



### Supplemental Form (SF)

#### SUBDIVISION

- ☐ Major subdivision action  
☒ Minor subdivision action  
☐ Vacation  
☐ Variance (Non-Zoning)

#### SITE DEVELOPMENT PLAN

- ☐ for Subdivision  
☒ for Building Permit  
☐ Administrative Amendment (AA)  
☐ Administrative Approval (DRT, URT, etc.)  
☐ IP Master Development Plan  
☐ Cert. of Appropriateness (LUCC)

#### STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

#### S Z ZONING & PLANNING

- ☐ Annexation  
☒ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)  
☐ Adoption of Rank 2 or 3 Plan or similar  
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

#### D Street Name Change (Local & Collector)

#### L A APPEAL / PROTEST of...

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

#### APPLICATION INFORMATION:

**Professional/Agent** (if any): Tierra West, LLC PHONE: 505-858-3100  
 ADDRESS: 5571 Midway Park Place NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rrb@tierrawestllc.com  
**APPLICANT:** ABQ Comanche Retail, LLC PHONE: 214-561-6515  
 ADDRESS: 8350 N. Central Expy. Suite 1313 FAX: \_\_\_\_\_  
 CITY: Dallas STATE TX ZIP 75206 E-MAIL: hollier@paliopartners.com  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

**DESCRIPTION OF REQUEST:** Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

#### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot3 Plat of Lts 1, 2, 3 & 4 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: SRCC Albuquerque Carpenters Training Center  
 Existing Zoning: M-1 Proposed zoning: M-1 MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): G-15-Z UPC Code: 101606018334720664

#### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): \_\_\_\_\_  
1006865, ZA-86-246

#### CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? N/A  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.6023 +/-  
 LOCATION OF PROPERTY BY STREETS: On or Near: Interstate - 25  
 Between: Vassar Dr. NE and Comanche Rd. NE  
 Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: \_\_\_\_\_

**SIGNATURE** \_\_\_\_\_ DATE 2-16-2018  
 (Print Name) Ronald R. Bohannon Applicant: ☐ Agent: ☒

#### FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____

Hearing date \_\_\_\_\_

Project # \_\_\_\_\_

Staff signature & Date \_\_\_\_\_

☐ **SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**

- ☐ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ☐ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Copy of the document delegating approval authority to the DRB
- ☐ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ☐ Sign Posting Agreement
- ☐ Completed Site Plan for Subdivision Checklist
- ☐ 6 copies of the Infrastructure List, if relevant to the site plan
- ☐ TIS/AQIA Traffic Impact Study form with required signature
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.

**Your attendance is required.**

- ☐ **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"**

  - ☒ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - ☒ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - ☒ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - ☒ Solid Waste Management Department signature on Site Plan
  - ☒ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - ☒ Letter briefly describing, explaining, and justifying the request
  - ☒ Letter of authorization from the property owner if application is submitted by an agent
  - ☒ Copy of the document delegating approval authority to the DRB
  - ☒ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - ☒ Sign Posting Agreement
  - ☒ Completed Site Plan for Building Permit Checklist
  - ☐ N/A 6 copies of the Infrastructure List, if relevant to the site plan
  - ☒ TIS/AQIA Traffic Impact Study form with required signature
  - ☒ Copy of Site Plan with Fire Marshal's stamp
  - ☒ Fee (see schedule)
  - ☐ List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.

**Your attendance is required.**

- ☐ **AMENDED SITE DEVELOPMENT PLAN**

**FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**

  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - \_\_\_ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ 6 copies of the Infrastructure List, if relevant to the site plan
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.

**Your attendance is required.**

Ronald R. Behannan.  
Applicant name (print)  
2.16.2018  
Applicant signature / date



<input type="checkbox"/> Checklists complete	Application case numbers
<input type="checkbox"/> Fees collected	_____ - _____
<input type="checkbox"/> Case #s assigned	_____ - _____
<input type="checkbox"/> Related #s listed	_____ - _____

Planner signature / date \_\_\_\_\_  
Project # \_\_\_\_\_

# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_.

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

\_\_\_\_\_, 2-16-2018  
(Applicant or Agent) (Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

5571 Midway Park Place NE  
(505) 858-3100  
Albuquerque, NM 87109  
Fax (505) 858-1118  
1-800-245-3102  
tierrawestllc.com

# TIERRA WEST, LLC

February 16, 2018

Ms. Kym Dicome, Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
LOT3 PLAT OF LTS 1, 2, 3 & 4 SRCC  
ALBUQUERQUE CARPENTERS TRAINING CENTER  
ZONE ATLAS PAGE G-16-Z**

Dear Chainwoman Dicome:

Tierra West, LLC, on behalf ABQ Comanche Retail, LLC, requests approval of a Site Development Plan for Building Permit for Lot 3, SRCC Albuquerque Carpenters Training Center for a new entertainment facility development on a currently vacant property.

## **Site Location and History**

The project site is located on Pan American Freeway at the southwest corner of Vassar Drive NE. This application requests approval for the entertainment/restaurant portion containing approximately 2.6023 +/- acres. We believe this proposed project is in substantial compliance with the approved Site Plan for Subdivision previously approved by an Administrative Amendment.

## **Site Orientation**

The site is currently one parcel and will remain so for this project. Access will be via a private road between Pan American Freeway and Vassar Drive. This request is only for the development of Lot 3.

The 35,040 square foot building will house jumping facilities like trampolines, games and a dining area. A patio will be located near the front entrance facing north and the loading area will be on the south side of the building.

An internal roadway provides vehicular, pedestrian and bicycle connections between the parcels and to the adjoining streets. A trip generation analysis was completed comparing the original office and commercial uses with this use showing a reduction in trips for this property.

## **Elevations and Signage**

The building is designed primarily with textured concrete panels accented with integral color split face block. To break up the building massing vertically and horizontally, different shades of grey and tan colored painted concrete with colored texture panels accented with lights are used to accentuate wall plane articulations. An entryway on the main façade accentuates the building entrance and colored lighting is used on the main front and side facades for visual interest. Matching grey screen walls will be used for the trash compactor area.



Signage for the project will be limited to the building. Existing joint tenant signs may be used as well. Colored renderings of the building and the signage are enclosed with this submittal.

**Drainage and Landscaping**

The drainage for the property is part of an overall grading and drainage plan completed for the Carpenter's Training Center and complies with that plan. Ultimately the storm water from this site is conveyed to the existing regional Griegos Pond located west of Interstate 25. The project will utilize Low Impact Development (LID) to improve water quality prior to discharging from the site.

**Landscaping**

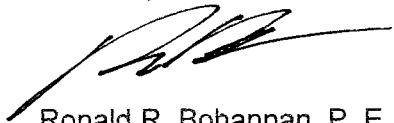
The landscape design was developed to meet the design guideline requirements set forth in the approved Site Development Plan for Subdivision and compliments the existing landscaping around the Carpenters Training Center.

**Conclusion**

The request conforms to the existing development guidelines outlined in the Site Plan for Subdivision approved with the Carpenters Training Center project as well as to the DPM requirements and standards. We ask the proposed action be approved.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

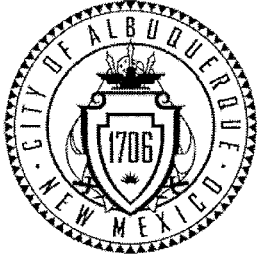
A handwritten signature in black ink, appearing to read 'R. Bohannon', with a long horizontal flourish extending to the right.

Ronald R. Bohannon. P. E.

Enclosure/s

cc: Brendon Hollier

JN: 2017042  
RRB/JN/jg



City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103  
**Planning Department**  
Deborah Stover, Director

**Richard J. Berry, Mayor**  
**Robert J. Perry, CAO**

**May 9, 2014**

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**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation**

**Project Number(s):** 1006865  
**Case Number(s):** DRB-98-294, DRB-98-299  
**Agent:** Tierra West, LLC  
**Applicant:** Southwest Regional Council of Carpenters  
**Legal Description:** TR A-1-A Plat of TR A-1-A Comanche Business Park  
**Zoning:** M-1  
**Acreage:** 15.63  
**Zone Atlas Page:** G-16-Z

**CERTIFICATE OF NO EFFECT:** Yes ☒ No ☐

**CERTIFICATE OF APPROVAL:** Yes ☐ No ☐

**TREATMENT PLAN REVIEW:**  
**DISCOVERY:**

**SUPPORTING DOCUMENTATION:**

NMCRIS / NIAF : A Cultural Resources Inventory of 13.34 Acres for a Proposed Industrial Park on Vassar Drive, Albuquerque, Bernalillo County, New Mexico by Douglas H.M. Boggess (Lone Mountain Archaeological Services, Inc. October 22, 2007)

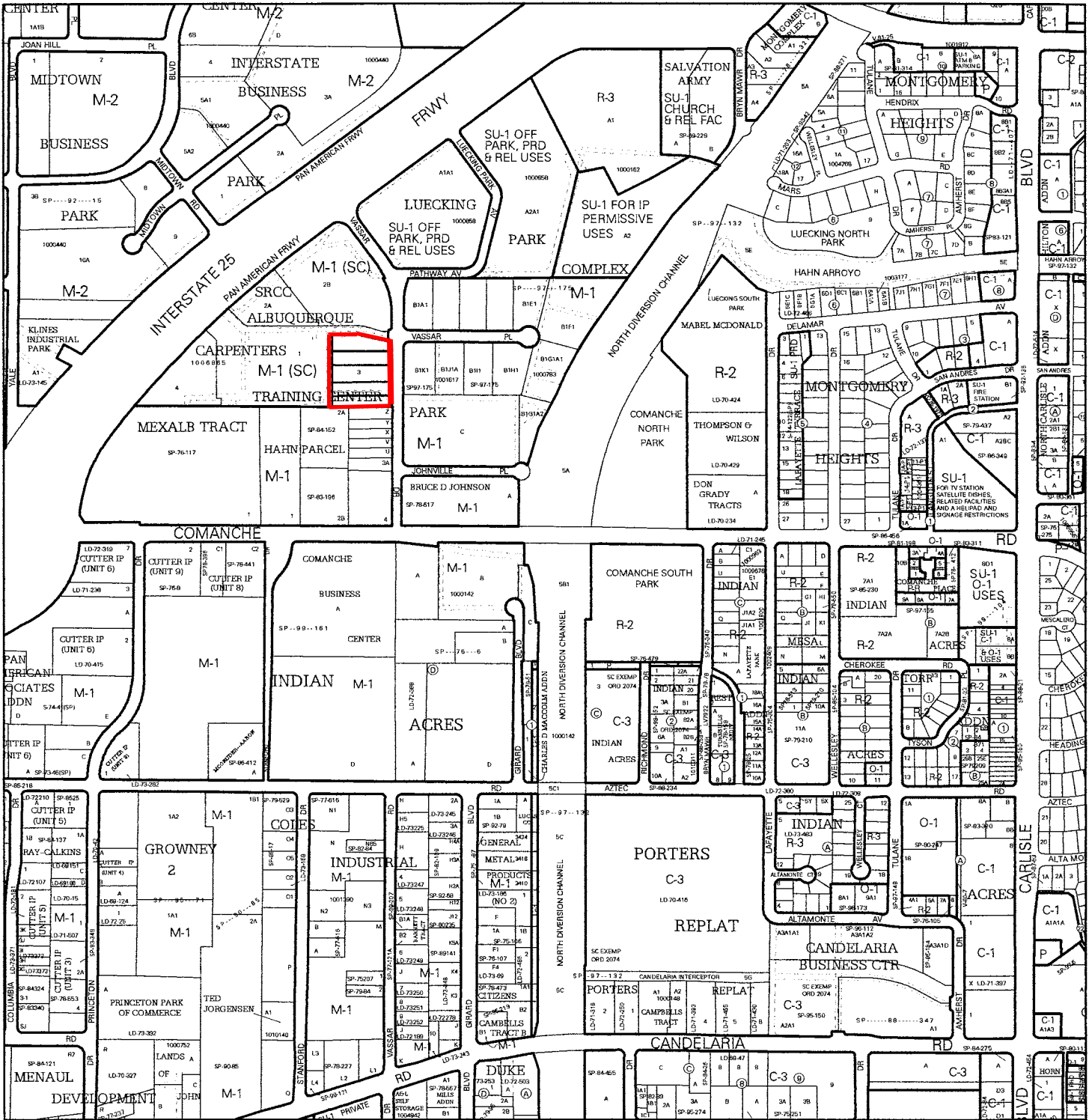
**RECOMMENDATION(S):**

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)***

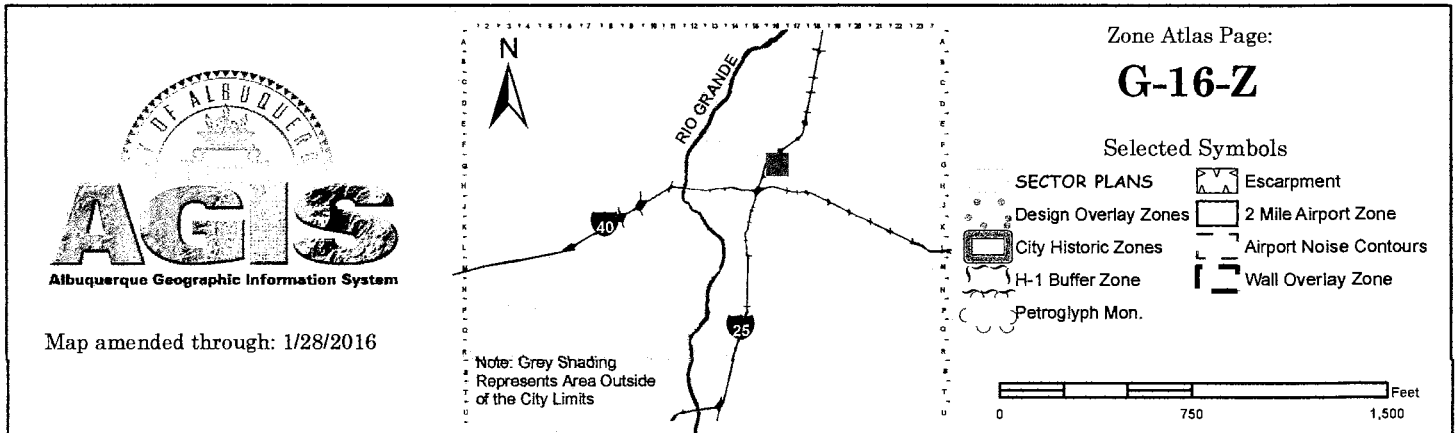
**SUBMITTED:**

Matthew Schmader, PhD  
Superintendent, Open Space Division  
City Archaeologist

Address: 3930 Pan American Freeway NE Albuquerque NM 87107



For more current information and details visit: <http://www.cabq.gov/gis>



Zone Atlas Page:

**G-16-Z**

Selected Symbols

SECTOR PLANS

Design Overlay Zones

City Historic Zones

H-1 Buffer Zone

Petroglyph Mon.

Escarpment

2 Mile Airport Zone

Airport Noise Contours

Wall Overlay Zone

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/28/2016

Note: Gray Shading  
Represents Area Outside  
of the City Limits

0 750 1,500 Feet

## Jaimie Garcia

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**From:** Quevedo, Vicente M. <vquevedo@cabq.gov>  
**Sent:** Thursday, February 08, 2018 1:33 PM  
**To:** Jaimie Garcia  
**Subject:** Notification Inquiry\_3930 Pan American Freeway\_DRB  
**Attachments:** Page\_G-16-Z.PDF

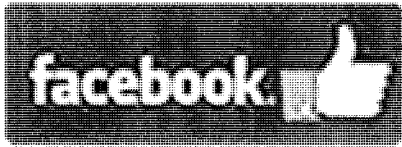
Jaimie,

Good afternoon. The purpose of this email is to confirm that as of today's date **Thursday, February 8, 2018** there are no affected neighborhood associations to notify related to your upcoming DRB submittal. Thank you.

Respectfully,

**Vicente M. Quevedo, MCRP**  
Neighborhood Liaison, Office of Neighborhood Coordination  
City of Albuquerque – City Council  
(505) 768-3332  
cabq.gov/neighborhoods

Follow us;



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**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)  
**Sent:** Wednesday, February 07, 2018 9:27 AM  
**To:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Notification Inquiry Sheet Submission

Notification Inquiry For:

Development Review Board Submittal

If you selected "Other" in the question above, please describe what you are seeking a Notification Inquiry for below:

Contact Name

Jaimie Garcia

Company Name

Tierra West, LLC

Address

5571 Midway Park Place NE

City

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.**



Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

*Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.*

## Accompanying Material

- ☒ A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- ☒ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale:  
1.0 acre or less 1" = 10'                      Over 5 acres 1" = 50'  
1.0 - 5.0 acres 1" = 20'                      Over 20 acres 1" = 100'  
[other scales, if approved by staff]
- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Vicinity map
- ☒ 6. Signature Block (for DRB site dev. plans)
- ☒ 7. Property lines (clearly identify)
- ☒ 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- ☒ 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- ☒ 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development

### 1. Structural

- ☒ 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- ☒ 2. Dimensions and square footage of each structure
- ☒ 3. Proposed use of each structure
- ☒ 4. Walls, fences, and screening: indicate height, length, color and materials
- N/A 5. Loading facilities
- ☒ 6. Conceptual site lighting (indicate general location & maximum height)
- ☒ 7. Location of refuse container and enclosure
- ☒ 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

### 2. Parking and Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled.
  - ☒ 1. **Location and typical dimensions**, including handicapped spaces
  - ☒ 2. **Calculations:** spaces required: 125 provided: 126  
Handicapped spaces (included in required total) required: 8 provided: 8  
Motorcycle spaces (in addition to required total) required: 5 provided: 5
- ☒ B. Bicycle parking & facilities
  - ☒ 1. Bicycle racks, spaces required: 8 provided: 8
  - N/A 2. Bikeways and other bicycle facilities, if applicable
- N/A C. Public Transit
  - \_\_\_ 1. Bus facilities, including routes, bays and shelters existing or required
- ☒ D. Pedestrian Circulation
  - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths
  - ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
  - ☒ 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- ☒ E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
  - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
  - ☒ 2. Drive aisle locations, including width and curve radii dimensions
  - ☒ 3. End aisle locations, including width and curve radii dimensions
  - ☒ 4. Location & orientation of refuse enclosure, with dimensions
  - N/A 5. Curb cut locations and dimensions
  - ☒ 6. Existing and proposed street widths, right-of-way widths and curve radii
  - N/A 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - N/A 8. Location of traffic signs and signals related to the functioning of the proposal
  - N/A 9. Identify existing and proposed medians and median cuts

### 3. Phasing – This is required information if phasing of project is anticipated

- N/A Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- ☒ 1. Scale - must be same as scale on sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- ☒ 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- ☒ 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- ☒ 9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
- ☒ 10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
- ☒ 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- ☒ 12. Verification of adequate sight distance
- ☒ 13. Provide a plant list of shrubs, grasses, and perennials

## SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

### A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Building footprints
- ☒ 6. Location of Retaining walls

### B. Grading Information

- ☒ 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- ☒ 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- ☒ 3. Identify whether ponding is required
- ☒ 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- ☒ 5. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- ☒ 6. In addition to the above, the following must be provided for DRB applications:
  - A. Conceptual onsite drainage system
  - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

### SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- ☒ 1. Fire hydrant locations, existing and proposed.
- ☒ 2. Distribution lines
- ☒ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

### SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

#### A. General Information

- ☒ 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- ☒ 2. Bar Scale
- ☒ 3. Detailed Building Elevations for each facade
  - ☒ a. Identify facade orientation (north, south, east, & west)
  - ☒ b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
  - ☒ c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
  - ☒ d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- ☒ 4. Dimensions, colors and materials of Refuse Enclosure
- ☒ 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

#### B. Signage

- ☒ 1. Site location(s)
- ☒ 2. Sign elevations to scale
- ☒ 3. Dimensions, including height and width
- ☒ 4. Sign face area - dimensions and square footage clearly indicated
- ☒ 5. Lighting
- ☒ 6. Materials and colors for sign face and structural elements
- ☒ 7. Verification of adequate sight distance



February 7, 2018

Ms. Kym Dicome  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
LOT 3 PLAT OF LTS 1, 2, 3, & 4 SRCC ALBUQUERQUE  
CARPENTERS TRAINING CENTER  
ZONE ATLAS PAGE G-15-Z**

Dear Chairwoman Dicome:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of ABQ Comanche Retail, LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Brendon Hallier  
Print Name

BAH  
Signature

Manager  
Title

2/8/18  
Date

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: ABQ Comanche Retail, LLC DATE OF REQUEST: 02/16/18 ZONE ATLAS PAGE(S): G-15-Z

CURRENT:

LEGAL DESCRIPTION:

ZONING M-1

LOT OR TRACT # \_\_\_\_\_ BLOCK # \_\_\_\_\_

PARCEL SIZE (AC/SQ. FT.) 2.6023-/+

SUBDIVISION NAME SRCC Albuquerque Carpenters Training Center

### REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From \_\_\_\_\_ To \_\_\_\_\_

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

SUBDIVISION\* ☐

BUILDING PERMIT ☒

BUILDING PURPOSES ☐

### SITE DEVELOPMENT PLAN:

AMENDMENT ☐

ACCESS PERMIT ☐

OTHER ☐

\*includes platting actions

### PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

### ACTION:

# OF UNITS: \_\_\_\_\_

BUILDING SIZE: \_\_\_\_\_ (sq. ft.)

### GENERAL DESCRIPTION OF

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE J. L. K.

