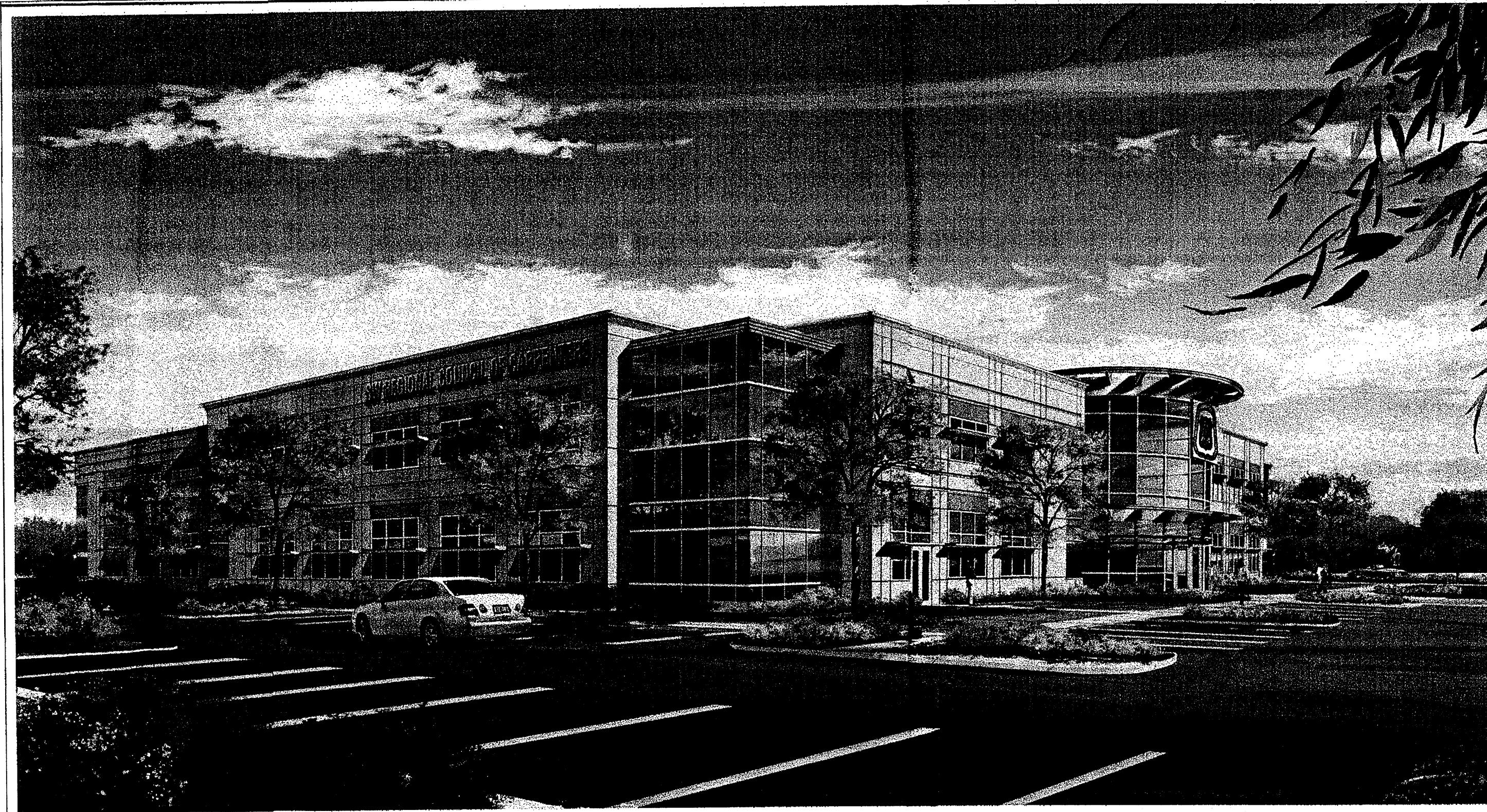


VICINITY MAP (G-16-Z)



RENDERING OF PROPOSED TRAINING CENTER - BUILDING A

PROPOSED DESIGN GUIDELINES:

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE INITIAL BUILDING THAT IS DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

- PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONING CODE.
- THE COLOR, MATERIALS AND ARCHITECTURE OF BUILDINGS IN PHASE II SHALL MATCH, OR ACHIEVE A CONTINUITY OF DESIGN WITH, BUILDING A IN PHASE I. THEY SHALL HAVE SIMILAR DETAILING OF WALL SURFACES, CANOPIES AND FENESTRATION.
- ACCENT COLORS FOR TRIM SHALL MATCH, OR BE COMPATIBLE WITH, THOSE OF BUILDING A IN PHASE I.
- BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS.
- SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS. ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.
- ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
- RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDINGS ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
- CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. AREA LIGHTING SHALL BE SUPPLEMENTED BY PEDESTRIAN-SCALE AND/OR BUILDING-MOUNTED LIGHTING, WHERE NECESSARY TO ILLUMINATE WALKWAYS, BUILDING ENTRANCES AND COMMON AREA. FIXTURES SHALL BE COMPATIBLE WITH AREA LIGHTING AND BUILDING ARCHITECTURE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE BASED ON A PHOTOMETRIC ILLUMINATION STUDY AND SUBMITTED DURING PLAN CHECK FOR FINAL APPROVAL.

LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 28' (25' POLE ON A 3' CONCRETE BASE). LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.

9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLEMENT THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET PER SIGN FACE, EXCEPT THAT ONE FREE-STANDING PYLON SIGN IS ALLOWED WITH A MAXIMUM OF 150 SQUARE FEET PER SIGN FACE. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

PROJECT NOTES

THE COLOR & STYLE OF FREESTANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE. MONUMENT & PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY. THE USE OF NEON IN SIGNS & AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED. THERE SHALL BE NO ILLUMINATED PLASTIC BANDING ON SIGNAGE.

10. VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

11. SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG VASSAR DRIVE.

12. PATIO AREAS SHALL BE PROVIDED AT ALL BUILDINGS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO PEDESTRIAN WAYS AT RESTAURANTS. MINIMUM SIZE TO BE 400 SQUARE FEET WITH 25% OF THE AREA COVERED. TREES W/ TREE GRATES & UMBRELLAS.

13. BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE BIKE SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE. FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

14. WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS. WALLS TO BE PAINTED SPLIT FACE CONCRETE BLOCK. ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

15. DIMENSIONS OF ALL PARKING SPACES SHALL COMPLY WITH ZONING REGULATIONS (SECTIONS 14-16-1-5 AND 14-16-3-1).

16. THE PROJECT INCORPORATES EXTERIOR LIGHT SHELVES & SUNSHADES (ITEM 9, SHEET A-3) TO SHADE EXCESS SUNLIGHT FROM LOWER WINDOWS WHILE REDIRECTING SUNLIGHT DEEPER INTO THE INTERIOR SPACES, TO REDUCE THE NEED FOR ARTIFICIAL ILLUMINATION. ADDITIONALLY, THE CARPENTER'S ALBUQUERQUE TRAINING CENTER WILL FURTHER THE CITY'S GOAL OF IMPROVING ENERGY MANAGEMENT AWARENESS & CONSERVING NATURAL RESOURCES BY THE INCLUSION OF ONGOING CARPENTER TRAINING PROGRAMS THAT TEACH THE STUDENTS THE LATEST METHODOLOGIES FOR THE INSTALLATION OF 'GREEN' PRODUCTS & SYSTEMS, RECYCLING OF BUILDING MATERIALS AND AWARENESS OF LEED STANDARDS & CONSTRUCTION MEANS & METHODS TO ACHIEVE BUILDING CERTIFICATION.

DESIGN STANDARDS:

- COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE TOTAL LOT AREA LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS.

6. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK. IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 5 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

7. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE.

8. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE.

9. SITE PLAN FOR BUILDING PERMIT FOR FUTURE BUILDINGS TO BE DELEGATED DOWN TO DRB.

PROJECT NUMBER: 1006865
APPLICATION NUMBER: 08-7911 (07EPG-40066)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11-18-07, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 8/5/08
Traffic Engineer, Transportation Division
Date

[Signature] 3-26-08
Water Utility Development, Albuquerque
Date

[Signature] 3/26/08
Parks & Recreation Department
Date

[Signature] 8/5/08
City Engineer
Date

* Environmental Health Department (conditional) Date

[Signature] 3/26/08
Solid Waste Management
Date

[Signature] 3/26/08
DRB Chairperson, Planning Department
Date

* Environmental Health, if necessary

APPROVAL

CARPENTERS CENTER

A MIXED USE CAMPUS FOR THE "SOUTHWEST REGIONAL COUNCIL OF CARPENTERS - ALBUQUERQUE TRAINING CENTER AND UNION OFFICES", AND FUTURE TENANT BUILDINGS. THE TRAINING CENTER BUILDING WILL BE CONSTRUCTED INITIALLY, FOLLOWED BY TENANT OFFICE BUILDINGS AND RESTAURANT AS LEASING PROGRESSES. THE QUALITY OF MATERIALS, FINISHES, AND DETAILS WILL BE CONSISTENT BETWEEN BUILDINGS.

PROJECT SCOPE

ARCHITECTURAL

- A-1 COVER SHEET
- A-2 SITE PLAN FOR BUILDING PERMIT
- A-3 EXTERIOR ELEVATIONS
- A-4 SITE DETAILS

CIVIL

- C-1 GRADING & DRAINAGE PLAN
- C-2 GRADING & DRAINAGE PLAN
- C-3 MASTER UTILITY PLAN
- C-4 DETAIL SHEET

LANDSCAPE

- L-1 MASTER LANDSCAPE PLAN
- L-2 ENLARGED LANDSCAPE PLAN - WEST
- L-3 ENLARGED LANDSCAPE PLAN - EAST
- L-4 LANDSCAPE DETAILS & LEGEND

SHEET INDEX

| | |
|-------------------------|---|
| OWNER | SOUTHWEST REGIONAL COUNCIL OF CARPENTERS 533 S. FREMONT AVE 10TH FLOOR LOS ANGELES, CA 90071 JUSTIN WEIDNER - 213-385-1457 213-385-3759 (FAX) |
| OWNER'S REPRESENTATIVE | SOUTHWEST REGIONAL COUNCIL OF CARPENTERS 533 S. FREMONT AVE 9TH FLOOR LOS ANGELES, CA 90071 RANDY SOWELL - 213-488-2957 213-488-2951 (FAX) |
| ARCHITECT | GIN WONG ASSOCIATES 4465 WILSHIRE BLVD. SUITE 100 LOS ANGELES, CA 90010 323-938-4422 323-938-4114 (FAX) |
| CONSTRUCTION CONSULTANT | EJM CONSULTANTS, INC 13810 CALLE DE LOS PINOS, SUITE A LAKE ELSINORE, CA 92530 951-678-2087 951-678-4057 (FAX) |
| CIVIL ENGINEER | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 505-858-3100 505-858-1118 (FAX) |
| LANDSCAPE | THE HILLTOP LANDSCAPE ARCHITECTS 7909 EDITH NE ALBUQUERQUE, NM 87184 505-898-9690 505-898-7737 (FAX) |

PROJECT TEAM

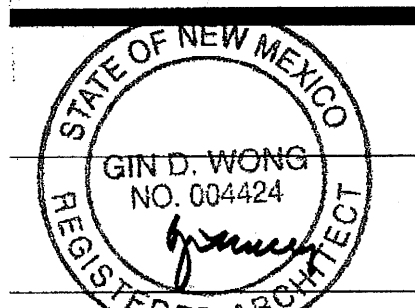
| | |
|--------------------|---|
| LEGAL DESCRIPTION: | TRACT A-1 COMANCHE BUSINESS PARK |
| AREA: | 15.7083 ACRES |
| USES: | OFFICE, RESTAURANT, TRAINING |
| ZONING: | M-1 (SC) LIGHT MANUFACTURING, SHOPPING CENTER |

SITE DATA

GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



COVER SHEET
CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
3900 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



ARCHITECT'S NEW MEXICO LICENSE # 4424

DRAWN BY
PHASE
EPC APPROVAL
SCALE
DATE
MARCH 24, 2008
JOB NUMBER
20705.00

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PLOT DATE - 3/24/2008 2:59 PM

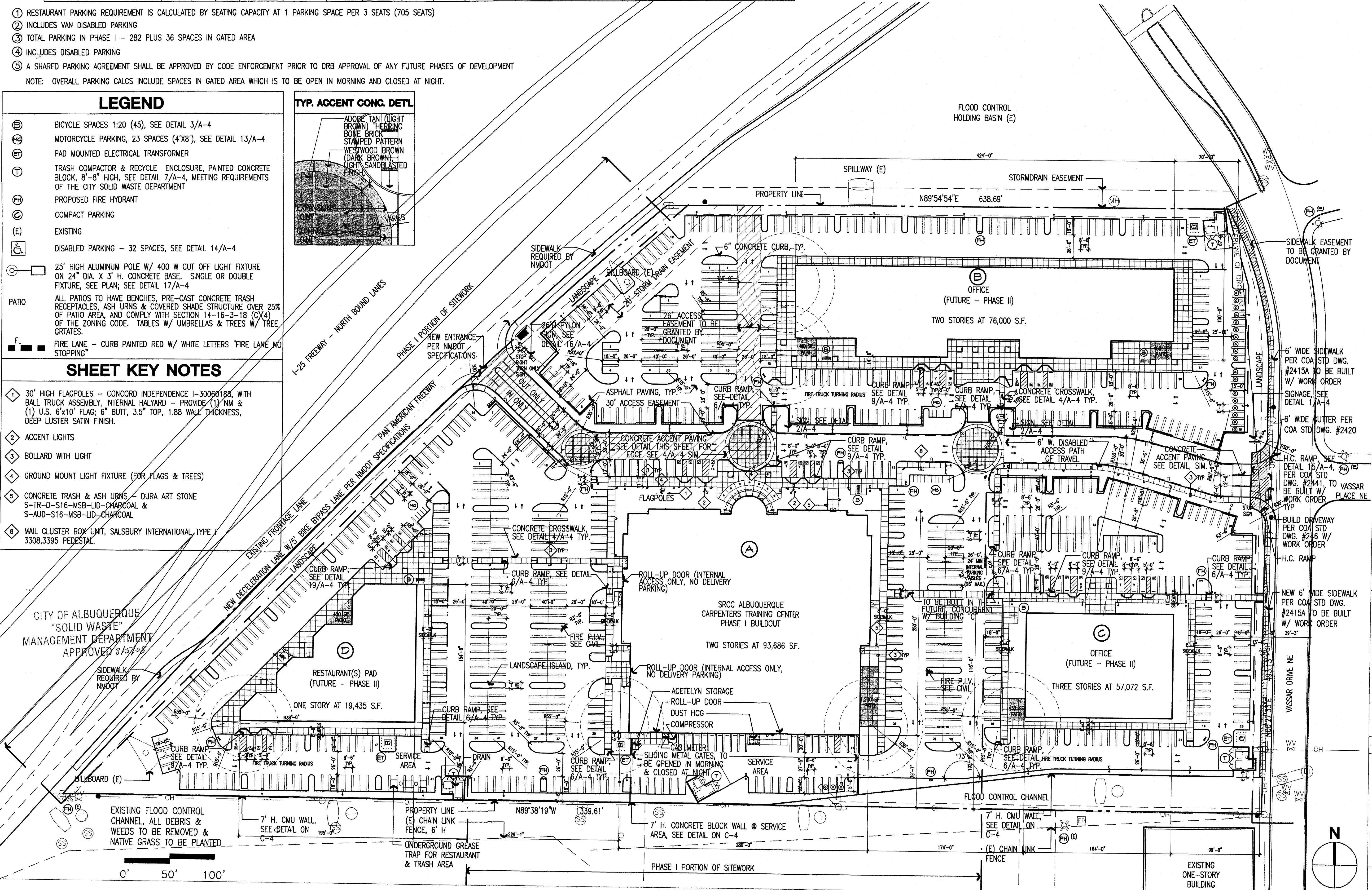
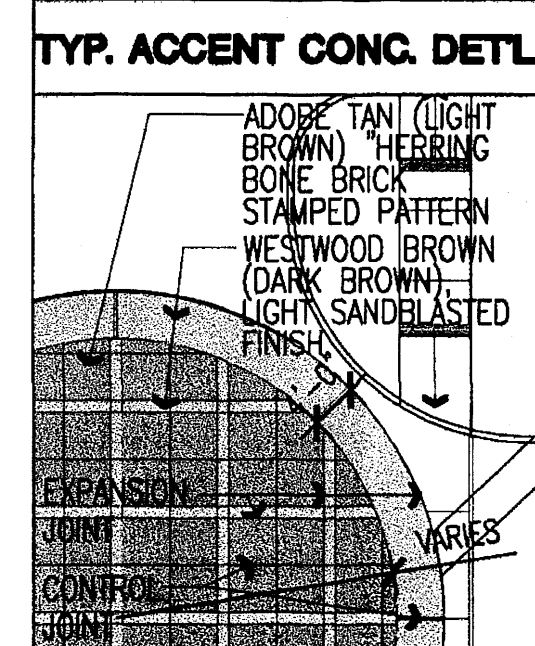
PROJECT # 1006865

| BUILDING | BUILDING AREA | PROPOSED USE | ZONING | ④ | | ① ③ ④ ⑤ | | ② | | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MAX. BLDG. HEIGHT | STORY | PATIO AREA | | | | |
|----------|---------------|----------------------------|----------|------------|-------------|------------------------|-------------------------|------------|----------------|------------------|-------------------|------------------------|-------------------------|-------------------|-------|------------|-------------|--------------|---|----------|
| | | | | PRKG. REQ. | PRKG. PROV. | SHARED PARKING 7AM-6PM | SHARED PARKING 6PM-12AM | PRKG. REQ. | HC PRKG. PROV. | | | | | | | | HC VAN REQ. | HC VAN PROV. | | |
| A | 93,686 | OFFICE & TRAINING ASSEMBLY | M-1 (SC) | 180 | 113 | 90% | 162 | 5% | 9 | 8 | 8 | 2 | 2 | 9 | 10 | 5 | 6 | 50' | 2 | 1,200 SF |
| B | 76,000 | OFFICE (FUTURE) | M-1 (SC) | 317 | 277 | 100% | 317 | 50% | 159 | 8 | 8 | 2 | 2 | 15 | 10 | 6 | 6 | 50' | 2 | 800 SF |
| C | 57,072 | OFFICE (FUTURE) | M-1 (SC) | 221 | 180 | 100% | 221 | 50% | 111 | 8 | 8 | 2 | 2 | 11 | 10 | 5 | 6 | 65' | 3 | 400 SF |
| D | 19,435 | RESTAURANT(S) (FUTURE) | M-1 (SC) | 235 | 224 | 70% | 165 | 100% | 235 | 8 | 8 | 2 | 2 | 8 | 10 | 5 | 5 | 36' | 1 | 400 SF |
| TOTAL | 245,193 | | | 1091 | 881 | 865 | 651 | 32 | 32 | 8 | 8 | 8 | 8 | 43 | 45 | 21 | 23 | | | 2,800 SF |

- ① RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY AT 1 PARKING SPACE PER 3 SEATS (705 SEATS)
 - ② INCLUDES VAN DISABLED PARKING
 - ③ TOTAL PARKING IN PHASE I - 282 PLUS 36 SPACES IN GATED AREA
 - ④ INCLUDES DISABLED PARKING
 - ⑤ A SHARED PARKING AGREEMENT SHALL BE APPROVED BY CODE ENFORCEMENT PRIOR TO DRB APPROVAL OF ANY FUTURE PHASES OF DEVELOPMENT
- NOTE: OVERALL PARKING CALCS INCLUDE SPACES IN GATED AREA WHICH IS TO BE OPEN IN MORNING AND CLOSED AT NIGHT.

