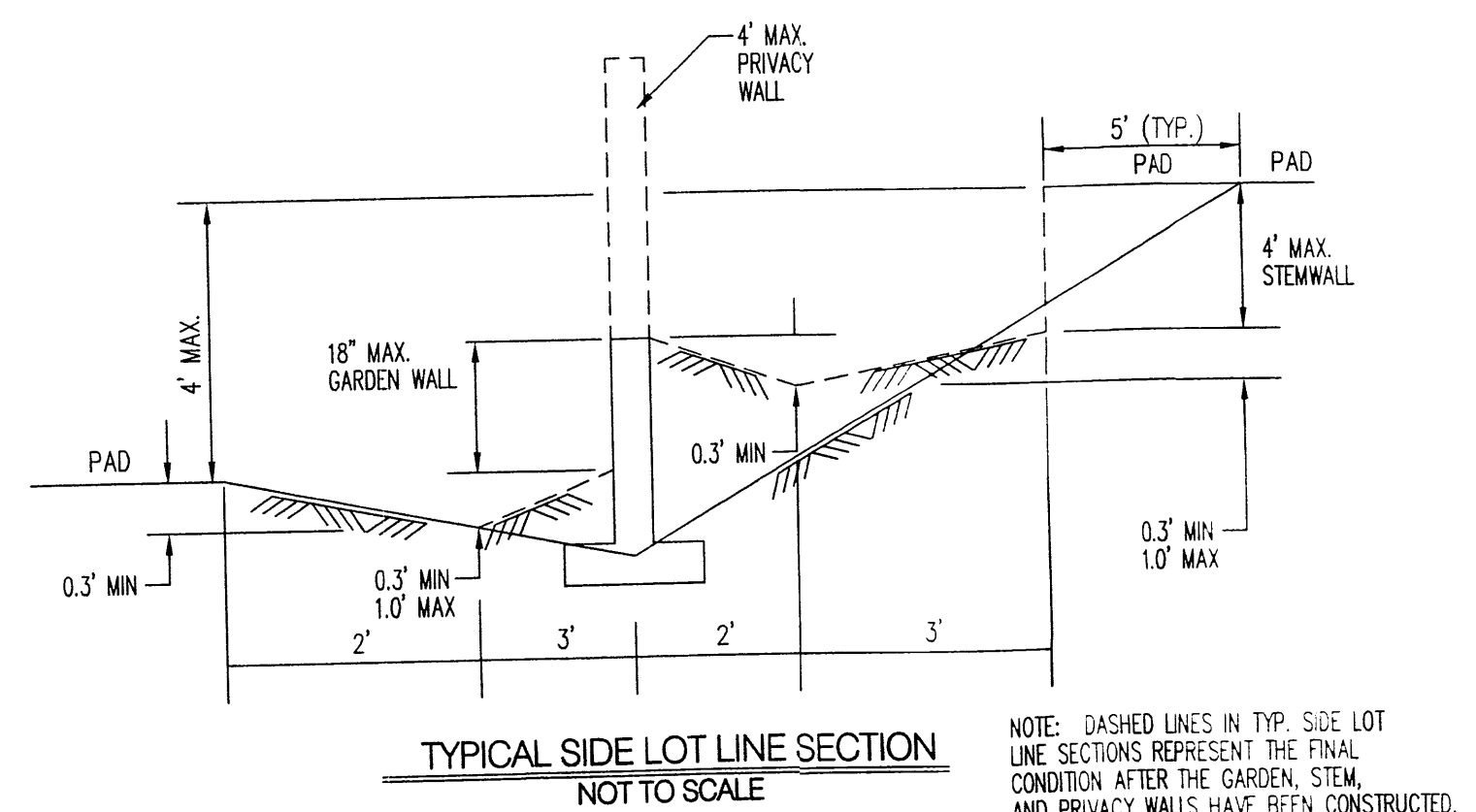
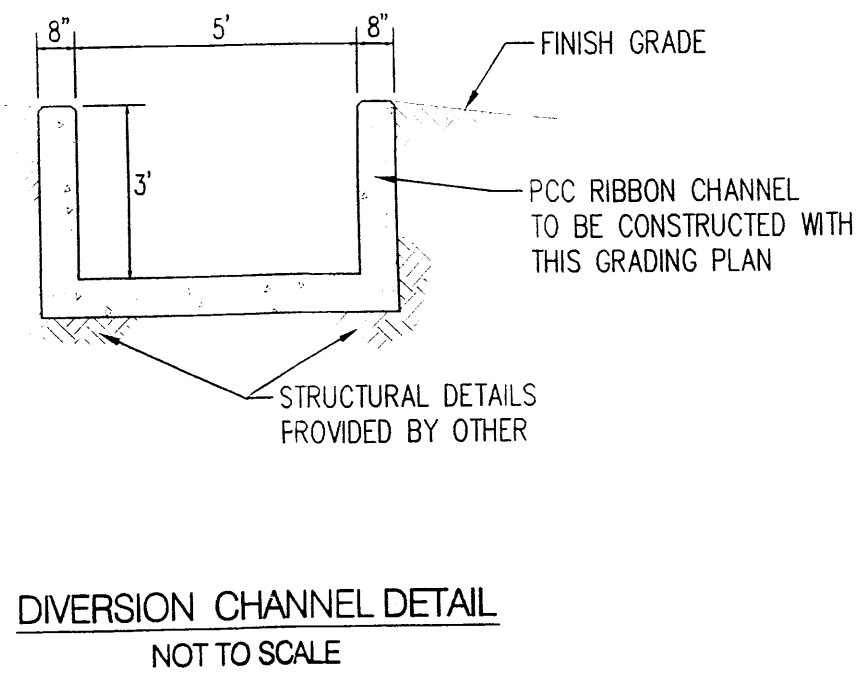
NO.	DATE	REMARKS	BY
	DATE 10/2013	DESIGN	
	DATE 10/2013	REVISIONS	
	DATE 10/2013		

DESIGNED BY: YPM  
DRAWN BY: ARR  
CHECKED BY: YPM



**LEGEND**

- PROPOSED SPOT ELEVATION: ● 5235.25
- EXISTING SPOT ELEVATION: ● EX 5235.25
- PROPOSED CONTOUR: --- 5025 ---
- EXISTING STORM DRAIN LINE: - - - - -
- PROPOSED STORM DRAIN INLET: □
- PROPOSED STORM DRAIN LINE: = = = = =
- PROPOSED STORM DRAIN MANHOLE: ○
- PROPOSED WATER BLOCK: ~ ~ ~ ~ ~
- RETAINING WALL: [Symbol]
- PAD: [Symbol]
- TB: [Symbol]
- STREET SLOPE: [Symbol]



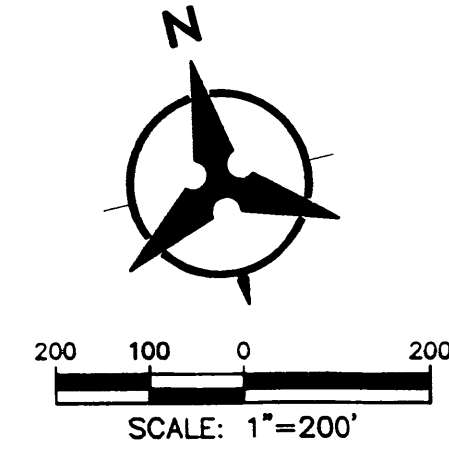
NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

**GENERAL NOTES**

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
9. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
13. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION. PRIOR TO CONSTRUCTION THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XSENYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
12. NO GRADING SHALL OCCUR WITHIN FIVE FEET OF THE PETROLYOH NATIONAL MONUMENT.



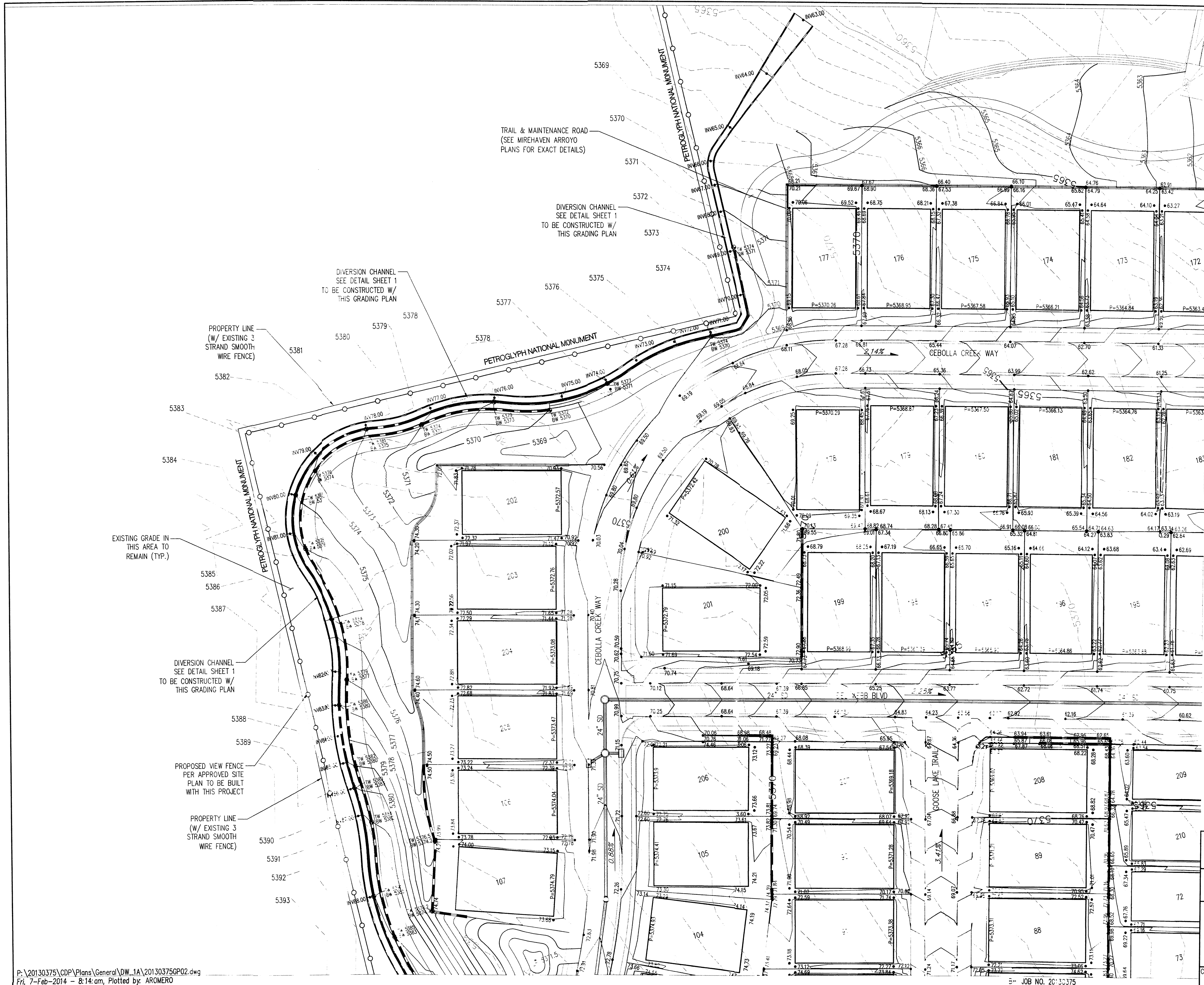
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	BY		REVISIONS DESIGN
WORK STARTED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE	DATE	DATE		
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE	NO. DATE	NO. DATE	DESIGNED BY	YPM
FIELD LOCATION BY	DATE	N=1497364.063 E=1491190.819	DATE	DESIGNED BY	DATE	DRAWN BY	ARR
DRAWINGS CORRECTED BY	DATE	GROUND TO GRID = 0.999675005	DATE	CHECKED BY	DATE	CHECKED BY	YPM & KGP
MICRO-FILM INFORMATION	DATE	DELTA ALPHA = -0017'12.26"	DATE				
RECORDED BY	DATE	NAVD. 1988 ELEVATION = 5319.688	DATE				

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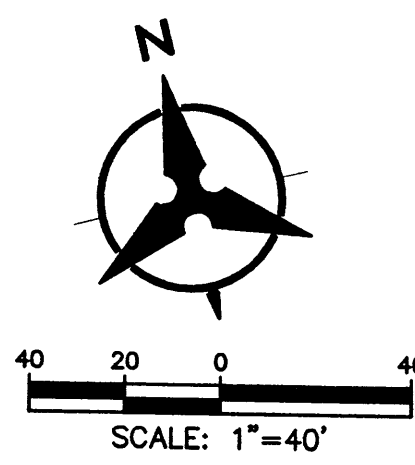
**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 1  
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		1	8



- LEGEND**
- PROPOSED SPOT ELEVATION      ● 5235.25
  - EXISTING SPOT ELEVATION      ● EX 5235.25
  - PROPOSED CONTOUR             -5025-
  - EXISTING STORM DRAIN LINE    - - - - -
  - PROPOSED STORM DRAIN INLET   □
  - PROPOSED STORM DRAIN LINE   □
  - PROPOSED STORM DRAIN MANHOLE   ○
  - PROPOSED WATER BLOCK       ~~~~~
  - RETAINING WALL                [ ]
  - PAD                                 [ ]
  - TB                                  [ ]
  - STREET SLOPE                    XY



AS-BUILT INFORMATION	
CONTRACTOR	REWARD 1969
DATE	
INSPECTOR'S ACCEPTANCE BY	
DATE	
VERIFICATION BY	
DATE	
DRAWINGS BY	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	
NO.	

BENCH MARKS	
USCGS BRASS DISC STAMPED	REWARD 1969
CONTRACTOR	
DATE	
INSPECTOR'S ACCEPTANCE BY	
DATE	
VERIFICATION BY	
DATE	
DRAWINGS BY	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	
NO.	

SURVEY INFORMATION	
FIELD NOTES	
NO.	
BY	
DATE	

ENGINEER'S SEAL	
REVISIONS	
NO. DATE	BY
DESIGNED BY	YPM
DATE 02/2014	
DRAWN BY	ARR
DATE 02/2014	
CHECKED BY	YPM & KGP
DATE 02/2014	

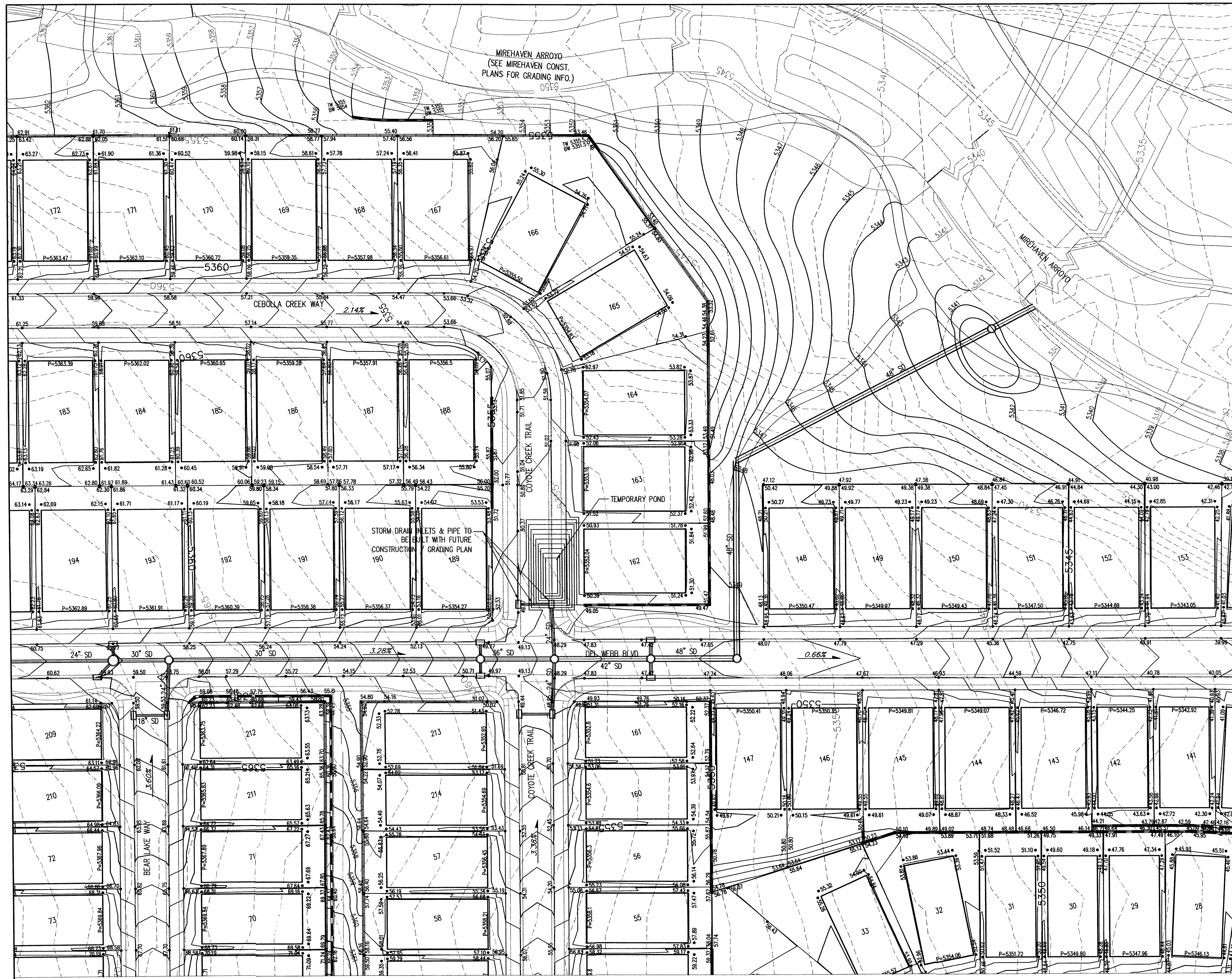
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**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
**DEL WEBB @ MIREHAVEN PHASE 1**  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

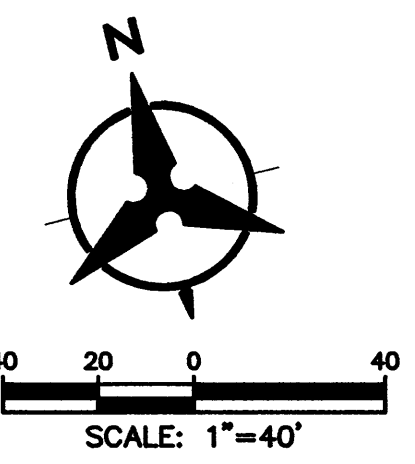
CITY PROJECT NO.      ZONE MAP NO.      SHEET 2 OF 8

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**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR - - - 5225
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE = = = = =
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK [Symbol]
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TB [Symbol]
- STREET SLOPE [Symbol]



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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 1  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

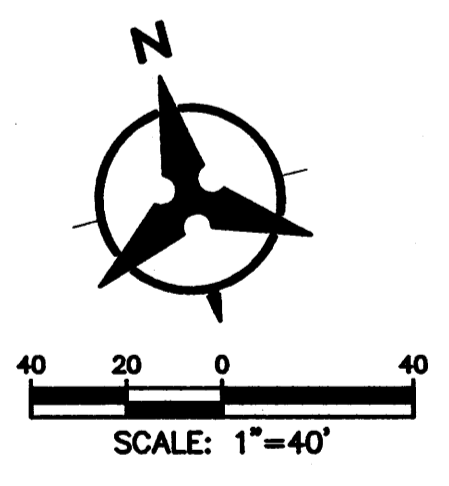
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	USC&GS BRASS DISC STAMPED	CONTRACTOR	DATE	DATE
				GEOGRAPHIC POSITION (NAD 83)	"REWARD 1969"		
				N.M. STATE PLANE COORDINATES	INSPECTOR'S ACCEPTANCE BY	DATE	DATE
				(CENTRAL ZONE)	VERIFICATION BY	DATE	DATE
				N=1487354.063 E=1491190.819	DRAWINGS CONTROLLED BY	DATE	DATE
				GROUND TO GRID = 0.999675005	"MICRO-FILM INFORMATION"	DATE	DATE
				DELTA ALPHA = -001712.26"	RECORDED BY	DATE	DATE
				NAVD 1988 ELEVATION = 5319.688	NO.	DATE	DATE





**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR --- 5225
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE |||
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TB [Symbol]
- STREET SLOPE XX



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**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**  
DEL WEBB @ MIREHAVEN PHASE 1  
GRADING PLAN

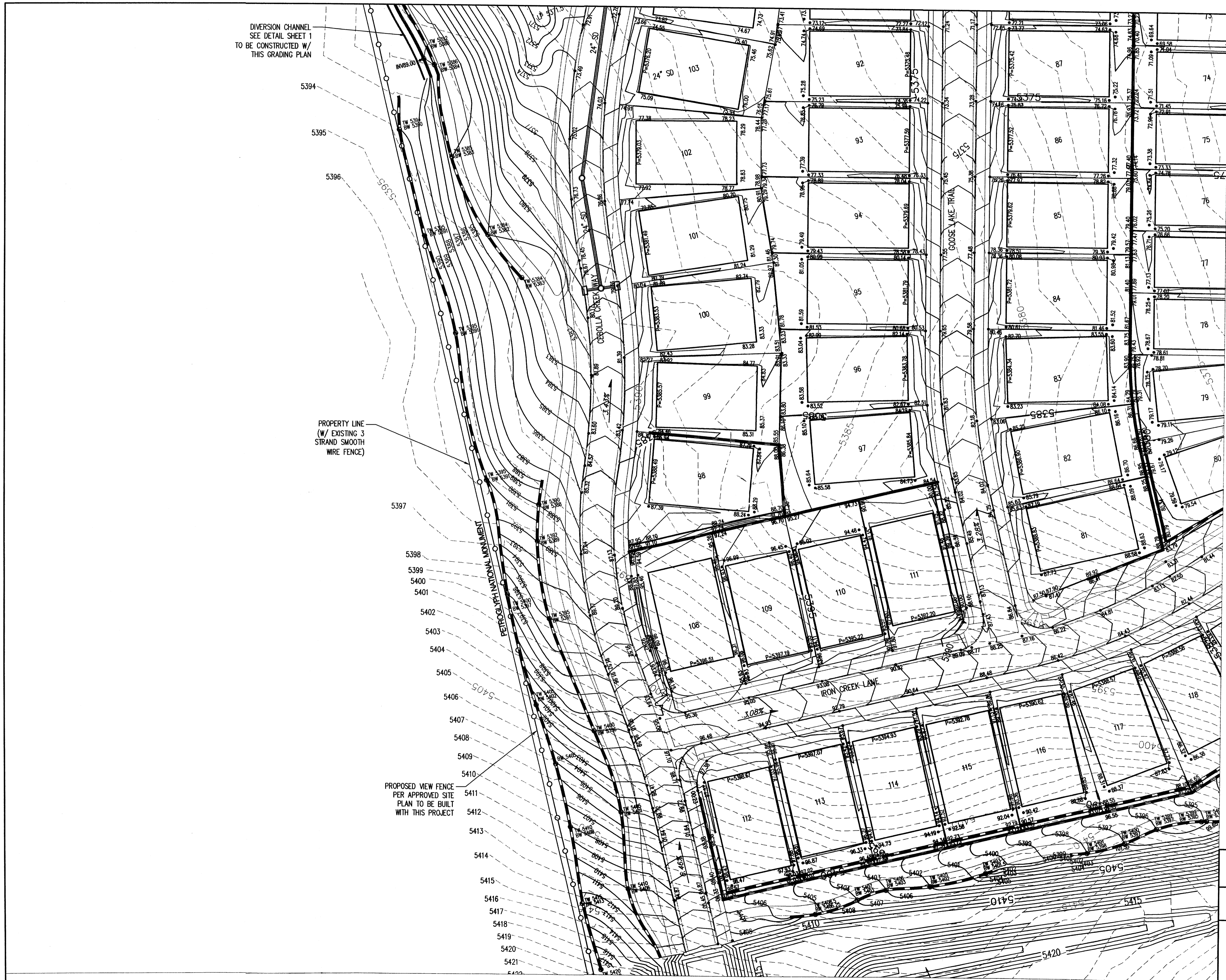
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO./DAY/YR.	NO./DAY/YR.

DESIGNED BY: YPM  
DRAWN BY: ARR  
CHECKED BY: YPM & KGP

DATE 02/2014  
DATE 02/2014  
DATE 02/2014

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	NO.	DATE	US&GS BRASS DISC STAMPED "REWARD 1968"	CONTRACTOR	DATE	CONTRACTOR	DATE
	BY	BY	GEOGRAPHIC POSITION (NAD 83)	STAMPED BY	DATE	INSPECTOR'S	DATE
	REMARKS	NO.	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	FIELD	DATE	FIELD	DATE
DESIGN	NO.	DATE	N=1487364.063 E=149190.819	VERIFICATION BY	DATE	VERIFICATION BY	DATE
			GROUND TO GRID = 0.999675005	CORRECTED BY	DATE	CORRECTED BY	DATE
			DELTA ALPHA = -007772.26"				
			NAVD 1988 ELEVATION = 5319.688				

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Fri, 7-Feb-2014 - 7:58:am, Plotted by: AROMERO



DIVERSION CHANNEL  
SEE DETAIL SHEET 1  
TO BE CONSTRUCTED W/  
THIS GRADING PLAN

PROPERTY LINE  
(W/ EXISTING 3  
STRAND SMOOTH  
WIRE FENCE)

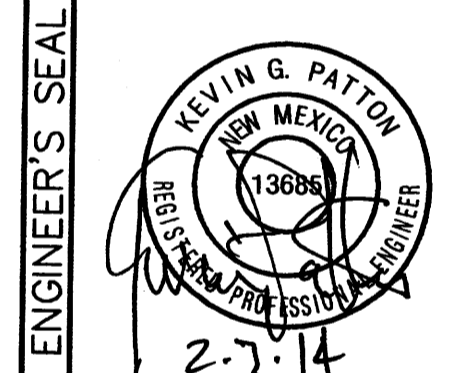
PROPOSED VIEW FENCE  
PER APPROVED SITE  
PLAN TO BE BUILT  
WITH THIS PROJECT

**LEGEND**

- PROPOSED SPOT ELEVATION      • 5235.25
- EXISTING SPOT ELEVATION      • EX 5235.25
- PROPOSED CONTOUR              - - - - -
- EXISTING STORM DRAIN LINE      - - - - -
- PROPOSED STORM DRAIN INLET      □
- PROPOSED STORM DRAIN LINE      - - - - -
- PROPOSED STORM DRAIN MANHOLE      ○
- PROPOSED WATER BLOCK          ◻
- RETAINING WALL                  - - - - -
- PAD                                  □
- TB                                      □
- STREET SLOPE                      XX



SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	USCARSS BRASS DISC STAMPED "REWARD 1968"	CONTRACTOR	DATE	DATE
		GEOGRAPHIC POSITION (NAD 83)	STAMPED BY		
		(CENTRAL ZONE)	INSPECTORS BY		
		N=1487364.063 E=149190.819	FIELD CHECKED BY		
		GROUND TO GRID = 0.999675005	REVISIONS BY		
		DELTA ALPHA = -001712.26"	MICRO-FILM INFORMATION		
		NAD 1988 ELEVATION = 5319.688	RECORDED BY		
			NO.		

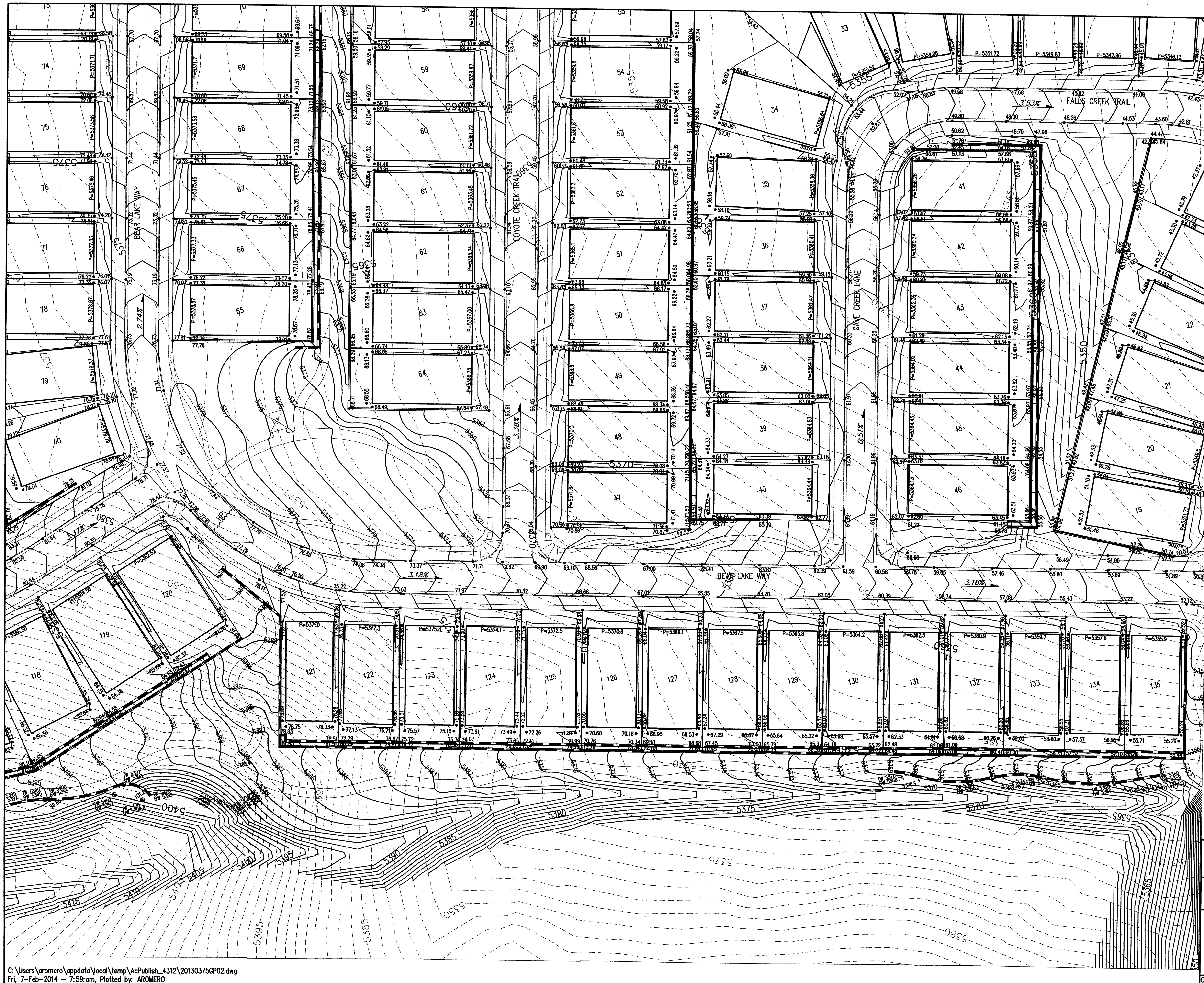


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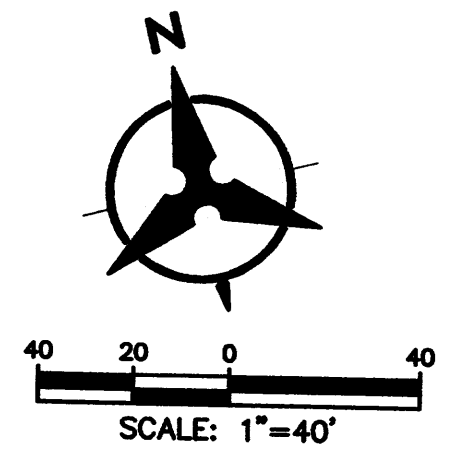
**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT  
DEL WEBB @ MIREHAVEN PHASE 1  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		5	8



- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
  - EXISTING SPOT ELEVATION ● EX 5235.25
  - PROPOSED CONTOUR --- 5225
  - EXISTING STORM DRAIN LINE - - - - -
  - PROPOSED STORM DRAIN INLET □
  - PROPOSED STORM DRAIN LINE ||||
  - PROPOSED STORM DRAIN MANHOLE ○
  - PROPOSED WATER BLOCK [wavy lines]
  - RETAINING WALL [stippled area]
  - PAD [shaded area]
  - TB [rectangle with '10']
  - TURNED BLOCK [rectangle with 'P=5300.00']
  - STREET SLOPE XY



ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
		NO.	DATE	NO.	DATE
	BY	USC&GS BRASS DISC STAMPED "REWARD 1989"		CONTRACTOR	DATE
	DATE	GEOGRAPHIC POSITION (NAD 83)		WORKED BY	DATE
		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		ACCEPTANCE BY	DATE
		N=1487364.063 E=1491100.819		FIELD CHECKED BY	DATE
		GROUND TO GRID = 0.999675005		DRAWINGS CORRECTED BY	DATE
		DELTA ALPHA = -001712.26"		MICRO-FILM INFORMATION	DATE
		NAVD 1988 ELEVATION = 5319.688		RECORDED BY	DATE
				NO.	