DATE 2/16/2018

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☒

Notes: *TIS was previously submitted on this site and this proposed permit is within the previously projected trips. All recommendations from the previous study are in place.*

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

J. L. K.  
TRAFFIC ENGINEER

DATE 2/16/18

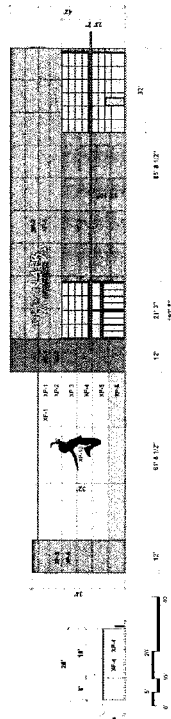
Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS

-FINALIZED 1/1/18

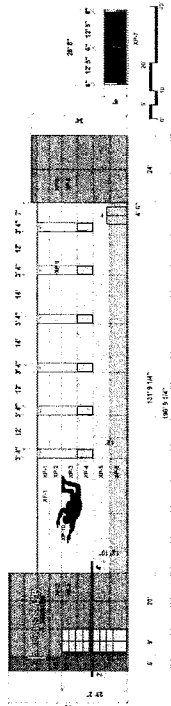
-SUBMITTED 1/1/18

TRAFFIC ENGINEER  
DATE



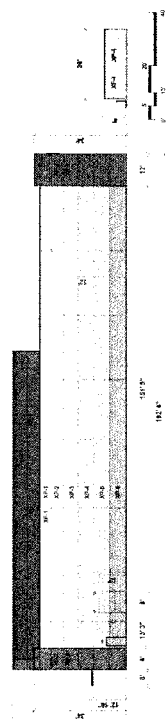
idstudio®

**NORTH ELEVATION**



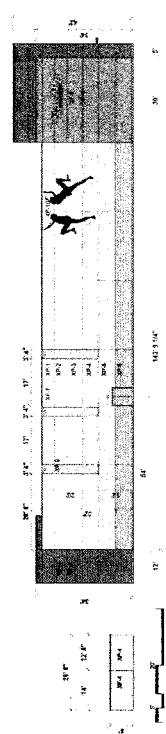
idstudio®

**WEST ELEVATION**



idstudio®

**SOUTH ELEVATION**



istudino

## FAST ELEVATION

## EXTERIOR FINISH SCHEDULE

Item	Manufacturer	Product
XF-1 Tilt Wall (main building)	TBD	Conc. Tilt Wall
XF-2 EFS (main building bump-outs)	TBD	
XF-3 Nichia exterior planks (front entry)	Nichia	Vintage Wood Cedar
XF-4 CMU Block Wall (sumpster enclosure)	TBD	
XF-1 "Passive" paint (exterior tilt wall)	Sherwin Williams	SW 7064 "Passive"
XF-2 "Argos" paint (exterior tilt wall)	Sherwin Williams	SW 7065 "Argos"
XF-3 "Gray Maters" paint (exterior tilt wall)	Sherwin Williams	SW 7066 "Gray Matters"
XF-4 "Tin Lizzie" paint (exterior tilt wall)	Sherwin Williams	SW 9163 "Tin Lizzie"
XF-5 "Cin Sages" paint (exterior tilt wall)	Sherwin Williams	SW 7067 "Cin Sages"
XF-6 "Grizzle Gray" paint (exterior tilt wall)	Sherwin Williams	SW 7068 "Grizzle Gray"
XF-7 "Iron Ore" paint (exterior tilt wall & awning)	Sherwin Williams	SW 7069 "Iron Ore"
XF-8 "Sproy Hue" paint (exterior for EFS)	Sherwin Williams	SW 6342 "Sproy Hue"
XF-9 "Optical Orange" paint (exterior for EFS details)	Sherwin Williams	SW 6884 "Optical Orange"
XF-10 "Ticonom Black" paint (slipcovers)	Sherwin Williams	SW 6258 "Ticonom Black"

Studio

4421 Glenhurst Ct. #3150  
Denver, CO 80231 303.873.1199

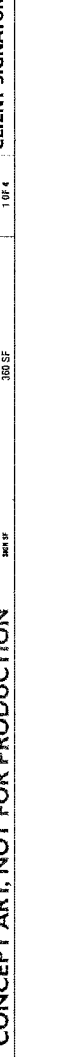
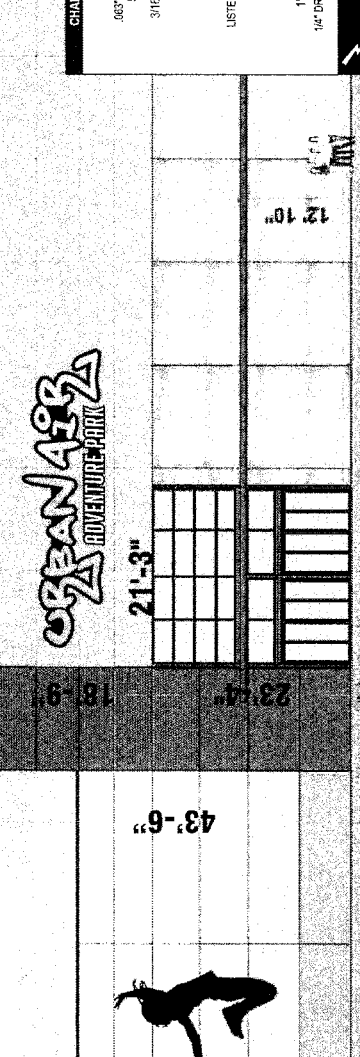
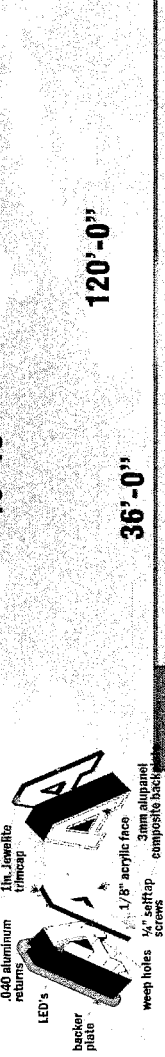
06-00000

2007年9月24日

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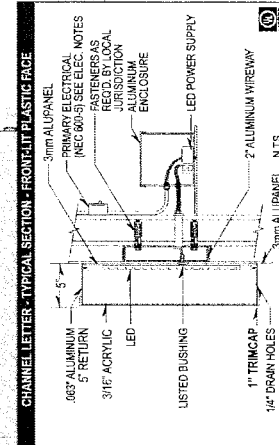
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100

100



SCOPE OF WORK:  
FABRICATE & INSTALL (1) ONE SET OF  
FRONT ILLUMINATED LED CHANNEL LETTERS

LED CHANNEL LETTERS	
MATERIAL	COLOR
.040 ALUMINUM RETURNS	BLACK
3mm ALUPANEL BACKS	WHITE
3/16" ACRYLIC FACES	ORANGE/WHITE
1" JEWELITE TRIM CAP	BLACK
CLASS 2 LEDS & POWER SUPPLY	WHITE
3mm ALUPANEL BACKER PLATE	BLACK
WIRE-WAY - SPICY HUS	SW 6342
3M VINYL SILVER GREY	3630-51



**ELECTRICAL NOTES**  
Sign Company DOES NOT provide primary electrical to sign.  
Power to the sign must be done by a licensed electrical contractor or licensed electrician.  
Each sign must have:  
1. A minimum of one dedicated 120V 20A circuit.  
2. Junction box installed within 6 feet of sign.  
3. Three wires: Line, Ground, Neutral.

**FRONT ELEVATION - PLEX FACE CHANNEL LETTERS W/ BACKER PANEL ON WIREWAY**  
ONE (1) SET - SCALE 1/16" = 1'

JOB DESCRIPTION	FRONT LIT CHANNEL LETTERS ON BACKER PANEL	DATE	2-14-18
CLIENT OR JOB NAME	URBAN AIR - ALBUQUERQUE, NM	BY	
CUSTOMER PROJECT	BRYAN	WT	
ADDRESS	ALBUQUERQUE, NM	WT	
PHONE	979-324-4606	WT	
EMAIL		WT	
ESTIMATE #	LF ALLOWED	WT	
SALES REP. YN	300 SF	WT	
DATE	1 OF 4	WT	

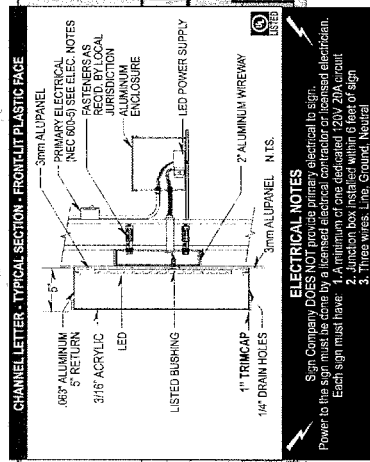
**CUSTOMER APPROVAL:** Note: The colors depicted on this rendering may not match actual colors used on the finished display. Note: The proportion of signs shown on building and landscape area photos is for reference only. Please read carefully before you OK this proof, please read your copy carefully and completely. Check for spelling errors and copy omissions. Any changes or alterations from the original instructions will be charged according to time and material.  
**FINAL PROOF APPROVAL:** By signing this form I am approving the above described job and I hereby acknowledge that I have read and accept the pricing policy and Terms and Conditions of Legacy Signs of Texas. Please sign and return so that we may process your order.

**CLIENT SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**ON TIME SIGNS**  
10375 Alta Vista Rd, Fort Worth, TX 76244 | O 817.431.5700 / F 817.431.5799  
UL 100525-147 **TDLR 81934**  
CONCEPT ART, NOT FOR PRODUCTION

OWNER'S SEAL	ENTERTAINMENT FACILITY	DRAWN BY	
	3930 PAN AMERICAN FRWY	DATE	2-15-18
	SIGN ELEVATION	DRAWING	
		SHEET #	9
		DESIGNED BY	BRANDMAN
		DATE	2/17/2018

LED CHANNEL LETTERS	
MATERIAL	COLOR
.040 ALUMINUM RETURNS	BLACK
3mm ALUPANEL BACKS	WHITE
3/16" ACRYLIC FACES	ORANGE/WHITE
1" JEWELITE TRIM CAP	BLACK
CLASS 2 LEDS & POWER SUPPLY	WHITE
3mm ALUPANEL BACKER PLATE	BLACK
WIPE-WAY - SPICY HUS	SW 6342
3M VINYL SILVER GREY	3630-51



### ELECTRICAL NOTES

Sign Company DOES NOT provide primary electrical to sign.  
Power to the sign must be done by a licensed electrical contractor or licensed electrician.  
Each sign must have: 1. A minimum of one dedicated 120V 20A circuit  
2. Junction box installed within 6 feet of sign  
3. Three-wire, line, ground, neutral

ONE (1) SET - SCALE 1/16" = 1'

**ON TIME SIGNS**

**LEGACY SIGNS** *of Texas*

10375 Alta Vista Rd., Fort Worth, TX 76244 | O 817.431.5700 | F 817.431.5799

UL 100525-147 <sup>2400</sup> **TDLR 81934**

**CERTIFIED ART. NOT FOR PRODUCTION**


JOB DESCRIPTION	FRONT LIT CHANNEL LETTERS ON BACKER PANEL	DATE
COMPUTER & GPS NAME CUSTOMER PROJECT	URBAN AIR - ALBUQUERQUE NM BRYAN	2-4-18
ADDRESS	ALBUQUERQUE NM	
PHONE	973.324.4086	
EMAIL	L.F. ALLOWED	SIGNATURE PAGE
STREET POINT UP	2002 S SF	2 OF 4

**SALES REPRESENTATIVE**

10375 Alta Vista Rd, Fort Worth, TX 76244 | O 817.431.5700 | F 817.431.5799  
 ④ UL 100525-147 <sup>UL</sup> TDLR 81934  
 CONCEPT ART. NOT FOR PRODUCTION

**DATE:** \_\_\_\_\_

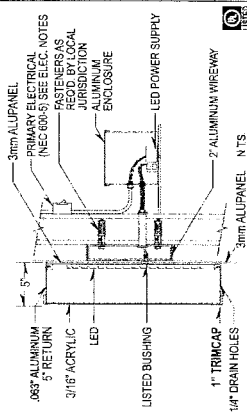
**CLIENT SIGNATURE:** \_\_\_\_\_

ENGINEER'S SEAL	ENTERTAINMENT FACILITY 3930 PAM AMERICAN FRWY		DRAWN BY PJM DATE 2-15-18 DRAWING DOMING
	SIGN ELEVATION		SHEET / 10 JOB # 2017042
<p>  </p> <p> <b>THE ENGINEERING FIRM, INC.</b>          555 MIDWAY PARK RD. W.          ALBUQUERQUE, NM 87108          (505) 858-1100  <a href="http://www.theengineerfirm.com">www.theengineerfirm.com</a> </p>			
GEORGE P. BOWMAN P.E. FEESE			

SCOPE OF WORK:  
FABRICATE & INSTALL (1) ONE SET OF  
FRONT ILLUMINATED LED CHANNEL LETTERS

LED CHANNEL LETTERS	
MATERIAL	COLOR
.040 ALUMINUM RETURNS	BLACK
3mm ALUPANEL BACKS	WHITE
3/16" ACRYLIC FACES	ORANGE/WHITE
1" JEWELITE TRIM CAP	BLACK
CLASS 2 LEDS & POWER SUPPLY	WHITE
3mm ALUPANEL BACKER PLATE	BLACK
WIRE-WAY - SPICY HUS	SW 6342
3M VINYL SILVER GREY	3630-51

CHANNEL LETTER - TYPICAL SECTION - FRONT-LIT PLASTIC FACE



ELECTRICAL NOTES

- Sign Company DOES NOT provide electrical to sign
- Power to the sign must be done by a licensed electrical contractor or licensed electrician.
- Each sign must have:
  - 1. A minimum of one dedicated 120V 20A circuit.
  - 2. Junction box installed within 6' feet of sign.
  - 3. Three wires: Line, Ground, Neutral.

EAST ELEVATION - PLEX FACE CHANNEL LETTERS W/ BACKER PANEL ON WIREWAY

ONE (1) SET -

SCALE 1/16" = 1'



10375 Alta Vista Rd, Fort Worth, TX 76244 | O 817.431.5700 / F 817.431.5799  
UL 100525-147 TDLR 81934  
CONCEPT ART, NOT FOR PRODUCTION

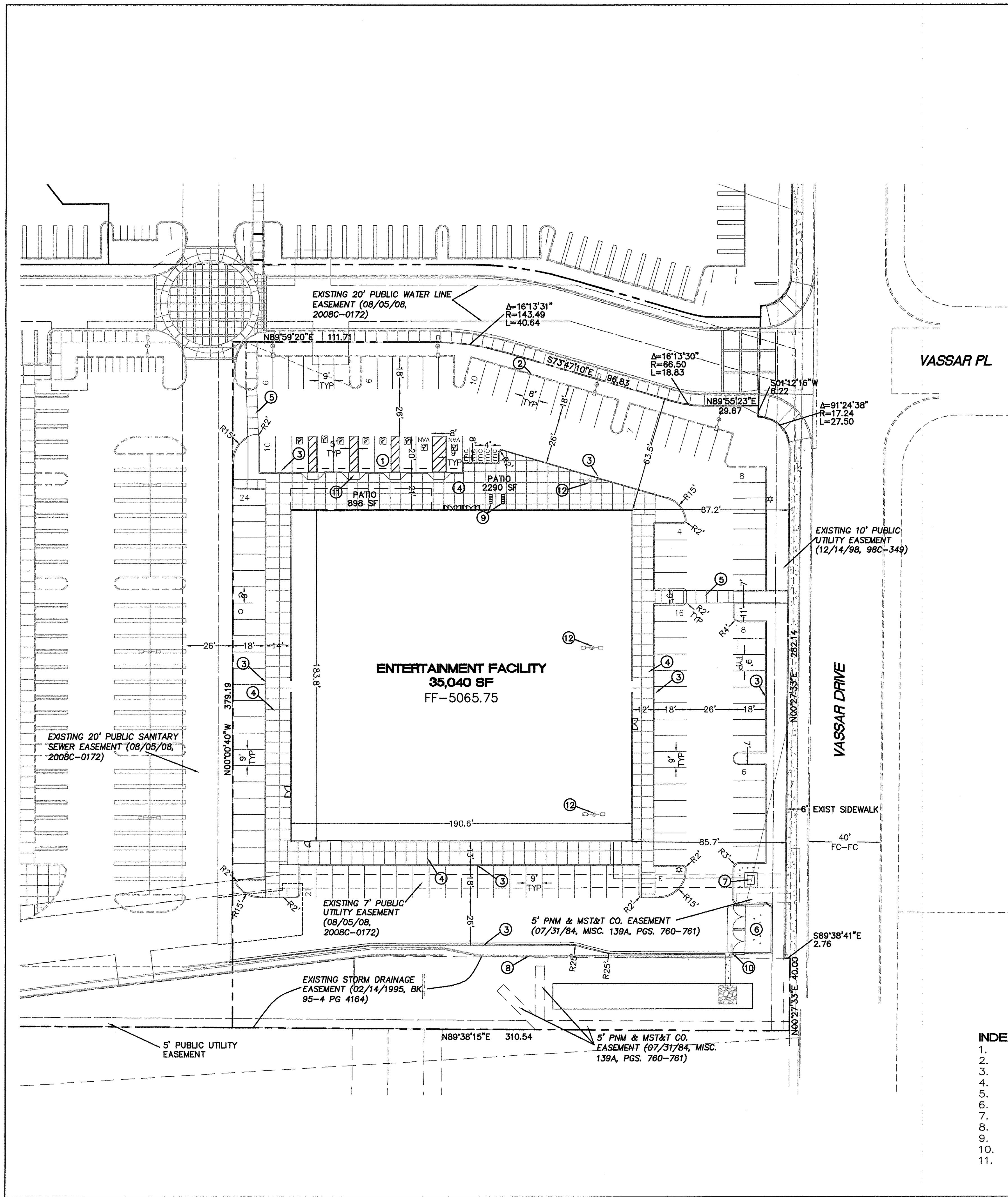
JOB DESCRIPTION	FRONT LIT CHANNEL LETTERS ON BACKER PANEL	DATE	BY
COMPANY OR JOB NAME	URBAN AIR - ALBUQUERQUE, NM	2-14-18	nm
CLIENT NAME	BRYAN		nm
ADDRESS	ALBUQUERQUE, NM		nm
PHONE	978.324.4600		nm
EMAIL			nm
START/END DATE	IF ALLOWED		nm
SHEET #	202.5 SF	3 OF 4	nm

CLIENT SIGNATURE:

DATE:

ENGINEER'S SEAL	ENTERTAINMENT FACILITY 3930 PAN AMERICAN FRWY	DRAWN BY nm
	SIGN ELEVATION	CHECKED BY 2-14-18
		DATE
		SHEET # 11
RONALD R. BOWMAN P.E. #2888	LEGACY SIGNS LLC 5511 MIDWAY EAST, P.O. BOX ALBUQUERQUE, NEW MEXICO 87109 www.legacy-signs.com	JOB # 2017042





**LEGEND**

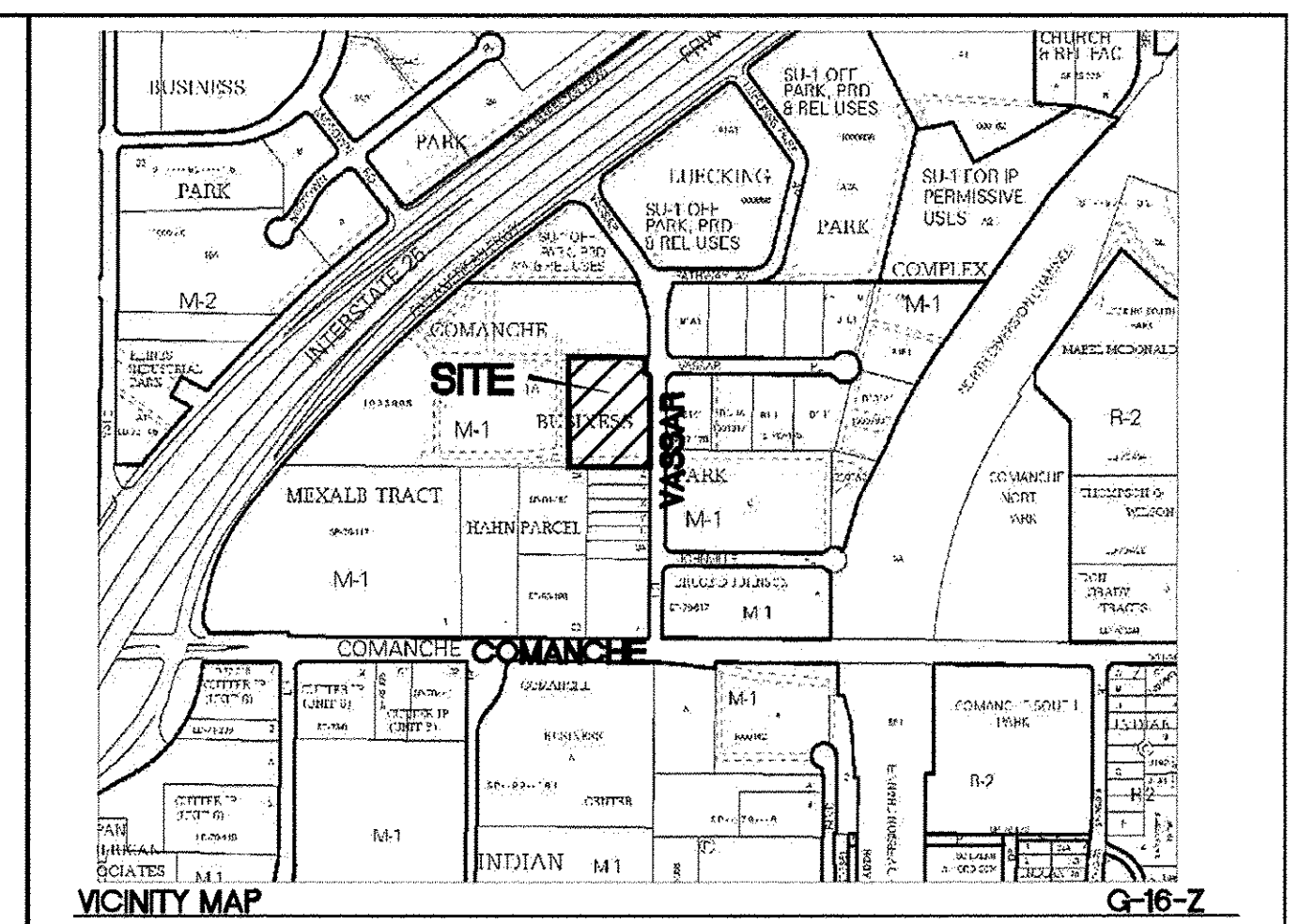
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	SITE LIGHTING

**SITE DATA**

ZONING	M1 (SC)
SETBACKS	FRONT PER PLAN REAR PER PLAN SIDE (CORNER) PER PLAN
LOT AREA	113,692 SF (2.61 AC)
PROPOSED USAGE	ENTERTAINMENT FACILITY 35,040 SF PATIO 898 SF
LANDSCAPING REQUIRED	11732 SF (15% NET LAND AREA)
LANDSCAPING PROVIDED	14202 SF
PARKING REQUIRED	156 SPACES
SHARED PARKING REDUCTION	31 SPACES
PARKING REQUIRED MINUS SHARED PARKING REDUCTION	125 SPACES
PARKING PROVIDED	126 SPACES
ACCESSIBLE PARKING REQUIRED	8 SPACES
ACCESSIBLE PARKING PROVIDED	8 SPACES (2 VAN ACCESSIBLE)
MOTORCYCLE PARKING REQUIRED	5 SPACES
MOTORCYCLE PARKING PROVIDED	5 SPACES
BICYCLE PARKING REQUIRED	8 SPACES
BICYCLE PARKING PROVIDED	8 SPACES

- KEYED NOTES**
- 1 ACCESSIBLE PARKING
  - 2 EXISTING CURB TO REMAIN
  - 3 NEW CURB PER COA STD DWG 2415A
  - 4 CONCRETE SIDEWALK PER ARCHITECTURAL PLAN
  - 5 7' CROSSWALK SEE DETAIL SHEET 4
  - 6 DUMPSTER W/RECYCLE SEE DETAIL SHEET 5
  - 7 PROPOSED TRANSFORMER W/BOLLARDS
  - 8 EXISTING WALL
  - 9 BICYCLE RACK
  - 10 REMOVE AND DISPOSE 2.3 LF EXISTING WALL
  - 11 ACCESSIBLE RAMP SEE DETAIL SHEET 4
  - 12 EXISTING LIGHTS TO BE SALVAGED AND RELOCATED

- INDEX TO DRAWINGS**
- 1. SITE PLAN FOR BUILDING PERMIT
  - 2. LANDSCAPING PLAN
  - 3. GRADING PLAN
  - 4. MASTER UTILITY PLAN
  - 5. CONSTRUCTION DETAILS
  - 6. CONSTRUCTION DETAILS
  - 7. FIREONE PLAN
  - 8. BUILDING ELEVATION
  - 9. SIGN ELEVATION
  - 10. SIGN ELEVATION
  - 11. SIGN ELEVATION



**LEGAL DESCRIPTION**  
LOT 3, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER  
(12/02/2014, BOOK 2014C, PAGE 129)

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

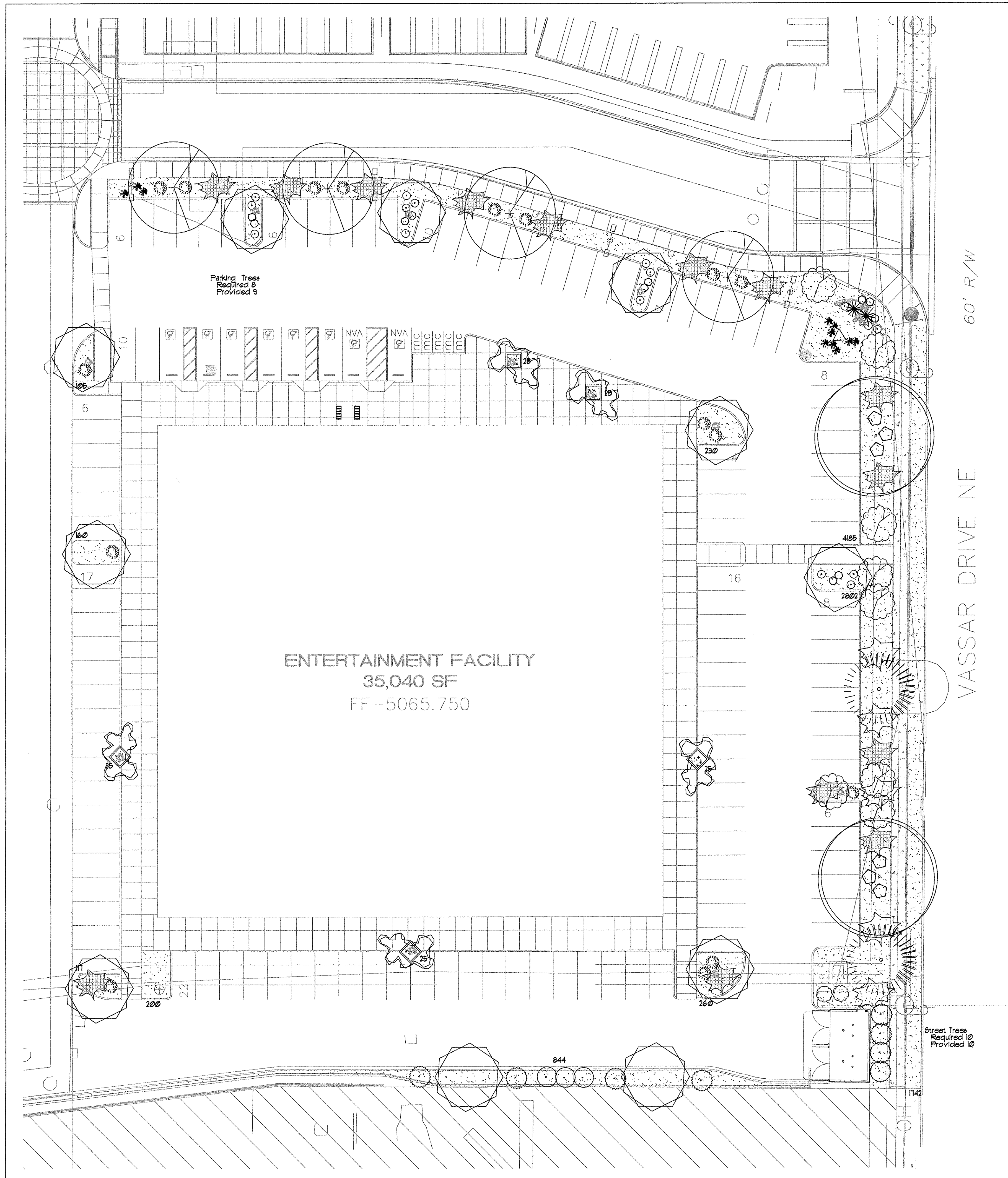
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

\* Environmental Health, if necessary

	<b>ENTERTAINMENT FACILITY 3930 PAN AMERICAN FRWY</b>	DRAWN BY pm
	<b>SITE PLAN FOR BUILDING PERMIT</b>	DATE 2-15-18
		DRAWING
		SHEET # <b>1</b>
		JOB # 2017042





60' R/W

VASSAR DRIVE NE

Street Trees  
Required 10  
Provided 10

### LANDSCAPE LEGEND

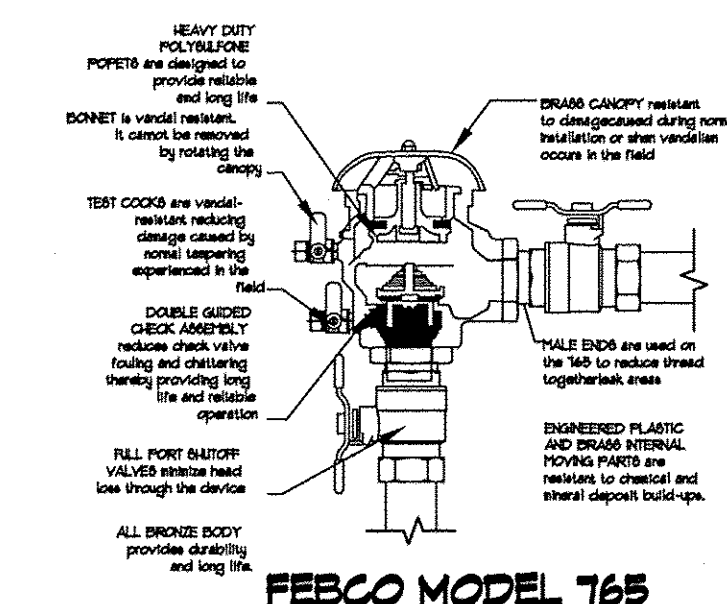
QTY SIZE COMMON/BOTANICAL H2O USE

#### Trees

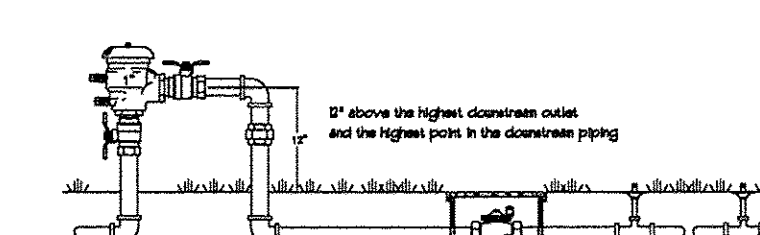
4	2" cal	Chinese Pistache <i>Fraxinus sp.</i>	40x35	1225	4900 M
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	4050 M
2	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	625	1250 M
5	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	30x20	400	2000 M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6	36	72 M
8	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	144	1152 M
11	4 - 6'	Desert Willow <i>Chilopsis linearis</i>	20x25	625	6875 M

#### Shrubs & Groundcovers

16	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5	25	400 M
11	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25x2	4	44 M
6	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	5x5	25	150 M
1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5	25	25 M
5	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12	144	720 M
14	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12	144	2016 M
11	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	99 M
16	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	9	144 M
2	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6	36	72 L
8	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	49	392 L
3	5 Gal	Chamisa <i>Chrysanthemum nauseosus</i>	5x1	49	141 L
14	5 Gal	Carpet Rose <i>Chrysanthemum nauseosus</i>	3x3	9	126 L
14	2-3cf	Boulders To be placed at contractor discretion			
10710		Landscape Gravel / Filter Fabric 3/4" Crushed Grey			
400		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose			



FEBCO MODEL 765  
Pressure Vacuum Breaker

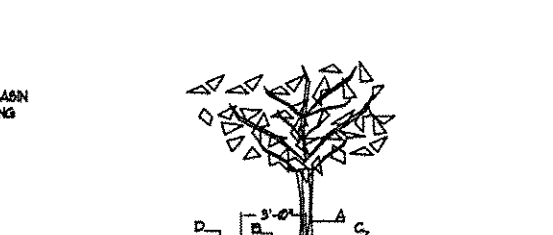


FEBCO MODEL 765  
Pressure Vacuum Breaker

#### SHRUB PLANTING DETAIL

GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASKET SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING.  
2. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
3. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
4. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
5. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
6. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.

#### Netafim Spiral Detail



#### TREE PLANTING DETAIL

GENERAL NOTES:  
1. ALL TREES SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE TRUNK ROT.  
2. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
3. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
4. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
5. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.  
6. TOP OF ROOTBALL SHALL BE INDICATED LEVEL AT EACH TREE.

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Landscaping restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

IRRIGATION NOTES:  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

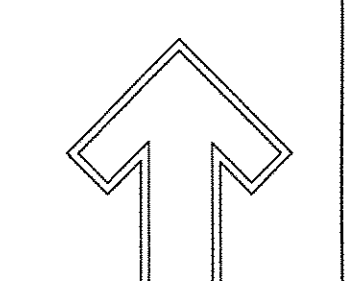
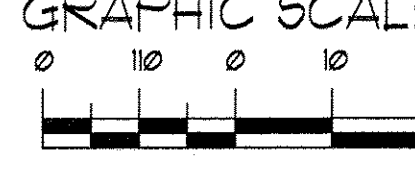
Irrigation maintenance shall be the responsibility of the Property Owner.

Water Meter and Power Meter shall be the responsibility of the Developer/Builder.

### LANDSCAPE CALCULATIONS

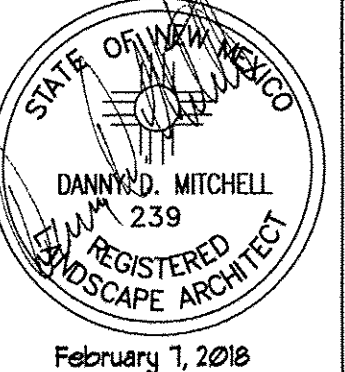
TOTAL LOT AREA (sf)	113358
TOTAL BUILDING AREA (sf)	-35048
TOTAL LOT AREA (sf)	78310
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	11741
TOTAL ON-SITE LANDSCAPE PROVIDED	10710
TOTAL LIVE GROUND COVER REQUIRED	3231
TOTAL LIVE GROUND COVER PROVIDED	4335

### GRAPHIC SCALE



The Hilltop  
1909 Edith NE  
Albuquerque, NM 87113  
Cont. Lic. #2458  
Ph. (505) 833-3630  
Fax (505) 833-1131  
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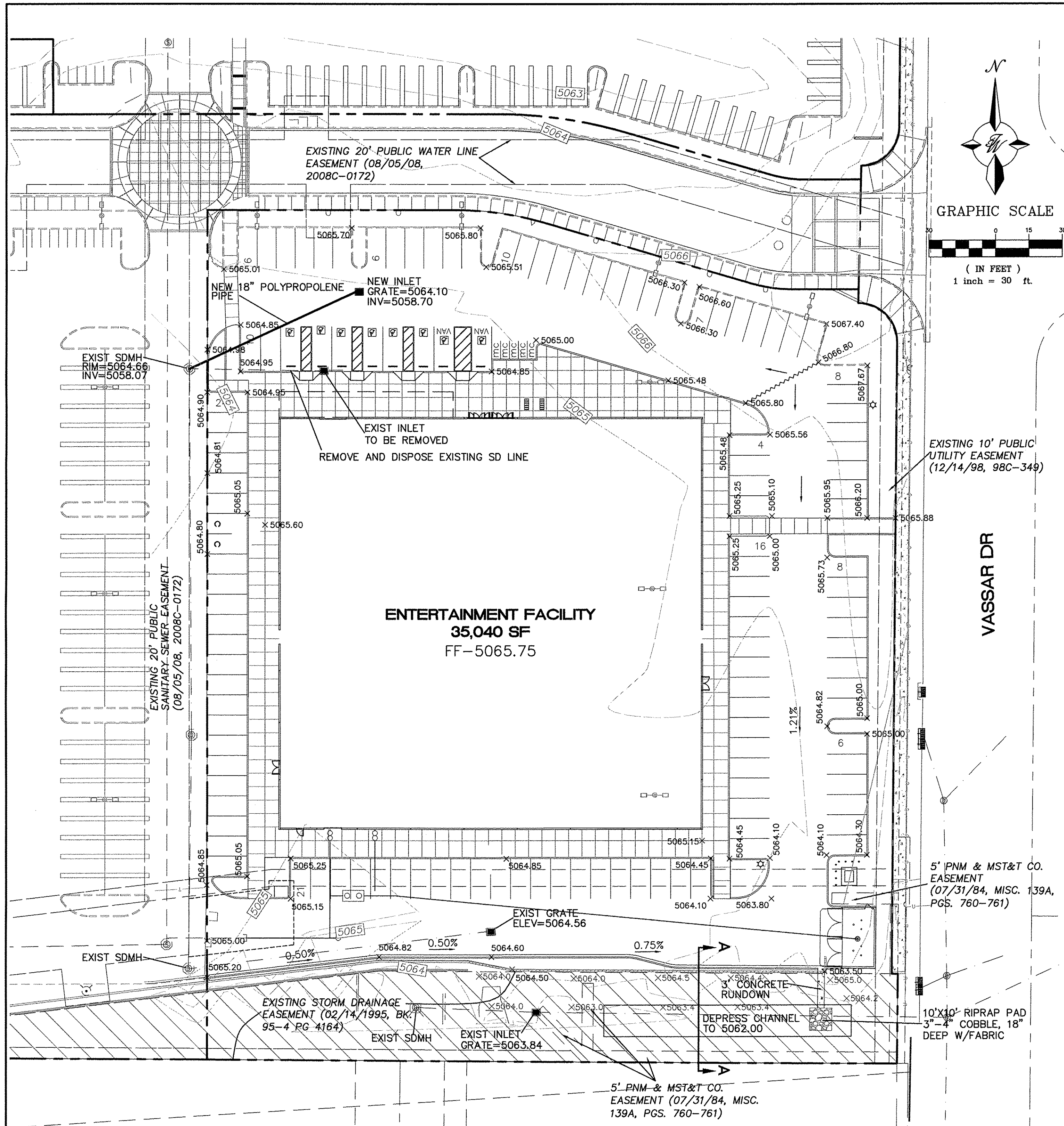
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The Hilltop  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY  
CA  
REVISION  
DATE  
2/7/2018

SHEET  
15-101





**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**EXISTING SITE DRAINAGE**

THE 2.60 ACRE SITE IS LOCATED AT THE SOUTHEAST CORNER OF PAN AMERICAN FREEWAY AND VASSAR DRIVE NE. THE SITE IS BOUNDED ON THE NORTH AND WEST BY COMMERCIAL DEVELOPMENT, ON THE EAST BY VASSAR DRIVE NE AND ON THE SOUTH BY AN INDUSTRIAL/MANUFACTURING DEVELOPMENT.

THE SITE IS CURRENTLY VACANT DRAINS TO TWO EXISTING STORM SEWER INLETS WHERE THE WATER IS THEN CONVEYED BY STORM SEWER AND OPEN CHANNEL TO THE GRIEGOS POND THAT WAS CONSTRUCTED WITH SAD 216.

THERE ARE OFF-SITE FLOWS ENTERING A DRAINAGE EASEMENT ALONG THE SOUTH PROPERTY LINE WHERE A STORM SEWER AND OVERFLOW CHANNEL ARE LOCATED. THIS SITE IS LOCATED IN ZONE "X" AS SHOWN ON FIRM MAP #35001C0138H.

BASED ON THE APPROVED DRAINAGE REPORT FOR THE CARPENTERS TRAINING CENTER (G16/D145) THIS PROJECT MAY DISCHARGE A TOTAL OF 9.89 CFS. THE INFORMATION PERTAINING TO THE AMOUNT OF DISCHARGE ALLOWED FROM THIS PARCEL IS DETAILED ON PAGE 12 OF THE CARPENTERS TRAINING CENTER REPORT. ALL OF THE FLOWS PASS THROUGH AN EXISTING 48" RCP UNDER INTERSTATE 25 WHICH HAS A CAPACITY FOR 161 CFS. THIS PIPE DAYLIGHTS INTO A PONDING AREA WEST OF THE INTERSTATE AND EVENTUALLY DRAINS INTO THE GRIEGOS POND.

**PROPOSED SITE DRAINAGE**

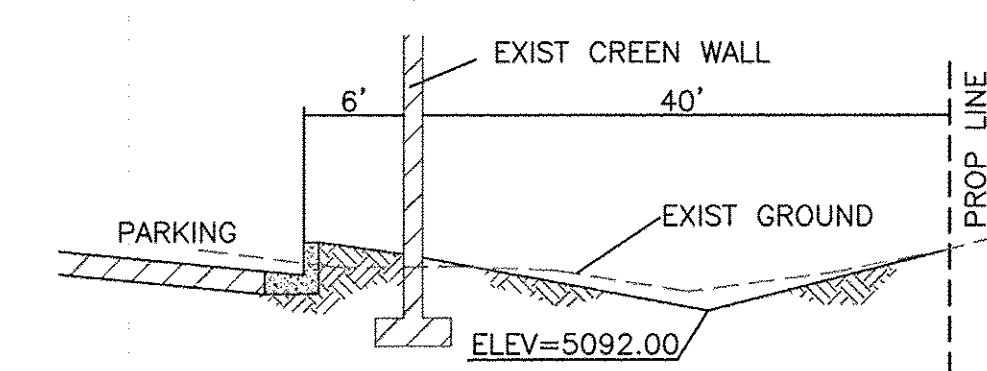
THIS SITE WILL BE DEVELOPED WITH A ENTERTAINMENT BUILDING ON THE PAD ALONG VASSAR DRIVE. THE SITE WILL UTILIZE LOW IMPACT DEVELOPMENT (LID) WHERE POSSIBLE ALLOWING SURFACE STORM WATER TO FLOW THROUGH LANDSCAPED AREAS PRIOR TO DISCHARGING TO THE STORM SEWER. THERE ARE THREE PROPOSED BASINS AS SHOWN ON THE PROPOSED BASIN MAP ON THIS SHEET.

BASIN 1 CONSISTS OF THE FRONT PARKING LOT AND DRAINS TO AN EXISTING DROP INLET. THE CARPENTER'S DRAINAGE PLAN WAS DEVELOPED BEFORE THE FIRST FLUSH REQUIREMENT SO THIS BASIN WAS MINIMIZED AS MUCH AS POSSIBLE SO THE FLOWS COULD BE REDIRECTED TO A FIRST FLUSH POND. THE FLOWS THAT ENTER THE EXISTING INLET EVENTUALLY DRAIN TO THE GRIEGOS POND SO ARE ESSENTIALLY DISCONNECTED FROM THE RIO GRADE.

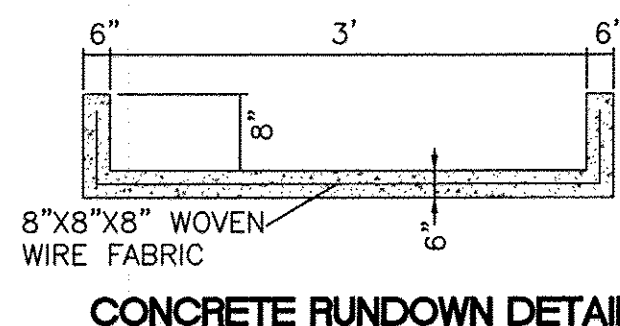
BASIN 2 CONSISTS OF THE BUILDING AND THE SOUTH AND WEST PARKING LOTS AND WILL SURFACE DRAIN TO THE EXISTING DRAINAGE CHANNEL ALONG THE SOUTH PROPERTY LINE. THE CHANNEL IS AN OVERFLOW AREA FOR AN EXISTING STORM SEWER. THE CHANNEL BOTTOM WILL BE DEPRESSED ONE FOOT TO ACCOMMODATE THE FIRST FLUSH VOLUME OF 0.057 AC-FT. EXCESS FLOW CAN BLEED OFF INTO AN EXISTING INLET LOCATED AT THE WEST END OF THE CHANNEL AS IF THE STORM SEWER OVERFLOWED. THE EXISTING DROP INLET IN THE DRIVE AISLE WILL ONLY ACT AS AN OVERFLOW SHOULD THERE BE A LARGE AMOUNT OF WATER THAT FALLS ON THE PARKING LOT

BASIN 3 CONSISTS OF THE EXISTING CHANNEL ITSELF AS WELL AS THE FIRST FLUSH POND. ALL OF THE FLOWS FROM THIS PROJECT ARE THE SAME AS APPROVED IN THE CARPENTER'S TRAINING CENTER REPORT OF 9.90 CFS AND ARE EVENTUALLY STORED IN THE GRIEGOS POND.

THE PARKING AREA WEST OF THE BUILDING IS LOCATED IN A DRAINAGE BASIN THAT WAS INCLUDED AS PART OF THE ORIGINAL CARPENTER'S DRAINAGE PLAN AND DRAINS TO AN EXISTING DROP INLET IN THE CARPENTER'S PARKING LOT.



**SECTION A-A**

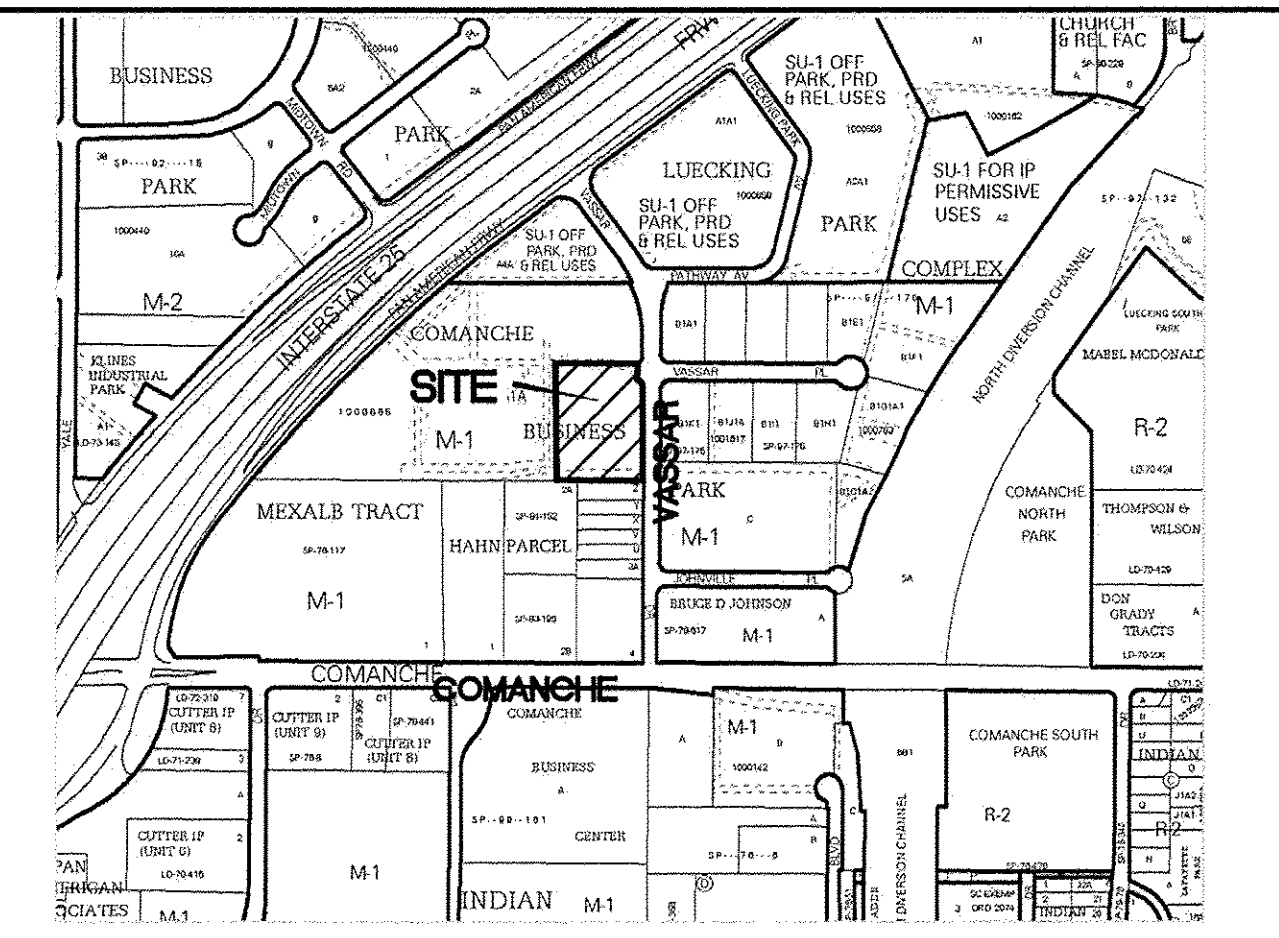


**CAUTION:**

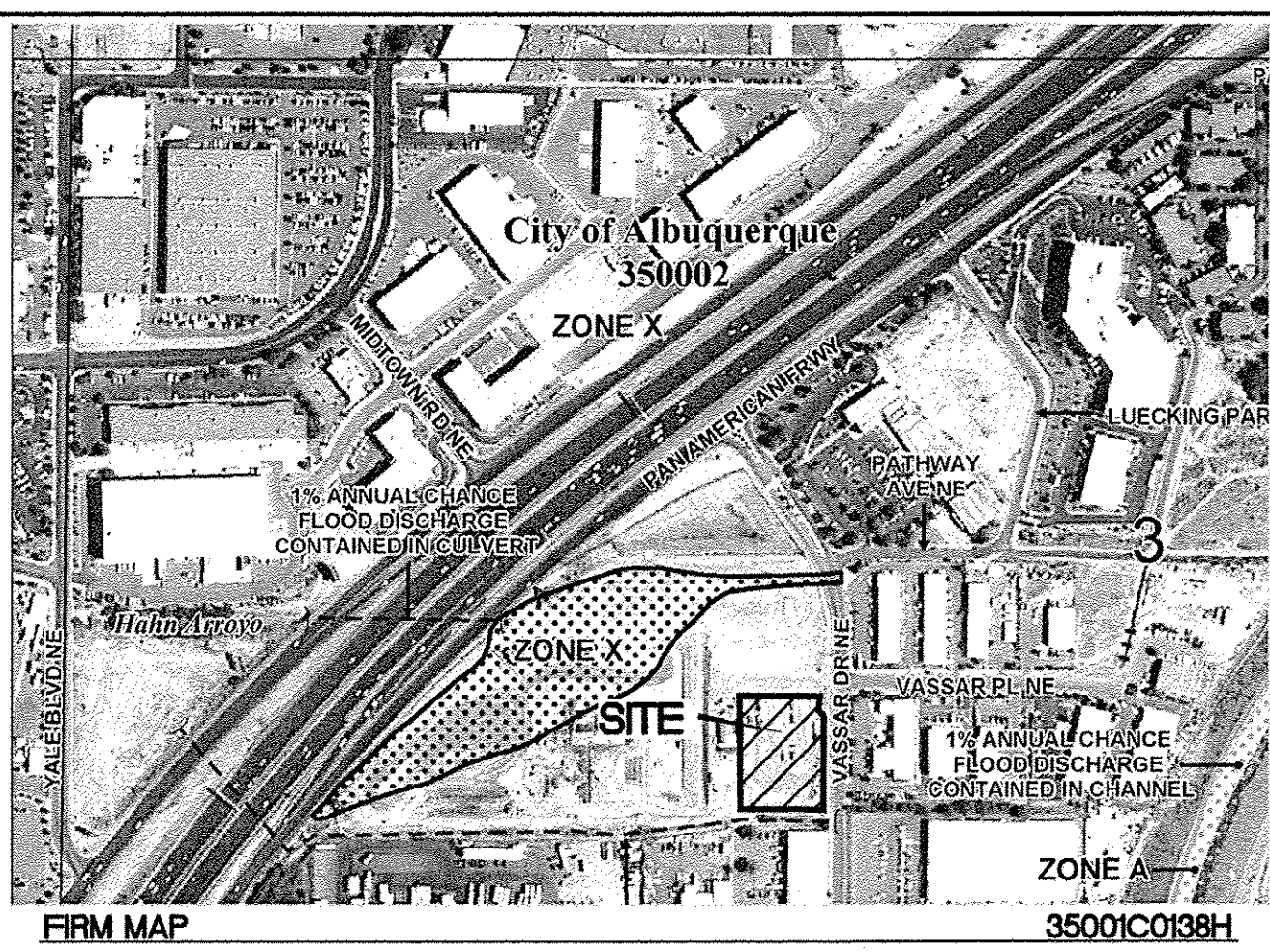
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**LEGEND**

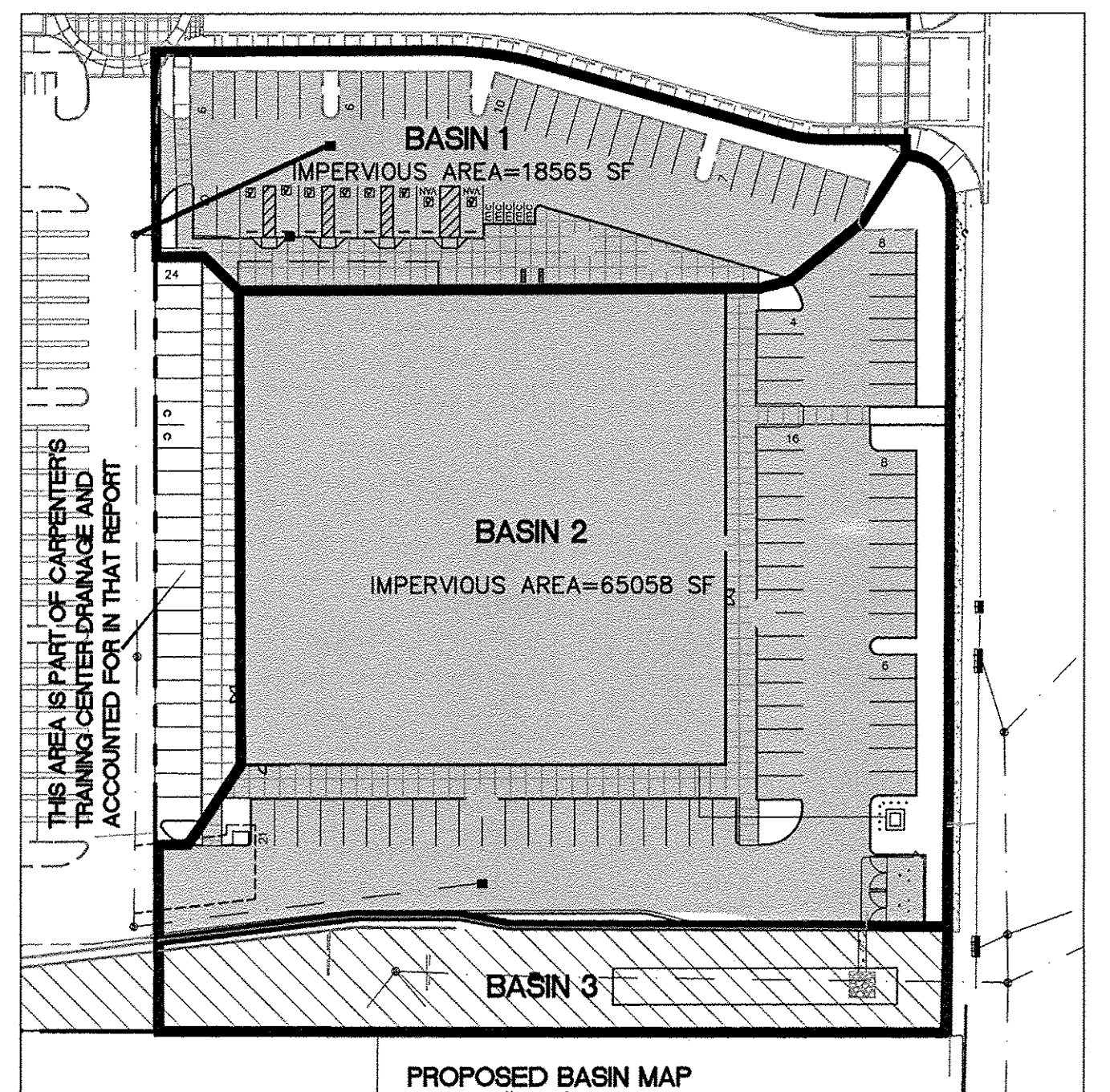
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION
- — FLOW ARROW
- — EXISTING CURB & GUTTER
- — EXISTING BOUNDARY LINE
- — EXISTING CONTOUR MAJOR
- — EXISTING CONTOUR MINOR
- x 5048.25 — EXISTING SPOT ELEVATION



**VICINITY MAP**



**FIRM MAP**



FIRST FLUSH CALCULATION  
BASIN 1: 18385 SF X 0.34"/12"=521 CF=0.012 AC-FT  
BASIN 2: 65058 SF X 0.34"/12"=1843 CF=0.042 AC-FT

**Weighted E Method**

**On-Site Basins**

Basin	Area (sf)	Area (acres)	100-Year				10-Year			
			Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)
1	22,168	0.51	0%	17%	0%	83%	1.892	0.080	2.18	1.160
2	71,405	1.64	0%	9%	0%	91%	1.999	0.273	7.35	1.245
3	12,748	0.29	0%	100%	0%	0%	0.780	0.019	0.67	0.280
		<b>2.44</b>					<b>1.91</b>	<b>0.372</b>	<b>10.20</b>	

**Equations:**

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / (Total Area)

Volume = Weighted E \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 2	100-Year	10-Year
E <sub>a</sub>	0.53	0.13
E <sub>b</sub>	0.78	0.28
E <sub>c</sub>	1.13	0.52
E <sub>d</sub>	2.12	1.34

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10-Year
Q <sub>a</sub>	1.56	0.38
Q <sub>b</sub>	2.28	0.95
Q <sub>c</sub>	3.14	1.71
Q <sub>d</sub>	4.70	3.14

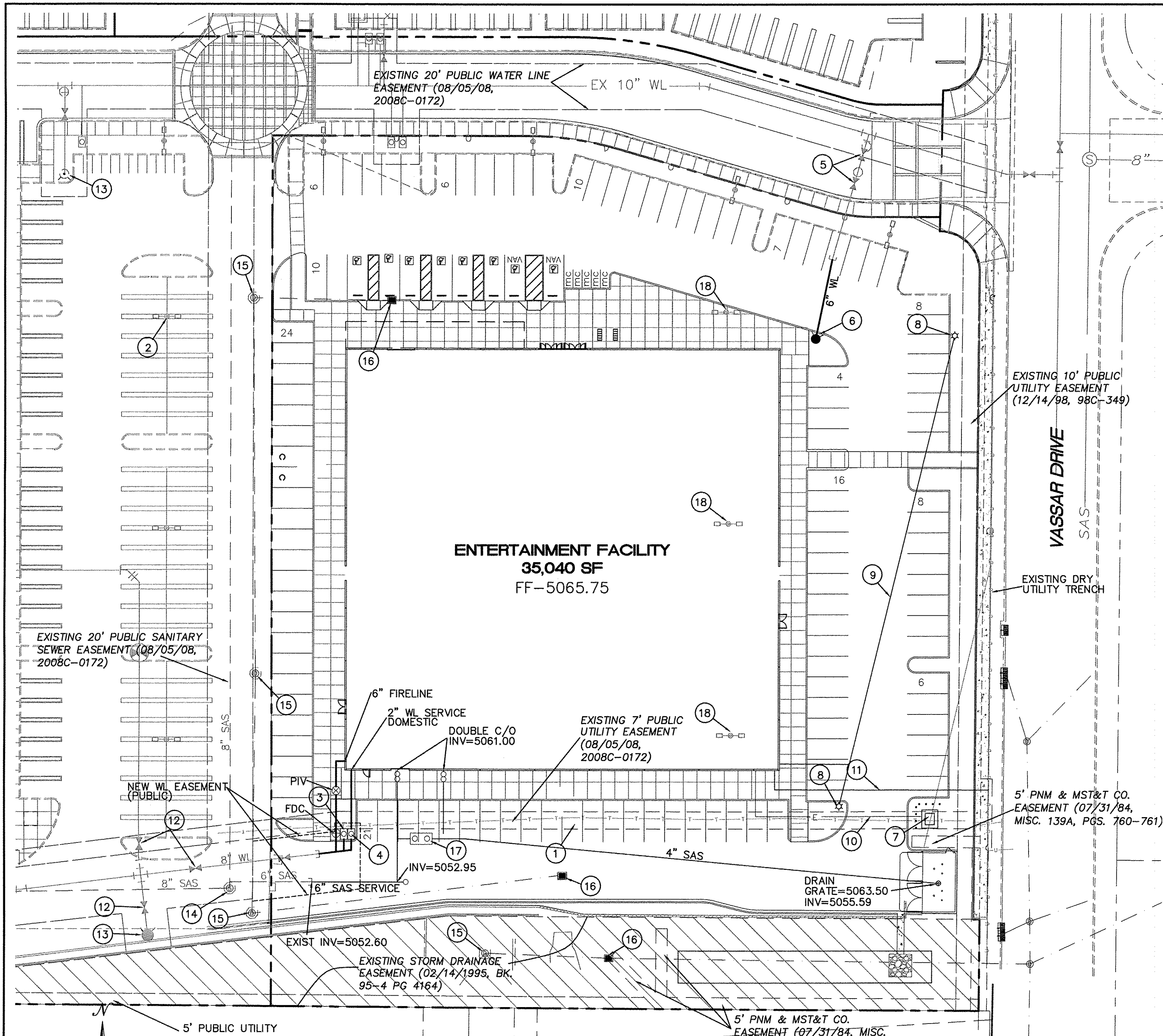
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pm  
DATE  
2-15-18  
DRAWING  
  
SHEET #  
**3**  
JOB #  
2017042

**ENTERTAINMENT FACILITY  
3930 PAN AMERICAN FRWY  
GRADING PLAN**

**TERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierawestllc.com

ENGINEER'S SEAL  
**RONALD R. BOHANNAN**  
REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
P.E. #7868



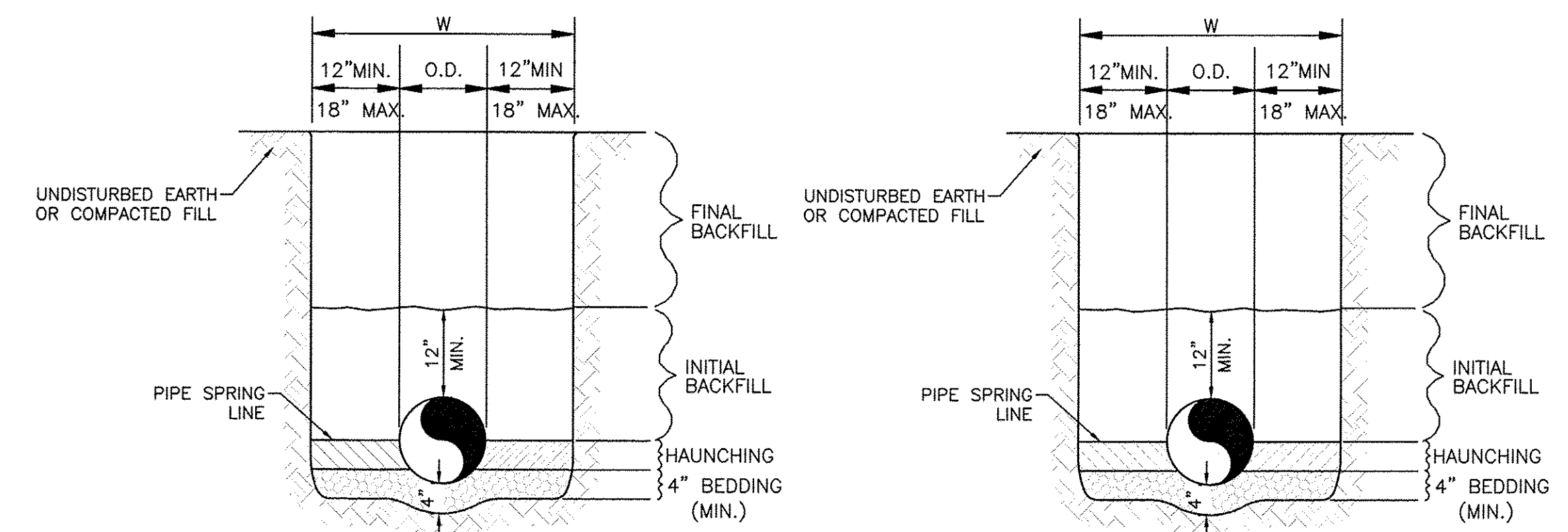


#### LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING SCREEN WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING 8" SAS
- EXISTING SANITARY SEWER LINE
- EXISTING WL
- EXISTING WATER LINE
- EXISTING RCP
- EXISTING STORM SEWER LINE
- PROPOSED ELECTRIC LINE

#### WATER SHUTOFF NOTES

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx).



WATER LINE

SANITARY SEWER

#### GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

#### UTILITY TRENCH AND BEDDING DETAIL

NTS

#### KEYED NOTES

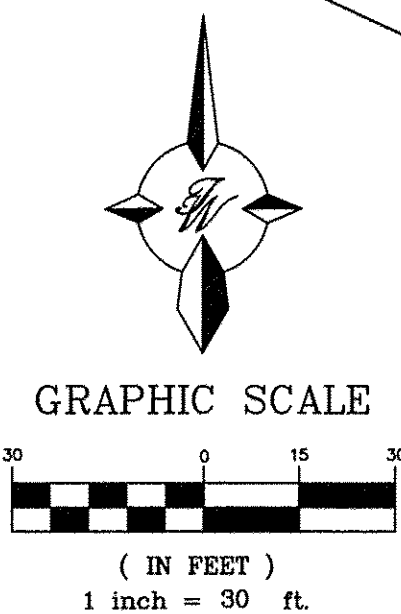
- EXISTING DRY UTILITY TRENCH
- EXISTING LIGHT POLES (TYP)
- NEW 1" IRRIGATION METER
- NEW 2" WATER METER
- EXISTING 6" GATE VALVE
- NEW FIRE HYDRANT PER COA STD DWG 2340 FLANGE ELEV=5067.40
- EXISTING TRANSFORMER W/BOLLARDS
- PROPOSED LIGHT POLE W/LOW VOLTAGE FOR CAMERA
- ELECTRICAL CONDUIT FOR LIGHT POLES
- ELECTRICAL CONDUIT W/PULL STRING
- DRY UTILITY CONDUIT W/PULL STRING
- EXISTING GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING SAS MH
- EXISTING STORM DRAIN MH
- EXISTING STORM DRAIN INLET TO BE DEMOLISHED AND RELOCATED
- 1500 GAL GREASE INTERCEPTOR INV IN=5053.36 INV OUT=5053.15
- EXISTING LIGHTS TO BE SALVAGED AND RELOCATED

#### GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- ALL ONSITE FIRE HYDRANTS ARE PRIVATE AND PAINTED "SAFETY ORANGE"

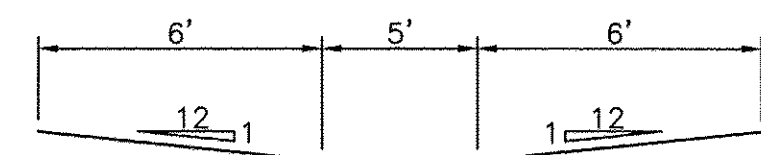
#### CAUTION:

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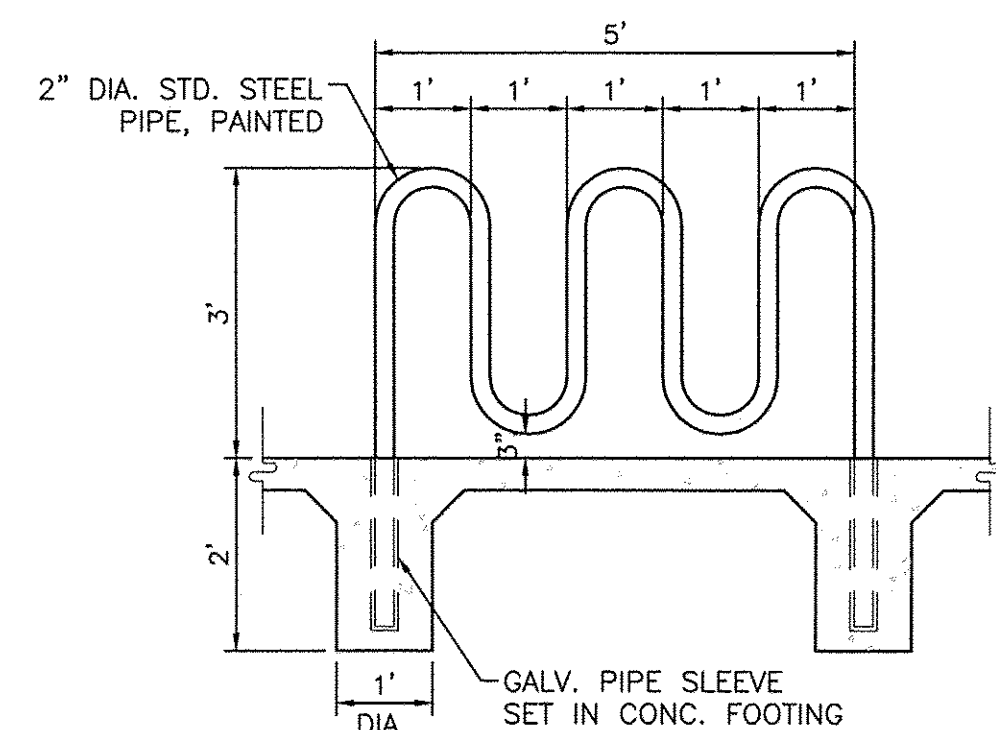


	<b>ENTERTAINMENT FACILITY</b> <b>3930 PAN AMERICAN FRWY</b>		DRAWN BY pm
	<b>MASTER UTILITY</b> <b>PLAN</b>		DATE 2-15-18
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING
			SHEET # <b>4</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2017042	

NTS

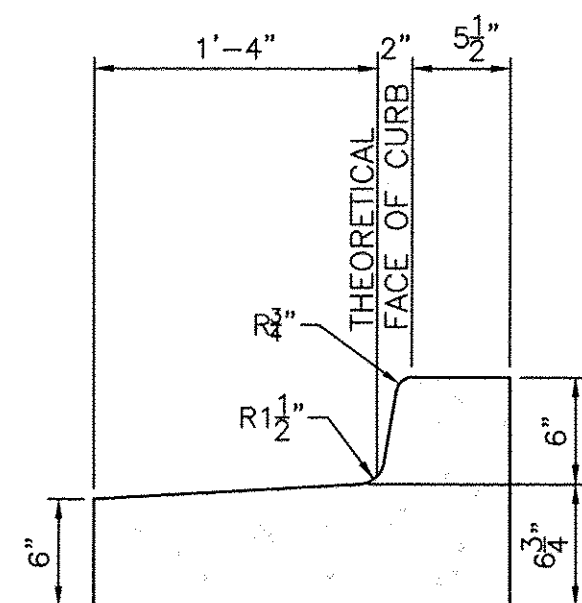


**HC PARKING DETAIL SECTION A-A**  
NTS



### BIKE RACK DETAIL

SCALE: 1/2"=1'

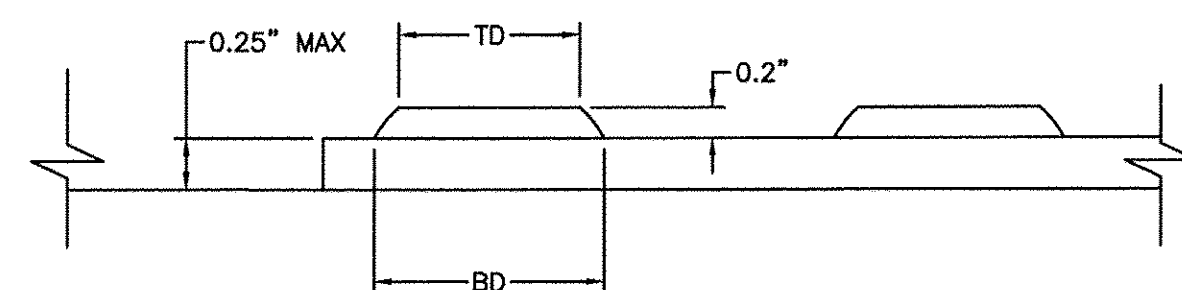


## CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2 EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS FINISHING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

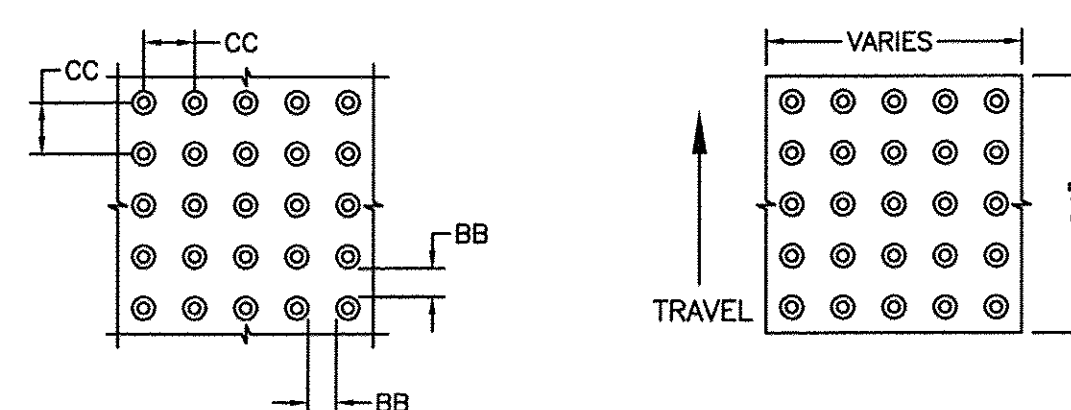
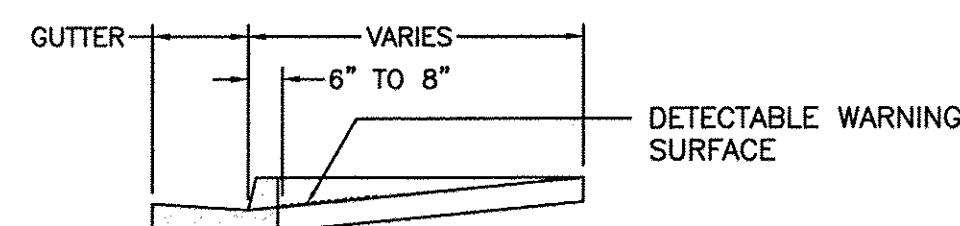
### STANDARD CURB / GUTTER

NTS



DOME SECTION

BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO  
65% OF BD MAX

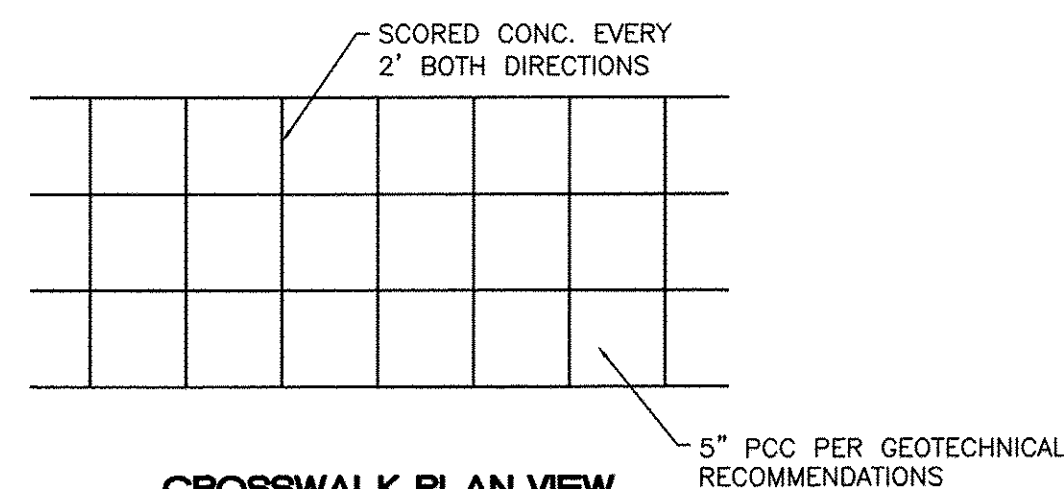


### DOME SPACING

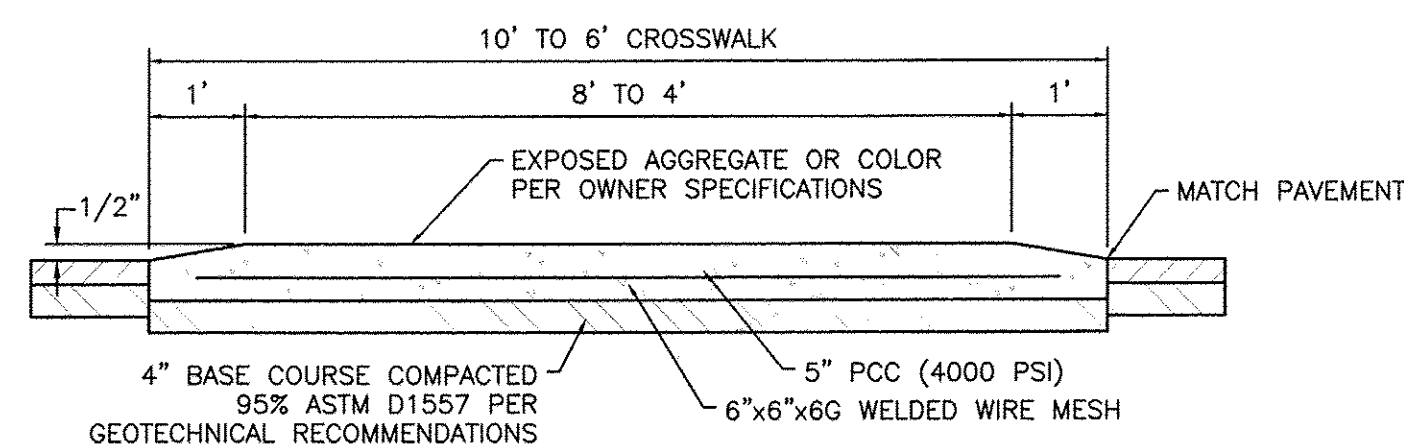
CC - CENTER TO CENTER SPACING  
2.35"  
BB - BASE TO BASE SPACING  
1.48" MIN

**DETECTABLE WARNING SURFACE**

NOT TO SCALE

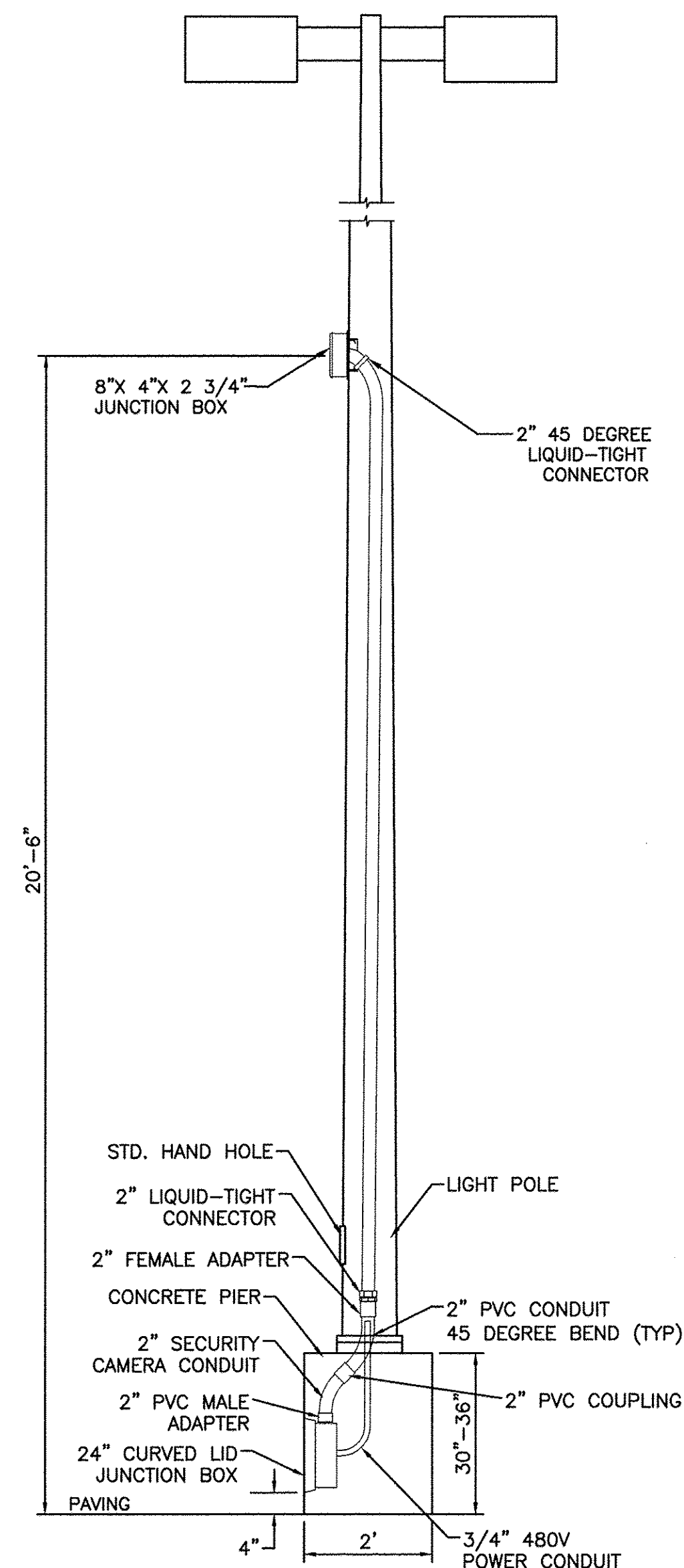


### CROSSWALK PLAN VIEW



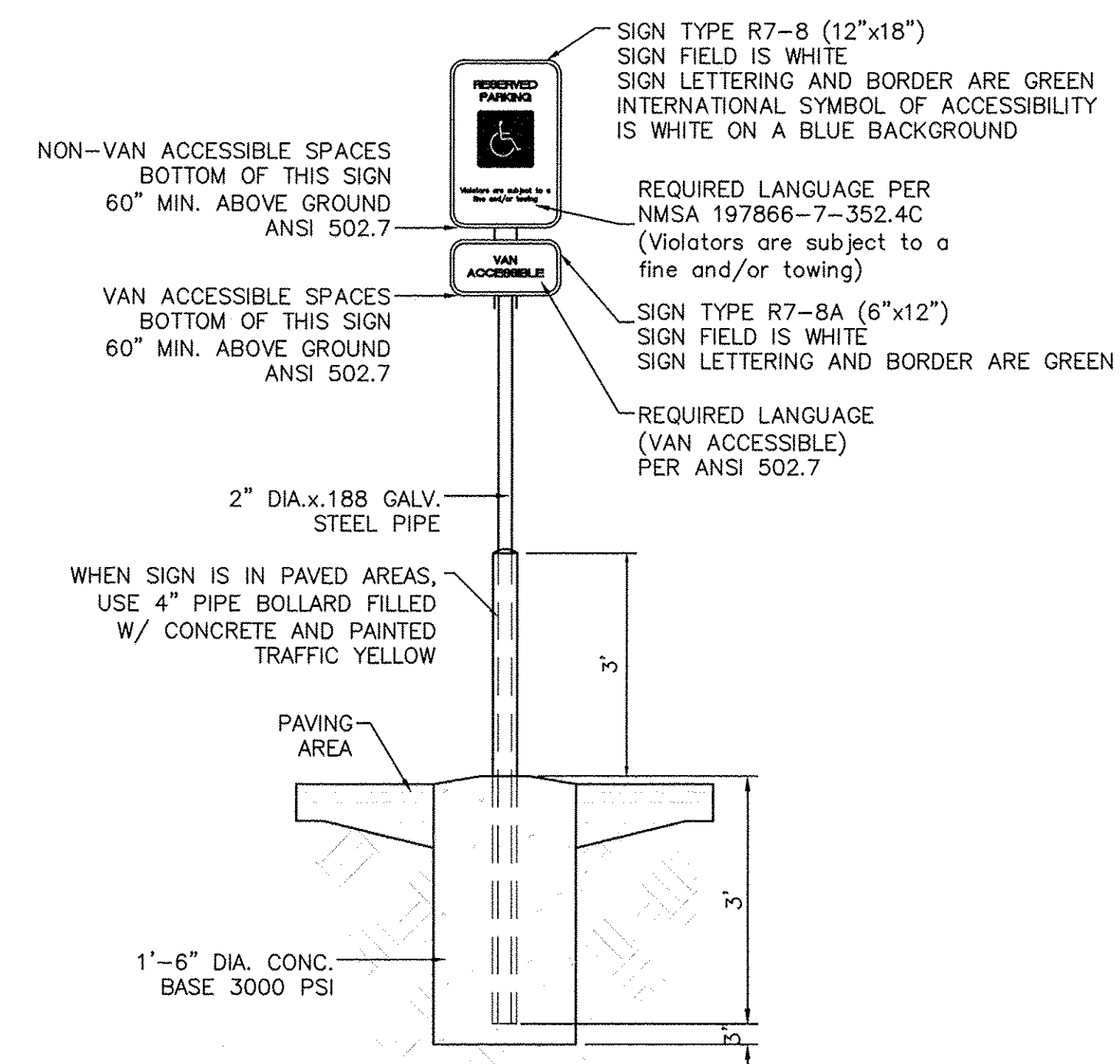
## RAISED CROSSWALK

NTS



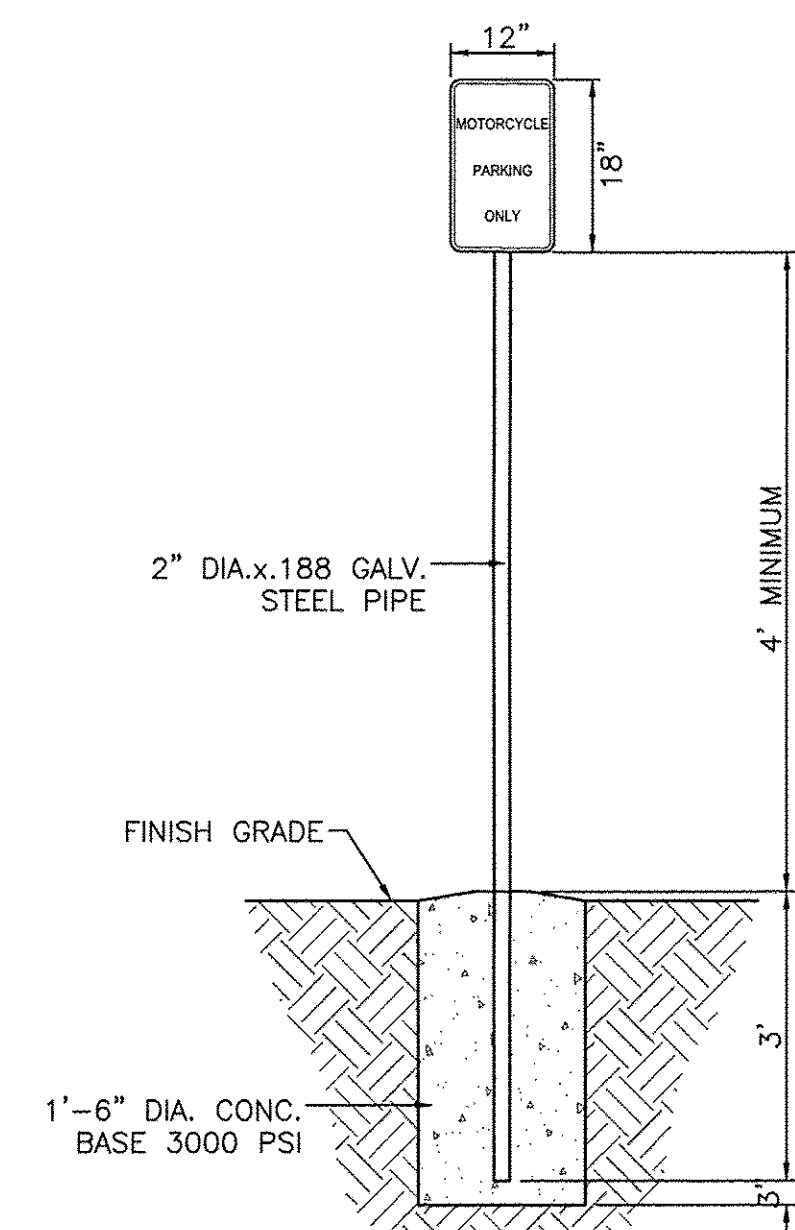
POLE MOUNTED CAMERA DETAIL

NOTE:  
ONLY FOR POLE LOCATIONS DESIGNATED WITH  
"CAM" SUFFIX ONLY, I.E. BV-CAM. CAMERAS AND  
WIRING BY OTHERS.





### ACCESSIBLE PARKING SIGN

NTS



### MOTORCYCLE PARKING SIGN

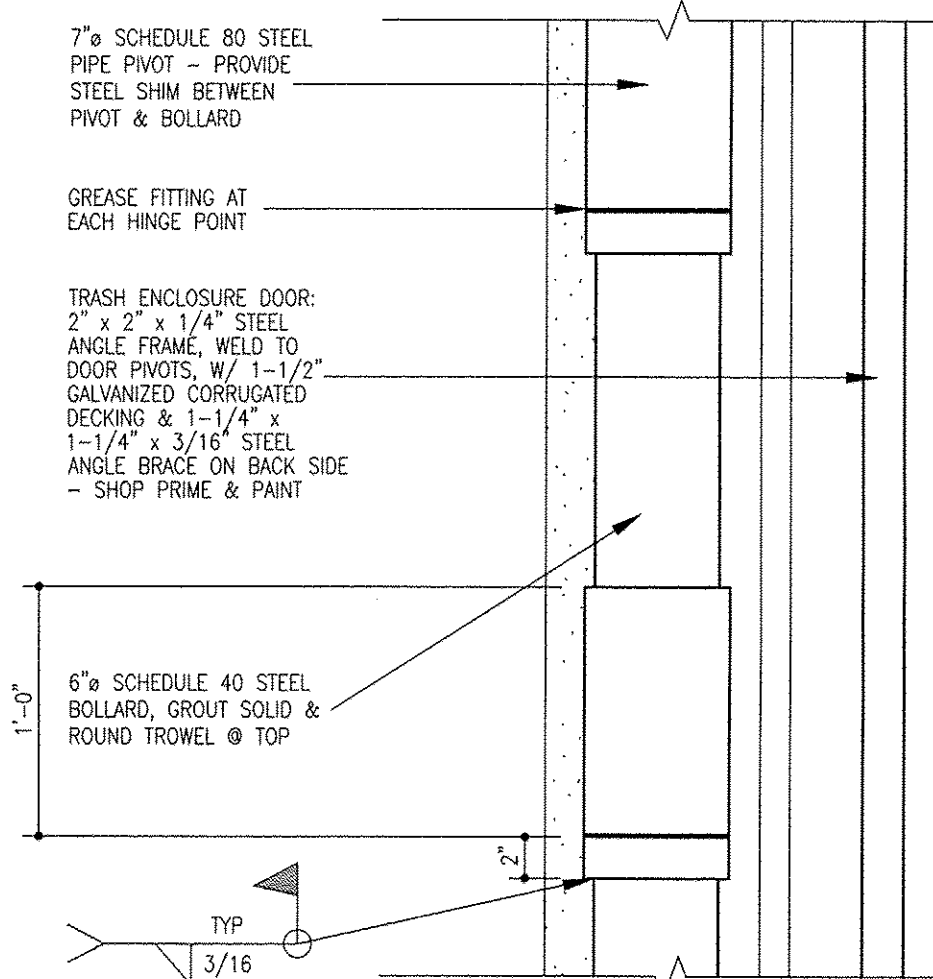
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<p>ENGINEER'S SEAL</p>	<p>ENTERTAINMENT FACILITY 3930 PAN AMERICAN FRWY</p>	<p>DRAWN BY pm</p>
	<p>CONSTRUCTION DETAILS</p>	<p>DATE 2-15-18</p> <p>DRAWING</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>	<p> <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET #</p> <p><b>5</b></p> <p>JOB # 2017042</p>

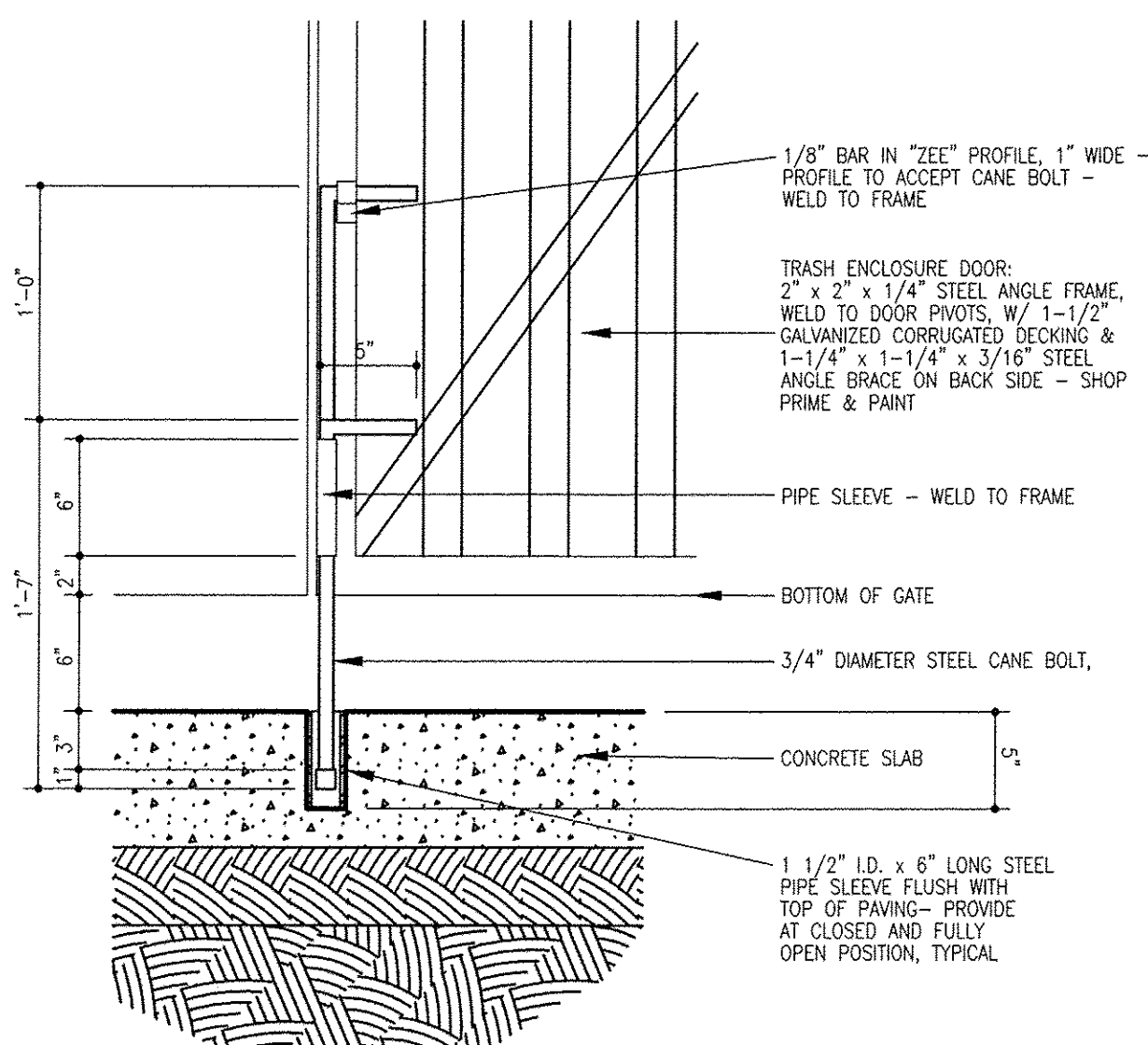


General Notes

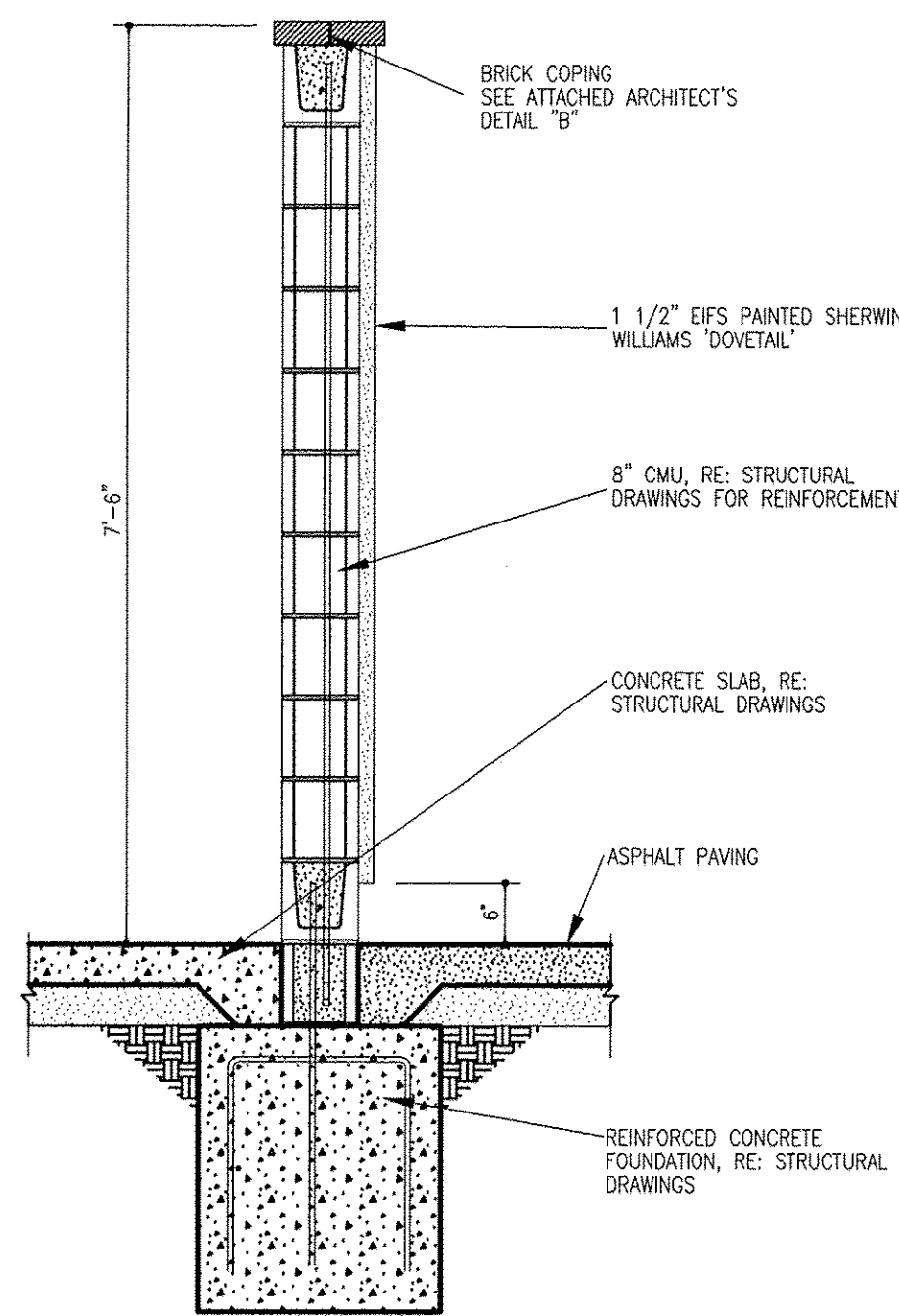
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



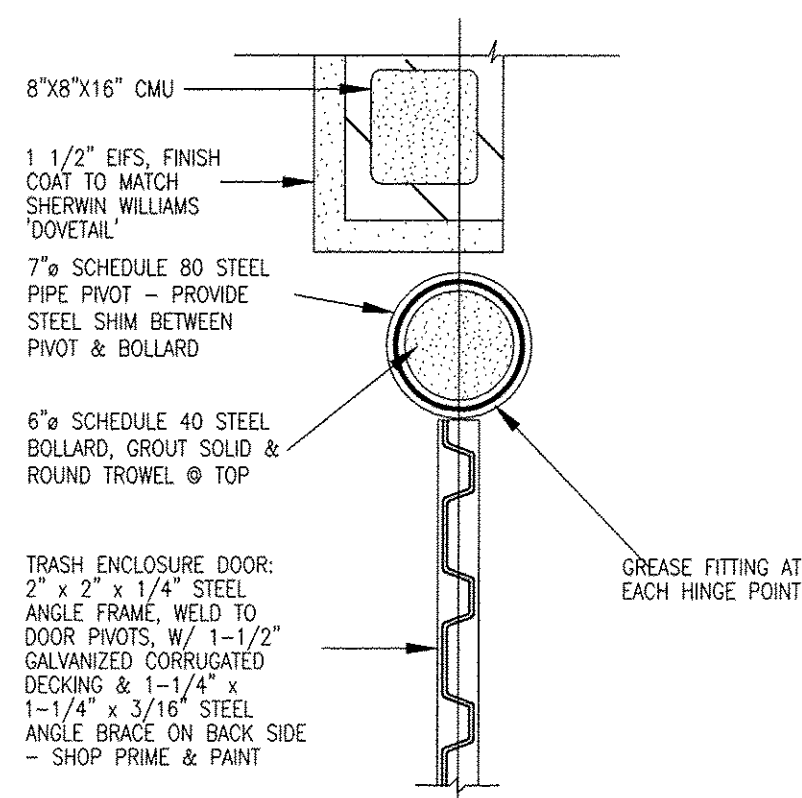
9 Dumpster Door Pivot  
1 1/2\"/>



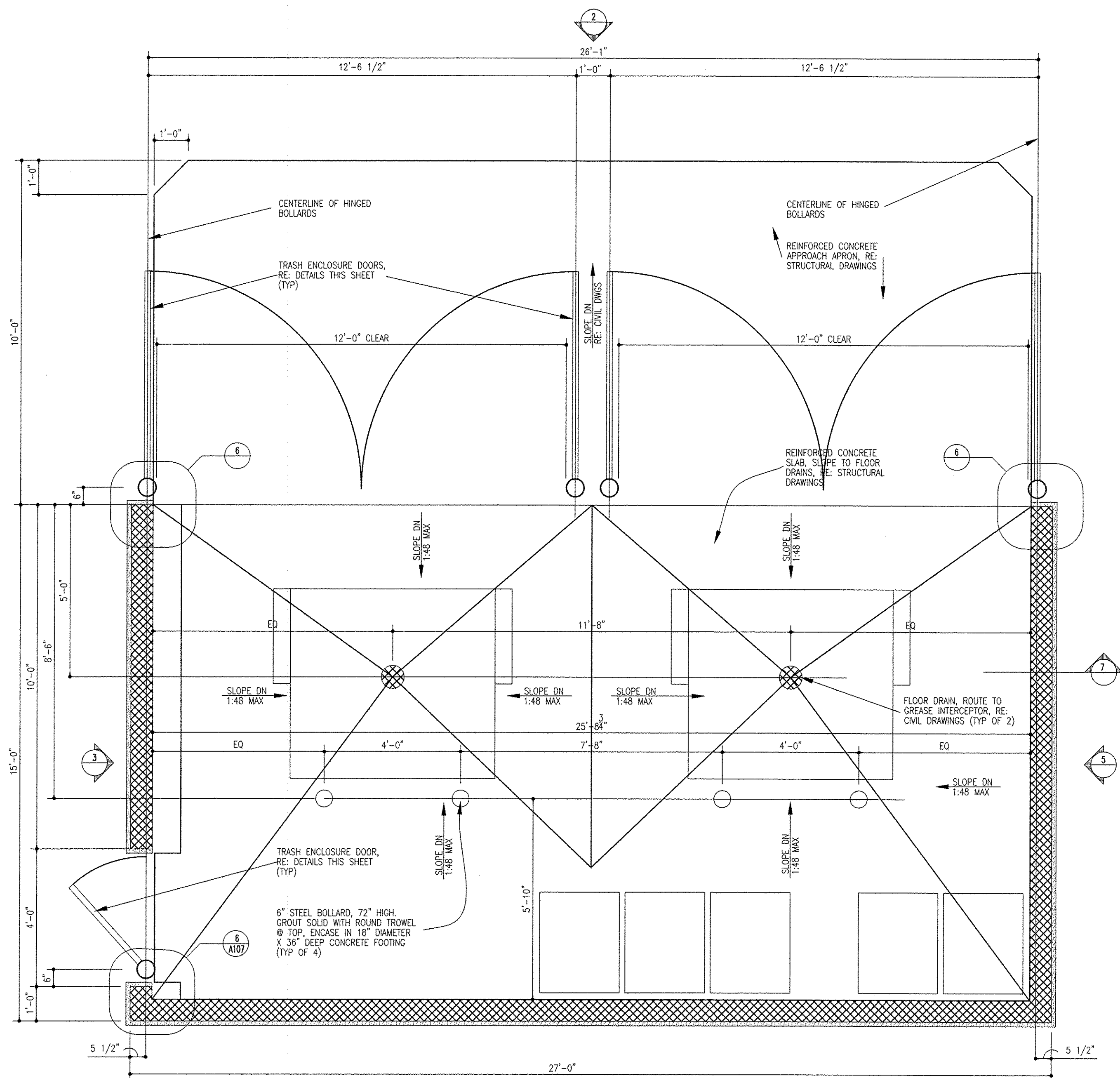
8 Cane Bolt Detail  
1 1/2\"/>



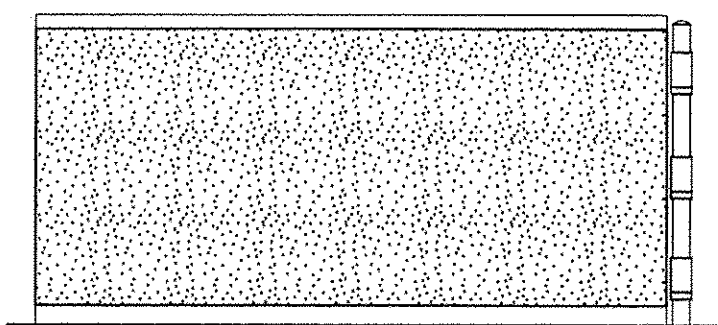
7 Wall Section  
3/4\"/>



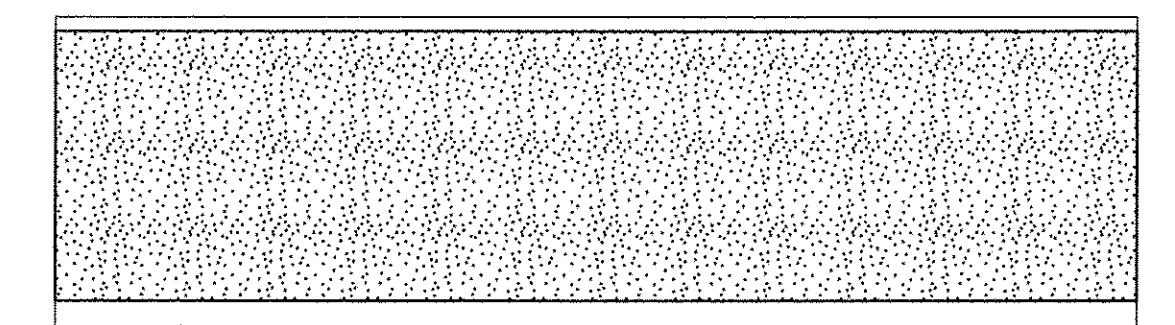
6 Plan Detail  
1 1/2\"/>



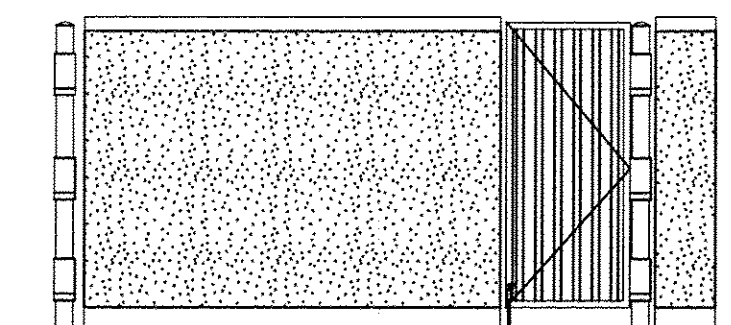
1 Dumpster Floor Plan  
10\"/>



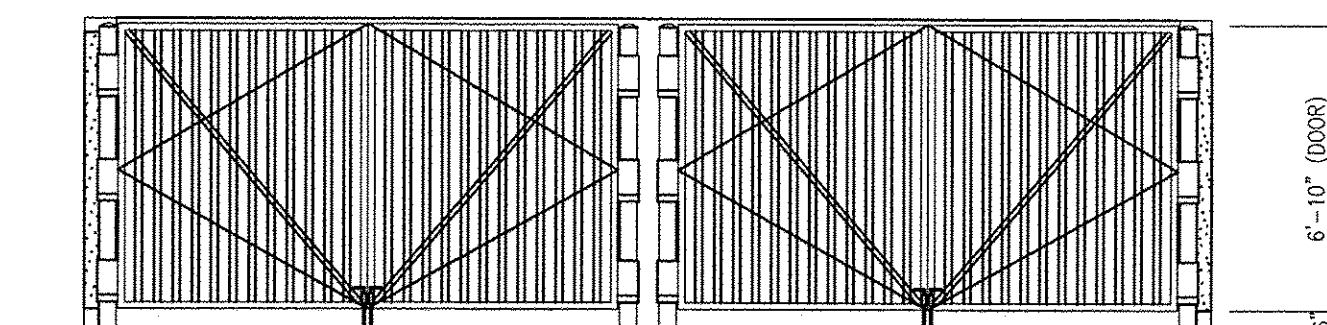
5 Side Elevation  
1/4\"/>



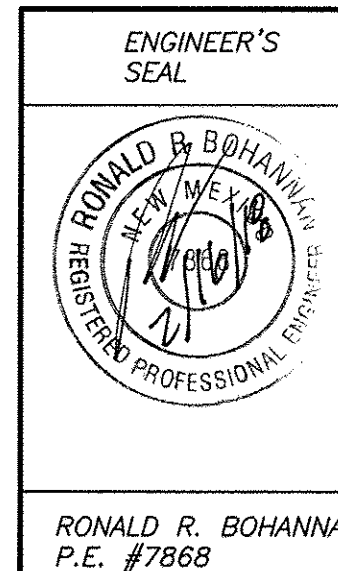
4 Back Elevation  
1/4\"/>



3 Side Elevation  
1/4\"/>



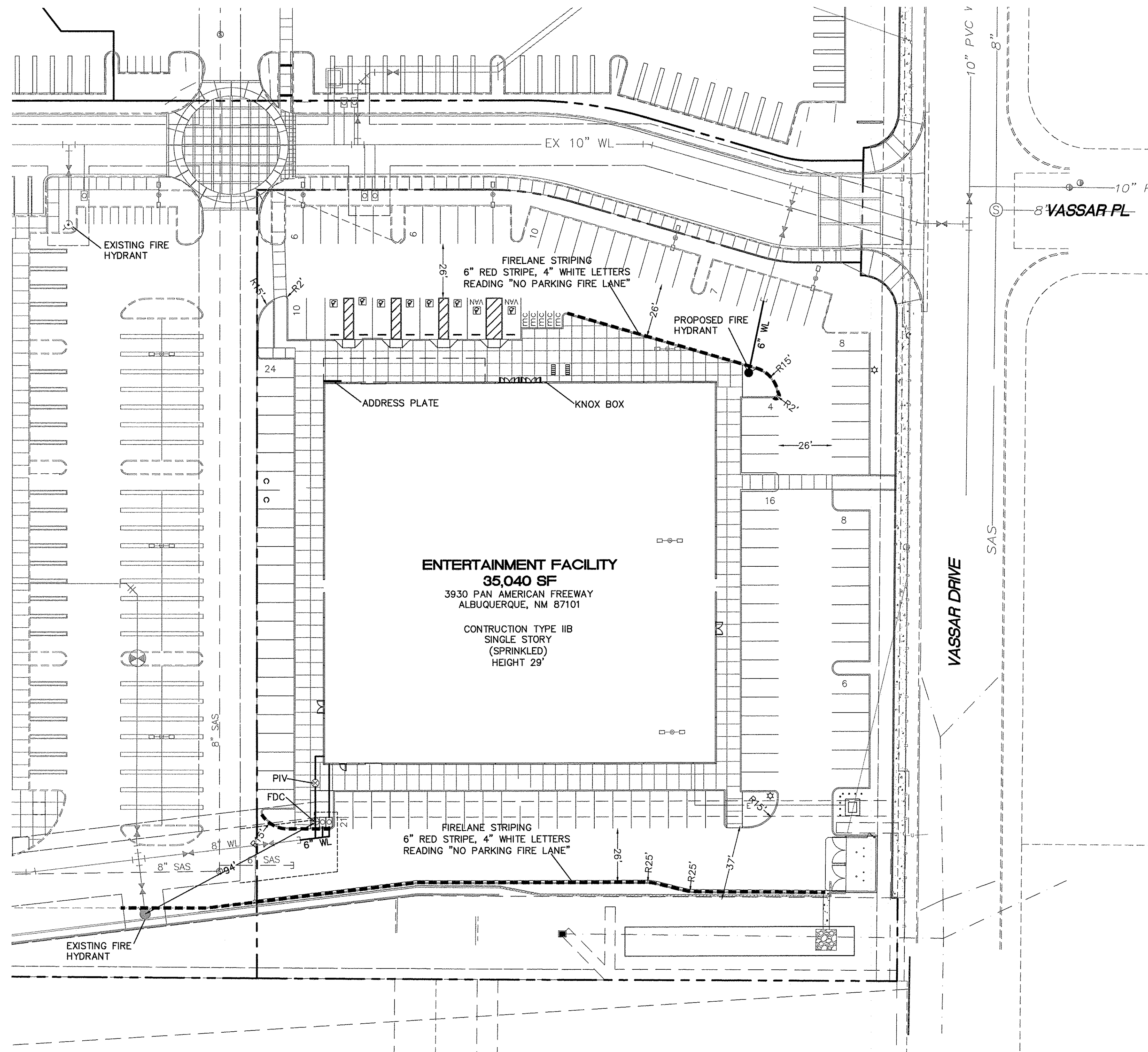
2 Front Elevation  
1/4\"/>



ENTERTAINMENT FACILITY  
3930 PAN AMERICAN FRWY  
CONSTRUCTION DETAILS

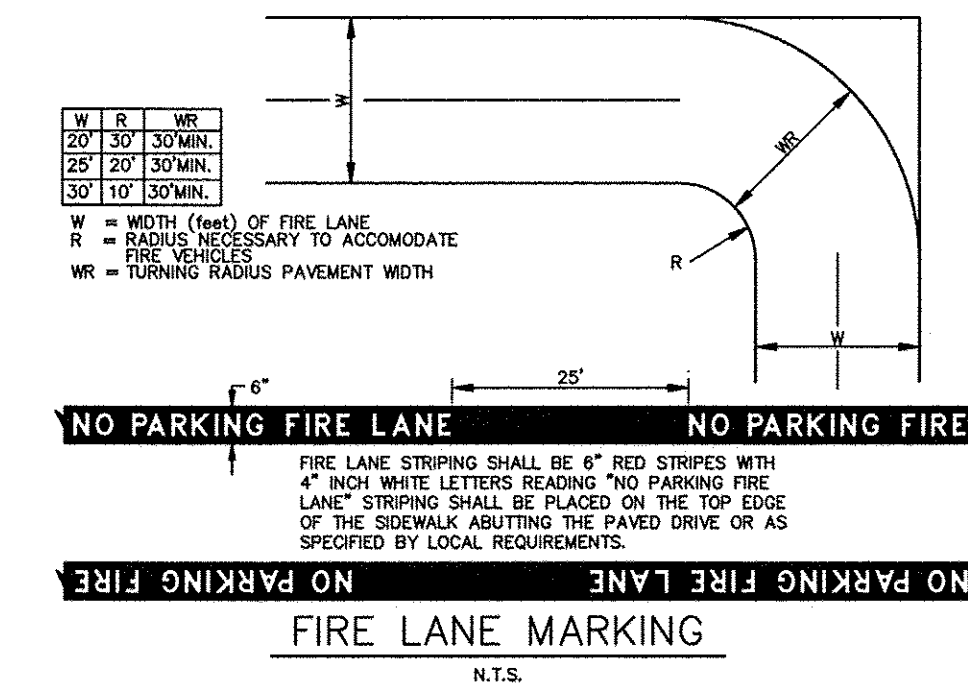
TIERRA WEST, LLC  
5571 MIDWAY PARK PL. NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
pm  
DATE  
2-15-18  
DRAWING  
SHEET #  
6  
JOB #  
2017042



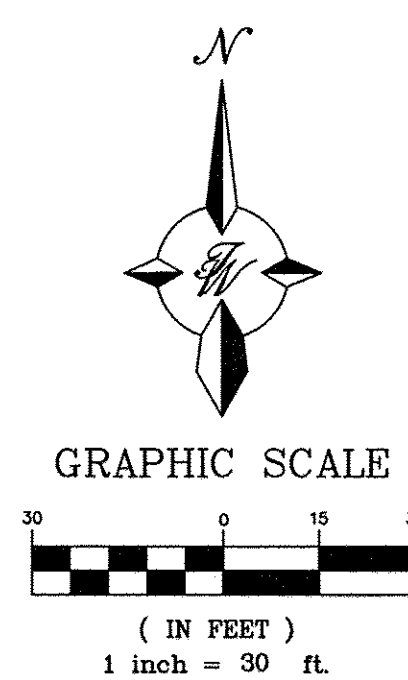
# LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	FIRE LANE STRIPING



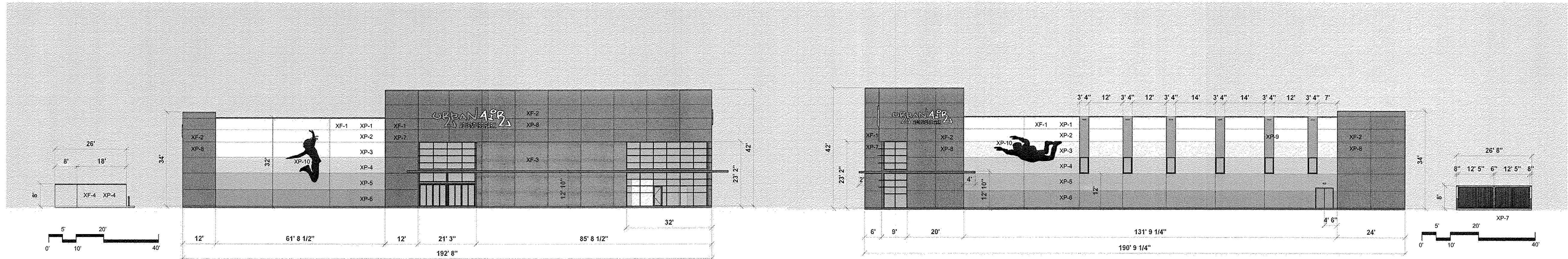
## NOTES

- ALL DRIVING SURFACES WILL BE ASPHALT AND ABLE TO SUPPORT AT LEAST 75000 LBS OF FIRE EQUIPMENT
- THIS SITE NO FIRE ACCESS LANES THAT EXCEED 10% SLOPE



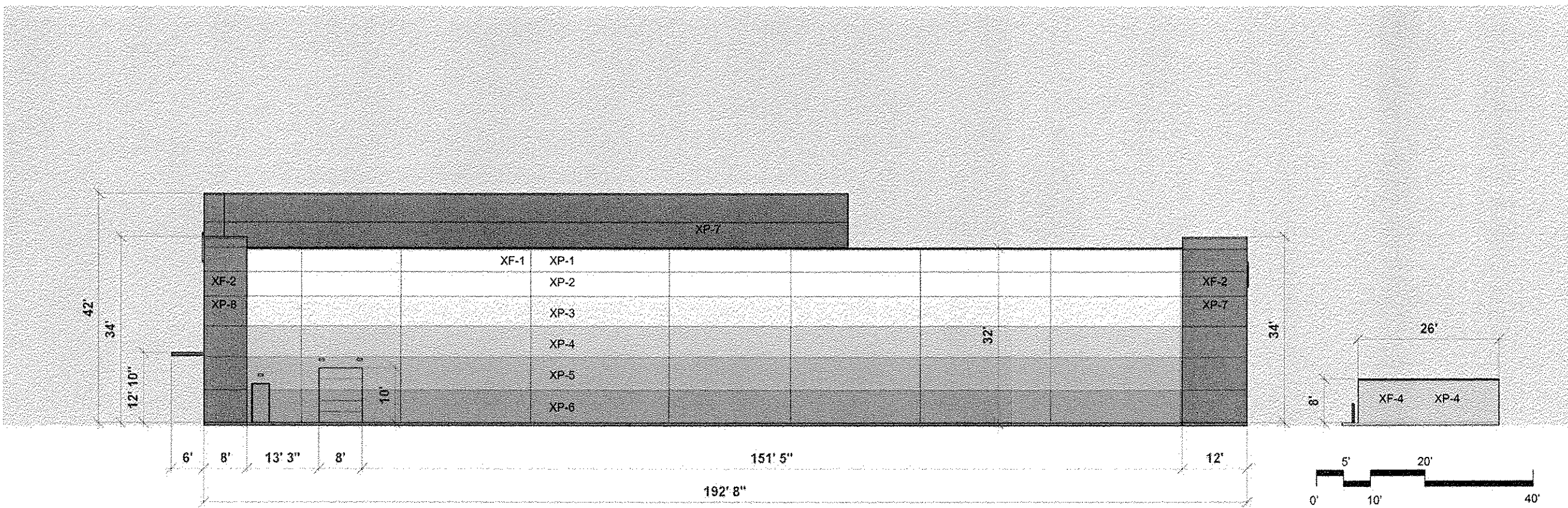
	ENTERTAINMENT FACILITY 3930 PAN AMERICAN FRWY	DRAWN BY pm
	FIREONE PLAN	DATE 2-15-18
		DRAWING
		SHEET # 7
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2017042



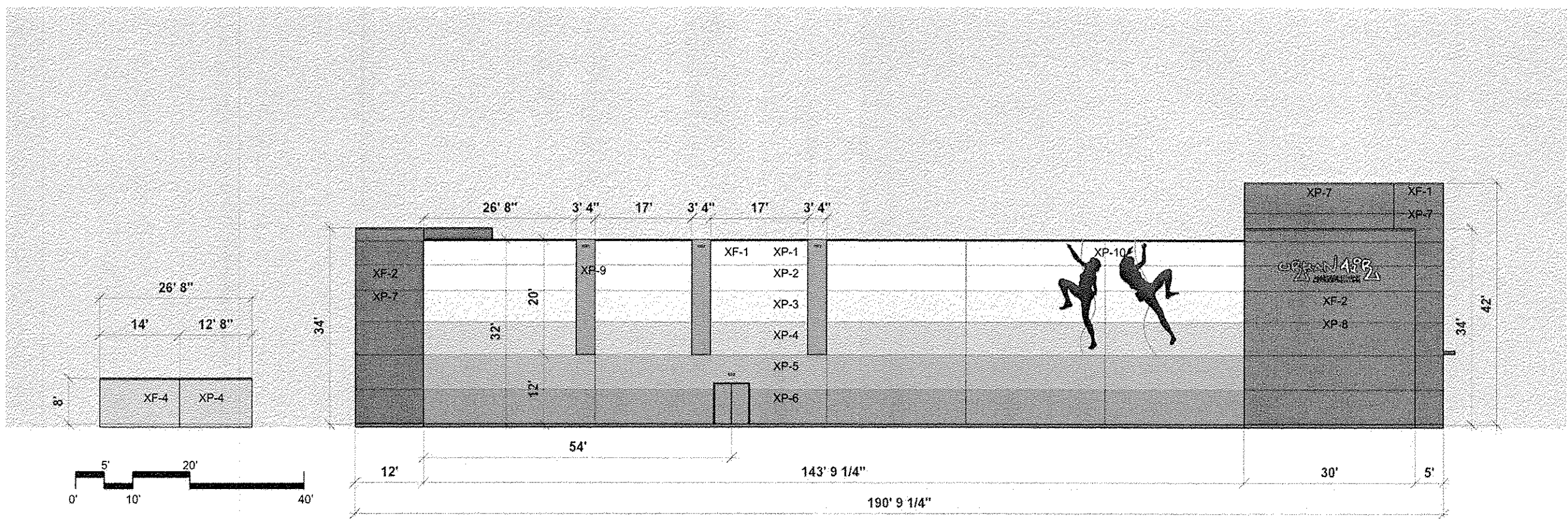


idstudio<sup>4</sup> NORTH ELEVATION URBAN AIR

idstudio<sup>4</sup> WEST ELEVATION URBAN AIR



idstudio<sup>4</sup> SOUTH ELEVATION URBAN AIR



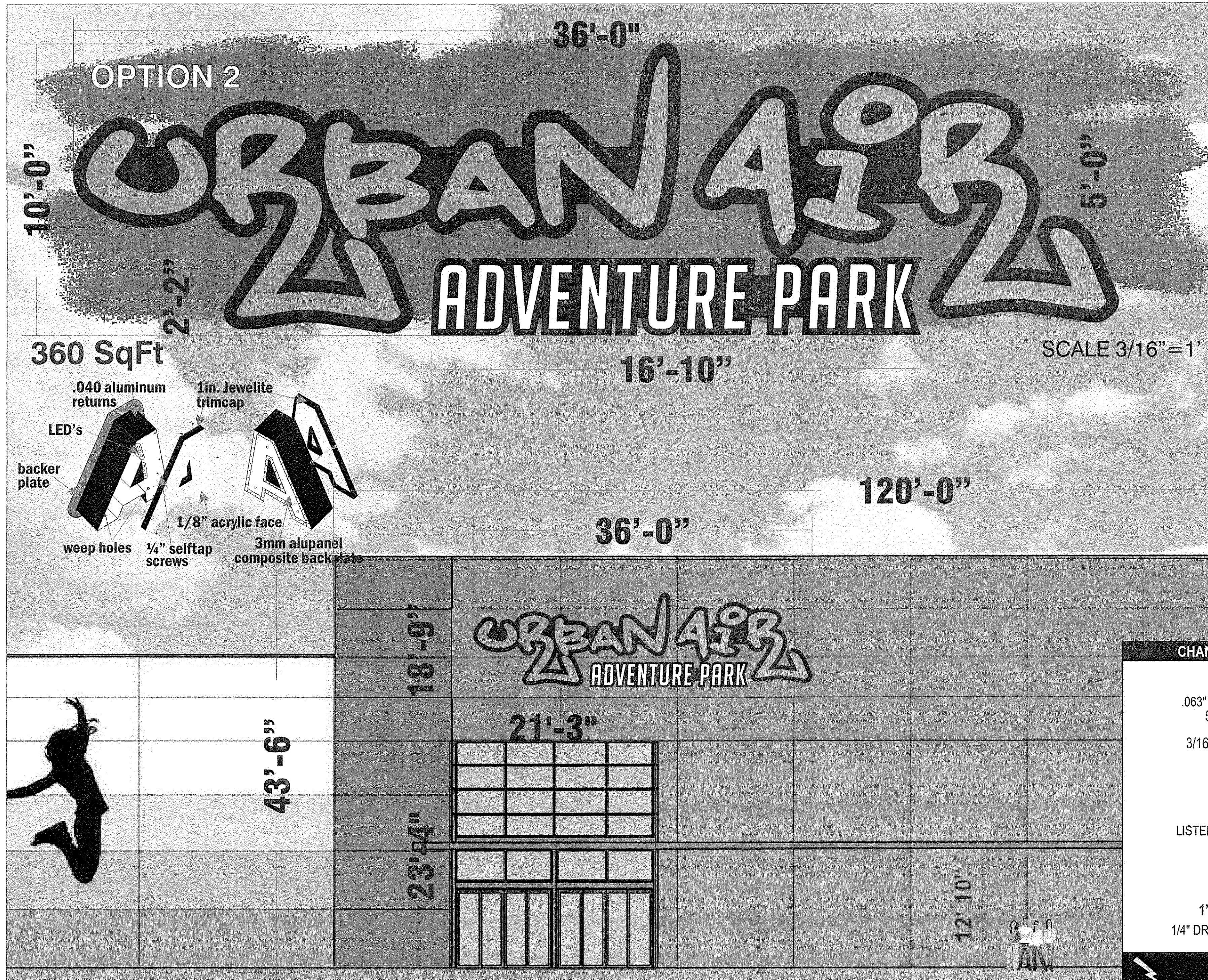
idstudio<sup>4</sup> EAST ELEVATION URBAN AIR

EXTERIOR FINSH SCHEDULE

Item	Manufacturer	Product
XF-1 Tilt Wall (main building)	TBD	Conc. Tilt Wall
XF-2 EIFS (main building bump-outs)	TBD	
XF-3 Nichiha exterior planks (front entry)	Nichiha	Vintage Wood Cedar
XF-4 CMU Block Wall (dumpster enclosure)	TBD	
XP-1 "Passive" – paint (exterior tilt wall)	Sherwin Williams	SW 7064 "Passive"
XP-2 "Argos" – paint (exterior tilt wall)	Sherwin Williams	SW 7065 "Argos"
XP-3 "Gray Matters" – paint (exterior tilt wall)	Sherwin Williams	SW 7066 "Gray Matters"
XP-4 "Tin Lizzie" – paint (exterior tilt wall)	Sherwin Williams	SW 9163 "Tin Lizzie"
XP-5 "City Scape" – paint (exterior tilt wall)	Sherwin Williams	SW 7067 "City Scape"
XP-6 "Grizzle Gray" – paint (exterior tilt wall)	Sherwin Williams	SW 7068 "Grizzle Gray"
XP-7 "Iron Ore" – paint (exterior tilt wall & awning)	Sherwin Williams	SW 7069 "Iron Ore"
XP-8 "Spicy Hue" – paint (exterior EFIS)	Sherwin Williams	SW 6342 "Spicy Hue"
XP-9 "Obstinate Orange" – paint (exterior EFIS details)	Sherwin Williams	SW 6884 "Obstinate Orange"
XP-10 "Tricorn Black" – paint (silhouettes)	Sherwin Williams	SW 6258 "Tricorn Black"

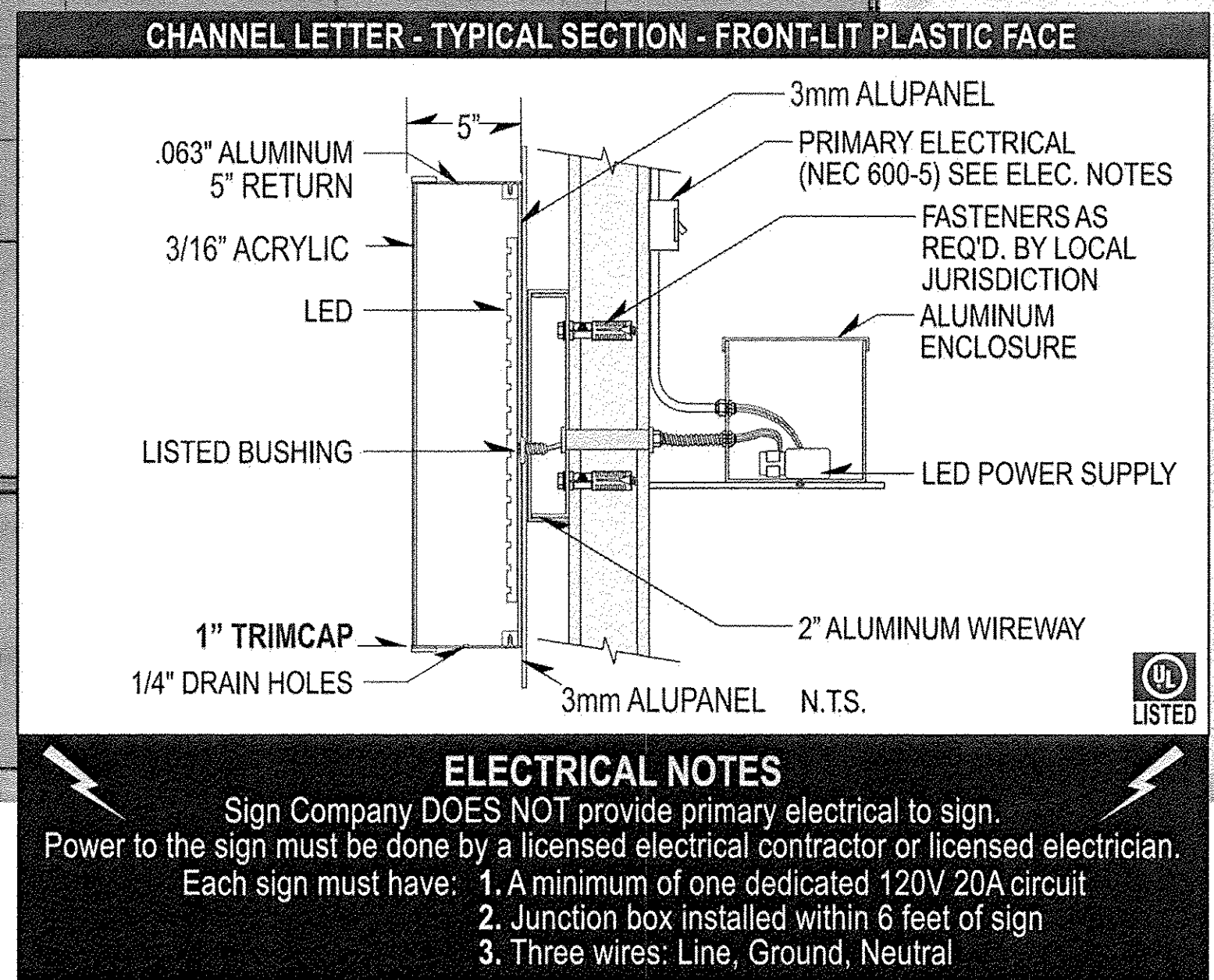
	ENGINEER'S SEAL	ENTERTAINMENT FACILITY 3930 PAN AMERICAN FRWY	DRAWN BY pm
		BUILDING ELEVATIONS	DATE 2-15-18
			DRAWING
			SHEET # 8
RONALD R. BOHANNAN P.E. #7868		TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2017042





SCOPE OF WORK:  
FABRICATE & INSTALL (1) ONE SET OF  
FRONT ILLUMINATED LED CHANNEL LETTERS

LED CHANNEL LETTERS	
MATERIAL	COLOR
.040 ALUMINUM RETURNS	BLACK
3mm ALUPANEL BACKS	WHITE
3/16" ACRYLIC FACES	ORANGE/WHITE
1" JEWELITE TRIM CAP	BLACK
CLASS 2 LEDS & POWER SUPPLY	WHITE
3mm ALUPANEL BACKER PLATE	BLACK
WIRE-WAY - SPICY HUS	SW 6342
3M VINYL SILVER GREY	3630-51



**ELECTRICAL NOTES**  
Sign Company DOES NOT provide primary electrical to sign.  
Power to the sign must be done by a licensed electrical contractor or licensed electrician.  
Each sign must have: 1. A minimum of one dedicated 120V 20A circuit  
2. Junction box installed within 6 feet of sign  
3. Three wires: Line, Ground, Neutral

FRONT ELEVATION - PLEX FACE CHANNEL LETTERS W/ BACKER PANEL ON WIREWAY  
ONE (1) SET - SCALE 1/16"=1'

 10375 Alta Vista Rd, Fort Worth, TX 76244   O 817.431.5700 / F 817.431.5799 UL 100525-147 TDLR 81934 CONCEPT ART, NOT FOR PRODUCTION	JOB DESCRIPTION	FRONT LIT CHANNEL LETTERS ON BACKER PANEL	DATE	BY	<p>CUSTOMER APPROVAL: Note: The colors depicted on this rendering may not match actual colors used on the finished display. Note: The proportion of signs shown on building and landscape area photos is an approximate representation. PLEASE READ CAREFULLY: Before you OK this proof, please read your copy carefully and completely. Check for spelling errors and copy omissions. Any changes or alterations from the original instructions will be charged according to time and material. FINAL PROOF APPROVAL: By signing this form I am approving the above described job and I hereby acknowledge that I have read and accept the proofing policy and Terms and Conditions of Legacy Signs of Texas. Please sign and return so that we may process your order.</p> <p><b>CLIENT SIGNATURE:</b> _____ <b>DATE:</b> _____</p>
	COMPANY OR JOB NAME	URBAN AIR - ALBUQUERQUE, NM	2-14-18	hgr	
	CUSTOMER CONTACT	BRYAN		hgr	
	ADDRESS	ALBUQUERQUE, NM		hgr	
	PHONE	979.324.4606		hgr	
	EMAIL				
	STOREFRONT LF	LF ALLOWED		SALES REP: VM	
	SIGN SF	360 SF		PAGE	
				1 OF 4	

RONALD R. BOHANNAN  
P.E. #7868

**ENTERTAINMENT FACILITY**  
**3930 PAN AMERICAN FRWY**

**SIGN ELEVATION**

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrowestllc.com

DRAWN BY  
pm

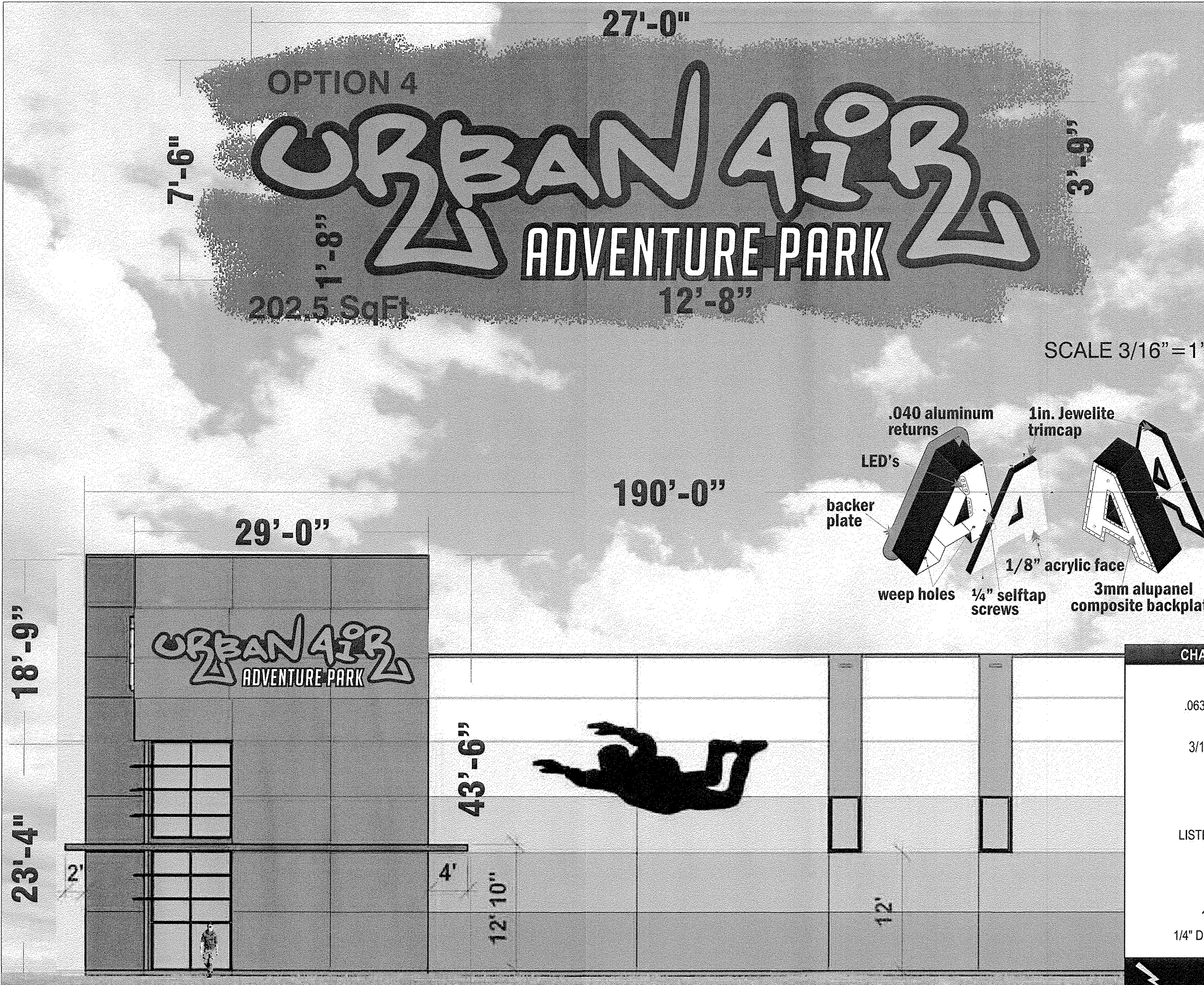
DATE  
2-15-18

DRAWING

SHEET #  
**9**

JOB #  
2017042





SCOPE OF WORK:  
FABRICATE & INSTALL (1) ONE SET OF  
FRONT ILLUMINATED LED CHANNEL LETTERS

LED CHANNEL LETTERS	
MATERIAL	COLOR
.040 ALUMINUM RETURNS	BLACK
3mm ALUPANEL BACKS	WHITE
3/16" ACRYLIC FACES	ORANGE/WHITE
1" JEWELITE TRIM CAP	BLACK
CLASS 2 LEDS & POWER SUPPLY	WHITE
3mm ALUPANEL BACKER PLATE	BLACK
WIRE-WAY - SPICY HUS	SW 6342
3M VINYL SILVER GREY	3630-51