- ### LEGEND
- (B) BICYCLE SPACES 1:20 (45), SEE DETAIL 3/A-4
 - (M) MOTORCYCLE PARKING, 23 SPACES (4'x8'), SEE DETAIL 13/A-4
 - (E) PAD MOUNTED ELECTRICAL TRANSFORMER
 - (T) TRASH COMPACTOR & RECYCLE ENCLOSURE, PAINTED CONCRETE BLOCK, 8'-8" HIGH, SEE DETAIL 7/A-4, MEETING REQUIREMENTS OF THE CITY SOLID WASTE DEPARTMENT
 - (FH) PROPOSED FIRE HYDRANT
 - (C) COMPACT PARKING
 - (E) EXISTING
 - (D) DISABLED PARKING - 32 SPACES, SEE DETAIL 14/A-4
 - (P) 25' HIGH ALUMINUM POLE W/ 400 W CUT OFF LIGHT FIXTURE ON 24" DIA. X 3" H. CONCRETE BASE. SINGLE OR DOUBLE FIXTURE, SEE PLAN; SEE DETAIL 17/A-4
- PATIO
ALL PATIOS TO HAVE BENCHES, PRE-CAST CONCRETE TRASH RECEPTACLES, ASH URNS & COVERED SHADE STRUCTURE OVER 25% OF PATIO AREA, AND COMPLY WITH SECTION 14-16-3-18 (C)(4) OF THE ZONING CODE. TABLES W/ UMBRELLAS & TREES W/ TREE GRATES.
- FL FIRE LANE - CURB PAINTED RED W/ WHITE LETTERS "FIRE LANE NO STOPPING"

- ### SHEET KEY NOTES
- 1 30' HIGH FLAGPOLES - CONCORD INDEPENDENCE I-30060188, WITH BALL TRUCK ASSEMBLY, INTERNAL HALYARD - PROVIDE (1) NM & (1) U.S. 6"x10" FLAG; 6" BUTT, 3.5" TOP, 1.88 WALL THICKNESS, DEEP LUSTER SATIN FINISH.
 - 2 ACCENT LIGHTS
 - 3 BOLLARD WITH LIGHT
 - 4 GROUND MOUNT LIGHT FIXTURE (FOR FLAGS & TREES)
 - 5 CONCRETE TRASH & ASH URNS - DURA ART STONE
S-TR-D-S16-MSB-LID-CHARCOAL &
S-AUD-S16-MSB-LID-CHARCOAL
 - 6 MAIL CLUSTER BOX UNIT, SALSBURY INTERNATIONAL TYPE 1 3308,3395 PEDESTAL.



SITE PLAN FOR BUILDING PERMIT

CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
3900 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107

STATE OF NEW MEXICO
GIN D. WONG
NO. 004424
REGISTERED ARCHITECT
ARCHITECT'S NEW MEXICO
LICENSE # 4424

DRAWN BY

PHASE

EPC APPROVAL

SCALE

DATE

MARCH 24, 2008

JOB NUMBER

20705.00

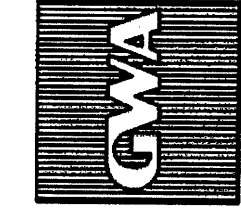
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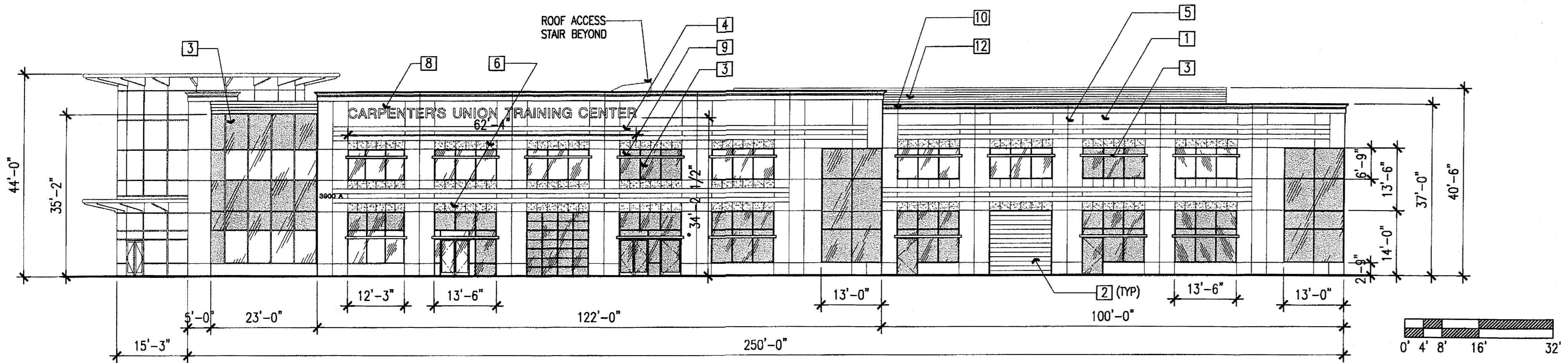
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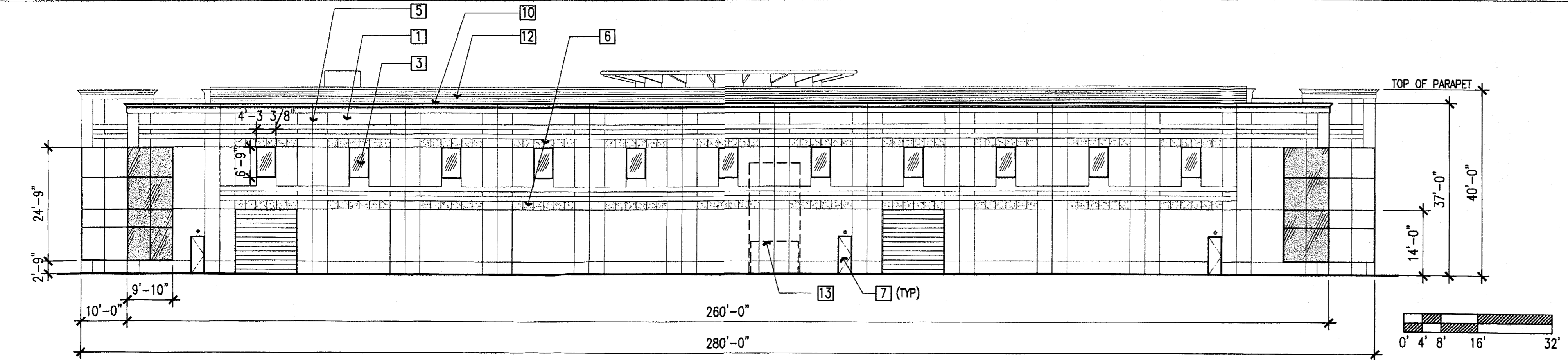
GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422





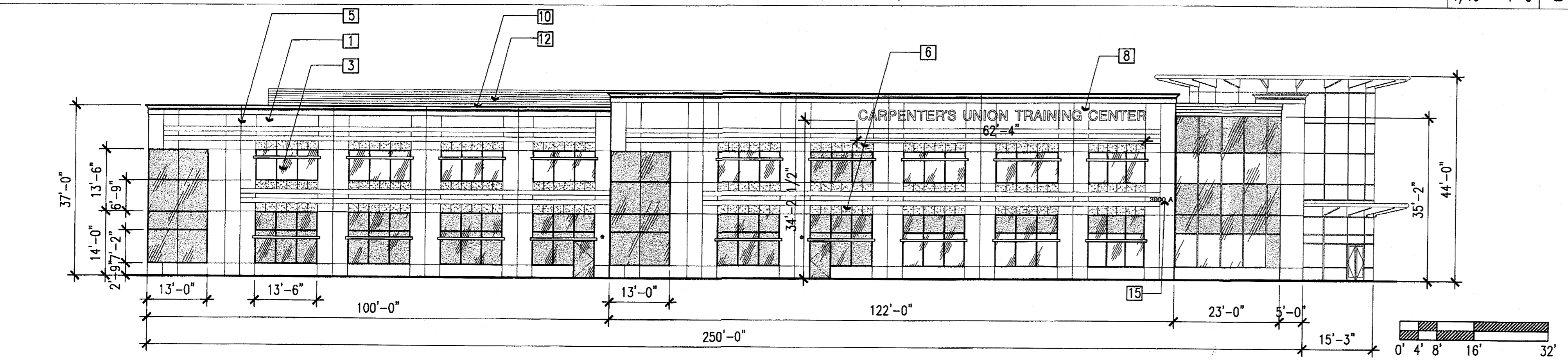
WEST ELEVATION (ELEV. FACING I-25)

SCALE: 1/16" = 1'-0" **4**



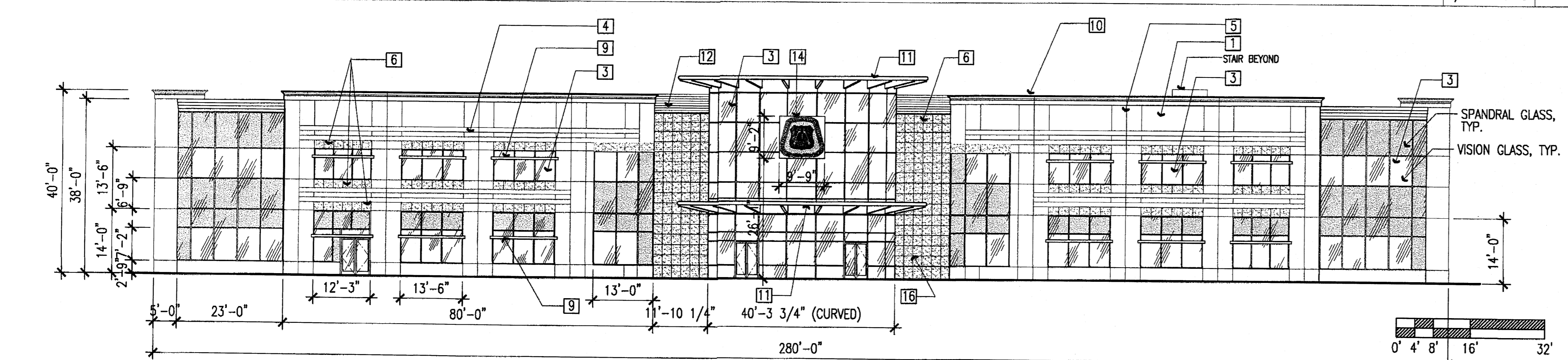
SOUTH ELEVATION (REAR)

SCALE: 1/16" = 1'-0" **3**



EAST ELEVATION (ELEV. FACING VASSAR DRIVE NE)

SCALE: 1/16" = 1'-0" **2**

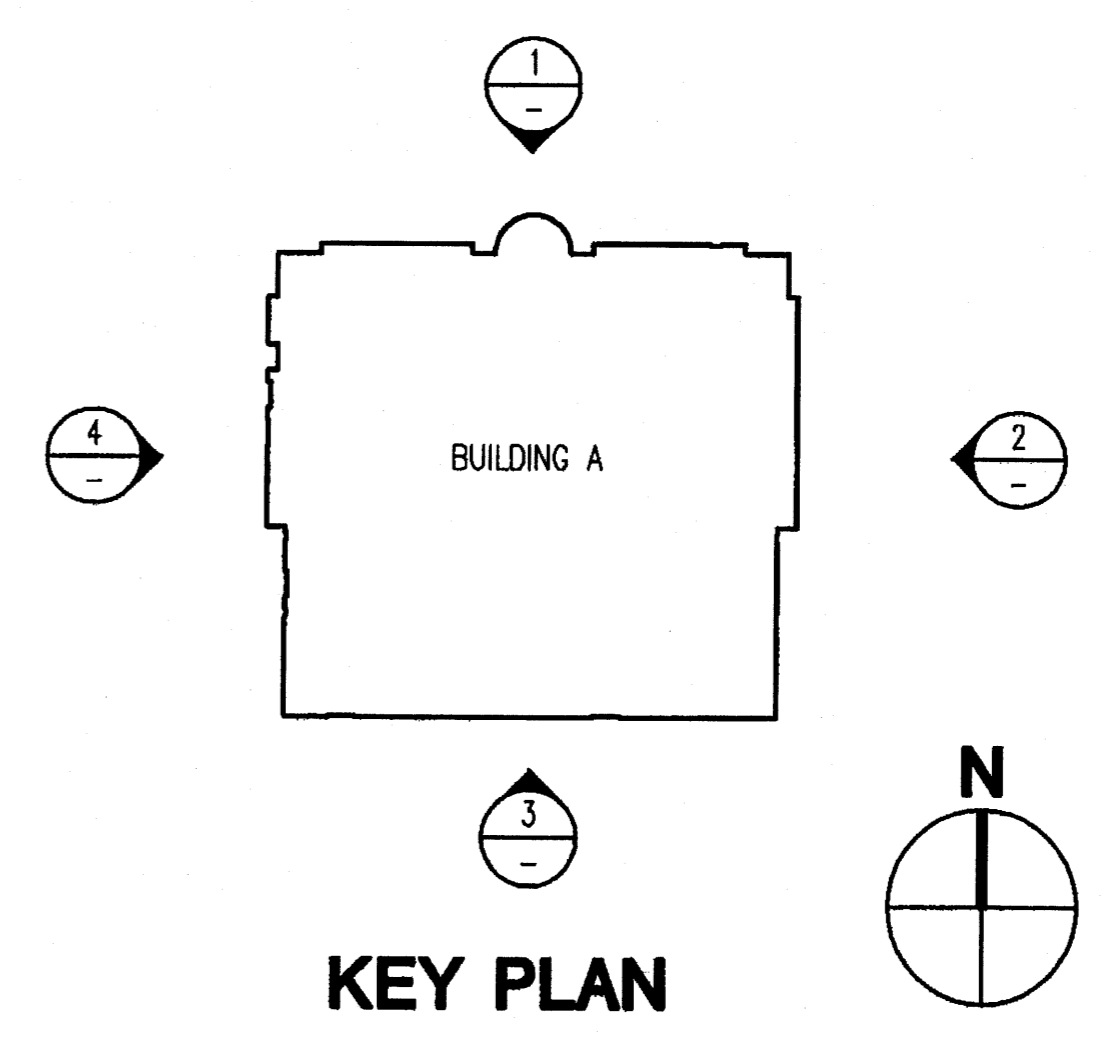


NORTH ELEVATION (FRONT)

SCALE: 1/16" = 1'-0" **1**

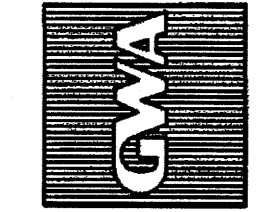
LEGEND

- 1 TILT UP CONCRETE PANEL W/ PAINTED FINISH, PT-7, DE 747 "SAHARA" (LIGHT BEIGE)
- 2 OVERHEAD COILING INSULATED ROLL UP DOOR, FACTORY FINISH POWDER COAT, MATCH PT-7
- 3 ALUMINUM & INSULATED GLASS WINDOW, FACTORY FINISH CLASS 1 CLEAR ANODIZED FINISH, 1/4" PPG SOLARCOOL CARIBIA, 1/2" AIR SPACE, 1/4" SOLARBAN 60 LOW E CLEAR GLASS
- 4 CONCRETE REVEAL
- 5 PANEL JOINT
- 6 STONE VENEER 5/8" THK. CHOCOLATE BROWN SANDSTONE
- 7 HOLLOW METAL DOOR & FRAME, PAINT TO MATCH WALL (SEMIGLOSS)
- 8 ILLUMINATED SIGNAGE 3' HIGH FABRICATED ALUMINUM LETTERS WITH BRONZE POWDERCOAT FINISH, WITH HALO ILLUMINATION. SIGN FACE AREA 187 SF (FACADE AREA 9,250 SF, ALLOWABLE SIGNAGE AREA 555 SF). VARIANCE REQUESTED TO ALLOW WALL SIGN TO EXCEED 30' HIGH TO BE COMPATIBLE WITH DESIGN OF EXTERIOR ELEVATION.
- 9 ALUMINUM LIGHT SHELF FOR INTERIOR DAYLIGHTING (COLOR TO MATCH CLASS 1 CLEAR ANODIZED ALUMINUM)
- 10 CORNICE, PT-6, DE 6123 "TRAIL DUST" (DARK BEIGE)
- 11 ALUMINUM FEATURE ELEMENT (COLOR TO MATCH CLASS 1 CLEAR ANODIZED ALUMINUM)
- 12 PAINTED METAL MECHANICAL EQUIPMENT SCREEN, PT-7
- 13 DUST HOG METAL DECK SCREEN, PAINTED TO MATCH BUILDING, PT-7
- 14 INTERNALLY ILLUMINATED SIGNAGE WITH CARPENTER LOGO. SIGN FACE AREA 90 SF (FACADE AREA 10,260 SF, ALLOWABLE SIGNAGE AREA 615 SF). VARIANCE REQUESTED TO ALLOW WALL SIGN TO EXCEED 30' HIGH TO BE COMPATIBLE WITH DESIGN OF EXTERIOR ELEVATION.
- 15 BUILDING ADDRESS, WITH 12" HIGH CAST ALUMINUM LETTERS, DARK BRONZE POWDERCOAT
- 16 FIRE DEPARTMENT "KNOX BOX"

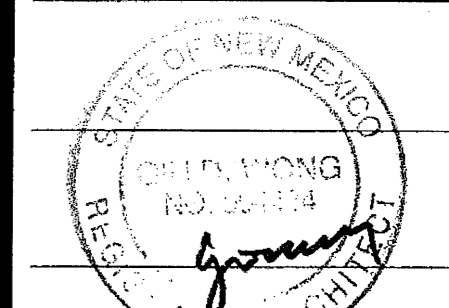


KEY PLAN

GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
 4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 939-4422



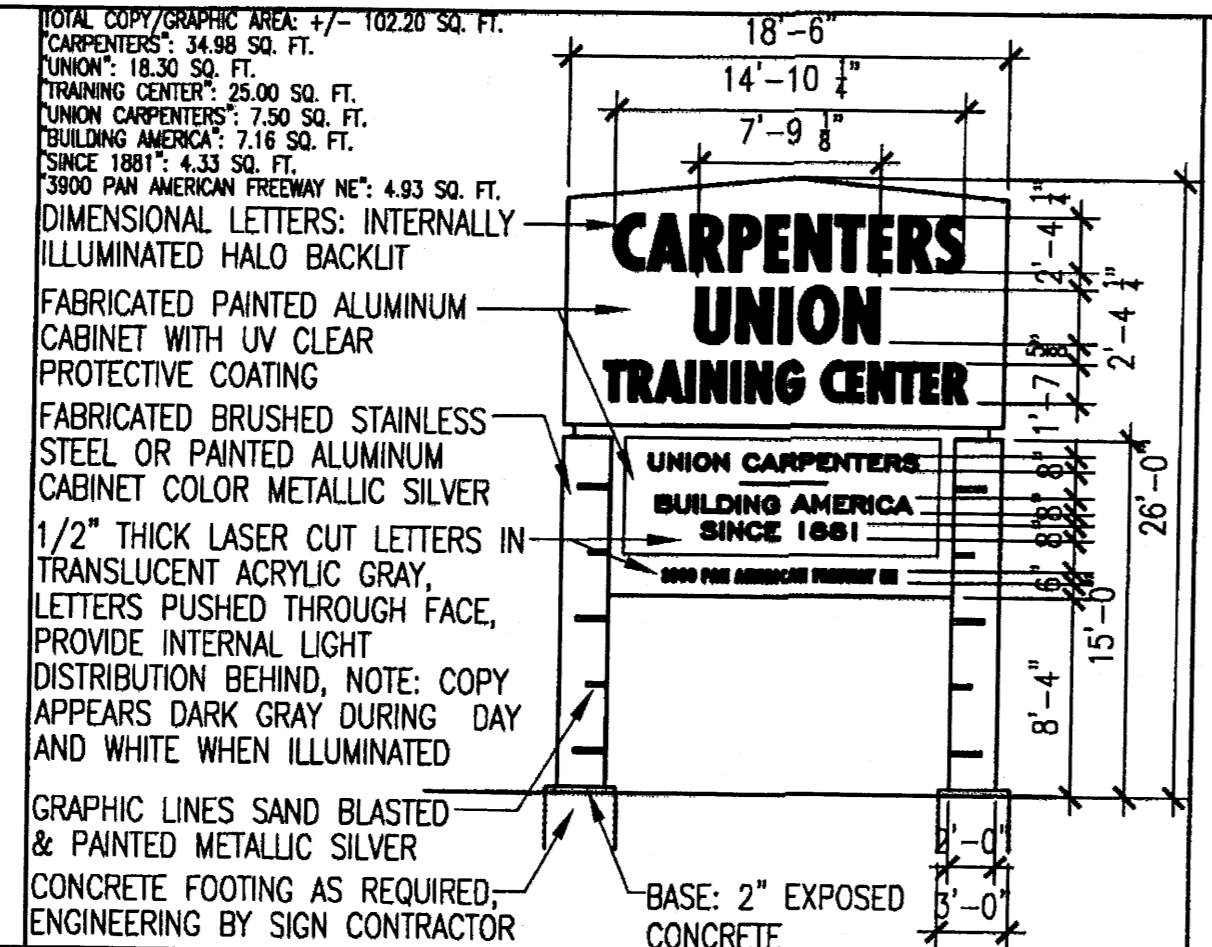
EXTERIOR ELEVATIONS
CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
 3900 PAN AMERICAN FREEWAY NE
 ALBUQUERQUE, NEW MEXICO 87107