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY: YPM	DATE: 02/2014
DRAWN BY: ARR	DATE: 02/2014
CHECKED BY: YPM & KGP	DATE: 02/2014

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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
DEL WEBB @ MIREHAVEN PHASE 1  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

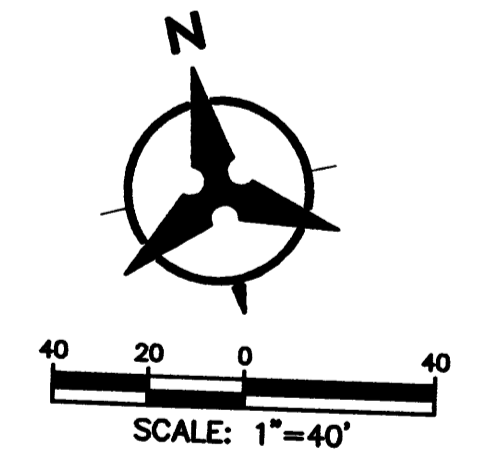
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**LEGEND**

- PROPOSED SPOT ELEVATION      ● 5235.25
- EXISTING SPOT ELEVATION      ● EX 5235.25
- PROPOSED CONTOUR              - - - - - 5225
- EXISTING STORM DRAIN LINE      - - - - -
- PROPOSED STORM DRAIN INLET      □
- PROPOSED STORM DRAIN LINE      = = = = =
- PROPOSED STORM DRAIN MANHOLE      ○
- PROPOSED WATER BLOCK          [Symbol]
- RETAINING WALL                  [Symbol]
- PAD                                  [Symbol]
- TB                                    [Symbol]
- STREET SLOPE                      [Symbol]



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**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

**DEL WEBB @ MIREHAVEN PHASE 1**  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO./DAY/YR.	NO./DAY/YR.

LAST DESIGN UPDATE	

CITY PROJECT NO.      ZONE MAP NO.      SHEET 7 OF 8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	BY	US&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
		REMARKS	REVISIONS	GEOGRAPHIC POSITION (NAD 83)	STAKED BY	DATE	DATE
DATE	DESIGN			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	INSPECTOR'S FIELD VERIFICATION BY	DATE	DATE
DATE02/2014				N=1497364.063 E=1491190.819	CORRECTED BY	DATE	DATE
DATE02/2014				GROUND TO GRID = 0.999675005			
DATE02/2014				DELTA ALPHA = -0017'12.26"			
				NAVD 1988 ELEVATION = 5519.688			

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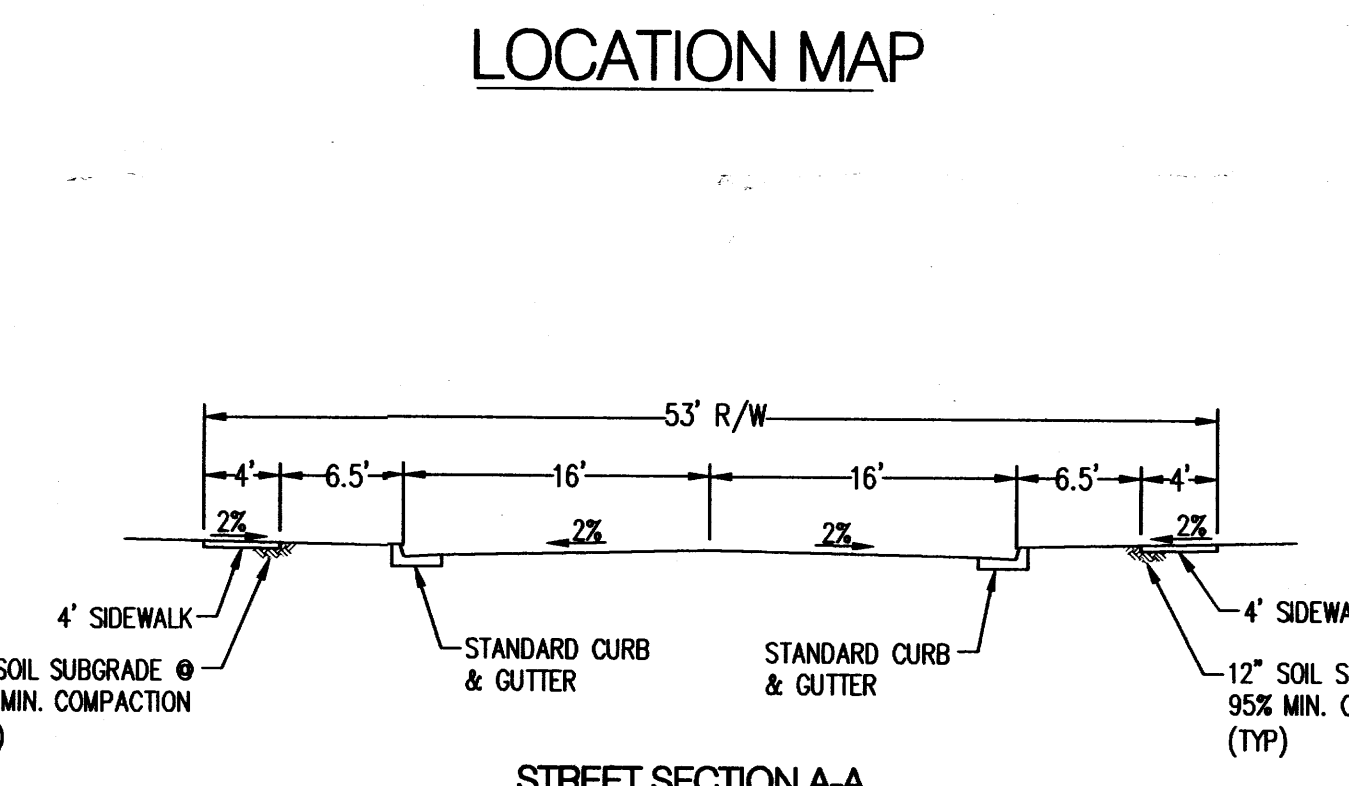
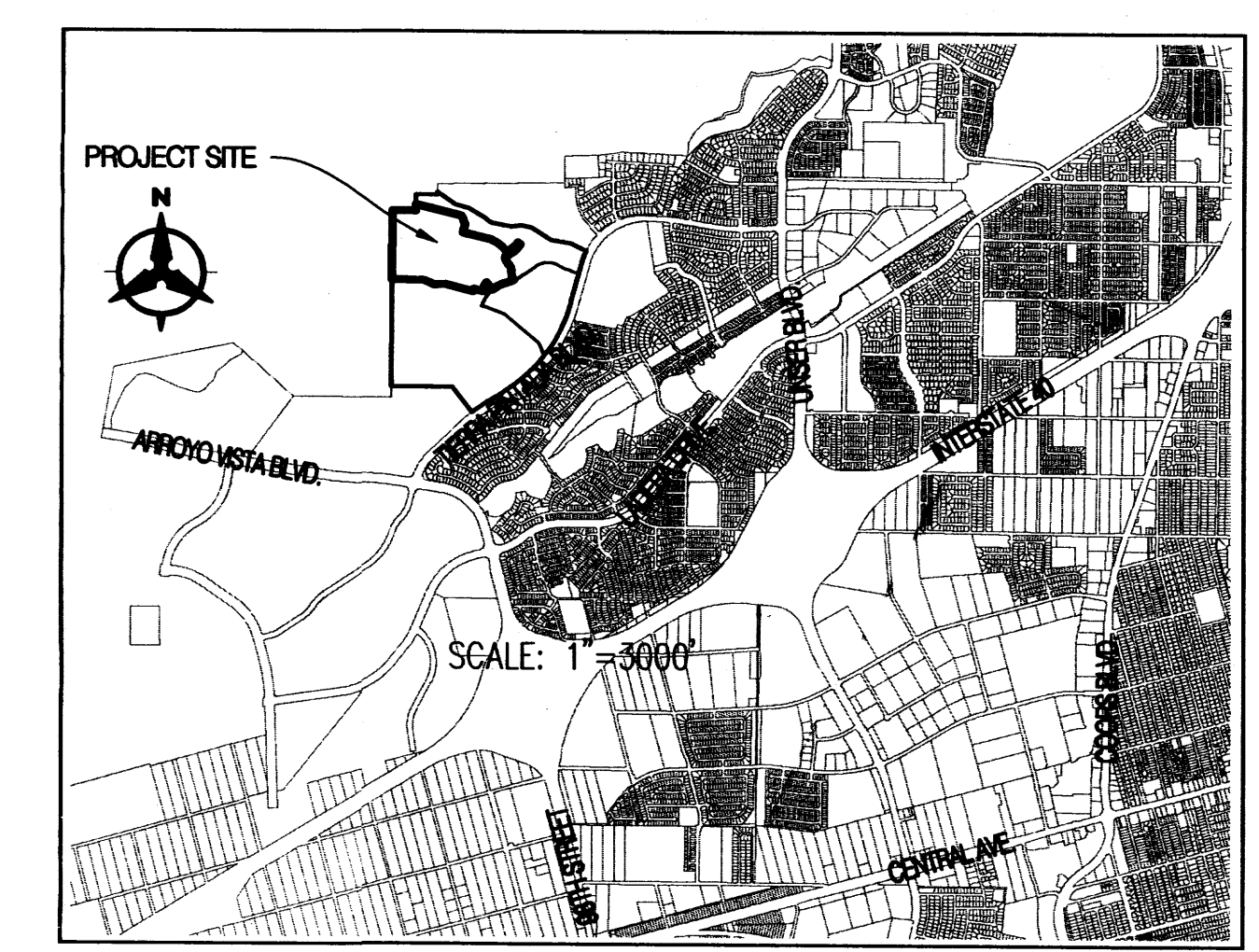
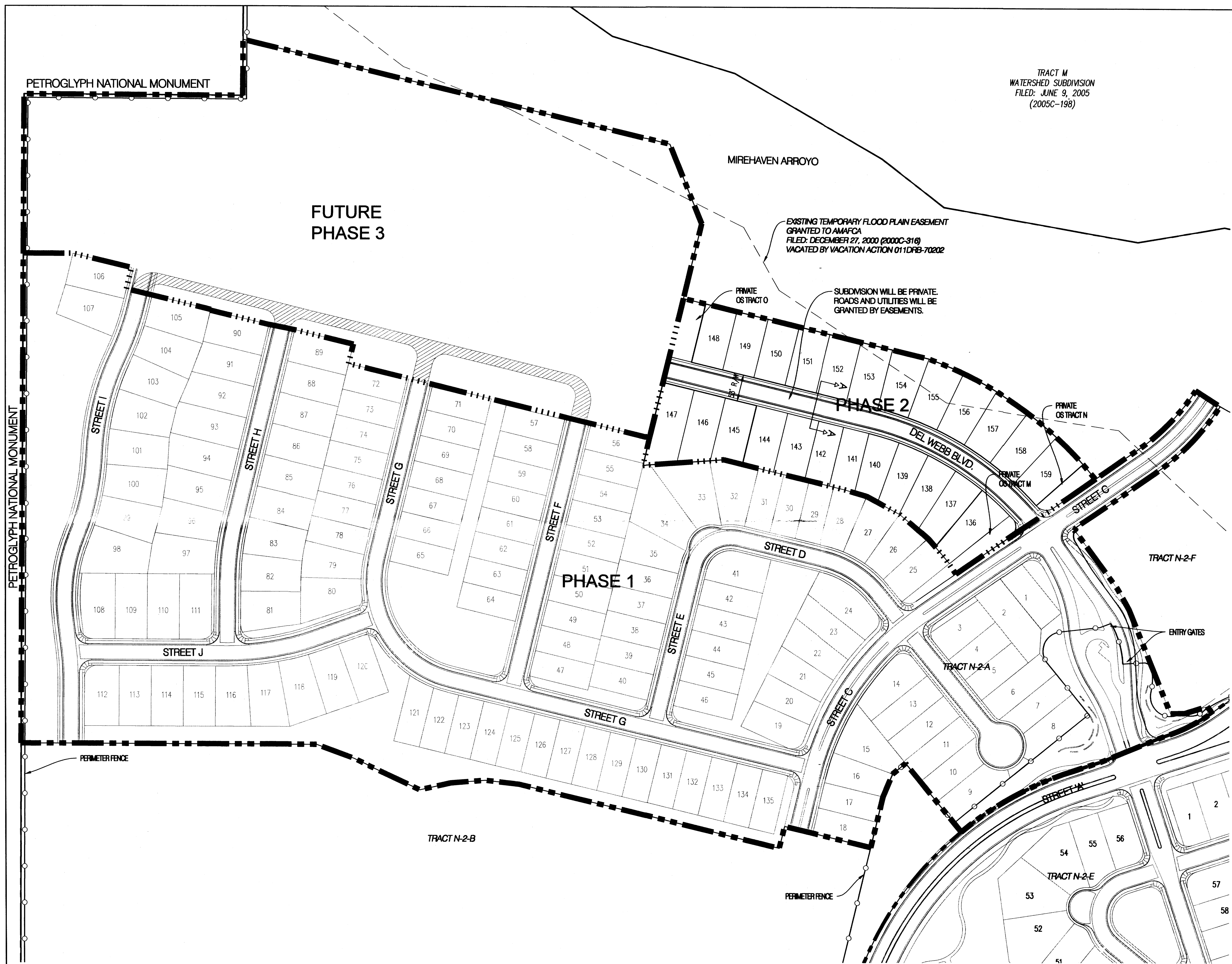
PROJECT #: 1001864  
 DATE: 12-11-13  
 APP#: 13-70713(CX)

# SKETCH PLAT

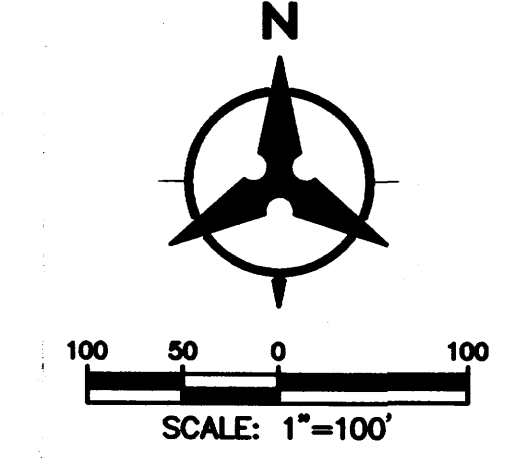
## DEL WEBB @ MIREHAVEN

### PHASE 2 - MODEL PARK

(A PORTION OF TRACT N-2-A OF THE WATERSHED SUBDIVISION)



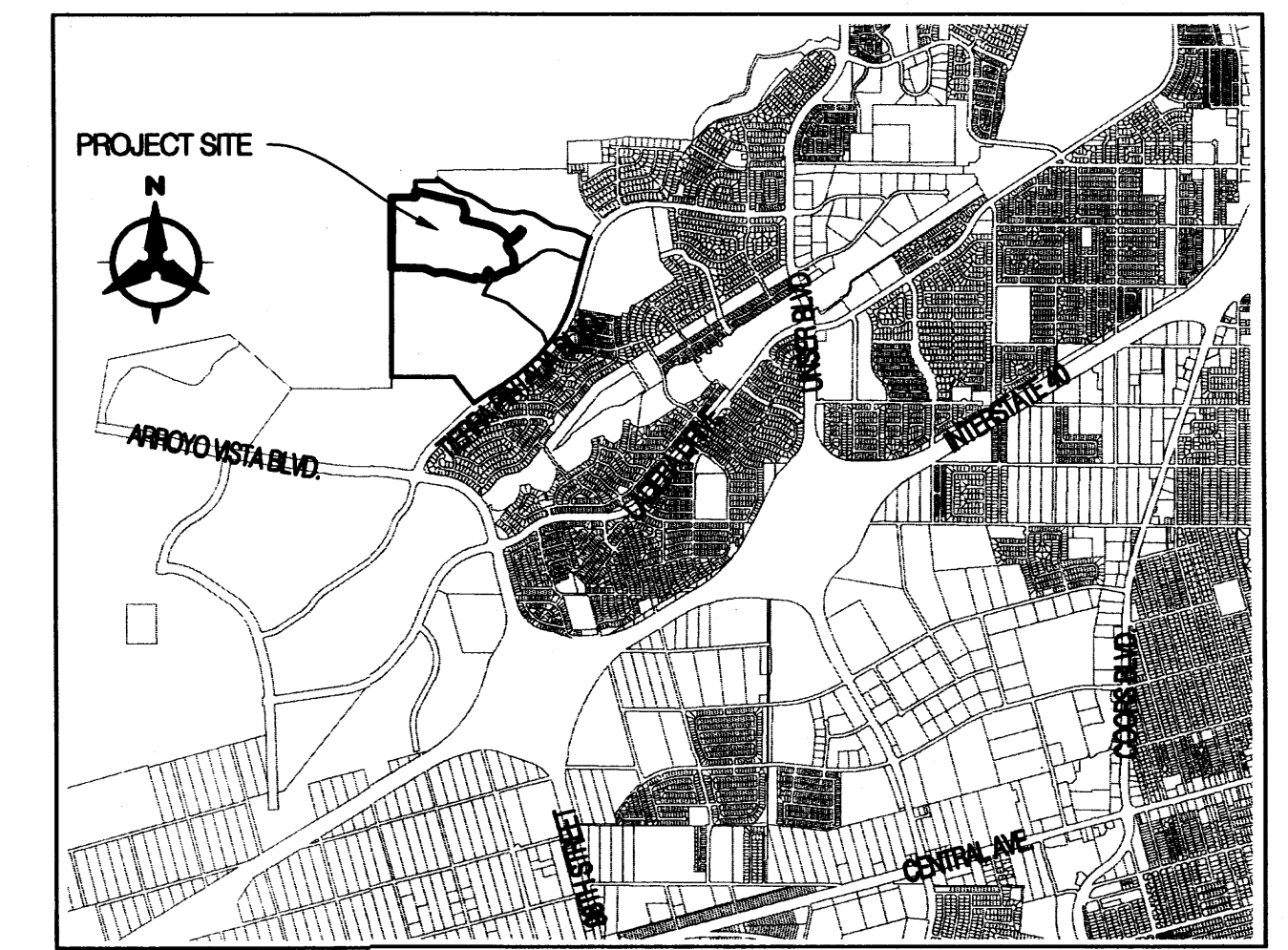
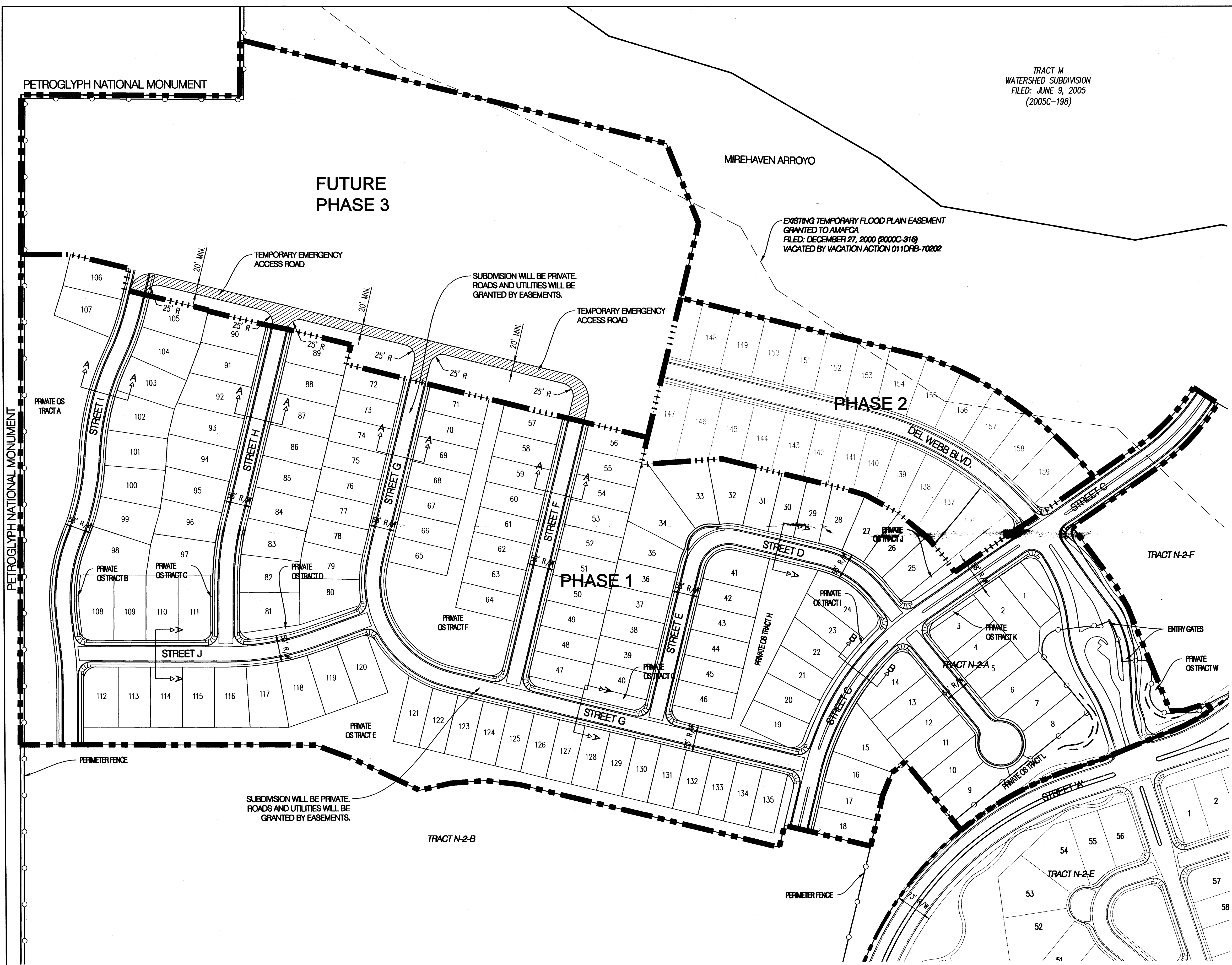
EXISTING ZONING: SU-2 FOR PDA  
 PROPOSED DEVELOPMENT: RESIDENTIAL SUBDIVISION  
 PROPOSED ACREAGE: 5.689 AC.  
 MINIMUM LOT DIMENSION: 52'x120'  
 PROPOSED NUMBER OF LOTS: 24 RESIDENTIAL LOTS  
 3 PRIVATE OPEN SPACE TRACTS  
 27 TOTAL



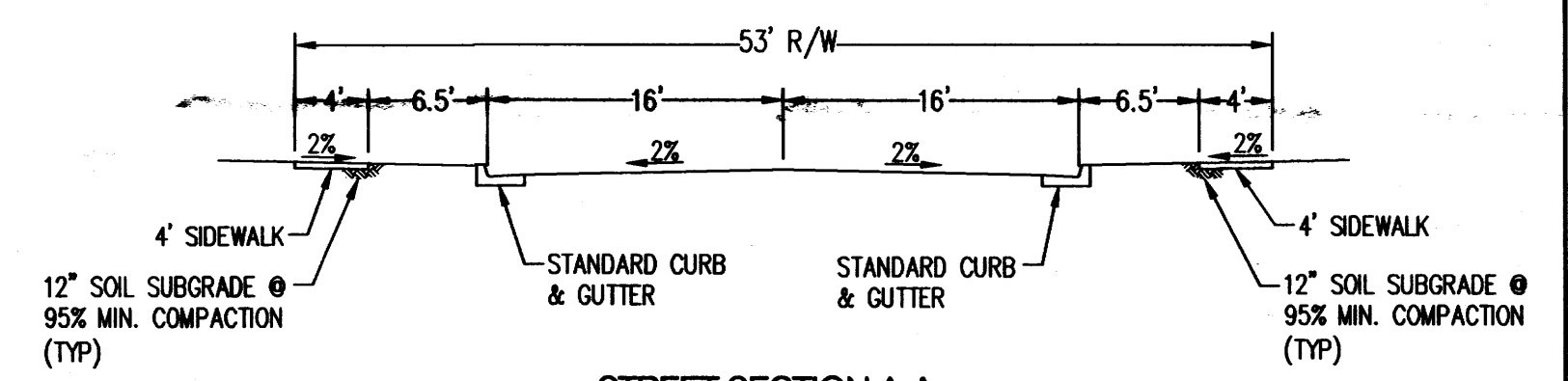
**Bohannon & Huston**  
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# SKETCH PLAN

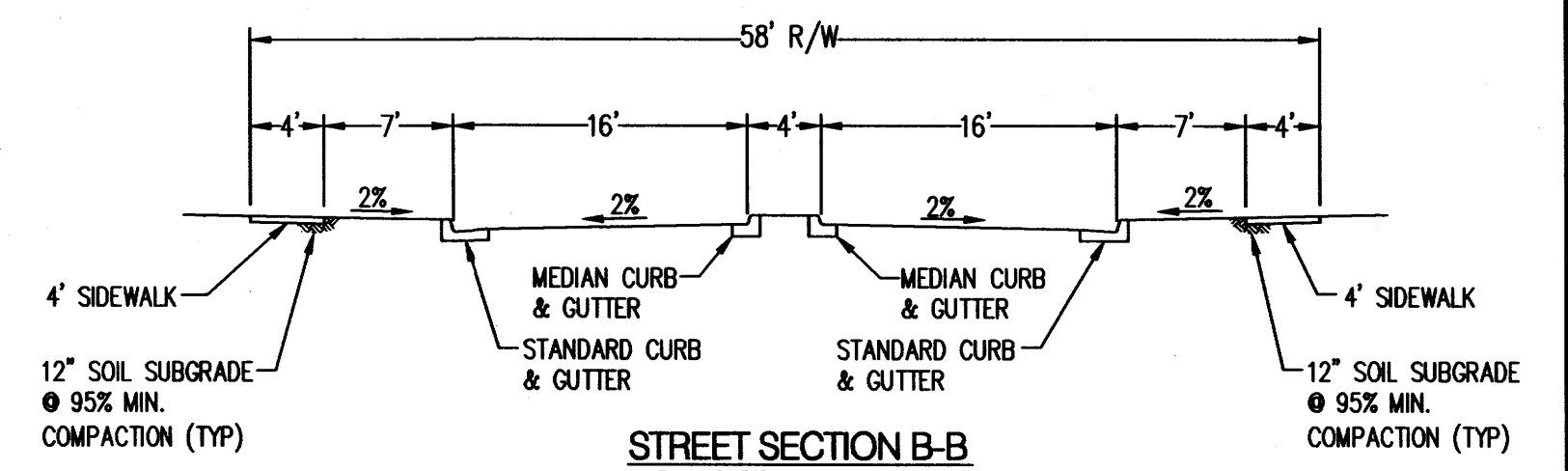
## DEL WEBB @ MIREHAVEN PHASE 1 (A PORTION OF TRACT N-2-A OF THE WATERSHED SUBDIVISION)



LOCATION MAP  
 SCALE: 1"=3000'

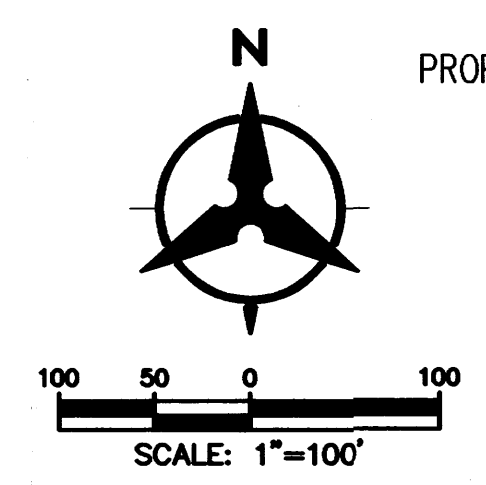


STREET SECTION A-A  
 NOT TO SCALE



STREET SECTION B-B  
 NOT TO SCALE

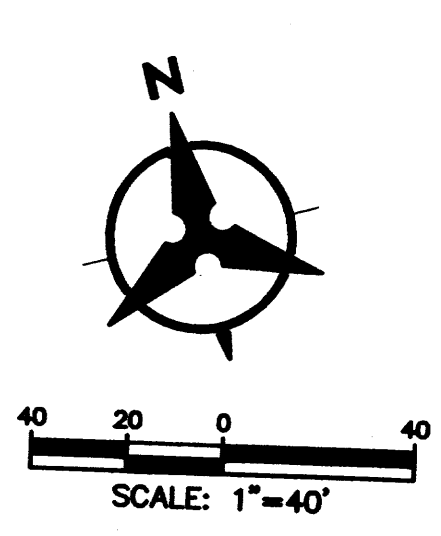
EXISTING ZONING: SU-2 FOR PDA  
 PROPOSED DEVELOPMENT: RESIDENTIAL SUBDIVISION  
 PROPOSED ACREAGE: 38.115 AC.  
 MINIMUM LOT DIMENSION: 52'x120'  
 PROPOSED NUMBER OF LOTS: 135 RESIDENTIAL LOTS  
 13 PRIVATE OPEN SPACE TRACTS  
 148 TOTAL







- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
  - EXISTING SPOT ELEVATION ● 5235.25
  - PROPOSED CONTOUR ——— 5225
  - PHASE BOUNDARY ———
  - DIRECTION OF FLOW →
  - EXISTING STORM DRAIN LINE ———
  - PROPOSED STORM DRAIN INLET [Symbol]
  - PROPOSED STORM DRAIN LINE [Symbol]
  - PROPOSED STORM DRAIN MANHOLE [Symbol]
  - PROPOSED WATER BLOCK [Symbol]
  - RETAINING WALL [Symbol]
  - POND CONTOUR [Symbol]
  - PAD [Symbol]
  - TB [Symbol]



BENCH MARKS		AS-BUILT INFORMATION	
USCGS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
GEOGRAPHIC POSITION (NAD 83)	INSPECTED BY	DATE	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	ACCEPTANCE BY	DATE	DATE
N=1487364.063 E=1491190.819	VERIFICATION BY	DATE	DATE
GROUND TO GRID = 0.999675005	DRAWN BY	DATE	DATE
DELTA ALPHA = -0017'12.26"	CORRECTED BY	DATE	DATE
NAVD 1988 ELEVATION = 5319.688	RECORDED BY	DATE	DATE
	NO.		