WEST ELEVATION - PLEX FACE CHANNEL LETTERS W/ BACKER PANEL ON WIREWAY

ONE (1) SET -

SCALE 1/16"=1'



ON TIME  
SIGNS



LEGACY SIGNS  
of Texas

10375 Alta Vista Rd, Fort Worth, TX 76244 | O 817.431.5700 / F 817.431.5799

 **UL 100525-147**  **TDLR 81934**

CONCEPT ART, NOT FOR PRODUCTION

JOB DESCRIPTION	FRONT LIT CHANNEL LETTERS ON BACKER PANEL	DATE	BY
COMPANY OR JOB NAME	URBAN AIR - ALBUQUERQUE, NM	2-14-18	hgr
CUSTOMER CONTACT	BRYAN		hgr
ADDRESS	ALBUQUERQUE, NM		hgr
PHONE	979.324.4606		hgr
EMAIL		SALES REP: VM	
STOREFRONT LF	LF ALLOWED	PAGE	
SIGN SF	202.5 SF	2 OF 4	

**CUSTOMER APPROVAL:** Note: The colors depicted on this rendering may not match actual colors used on the finished display. Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

**PLEASE READ CAREFULLY:** Before you OK this proof, please read your copy carefully and completely. Check for spelling errors and copy omissions. Any changes or alterations from the original instructions will be charged according to time and material.

**FINAL PROOF APPROVAL:** By signing this form I am approving the above described job and I hereby acknowledge that I have read and accept the proofing policy and Terms and Conditions of Legacy Signs of Texas. Please sign and return so that we may process your order.

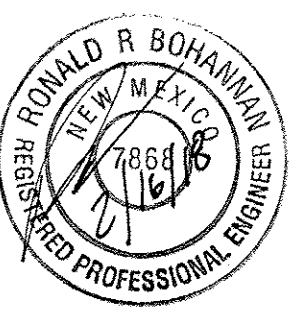

**CLIENT SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

CHANNEL LETTER - TYPICAL SECTION - FRONT-LIT PLASTIC FACE

**ELECTRICAL NOTES**

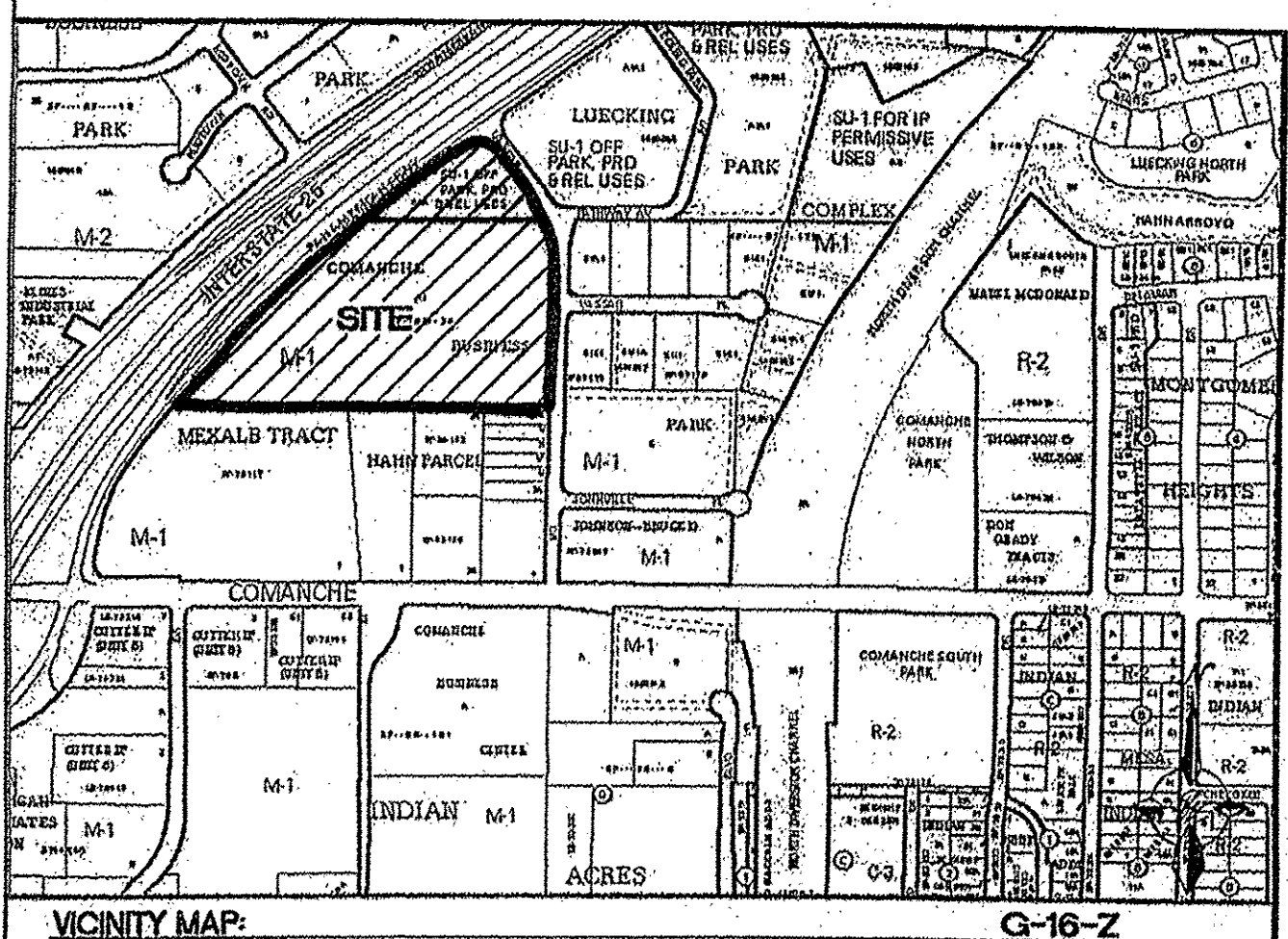
Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral

 <p>RONALD R. BOHANNAN P.E. #7868</p>	<b>ENTERTAINMENT FACILITY</b> 3930 PAN AMERICAN FRWY	DRAWN BY pm
	<b>SIGN ELEVATION</b>	DATE 2-15-18
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # <b>10</b>
		JOB # 2017042



SITE DATA TABLE																					
LOTS	LOT SIZE	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	SHARED PARKING 7AM-6PM	PROV. 6PM-12AM	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MAX. BLDG. HEIGHT	STORY	PATIO AREA	MAX FAR	
1	6.36 Ac	93,686	OFFICE & TRAINING ASSEMBLY	M-1 (SC)	180	113	90% 162	5% 9	8	8	2	2	9	10	5	6	50'	2	1,200 SF	.35	
LOT 2 & LOT 2A	1.79 Ac & 5.05 Ac	6,300 & 49,810	RESTAURANT RESTAURANT (KNOXVILLE)	M-1 (SC)	73	138	0% 0	100% 138	4	4	1	1	5	5	4	6	50'	1	800 SF	.35	
3	2.60 Ac	57,072	RETAIL/OFFICE (FUTURE)	M-1 (SC)	221	180	100% 221	50% 111	8	8	2	2	11	10	5	6	65'	3	400 SF	.35	
4	2.24 Ac	19,435	RESTAURANT(S) (FUTURE)	M-1 (SC)	235	224	70% 165	100% 235	8	8	2	2	8	10	5	5	36'	1	400 SF	.35	
TOTAL	18.05 Ac	226,503			1104	1072	66.7	493	40	40	9	9	47	50	25	27			2,800 SF		



Curve Table			
Curve #	Length	Radius	Delta
C22	541.863	5607.000	5.5371
C16	92.189	432.989	12.1990
C15	94.112	314.399	17.1508
C13	26.813	17.330	88.6486
C9	15.150	53.500	16.2249
C7	58.477	206.503	16.2249
C3	21.842	28.499	43.9127
C1	237.139	5607.000	2.4232
C21	40.635	143.494	16.2253
C20	18.831	66.497	16.2249
C19	27.505	17.240	91.4099
C29	161.438	5607.000	1.6497

Line Table		
Line #	Length	Direction
L28	452.378	N89° 38' 15.41"W
L27	39.949	S0° 02' 14.15"E
L26	25.956	N89° 59' 19.91"E
L25	303.000	S0° 00' 00.00"E
L24	78.626	S45° 26' 41.79"E
L10	628.047	S89° 54' 54.00"W
L9	75.047	N0° 28' 13.63"E
L8	6.139	N1° 12' 15.81"E
L7	25.530	N89° 56' 43.83"E
L5	68.235	S73° 47' 10.35"E
L4	176.483	N89° 59' 00.76"E
L3	256.983	N89° 59' 19.07"E
L2	133.060	S89° 57' 01.34"E
L1	118.302	S45° 59' 30.23"E
L22	310.536	S89° 38' 15.41"E
L21	379.193	S0° 00' 40.03"E
L20	111.712	S89° 59' 19.91"W
L18	96.832	N73° 47' 10.35"W
L16	29.672	N89° 55' 22.87"W
L15	6.218	N1° 12' 15.81"E
L13	282.138	N0° 27' 32.87"E
L12	2.760	N89° 38' 15.41"W
L11	40.000	N0° 27' 33.00"E
L30	49.089	N1° 12' 15.81"E

PROJECT NUMBER: 1006865  
APPLICATION NUMBER: 14DRB-70148

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 05/21/14, and the Findings and Conditions in the Official Notification of Decision are satisfied.

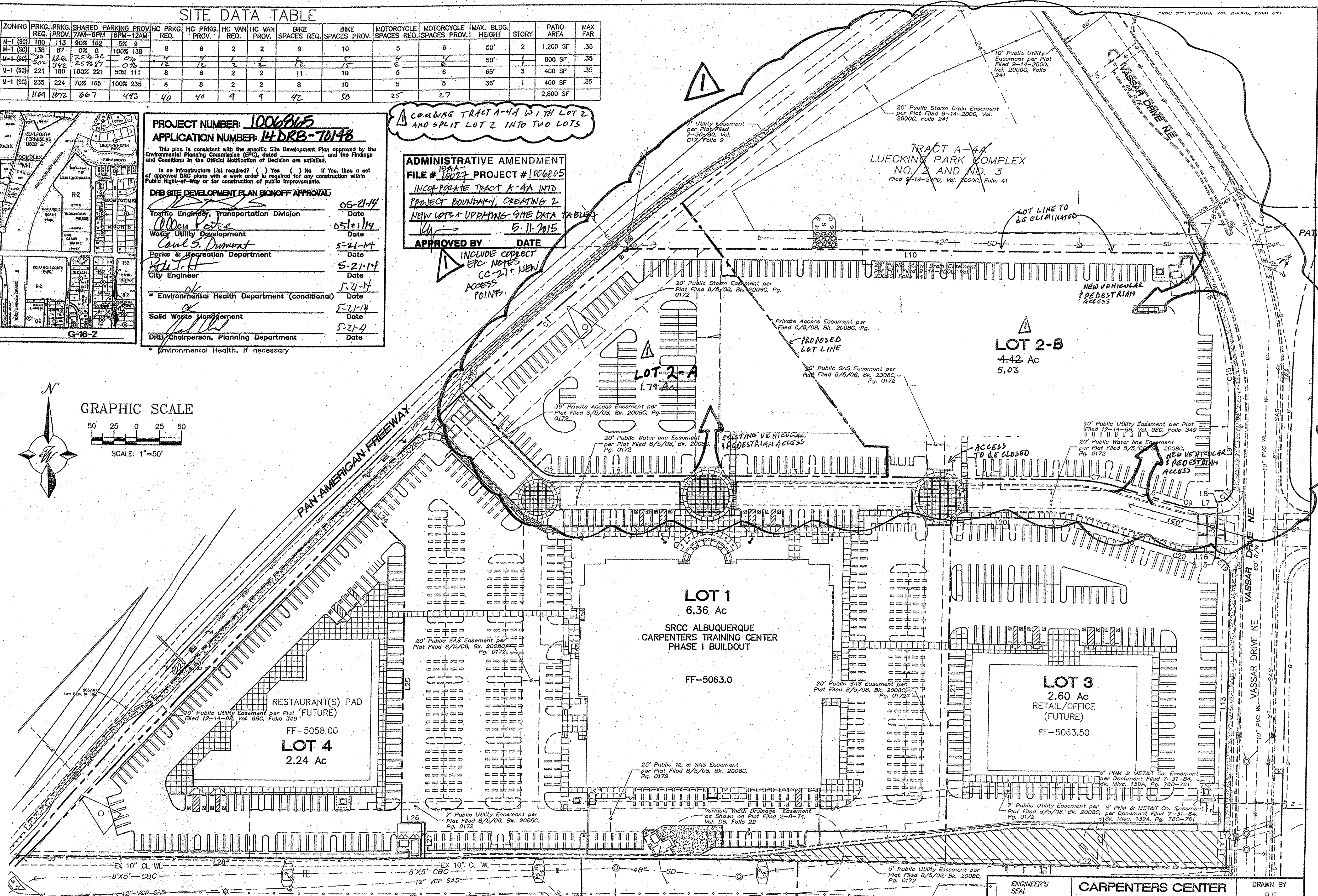
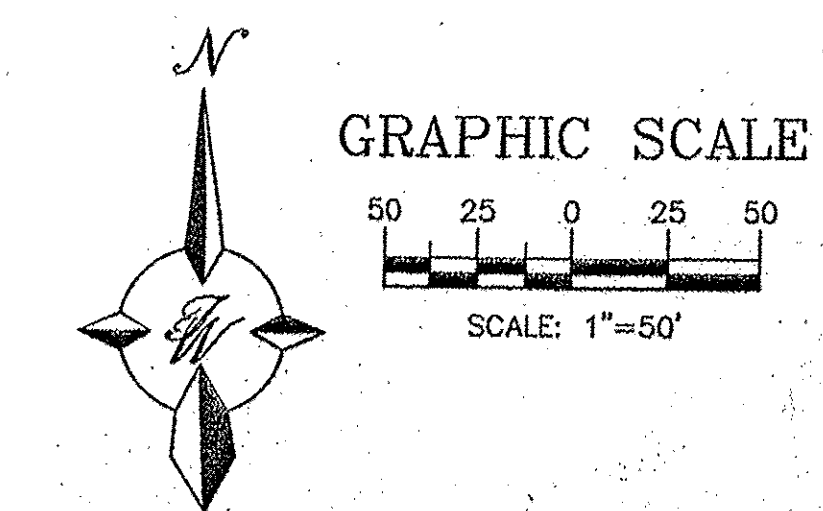
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division  
Date: 05/21/14  
Water Utility Development  
Date: 5-21-14  
Parks & Recreation Department  
Date: 5-21-14  
City Engineer  
Date: 5-21-14  
Environmental Health Department (conditional)  
Date: 5-21-14  
Solid Waste Management  
Date: 5-21-14  
DRB Chairperson, Planning Department  
Date: 5-21-14  
\* Environmental Health, if necessary

COMBINE TRACT A-4A WITH LOT 2 AND SPLIT LOT 2 INTO TWO LOTS

ADMINISTRATIVE AMENDMENT  
FILE # 16077 PROJECT # 1006865  
INCORPORATE TRACT A-4A INTO PROJECT BOUNDARY, CREATING 2 NEW LOTS + UPDATING GHE DATA TABLE  
APPROVED BY: [Signature] DATE: 6.11.2015  
INCLUDE CORRECT EPC NOTES (CC-2) + NEW ACCESS POINTS.



- NOTES:
- CROSS LOT PARKING AND DRAINAGE EASEMENTS WILL BE INCLUDED ON PLAT.
  - CROSS LOT PEDESTRIAN AND VEHICLE ACCESS EASEMENTS WILL BE INCLUDED ON PLAT.

- LEGEND
- ===== EXISTING CURB & GUTTER
  - PROPOSED ROW/BOUNDARY LINE
  - EXISTING BOUNDARY LINE
  - EASEMENT
  - ===== EXISTING SIDEWALK
  - ===== FUTURE CURB & GUTTER

- INDEX TO DRAWINGS
- C1. SITE PLAN FOR SUBDIVISION
  - C2. SITE NOTES
  - C3. GRADING AND DRAINAGE PLAN
  - C4. MASTER UTILITY PLAN
  - L1. LANDSCAPE PLAN
  - L2. LANDSCAPE PLAN
  - L3. LANDSCAPE PLAN
  - L4. LANDSCAPE PLAN

ENGINEER'S SEAL

RONALD R. BOHANNAN  
P.E. #7868

CARPENTERS CENTER  
3900 PAN AMERICAN FREEWAY

SITE PLAN FOR SUBDIVISION

TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
BJF

DATE  
05/07/14

2014029\_SPSE

SHEET #  
C1

JOB #  
2014029



PROPOSED DESIGN GUIDELINES:

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE INITIAL BUILDING THAT IS DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

1. PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONING CODE.
2. THE COLOR, MATERIALS AND ARCHITECTURE OF BUILDINGS IN PHASE II SHALL MATCH, OR ACHIEVE A CONTINUITY OF DESIGN WITH, BUILDING A IN PHASE I. THEY SHALL HAVE SIMILAR DETAILING OF WALL SURFACES, CANOPIES AND FENESTRATION.
3. ACCENT COLORS FOR TRIM SHALL MATCH, OR BE COMPATIBLE WITH, THOSE OF BUILDING A IN PHASE I.
4. BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS.
5. SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS. ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.
6. ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
7. RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDINGS ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
8. CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. AREA LIGHTING SHALL BE SUPPLEMENTED BY PEDESTRIAN-SCALE AND/OR BUILDING-MOUNTED LIGHTING, WHERE NECESSARY TO ILLUMINATE WALKWAYS, BUILDING ENTRANCES AND COMMON AREA. FIXTURES SHALL BE COMPATIBLE WITH AREA LIGHTING AND BUILDING ARCHITECTURE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE BASED ON A PHOTOMETRIC ILLUMINATION STUDY AND SUBMITTED DURING PLAN CHECK FOR FINAL APPROVAL.

LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 28' (25' POLE ON A 3' CONCRETE BASE). LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.

9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLEMENT THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET PER SIGN FACE, EXCEPT THAT ONE FREE-STANDING PYLON SIGN IS ALLOWED WITH A MAXIMUM OF 150 SQUARE FEET PER SIGN FACE. THE HEIGHT OF A FREESTANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR & STYLE OF FREESTANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE. MONUMENT & PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY. THE USE OF NEON IN SIGNS & AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED. THERE SHALL BE NO ILLUMINATED PLASTIC BANDING ON SIGNAGE.

10. VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

11. SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG VASSAR DRIVE.

12. PATIO AREAS SHALL BE PROVIDED AT ALL BUILDINGS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO PEDESTRIAN WAYS AT RESTAURANTS. MINIMUM SIZE TO BE 400 SQUARE FEET WITH 25% OF THE AREA COVERED. TREES W/ TREE GRATES & UMBRELLAS.

13. BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE BIKE SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE. FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

14. WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS. WALLS TO BE PAINTED SPLIT FACE CONCRETE BLOCK. ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

15. DIMENSIONS OF ALL PARKING SPACES SHALL COMPLY WITH ZONING REGULATIONS (SECTIONS 14-16-1-5 AND 14-16-3-1).

16. THE PROJECT INCORPORATES EXTERIOR LIGHT SHELVES & SUNSHADES (ITEM 9, SHEET A-3) TO SHADE EXCESS SUNLIGHT FROM LOWER WINDOWS WHILE REDIRECTING SUNLIGHT DEEPER INTO THE INTERIOR SPACES, TO REDUCE THE NEED FOR ARTIFICIAL ILLUMINATION. ADDITIONALLY, THE CARPENTER'S ALBUQUERQUE TRAINING CENTER WILL FURTHER THE CITY'S GOAL OF IMPROVING ENERGY MANAGEMENT AWARENESS & CONSERVING NATURAL RESOURCES BY THE INCLUSION OF ONGOING CARPENTER TRAINING PROGRAMS THAT TEACH THE STUDENTS THE LATEST METHODOLOGIES FOR THE INSTALLATION OF 'GREEN' PRODUCTS & SYSTEMS, RECYCLING OF BUILDING MATERIALS AND AWARENESS OF LEED STANDARDS & CONSTRUCTION MEANS & METHODS TO ACHIEVE BUILDING CERTIFICATION.

DESIGN STANDARDS:

1. COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

3. MINIMUM LANDSCAPE SHALL BE 15% OF THE TOTAL LOT AREA LESS BUILDING AREA.

4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

5. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS.

6. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK. IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 5 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

7. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE.

8. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE.

9. SITE PLAN FOR BUILDING PERMIT FOR FUTURE BUILDINGS TO BE DELEGATED DOWN TO DRB.

10. ALL FUTURE TRACTS WILL REQUIRE A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT THRU A PUBLIC HEARING AT DRB.



PROJECT NOTES

1 REPLACED EXISTING NOTES WITH NOTES APPROVED BY EPC ON NOVEMBER 11, 2007 (07EPC-40066)

 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL	DRAWN BY BJF
	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DATE 05/07/14
	SITE PLAN FOR SUBDIVISION NOTES	2014029_SPSE
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C2</b>
		JOB # 2014029