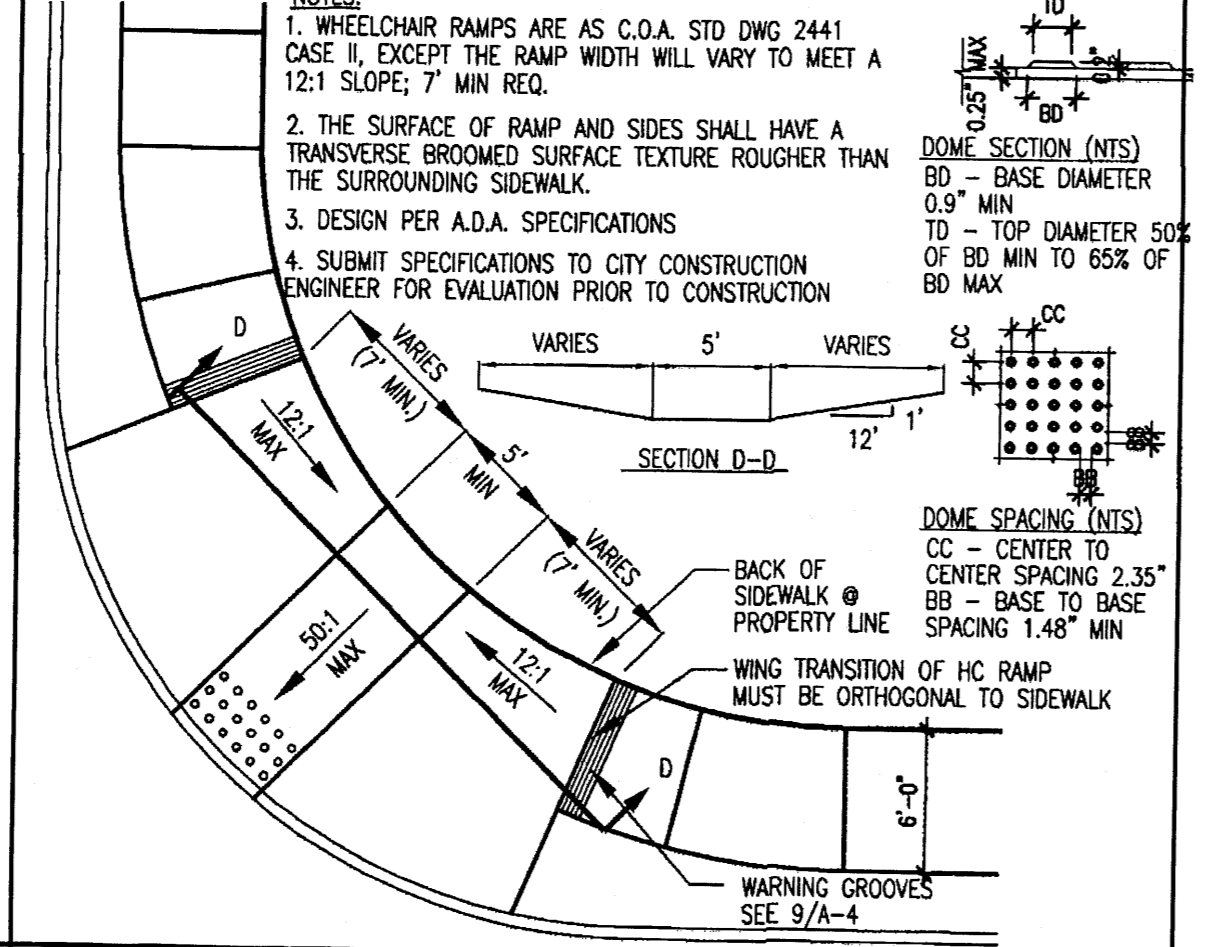
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 JOB NUMBER
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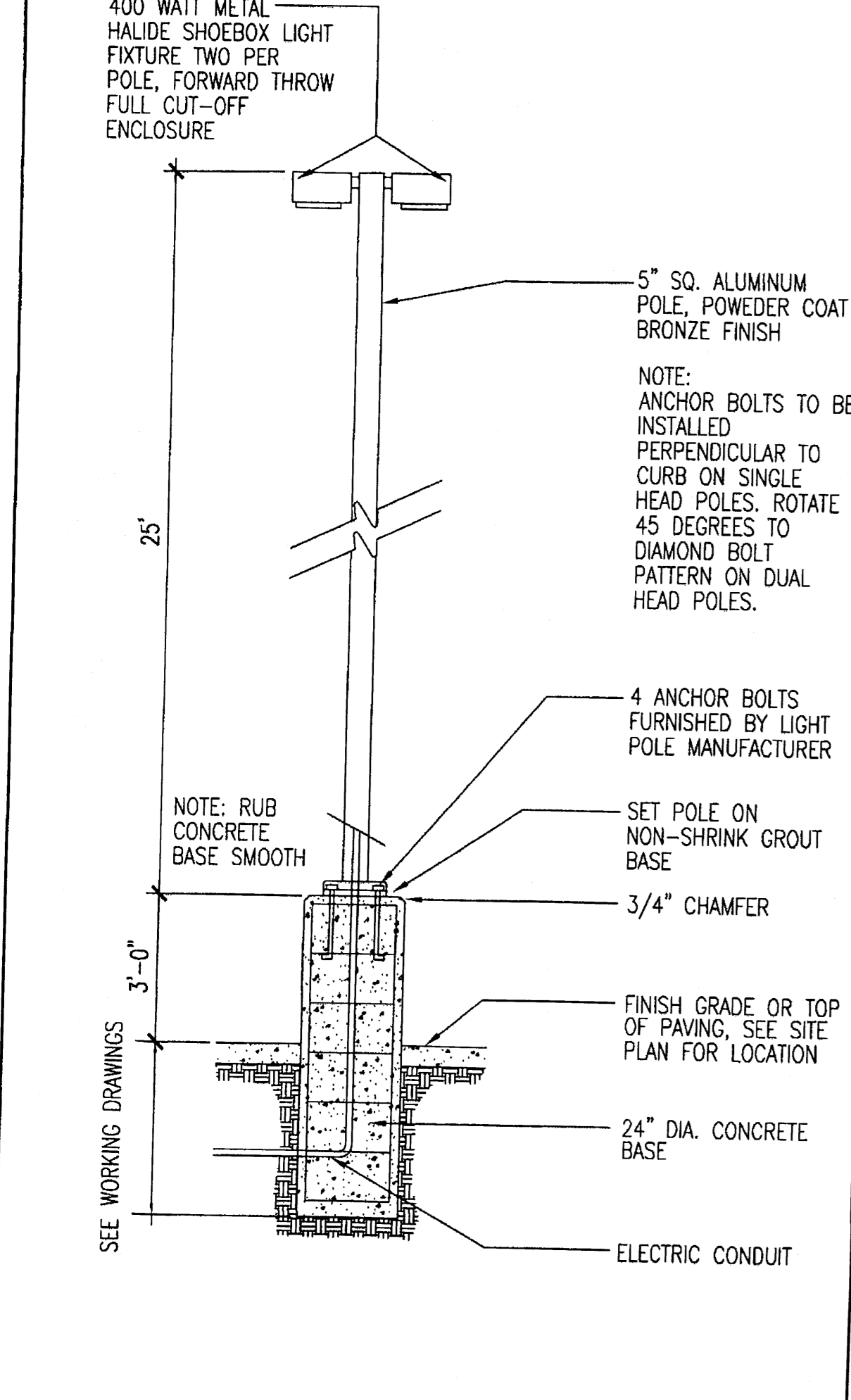
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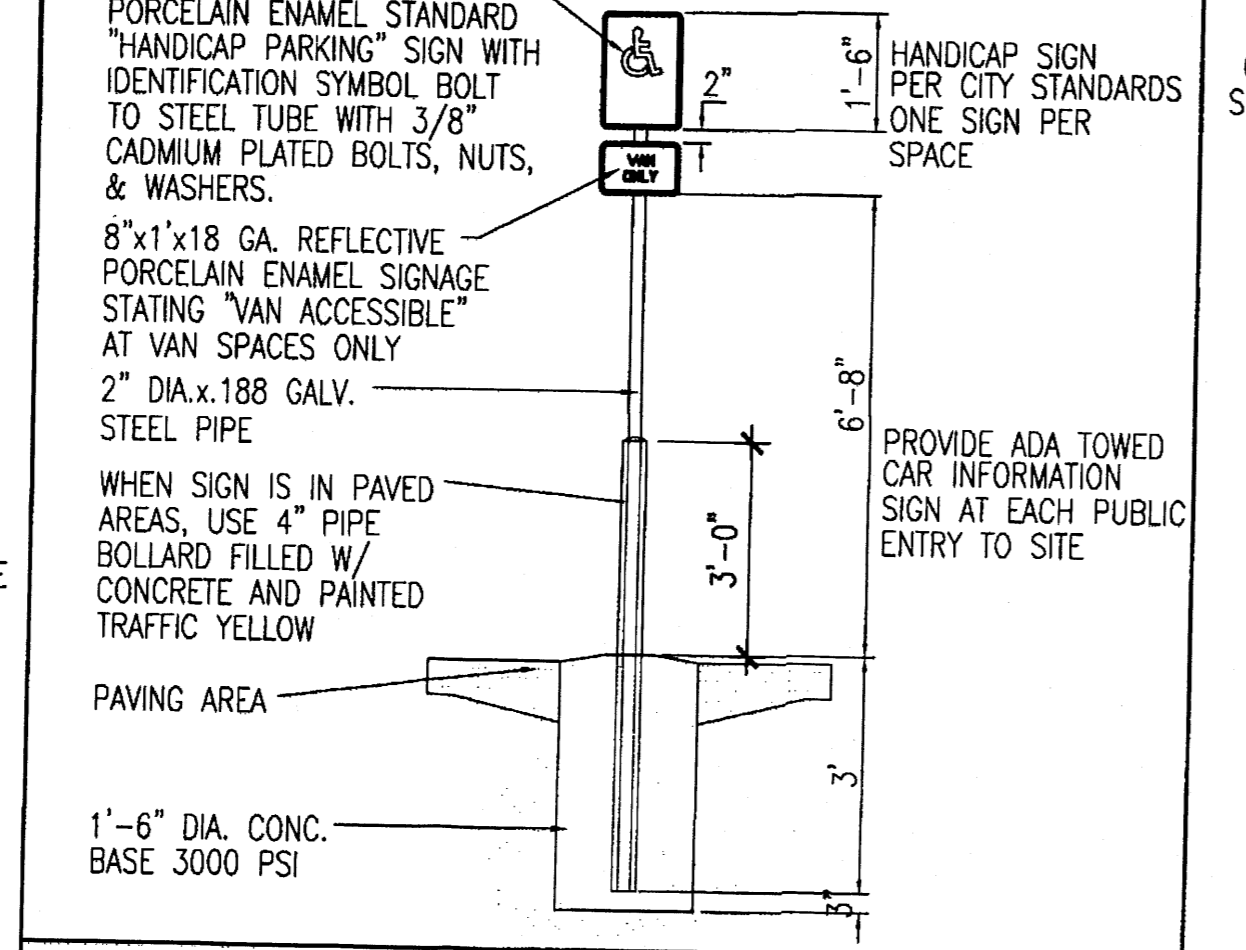
PYLON SIGN SCALE: 1/8"=1'-0" **16**



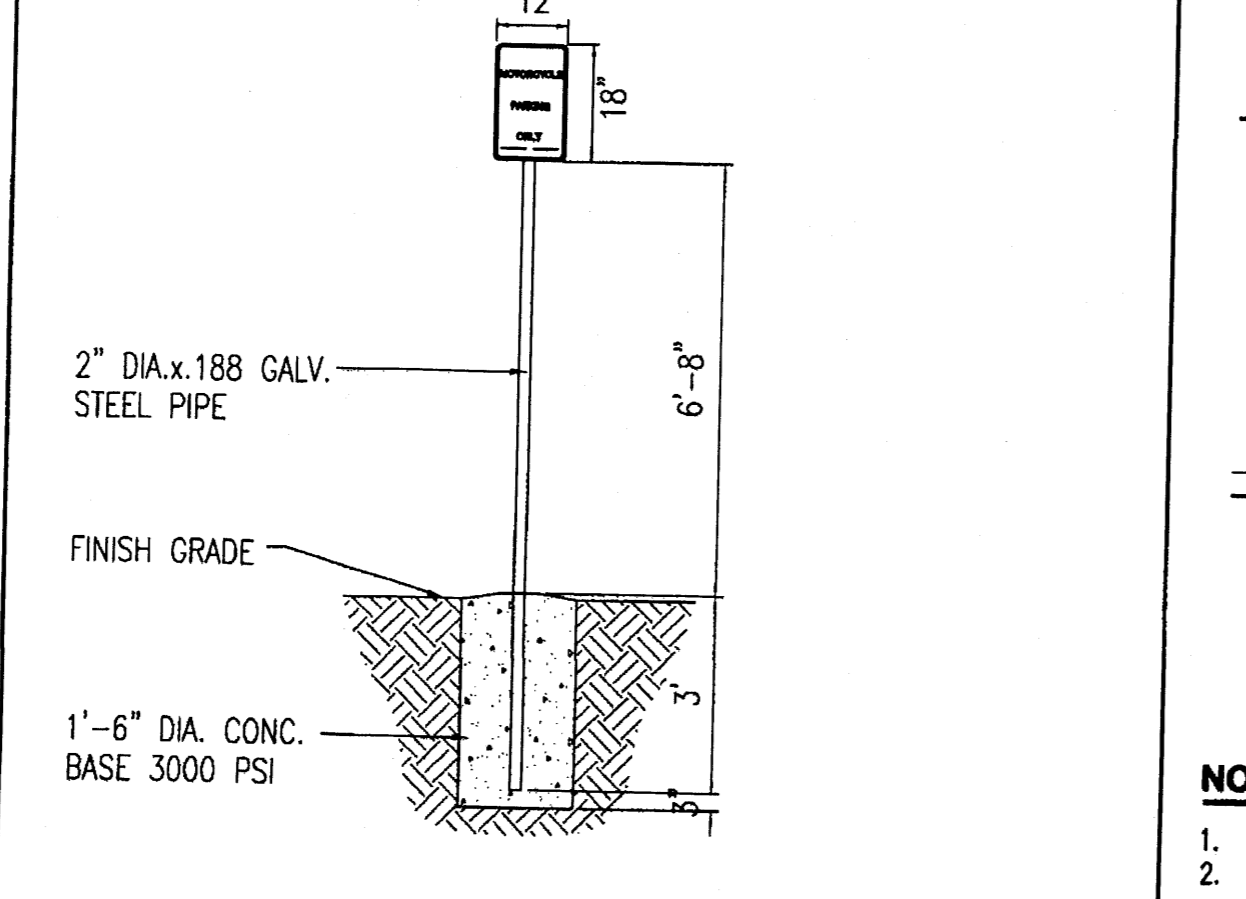
WHEELCHAIR RAMP SCALE: 1/8"=1'-0" **15**



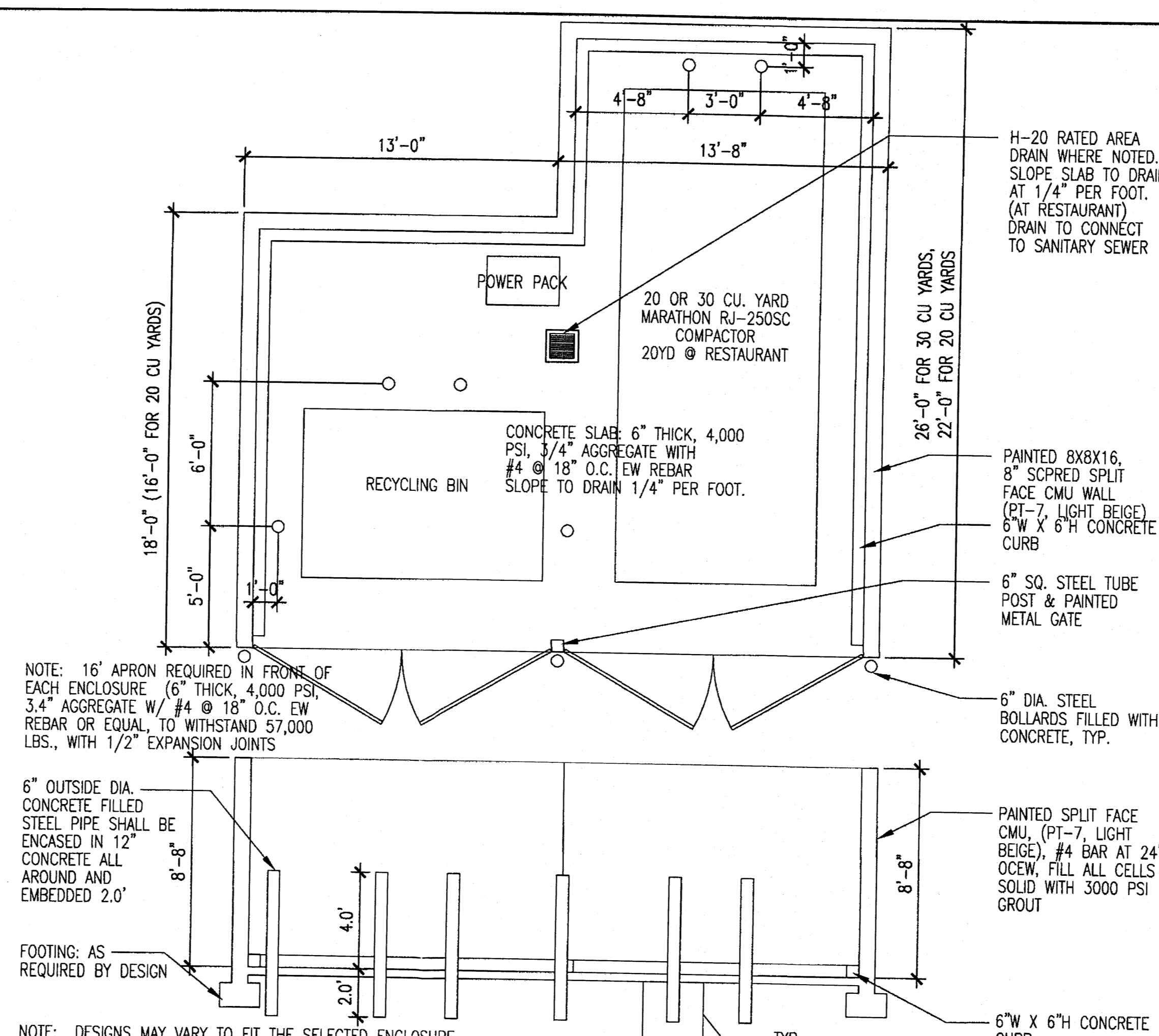
TYPICAL LIGHT POLE SCALE: 3/8"=1'-0" **17**