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	NO.	DATE

ENGINEER'S SEAL		REVISIONS	
		NO.	DATE
		BY	DATE
DESIGNED BY YPM	DATE 10/2013	DESIGNED BY YPM	DATE 10/2013
DRAWN BY ARR	DATE 10/2013	DRAWN BY ARR	DATE 10/2013
CHECKED BY YPM	DATE 10/2013	CHECKED BY YPM	DATE 10/2013

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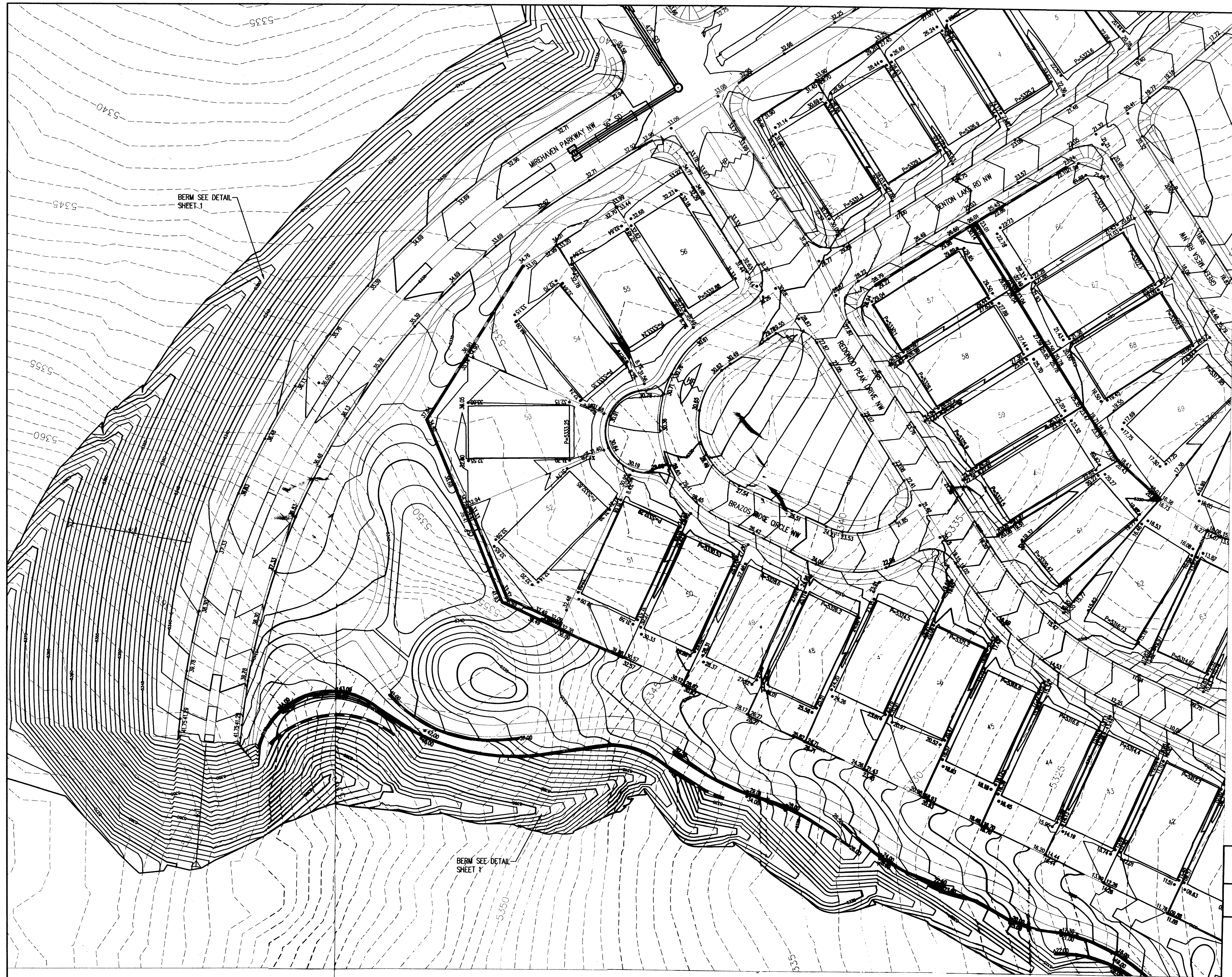
**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
**PULTE @ MIREHAVEN PHASE 1**  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 2 OF 6

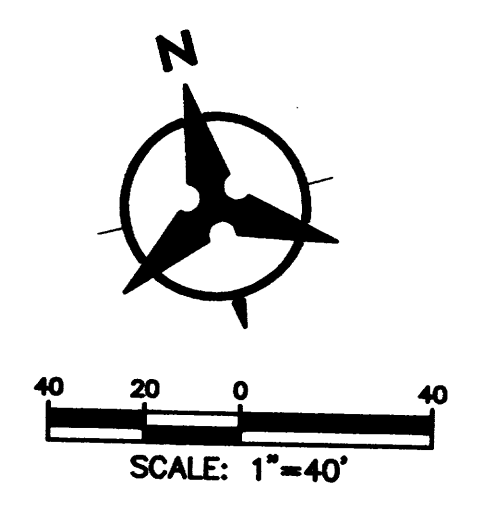
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 Thu, 10-Oct-2013 - 9:27:am, Plotted by: AROMERO

BHI JOB NO. 20130375





- LEGEND**
- PROPOSED SPOT ELEVATION      ● 5235.25
  - EXISTING SPOT ELEVATION      ● 5235.25
  - PROPOSED CONTOUR              - - - - -
  - PHASE BOUNDARY              - - - - -
  - DIRECTION OF FLOW            →
  - EXISTING STORM DRAIN LINE    ————
  - PROPOSED STORM DRAIN INLET    [Symbol]
  - PROPOSED STORM DRAIN LINE    [Symbol]
  - PROPOSED STORM DRAIN MANHOLE [Symbol]
  - PROPOSED WATER BLOCK        [Symbol]
  - RETAINING WALL                [Symbol]
  - POND CONTOUR                  [Symbol]
  - PAD                                [Symbol]
  - TB                                 [Symbol]



SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE
		US&GS BRASS DISC STAMPED "REWARD 1968"		CONTRACTOR	
		GEOGRAPHIC POSITION (NAD 83)		INSPECTED BY	
		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		ACCEPTANCE BY	
		N=1487364.063 E=1491190.819		DATE	
		GROUND TO GRID = 0.999875005		DATE	
		DELTA ALPHA = -007772.26'		DATE	
		NAVD 1988 ELEVATION = 5319.688		DATE	

ENGINEER'S SEAL		REVISIONS	
NO.	DATE	NO.	DATE
		DESIGNED BY YPM	DATE 10/2013
		DRAWN BY ARR	DATE 10/2013
		CHECKED BY YPM	DATE 10/2013

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 4 OF 6

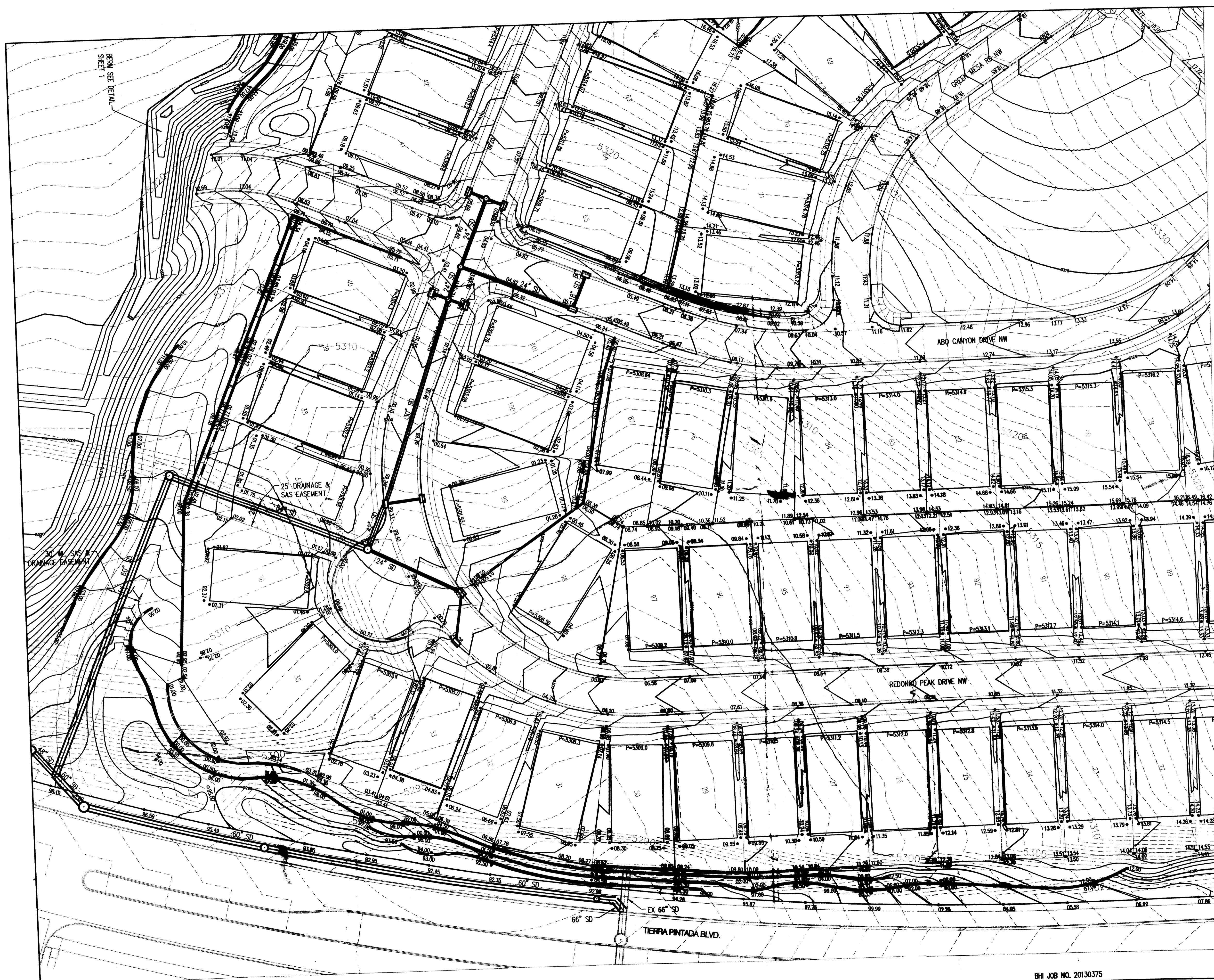
**Bohannon & Huston**  
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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

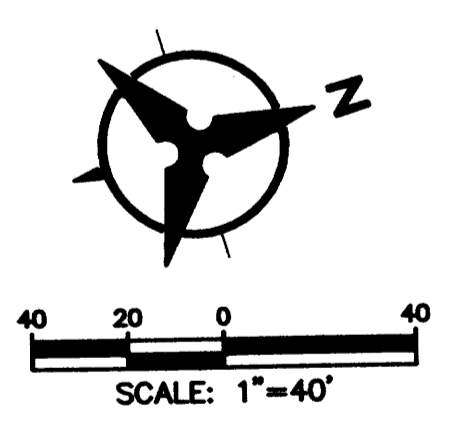
**PULTE @ MIREHAVEN PHASE 1**  
GRADING PLAN

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Thu, 10-Oct-2013 - 9:27:am, Plotted by: AROMERO





- LEGEND**
- PROPOSED SPOT ELEVATION      ● 5235.25
  - EXISTING SPOT ELEVATION      ● 5235.25
  - PROPOSED CONTOUR            - - - - - 5225
  - PHASE BOUNDARY            - - - - -
  - DIRECTION OF FLOW            →
  - EXISTING STORM DRAIN LINE    = = = = = SD
  - PROPOSED STORM DRAIN INLET
  - PROPOSED STORM DRAIN LINE
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED WATER BLOCK
  - RETAINING WALL
  - POND CONTOUR
  - PAD
  - TB



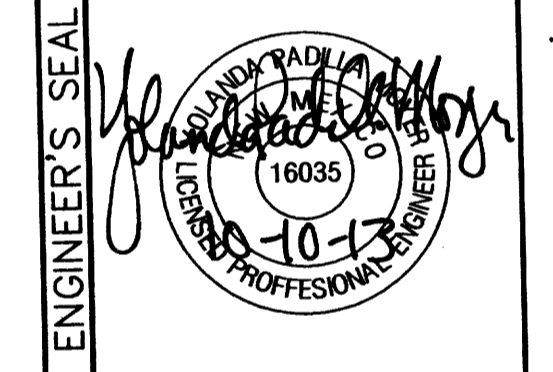
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**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
**PULTE @ MIREHAVEN PHASE 1**  
 GRADING PLAN

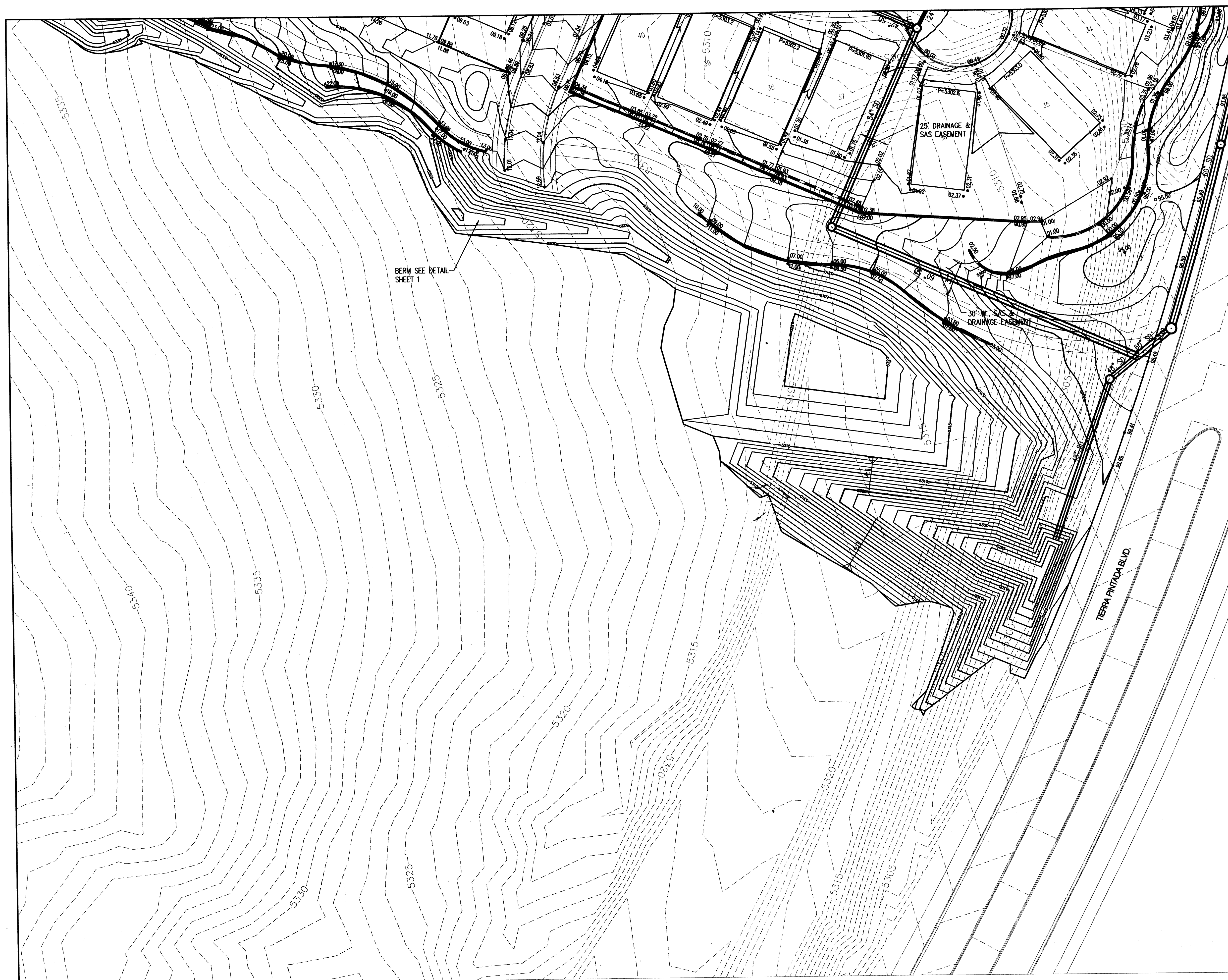
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CITY PROJECT NO.		ZONE MAP NO.	SHEET 5 OF 6

BENCH MARKS		AS-BUILT INFORMATION	
USC&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
GEOGRAPHIC POSITION (NAD 83)	STAMPED BY	DATE	DATE
N.M. STATE PLANE COORDINATES	INSPECTOR'S	DATE	DATE
(CENTRAL ZONE)	FIELD	DATE	DATE
N=1487364.063 E=1491190.819	VERIFICATION BY	DATE	DATE
GROUND TO GRID = 0.999675005	CORRECTED BY	DATE	DATE
DELTA ALPHA = -001712.26"		DATE	DATE
NAVD 1988 ELEVATION = 5319.688		DATE	DATE

SURVEY INFORMATION	
FIELD NOTES	NO.
DATE	BY

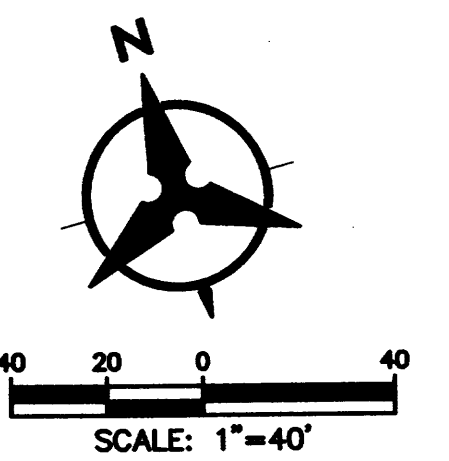


ENGINEER'S SEAL	REVISIONS	BY
	DESIGN	
NO. DATE	REMARKS	DATE
DESIGNED BY YPM		DATE 10/2013
DRAWN BY ARR		DATE 10/2013
CHECKED BY YPM		DATE 10/2013



**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● 5235.25
- PROPOSED CONTOUR --- 5225
- PHASE BOUNDARY - - - - -
- DIRECTION OF FLOW →
- EXISTING STORM DRAIN LINE ---
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- POND CONTOUR
- PAD
- TB



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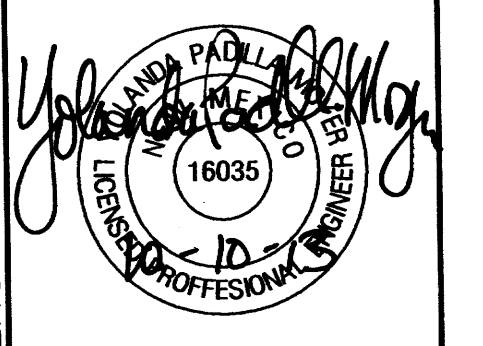
**CITY OF ALBUQUERQUE  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT**

**PULTE @ MIREHAVEN PHASE 1  
GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

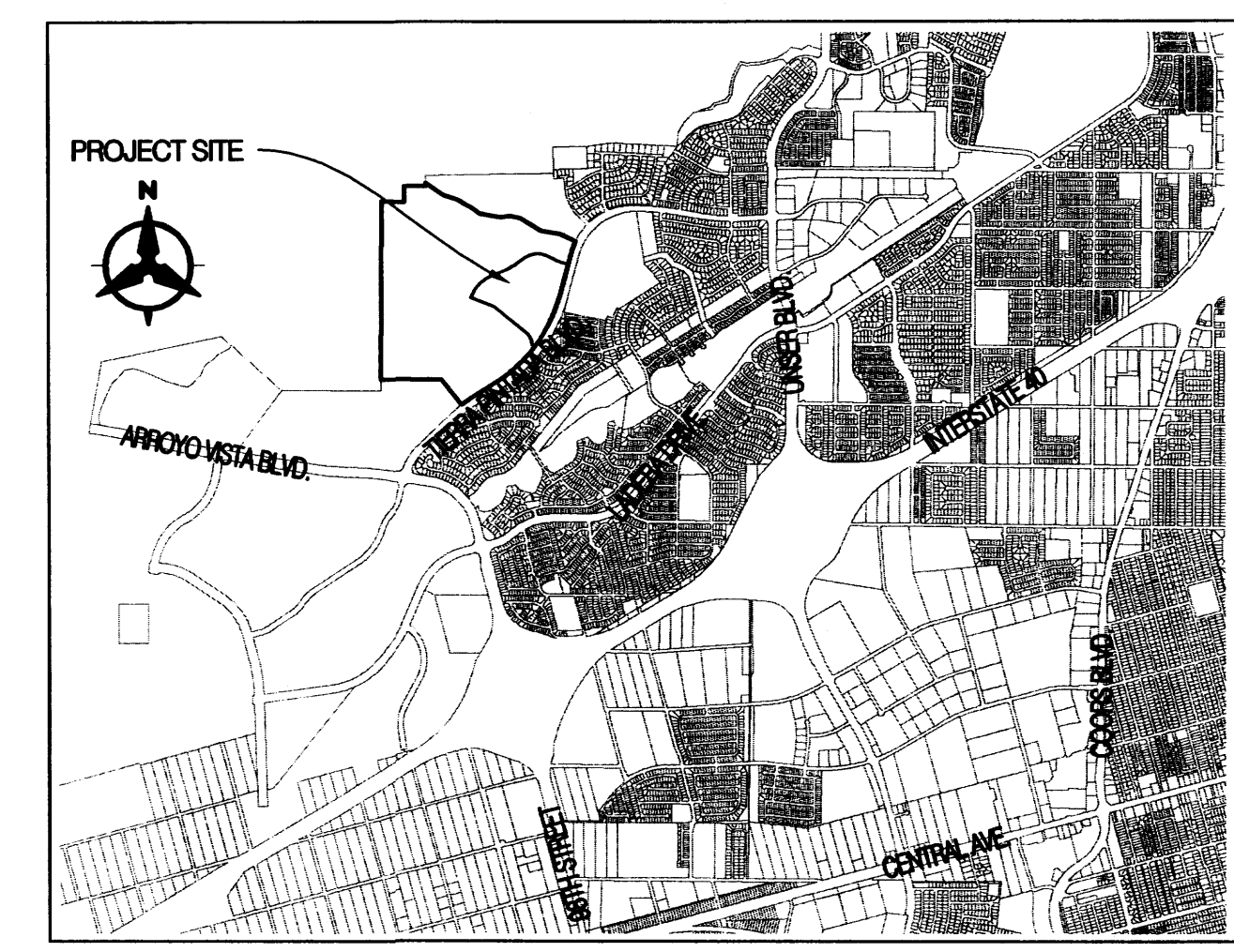
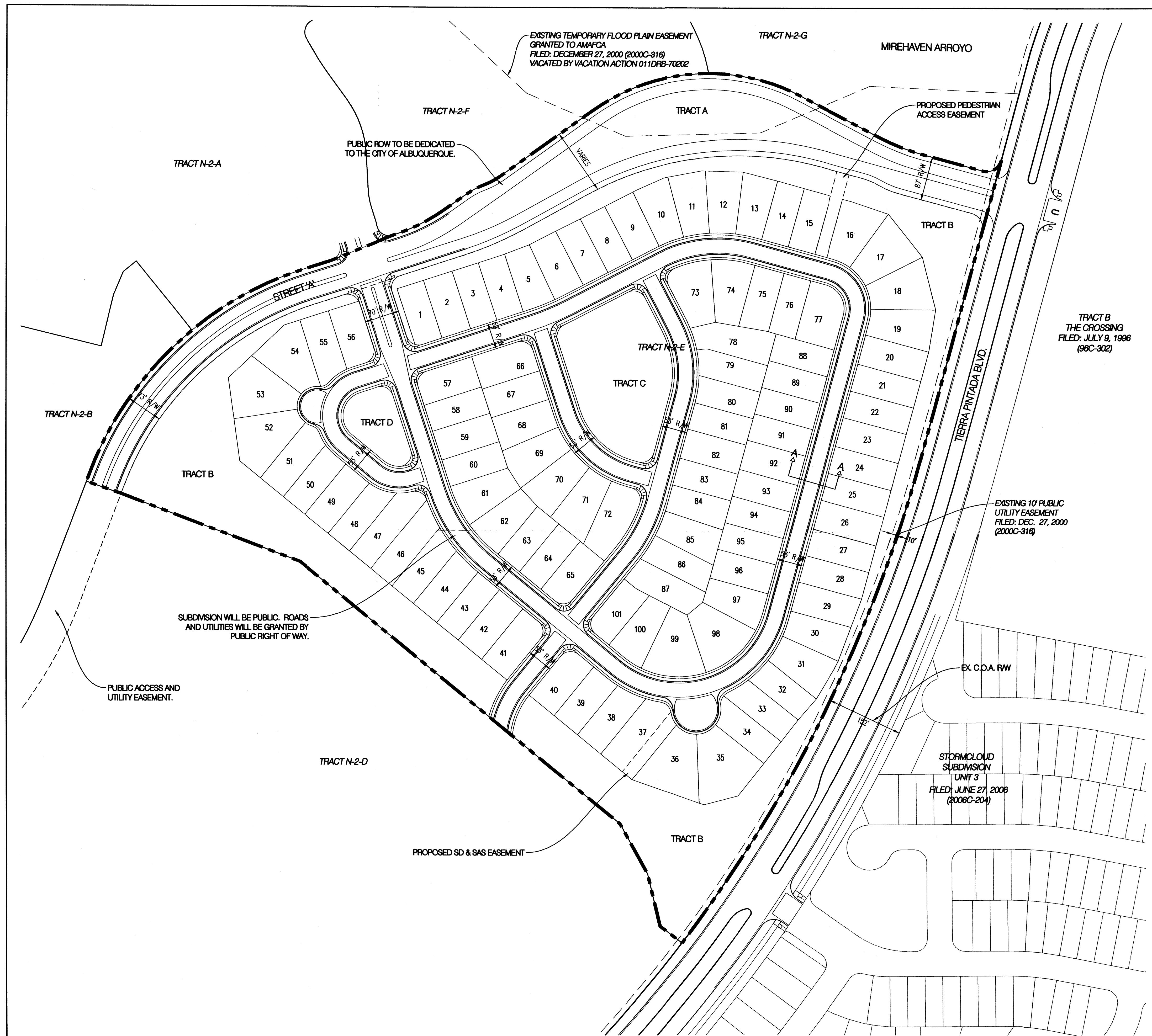
CITY PROJECT NO. \_\_\_\_\_ ZONE MAP NO. \_\_\_\_\_ SHEET **6** OF **6**

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	USC&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	DATE
		GEOGRAPHIC POSITION (NAD 83)	STAMPED BY		
		N.M. STATE PLANE COORDINATES	INSPECTOR'S	DATE	DATE
		(CENTRAL ZONE)	FIELD	DATE	DATE
		N=1487364.063 E=1491190.819	VERIFICATION BY	DATE	DATE
		GROUND TO GRID = 0.999675005	CONTRACTED BY	DATE	DATE
		DELTA ALPHA = -001712.26"			
		NAVD 1988 ELEVATION = 5319.688			

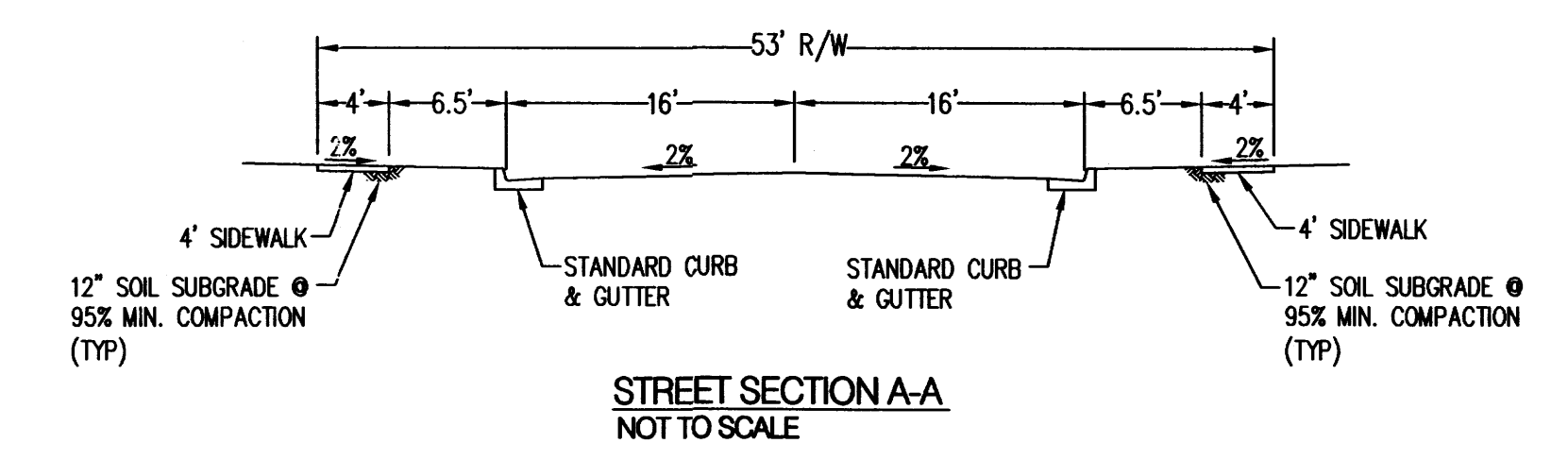


NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	
DESIGNED BY YPM	DATE: 10/2013		
DRAWN BY ARR	DATE: 10/2013		
CHECKED BY YPM	DATE: 10/2013		

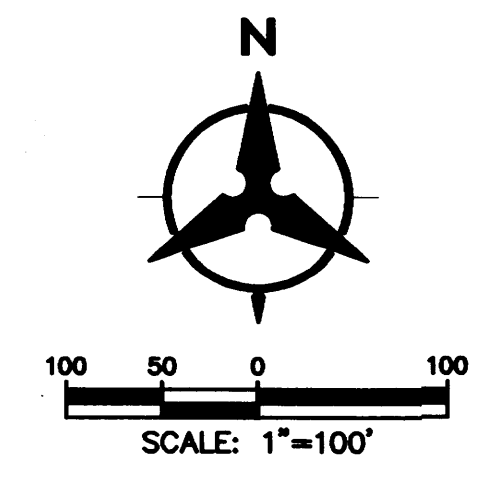
# SKETCH PLAT TRACT N-2-E @ WATERSHED

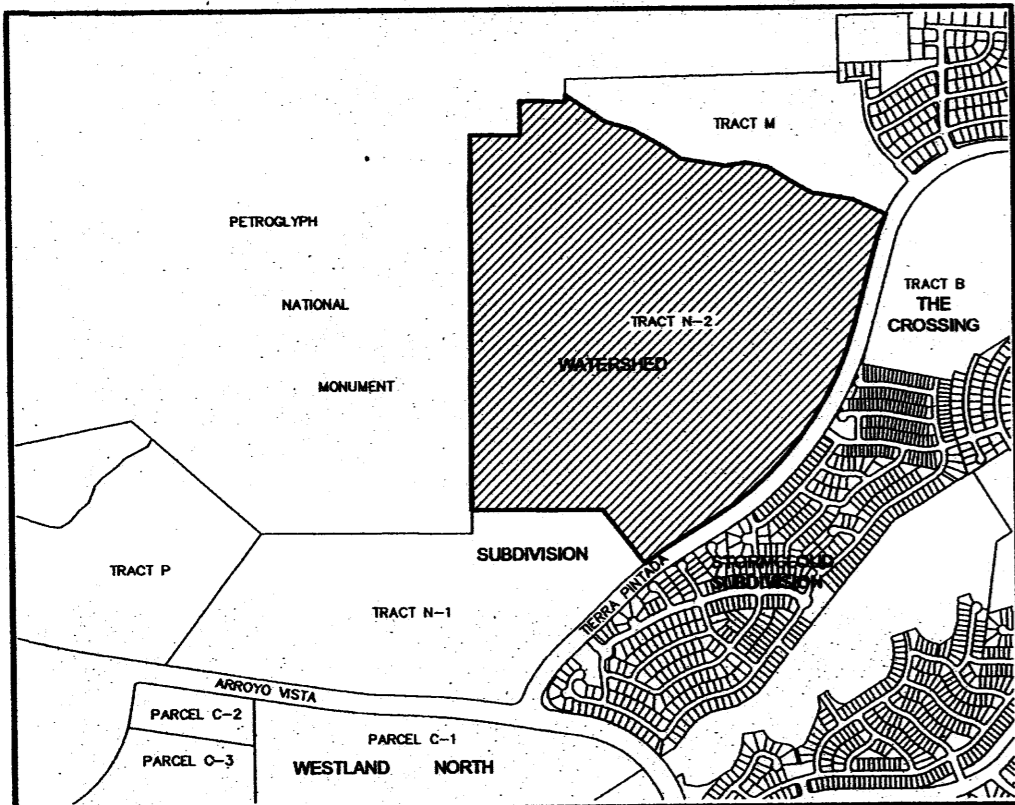


LOCATION MAP  
SCALE: 1"=3000'



EXISTING ZONING: SU-2 FOR PDA  
 PROPOSED DEVELOPMENT: RESIDENTIAL SUBDIVISION  
 PROPOSED ACREAGE: 37.46 AC.  
 MINIMUM LOT DIMENSION: 52'x120'  
 PROPOSED NUMBER OF LOTS: 101 RESIDENTIAL LOTS  
 4 TRACTS  
 105 TOTAL





LOCATION MAP  
ZONE ATLAS INDEX MAP NO. H-8, H-9 & J-7  
NOT TO SCALE

**DESCRIPTION**

A certain tract of land located within the Town of Atrisco Grant, projected Sections 8, 9, & 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract "N-2", Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58.

This tract contains 237.7947 acres, more or less.



**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat.

WESTERN ALBUQUERQUE LAND HOLDINGS LLC,  
a Delaware limited liability company

BY: BARCLAYS CAPITAL REAL ESTATE INC.  
as Servicing Member

By: *Mark Wuest*  
Mark Wuest  
Vice President, Barclays Capital Real Estate Inc.

State of New York )  
                          SS  
County of New York)

This instrument was acknowledged before me on 1 day of August, 2013,  
by Mark Wuest, Vice President of Barclays Capital Real Estate Inc., servicing member of  
Western Albuquerque Land Holdings LLC, a Delaware limited liability company.

My Commission Expires: 4/2/2016  
Notary Public

KRISTINA WALL  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01WA6258817  
Qualified in New York County  
My Commission Expires April 02, 2016

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E, N-2-F & N-2-G  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:  
*Shirley P. Acosta* 8-2-13  
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

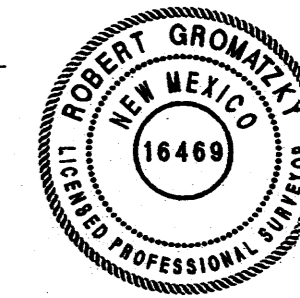
BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469

Date: July 31, 2013



**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. H-8, H-9 & J-7.
3. Gross Subdivision Acreage: 237.7947 acres.
4. Total Number of Tracts Created: 7 Tracts.
5. No Streets were created.
6. Date of Survey: July, 2013.
7. Plat is located within the Town of Atrisco Grant, within projected Sections 8, 9 & 17, T10N, R2E, NMPM.

**PURPOSE OF PLAT**

The Purpose of this plat is to subdivide Tract N-2, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58, into seven (7) tracts and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N03°09'40"E
2. Distances are ground distances.
3. Record Bearings and distances are the same as shown on this plat and the same as shown on the Plat of Tracts N-1 & N-2, Watershed Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58.
4. Record Bearings and distances of Dependent Resurvey and Metes and Bounds Survey for the Petroglyph National Monument, United States Department of the Interior, Bureau of Land Management, Santa Fe, New Mexico dated June 21, 1991 are shown in parenthesis.
5. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1519838-AL04, Effective Date: March 8, 2011.
6. Portions of Tract N-2 are located in Flood Zones "AC" and "X", per FIRM Map Number 35001C0307H, Revised August 16, 2012 and FIRM Map Number 35001C0326G, Revised August 16, 2012.
7. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".
8. Interior tract corners shall be monumented with a 5/8" rebar and plastic cap stamped "GROMATZKY PS 16469".

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

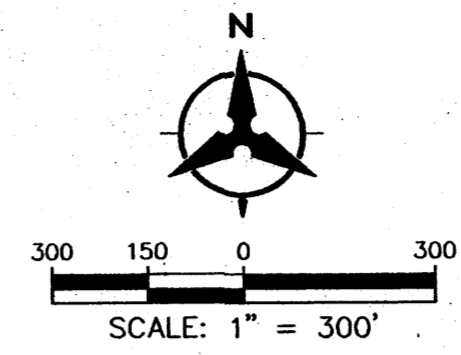
Future subdivision of Tracts shown on this Plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E, N-2-F & N-2-G  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**



**LEGEND**

- ⊙ CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ⊗ FND-NO.5 REBAR NO CAP
- ⊙ FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16469"
- ⊙ FND-BRASS CAP AS NOTED
- BOUNDARY LINE
- LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE

Tangent Data

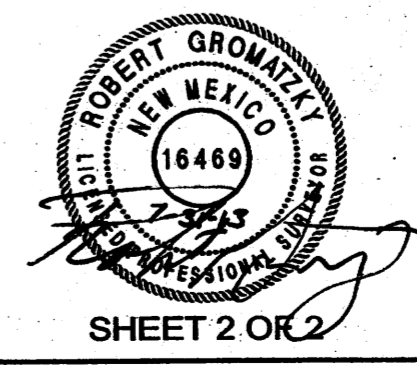
ID	BEARING	DISTANCE
T1	S55°05'53"E	408.99'
T2	S73°12'01"E	255.39'
T3	S60°03'22"E	339.94'
T4	S52°00'10"E	156.60'
T5	S78°54'17"E	393.07'
T6	N80°08'14"E	175.33'
T7	S78°18'21"E	201.85'
T8	S57°52'44"E	443.83'
T9	S80°39'34"E	361.04'
T10	S64°38'27"E	319.71'
T11	S58°31'45"W	339.76'
T12	S89°38'48"E	435.62'
T13	N00°16'32"E	300.02'
T14	S89°43'28"E	400.09'
T15	N00°17'20"E	56.11'
T16	S00°16'32"W	111.72'
T17	N21°51'08"W	171.22'
T18	S13°38'34"W	153.60'
T19	S55°19'02"W	103.95'
T20	N57°16'38"W	55.50'
T21	S55°19'02"W	184.36'
T22	N38°12'11"W	63.99'
T23	N03°07'55"W	67.17'
T24	N17°57'34"W	39.10'
T25	S67°44'25"W	133.42'
T26	S72°02'26"W	57.69'
T27	N39°06'33"W	176.28'
T28	S50°16'30"W	33.41'
T29	S22°57'21"W	49.83'
T30	S13°38'44"W	104.00'
T31	N76°21'16"W	178.00'
T32	S13°38'44"W	45.07'
T33	N83°32'17"W	67.17'
T34	S85°37'22"W	67.32'
T35	S77°25'21"W	64.68'
T36	N64°41'53"W	147.78'
T37	N69°28'52"W	78.76'
T38	S20°49'01"W	257.31'
T39	N68°20'32"W	132.47'
T40	N74°04'48"W	65.49'
T41	N82°01'48"W	65.57'
T42	N87°47'56"W	65.57'
T43	S86°42'59"W	71.57'
T44	S83°18'14"W	51.79'
T45	S64°12'51"W	46.91'
T46	S20°49'01"W	238.55'
T47	N70°45'54"W	75.52'
T48	N28°47'32"W	113.85'
T49	N13°29'28"W	106.12'
T50	N52°48'51"W	54.87'
T51	S20°49'01"W	18.76'
T52	S54°42'11"W	56.01'
T53	N62°39'25"W	179.55'
T54	N74°49'16"W	124.85'
T55	N72°02'26"E	59.74'
T56	N71°05'08"E	120.02'
T57	N72°02'26"E	140.04'
T58	N60°51'58"E	143.44'
T59	S74°49'16"E	84.40'
T60	S74°49'16"E	150.91'

Curve Data

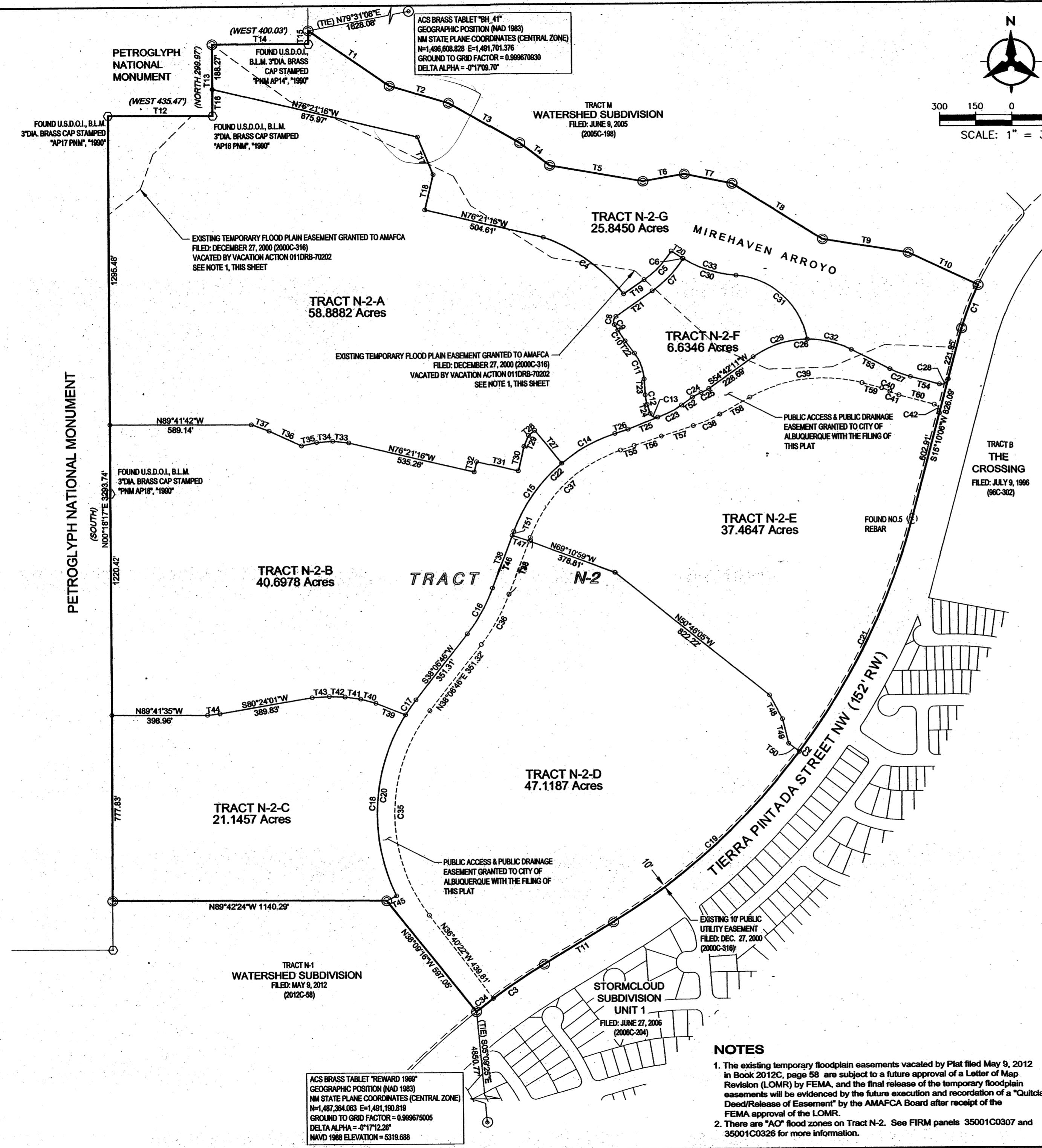
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	08°51'21"	96.95'	193.52'	1252.00'	193.32'	S21°24'31"W
C2	43°21'03"	1131.94'	2154.84'	2848.00'	2103.81'	S36°51'23"W
C3	06°41'04"	173.09'	345.79'	2964.00'	345.60'	S55°11'13"W
C4	31°37'05"	212.60'	414.35'	750.85'	408.11'	S54°22'18"E
C5	22°29'23"	83.70'	165.25'	421.00'	164.19'	N44°04'20"E
C6	00°17'10"	1.25'	2.50'	500.00'	2.50'	S58°43'16"E
C7	22°30'38"	95.32'	188.19'	479.00'	186.98'	S44°03'44"W
C8	87°14'38"	23.83'	38.07'	25.00'	34.49'	S11°41'43"W
C9	02°29'38"	14.03'	28.05'	644.50'	28.05'	S30°40'47"E
C10	06°46'13"	27.06'	54.06'	457.50'	54.03'	S32°49'04"E
C11	33°04'15"	59.97'	116.59'	202.00'	114.98'	S19°40'03"E
C12	14°49'39"	20.49'	40.78'	157.50'	40.65'	S10°32'45"E
C13	89°58'54"	24.99'	39.28'	25.00'	35.35'	S62°57'01"E
C14	21°33'30"	129.37'	258.75'	679.50'	254.17'	S61°15'41"W
C15	29°39'55"	179.95'	359.90'	679.50'	347.90'	S35°38'59"W
C16	17°17'45"	109.58'	217.50'	720.50'	216.67'	S29°27'54"W
C17	05°37'21"	38.28'	76.49'	779.50'	76.48'	S35°18'06"W
C18	58°16'35"	434.54'	792.84'	779.50'	759.10'	S03°21'08"W
C19	21°20'28"	538.61'	1060.78'	2848.00'	1054.68'	S47°51'22"W
C20	63°53'55"	486.13'	869.33'	779.50'	824.98'	N06°09'48"E
C21	22°01'47"	554.36'	1095.03'	2848.00'	1088.30'	S26°10'15"W
C22	51°13'24"	325.73'	607.49'	679.50'	587.46'	N46°25'43"E
C23	17°21'21"	56.24'	111.62'	368.50'	111.20'	N63°22'51"E
C24	14°50'06"	20.90'	41.56'	160.50'	41.44'	N62°07'14"E
C25	14°50'06"	18.16'	36.12'	139.50'	36.02'	N62°07'14"E
C26	62°38'25"	241.27'	433.48'	396.50'	412.22'	N86°01'23"E
C27	12°09'51"	45.66'	90.97'	428.50'	90.80'	S68°44'20"E
C28	90°00'38"	30.01'	47.13'	30.00'	42.43'	N60°10'25"E
C29	35°11'22"	125.74'	243.52'	396.50'	239.71'	S72°17'52"W
C30	26°40'46"	118.56'	232.82'	500.00'	230.73'	S72°12'14"E
C31	75°45'59"	252.85'	429.77'	325.00'	399.14'	S47°39'38"E
C32	27°27'02"	96.84'	189.97'	396.50'	188.15'	N76°22'56"W
C33	26°57'56"	119.88'	235.32'	500.00'	233.15'	N72°03'39"W
C34	01°43'56"	44.81'	89.61'	2964.00'	89.61'	N52°42'39"E
C35	74°47'08"	540.02'	922.16'	706.50'	858.08'	N00°43'12"E
C36	17°17'45"	120.68'	239.53'	793.50'	238.62'	N29°27'54"E
C37	51°13'24"	290.74'	542.22'	606.50'	524.34'	N46°25'43"E
C38	11°10'27"	60.80'	121.21'	621.50'	121.02'	N66°27'12"E
C39	44°18'46"	255.93'	488.08'	628.50'	474.06'	N83°01'21"E
C40	14°50'06"	18.16'	36.12'	139.50'	36.02'	S67°24'13"E
C41	14°50'06"	20.90'	41.56'	160.50'	41.44'	S67°24'13"E
C42	89°59'22"	29.99'	47.12'	30.00'	42.42'	S29°49'35"E

**NOTES**

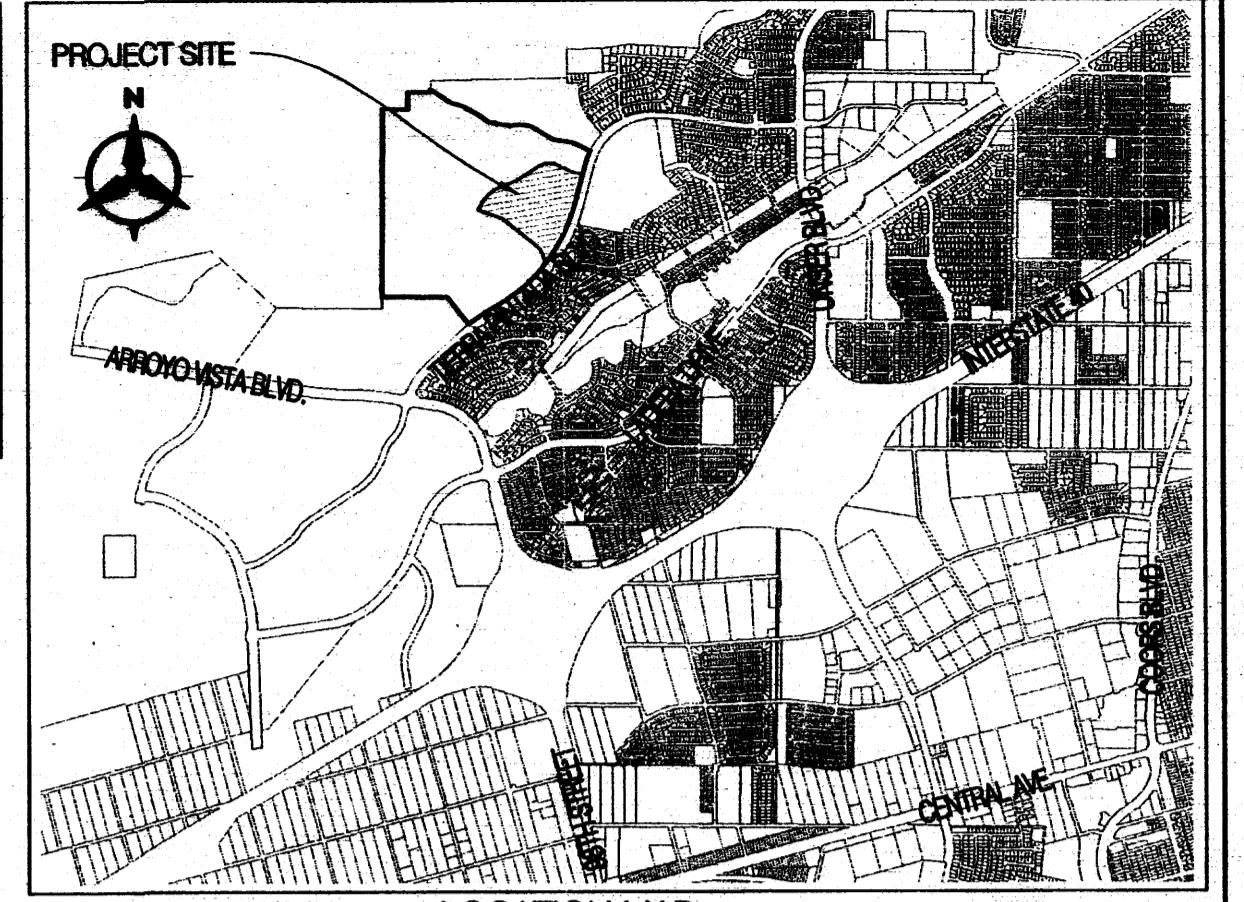
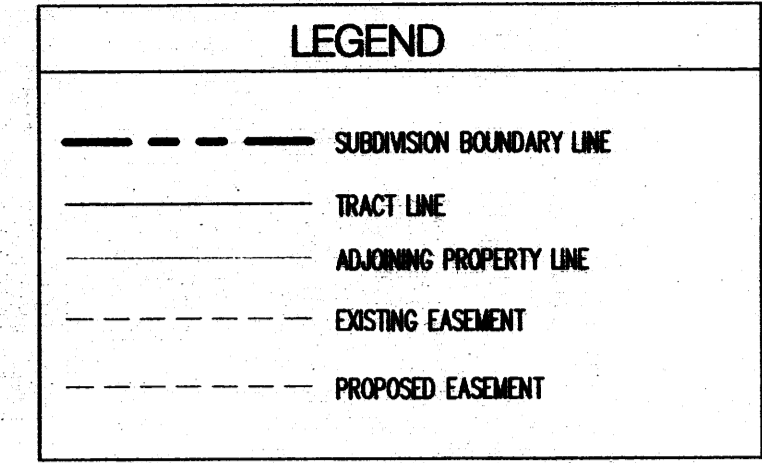
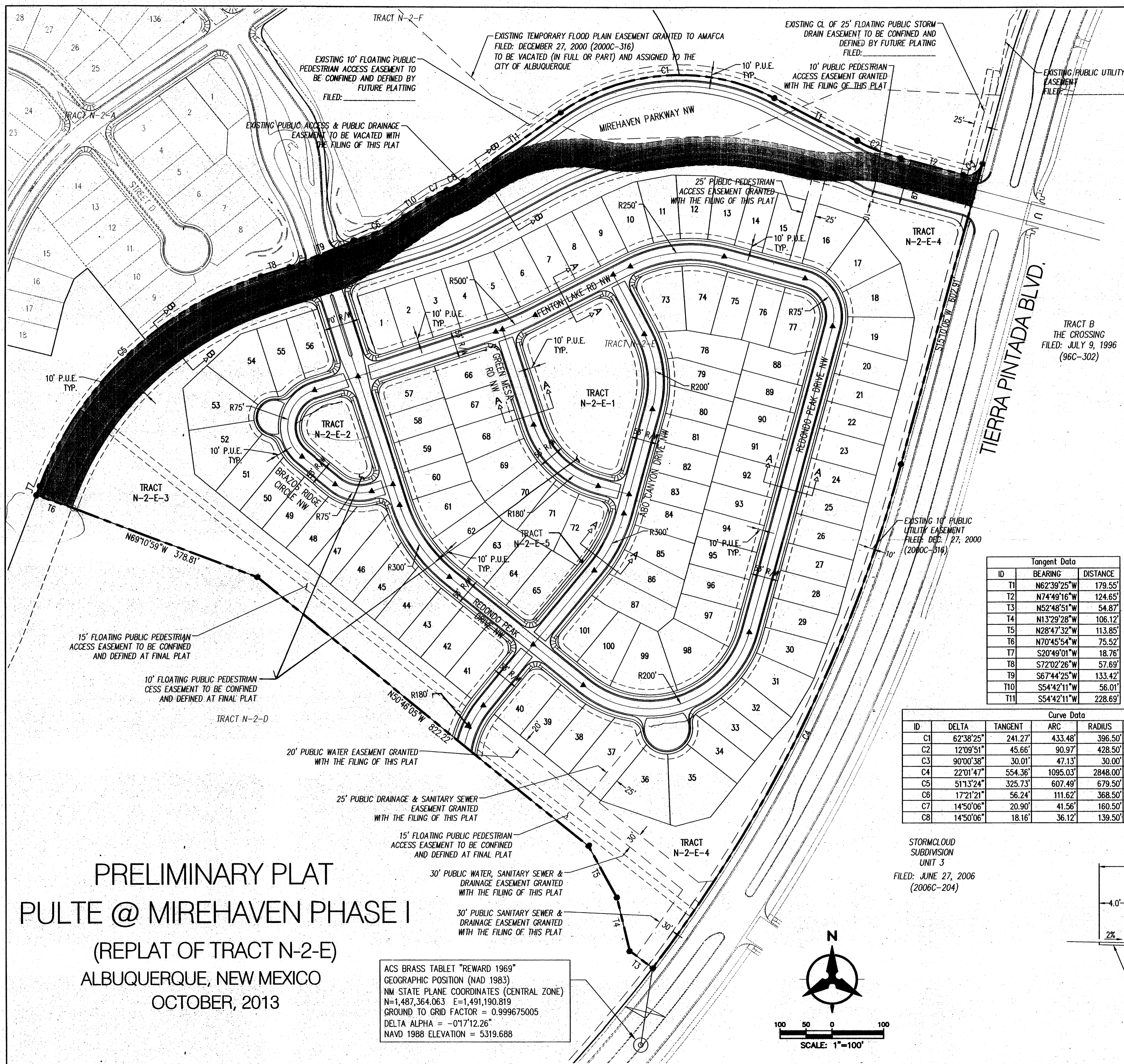
- The existing temporary floodplain easements vacated by Plat filed May 9, 2012 in Book 2012C, page 58 are subject to a future approval of a Letter of Map Revision (LOMR) by FEMA, and the final release of the temporary floodplain easements will be evidenced by the future execution and recordation of a "Quitclaim Deed/Release of Easement" by the AMAFCA Board after receipt of the FEMA approval of the LOMR.
- There are "AO" flood zones on Tract N-2. See FIRM panels 35001C0307 and 35001C0326 for more information.



**Bohannon & Huston**  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO



ACS BRASS TABLE "REWARD 1969"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,487,364.063 E=1,491,190.819  
GROUND TO GRID FACTOR = 0.999675005  
DELTA ALPHA = -0°17'12.26"  
NAVD 1988 ELEVATION = 5319.688



LEGAL DESCRIPTION:  
 A REPLAT OF:  
 TRACT N-2-E, WATERSHED SUBDIVISION  
 FILED:

1. EXISTING ZONING FOR : SU-2 FOR PDA  
 PROPOSED ZONING: SU-2 FOR PDA  
 PROPOSED RESIDENTIAL DEVELOPMENT:  
 SINGLE FAMILY DETACHED RESIDENTIAL
2. TOTAL ACREAGE:  
 EXISTING TRACT N-2-E = 37.4647 ACRES  
 ACREAGE:  
 TRACT N-2-E-1 = 1.23 ACRES  
 TRACT N-2-E-2 = 0.32 ACRES  
 TRACT N-2-E-3 = 2.62 ACRES  
 TRACT N-2-E-4 = 4.13 ACRES  
 TRACT N-2-E-5 = 0.03 ACRES  
 TOTAL NET ACREAGE 37.4647 ACRES  
 NUMBER OF LOTS: 101  
 PROPOSED DENSITY: 2.70 D.U./ACRE
3. MINIMUM LOT DIMENSIONS 55' x 120'  
 MINIMUM LOT AREA 6600 S.F.
4. ALL STREETS, UTILITIES AND DRAINAGE IMPROVEMENTS  
 ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE  
 TO THE CITY OF ALBUQUERQUE.
5. LOT SETBACKS SHALL CONFORM TO SU-2 FOR PDA ZONE  
 REGULATIONS.

- SURVEY NOTES:
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS  
 SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR  
 STAMPED "GROMATZKY, PS 16469".
  2. ALL STREET CENTERLINE MONUMENTATION SHALL BE  
 INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE  
 POINTS AND STREET INTERSECTIONS AND SHOWN  
 THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM  
 CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE  
 MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
  3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW  
 MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  4. BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE  
 GRID BEARINGS.
  5. DISTANCES SHALL BE GROUND DISTANCES.
  6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE  
 POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL  
 OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE  
 MONUMENTATION.

OWNER:  
 WESTERN ALBUQUERQUE LAND HOLDINGS LLC  
 A DELAWARE LIMITED LIABILITY COMPANY

BARCLAYS CAPITAL REAL ESTATE INC.  
 AS SERVING MANAGER MEMBER  
 MARK WUEST  
 VICE PRESIDENT, BARCLAYS CAPITAL REAL ESTATE INC.