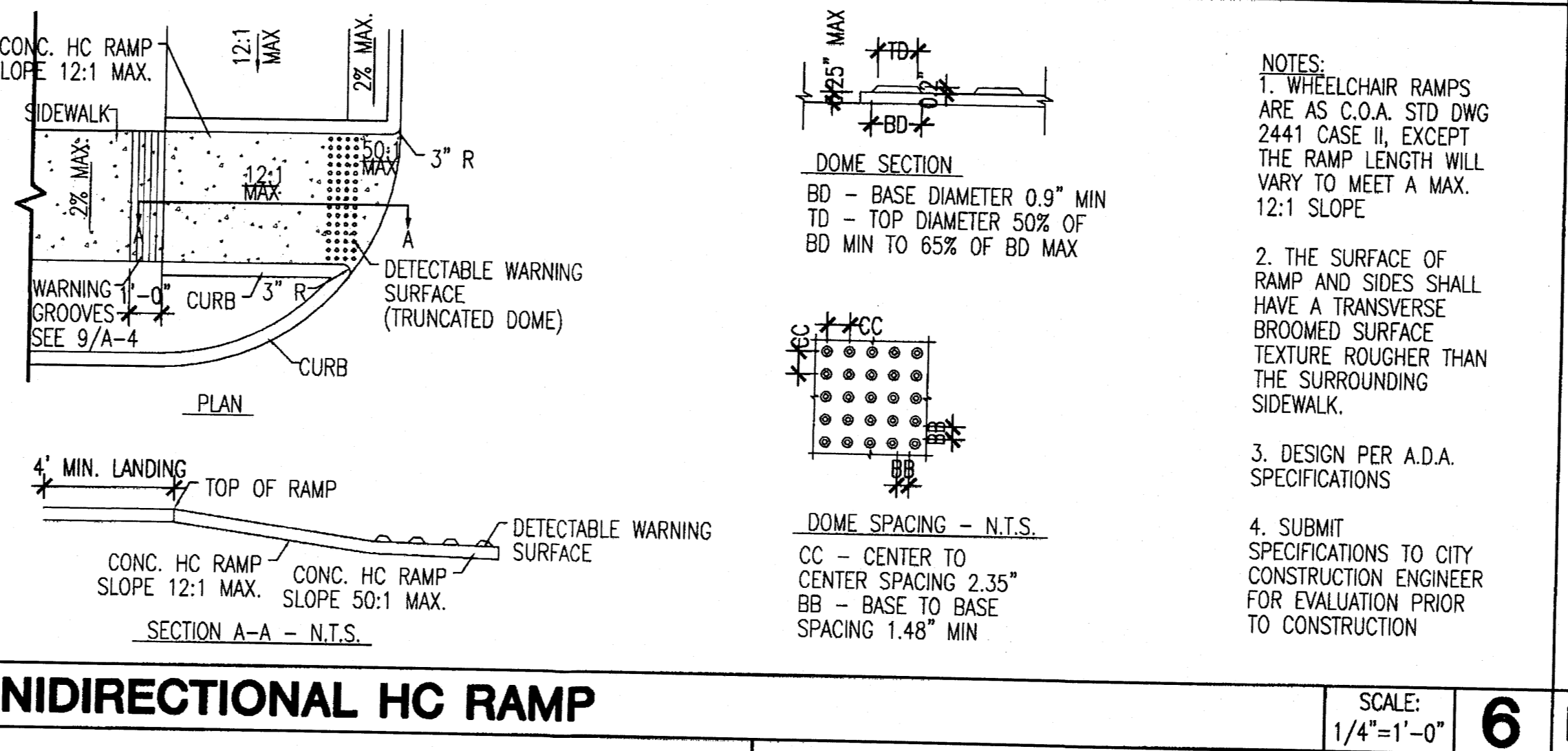
HANDICAP SIGN SCALE: 3/8"=1'-0" **14**



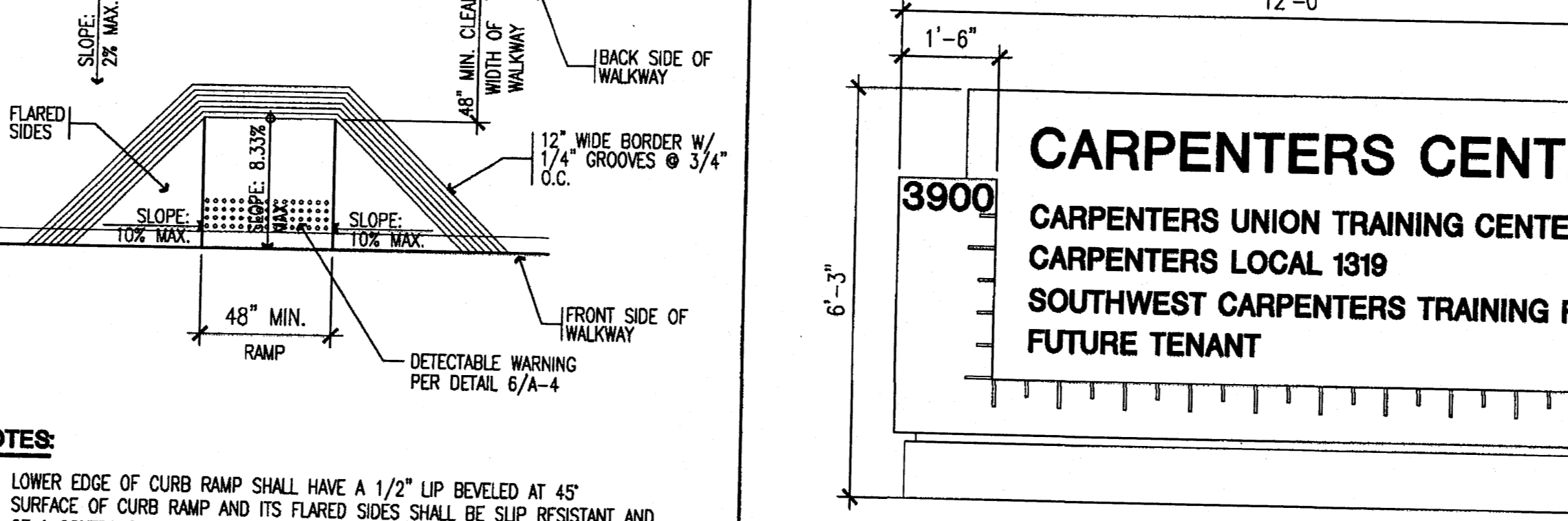
MOTORCYCLE PARKING SIGN SCALE: 3/8"=1'-0" **13**



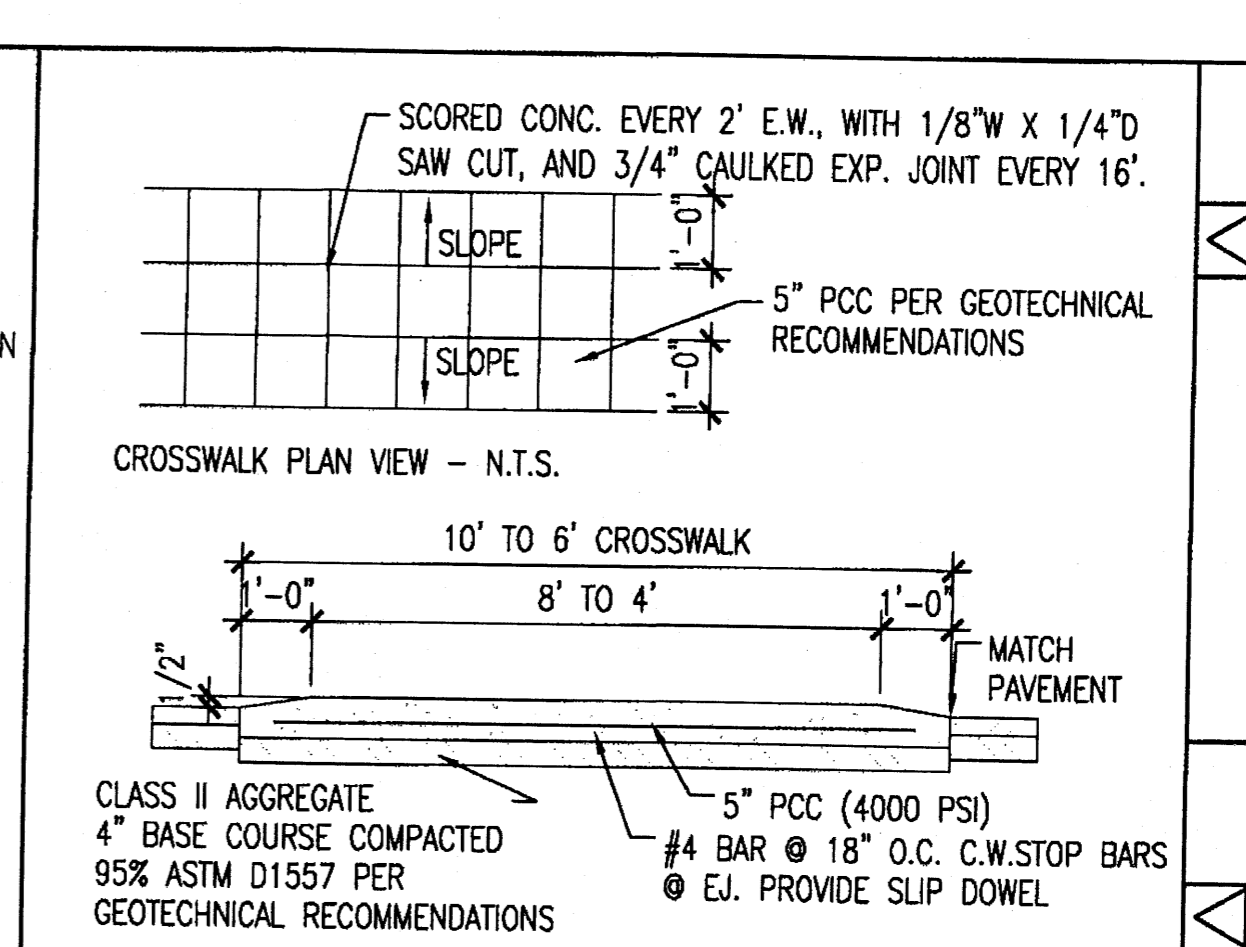
DOUBLE DUMPSTER ENCLOSURE DETAIL SCALE: 1/4"=1'-0" **7**



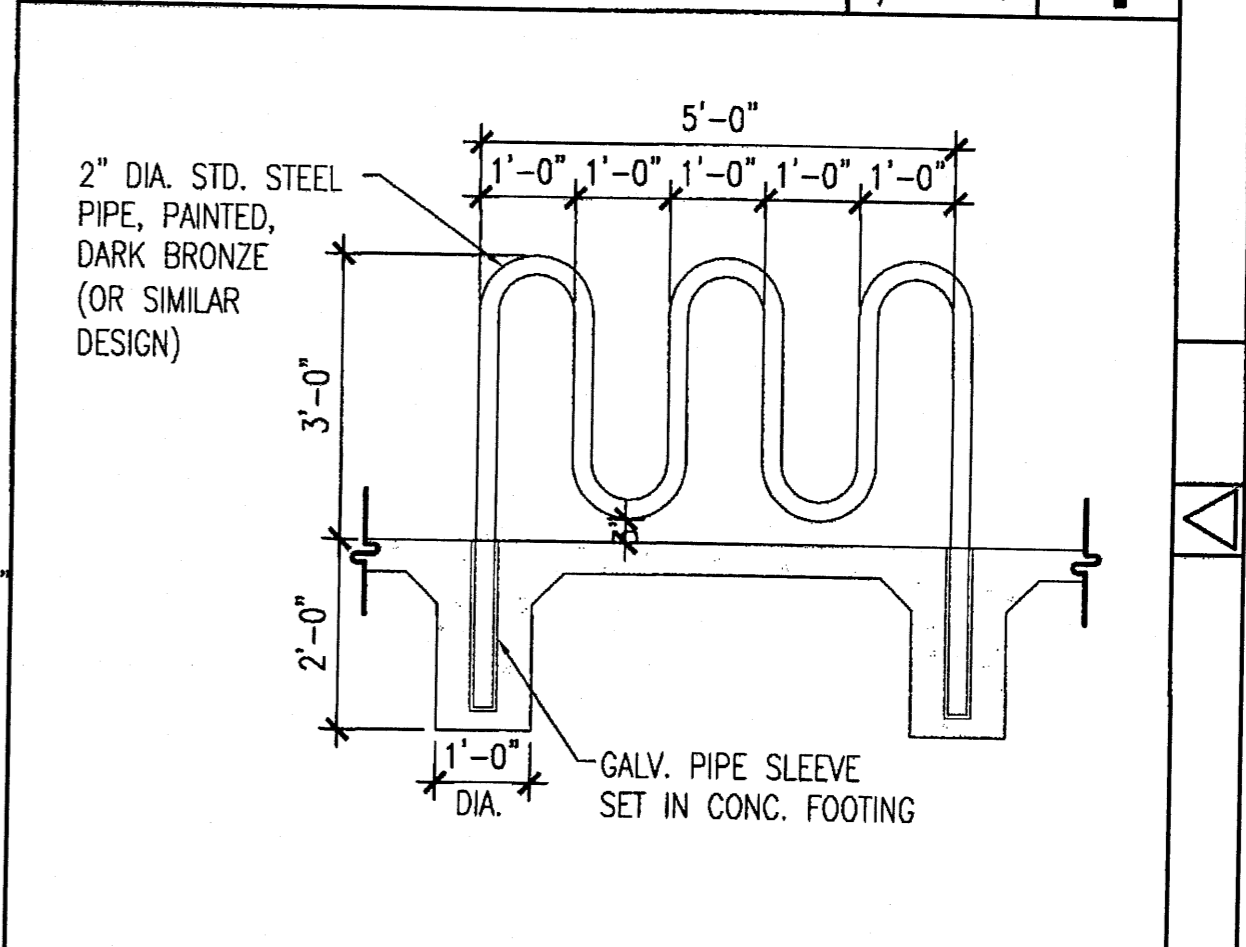
UNIDIRECTIONAL HC RAMP SCALE: 1/4"=1'-0" **6**



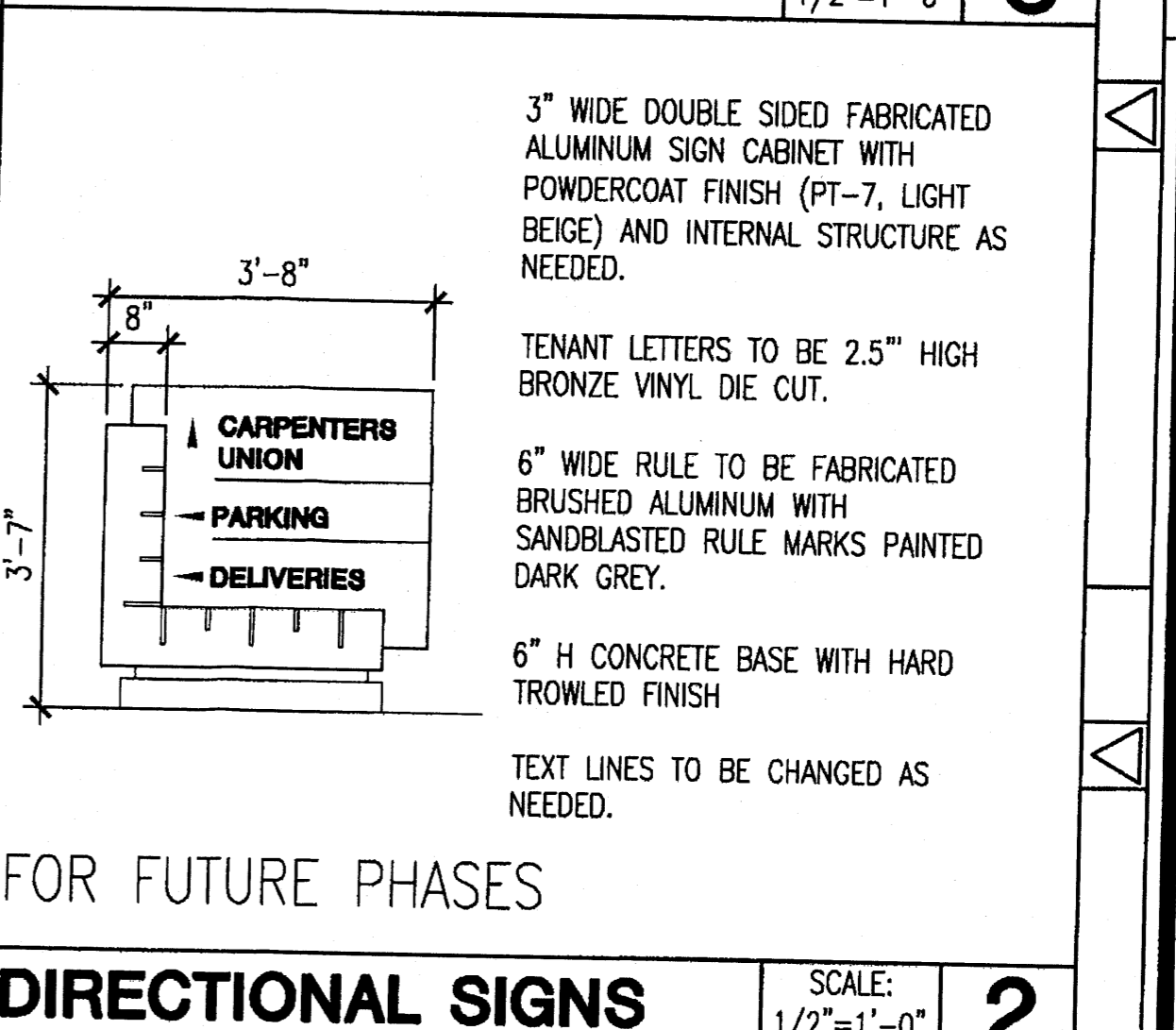
CURB RAMP DETAIL SCALE: 1/4"=1'-0" **9**



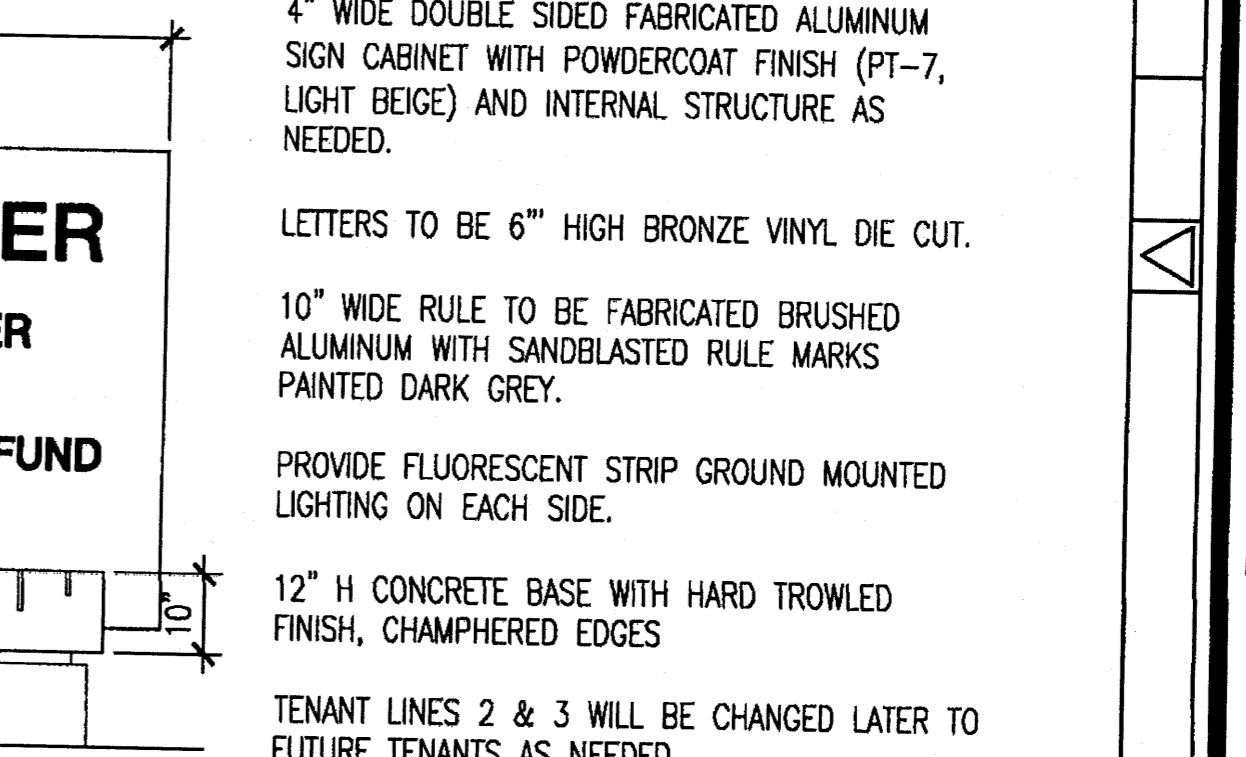
RAISED CROSSWALK SCALE: 3/8"=1'-0" **4**