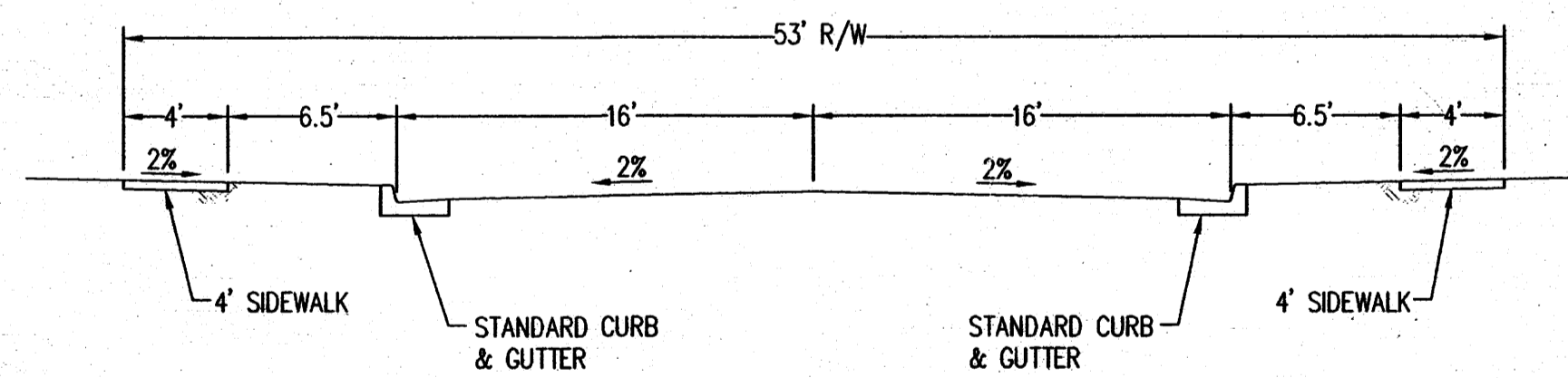
APPROVED FOR MONUMENTATION AND STREET NAMES  
 Dale P. Acosta 10-10-13  
 CITY SURVEYOR DATE

Tangent Data

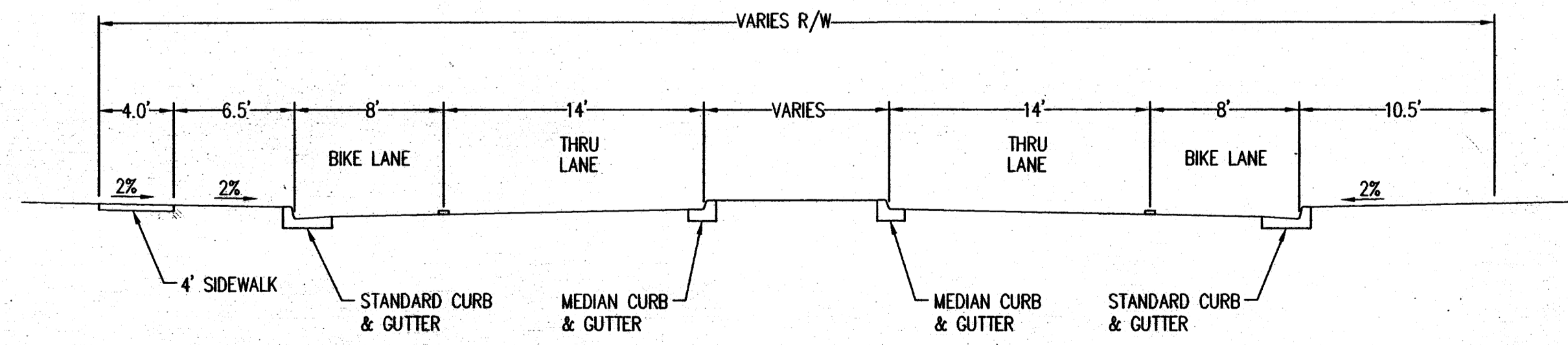
ID	BEARING	DISTANCE
T1	N62°39'25"W	179.55'
T2	N74°49'16"W	124.65'
T3	N52°48'51"W	54.87'
T4	N13°29'28"W	106.12'
T5	N28°47'32"W	113.85'
T6	N70°45'54"W	75.52'
T7	S20°49'01"W	18.76'
T8	S72°02'26"W	57.69'
T9	S67°44'25"W	133.42'
T10	S54°42'11"W	56.01'
T11	S54°42'11"W	228.69'

Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	62°38'25"	241.27	433.48'	396.50'	412.22'	N86°01'23"E
C2	12°09'51"	45.66'	90.97'	428.50'	90.80'	S68°44'20"E
C3	90°00'38"	30.01'	47.13'	30.00'	42.43'	N60°10'25"W
C4	22°01'47"	554.36'	1095.03'	2848.00'	1088.30'	S26°10'15"W
C5	51°13'24"	325.73'	607.49'	679.50'	587.46'	N46°25'43"E
C6	17°21'21"	56.24'	111.62'	368.50'	111.20'	N63°22'51"E
C7	14°50'06"	20.90'	41.56'	160.50'	41.44'	N62°07'14"E
C8	14°50'06"	18.16'	36.12'	139.50'	36.02'	N62°07'14"E



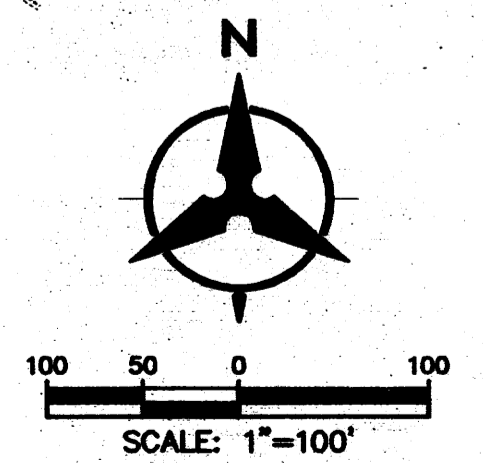
STREET SECTION A-A  
 NOT TO SCALE

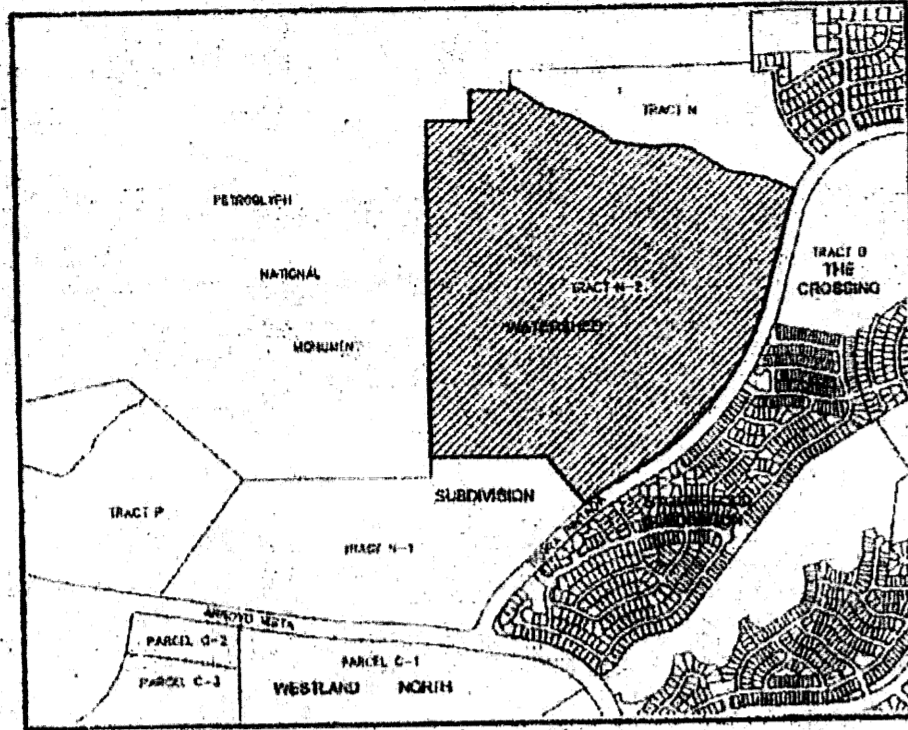


STREET SECTION B-B  
 NOT TO SCALE

**PRELIMINARY PLAT**  
**PULTE @ MIREHAVEN PHASE I**  
 (REPLAT OF TRACT N-2-E)  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER, 2013

ACS BRASS TABLET "REWARD 1969"  
 GEOGRAPHIC POSITION (NAD 1983)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N=1,487,364.063 E=1,491,190.819  
 GROUND TO GRID FACTOR = 0.999675005  
 DELTA ALPHA = -0°17'12.26"  
 NAVD 1988 ELEVATION = 5319.688





**LOCATION MAP**  
 ZONE ATLAS INDEX MAP NO. H-8, H-9 & J-7  
 NOT TO SCALE

**DESCRIPTION**

A certain tract of land located within the Town of Alrisco Grant, projected Sections 8, 9, & 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract "N-2", Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 68.

This tract contains 237.7947 acres, more or less.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat.

WESTERN ALBUQUERQUE LAND HOLDINGS LLC,  
 a Delaware limited liability company

BY: BARCLAYS CAPITAL REAL ESTATE INC.  
 as Service Member

By: *[Signature]*  
 Mark Wuest  
 Vice President, Barclays Capital Real Estate Inc

State of New York )  
 ) SS  
 County of New York

This instrument was acknowledged before me on 1 day of August, 2013,  
 by Mark Wuest, Vice President of Barclays Capital Real Estate Inc., servicing member of  
 Western Albuquerque Land Holdings LLC, a Delaware limited liability company,

My Commission Expires: August 22, 2016  
*[Signature]*  
 Notary Public

KRISTINA WALL  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01WA258317  
 Qualified in New York County  
 My Commission Expires April 02, 2016

**PLAT OF  
 TRACTS N-2-A, N-2-B, N-2-C  
 N-2-D, N-2-E & N-2-F  
 WATERSHED SUBDIVISION  
 (A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JULY, 2013**

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

- UTILITY APPROVALS:
- [Signature]* WEST TELECOMMUNICATIONS DATE: 8/23/13
  - COMCAST CABLE DATE \_\_\_\_\_
  - PNM ELECTRIC SERVICES DATE \_\_\_\_\_
  - NEW MEXICO GAS COMPANY DATE \_\_\_\_\_

CITY APPROVALS:  
*[Signature]* CITY SURVEYOR: 8-2-13 DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT DATE \_\_\_\_\_

A.M.A.F.C.A. DATE \_\_\_\_\_

CITY ENGINEER DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*[Signature]*  
 Robert Gromatzky  
 New Mexico Professional Surveyor 16469  
 Date: July 31, 2013



**SUBDIVISION DATA**

- 1. DRB No.
- 2. Zone Atlas Index Nos. H-8, H-9 & J-7.
- 3. Gross Subdivision Acres: 237.7947 acres.
- 4. Total Number of Tracts Created: 6 Tracts.
- 5. No Streets were created.
- 6. Date of Survey: July, 2013.
- 7. Plat is located within the Town of Alrisco Grant, within projected Sections 8, 9 & 17, T10N, R2E, N34M.

**PURPOSE OF PLAT**

The Purpose of this plat is to subdivide Tract N-2, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 68, into six (6) tracts and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working areas space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**  
 In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**NOTES**

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Base of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N03°00'40"E
- 2. Distances are ground distances.
- 3. Record Bearings and distances are the same as shown on this plat and the same as shown on the Plat of Tracts N-1 & N-2, Watershed Subdivision. Filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 68.
- 4. Record Bearings and distances of Dependent Resurvey and Motes and Bounds Survey for the Petroglyph National Monument, United States Department of the Interior, Bureau of Land Management, Santa Fe, New Mexico dated June 21, 1991 are shown in parenthesis.
- 5. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1618636-ALD4, Expires Date March 9, 2011.
- 6. Portions of Tract N-2 are located in Flood Zones "AO" and "X", per FIRM Map Number 35001C0307H, Revised August 16, 2012 and FIRM Map Number 35001C0328G, Revised August 16, 2012.
- 7. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat."
- 8. Interior tract corners shall be monumented with a 5/8" rebar and plastic cap stamped "GROMATZKY PB 16469".

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Future Subdivision of Tracts shown on this Plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

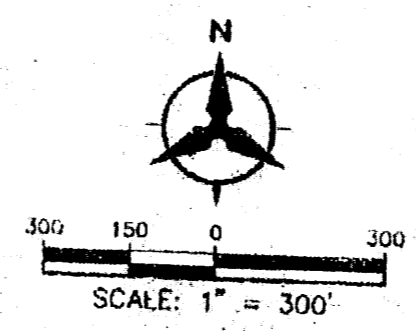
The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranty as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

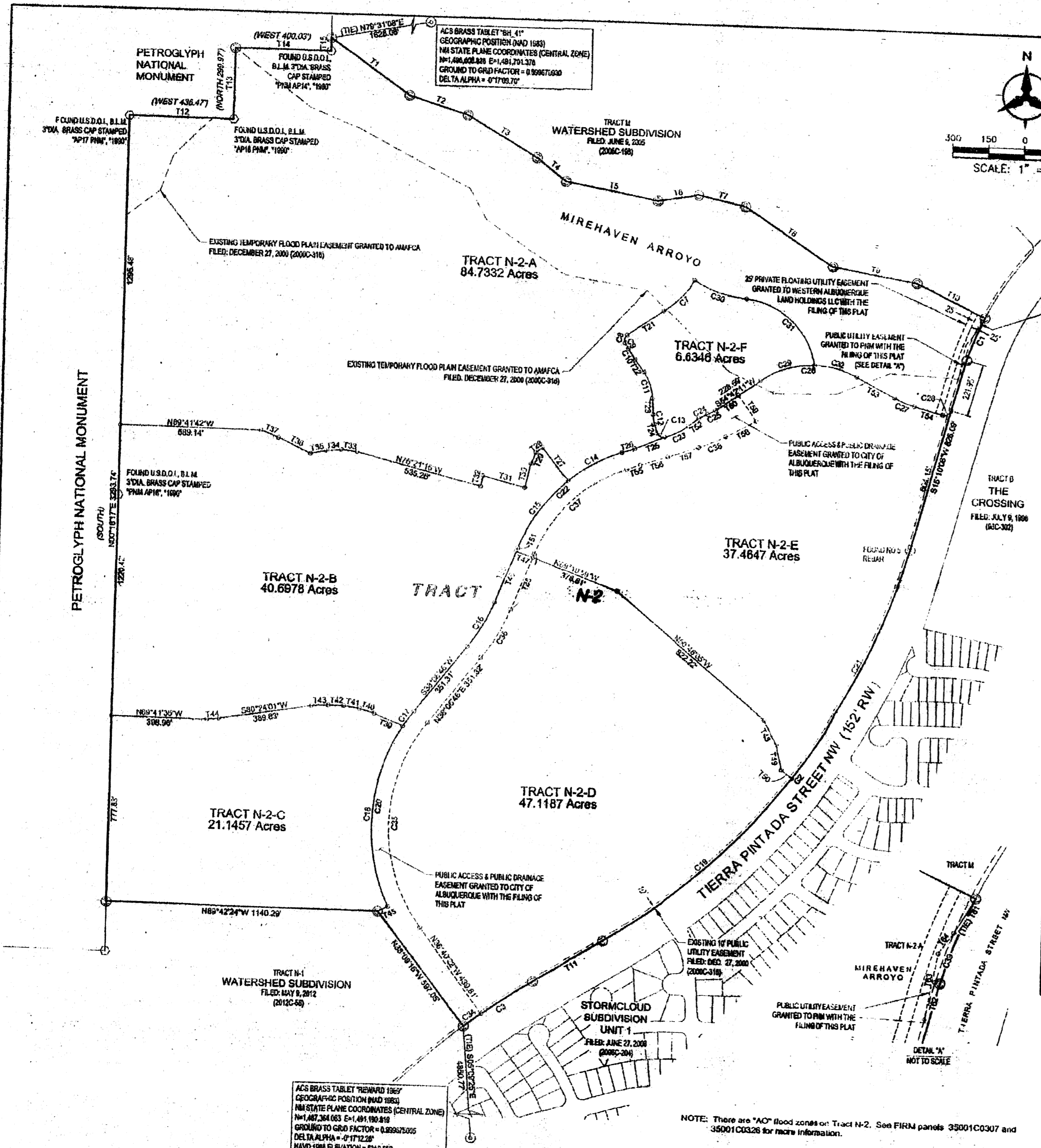
At such time as all such conditions have been satisfactorily met, the City Engineer shall approve recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

P:\2013\3375\SUBD\CA\ORAPP\CA\20130325\qualkin.dwg

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**



*[Handwritten signature]*



**LEGEND**

- CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16460"
- FND-NO. 8 REBAR NO CAP
- FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16488"
- FND-BRASS CAP AS NOTED
- BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE

Tangent Data

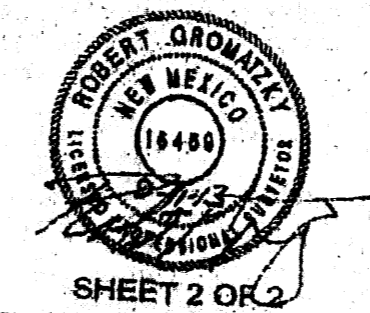
ID	BEARING	DISTANCE
T1	S58°06'00"E	406.99'
T2	S73°12'01"E	266.59'
T3	S00°03'22"E	636.04'
T4	S62°00'10"E	156.00'
T5	S78°34'17"E	393.07'
T6	N00°06'14"E	176.56'
T7	S78°18'21"E	201.69'
T8	S57°52'41"E	443.67'
T9	S60°28'34"E	361.04'
T10	S64°38'27"E	319.71'
T11	S58°31'49"W	336.76'
T12	S69°38'46"E	436.82'
T13	N00°16'32"E	300.02'
T14	S89°43'28"E	400.06'
T15	N00°17'20"E	66.11'
T21	S65°19'02"W	184.38'
T22	N36°12'11"W	63.09'
T23	N03°07'55"W	67.17'
T24	N17°57'34"W	36.10'
T25	S67°44'25"W	133.42'
T26	S72°02'28"W	67.89'
T27	N59°06'33"W	176.29'
T28	S60°16'30"W	33.41'
T29	S22°57'21"W	48.89'
T30	S18°38'44"W	104.00'
T31	N78°21'16"W	178.00'
T32	S13°56'44"W	46.07'
T33	N83°32'17"W	67.17'
T34	S85°17'22"W	67.32'
T35	S77°26'21"W	147.78'
T36	N64°41'53"W	64.68'
T37	N69°28'52"W	78.78'
T38	S20°49'01"W	287.31'
T39	N68°20'32"W	132.47'
T40	N74°04'48"W	66.49'
T41	N82°01'48"W	66.67'
T42	N67°47'36"W	66.67'
T43	S86°42'08"W	71.57'
T44	S83°18'14"W	61.79'
T45	S64°12'51"W	46.91'
T46	S20°49'01"W	238.58'
T47	N70°48'54"W	75.52'
T48	N28°47'32"W	113.85'
T49	N18°28'28"W	104.12'
T50	N62°48'51"W	64.87'
T51	S20°49'01"W	18.78'
T52	S64°42'11"W	66.01'
T53	N62°38'23"W	178.66'
T54	N74°49'16"W	124.66'
T55	N72°02'26"E	66.74'
T56	N71°08'06"E	120.02'
T57	N72°02'26"E	140.04'
T58	N60°11'08"E	143.44'
T59	N36°17'46"W	128.04'
T60	S44°42'11"W	117.39'
T61	N30°57'18"E	85.05'
T62	S16°10'44"W	81.70'
T63	N10°47'14"E	141.70'
T64	N35°46'48"E	64.33'

Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	08°01'21"	96.95	193.52	1262.00'	193.32	S21°24'31"W
C2	43°21'03"	1131.84	2184.84	2848.00'	2103.01	S36°51'23"W
C3	06°41'04"	173.05	346.10	2964.00'	345.80	S55°11'13"W
C7	22°30'36"	95.32	189.19	479.00'	188.96	S44°03'44"W
C8	87°14'38"	23.85	35.07	26.00'	34.48	S11°41'43"W
C9	02°29'38"	14.03	28.06	644.50'	28.05	S30°40'47"E
C10	06°46'13"	27.06	54.09	487.60'	64.03	S32°48'04"E
C11	33°04'18"	66.97	118.99	202.00'	114.98	S18°42'03"E
C12	14°48'38"	29.49	40.76	167.60'	40.66	S10°32'48"E
C13	89°55'54"	24.89	39.29	28.00'	35.35	S62°57'01"E
C14	21°33'30"	129.37	258.77	679.50'	254.17	S61°18'41"W
C15	29°58'58"	179.95	359.82	679.50'	347.65	S38°38'58"W
C16	17°17'45"	100.58	217.50	729.50'	216.87	S28°27'34"W
C17	08°37'21"	96.29	76.49	729.50'	76.48	S33°18'09"W
C18	86°18'36"	434.54	792.84	776.50'	798.10	S03°21'08"W
C19	21°29'28"	636.07	1090.79	2848.00'	1054.89	S47°19'22"W
C20	63°53'58"	466.13	899.33	1770.50'	824.89	N06°09'48"E
C21	22°01'47"	564.20	1098.03	2848.00'	1088.30	S26°10'16"W
C22	81°19'24"	426.73	627.49	679.50'	687.49	N46°28'43"E
C23	17°21'21"	66.24	111.62	388.60'	111.20	N68°22'51"E
C24	14°50'08"	29.90	41.86	160.80'	41.44	N82°07'14"E
C25	14°50'08"	16.10	39.12	139.60'	36.02	N82°07'14"E
C26	82°38'28"	241.27	483.48	396.60'	412.22	N66°01'23"E
C27	12°38'51"	45.98	96.97	426.60'	96.80	S66°44'20"E
C28	90°00'38"	30.61	47.18	30.00'	42.43	N60°10'25"E
C29	38°11'22"	128.74	243.98	396.60'	238.71	S72°17'52"W
C30	28°49'56"	118.66	232.82	600.00'	230.73	S72°12'14"E
C31	78°48'50"	282.89	428.77	328.00'	396.14	S47°38'28"E
C32	27°27'32"	96.84	193.67	396.00'	198.19	N78°22'58"W
C34	01°42'59"	44.81	89.61	2994.00'	89.31	N52°42'36"E
C36	74°47'06"	640.02	922.19	708.80'	658.08	N60°48'12"E
C36	17°17'45"	120.88	239.83	798.80'	238.82	N28°27'54"E
C37	61°13'24"	290.74	642.22	606.60'	624.34	N46°28'43"E
C38	11°10'27"	96.80	121.21	621.80'	121.02	N68°27'12"E
C39	03°02'17"	66.82	110.97	1262.00'	110.83	S10°30'18"W

ACS BRASS TABLET "REWARD 1967"  
GEOGRAPHIC POSITION (NAD 1983)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,487,264.063 E=1,481,190.819  
GROUND TO GRID FACTOR = 0.999675005  
DELTA ALPHA = -0°17'12.28"  
NAVD 1986 ELEVATION = 5119.883

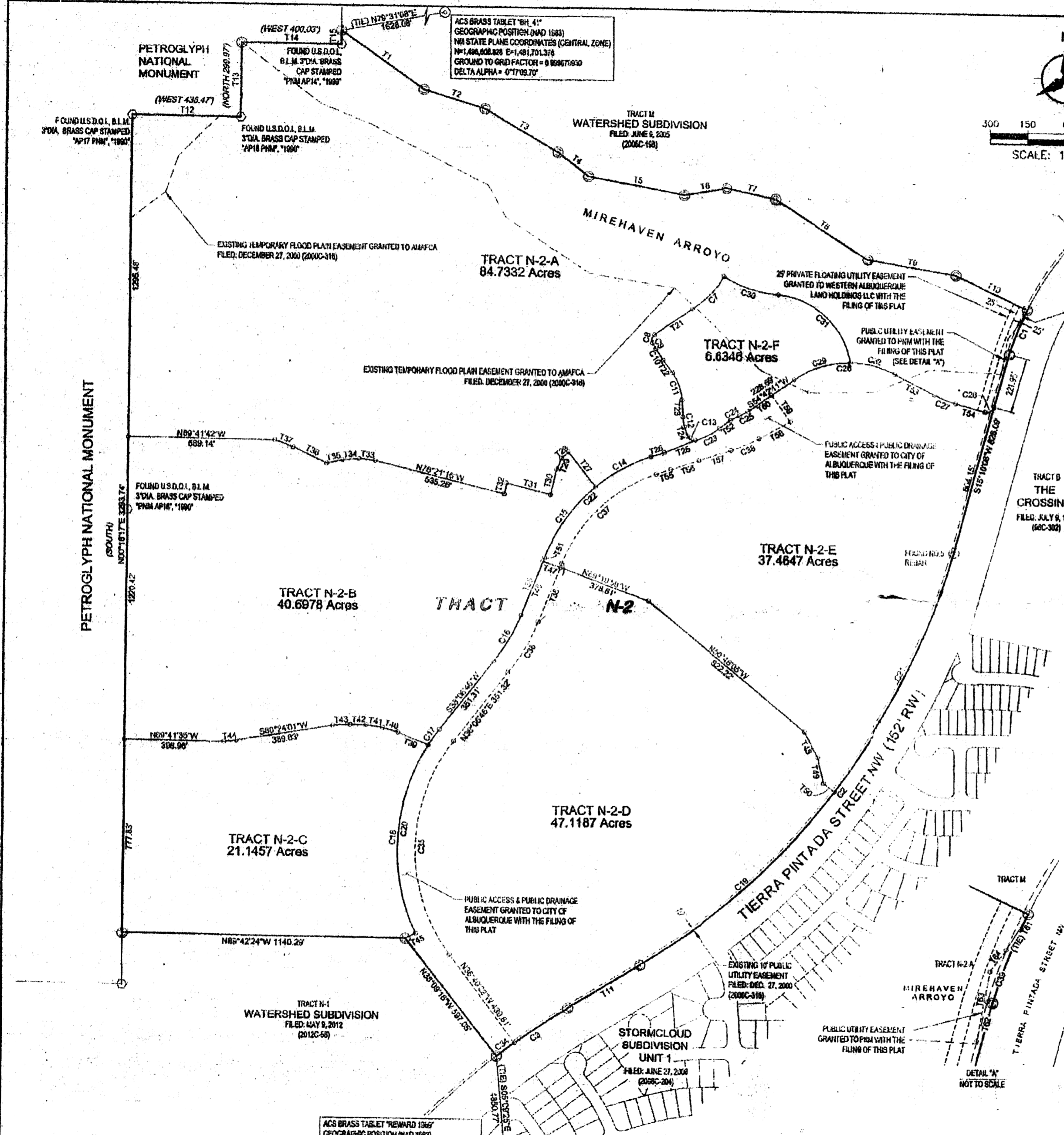
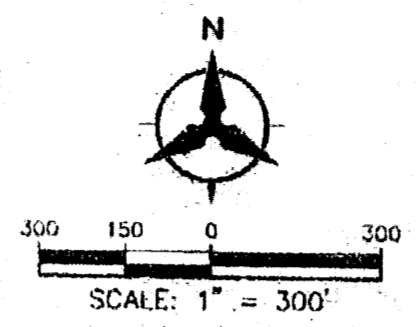
NOTE: There are "AO" flood zones on Tract N-2. See FIRN panels 35001C0307 and 35001C0326 for more information.



**Bohannon & Huston**  
7600 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO



**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**



**LEGEND**

- CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16489"
- SET #6 REBAR NO CAP
- FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16489"
- FND BRASS CAP AS NOTED
- BOUNDARY LINE
- EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE

Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	89°12'27"	86.50	130.82	1262.00	183.32	S21°24'31"W
C2	43°21'03"	1131.84	214.84	2245.00	2103.01	S36°51'23"W
C3	95°41'04"	173.05	345.79	2944.00	345.50	S50°11'13"W
C7	22°30'36"	98.32	168.19	479.00	188.99	S44°03'44"W
C8	67°14'38"	23.83	38.07	25.00	34.49	S11°41'43"W
C9	62°29'38"	14.02	28.09	644.50	28.09	S30°40'47"E
C10	69°48'13"	27.08	54.08	487.50	54.08	S32°48'04"E
C11	33°04'18"	88.97	116.89	202.00	114.89	S19°40'03"E
C12	14°40'39"	20.40	40.79	167.50	40.79	S10°32'48"E
C13	89°58'54"	24.89	39.29	25.00	35.39	S62°07'01"E
C14	21°33'30"	120.37	255.07	678.50	254.17	S61°18'41"W
C16	29°39'58"	170.99	381.82	878.50	347.80	S38°38'59"W
C18	17°17'45"	100.59	217.50	720.50	216.67	S29°21'54"W
C17	09°37'21"	98.29	76.49	779.50	76.49	S38°18'06"W
C18	58°18'36"	434.54	702.84	776.50	759.10	S63°21'08"W
C19	21°20'20"	530.81	1090.78	2848.00	1054.88	S47°51'22"W
C20	63°33'58"	486.13	808.33	770.50	824.08	N06°08'48"E
C21	22°01'47"	554.30	1095.03	2848.00	1088.30	S26°10'18"W
C22	61°13'24"	328.73	607.49	678.50	687.48	N46°29'43"E
C23	17°21'21"	55.34	111.62	308.00	111.20	N89°22'51"E
C24	14°50'08"	20.80	41.85	100.00	41.44	N82°07'14"E
C25	14°50'08"	18.16	38.12	139.80	38.02	N82°07'14"E
C26	62°38'28"	241.27	433.48	390.00	412.22	N88°01'23"E
C27	12°08'51"	45.99	90.97	428.00	90.80	S89°44'20"E
C28	90°00'38"	30.01	47.13	30.00	42.43	N89°10'28"E
C29	38°11'22"	125.74	243.59	398.00	239.71	S72°17'52"W
C30	28°49'48"	118.56	232.82	500.00	230.73	S72°12'14"W
C31	76°48'59"	262.88	429.77	326.00	399.14	S47°38'38"E
C32	27°27'32"	96.84	189.87	396.00	188.19	N76°22'58"W
C34	01°43'59"	44.81	89.61	2964.00	89.81	N82°42'38"E
C36	74°47'08"	540.02	922.19	708.80	858.08	N90°45'12"E
C38	17°17'48"	120.88	239.83	793.00	238.82	N28°27'54"E
C37	61°13'24"	290.74	542.22	606.00	624.34	N46°29'48"E
C38	11°10'27"	90.80	121.21	621.50	121.02	N86°27'12"E
C39	05°02'17"	65.82	110.87	1282.00	110.83	S19°30'13"W

Target Data

ID	BEARING	DISTANCE
T1	S56°05'50"E	406.39
T2	S73°12'01"E	205.39
T3	S69°03'22"E	639.54
T4	S52°40'40"E	158.69
T5	S78°34'17"E	393.07
T6	N90°08'14"E	176.39
T7	S78°18'21"E	201.89
T8	S57°52'44"E	443.83
T9	S90°38'34"E	261.04
T10	S84°38'27"E	319.71
T11	S89°31'49"W	339.78
T12	S89°38'46"E	436.62
T13	N00°16'32"E	300.02
T14	S89°42'28"E	400.69
T15	N00°17'20"E	58.11
T21	S55°19'02"W	184.39
T22	N58°12'11"W	83.99
T23	N63°07'56"W	87.17
T24	N17°57'34"W	88.19
T25	S67°42'29"W	153.42
T26	S72°02'28"W	57.89
T27	N59°08'33"W	178.28
T28	S50°18'30"W	33.41
T29	S22°57'21"W	48.89
T30	S13°38'44"W	104.00
T31	N76°21'10"W	178.00
T32	S13°38'44"W	48.07
T33	N63°32'17"W	67.17
T34	S68°37'22"W	87.32
T35	S77°20'21"W	84.68
T36	S64°41'03"W	147.78
T37	N69°28'52"W	78.78
T38	S20°49'01"W	287.31
T39	N68°20'32"W	132.47
T40	N74°04'48"W	88.49
T41	N82°01'48"W	85.57
T42	N87°17'36"W	88.53
T43	S86°42'09"W	71.57
T44	S85°16'14"W	81.70
T45	S84°12'51"W	48.91
T46	S20°49'01"W	238.56
T47	N70°48'54"W	76.52
T48	N28°47'32"W	110.83
T49	N19°29'28"W	108.12
T50	N52°48'51"W	54.87
T61	S20°49'01"W	18.78
T62	S84°42'11"W	66.07
T63	N62°39'25"W	170.65
T64	N74°49'16"W	124.85
T65	N72°02'28"E	89.74
T66	N71°05'08"E	120.02
T67	N72°02'28"E	140.04
T68	N50°51'58"E	143.44
T69	N38°17'46"W	128.84
T80	S54°42'11"W	117.39
T81	N30°57'18"E	85.05
T82	S18°10'44"W	81.70
T83	N10°47'14"E	141.70
T84	N35°48'48"E	84.53

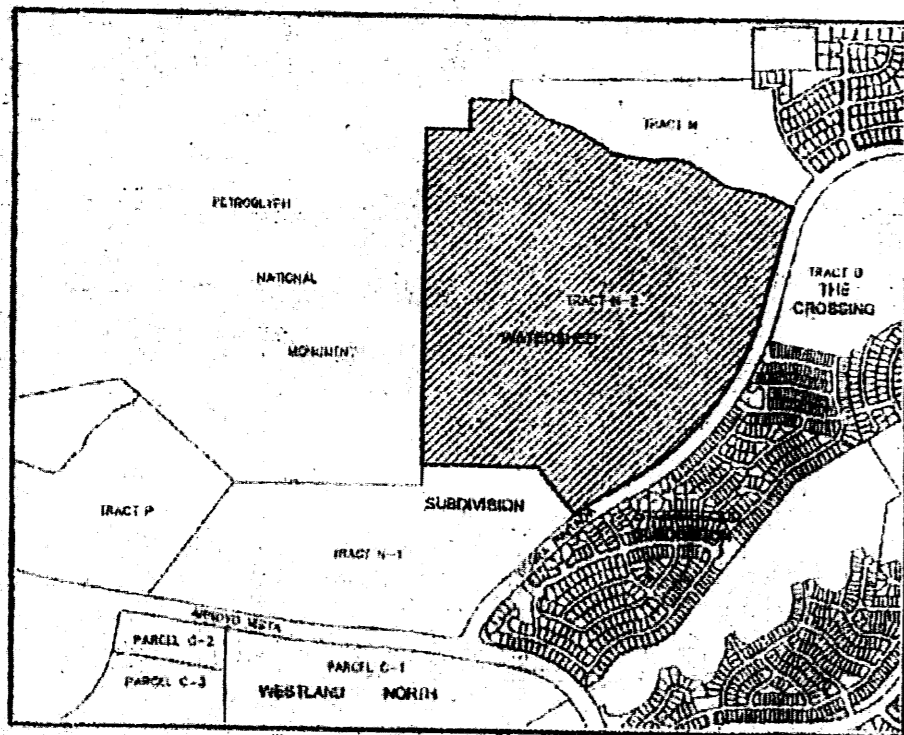
ACS BRASS TABLE "REWARD 1369"  
GEOGRAPHIC POSITION (NAD 1983)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,487,264.083 E=1,491,190.819  
GROUND TO GRID FACTOR = 0.999975005  
DELTA ALPHA = -0°17'12.28"  
NAVD 1988 ELEVATION = 8319.668

NOTE: There are "AO" flood zones on Tract N-2. See FIRN panels 35001C0307 and 35001C0326 for more information.



**Bohannon & Huston**  
7600 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 2 OF 2



LOCATION MAP  
ZONE ATLAS INDEX MAP NO. H-8, H-9 & J-7  
NOT TO SCALE

**DESCRIPTION**

A certain tract of land located within the Town of Atrisco Grant, projected Sections 8, 9, & 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract "N-2", Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 68.

This tract contains 237.7947 acres, more or less.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with free consent and in accordance with the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the planning and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat.

WESTERN ALBUQUERQUE LAND HOLDINGS LLC,  
a Delaware limited liability company

BY: BARCLAYS CAPITAL REAL ESTATE INC.  
as Service Member

By: *[Signature]*  
Mark West,  
Vice President, Barclays Capital Real Estate Inc.

State of New York )  
County of New York )

This instrument was acknowledged before me on 1 day of August, 2013,  
by Mark West, Vice President of Barclays Capital Real Estate Inc., a service member of  
Western Albuquerque Land Holdings LLC, a Delaware limited liability company.

My Commission Expires: *[Signature]*  
Notary Public

KRISTINA WALL  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 017460258417  
Qualified in New York County  
My Commission Expires April 02, 2016

PLAT OF  
**TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION**  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE 8/23/13

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

*[Signature]* \_\_\_\_\_ DATE 8-2-13  
CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*[Signature]*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: July 31, 2013



**SUBDIVISION DATA**

1. DRB No.
2. Zone-Atlas Index Nos. H-8, H-9 & J-7.
3. Gross Subdivision Acreage: 237.7947 acres.
4. Total Number of Tracts Created: 100.
5. No Streets were created.
6. Date of Survey: July, 2013.
7. Plat is located within the Town of Atrisco Grant, within projected Sections 8, 9 & 17, T10N, R2E, N10PM.

**PURPOSE OF PLAT**

The Purpose of this plat is to subdivide Tract N-2, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 68, into a 100 (100) tracts and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH-41". Bearing = N03°06'40"E
2. Distances are ground distances.
3. Record Bearings and distances are the same as shown on this plat and the same as shown on the Plat of Tracts N-1 & N-2, Watershed Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 68.
4. Record Bearings and distances of Original Boundary and Boundaries Survey for the Pottery National Monument, United States Department of the Interior, Bureau of Land Management, Santa Fe, New Mexico dated June 21, 1901 are shown in parentheses.
5. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1510B38-ALG4, Effective Date: March 8, 2011.
6. Portions of Tract N-2 are located in Flood Zones "AO" and "X", per FIRM Map Number 35001C0307H, Revised August 16, 2012 and FIRM Map Number 35001C0328G, Revised August 16, 2012.
7. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".
8. Interior tract corners shall be monumented with a 6" x 6" rubber and plastic cap stamped "GROMATZKY PB 16469".

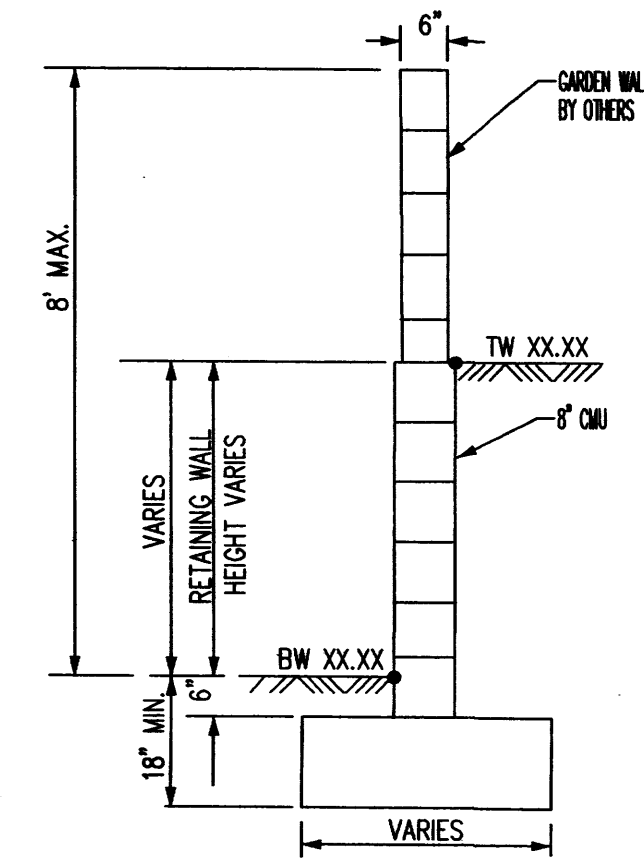
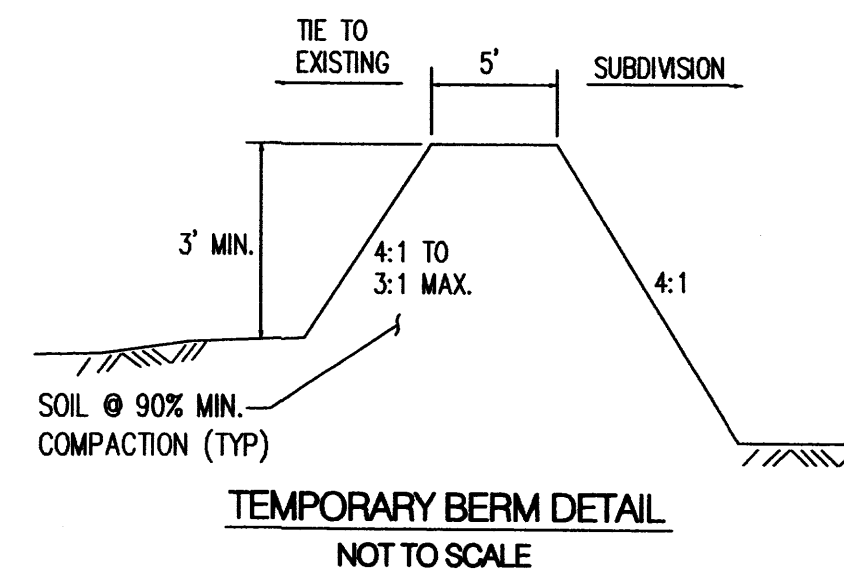
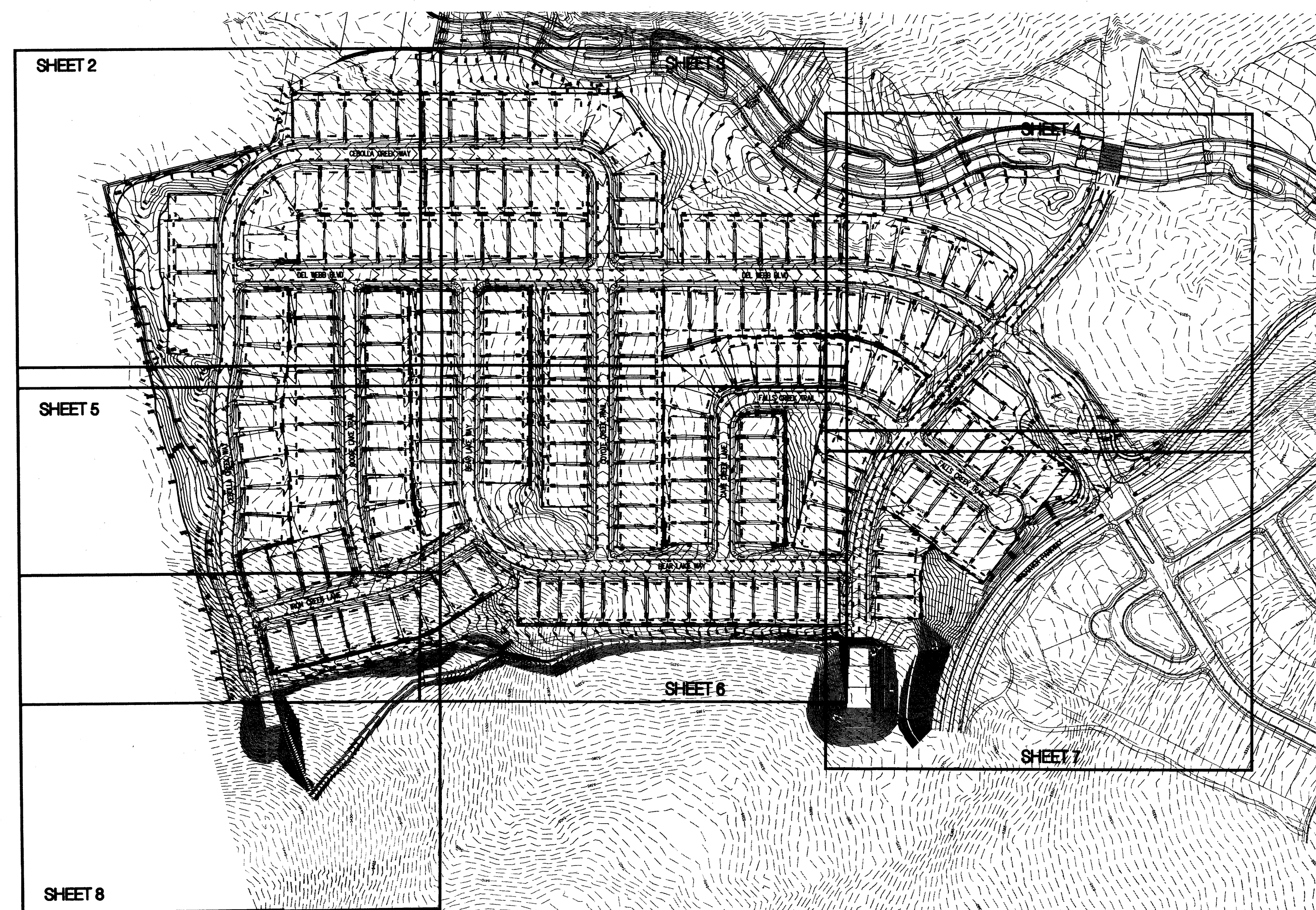
**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Future subdivision of Tracts shown on this Plat, zoning Site Development Plan approval, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranty as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.



TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL  
 BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL  
**TYPICAL RETAINING WALL NOMENCLATURE**  
 NOT TO SCALE  
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)  
 HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

**GENERAL NOTES**

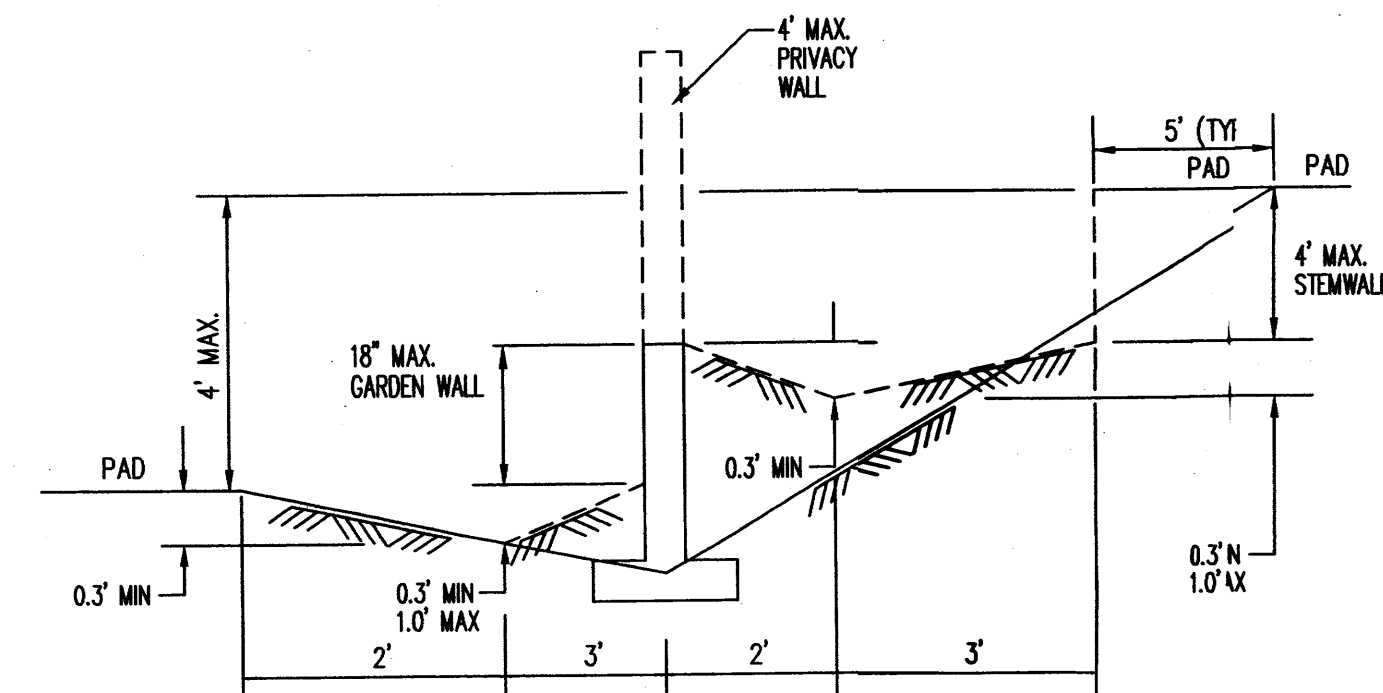
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBEVINYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE REMOVED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY CUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

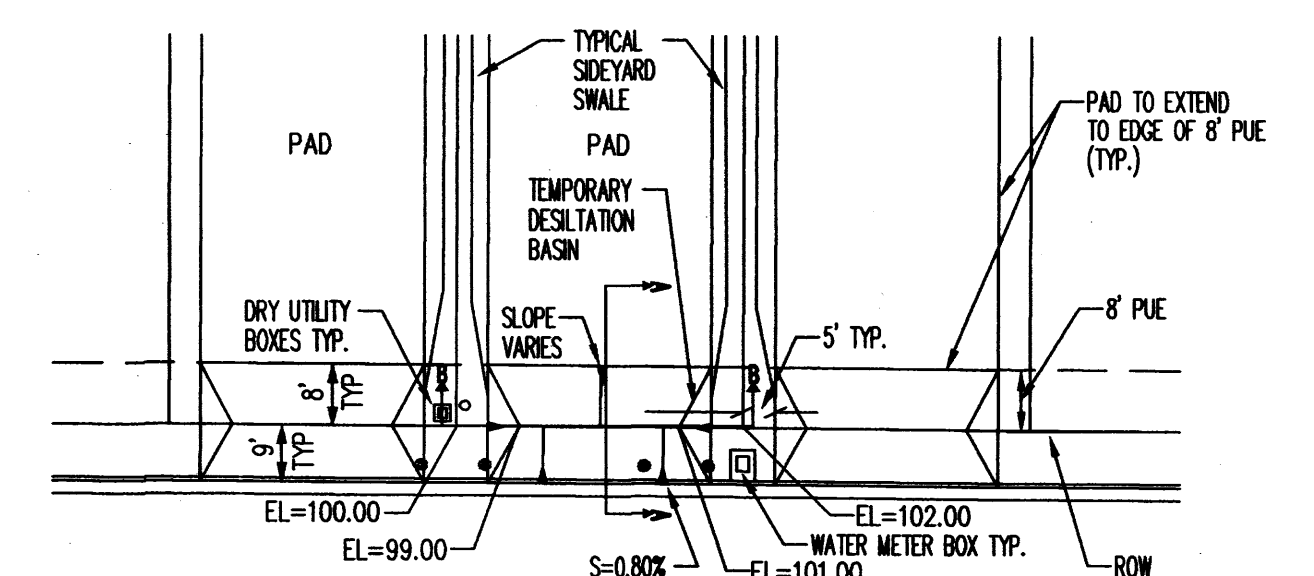
**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR --- 5225
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE ———
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TB [Symbol]
- STREET SLOPE [Symbol]



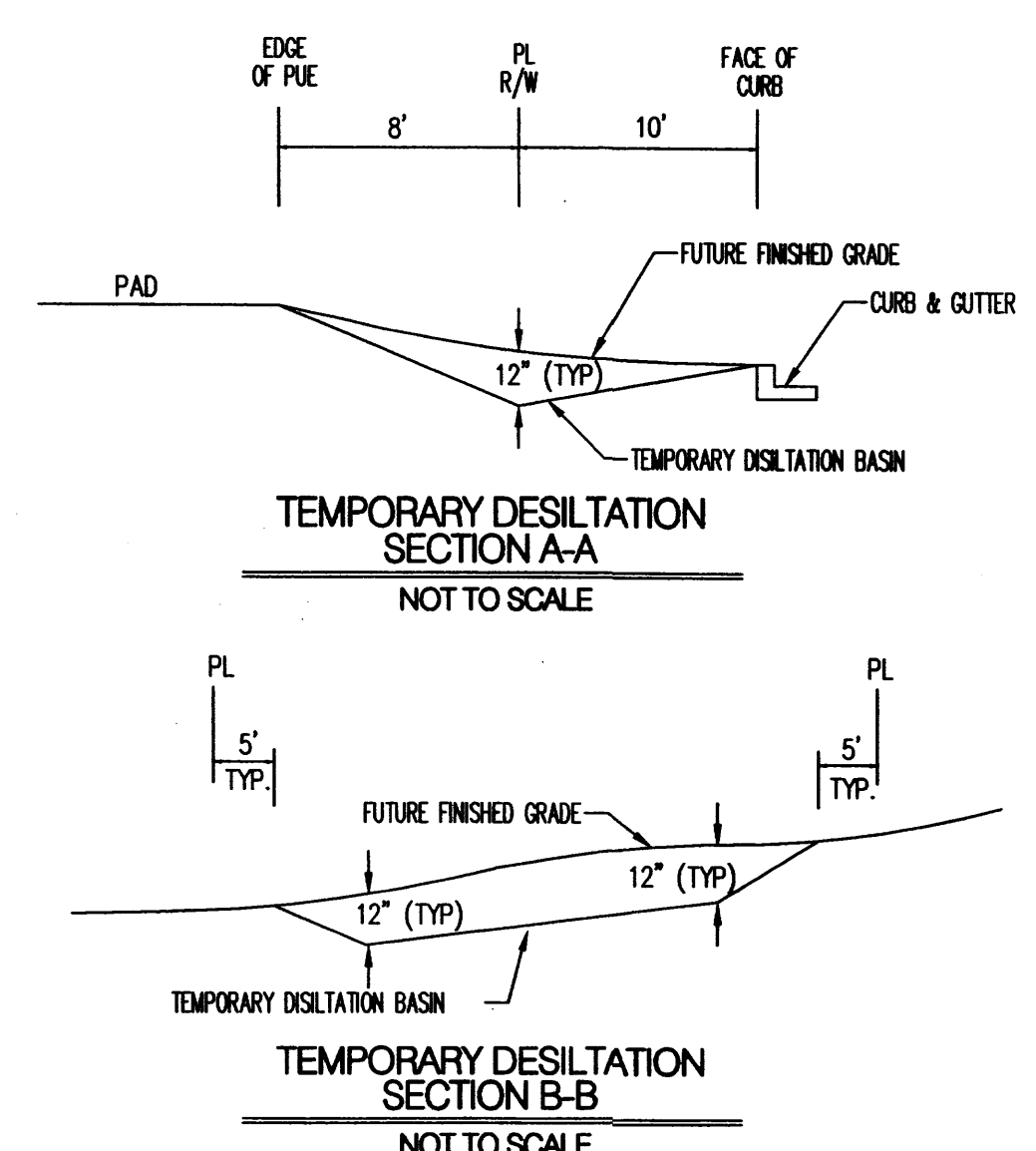
**TYPICAL SIDE LOT LINE SECTION**  
 NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM OPTION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING/TERRACING.



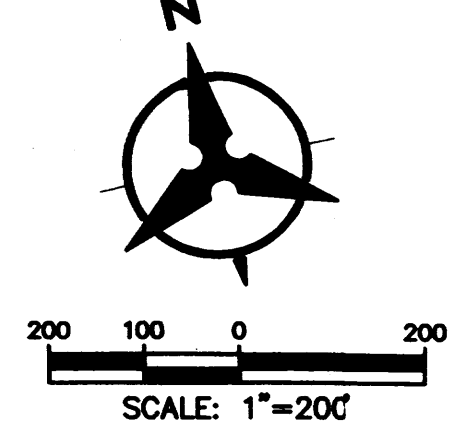
**TYPICAL SIDEYARD SWALE**  
 NOT TO SCALE

\*\* BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



**TEMPORARY DESILTATION SECTION A-A**  
 NOT TO SCALE

**TEMPORARY DESILTATION SECTION B-B**  
 NOT TO SCALE



**Bohannon & Huston**  
 www.bhinc.com 800.877.5332

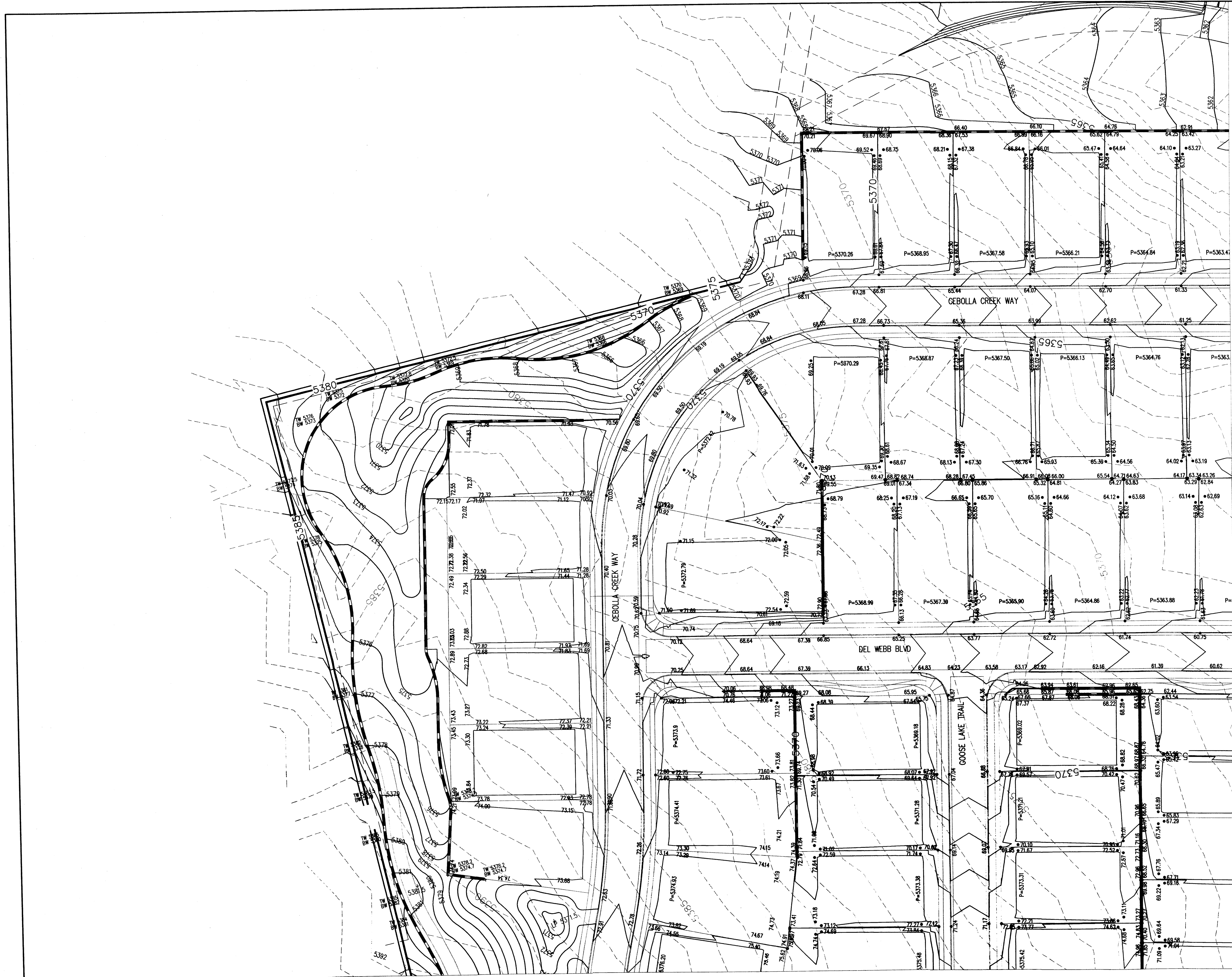
**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 1  
 OVERALL GRADING PLAN

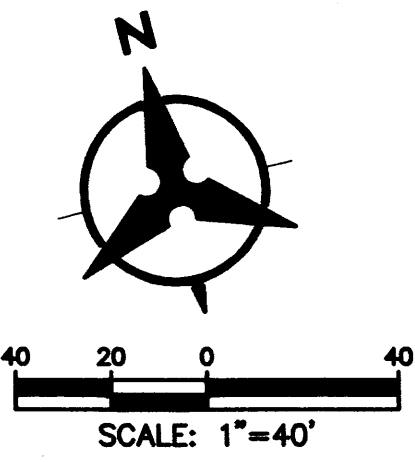
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MC / DAY / YR	MO / DAY / YR
LAST DESIGN UPDATE			

PROJECT #: 1006864  
 DATE: 1-22-14  
 APPR: 13-70808 (PP) 13-70810 (SW)  
 13-70809 (SD) 13-70811 (SD)

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	US&GS BRASS DISC STAMPED "REWARD 1968"	CONTRACTOR	DATE	NO.	BY	REMARKS
WORKING BY	DATE	GEOGRAPHIC POSITION (NAD 83)	INSPECTOR'S ACCEPTANCE BY	DATE			NO. DATE
DRAWN BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	VERIFICATION BY	DATE			DESIGN
CHECKED BY	DATE	N=1487364.063 E=1481190.819	DRAWINGS CORRECTED BY	DATE			REVISED
RECORDED BY	DATE	GROUND TO GRID = 0.989675005	MICRO-FILM INFORMATION	DATE			DESIGNED BY YPM
	DATE	DELTA ALPHA = -007712.26"		DATE			DRAWN BY ARR
	DATE	NAVD 1988 ELEVATION = 5319.688		DATE			CHECKED BY YPM
	DATE			DATE			DATE 11/2013
	DATE			DATE			DATE 11/2013
	DATE			DATE			DATE 11/2013



- LEGEND**
- PROPOSED SPOT ELEVATION      • 5235.25
  - EXISTING SPOT ELEVATION      • EX 5235.25
  - PROPOSED CONTOUR              - - - - -
  - EXISTING STORM DRAIN LINE    - - - - -
  - PROPOSED STORM DRAIN INLET   □
  - PROPOSED STORM DRAIN LINE   - - - - -
  - PROPOSED STORM DRAIN MANHOLE ○
  - PROPOSED WATER BLOCK       ~~~~~
  - RETAINING WALL                [ ]
  - PAD                                 [ ]
  - TB                                  [ ]
  - STREET SLOPE                    ↘
  - GRADING PERIMETER         - - - - -



**Bohannon & Huston**  
 www.bhinc.com      800.877.5332

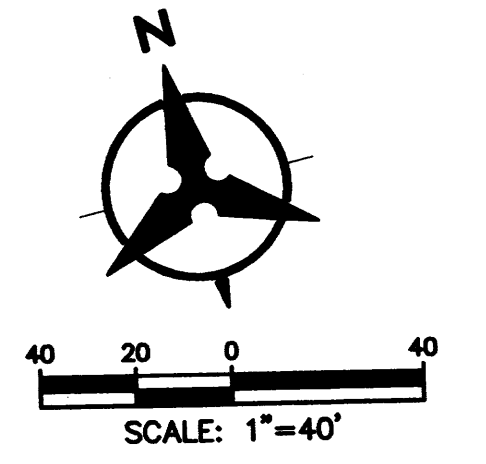
**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**  
 DEL WEBB @ MIREHAVEN PHASE 1  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		2	8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	USC&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	WORKS BY	DATE
		BY	DATE	GEOGRAPHIC POSITION (NAD 83)	REWARD 1969	REWARD 1969	DATE
NO.	DATE	NO.	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	REVISIONS	REVISIONS	DATE
				N=1487364.083 E=1491190.819	DESIGN	DESIGN	DATE
				GROUND TO GRID = -001712.26"			DATE
				DELTA ALPHA = -001712.26"			DATE
				NAVD 1988 ELEVATION = 5319.688			DATE
							DATE



- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
  - EXISTING SPOT ELEVATION ● EX 5235.25
  - PROPOSED CONTOUR ——— 5025
  - EXISTING STORM DRAIN LINE - - - - -
  - PROPOSED STORM DRAIN INLET □
  - PROPOSED STORM DRAIN LINE ———
  - PROPOSED STORM DRAIN MANHOLE ○
  - PROPOSED WATER BLOCK [Symbol]
  - RETAINING WALL [Symbol]
  - PAD [Symbol]
  - TB [Symbol]
  - STREET SLOPE [Symbol]
  - GRADING PERIMETER [Symbol]



**Bohannon & Huston**  
 www.bhinc.com 800.877.5332

**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 DEL WEBB @ MIREHAVEN PHASE 1  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
GITY PROJECT NO.		ZONE MAP NO.	SHEET 3 OF 8