BIKE RACK DETAIL SCALE: 1/2"=1'-0" **3**



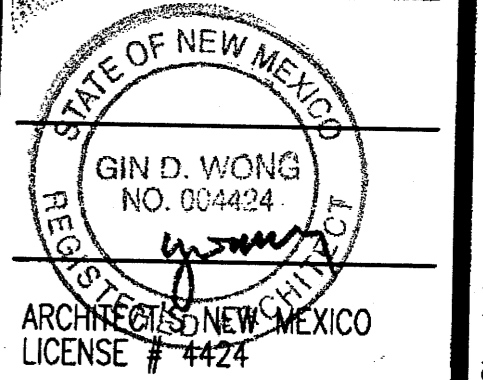
DIRECTIONAL SIGNS SCALE: 1/2"=1'-0" **2**



MONUMENT SIGN DETAIL SCALE: 1/2"=1'-0" **1**

GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 939-4422

CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
3900 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



SITE DETAILS

DRAWN BY: _____

PHASE: _____

EPC APPROVAL: _____

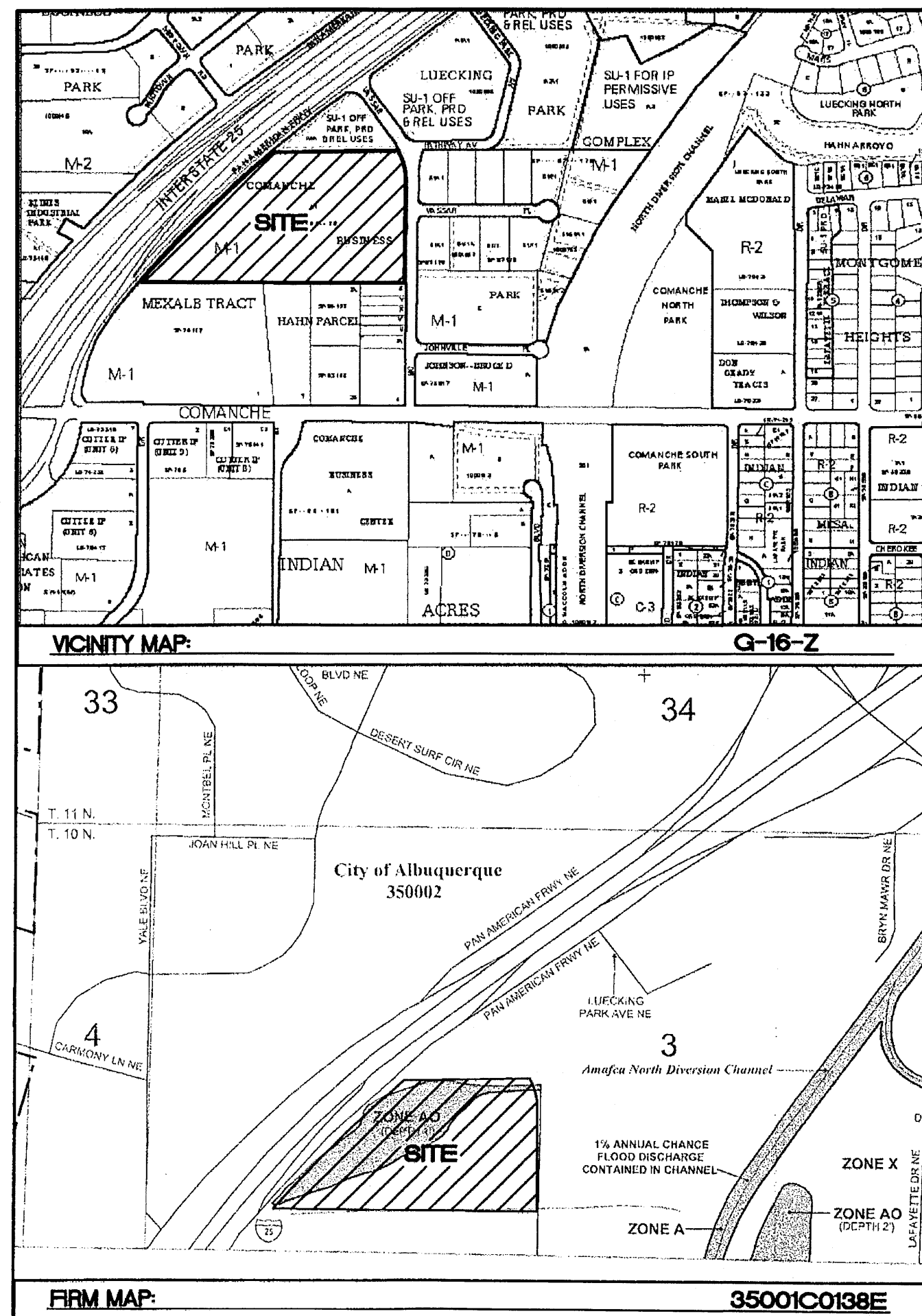
SCALE: _____

AS NOTED

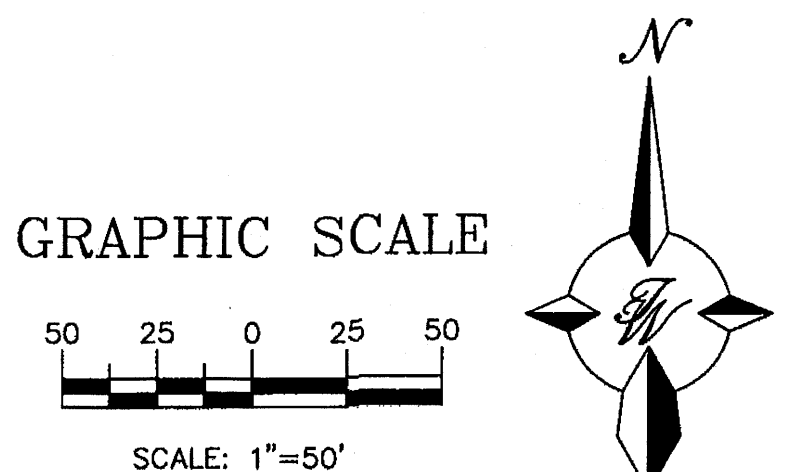
DATE: MARCH 24, 2008

JOB NUMBER: 20705.00

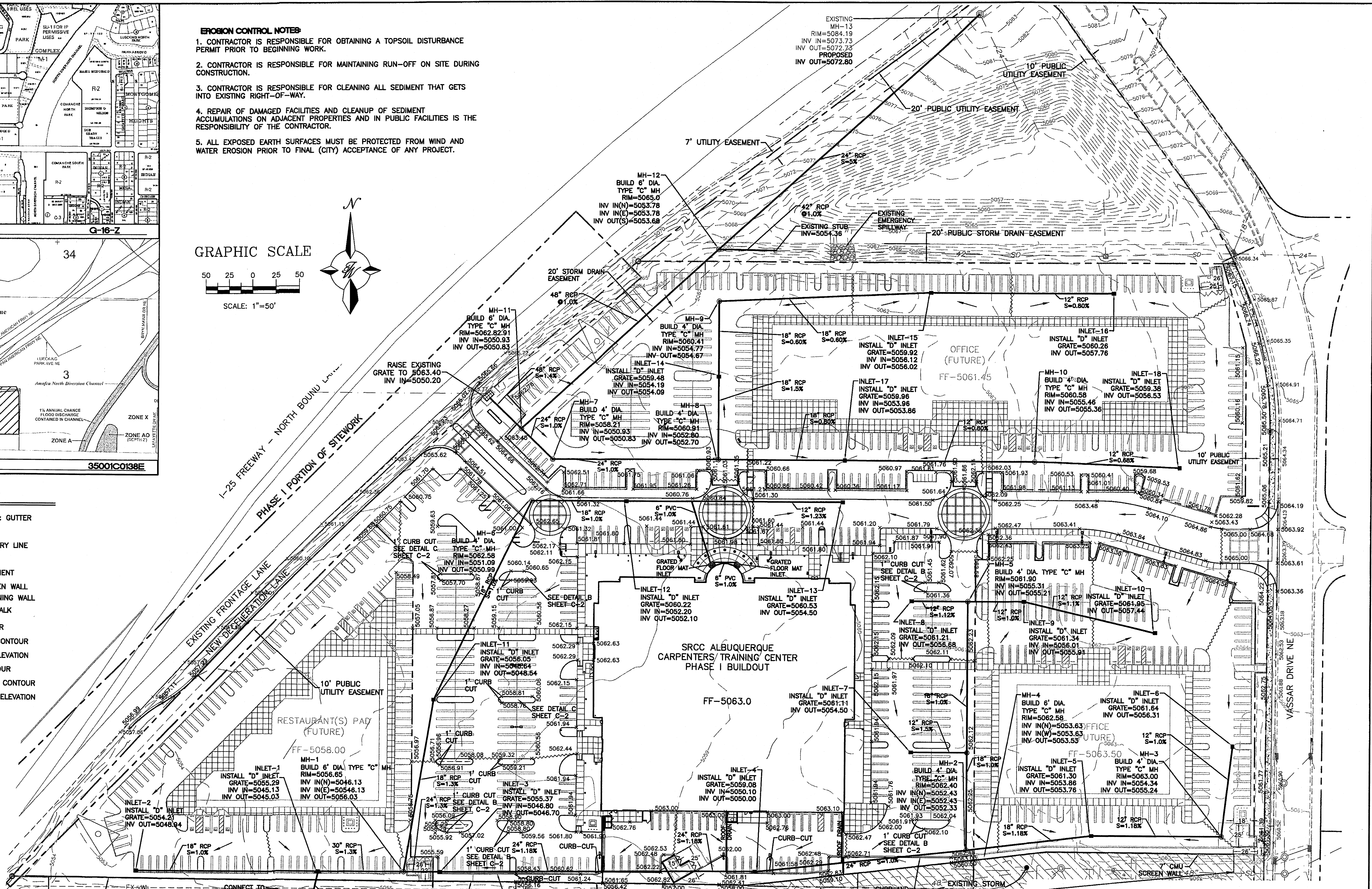
A-4



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED RETAINING WALL
 - PROPOSED SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED CONTOUR
 - PROPOSED INDEX CONTOUR
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - PHASE LINE



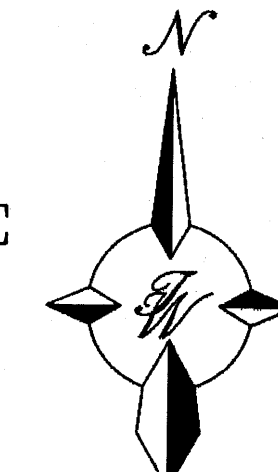
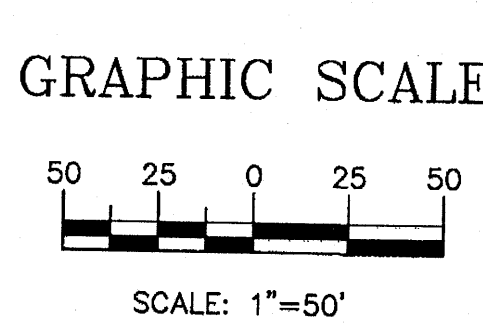
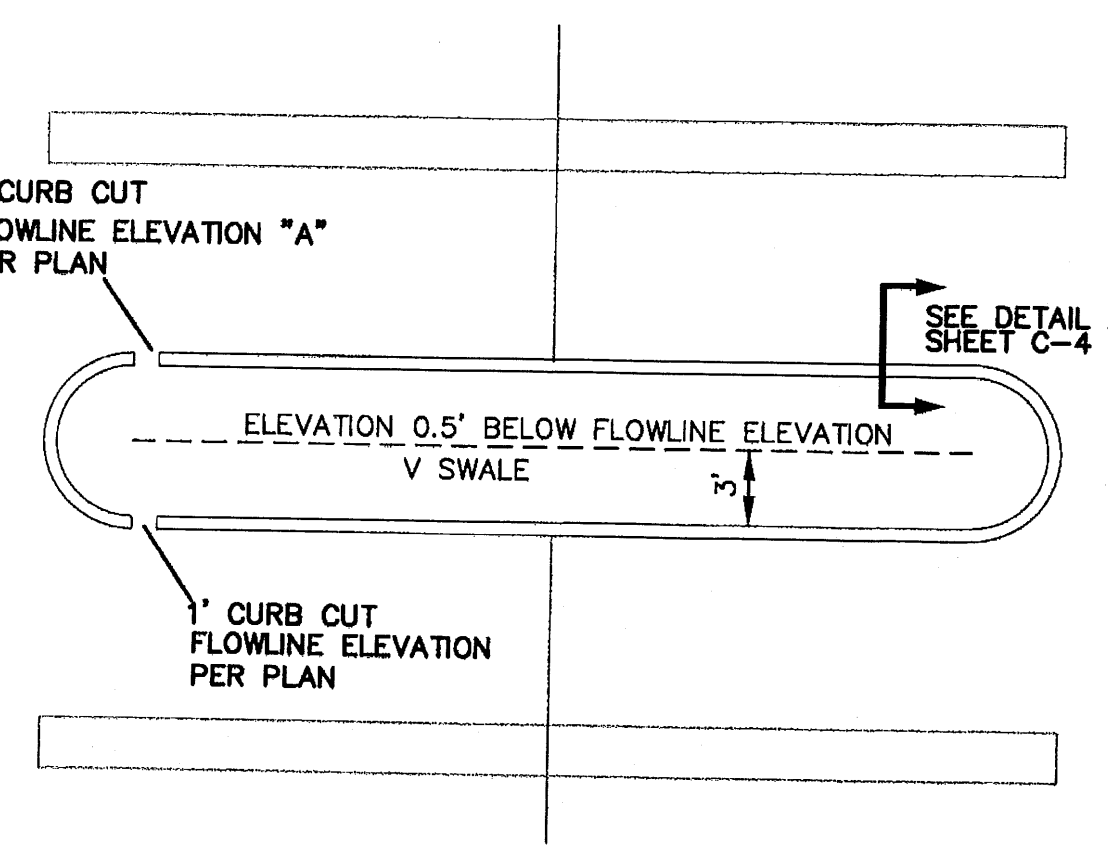
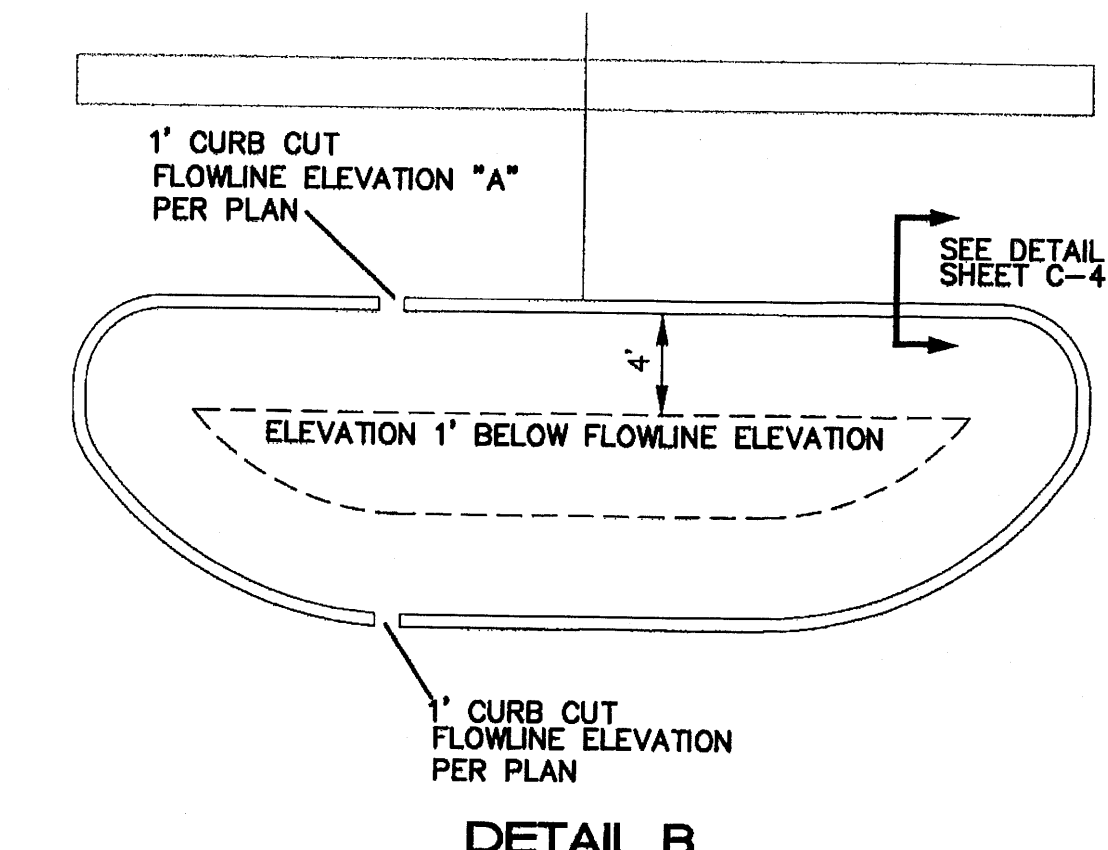
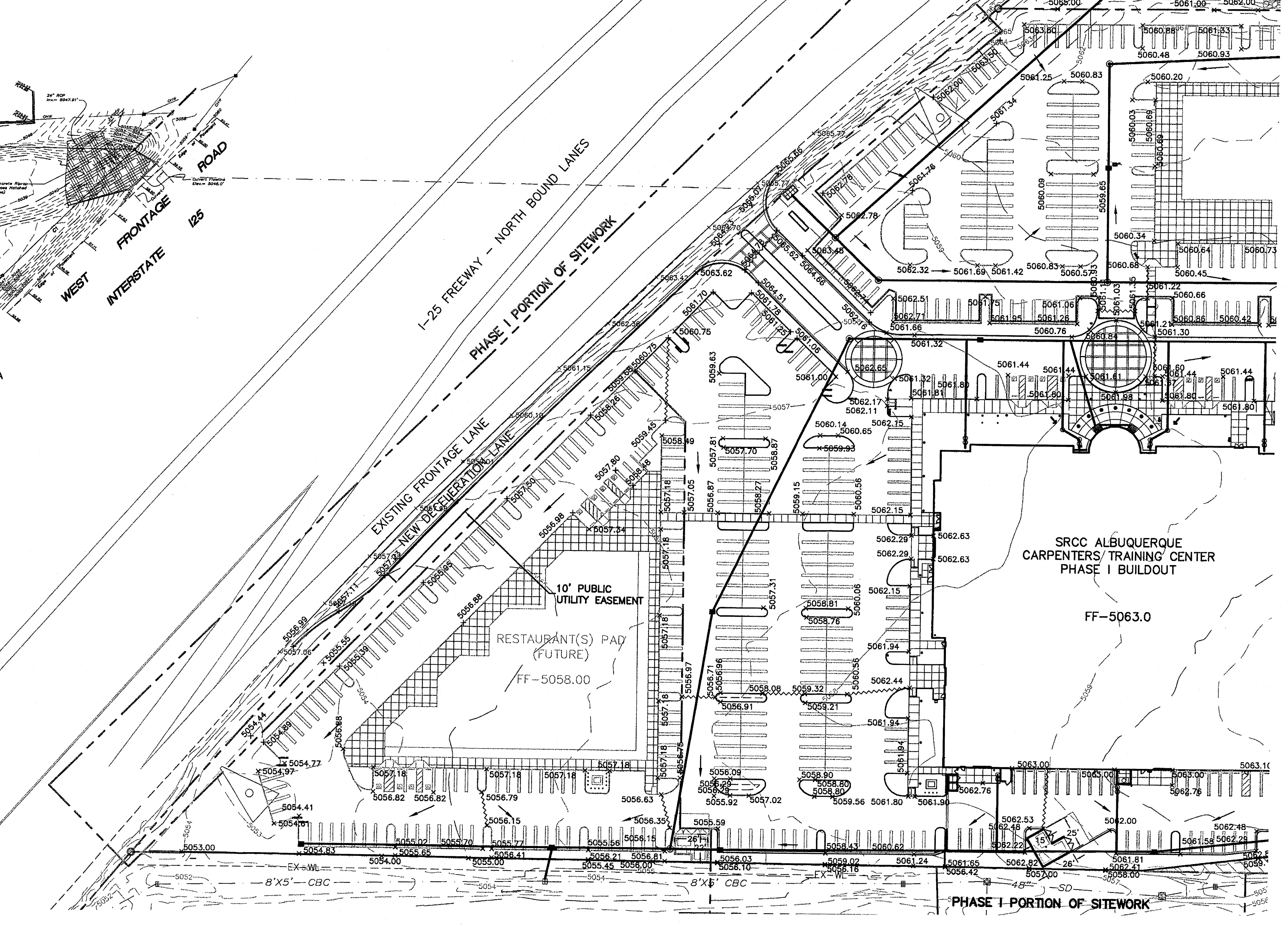
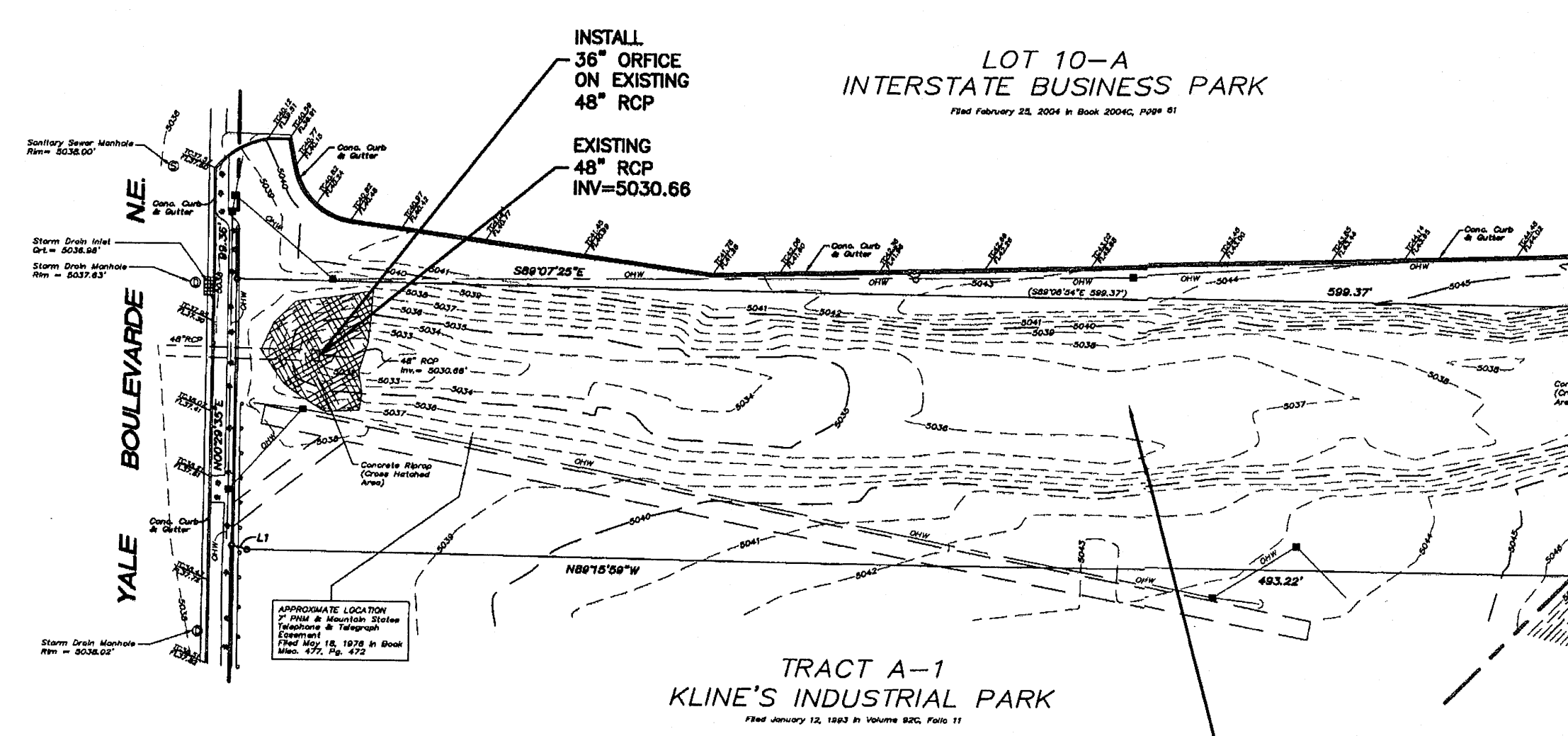
1270 LF 7' CMU SCREEN WALL PER WALL DETAIL SHEET C-4

367 LF 5' RETAINING WALL NOT TO EXCEED 7' PER WALL DETAIL SHEET C-4

ROUGH GRADING APPROVAL DATE _____

| | | |
|---|--|-----------------------|
| | ENGINEER'S SEAL CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY | DRAWN BY BJF |
| | GRADING AND DRAINAGE PLAN | DATE 03/24/08 |
| | 2626-GRE | SHEET # C-1 |
| 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | JOB # 26026 | |

2:0062626262626-Project.dwg-Project.dwg-Grading & Drainage Plan, 3/24/2008 11:17:55 AM



| | | |
|---|---|------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY | DRAWN BY BJF |
| | GRADING AND DRAINAGE PLAN | DATE 03/24/08 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | SHEET # C-2 | JOB # 2626 |

Z:\2008\08026\0826-Project\dwg\PC\0826-GRE.dwg, C-2, 3/24/2008 3:21:43 PM

NOTICE TO CONTRACTORS

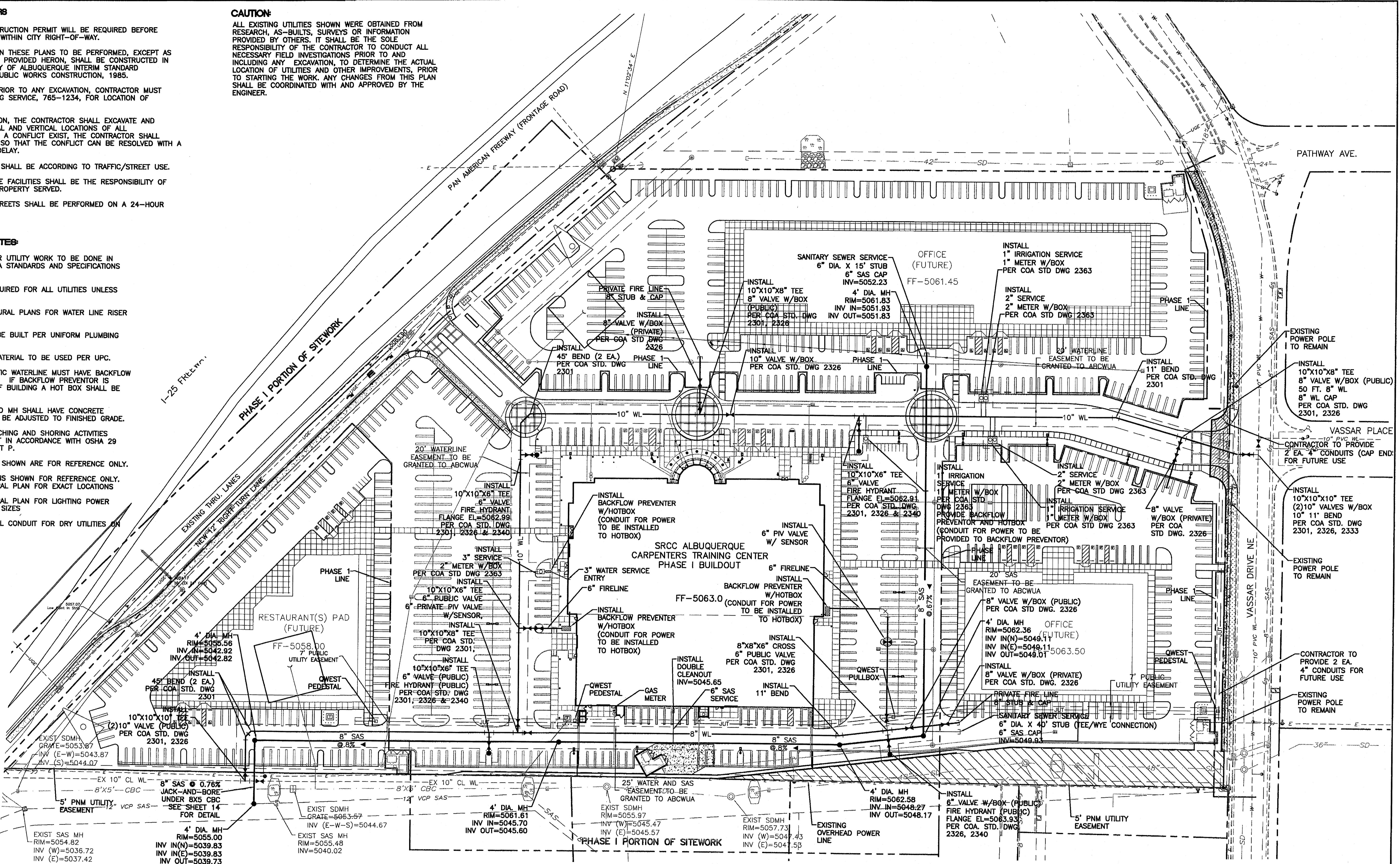
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

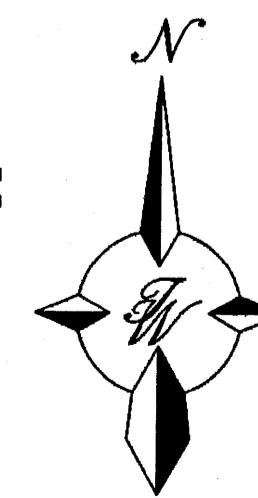
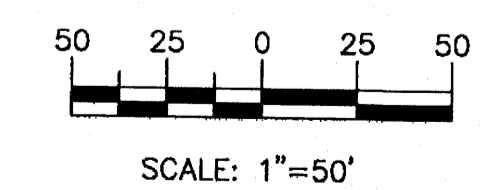
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. SITE LIGHTING LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATIONS.
11. REFER TO ARCHITECTURAL PLAN FOR LIGHTING POWER ROUTING AND CONDUIT SIZES.
12. CONTRACTOR TO INSTALL CONDUIT FOR DRY UTILITIES ON SITE AS REQUIRED.



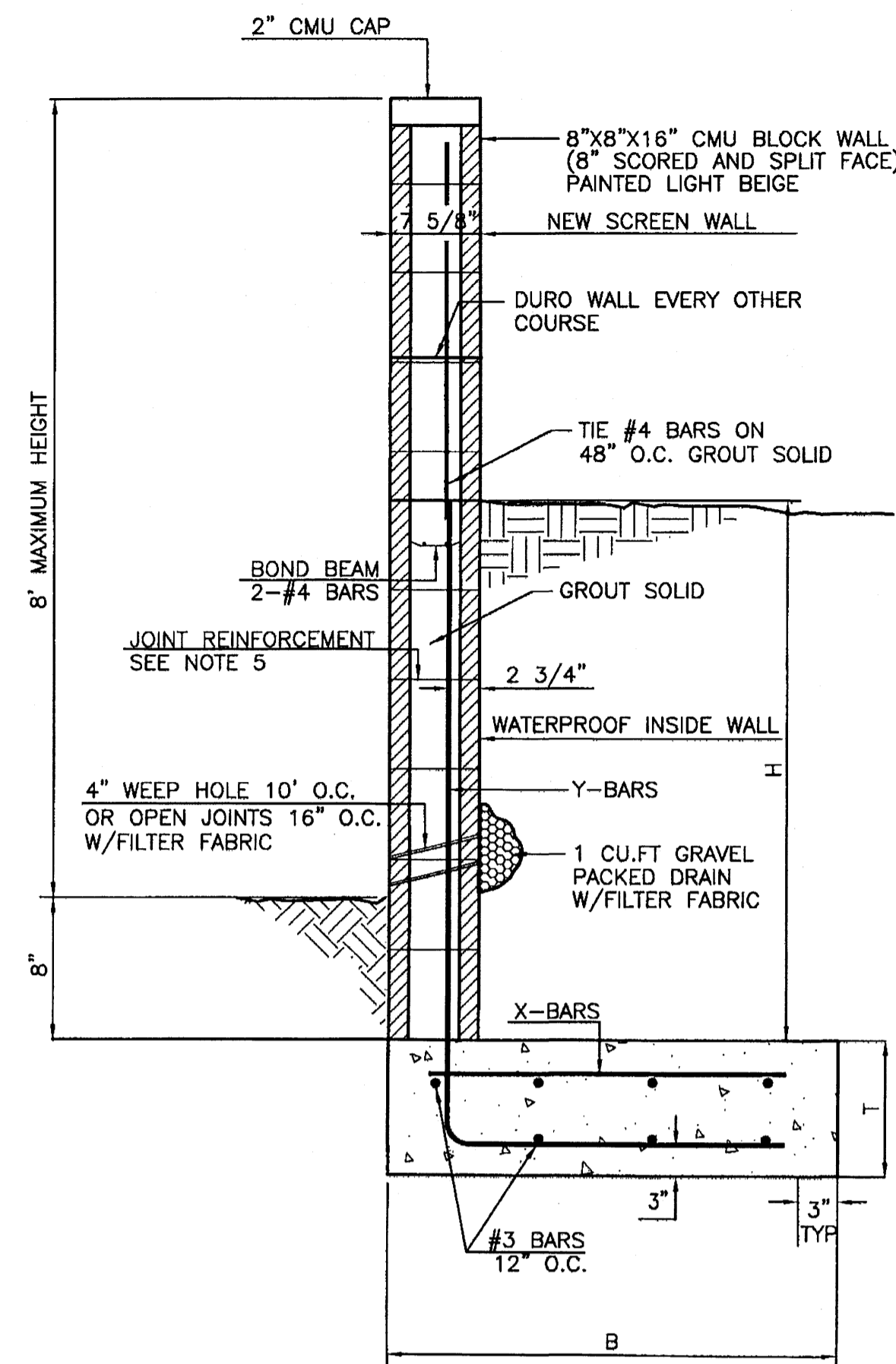
LEGEND

| | | | | |
|-------------------------|-----------------------|--------------------------------|------------------|-------------------------------|
| EXISTING CURB & GUTTER | PROPOSED SIDEWALK | PROPOSED PARKING LOT LIGHT | EXISTING 18" ROP | EXISTING STORM SEWER LINE |
| BOUNDARY LINE | EXISTING SD MANHOLE | PROPOSED CLEAN OUT | 6" SAS | PROPOSED SANITARY SEWER LINE |
| EXISTING BOUNDARY LINE | EXISTING INLET | PROPOSED DOUBLE CLEAN OUT | 8" WL | PROPOSED FIRE HYDRANT |
| EASEMENT | EXISTING SAS MANHOLE | EXISTING OVERHEAD UTILITIES | JUT | PROPOSED WATERLINE |
| PROPOSED EASEMENT | EXISTING FIRE HYDRANT | EXISTING UNDERGROUND UTILITIES | TRANSFORMER | PROPOSED JOINT UTILITY TRENCH |
| PROPOSED SCREEN WALL | EXISTING WATER METER | EXISTING GAS | | |
| PROPOSED RETAINING WALL | EXISTING POWER POLE | EXISTING SANITARY SEWER LINE | | |
| | EXISTING GAS VALVE | EXISTING WATER LINE | | |

GRAPHIC SCALE



| | | |
|---|---|-------------------------------|
| <p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p> | <p>CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY</p> | <p>DRAWN BY BJF</p> |
| | <p>MASTER UTILITY PLAN</p> | <p>DATE 03/24/08</p> |
| <p>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87110 (505)858-3100</p> | | <p>SHEET # C-3</p> |
| | | <p>JOB # 26026</p> |



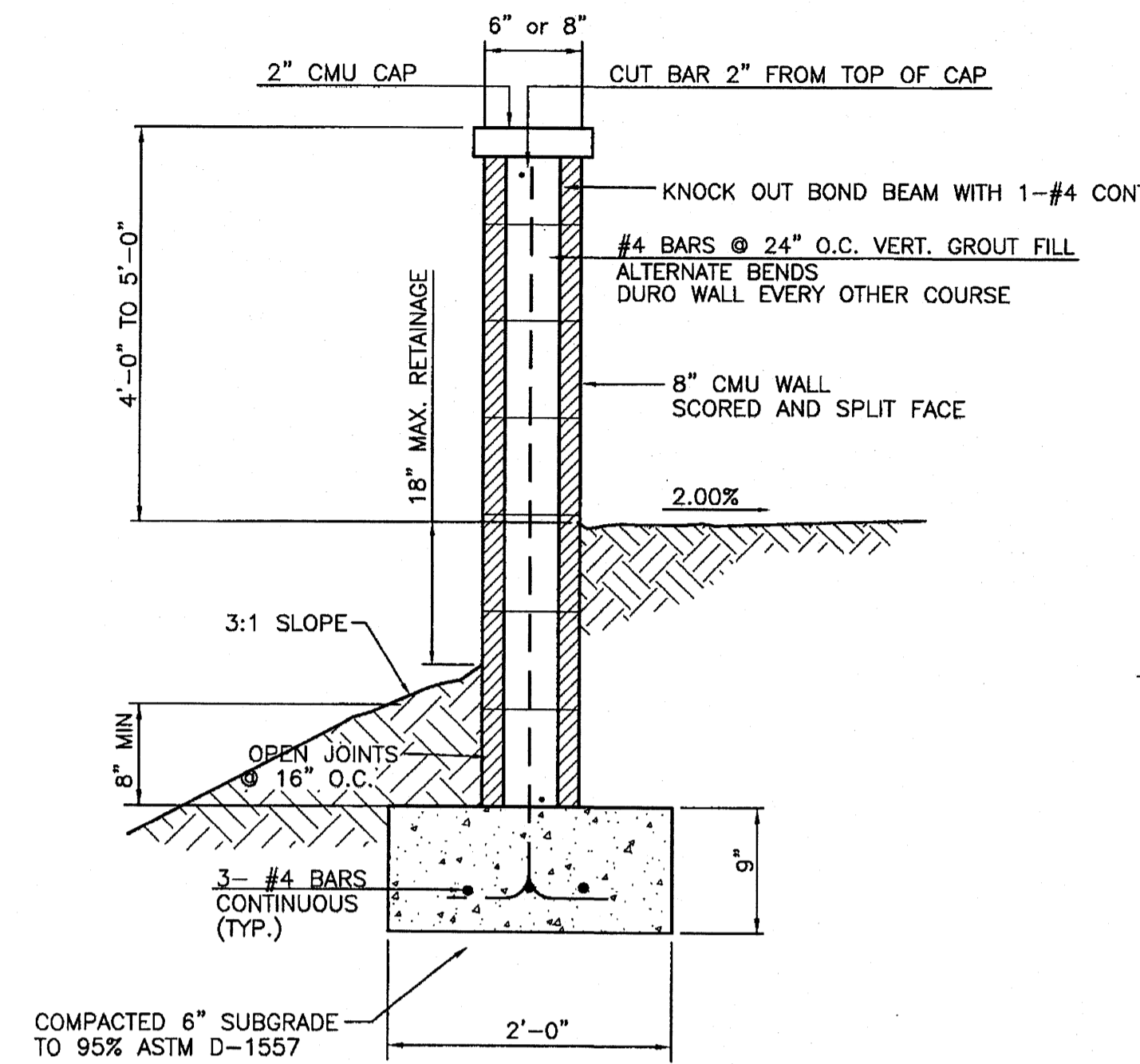
4 "L" FOOTING RETAINING WALL DETAIL
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

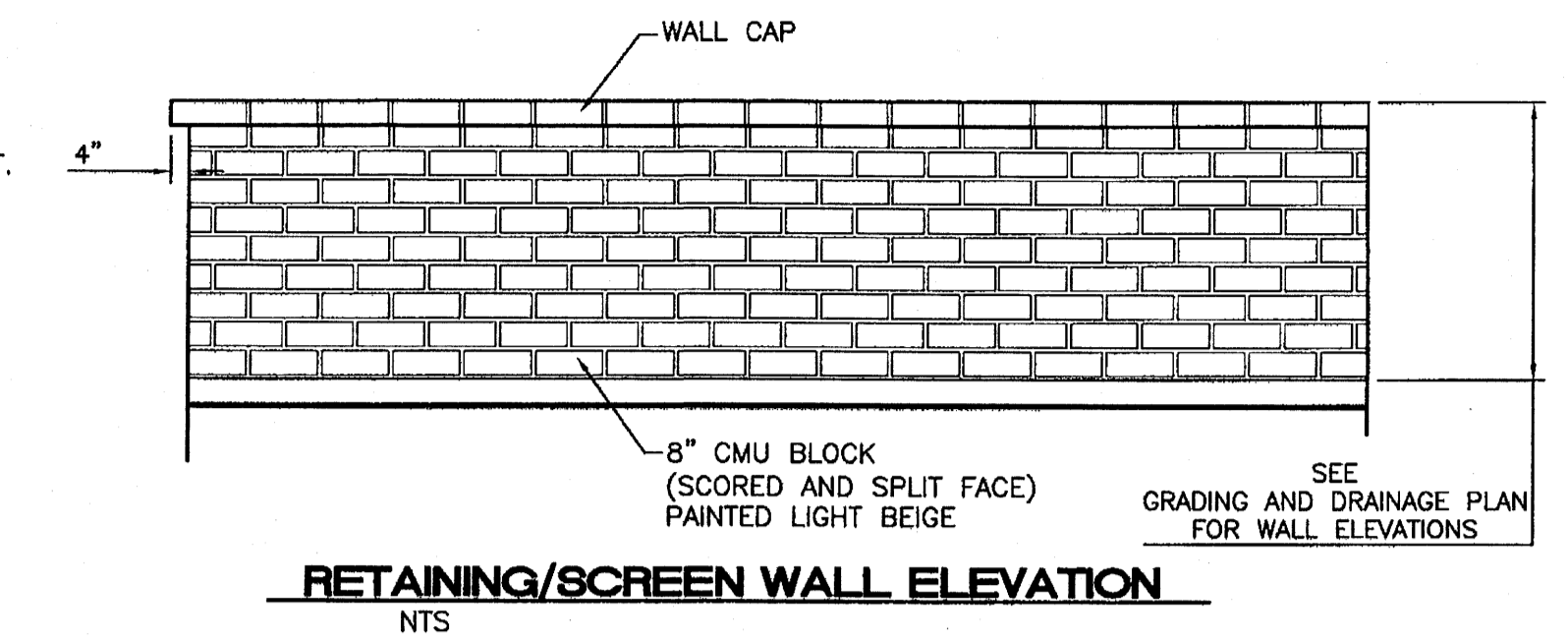
| H | B | T | Y-BARS | X-BARS |
|---------|---------|-----|---------------|---------------|
| ft.-in. | ft.-in. | in. | | |
| 1'-4" | 1'-9" | 9" | #4 @ 24" O.C. | |
| 2'-0" | 2'-0" | 9" | #4 @ 24" O.C. | |
| 2'-8" | 2'-6" | 9" | #4 @ 24" O.C. | |
| 3'-4" | 2'-9" | 12" | #4 @ 16" O.C. | #4 @ 16" O.C. |
| 4'-0" | 3'-3" | 12" | #4 @ 16" O.C. | #4 @ 16" O.C. |
| 4'-8" | 4'-0" | 12" | #4 @ 16" O.C. | #4 @ 16" O.C. |
| 5'-4" | 5'-0" | 12" | #4 @ 8" O.C. | #4 @ 8" O.C. |
| 6'-0" | 5'-6" | 12" | #4 @ 8" O.C. | #4 @ 8" O.C. |



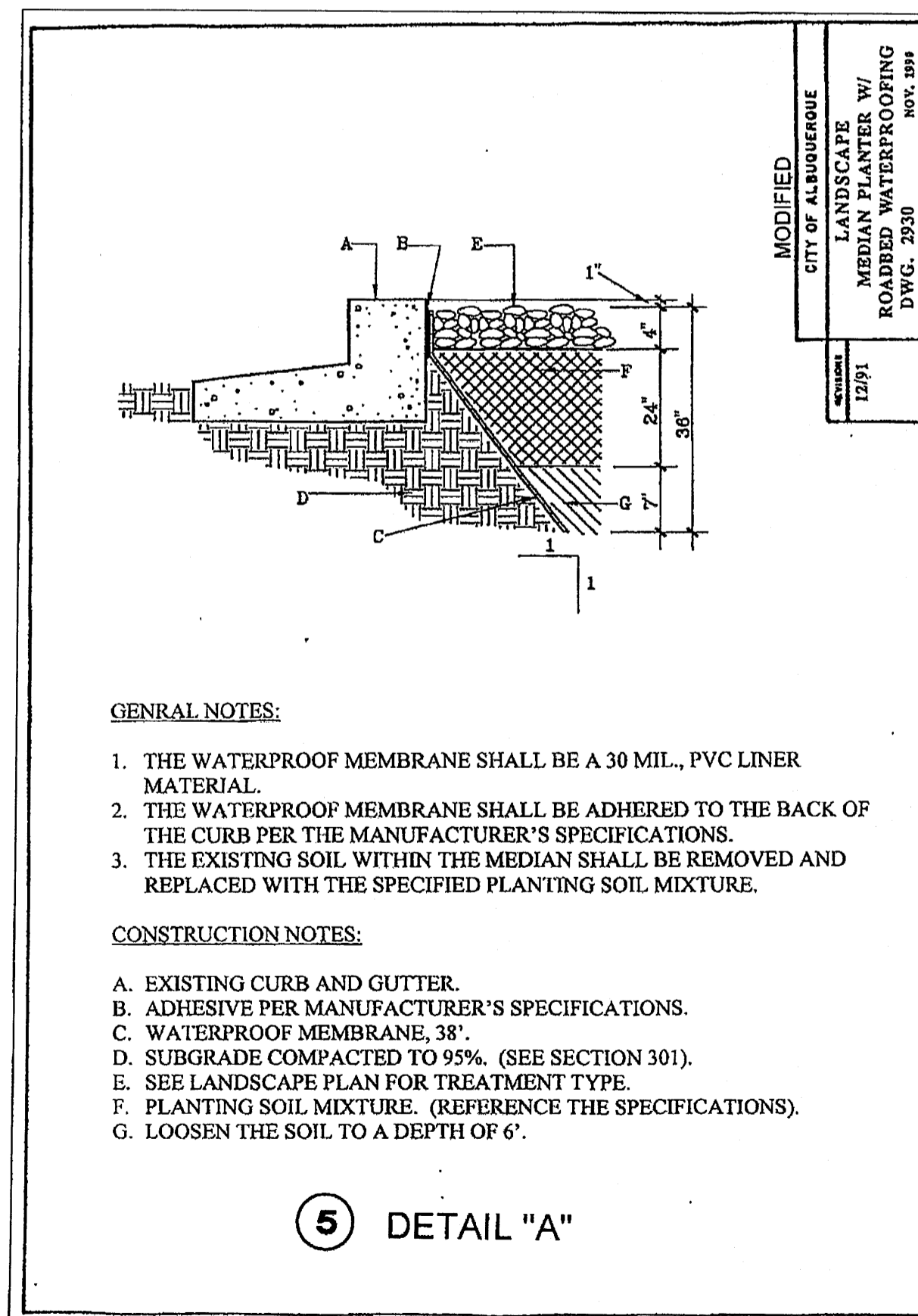
3 SCREEN WALL SECTION
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



RETAINING/SCREEN WALL ELEVATION
NTS



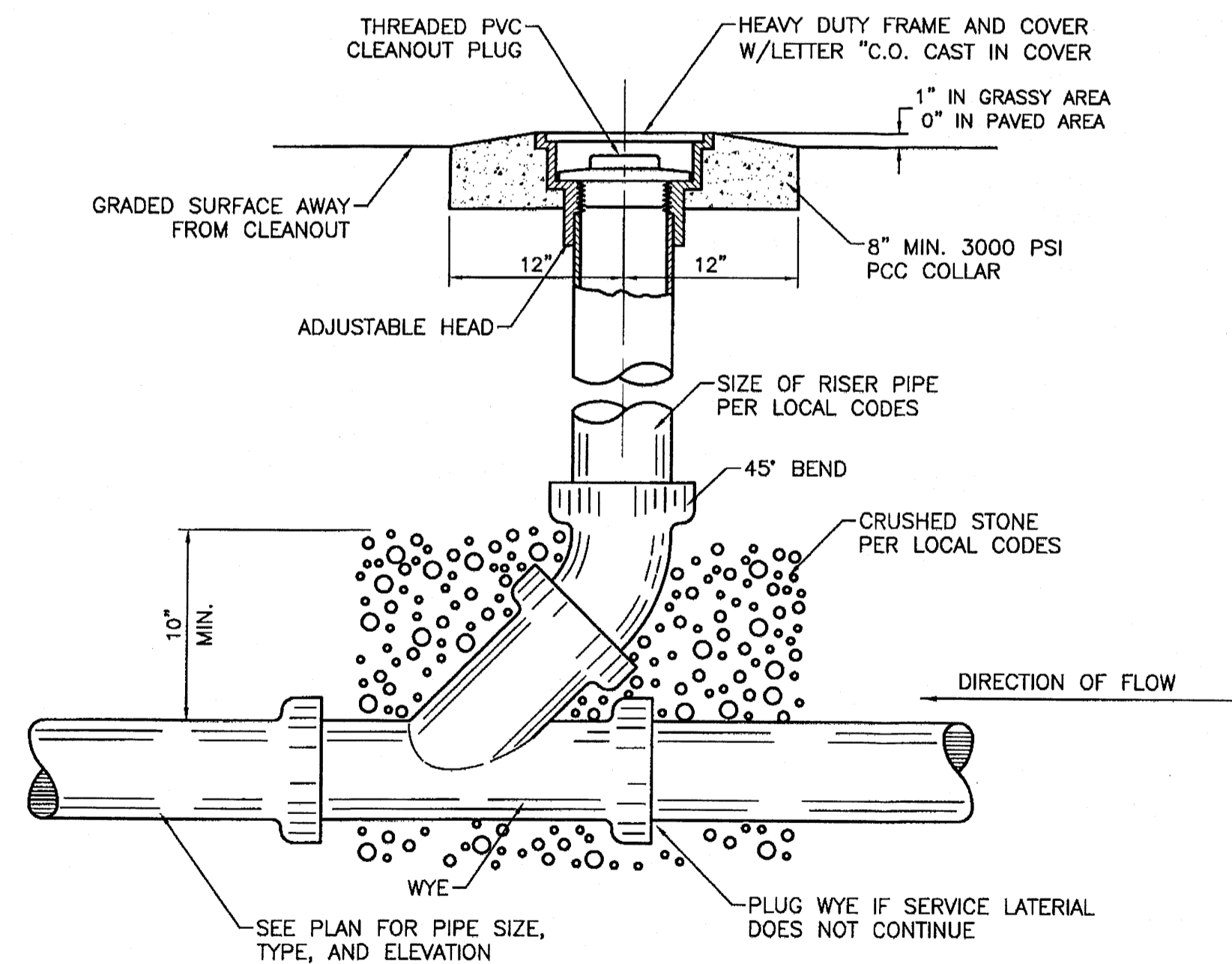
GENERAL NOTES:

1. THE WATERPROOF MEMBRANE SHALL BE A 30 MIL., PVC LINER MATERIAL.
2. THE WATERPROOF MEMBRANE SHALL BE ADHERED TO THE BACK OF THE CURB PER THE MANUFACTURER'S SPECIFICATIONS.
3. THE EXISTING SOIL WITHIN THE MEDIAN SHALL BE REMOVED AND REPLACED WITH THE SPECIFIED PLANTING SOIL MIXTURE.

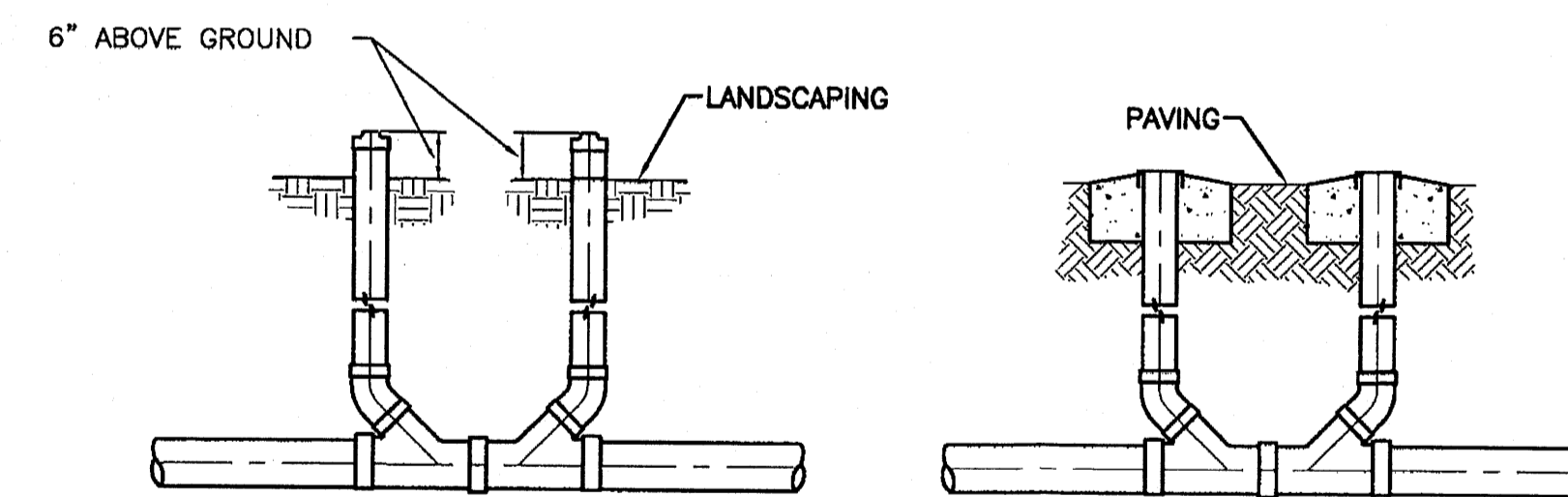
CONSTRUCTION NOTES:

- A. EXISTING CURB AND GUTTER.
- B. ADHESIVE PER MANUFACTURER'S SPECIFICATIONS.
- C. WATERPROOF MEMBRANE, 38".
- D. SUBGRADE COMPACTED TO 95% (SEE SECTION 301).
- E. SEE LANDSCAPE PLAN FOR TREATMENT TYPE.
- F. PLANTING SOIL MIXTURE. (REFERENCE THE SPECIFICATIONS).
- G. LOOSEN THE SOIL TO A DEPTH OF 6".

5 DETAIL "A"



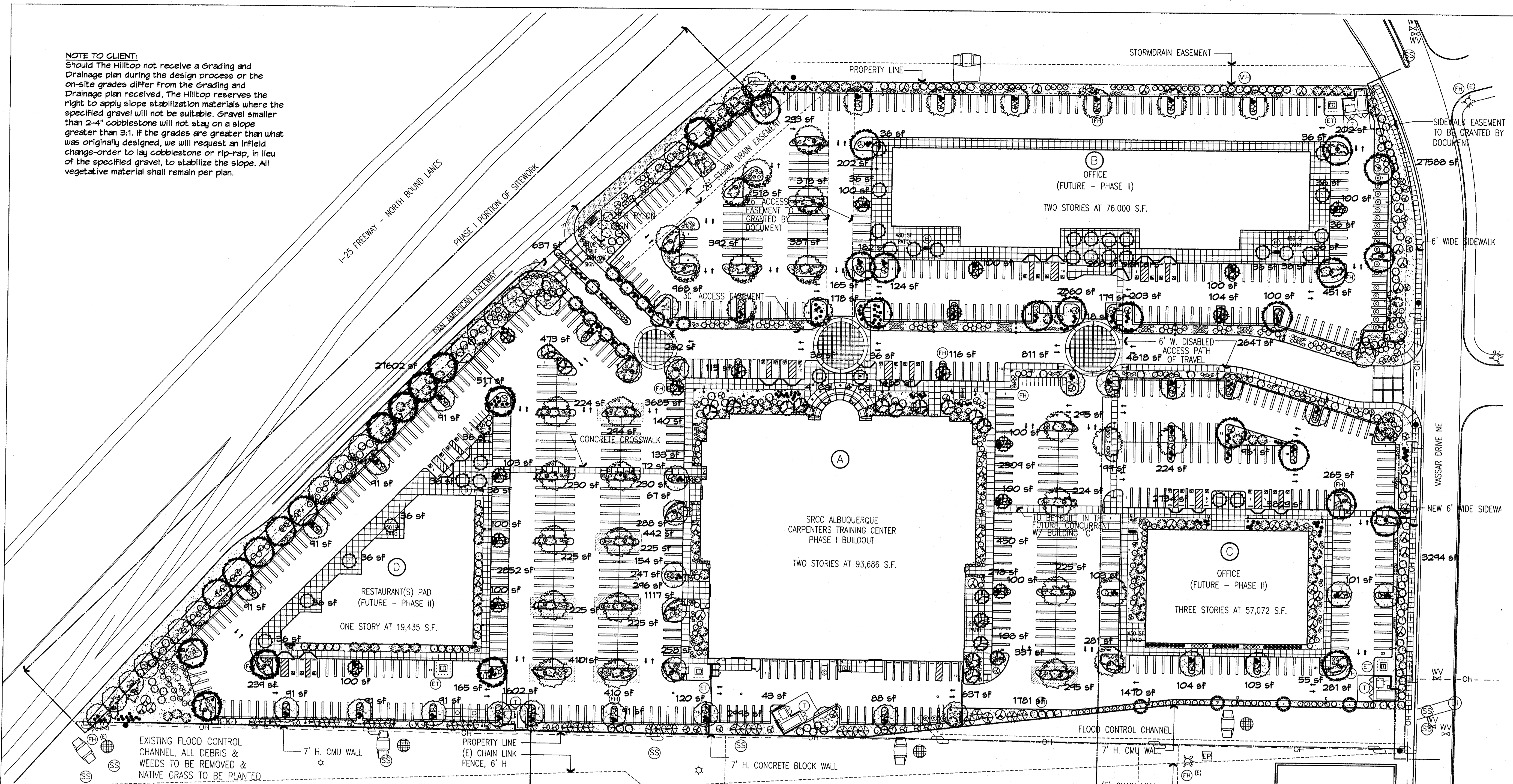
2 SANITARY SEWER CLEAN-OUT
NTS



1 SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

| | | |
|--|--|--|
| | ENGINEER'S SEAL CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY | DRAWN BY B/JF |
| | DETAIL SHEET TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | DATE 03/24/08 2626-DETAIL SHEET SHEET # C-4 JOB # 26026 |

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



LANDSCAPE CALCULATIONS

| | | |
|---|--------------|-------------|
| TOTAL LOT AREA | 684254 | square feet |
| TOTAL BUILDINGS AREA | 123302 | square feet |
| NET LOT AREA | 560952 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 84143 | square feet |
| TOTAL BED PROVIDED | 116123 | square feet |
| GROUND COVER REQ. | 75% | square feet |
| TOTAL GROUND COVER REQUIREMENT | 87092 | square feet |
| TOTAL GROUND COVER PROVIDED | 87227 (75%) | square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 116123 (21%) | square feet |

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: Pan American Freeway
Required # 32 Provided # 32

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces (minimum 2" cal. & 30' at maturity)
Required # 86 Provided # 91

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 gph Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

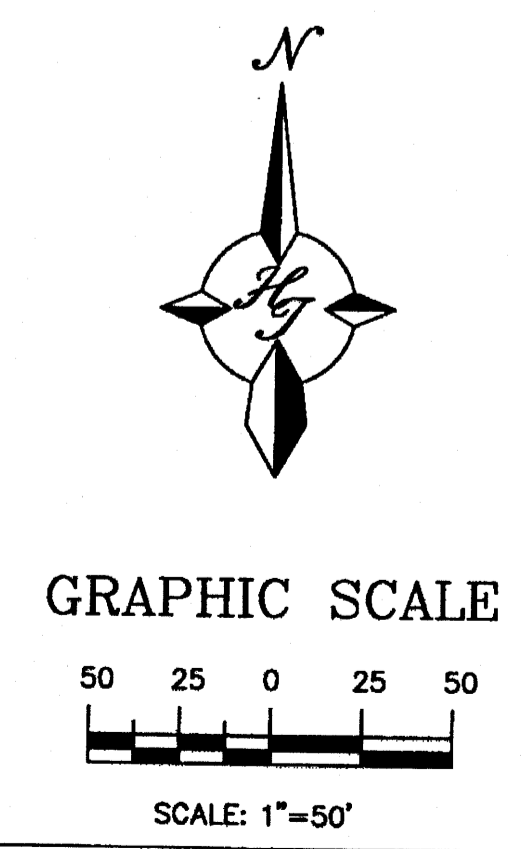
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

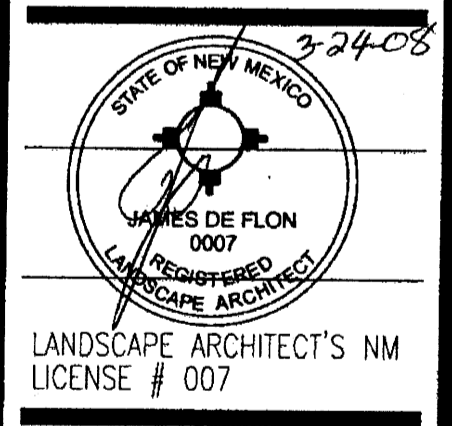
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com



DATE: OCTOBER 4, 2007
JOB NUMBER: 20705.00

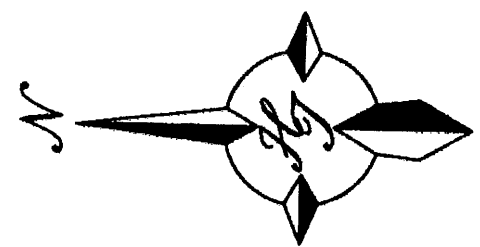
L1 of L4
Master Landscape Plan

PLAT DATE: 10/10/2007

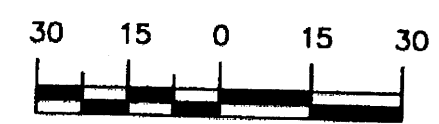
GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



GRAPHIC SCALE



SCALE: 1"=30'

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

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Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

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- 3-24-06 RMM REVISED SITE PLAN AND COMMENTS
- 10-29-07 RMM REVISED SITE PLAN

I-25 FREEWAY - NORTH BOUND LANES
PHASE I PORTION OF SITEWORK
PAN AMERICAN FREEWAY

30' ACCESS

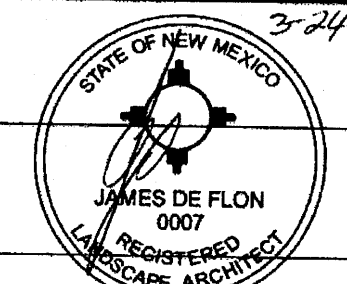
CONCRETE CROSSWALK

RESTAURANT(S) PAD
(FUTURE - PHASE II)
ONE STORY AT 19,435 S.F.

EXISTING FLOOD CONTROL CHANNEL, ALL DEBRIS & WEEDS TO BE REMOVED & NATIVE GRASS TO BE PLANTED

7' H. CMU WALL

PROPERTY LINE
(E) CHAIN LINK FENCE, 6' H



LANDSCAPE ARCHITECT'S NM LICENSE # 007

DRAWN BY RMM

PHASE
PLAN CHECK
SCALE 1"=30'

DATE
OCTOBER 4, 2007
JOB NUMBER
20705.00

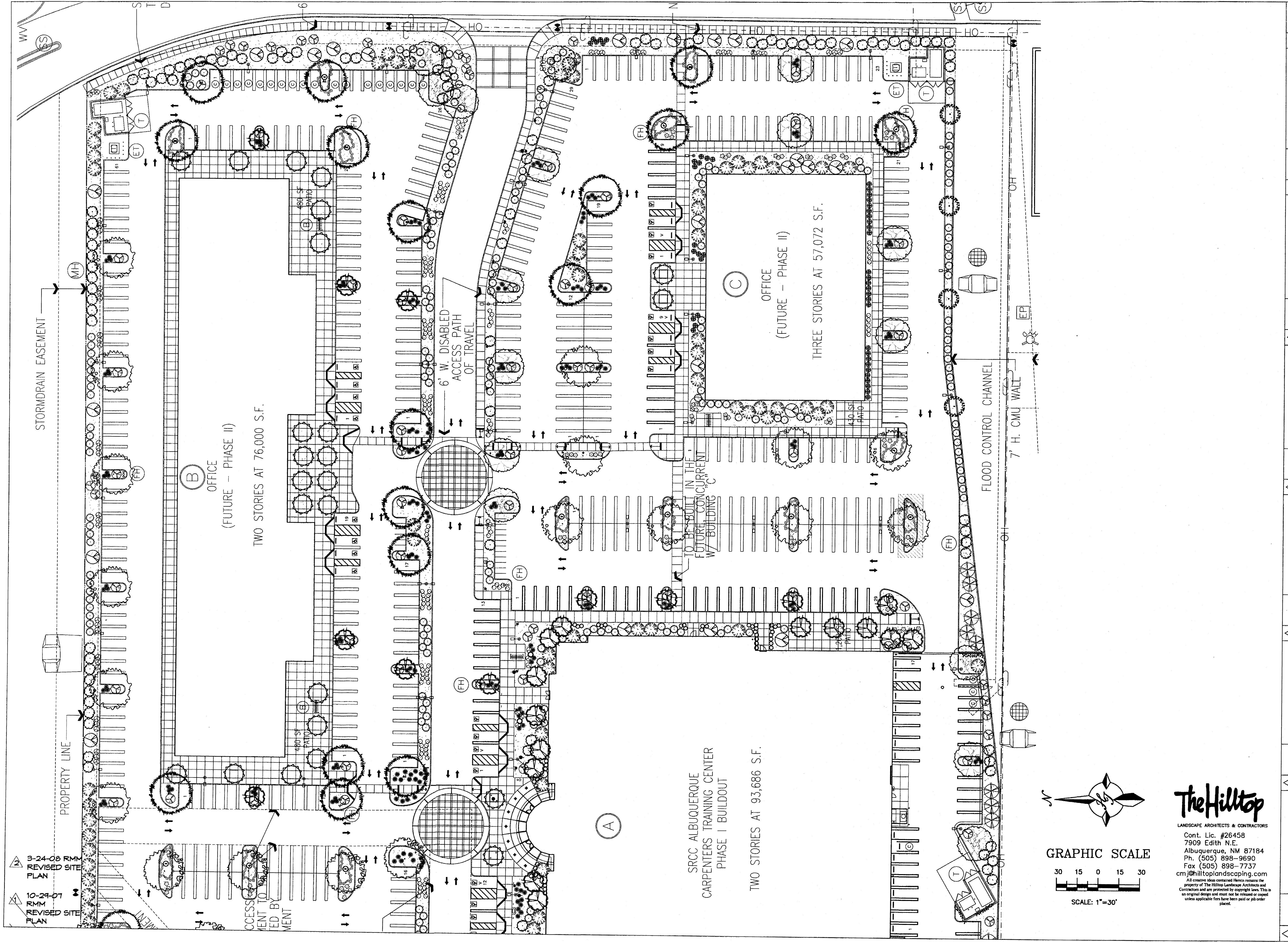
L2 of L4
Enlarged Landscape Plan - West

PLAT DATE - 10/02/2007

GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



3-24-08 RMM
REVISED SITE
PLAN

10-29-07
RMM
REVISED SITE
PLAN

ACCESS
TO
EASEMENT

SRCC ALBUQUERQUE
CARPENTERS TRAINING CENTER
PHASE I BUILDOUT

TWO STORIES AT 93,686 S.F.

(B)
OFFICE
(FUTURE - PHASE II)
TWO STORIES AT 76,000 S.F.

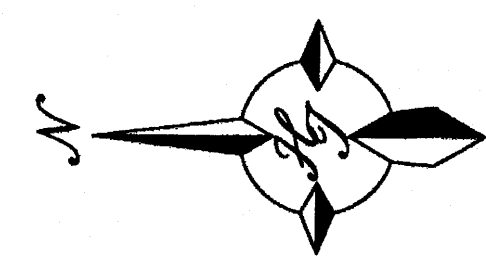
(C)
OFFICE
(FUTURE - PHASE II)
THREE STORIES AT 57,072 S.F.

6' W. DISABLED
ACCESS PATH
OF TRAVEL

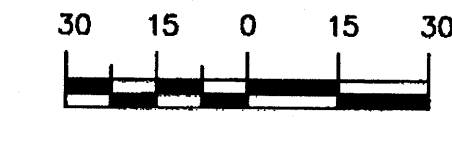
TO BE BUILT IN THE
FUTURE CONCURRENT
W/ BUILDING C

FLOOD CONTROL CHANNEL

7' H. CMU WALL



GRAPHIC SCALE

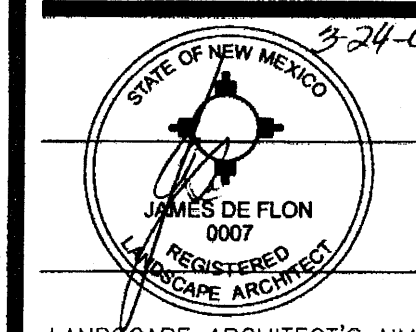


SCALE: 1"=30'

TheHilltop

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PHASE
PLAN CHECK
SCALE 1"=30'

DATE
OCTOBER 4, 2007
JOB NUMBER
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L3 of L4
Enlarged Landscape
Plan - East

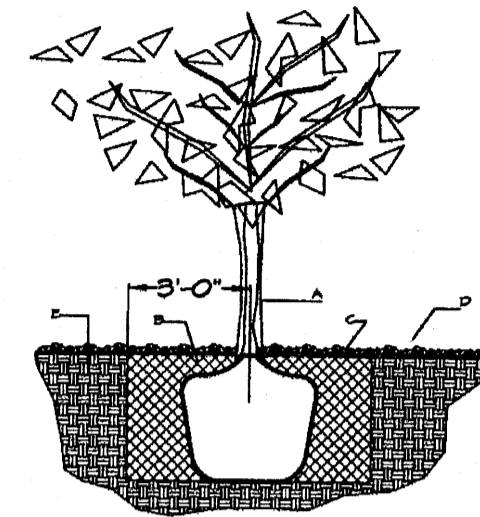
PLW DATE - 10/04/2007

GWA
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PLANT LEGEND

- | | |
|--|---|
| <p>CHINESE PISTACHE (M) 24 Pistacia chinensis 2" Cal., 60' H x 60' W</p> <p>SHUMARD OAK (M) 23 Quercus shumardii 2" Cal., 60' H x 60' W</p> <p>COMMON HACKBERRY (M) 10 Celtis occidentalis 2" Cal., 40' H x 40' W</p> <p>DESERT WILLOW (L) 35 Chilopsis linearis 15 Gal., 20' H x 20' W</p> <p>* PARNEY COTONEASTER (L) 107 Cotoneaster lacteus 5 Gal., 144sf, 12' H x 12' W</p> <p>BROOM BAGCHARIS (L+) 30 Baccharis sarothroides 5 Gal., 100sf, 10' H x 10' W</p> <p>BIRD OF PARADISE (L) 6 Caesalpinia gilliesii 5 Gal., 100sf, 4' H x 10' W</p> <p>* APACHE PLUME (L) 166 Fallugia paradoxa 5 Gal., 49sf, 6' H x 7' W</p> <p>THREE-LEAF SUMAC (L) 260 Rhus trilobata 5 Gal., 36sf, 5' H x 6' W</p> <p>REGAL MIST (M) 48 Muhlenbergia capillaris 5 Gal., 9sf, 3' H x 3' W</p> <p>* RED YUCCA (L) 153 Hesperaloe parviflora 5 Gal., 9sf, 3' H x 3' W</p> <p>* MUGO PINE (M) 4 Pinus mugo 5 Gal., 9sf, 4' H x 3' W</p> <p>SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH</p> <p>ISLANDS TO BE WATERED WITH DRAINAGE WATER</p> | <p>KENTUCKY COFFEE TREE (M) 16 Gymnocladus dioica 2" Cal., 50' H x 40' W</p> <p>CHITALPA (M) 52 Chilopsis x Catalpa 2" Cal., 30' H x 30' W</p> <p>* WESTERN RED CEDAR (M) 31 Thuja plicata 'Green Giant' 15 Gal., 164sf, 30' H x 11' W</p> <p>NEW MEXICO OLIVE (L) 14 Forestiera neomexicana 15 Gal., 225sf, 25' H x 25' W</p> <p>AMUR MAPLE (M) (IN PATIOS ONLY) 31 Acer ginnala 2" Cal., 20' H x 20' W *** The two in front of Bldg. A are 4" Cal as noted. ***</p> <p>* PERKY SUE (L) 197 Hymenoxys argentea 1 Gal., 3sf</p> <p>PURPLE ICE PLANT (L+) 127 Delosperma cooperi 1 Gal., 4sf, 5' H x 2' W</p> <p>BLUE AVENA/OAT GRASS (M) 313 Helictotrichon sempervirens 1 Gal., 9sf, 2' H x 3' W</p> <p>WILDFLOWER 99 1 Gal., 4sf, size varies</p> <p>* GREYLEAF COTONEASTER (M) 123 Cotoneaster buxifolius 5 Gal., 81sf, 2' H x 9' W Symbol indicates 3 plants</p> <p>WINTER JASMINE (L+) 120 Jasminum nudiflorum 1 Gal., 144sf, 3' H x 12' W Unstaked-Groundcover</p> <p>TRUMPET VINE (M) 4 Campsis radicans 1 Gal., climbing to 40'</p> <p>* DENOTES EVERGREEN PLANT MATERIAL</p> |
|--|---|



TREE PLANTING DETAIL

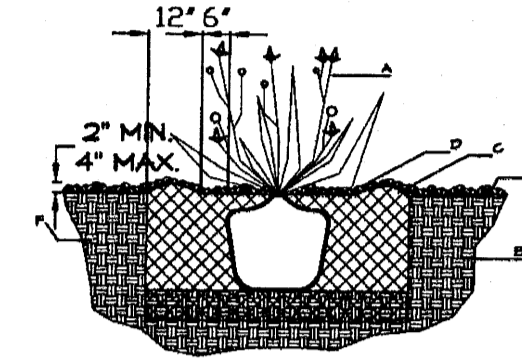
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

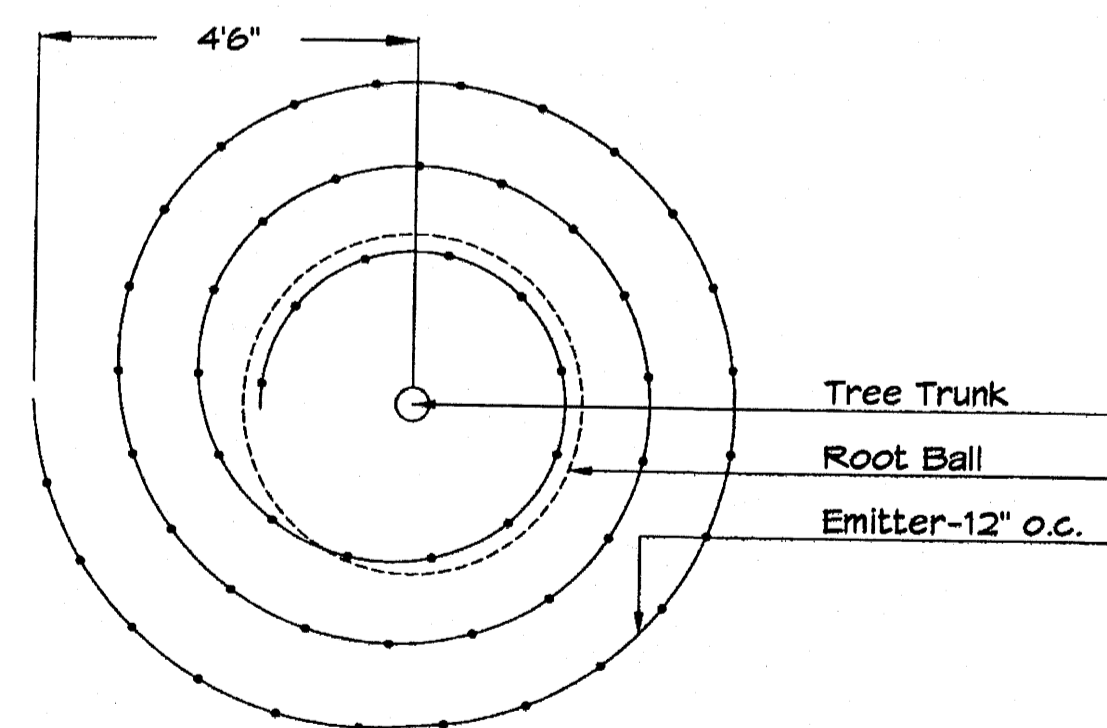
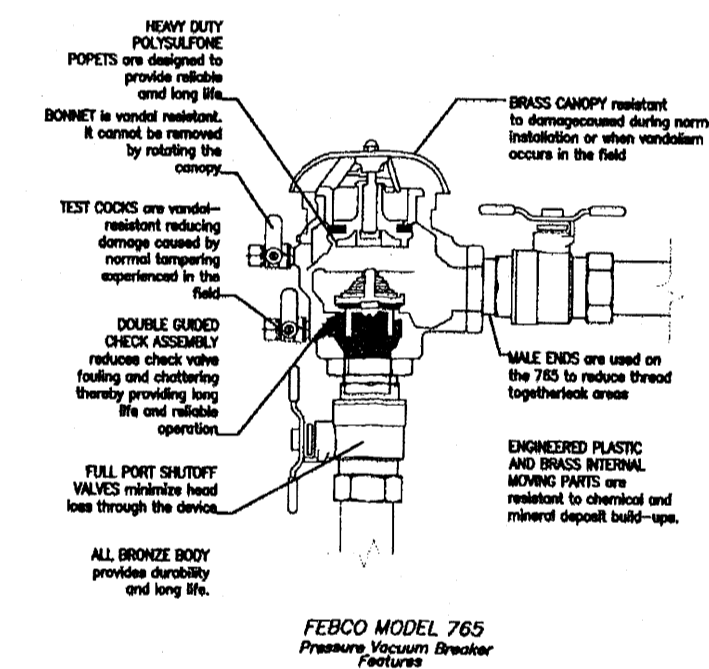
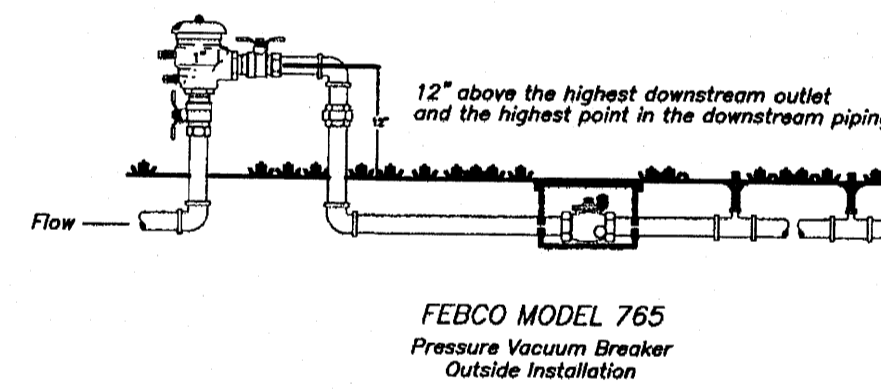
NTS

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

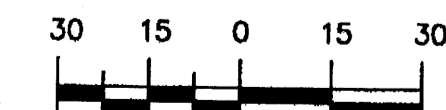
CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



Netafim Spiral Detail

GRAPHIC SCALE



SCALE: 1"=30'

The Hilltop

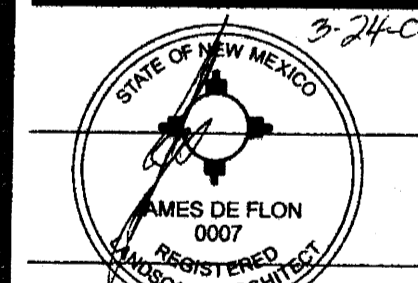
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PHASE

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L4 of L4
Landscape Details
and Legend

PLAT ONE - 10/04/2007