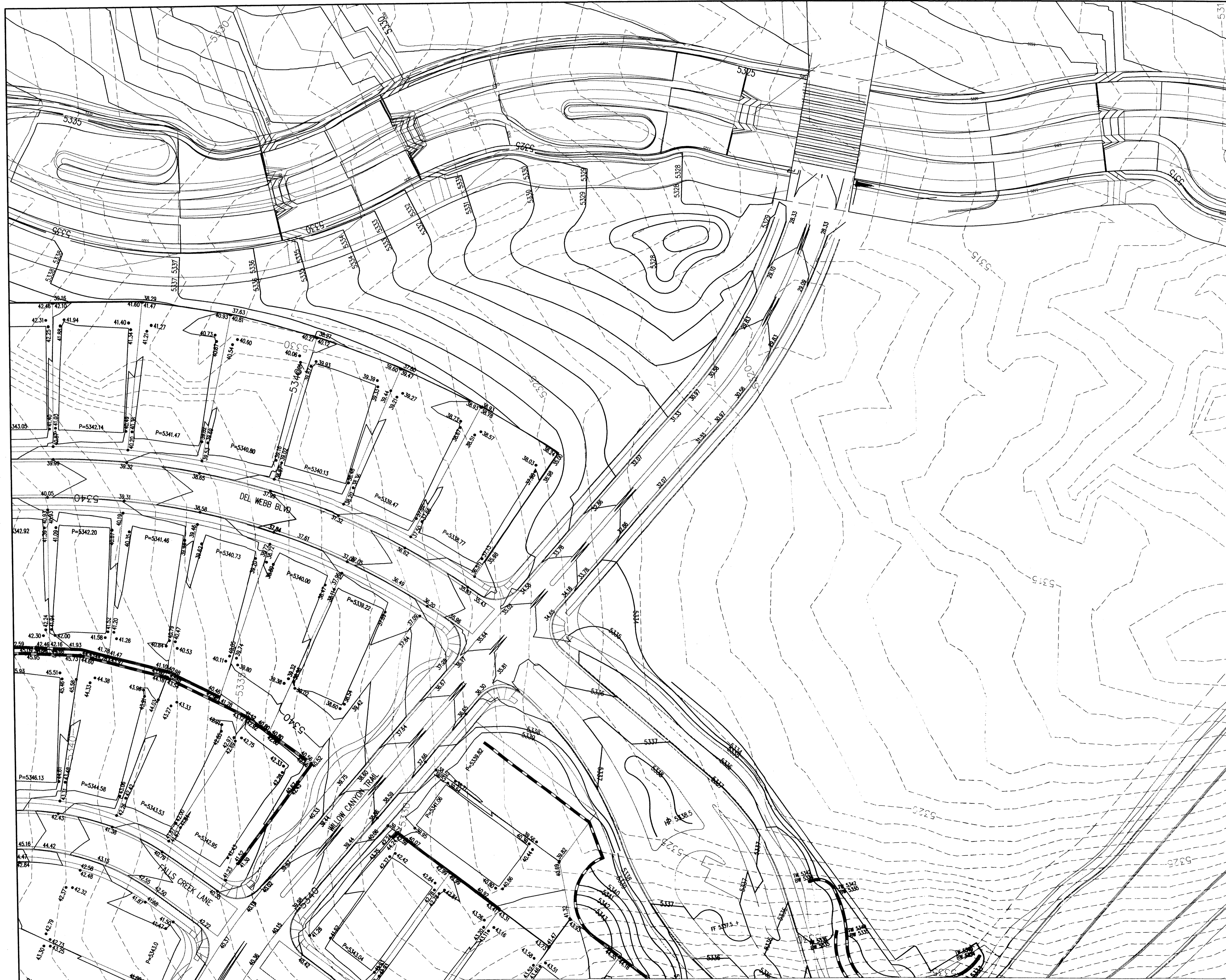
AS-BUILT INFORMATION	
CONTRACTOR	REWARD 1989
STARTED BY	DATE
INSPECTION BY	DATE
FIELD VERIFICATION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

SURVEY INFORMATION	
USC&GS BRASS DISC STAMPED	REWARD 1989
GEOGRAPHIC POSITION (NAD 83)	DATE
N.M. STATE PLANE COORDINATES	DATE
(CENTRAL ZONE)	DATE
N=1487364.063 E=1491190.819	DATE
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DELTA ALPHA = -0.01712.26"	DATE
NAVD 1988 ELEVATION = 5319.688	DATE

ENGINEER'S SEAL

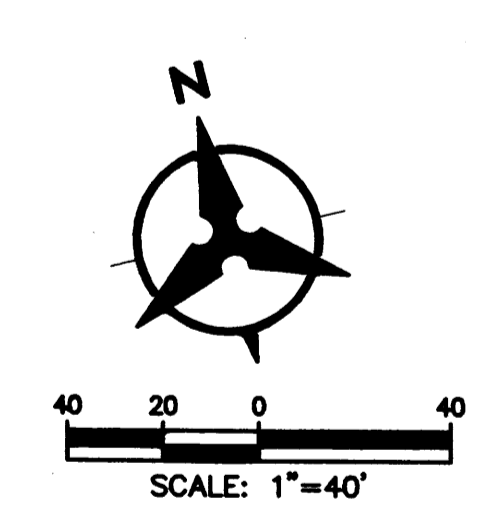
NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	
		DATE 11/2013	
		DATE 11/2013	
		DATE 11/2013	

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 Fri, 20-Dec-2013 - 11:35:am, Plotted by: AROMERO



**LEGEND**

- PROPOSED SPOT ELEVATION      ● 5235.25
- EXISTING SPOT ELEVATION      ● EX 5235.25
- PROPOSED CONTOUR            - - - - - 5025
- EXISTING STORM DRAIN LINE    - - - - -
- PROPOSED STORM DRAIN INLET    □
- PROPOSED STORM DRAIN LINE    = = = = =
- PROPOSED STORM DRAIN MANHOLE    ○
- PROPOSED WATER BLOCK        ~ ~ ~ ~ ~
- RETAINING WALL                [ ]
- PAD                                10
- TB                                 P=5300.00
- STREET SLOPE                 XY
- GRADING PERIMETER         - - - - -



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**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**  
**DEL WEBB @ MIREHAVEN PHASE 1**  
**GRADING PLAN**

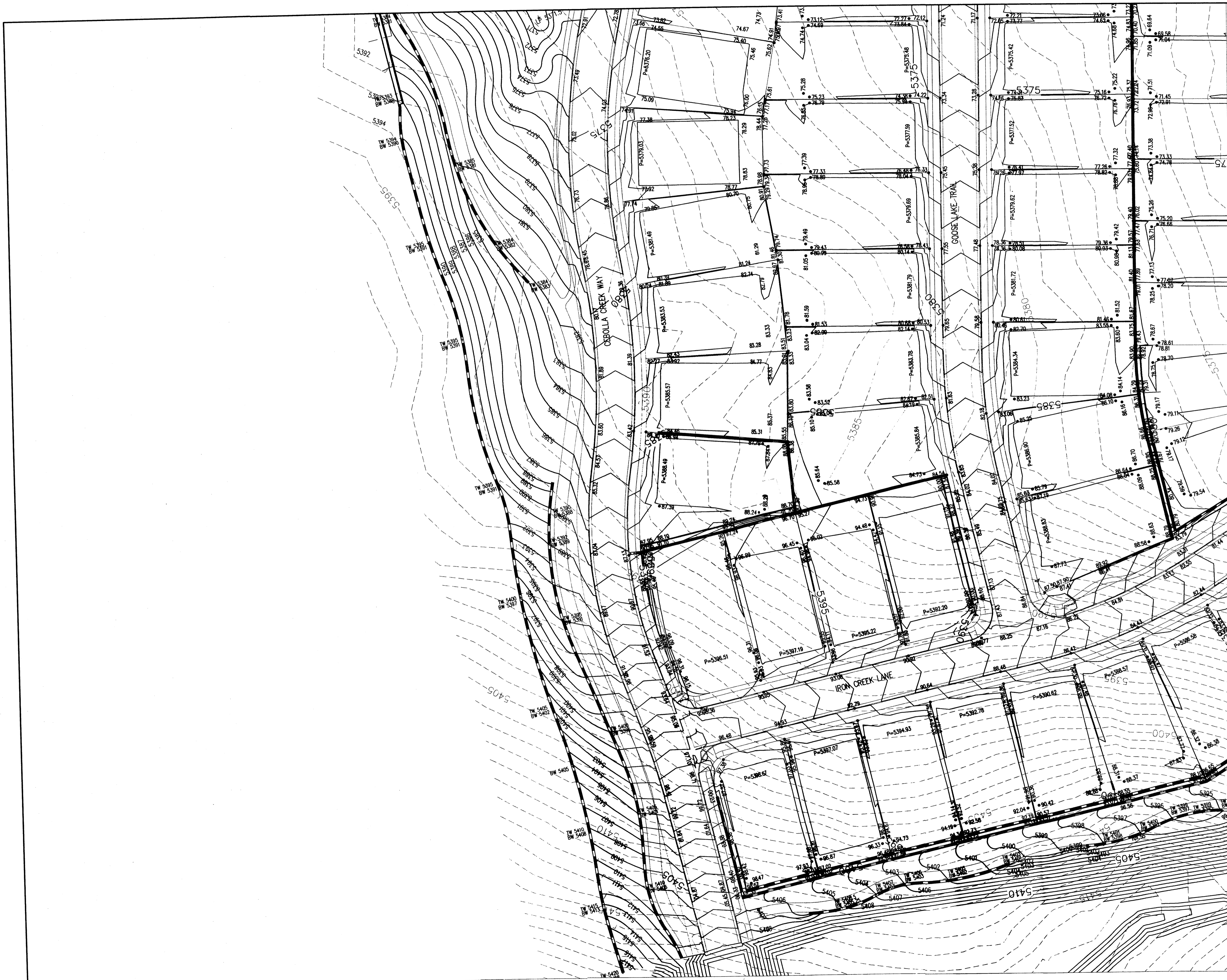
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 4 OF 8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	USC&GS BRASS DISC STAMPED	REWARD	CONTRACTOR	DATE
				GEOGRAPHIC POSITION (NAD 83)	1969	BY	
				N.M. STATE PLANE COORDINATES		INSPECTOR'S ACCEPTANCE BY	
				(CENTRAL ZONE)		DATE	
				N=1487364.063 E=1491190.819		DATE	
				GROUND TO GRID = 0.999675005		DATE	
				DELTA ALPHA = -001712.26"		DATE	
				NAVD 1988 ELEVATION = 5319.688		DATE	

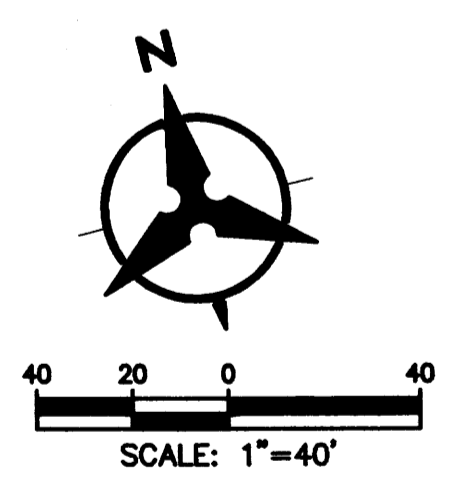


NO.	DATE	REVISIONS	BY
		DESIGN	

DRAWN BY: YPM      DATE: 11/2013  
 CHECKED BY: YPM      DATE: 11/2013



- LEGEND**
- PROPOSED SPOT ELEVATION      ● 5235.25
  - EXISTING SPOT ELEVATION      ● EX 5235.25
  - PROPOSED CONTOUR              - - - - - 5025
  - EXISTING STORM DRAIN LINE      - - - - -
  - PROPOSED STORM DRAIN INLET      □
  - PROPOSED STORM DRAIN LINE      = = = = =
  - PROPOSED STORM DRAIN MANHOLE      ○
  - PROPOSED WATER BLOCK          ~ ~ ~ ~ ~
  - RETAINING WALL                  - - - - -
  - PAD                                  10
  - TB                                      P=5300.00
  - STREET SLOPE                      XX
  - GRADING PERIMETER              - - - - -

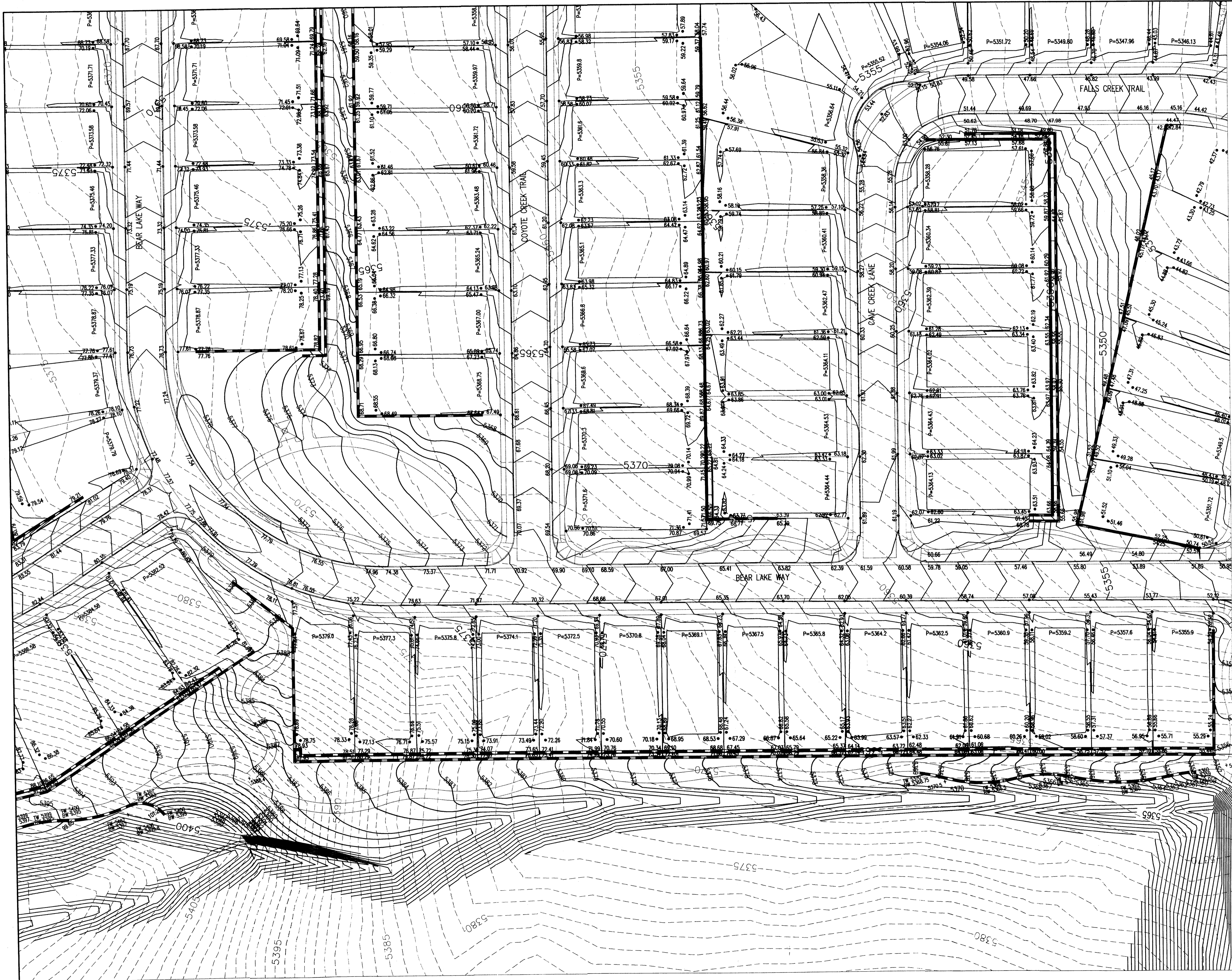


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**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 DEL WEBB @ MIREHAVEN PHASE 1  
 GRADING PLAN

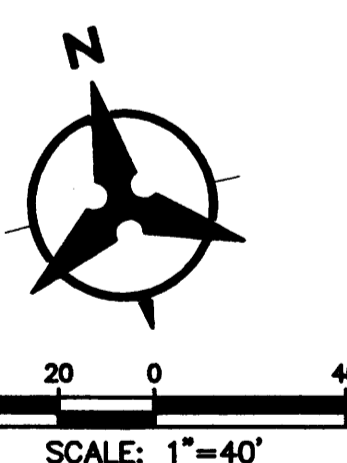
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		5	8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	US&GS BRASS DISC STAMPED	REWARD	1989	CONTRACTOR
		BY		GEOGRAPHIC POSITION (NAD 83)			
NO.	DATE	REVISIONS	BY	N.M. STATE PLANE COORDINATES			INSPECTOR'S
		DESIGN		(CENTRAL ZONE)			FIELD
DESIGNED BY	YPM	DATE11/2013		GROUND TO GRID = 0.999675005			VERIFICATION BY
DRAWN BY	ARR	DATE11/2013		DELTA ALPHA = -0.01771226"			DATE
CHECKED BY	YPM	DATE11/2013		NAVD 1988 ELEVATION = 5319.688			MICRO-FILM INFORMATION
							RECORDED BY
							DATE



**LEGEND**

PROPOSED SPOT ELEVATION	• 5235.25
EXISTING SPOT ELEVATION	• EX 5235.25
PROPOSED CONTOUR	--- 5025 ---
EXISTING STORM DRAIN LINE	--- --- ---
PROPOSED STORM DRAIN INLET	□
PROPOSED STORM DRAIN LINE	=== === ===
PROPOSED STORM DRAIN MANHOLE	○
PROPOSED WATER BLOCK	⊞
RETAINING WALL	⊞
PAD	10
TB	5300.00
TURNED BLOCK	XX
STREET SLOPE	XX
GRADING PERIMETER	--- --- ---



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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT  
DEL WEBB @ MIREHAVEN PHASE 1  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO. / DAY / YR.	NO. / DAY / YR.
LAST DESIGN UPDATE			

**AS-BUILT INFORMATION**

CONTRACTOR	REWARD 1968
DATE	
INSPECTOR'S NAME	BY
DATE	
FIELD VERIFY BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.
DATE	

**SURVEY INFORMATION**

US&GS BRASS DISC STAMPED	"REWARD 1968"
GEOGRAPHIC POSITION (NAD 83)	
N.M. STATE PLANE COORDINATES	
(CENTRAL ZONE)	
GROUND TO GRID = 0.99190819	
DELTA ALPHA = -0.01771226"	
NAVD 1988 ELEVATION = 5319.688	

**ENGINEER'S SEAL**

NO. DATE BY

REMARKS

DESIGN

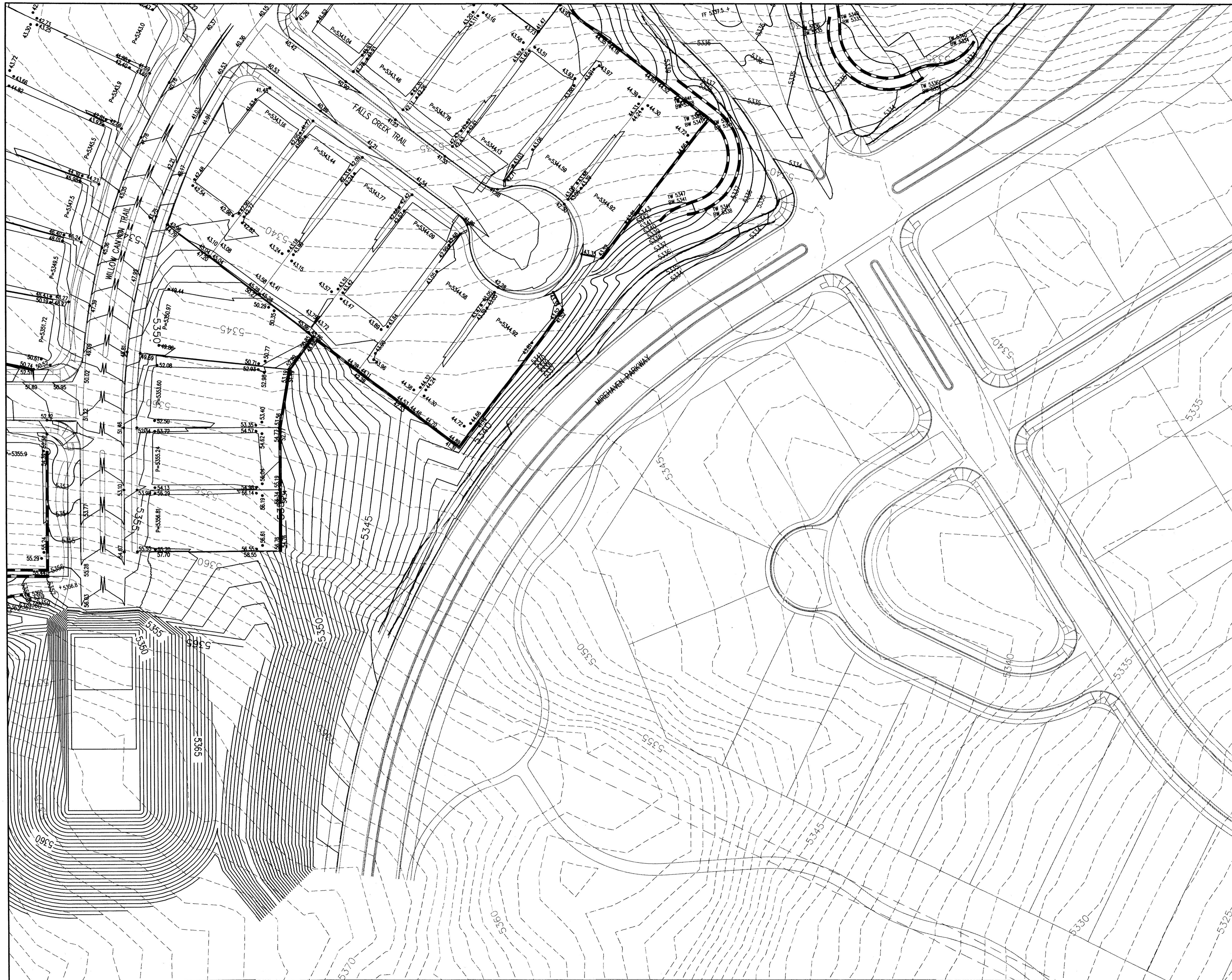
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DRAWN BY ARR DATE 11/2013

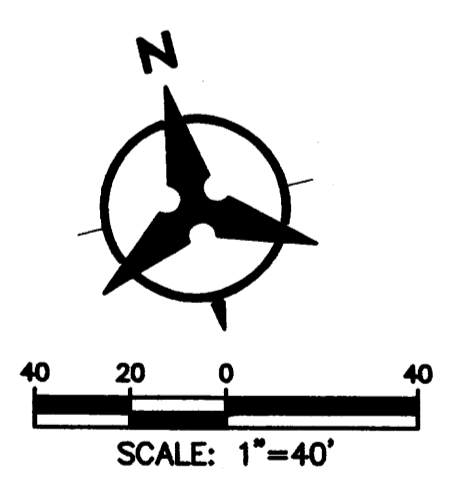
CHECKED BY YPM DATE 11/2013







- LEGEND**
- PROPOSED SPOT ELEVATION      ● 5235.25
  - EXISTING SPOT ELEVATION      ● EX 5235.25
  - PROPOSED CONTOUR              - - - - - 5225
  - EXISTING STORM DRAIN LINE    - - - - -
  - PROPOSED STORM DRAIN INLET    □
  - PROPOSED STORM DRAIN LINE    = = = = =
  - PROPOSED STORM DRAIN MANHOLE    ○
  - PROPOSED WATER BLOCK        ◻
  - RETAINING WALL                - / - / - / - / -
  - PAD                                10
  - TB                                 10
  - STREET SLOPE                  XX
  - GRADING PERIMETER          - - - - -



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**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF  
**MUNICIPAL DEVELOPMENT**

**DEL WEBB @ MIREHAVEN PHASE 1**  
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO. / DAY / YR.	NO. / DAY / YR.

CITY PROJECT NO.      ZONE MAP NO.      SHEET 7 OF 8

**AS-BUILT INFORMATION**

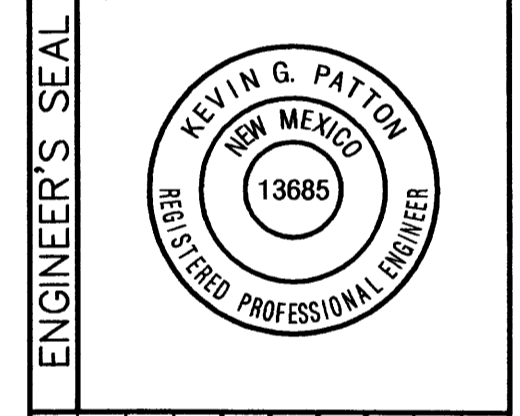
CONTRACTOR	DATE
WORKING BY	DATE
SUBMITTED BY	DATE
ACCEPTANCE BY	DATE
FIELD LOCATION BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

**BENCH MARKS**

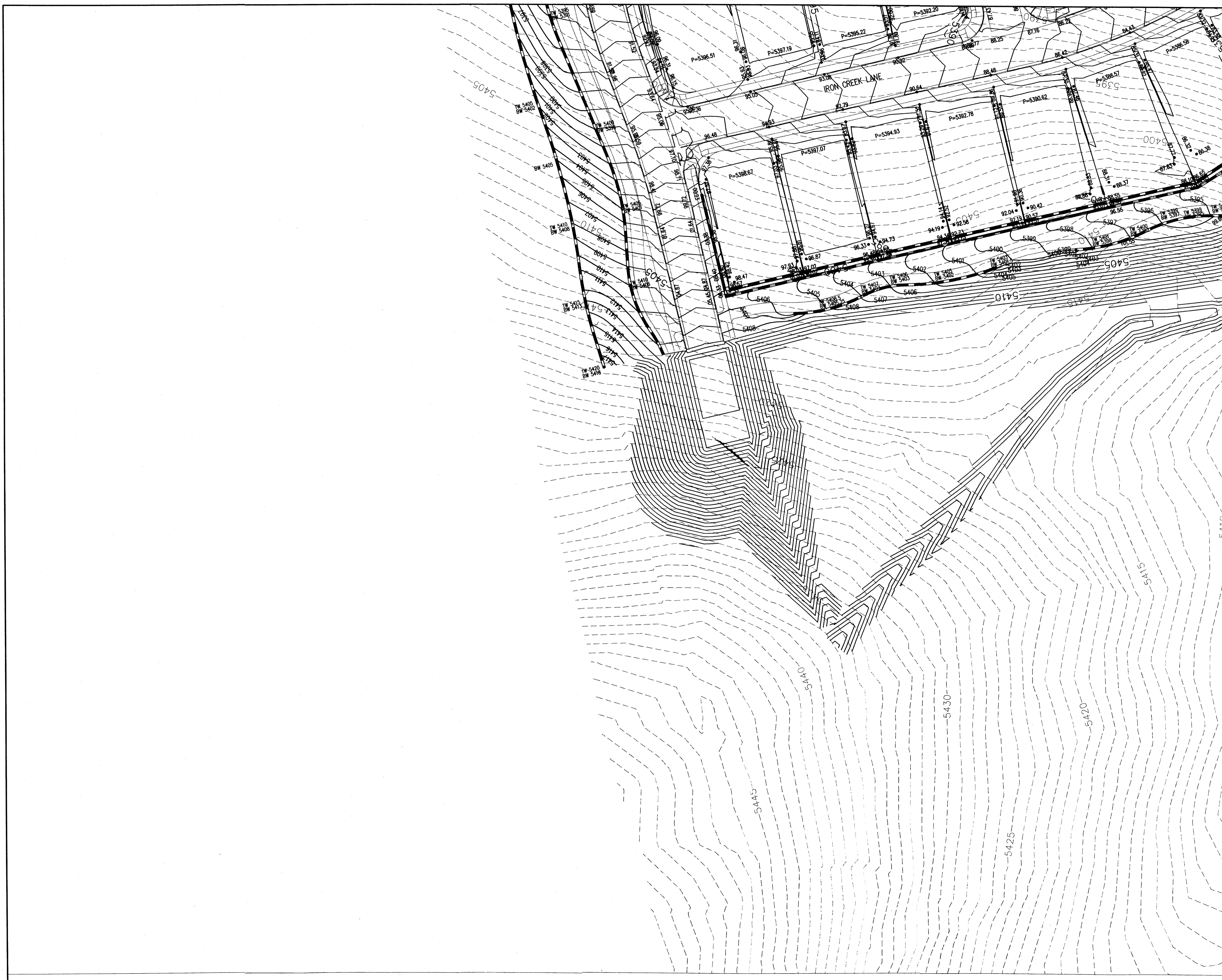
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 GEOGRAPHIC POSITION (NAD 83)  
 N.M. STATE PLANE COORDINATES  
 (CENTRAL ZONE)  
 N=1487364.063 E=1491900.819  
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 DELTA ALPHA = -0071712.26"  
 NAVD 1988 ELEVATION = 5319.688

**SURVEY INFORMATION**

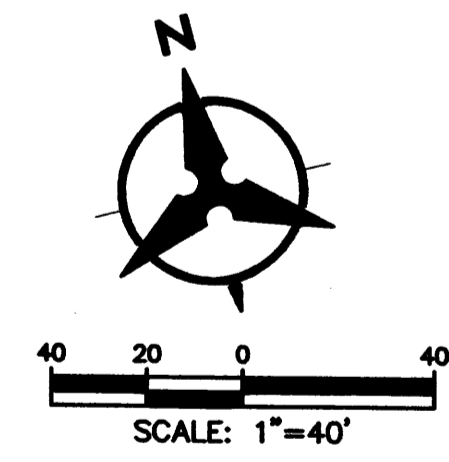
FIELD NOTES	DATE	BY
NO.		



NO.	DATE	REVISIONS	BY
		DESIGN	
DESIGNED BY	DATE		
YPM	DATE11/2013		
DRAWN BY	DATE		
ARR	DATE11/2013		
CHECKED BY	DATE		
YPM	DATE11/2013		



- LEGEND**
- PROPOSED SPOT ELEVATION      ● 5235.25
  - EXISTING SPOT ELEVATION      ● EX 5235.25
  - PROPOSED CONTOUR              -5225-
  - EXISTING STORM DRAIN LINE      --- --- ---
  - PROPOSED STORM DRAIN INLET      □
  - PROPOSED STORM DRAIN LINE      = = = = =
  - PROPOSED STORM DRAIN MANHOLE      ○
  - PROPOSED WATER BLOCK        [~~~~~]
  - RETAINING WALL                  [=====]
  - PAD                                  [ ]
  - TB                                      [XX]
  - STREET SLOPE                      -->
  - GRADING PERIMETER            - - - - -



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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 1  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO.      ZONE MAP NO.      SHEET 8 OF 8

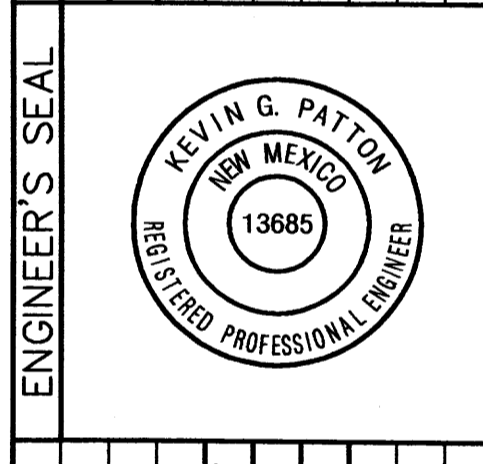
**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS BY	DATE
<b>MICRO-FILM INFORMATION</b>	DATE
RECORDED BY	DATE
NO.	NO.

BENCH MARKS  
US&GS BRASS DISC STAMPED "REWARD 1968"  
GEOGRAPHIC POSITION (NAD 83)  
N.M. STATE PLANE COORDINATES  
(CENTRAL ZONE)  
N=1487364.063 E=1491190.819  
GROUND TO GRID = 0.999675005  
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NAVD 1988 ELEVATION = 5319.688

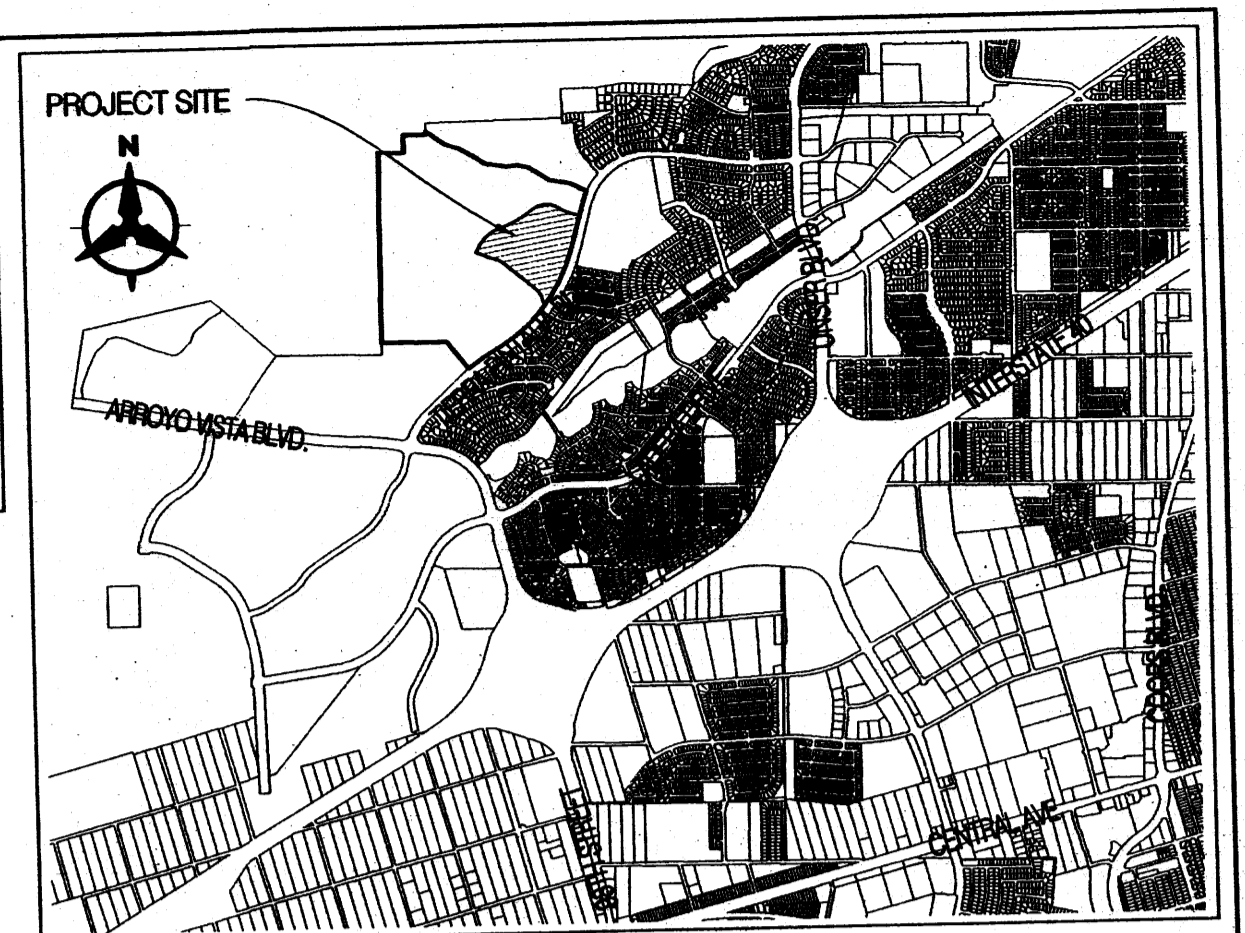
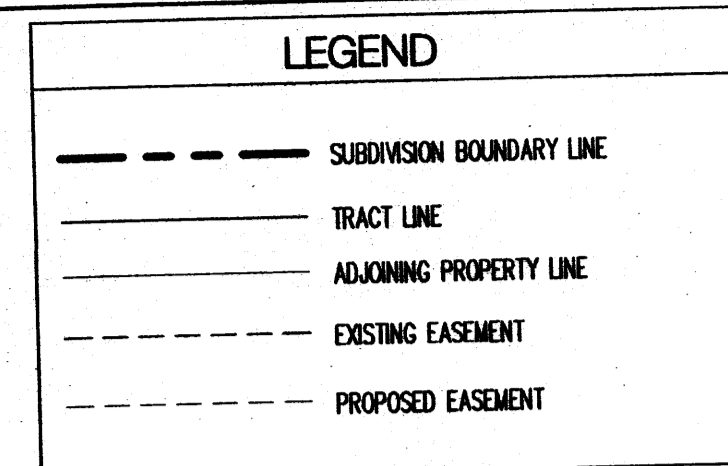
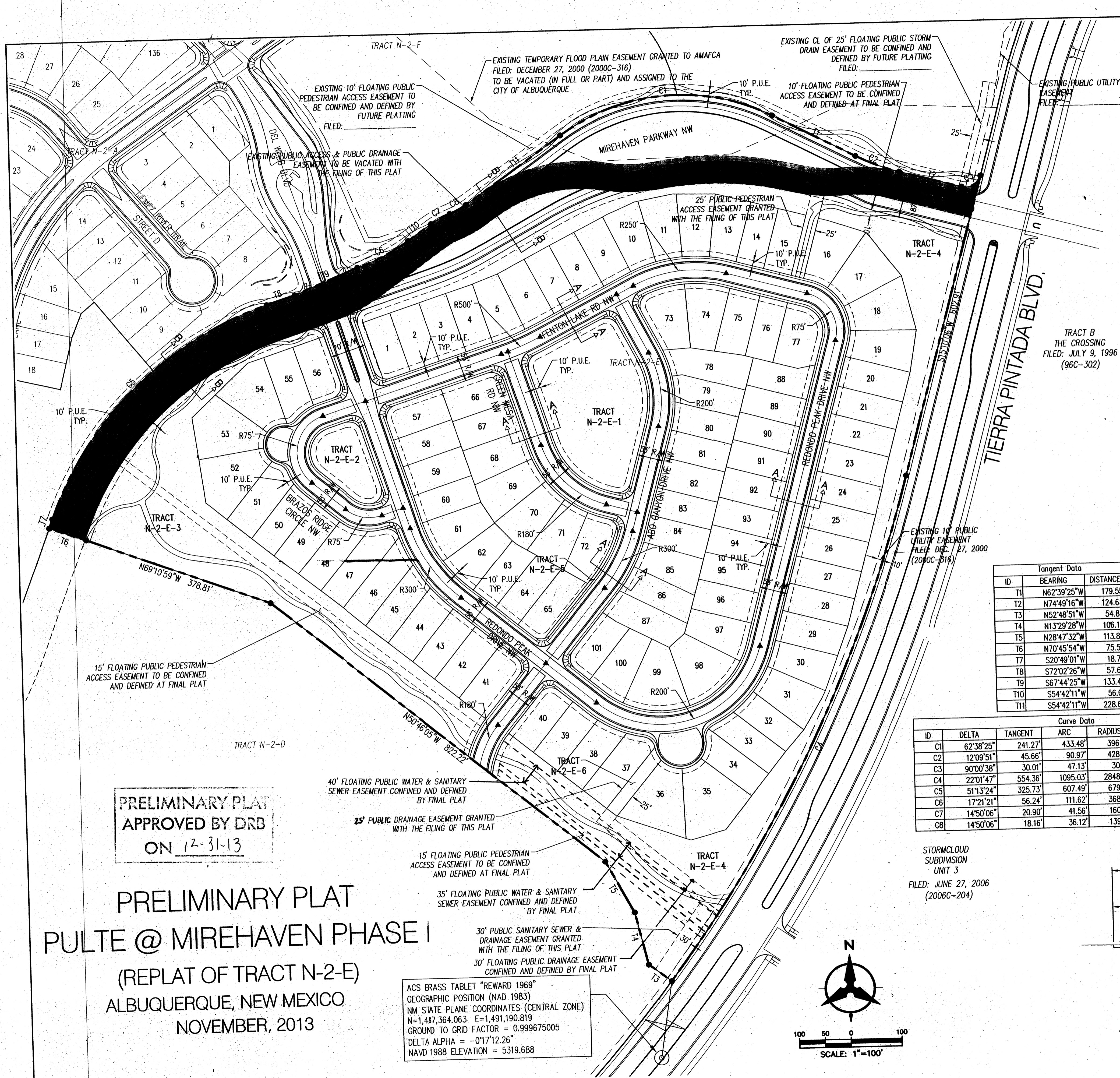
**SURVEY INFORMATION**

NO.	FIELD NOTES	DATE	BY



**ENGINEER'S SEAL**

NO.	DATE	REVISIONS	BY
		DESIGN	
DESIGNED BY YPM		DATE 11/2013	
DRAWN BY ARR		DATE 11/2013	
CHECKED BY YPM		DATE 11/2013	



LEGAL DESCRIPTION:  
 A REPLAT OF:  
 TRACT N-2-E, WATERSHED SUBDIVISION  
 FILED:

- EXISTING ZONING FOR : SU-2 FOR PDA  
 PROPOSED ZONING: SU-2 FOR PDA  
 PROPOSED RESIDENTIAL DEVELOPMENT:  
 SINGLE FAMILY DETACHED RESIDENTIAL

2. TOTAL ACREAGE:  
 EXISTING TRACT N-2-E = 37.4647 ACRES

- ACREAGE:
- TRACT N-2-E-1 = 1.23 ACRES (PRIVATE PARK)
  - TRACT N-2-E-2 = 0.32 ACRES (PRIVATE PARK)
  - TRACT N-2-E-3 = 2.62 ACRES (PRIVATE PARK & PRIVATE OPEN SPACE)
  - TRACT N-2-E-4 = 4.13 ACRES (PRIVATE PARK & PRIVATE OPEN SPACE)
  - TRACT N-2-E-5 = 0.03 ACRES (PRIVATE OPEN SPACE)
  - TRACT N-2-E-6 = 0.08 ACRES (PRIVATE OPEN SPACE)

TOTAL NET ACREAGE 37.4647 ACRES

NUMBER OF LOTS: 101

PROPOSED DENSITY: 2.70 D.U./ACRE

- MINIMUM LOT DIMENSIONS 55' x 120'  
 MINIMUM LOT AREA 6600 S.F.

- ALL STREETS, UTILITIES AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.

- LOT SETBACKS SHALL CONFORM TO SU-2 FOR PDA ZONE REGULATIONS.

OWNER:

WESTERN ALBUQUERQUE LAND HOLDINGS LLC  
 A DELAWARE LIMITED LIABILITY COMPANY

BARCLAYS CAPITAL REAL ESTATE INC.  
 AS SERVICING MEMBER

*[Signature]* 12/02/2013  
 MARK WUEST  
 VICE PRESIDENT, BARCLAYS CAPITAL REAL ESTATE INC.

SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

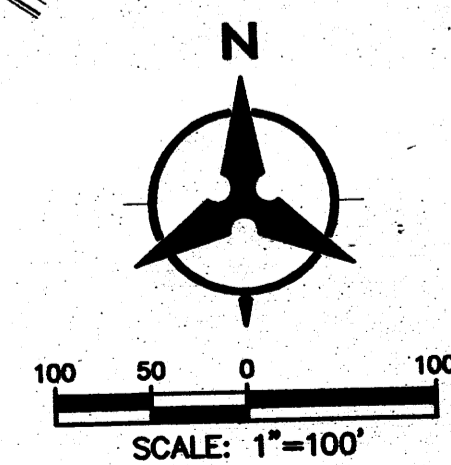
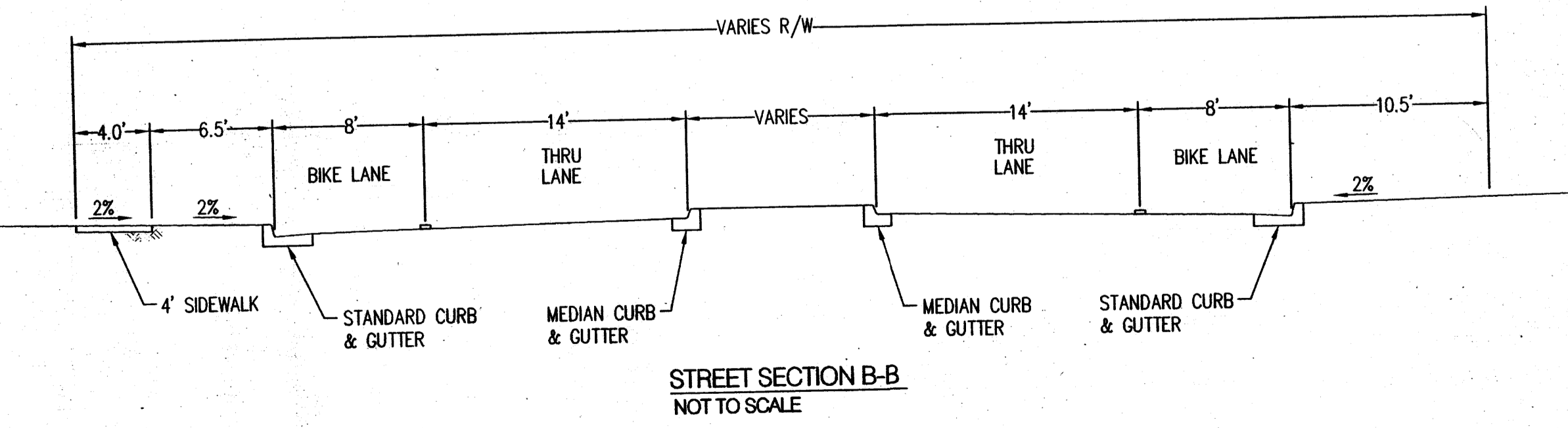
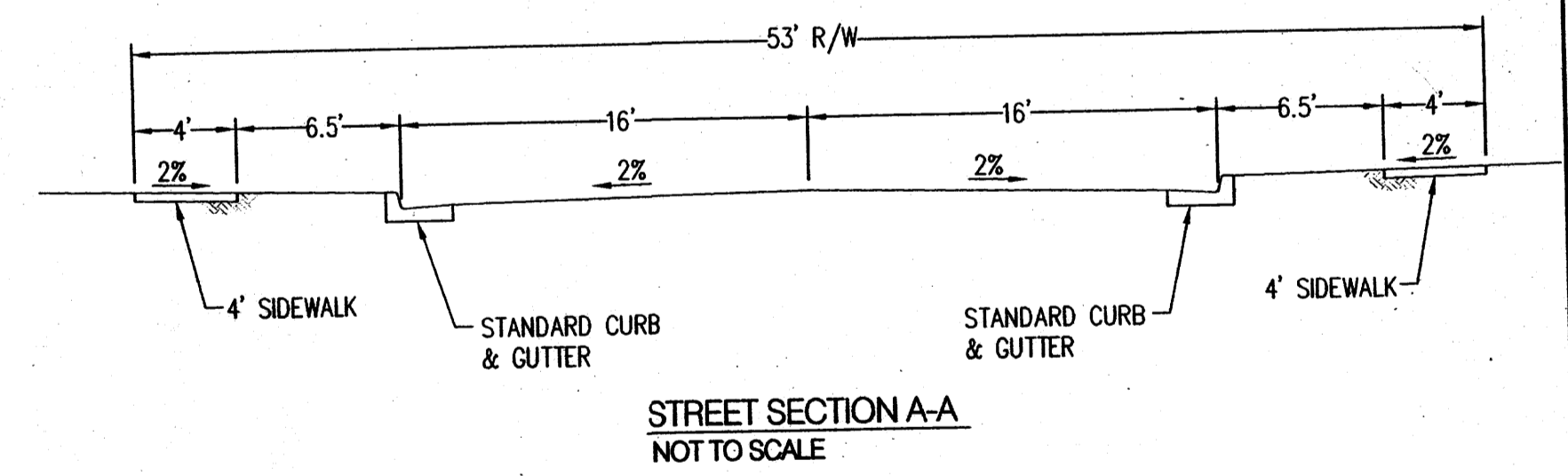
APPROVED FOR MONUMENTATION AND STREET NAMES

*[Signature]* 12-3-13  
 CITY SURVEYOR DATE

ID	BEARING	DISTANCE
T1	N62°39'25"W	179.55'
T2	N74°49'16"W	124.65'
T3	N52°48'51"W	54.87'
T4	N13°29'28"W	106.12'
T5	N28°47'32"W	113.85'
T6	N70°45'54"W	75.52'
T7	S20°49'01"W	18.76'
T8	S72°02'26"W	57.69'
T9	S67°44'25"W	133.42'
T10	S54°42'11"W	56.01'
T11	S54°42'11"W	228.69'

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	62°38'25"	241.27'	433.48'	396.50'	412.22'	N86°01'23"E
C2	12°09'51"	45.66'	90.97'	428.50'	90.80'	S68°44'20"E
C3	90°00'38"	30.01'	47.13'	30.00'	42.43'	N60°10'25"E
C4	22°01'47"	554.36'	1095.03'	2848.00'	1088.30'	S26°10'15"W
C5	51°13'24"	325.73'	607.49'	679.50'	587.46'	N46°25'43"E
C6	17°21'21"	56.24'	111.62'	368.50'	111.20'	N63°22'51"E
C7	14°50'06"	20.90'	41.56'	160.50'	41.44'	N62°07'14"E
C8	14°50'06"	18.16'	36.12'	139.50'	36.02'	N62°07'14"E

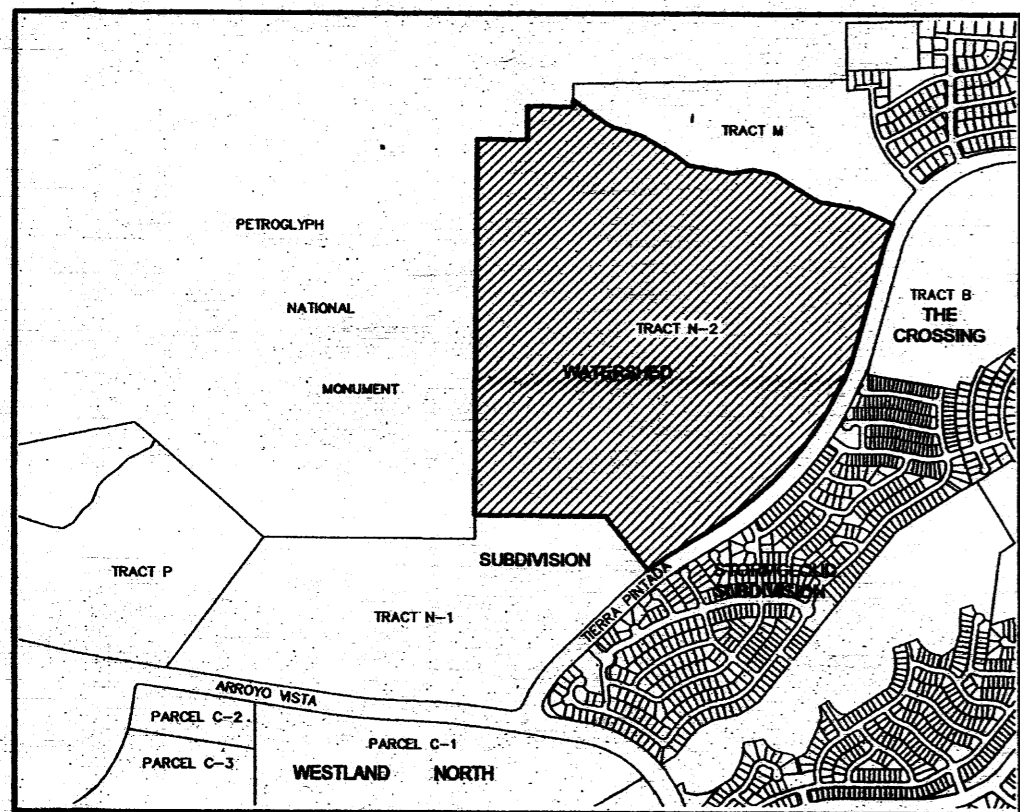
STORMCLOUD SUBDIVISION UNIT 3  
 FILED: JUNE 27, 2006 (2006C-204)



PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 12-31-13

PRELIMINARY PLAT  
 PULTE @ MIREHAVEN PHASE I  
 (REPLAT OF TRACT N-2-E)  
 ALBUQUERQUE, NEW MEXICO  
 NOVEMBER, 2013

ACS BRASS TABLET "REWARD 1969"  
 GEOGRAPHIC POSITION (NAD 1983)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N=1,487,364.063 E=1,491,190.819  
 GROUND TO GRID FACTOR = 0.999675005  
 DELTA ALPHA = -0°17'12.26"  
 NAVD 1988 ELEVATION = 5319.688



LOCATION MAP  
ZONE ATLAS INDEX MAP NO. H-8, H-9 & J-7  
NOT TO SCALE

**DESCRIPTION**

A certain tract of land located within the Town of Atrisco Grant, projected Sections 8, 9, & 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract "N-2", Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58.

This tract contains 237.7947 acres, more or less.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat.

WESTERN ALBUQUERQUE LAND HOLDINGS LLC,  
a Delaware limited liability company

BY: BARCLAYS CAPITAL REAL ESTATE INC.  
as Servicing Member

By: *Mark Wuest*  
Mark Wuest  
Vice President, Barclays Capital Real Estate Inc.

State of New York )  
SS  
County of New York)

This instrument was acknowledged before me on 1 day of August 2013, by Mark Wuest, Vice President of Barclays Capital Real Estate Inc., servicing member of Western Albuquerque Land Holdings LLC, a Delaware limited liability company.

My Commission Expires: August 1, 2016  
Notary Public

KRISTINA WALL  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01WA6258817  
Qualified in New York County  
My Commission Expires April 02, 2016

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

UTILITY APPROVALS:

*[Signature]* 8/23/13  
QWEST TELECOMMUNICATIONS DATE

COMCAST CABLE DATE

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS COMPANY DATE

CITY APPROVALS:

*[Signature]* 8-2-13  
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE

PARKS & RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE DATE

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*[Signature]*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: July 31, 2013



**Bohannon & Huston**  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

**SUBDIVISION DATA**

- DRB No.
- Zone Atlas Index Nos. H-8, H-9 & J-7.
- Gross Subdivision Acreage: 237.7947 acres.
- Total Number of Tracts Created: 6 Tracts.
- No Streets were created.
- Date of Survey: July, 2013.
- Plat is located within the Town of Atrisco Grant, within projected Sections 8, 9 & 17, T10N, R2E, NMPM.

**NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH.41". Bearing = N03°08'40"E
- Distances are ground distances.
- Record Bearings and distances are the same as shown on this plat and the same as shown on the Plat of Tracts N-1 & N-2, Watershed Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58.
- Record Bearings and distances of Dependant Resurvey and Metes and Bounds Survey for the Petroglyph National Monument, United States Department of the Interior, Bureau of Land Management, Santa Fe, New Mexico dated June 21, 1991 are shown in parenthesis.
- This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1519838-AL04, Effective Date: March 8, 2011.
- Portions of Tract N-2 are located in Flood Zones "AO" and "X", per FIRM Map Number 35001C0307H, Revised August 16, 2012 and FIRM Map Number 35001C0326G, Revised August 16, 2012.
- SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".
- Interior tract corners shall be monumented with a 5/8" rebar and plastic cap stamped "GROMATZKY PS 16469".

**PURPOSE OF PLAT**

The Purpose of this plat is to subdivide Tract N-2, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 9, 2012 in Book 2012C, page 58, into six (6) tracts and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

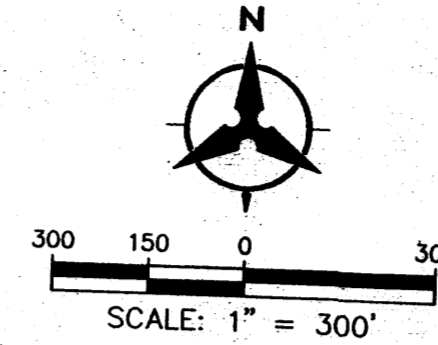
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PLAT OF  
TRACTS N-2-A, N-2-B, N-2-C  
N-2-D, N-2-E & N-2-F  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N-2, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2013**



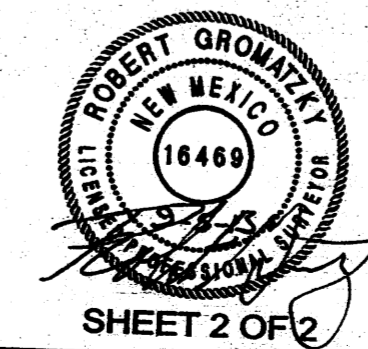
**LEGEND**

- ⊙ CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ⊗ FND-NO.5 REBAR NO CAP
- ⊙ FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16469"
- FND-BRASS CAP AS NOTED
- BOUNDARY LINE
- - - LOT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE

ID	BEARING	DISTANCE
T1	S55°05'53"E	408.99'
T2	S73°12'01"E	255.39'
T3	S80°03'22"E	338.94'
T4	S82°00'10"E	186.60'
T5	S79°54'17"E	393.07'
T6	N80°08'14"E	175.33'
T7	S78°18'21"E	201.85'
T8	S57°52'44"E	443.63'
T9	S80°39'34"E	361.04'
T10	S64°38'27"E	319.71'
T11	S58°31'45"W	339.78'
T12	S89°38'48"E	435.62'
T13	N00°16'32"E	300.02'
T14	S89°43'28"E	400.09'
T15	N00°17'20"E	56.11'
T21	S55°19'02"W	184.36'
T22	N36°12'11"W	63.99'
T23	N03°07'55"W	67.17'
T24	N17°57'34"W	39.10'
T25	S67°44'25"W	133.42'
T26	S72°02'26"W	57.69'
T27	N39°06'33"W	176.25'
T28	S50°16'30"W	33.41'
T29	S22°57'21"W	49.83'
T30	S13°38'44"W	104.00'
T31	N76°21'16"W	178.00'
T32	S13°38'44"W	45.07'
T33	N83°32'17"W	67.17'
T34	S85°37'22"W	67.32'
T35	S77°25'21"W	64.68'
T36	N64°14'53"W	147.78'
T37	N89°28'52"W	78.78'
T38	S20°49'01"W	257.31'
T39	N68°20'32"W	132.47'
T40	N74°04'48"W	65.49'
T41	N82°01'48"W	65.57'
T42	N87°47'56"W	65.57'
T43	S86°42'59"W	71.57'
T44	S83°18'14"W	51.79'
T45	S64°12'51"W	46.91'
T46	S20°49'01"W	238.55'
T47	N70°45'54"W	75.52'
T48	N28°47'32"W	113.85'
T49	N13°29'28"W	106.12'
T50	N52°48'51"W	54.87'
T51	S20°49'01"W	18.78'
T52	S54°42'11"W	56.01'
T53	N62°39'25"W	179.55'
T54	N74°49'16"W	124.65'
T55	N72°02'26"E	59.74'
T56	N71°05'08"E	120.02'
T57	N72°02'26"E	140.04'
T58	N80°51'58"E	143.44'
T59	S74°49'16"E	84.40'
T60	S74°49'16"E	150.91'
T61	N30°57'16"E	85.05'
T62	S15°10'44"E	81.70'
T63	N10°47'14"E	141.70'
T64	N35°48'46"E	54.53'

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	08°51'21"	96.95'	193.52'	1252.00'	193.32'	S21°24'31"W
C2	43°21'03"	1131.94'	2154.84'	2848.00'	2103.81'	S36°51'23"W
C3	06°41'04"	173.09'	345.79'	2964.00'	345.60'	S65°11'13"W
C7	22°30'36"	95.32'	188.19'	479.00'	186.98'	S44°03'44"W
C8	87°14'38"	23.83'	38.07'	25.00'	34.49'	S11°41'43"W
C9	02°29'36"	14.03'	28.06'	844.60'	28.08'	S30°40'47"E
C10	06°46'13"	27.06'	54.08'	457.50'	54.03'	S32°49'04"E
C11	33°04'15"	59.97'	116.59'	202.00'	114.98'	S19°40'03"E
C12	14°49'39"	20.49'	40.78'	157.50'	40.65'	S10°32'45"E
C13	89°58'54"	24.99'	39.28'	25.00'	35.35'	S62°57'01"E
C14	21°33'30"	129.37'	258.74'	679.50'	254.17'	S61°15'41"W
C15	29°39'55"	179.95'	359.82'	679.50'	347.90'	S35°38'59"W
C16	17°17'45"	109.58'	217.50'	720.50'	216.67'	S29°27'54"W
C17	05°37'21"	38.28'	76.49'	779.50'	76.46'	S35°18'06"W
C18	58°16'35"	434.54'	782.84'	779.50'	759.10'	S03°21'08"W
C19	21°20'26"	536.61'	1069.78'	2848.00'	1054.66'	S47°51'22"W
C20	63°53'55"	486.13'	889.33'	779.50'	824.98'	N06°09'48"E
C21	22°01'47"	554.36'	1095.03'	2848.00'	1088.30'	S26°10'15"W
C22	51°13'24"	325.73'	649.49'	679.50'	587.48'	N46°25'43"E
C23	17°21'21"	86.24'	116.22'	368.50'	111.20'	N63°22'51"E
C24	14°50'06"	20.90'	41.80'	160.50'	41.44'	N62°07'14"E
C25	14°50'06"	18.16'	36.12'	139.50'	36.02'	N62°07'14"E
C26	62°38'25"	241.27'	433.48'	396.50'	412.22'	N86°01'23"E
C27	12°09'51"	45.66'	90.97'	428.50'	90.80'	S68°44'20"E
C28	90°00'38"	30.01'	47.13'	30.00'	42.43'	N60°10'25"E
C29	35°11'22"	125.74'	243.52'	396.50'	239.71'	S72°17'52"W
C30	26°40'46"	118.56'	232.82'	500.00'	230.73'	S72°12'14"E
C31	75°45'59"	252.85'	429.77'	325.00'	399.14'	S47°39'38"E
C32	27°27'02"	96.84'	189.97'	396.50'	188.15'	N78°22'56"W
C34	01°43'56"	44.81'	89.61'	2964.00'	89.61'	N52°42'36"E
C35	74°47'08"	540.02'	922.16'	706.50'	858.08'	N00°43'12"E
C36	17°17'45"	120.68'	236.53'	793.50'	238.62'	N29°27'54"E
C37	51°13'24"	290.74'	542.22'	608.50'	524.34'	N46°25'43"E
C38	11°10'27"	60.80'	121.21'	621.50'	121.02'	N66°27'12"E
C39	44°18'46"	255.93'	499.06'	628.50'	474.06'	N83°01'21"E
C40	14°50'06"	18.16'	36.12'	139.50'	36.02'	S67°24'13"E
C41	14°50'06"	20.90'	41.80'	160.50'	41.44'	S67°24'13"E
C42	89°59'22"	28.99'	47.12'	30.00'	42.42'	S29°49'35"E
C43	05°02'17"	55.52'	110.97'	1262.00'	110.93'	S19°30'13"W

NOTE: There are "AO" flood zones on Tract N-2. See FIRM panels 35001C0307 and 35001C0326 for more information.



**Bohannan & Huston**  
7600 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO