

5. **Project# 1006865**
14DRB-70148 MINOR - SDP FOR
SUBDIVISION
- TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the above action(s) for all or a portion of Tract(s) A-1-A, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FREEWAY BETWEEN COMANCHE AND VASSAR containing approximately 15.701 acre(s). (G-16) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED.**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

6. **Project# 1006008**
14DRB-70119 MAJOR - PRELIMINARY
PLAT APPROVAL
14DRB-70120 MINOR - TEMPORARY
DEFERRAL SIDEWALK
CONSTRUCTION
- BOHANNAN HUSTON INC agents for MESA DEL SOL, LLC request the referenced/ above actions for Tract A-6-A, **MESA DEL SOL INNOVATION PARK** zoned PC, located on UNIVERSITY WEST BLVD SE between STRYKER RD SE and STIEGLITZ AV SE containing approximately 6.7708 acres. (R-16 & S-16) **DEFERRED TO 6/4/14.**
7. **Project# 1010060**
14DRB-70118 VACATION OF PUBLIC
RIGHT-OF-WAY
- TIERRA WEST LLC agents for JOSH SKARSGARD request the referenced/ above action for MILES ROAD SE adjacent to Tract A, **AIRPORT CENTER SUBDIVISION** zoned C-3, located at the terminus of MILES RD SE south of GIBSON BLVD SE and east of UNIVERSITY BLVD SE containing approximately 1.5002 acres. (M-15) **DEFERRED TO 5/28/14.**
8. **Project# 1009977**
14DRB-70050 VACATION OF PUBLIC
ALLEY RIGHT OF WAY
- SBS CONSTRUCTION AND ENGINEERING, LLC agents for DARRON HAVENOR request Vacation/ Closing of the East-West Alley adjacent to Lot 6, Block 2, **DAVIS ADDITION** zoned M-1, located on the west side of LOCUST ST SE between OAK ST SE and PACIFIC AVE SE containing approximately .0723 acre. (K-14/ K-15) *[deferred from 3/19/14, 4/16/14]* **INDEFINITELY DEFERRED.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1006865

Application #: 14DRB-70148

Project Name: COMANCHE BUSINESS PARK

Agent: TIERRA WEST LLC

Phone #:

Your request was approved on 5-21-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

- TRANSPORTATION:
- ABCWUA:
- CITY ENGINEER / AMAFCA:
- PARKS / CIP:
- PLANNING (Last to sign):

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 23, 2010

Project# 1006865

10DRB-70146 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (1YR SIA)

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF
CARPENTERS request(s) the referenced/ above action(s) for all or a portion of Tract(s)
A-1-A, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN
FWY NE between COMANCHE RD NE and VASSAR DR NE containing
approximately 15.6299 acre(s). (G-16)

At the June 23, 2010, Development Review Board meeting, the one year extension of
the Subdivision Improvements Agreement was approved.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System
Ordinance, the next working day is considered as the deadline for filing the appeal. Such
appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are
reminded that other requirements of the City must be complied with, even after approval
of the referenced application(s).

If you wish to appeal this decision, you must do so by July 9, 2010, in the manner
described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any
determination of the Development Review Board may file an appeal on the
Planning Department form, to the Planning Department, within 15 days of the
Development Review Board's decision. The date the determination in question is
issued is not included in the 15-day period for filing an appeal.


Jack Cloud, AICP, DRB Chair

Cc: Tierra West LLC – 5571 Midway Park Place NE – Albuquerque, NM 87109
Cc: Southwest Regional Council of Carpenters – 533 S. Fremont Ave. 9th Floor – Los
Angeles CA 90071

Marilyn Maldonado
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 10060865 AGENDA# 3 DATE: 6/23/10

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 23, 2010

Project# 1006865

10DRB-70146 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (1YR SIA)

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF
CARPENTERS request(s) the referenced/ above action(s) for all or a portion of Tract(s)
A-1-A, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN
FWY NE between COMANCHE RD NE and VASSAR DR NE containing
approximately 15.6299 acre(s). (G-16)

AMAFCA No comment.
COG No comment.
TRANSIT No comment.
ZONING ENFORCEMENT
NEIGHBORHOOD COORDINATION Letters sent to: No Neighborhood and/or Homeowner Association(s)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT No comment.
FIRE DEPARTMENT No comment.
PNM ELECTRIC & GAS No comment.
COMCAST No comment.
QWEST Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.
ENVIRONMENTAL HEALTH No comment.
M.R.G.C.D No Adverse Comments

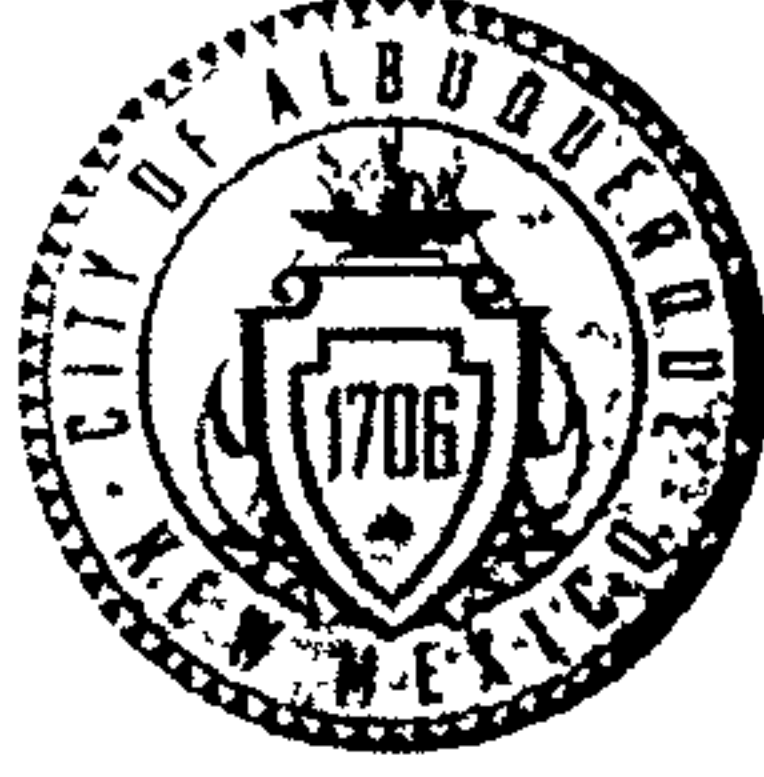
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER No objection
TRANSPORTATION DEVELOPMENT Transportation Development has no objection to the extension request.
PARKS AND RECREATION No comment.
ABCWUA No comment.
PLANNING DEPARTMENT Refer to comments from affected agencies plus any public hearing comments regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

DRB/EPC/LUCC APPLICATION CHECKLIST

A review of DRB Case 1006865 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/*Explain:*
- Traffic control devices/*Explain:*
- Burglaries/*Explain:*
- Speeding violations/*Explain:*
- Lighting issues/*Explain:*
- Maintenance of landscaping/*Explain:*
- Robbery/*Explain:*
- Assault/*Explain:*
- Shoplifting/*Explain:*
- Accidents in the parking lot/*Explain:*
- A higher probability of crimes during evening/weekend hours/*Explain:*
- Commercial burglary/*Explain:*
- Rape/*Explain:*
- Adequate security/*Explain:*
- Alarm security/*Explain:*
- Alarm response i.e. false alarms, etc/*Explain:*
- Transients/*Explain:*
- Need for neighborhood association/*Explain:*
- Other:** *No Crime Prevention or CPTED comments concerning the proposed SIA Extension request at this time.*



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 23, 2010, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1000248

**10DRB-70147 VACATION OF PUBLIC
DRAINAGE EASEMENT**

TIERRA WEST LLC agent(s) for WESTERN SECURITY REAL ESTATE request(s) the referenced/ above action(s) for two temporary drainage easements on a portion of Tract(s) A, **WEST RIDGE MOBILE HOME PARK** zoned SU-1 FOR MHP (Mobil Home Park), located on the north side of VOLCANO RD NW bewteen 98TH ST NW and 90TH ST NW containing approximately 27.4898 acre(s). (K-9)

Project# 1006865

**10DRB-70146 MAJOR - 1 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (1YR SIA)**

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the referenced/ above action(s) for all or a portion of Tract(s) A-1-A, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FWY NE between COMANCHE RD NE and VASSAR DR NE containing approximately 15.6299 acre(s). (G-16)

Project# 1001164

**10DRB-70153 VACATION OF PUBLIC
UTILITY EASEMENT**

JACKS HIGH COUNTRY INC agent(s) for HUNT UPTOWN IV LLC request(s) the referenced/ above action(s) for a portion of a 10 foot public utility easement on Tract(s) B-1-A-1, **ST PIUS X SUBDIVISION** zoned SU-3 MU-UPT (Mixed Use Uptown) /BUFFER, located on the northeast corner of INDAIN SCHOOL RD NE and UPTOWN LOOP RD containing approximately 1.1490 acre(s). (H-19)

Project# 1001939

**10DRB-70156 VACATION OF PUBLIC
SANITARY SEWER EASEMENT**

JD HOMEBUILDER CORP agent(s) for MECCI UGENIA request(s) the referenced/ above action(s) for a portion of a 20 foot sanitary sewer easement on Lot(s) 5, **CIELO OESTE SUBDIVISION** zoned RD, located on the north side of CASA FLORIDA PL NW east of CASA VISTOSA CT NW AND CASA LINDA CT NW containing approximately 0.1007 acre(s). (H-9)

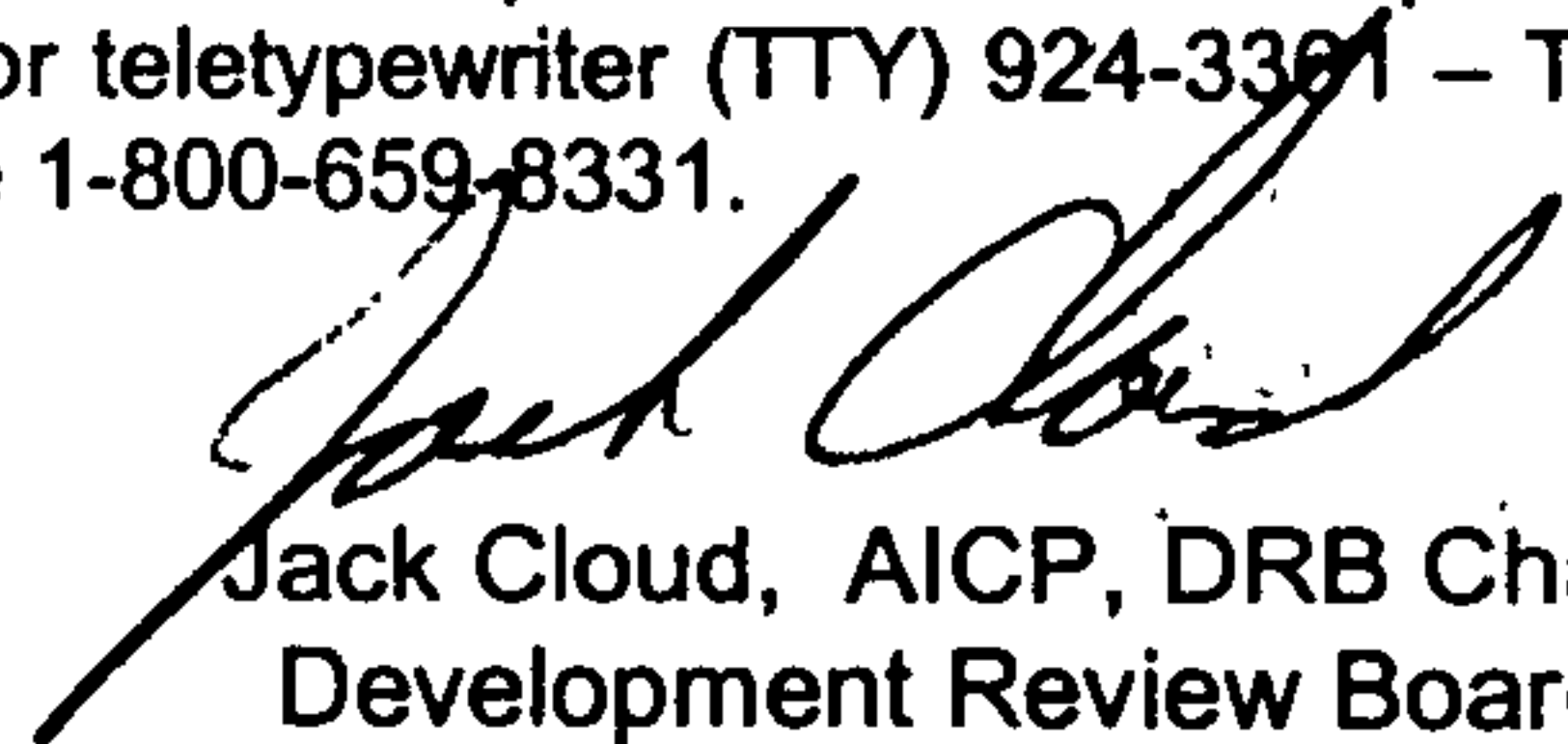
Project# 1003095
10DRB-70151 SIDEWALK WAIVER
10DRB-70152 SUBDIVISION DESIGN
VARIANCE FROM MIN DPM STDS
10DRB-70150 MAJOR - PRELIMINARY
PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for FRED CASALE/ JAMES SELIGMAN request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2-A-2, **LA MIRADA SUBDIVISION (TO BE KNOWN AS LA MIRADA TOWNHOMES)** zoned O-1 (CONDITIONAL USE) AND P, located on the south side of LA MIRADA PL NE between WYOMING BLVD NE and PENNSYLVANIA ST NE containing approximately 1.1443 acre(s). (G-19)

Project# 1003794
10DRB-70155 MAJOR – SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT

PAT JOSEPH agent(s) for DOUGLAS PETERSON - PETERSON PROPERTIES request(s) the referenced/ above action(s) for all or a portion of Lot(s) 3, **VOLCANO POINT SHOPPING CENTER** zoned SU-2 FOR PCA (Planned Commercial Area), located on the west side of 98TH ST NW between CENTRAL AVE NW and VOLCANO RD NW containing approximately .7516 acre(s). (K-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 7, 2010.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: Wednesday, June 23, 2010
Zone Atlas Page: (G-16)
Notification Radius: 100ft

Project# 1006865
App# 10DRB-70146

**Cross Reference and Location: located on PAN AMERICAN FWY NE BETWEEN
COMANCHE NE AND VASSAR DR NE**

Applicant: SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
533 S FREMONT AVE NE, 9TH FLOOR
LOS ANGELES CA 90071

Agent: TIERRA WEST LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: June 4, 2010
SIGNATURE: ANITA TAVASCI

OR CURRENT RESIDENT
101606016231820615
AZTEC INVESTMENTS LLC
2500 COMANCHE RD NE
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101606008329620601
MEXALB CORPORATION ATTN: TAX DEPT
PO BOX 28606
ATLANTA GA 30358

OR CURRENT RESIDENT
101606018631920622
SMITH CHERYL A
2519 COMANCHE NE
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101606022736920238
VASSAR BUSINESS PARK CONDOMINIUM
4020 VASSAR DR NE SUITE H
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101606022932220218
BANK OF ALBUQUERQUE C/O FACILIT
IES DEPT
3900 VASSAR DR NE
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101606022122320526
NEW MEXICO EDUCATORS FEDERAL C
REDIT UNION
PO BOX 8530
ALBUQUERQUE NM 87198

OR CURRENT RESIDENT
101606016041020665
SOUTHWEST REGIONAL COUNCIL OF
CARPENTERS
533 S FREEMONT AVE FLOOR 9
LOS ANGELES CA 90071

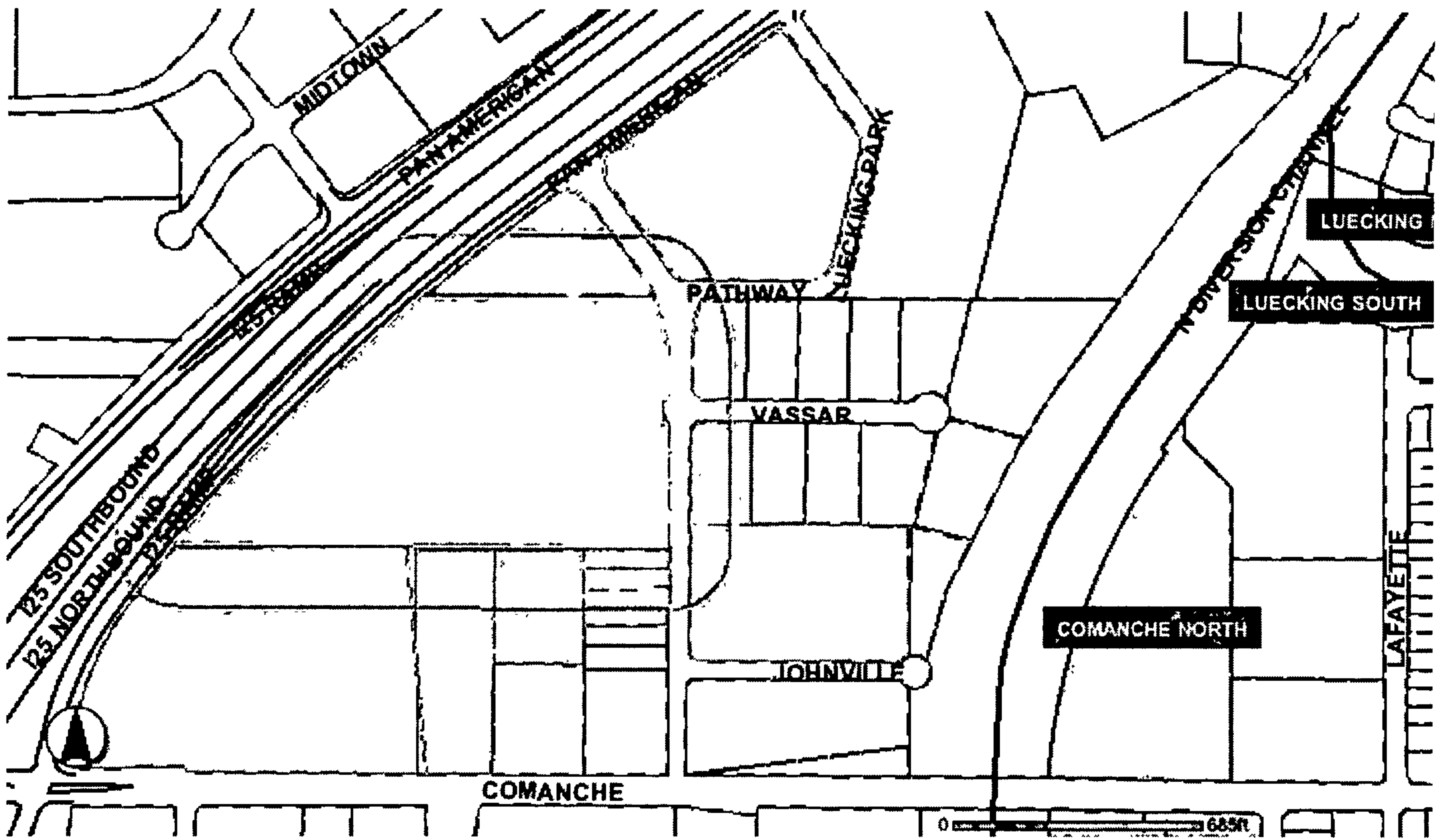
TIERRA WEST LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NM 87109
PROJECT #1006865

OR CURRENT RESIDENT
101606018630920620
MAN I CAN STORE FIXTURES INC
2519 COMANCHE RD NE
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101606022833720249
RANDREAU PROPERTIES LLC
4000 VASSAR NE SUITE B
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101606013829620613
THREE M & R JOINT VENTURE ATT PR
OPERTY TAX DEPT
PO BOX 28606
ATLANTA GA 30358

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R ST AT E	OW NE R ZIP CO DE	PR OP ERT Y CLA SS	TA X DIS TRI CT	LEGAL
1	101606 008329 620601	MEXALB CORPORATI ON ATTN: TAX DEPT	PO BOX 286 06	ATLA NTA	GA	303 58	C	A1 A	TR 1 MEXALB TRACT REPLAT OF A POR HA HN PARCEL CONT 11.8001 AC M/L
2	101606 018631 920622	SMITH CHERYL A	2519 COMA NCHE NE	ALBU QUER QUE	N M	871 07	C	A1 A	LOT Y (REPLAT OF LTS 3B 3C & 3D PARCEL 3 OF THE SECOND REPLAT OF TR 2) HAHN PARCEL CONT 11,465 SF M/L
3	101606 018630 920620	MAN I CAN STORE FI XTURES INC	2519 COMA NCHE RD N E	ALBU QUER QUE	N M	871 07	C	A1 A	LOT V (REPLAT OF LTS 3B 3C & 3D PARCEL 3 OF THE SECOND REPLAT OF TR 2) HAHN PARCEL CONT 11,465 SF M/L
4	101606 022122 320526	NEW MEXICO EDUCA TORS FEDERAL CRE DIT UNION	PO BOX 853 0	ALBU QUER QUE	N M	871 98	C	A1 A	TR A-1A-1 PLAT OF TRACTS A-1A-1 & A-2A- 1 LUECKING PARKCOMPLEX NO 2 AND NO 3 CONT 7.2785 AC
5	101606 013829 620613	THREE M & R JOINT V ENTURE ATT PROPE RTY TAX DEPT	PO BOX 286 06	ATLA NTA	GA	303 58	C	A1 A	PARCEL 1 OF SUMMARY PLAT SECOND RE PLAT OF TR 2 OF THE HAHN PARCEL CONT 3.1 999 AC
6	101606 022833 720249	RANDREAU PROPER TIES LLC	4000 VASS AR NE SUIT E B	ALBU QUER QUE	N M	871 07	C	A1 A	TR B-1-K-1 PLAT OF TRACTS B-1-A- 1 THROUGH B-1-K- 1 COMANCHEBUSINESS PARK CONT 1.0336 AC
7	101606 018631 420621	SMITH CHERYL A	2519 COMA NCHE NE	ALBU QUER QUE	N M	871 07	C	A1 A	LOT X (REPLAT OF LTS 3B 3C & 3D PARCEL 3 OF THE SECOND REPLAT OF TR 2) HAHN PARCEL CONT 11,465 SF M/L
8	101606 018632 520623	SMITH CHERYL A	2519 COMA NCHE NE	ALBU QUER QUE	N M	871 07	C	A1 A	LOT Z (REPLAT OF LTS 3B 3C & 3D PARCEL 3 OF THE SECOND REPLAT OF TR 2) HAHN PARCEL CONT 14,092 SF M/L
9	101606 022736 920238	VASSAR BUSINESS P ARK CONDOMINIUM	4020 VASS AR DR NE S UITE H	ALBU QUER QUE	N M	871 07	C	A1 A	TR B-1-A-1 PLAT OF TRACTS B-1-A- 1 THROUGH B-1-K- 1 COMANCHEBUSINESS PARK CONT 0.9096 AC
10	101606 016231 820615	AZTEC INVESTMENT S LLC	2500 COMA NCHE RD N E	ALBU QUER QUE	N M	871 07	C	A1 A	PARCEL 2- A AMENDED REPL OF PARCEL 2 SECOND R EPL OF TR 2 OF THE HAHN PARCEL CONT 1 .8257 AC
11	101606 016041 020665	SOUTHWEST REGIO NAL COUNCIL OF CA RPENTERS	533 S FREE MONT AVE FLOOR 9	LOS ANGE LES	CA	900 71	V	A1 A	TRACT A- 4A CORRECTED PLAT OF TRACTS A-1A, A- 2A, A-3A AND A- 4A LUECKING PARK COMPLEX NO 2 AND N O 3CONT 2.3928 AC
12	101606 014936 520661	SOUTHWEST REGIO NAL COUNCIL OF CA RPENTERS	533 S FREM ONT AVE F LOOR 10	LOS ANGE LES	CA	900 71	V	A1 A	TR A-1-A PLAT OF TR A-1- A COMANCHE BUSINESS PARK (BEING A RE PLAT OF TR A- 1 COMANCHE BUSINESS PARK) CONT 15.6 299 AC
13	101606 022932 220218	BANK OF ALBUQUER QUE C/O FACILITIES DEPT	3900 VASS AR DR NE	ALBU QUER QUE	N M	871 07	C	A1 A	TR C COMANCHE BUSINESS PARK CONT 5. 1430 AC M/L



R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	O W N E R S T A T E	O W N E R Z I P C O D E	P R O P E R T Y C L A S S	T A X D I S T R I C T	LEGAL
1	1019058 0835042 0415	WINROCK PARTNERS L LC	100 SUN A VE NE SUI TE 100	ALBU QUER QUE	N M	871 09	V	A1 A	TR B PLAT OF TRACTS A & B HUNT- SPECTRUM DEVELOPMENT SITEA REPLA T OF A PORTION OF TRACT A NW 1/4 SEC 18 T10N R4ECONT 2.4765 AC
2	1019059 0550603 0134	HUNT UPTOWN DEVEL OPMENT LLC C/O TTA/E PROPERTYTAX- DEPT 125	PO BOX 4 900	SCOT TSDA LE	AZ	852 61	C	A1 A	TR A-1 PLAT OF TRACT A- 1 ABQ UPTOWN SITE (A REPLAT OF TRAC TA ABQ UPTOWN SITE) CONT 17.6729 AC
3	1019059 1010173 1701	HUNT UPTOWN IV LLC C/O TTA EPROPERTY T AX-DEPT 125	PO BOX 4 900	SCOT TSDA LE	AZ	852 61	C	A1 A	TR B-1-A-1 PLAT OF TRACT B-1-A-1 & B-1- A- 2 ST PIUS XSUBD (A REPLAT OF TRACTS B-1-A ST PIUS X SUBD)CONT 1.1490 AC
4	1019059 1270553 1702	HUNT UPTOWN DEVEL OPMENT LLC C/O TTA/E PROPERTYTAX- DEPT 125	PO BOX 4 900	SCOT TSDA LE	AZ	852 61	R	A1 A	TR B-2-A PLAT OF TRACTS B-1-A & B-2- A ST. PIUS X SUBDIVISION(A REPLAT OF T RACTS B-1 & B- 2 ST. PIUS X SUBDIVISION)CONT 6.5256 A C
5	1019058 1304002 0410L1	WINROCK PARTNERS L LC	100 SUN A VE NE SUI TE 100	ALBU QUER QUE	N M	871 09	C	A1 A	PARCEL A-1-A OF PARCEL A-1- A WINROCK CENTER ADDITION (EXCLPOR T OUT TO RW) CONT 50.2296 AC +/-
6	1019058 1355102 0404L1	WINROCK PARTNERS L LC	100 SUN A VE NE SUI TE 100	ALBU QUER QUE	N M	871 09	C	A1 A	PARCEL C-2A PLAT OF PARCELS A- 1 THRU A-3 7 PARCEL C- 2A WINROCK CENTER ADDN CONT 3.8468 AC M/L OR 167,567 SQ FT M/L
7	1019059 1100353 1703	HUNT UPTOWN IV LLC C/O TTA EPROPERTY T AX-DEPT 125	PO BOX 4 900	SCOT TSDA LE	AZ	852 61	V	A1 A	TR B-1-A-2 PLAT OF TRACT B-1-A-1 & B-1- A- 2 ST PIUS XSUBDIVISION (A REPLAT OF T RACTS B-1- A ST PIUS X SUBD)CONT .7019 AC

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.

[Signature]
Applicant name (print)
5/24/10
Applicant signature / date

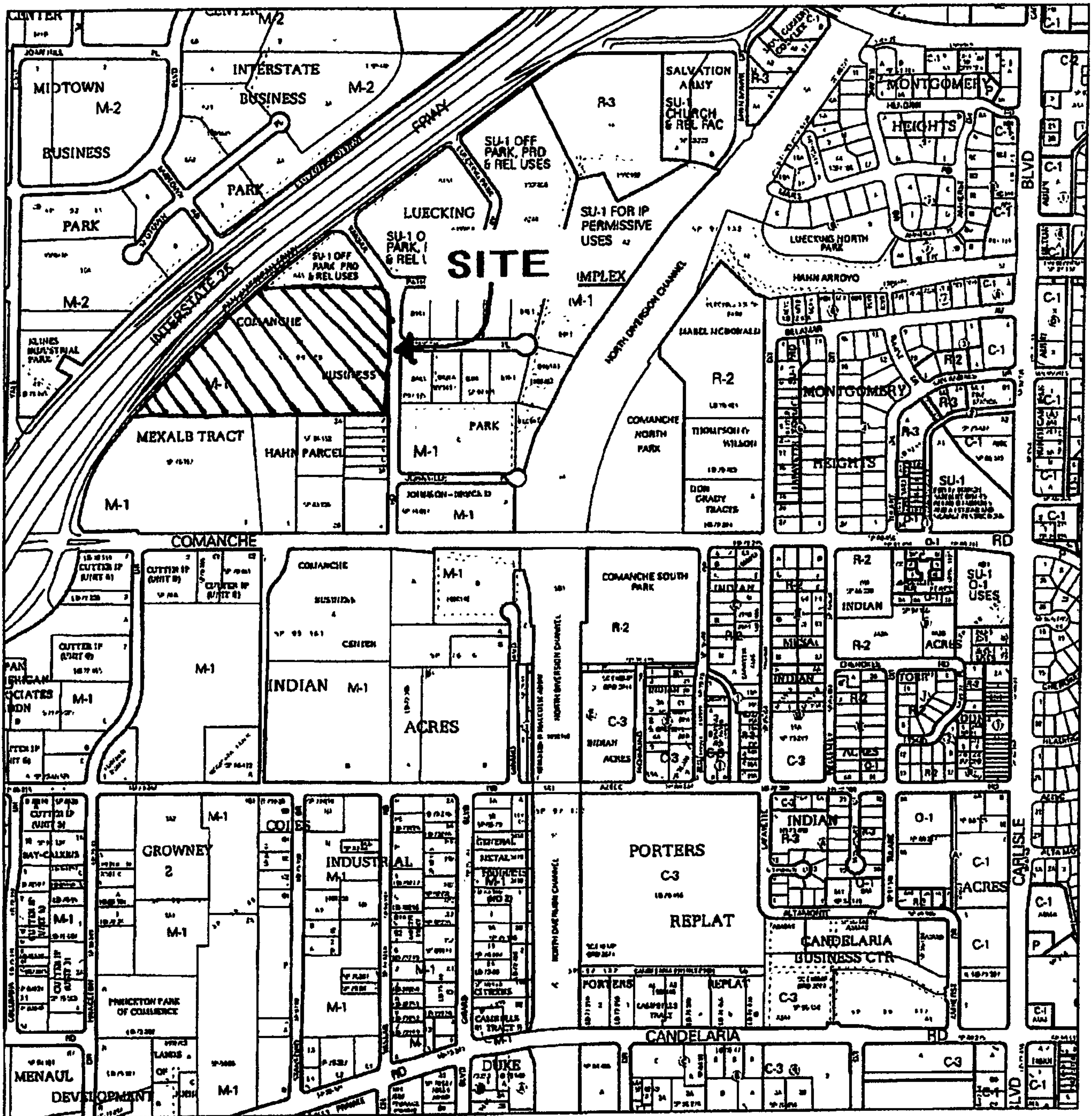


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
10DRB-70146

Sandy Handley 05/24/10
Planner signature / date
Project # 1006865



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/6/2007

Zone Atlas Page:
G-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Feet
0 700 1,500

gwr

TIERRA WEST, LLC

May 24, 2010

Mr Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

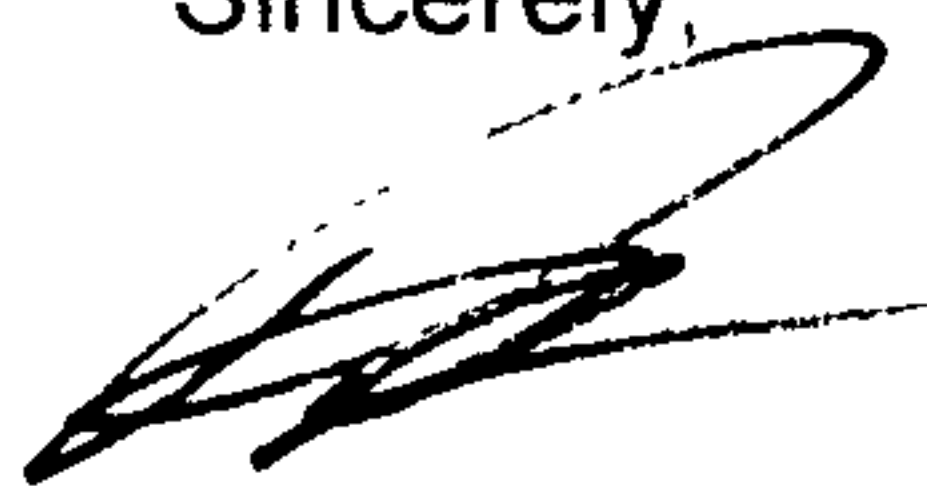
**RE: Extension of Subdivision Improvements Agreement
Carpenter's Training Center
Project # 1006865
Zone Atlas Page G-16**

Dear Mr. Cloud:

Tierra West LLC, on behalf of the Southwest Regional Council of Carpenters, requests approval of a one-year extension of the Subdivision Improvements Agreement for the above-referenced site. The site is currently under construction, is zoned M-1, and contains approximately 15.7 acres. Construction of the required improvements is almost complete. Minimal work remains along with the completion of final inspections and the submittal of the close out package remaining. The completion of these outstanding items cannot be accomplished prior to the existing construction deadline of June 10, 2010.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



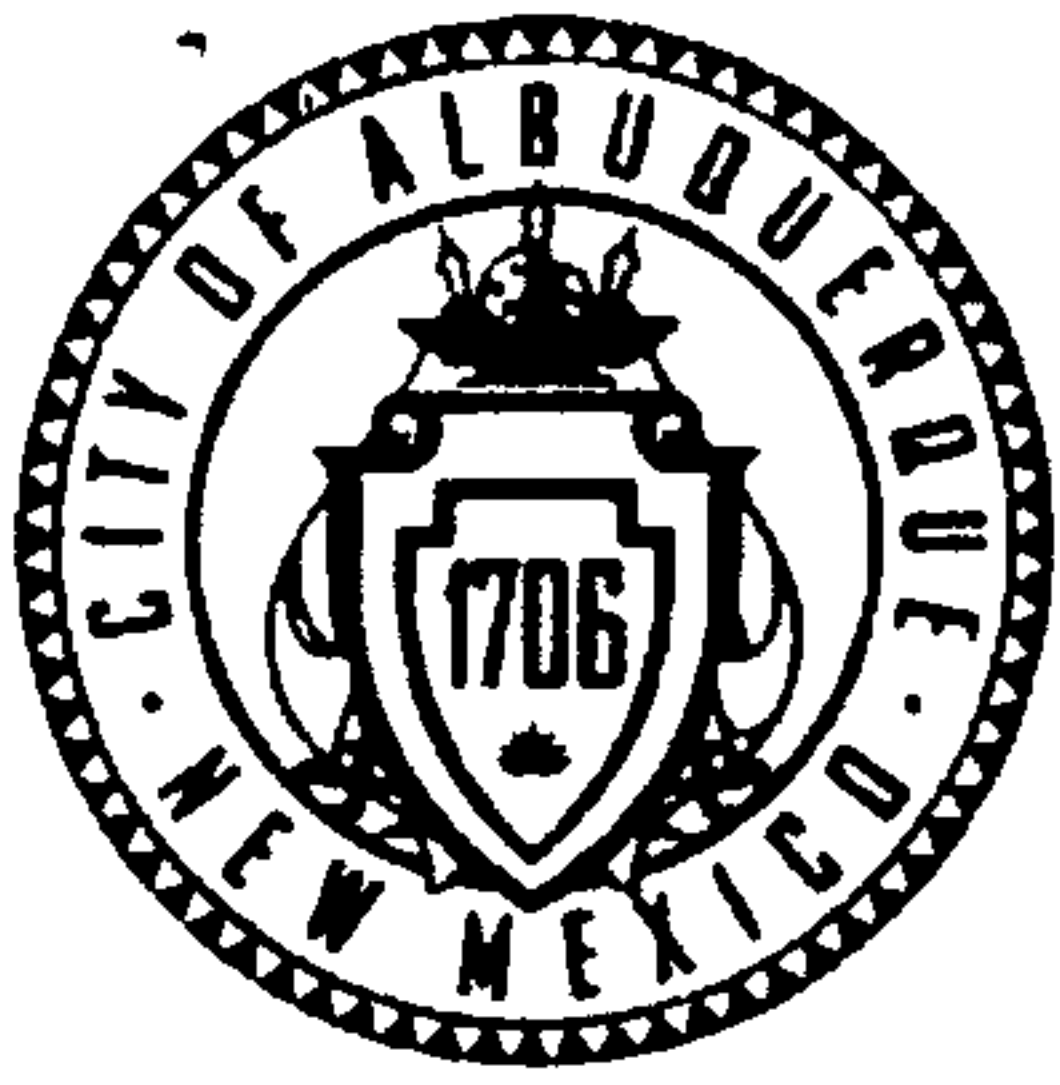
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Randy Sowell

JN 27101
RRB/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
 EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
 Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: Keli Krueger

COMPANY NAME: Tierra West LLC

ADDRESS/ZIP: 5571 Midway Park Place NE, Albuquerque, NM 87109

PHONE: 505-858-3100 FAX: 505-858-1118

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

Tract A-1-A Comanche Business Park

LEGAL DESCRIPTION

LOCATED ON Pan American Fwy. NE

STREET NAME OR OTHER IDENTIFYING LANDMARK

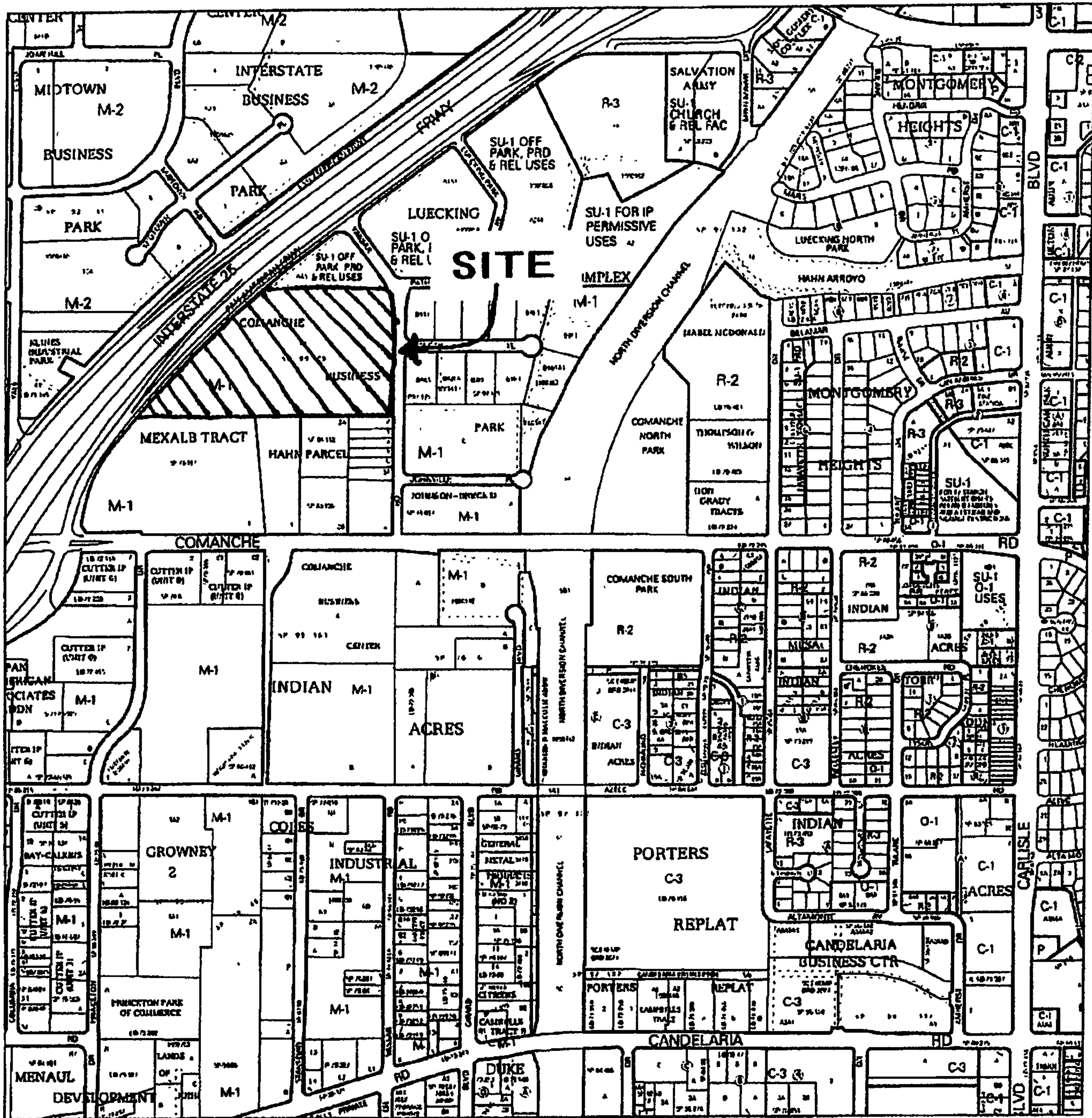
BETWEEN Comanche NE AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

Vassar Drive NE

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (G-16).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map MUST be provided with request)



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

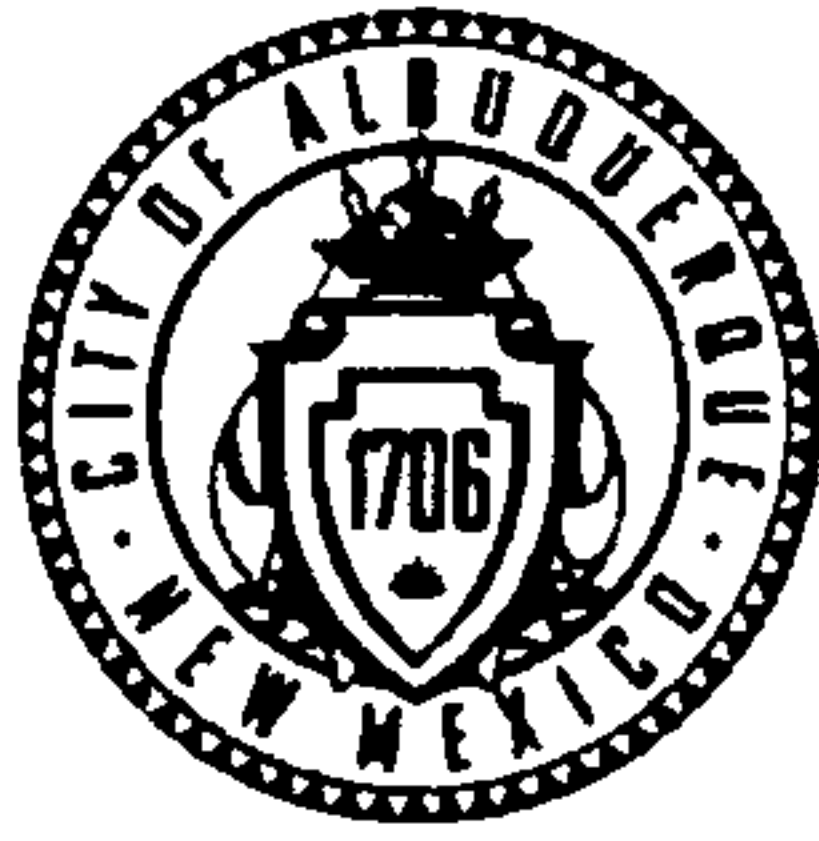
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SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
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H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 700 1,500 Feet



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

May 24, 2010

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **May 24, 2010:**

Contact Name: KELI KRUEGER
Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkrueger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – TRACT A-1-A, COMANCHE BUSINESS PARK, LOCATED ON PAN AMERICAN FREEWAY NE BETWEEN COMANCHE ROAD NE AND VASSAR DRIVE NE** zone map **G-16.**

Our records indicate that as of May 24, 2010, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(01/22/08)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **05/24/10** Time Entered: **12:45 p.m.** ONC Rep. Initials: **siw**

HEARING DATE 6-23-10 (SIA)



Tierra West, LLC.

(505) 858-3100
5571 Midway Park Place NE
Albuquerque New Mexico 87109

TO: Jack Cloud
DRB Chair

LETTER OF TRANSMITTAL

DATE	3/24/08	JOB NO:	27101
ATTENTION:	Jack Cloud		
RE:	Carpenters Training Center DRB Project #1006865		
PHONE:	505-924-3934		

- WE ARE SENDING YOU Attached Under Separate cover via _____ the following items:
- Shop drawings Prints Plans Samples Specifications
- Copy of letter Change order CD

COPIES	DATED	NO.	DESCRIPTION
1			Copy of revised DRB Plans
1			Copy of memo to Carol Toffaleti addressing outstanding comments
1			Copy of TIS approval letter from NMDOT
1			Copy of revised Infrastructure List

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted FOR SIGNATURE(S)
- For your use Approved as noted _____
- As requested Returned for corrections
- For review and comments _____
- FOR BIDS DUE _____ 20 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

RECEIVED BY _____ DATE: _____ SIGNED Sarah Abeyta

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

Phone: 505-858-3100
Fax: 505-858-1118

MEMO

TO: Carol Toffaleti, Planner, Development Review

FROM: Ronald R. Bohannon

SUBJECT: Project # 1006865 , 07EPC-4066, 08DRB-70117 – SW Council of Carpenters

JN:27101

DATE: March 24, 2008

This memo is to respond to comments received from your office on March 14, 2008. In the memo dated March 14, 2008 the following items were addressed:

3. Stormwater Management – The applicant has not met the first part of the condition: the site development plan must include measures to use a portion of runoff from the site for irrigation and infiltration.

Some of the islands in the parking lot will be used to capture runoff from the site for irrigation and infiltration. The areas where this concept could be used are noted on the Grading and Drainage Plan. The curb cuts for the islands and details for the islands are shown on sheets C1 and C2. Hilltop has also modified the Landscape Plan to account for the drainage entering these islands for irrigation.

4. Energy Management – Proposed Design Guideline #16 does not describe the energy management measure(s) that shall be incorporated in the development.

Proposed Design Guideline #16, on sheet A1, was revised to state exactly how the development will incorporate energy management measures.

7. Phase I boundary – The boundary of Phase I development needs to be amended on sheets C-2 and C-2.

The Phase I boundary was revised on all sheets to match the phase lines shown on the Site Plan for Building Permit.

9. Outdoor patios – The patios have been relocated to staff's satisfaction, but the size of the patio at Building D (the restaurant has been reduced to approximately half the size approved by the EPC. The patio area needs to be 400 sf.

The Outdoor patio area for Building D is 430 sf as indicated on the Site Plan for Building Permit, sheet A2.

13. Retaining Walls – Information on walls has been added to several sheets in the submittal since EPC approval, but it is inconsistent and/or redundant. Sheets A-2, A-4, C-1, C-1-A, L-1, L-2 and L-3 need revising to show accurate and consistent information concerning the location, design, dimensions, materials and colors of retaining and screen walls.

The retaining walls are shown in the correct locations and lengths on the sheets referenced above. The duplicate details were deleted and the wall details are shown on sheet C-4.

16. Design guidelines/standards

e. Signage – The proposed monument and pylon signs are considered “free-standing” signs. To avoid confusion, staff requests that the third sentence in Design Guideline #9 be reworded as follows: “Sign area for a free-standing or project sign shall not exceed 100 square feet per sign face, except that one free-standing pylon sign is allowed with a maximum of 150 square feet per sign face.”

Design Guideline #9 was revised.

19. Landscape Plan

a. Calculations – The calculations need amending to include landscaping for the entire premises, as approved by the EPC, and with the correct total buildings area. The application may provide further calculations to show Phase I and any temporary landscaping proposed until Phase II and III are developed. (The type and quantity of native seed proposed as temporary landscaping must be included in the plant legend.)

The calculations were revised.

c. Building C – While landscaping is now shown around Building C on Sheet L-1, it has disappeared from other Phase II areas (around Buildings B and D).

Landscaping for the entire premises needs to be shown on Sheet L-1, as approved by the EPC.

The LS plan was modified to show the landscaping as required by EPC and the calculations were revised.

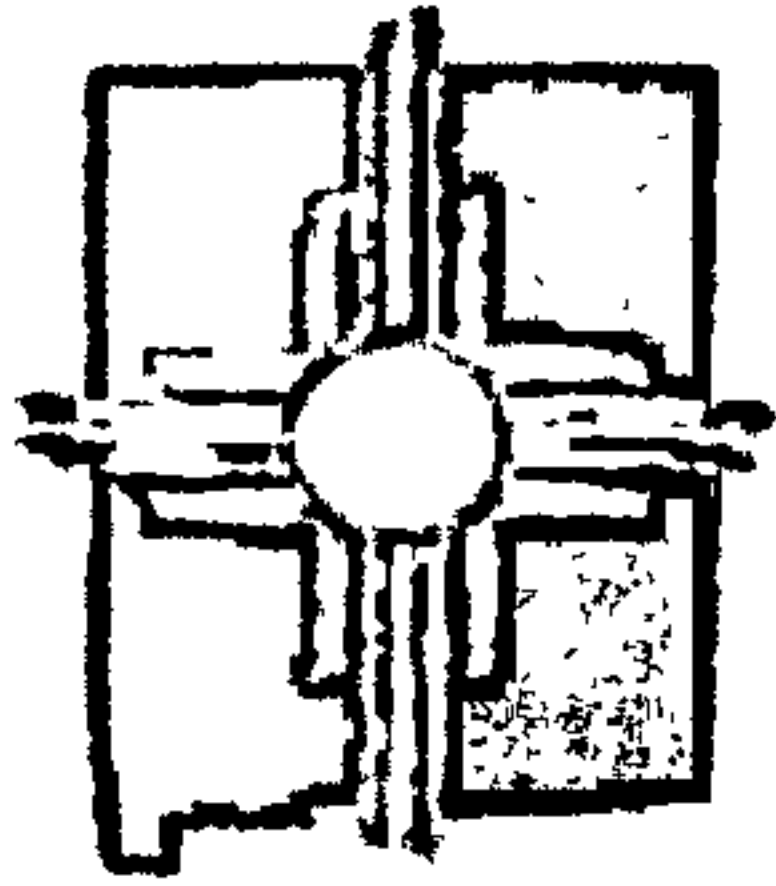
- f. **Stormwater runoff – Landscaped areas that will receive stormwater runoff need to be indicated on the landscape plan and redesigned as appropriate.**

Hilltop was provided with the Grading and Drainage Plan showing those areas where drainage from the parking lot is supposed to be captured to irrigate the parking islands.

Hilltop modified the Landscape plan accordingly.

Additional Comment on Condition 5. concerning off-street parking. Please add additional note on site development plan: “A shared parking agreement shall be approved by Code Enforcement prior to DRB approval of any future phases of development”

A note stating the above was added to sheet A-2.



New Mexico DEPARTMENT OF
TRANSPORTATION
MOBILITY FOR EVERYONE

District Three Office - Albuquerque

February 24, 2008

Mr. Terry O. Brown, P.E., PTOE
P. O. Box 92051
Albuquerque, NM 87199

Subject: Proposed Vassar Development
Albuquerque, Bernalillo County, District Three

Dear Mr. Brown:

The NMDOT District Three Office has completed its review of the Final TIS report, dated July 30, 2007, for the proposed Vassar Development in Albuquerque. The proposed development lies on the east side of NB I-25 Frontage Road south of the Vassar Intersection in Albuquerque.

We have reviewed the report and are satisfied with the analysis and recommendations contained in the report. Therefore, The TIS has been approved by the NMDOT with the following understanding:

1. The developer shall contact the property owner in writing VIA certified mail concerning access to the property to the north. It is the NMDOT's preference that the access to the development be placed along the north property line.
2. If the property owner to the north is non-responsive to the request, the Vassar development owner shall grant a roadway/access easement which will allow access from the proposed Vassar development access (driveway "A") to the property at the southeast corner of the I-25 Frontage Road and Vassar.

In accordance with our approval, the following offsite improvements will be required:

1. A northbound I-25 Frontage Road right turn deceleration lane in advance of Driveway "A". The lane shall be designed as per the requirements listed in the State's Access Management Manual or as practical as possible given the adjacent roadway features and geometry. A 5' bike bypass lane shall be included in the design of the right turn lane.
2. Construct a right turn lane at the NB I-25 Frontage Road and Comanche Intersection. The NB approach to the intersection shall be re-stripped to include an exclusive right turn and a through right lane. The lane shall be designed as per the requirements listed in the State's Access Management Manual or as practical as possible given the adjacent roadway features and geometry

The following information will be required prior to approving the requested access onto the NB I-25 Frontage Road:

Bill Richardson
Governor

Rhonda G. Faight P.E.
Cabinet Secretary

Commission

Johnny Cope
Chairman
District 2

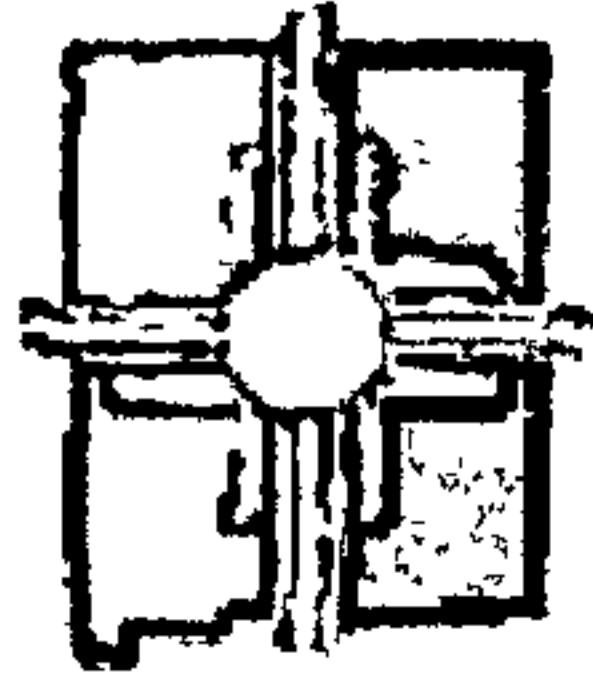
David Schutz
Vice Chairman
District 5

Gregory T. Ortiz
Secretary
District 6

Norman Assed
Commissioner
District 3

Jim Franken
Commissioner
District 4

John L. Hummer
Commissioner
District 1



NEW MEXICO DEPARTMENT OF
TRANSPORTATION
MOBILITY FOR EVERYONE

1. All geometric details associated with the proposed improvements listed in this letter must be approved by the NMDOT. Any schematic layout(s) for the proposed improvements that is contained in the report is for information purposes only and should not be considered as an approved final design.
2. Detailed construction plans for the proposed driveway and roadway improvements shall be submitted to my office for approval. The driveway design must meet all applicable ADA requirements.
3. Grading and drainage plans, shall be submitted to Ms. Rae Van Hoven, NMDOT Drainage Engineer, for review and approval. Ms. Van Hoven can be reached at (505) 827-5323.
4. Traffic Control Plan (T.C.P.) for any construction activities that impact NB I-25 Frontage Road shall be submitted for my review and approval.
5. Cultural resources approval will need to be obtained from Ms. Gwyneth Duncan for disturbance to the State Right-of-Way (R/W). Ms. Duncan can be reached at (505) 827-5235.
6. All utility permits, within the NMDOT Right-of-Way relating to the proposed development shall be submitted to Ms. Christina Bahl, District Three Permitting Agent. Ms. Bahl can be reached at (505) 841-2778.

If you have any questions, please feel free to give me a call at (505) 841-2761.

Sincerely,

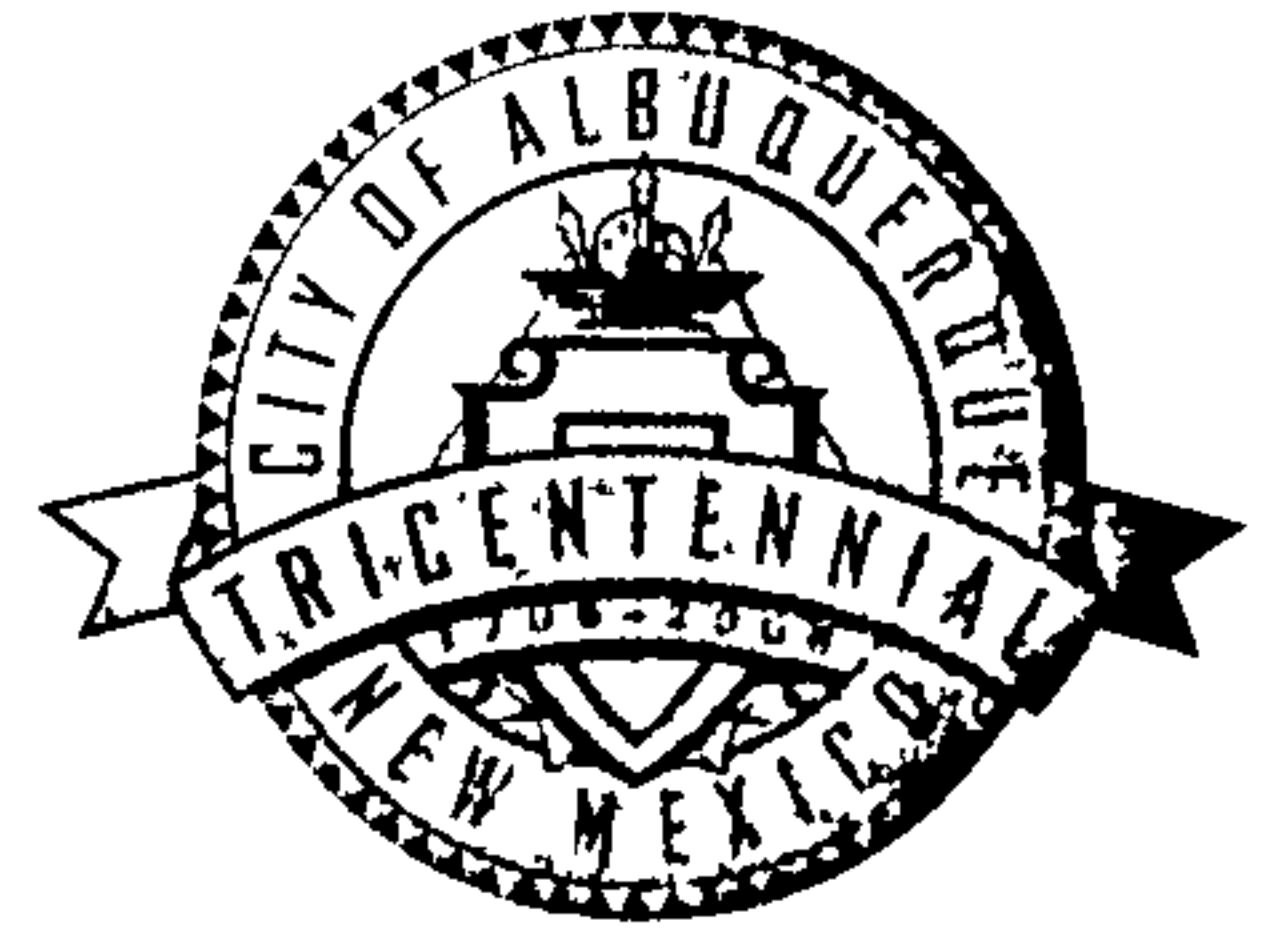
Tony Abbo

Digitally signed by Tony Abbo
DN: CN = Tony Abbo, C = US, O
= NMDOT, OU = Traffic
Reason: I am the author of this
document
Date: 2008.02.24 21:31:25 -07'00'

Tony Abbo, P.E., P.T.O.E.
District Three Traffic Engineer

cc: Terry Doyle
Christina Bahl
Ron Bohannon, Tierra West
Tony Loyd, COA
File

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006865

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer.
An approved infrastructure list is required for Site Plan approval.

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ³⁻²⁶⁻⁰⁸ X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: March 12, 2008

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

Date: March 14, 2008
To: Jack Cloud, DRB Chair
From: Carol Toffaleti, Planner, Development Review
Subject: Project #1006865, 07EPC-40066, 08DRB-70117 – SW Council of Carpenters

On November 15, 2007, the Environmental Planning Commission approved Project #1006865, 07EPC-40066, a Site Development Plan for Building Permit subject to conditions, for a site of approximately 15.7 acres located on Pan American Hwy between Comanche and Vassar NE, zoned M1 (SC).

Further to my previous memo dated March 12, 2008, please find below complete comments on the applicant's DRB submittal.

The applicant has met all the conditions of approval with the following exceptions:

3. Stormwater Management – *The applicant has not met the first part of the condition: the site development plan must include measures to use a portion of runoff from the site for irrigation and infiltration.*
4. Energy Management – *Proposed Design Guideline #16 does not describe the energy management measure(s) that shall be incorporated in the development.*
7. Phase I boundary – *The boundary of Phase I development needs to be amended on sheets C-2 and C-2.*
9. Outdoor patios – *The patios have been relocated to staff's satisfaction, but the size of the patio at Building D (the restaurant) has been reduced to approximately half the size approved by the EPC. The patio area needs to be 400 sf.*
13. Retaining walls – *Information on walls has been added to several sheets in the submittal since EPC approval, but it is inconsistent and/or redundant. Sheets A-2, A-4, C-1, C-1-A, L-1, L-2 and L-3 need revising to show accurate and consistent information concerning the location, design, dimensions, materials and colors of retaining and screen walls, as approved by the EPC.*
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Design Guideline #9 be reworded as follows: "Sign area for a free-standing or projecting sign shall not exceed 100 square feet per sign face, except that one free-standing pylon sign is allowed with a maximum of 150 square feet per sign face."

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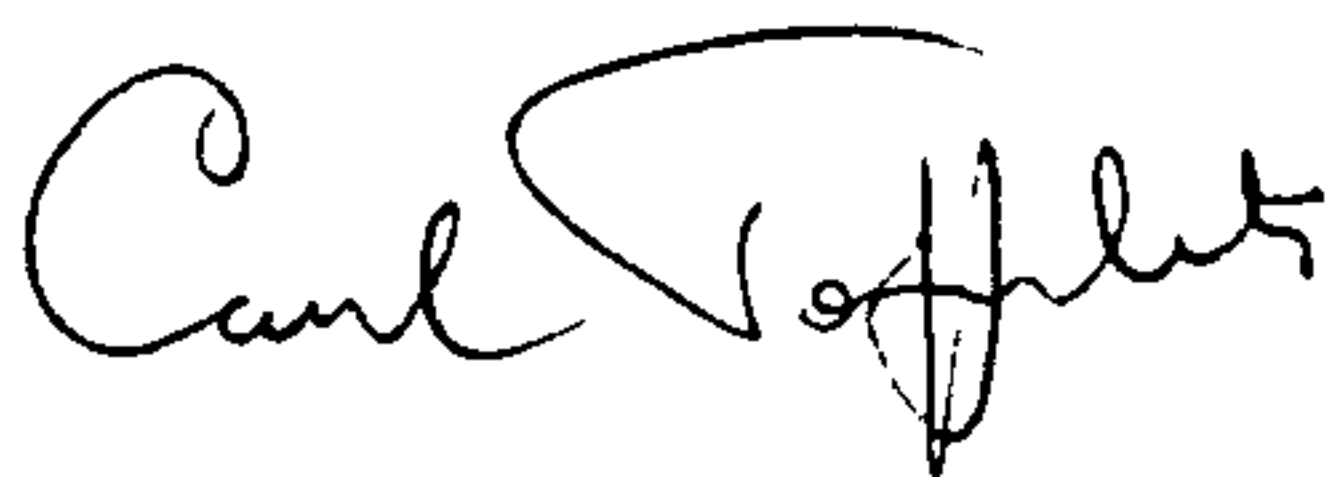
Staff would also like to comment on Condition 5. concerning off-street parking.

Staff received a memo from the City's Code Enforcement Officer dated March 6, 2008 (see attached) that calls for a procedural change from what is described in the condition.

The site development plan shows that sufficient parking is provided to meet the requirements for Phase I of the development (318 spaces). The CEO does not require the shared parking agreement cited in Condition 5.a. until future phases. However, to reflect this requirement for future development on the site, an additional note is needed on the current site development plan: "A shared parking agreement shall be approved by Code Enforcement prior to DRB approval of any future phases of development." (See email attached)

Staff recommends another meeting with the applicant before they re-submit to DRB.

If you have any questions, feel free to contact me on 924-3345.



Atts.

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

Date: March 14, 2008
To: Jack Cloud, DRB Chair
From: Carol Toffaleti, Planner, Development Review
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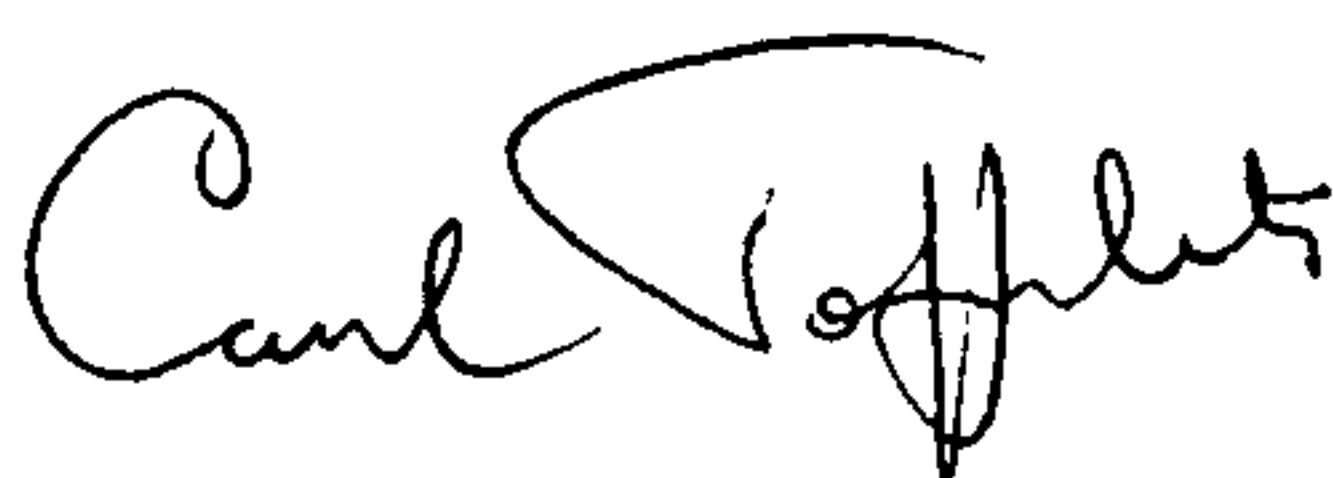
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Staff recommends another meeting with the applicant before they re-submit to DRB.

If you have any questions, feel free to contact me on 924-3345.



Atts.



Mayor Martin J. Chávez

City of Albuquerque

Planning Department

Martin J. Chavez, Mayor
Interoffice Memorandum

March 6, 2008

To: Carol Tofaletti, Planner, Development Review

From: Matthew Conrad, Code Compliance Official, Code Enforcement *MCC*

Subject: Carpenter's Training Center (Project 1006865)

After reviewing the proposed project, it has been determined that a Shared Parking Agreement as described in the Comprehensive City Zoning Code is not required until the future phases are constructed (office buildings and restaurants). Nonetheless, if and when the future phases are to be developed, it is at that point that a Shared Parking Agreement will be required. In the meantime, all of the parking that is required for Phase I of the development (Training Center) needs to be provided and demonstrated on the site prior to DRB approval.

Toffaleti, Carol G.

From: Garcia, Juanita C.
Sent: Friday, March 14, 2008 10:41 AM
To: Toffaleti, Carol G.
Subject: RE: EPC/DRB 1006865 Carpenters' Training Ctr

Sounds Perfect. Thanks for the forethought.

Juanita C Garcia
Assistant Planning Manager
Code Enforcement Division
Planning Department
City of Albuquerque
Phone: 924-3823
Fax: 924-3460
juanitagarcia@cabq.gov

From: Toffaleti, Carol G.
Sent: Friday, March 14, 2008 10:02 AM
To: Garcia, Juanita C.
Subject: EPC/DRB 1006865 Carpenters' Training Ctr

Juanita
I'm working on the DRB memo which I promised to finish today and have a question.

Do you think the site plan needs to include a note about a shared parking agreem't for future phases? The future phases will be delegated to DRB and they don't typically go back to the notice of decision when they review plans, do they? So they might not know one is required. I wouldn't want the shared parking agreement req't to be overlooked down the line.

If you agree, here's a draft note for you to change as you see fit:

A shared parking agreement shall be approved by Code Enforcement prior to DRB approval of any future phases of development.

Thanks,
Carol

Carol Toffaleti
Planner
Development Review Division
City of Albuquerque Planning Department
(505) 924-3345
(505) 924-3339 fax
cgtoffaleti@cabq.gov



COMPLETED 08/07/08 *Stt*
DRB CASE ACTION LOG (EPC SITE PLAN - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70117	Project # 1006865
Project Name: COMANCHE BUSINESS PARK	
Agent: TIERRA WEST LLC	Phone No.: 858-3100

Your request was approved on 3/26/08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Escrow, comment - a plat may be needed for dedication of ROW

UTILITIES: _____

CITY ENGINEER / AMAFCA: - *de* - 5/1/08, *de* - 2/26/08

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



COMPLETED 08/07/08 SH
DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70285

Project # 1006865

Project Name: COMANCHE BUSINESS PARK

Agent: TIERRA WEST LLC

Phone No.: 8583100

Your request was approved on 7-9-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): -add solar collector notes

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required. OK**
 - Copy of recorded plat for Planning.**



Created On:



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70285

Project # 1006865

Project Name: COMANCHE BUSINESS PARK

Agent: TIERRA WEST LLC

Phone No.: 8583100

Your request was approved on 7-9-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

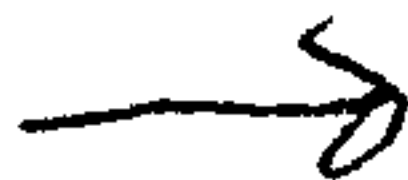
UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): -add color collector notes

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required. OK**
 - Copy of recorded plat for Planning.**



Created On:

6865

DXF Electronic Approval Form

DRB Project Case #: 1006865

Subdivision Name: COMANCHE BUSINESS PARK TRACT A1A

Surveyor: RUSS P HUGG

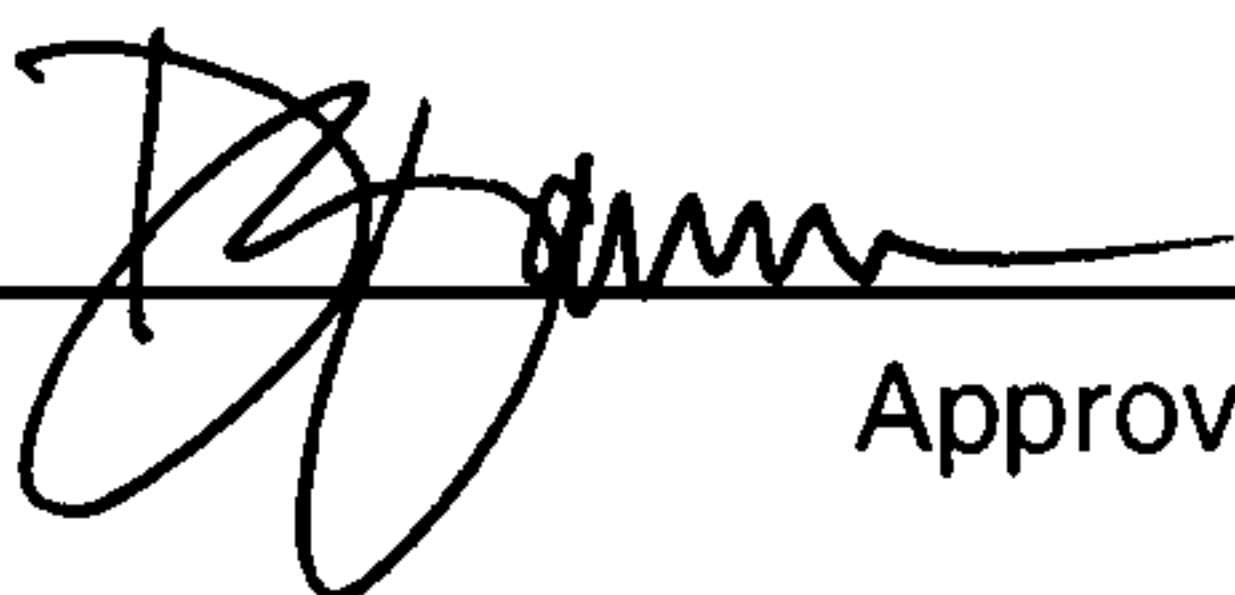
Contact Person: KELI KRUEGAR

Contact Information: 858-3100

DXF Received: 6/24/2008

Hard Copy Received: 6/24/2008

Coordinate System: NMSP Grid (NAD 27)


Approved

06-24-2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **6865** to agiscov on **6/24/2008** Contact person notified on **6/24/2008**



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 9, 2008 9:00 AM
MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Brad Bingham, P.E., Hydrology/ Alternate City Engineer Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1004607**
08DRB-70264 VACATION OF PUBLIC RIGHT-OF-WAY
WILSON & COMPANY agent(s) for SALLS BROTHERS CONSTRUCTION INC request(s) the above action(s) for all or a portion of Block(s) 15 & 16, **VISTA VIEJA** zoned RD, located on VISTA VERIL DR NW BETWEEN METE SOL NW AND VISTA TERRAZA DR NW (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. A REVISED GRADING AND DRAINAGE PLAN MUST BE PROVIDED PRIOR TO PLAT.**

2. **Project# 1003794**
08DRB-70238 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
GEORGE RAINHART & ASSOC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for Lots 3 and 4, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 / PCA, located on the northwest corner of 98TH ST NW AND CENTRAL AVE NW containing approximately 1.9833 acre(s). (K-9) *Deferred from 6/25/08.* **DEFERRED TO 7/23/08 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

3. **Project# 1000650**
08DRB-70237 EPC APPROVED SDP FOR BUILD PERMIT
GEORGE RAINHART & ASSSOC. agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 2A, **LAMONICA & WENK**, zoned SU-1 / C-1, located on COORS BLVD AND RIO BRAVO containing approximately 1.55 acre(s). (P-10) *[Deferred from 5/28/08, 6/4/08, 6/11/08 & 6/25/08]* **DEFERRED TO 7/16/08 AT THE AGENT'S REQUEST.**

4. **Project# 1007017**
 08DRB-70255 EPC APPROVED SDP FOR BUILD PERMIT
 08DRB-70256 EPC APPROVED SDP FOR SUBDIVISION
 08DRB-70258 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- NMHCR LLC agent(s) for KASSAM HOSPITALITY request(s) the above action(s) for all or a portion of Lot(s) 2-A-1, 2-A-2, 2-A-3, **SUNPORT PARK** zoned IP, located on WOODWARD RD SE BETWEEN UNIVERSITY AND TRANSPORT SE containing approximately 4.45 acre(s). (M-15) [Deferred from 6/11/08 & 6/25/08] **DEFERRED TO 7/16/08 AT THE AGENT'S REQUEST.**
5. **Project# 1006972**
 08DRB-70279 EPC APPROVED SDP FOR BUILD PERMIT
- GARCIA/KRAEMER & ASSOC. agent(s) for CHARLIE FINNEGAN NM MORTUARY SERVICES request(s) the above action(s) for all or a portion of Lot(s) 41A, Block(s) 37, **VALLEY VIEW ADDITION** zoned SU-1 CCR-3 & CREMATORY, located on TRUMAN NE BETWEEN CENTRAL NE AND COPPER NE containing approximately .5 acre(s). (K-17) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO ABCWUA FOR LOCATION OF FIREHYDRANTS AND TO TRANSPORTATION FOR COMMENTS.**
6. **Project# 1007204**
 08DRB-70276 EPC APPROVED SDP FOR BUILD PERMIT
- DARREN SOWELL ARCHITECTS LLC agent(s) for ARMSTRONG DEVELOPMENT PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) 1A, 1B, 2A, 2B, 3B, 4B & 3A/4-A-1, 5-B-1 & S-B-2, **BARRETT/LANDS OF WEFCO TBK UNSER CROSSING** zoned SU-1 FOR C/2 & 0/1, located on CENTRAL AVE AND UNSER BLVD SW BETWEEN BRIDGE ST SW AND 86TH ST SW containing approximately 50 acre(s). (K-9-I0 & L-10) *Deferred from 6/25/08.* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATE 7/9/08, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR COUNCIL ACTION ON ZONING.**
- 08DRB-70296 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for ARMSTRONG DEVELOPMENT PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) 1A, 1B, 2A, 3A, 3B, 4B, & TRACT 6 VE BARRETT SUBD & TRACTS 4A1, 5B1, 5B2, LANDS OF WEFCO PARTNERS, zoned SU-1 FOR C-2/01 & C-2, located on SW CORNER OF CENTRAL AVE & UNSER SW BETWEEN BRIDGE SW AND 86TH ST SW containing approximately 50 acre(s). (K-9 & K-10) **THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLATS

- 7. Project# 1003674**
08DRB-70287 EXT OF SIA

LLAVE ENTERPRISES INC. agent(s) for LLAVE ENTERPRISES INC. request(s) the above action(s) for all or a portion of Lot(s) 25-27, Block(s) 3, Tract(s) A, **RICH COURT Unit(s) B**, zoned RD 3DUA, located on ALAMOSA NE BETWEEN BARSTOW NE AND VENTURA NE (C-20) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
- 8. Project# 1003815**
08DRB-70282 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

FORSTBAUER SURVEYING CO LLC agent(s) for CORONADO LAND LLC request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 4, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned IP, located on VENICE AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25 containing approximately 2.4997 acre(s). (B-18) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR DIMENSIONAL SKETCH. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
- 9. Project# 1005185**
08DRB-70284 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for "W" INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 1, **CITY OF ALBUQUERQUE BERN COUNTY NM** zoned C-2, located on MONTGOMERY BLVD NE BETWEEN TRAMWAY BLVD NE AND BERMUDA RD NE containing approximately .9625 acre(s). (F-22) **THE PRELIMINARY/FINAL PLAT WAS APPROVED. THE AGIS DXF FILE MUST BE PROVIDED TO PLANNING IN ADDITION TO A COPY OF THE RECORDED PLAT.**
- 10. Project# 1006833**
08DRB-70280 MAJOR - FINAL PLAT
APPROVAL

SURV-TEK INC agent(s) for TABET LUMBER CO request(s) the above action(s) for all or a portion of Tract(s) A & B, S-2A-1, **MERIDAIN PARK II & ATRISCO BUSINESS PARK TBK: UNSER TOWNE CROSSING Unit(s) 2**, zoned IP, located on UNSER BLVD NW BETWEEN LOS VOLCANES NW AND INTERSTATE 40 containing approximately 70.3629 acre(s). (J-9/10) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

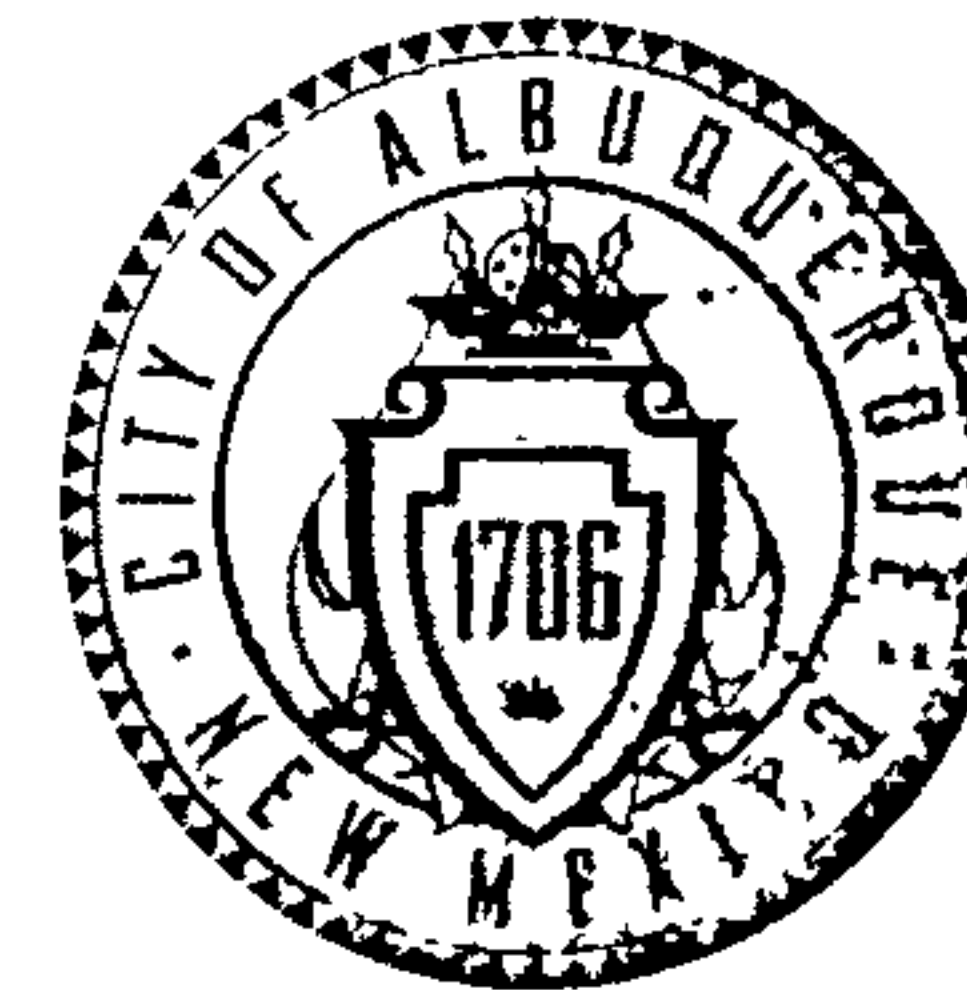
11. ~~Project#-1006865~~
08DRB-70285 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- TIERRA WEST LL agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the above action(s) for all or a portion of Tract(s) A-1, **CONANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FREEWAY NE BETWEEN COMACHE NE AND VASSAR NE containing approximately 16.7 acre(s). (G-16) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADD SOLAR COLLECTORS NOTE. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
12. **Project# 1007149**
08DRB-70281 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- PLAZA SURVEYS LLC agent(s) for YOLANDA SANCHEZ request(s) the above action(s) for all or a portion of Tract(s) 122B, zoned RA-2, located on ELFEGO NW BETWEEN TEODORO NW AND GRIEGOS NW containing approximately .9709 acre(s). (F-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADD SOLAR COLLECTORS NOTE AND FOR SITE PLAN INDICATING VIABILITY OF LOT WITH REGARD TO SETBACKS.**
13. **Project# 1007304**
08DRB-70293 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WAYJOHN SURVEYING INC agent(s) for PETE AND SARA LLC request(s) the above action(s) for all or a portion of Lot(s) 5-18, 6-13, Block(s) 1 & 2, **SPRINGER TRANSFER COMPANY ADDITION Unit(s) 1**, zoned M-1, located on BROADWAY BLVD NE BETWEEN KINLEY AVE NE AND ODELIA RD NE containing approximately 2.2183 acre(s). (J-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR VERIFICATION OF STUB STREET CRITERIA IS MET.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1003188**
08DRB-70283 SKETCH PLAT REVIEW
AND COMMENT
- COMMUNITY SCIENCES CORP agent(s) for ANGELA & MARIO GARCIA request(s) the above action(s) for all or a portion of Lot(s) 26R, Tract(s) 145-A, 145-A2, 144B-1, **LUKE ADDITION** zoned RA-2, located on GRIEGOS NW BETWEEN RIO GRANDE NW AND SAN ISIDRO NW containing approximately 1.2415 acre(s). (F-13) **WAS REVIEWED AND COMMENTS GIVEN.**

15. **Project# 1004575**
08DRB-70288 SKETCH PLAT REVIEW
AND COMMENT
- JUAN F DELGAD I & BARBARA A DELGADO agent(s) for JUAN F DELGADO III & BARBARA A DELGADO request(s) the above action(s) for all or a portion of Tract(s) D-1, **PEREA ACRES** zoned RA-2, located on DURANES RD NW BETWEEN GALBALDON NW AND LOS LUCEROS NW containing approximately .7464 acre(s). (H-12) **WAS REVIEWED AND COMMENTS GIVEN.**
16. **Project# 1006926**
08DRB-70295 SKETCH PLAT REVIEW
AND COMMENT
- ROBERT GUTIERREZ agent(s) for ART MARSHALL request(s) the above action(s) for all or a portion of Lot(s) 26 & 27, Block(s) 3, **SUNSHINE ADDITION** zoned SU-2 MR, located on EDITH BETWEEN ANDERSON AVE AND SMITH AVE containing approximately .2445 acre(s). (L-14) **WAS REVIEWED AND COMMENTS GIVEN.**
17. **Project# 1007347**
08DRB-70286 SKETCH PLAT REVIEW
AND COMMENT
- CARTESIAN SURVEYS INC agent(s) for ASHCRAFT REALESTATE request(s) the above action(s) for all or a portion of Lot(s) 4AA6A, **JOURNAL CENTER** zoned IP, located on MASTHEAD NE BETWEEN INTERSTATE 25 AND JEFFERSON NE containing approximately 3.0479 acre(s). (D-17) **WAS REVIEWED AND COMMENTS GIVEN.**
18. **Project# 1007356**
08DRB-70294 SKETCH PLAT REVIEW
AND COMMENT
- RIO REAL ESTATE agent(s) for RIO GRANDE CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 1-12, Block(s) 5, **ROMERO ADDITION** zoned C-2/S-R, located on ROSEMONT ST NW BETWEEN 4TH ST NW AND 5TH ST NW containing approximately .98 acre(s). (J-14) **WAS REVIEWED AND COMMENTS GIVEN.**
19. Other Matters: None
- ADJOURNED: 10:35

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006865

AGENDA ITEM NO: 11

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

NM 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 9, 2008

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 9, 2008
DRB Comments

ITEM # 11

PROJECT # 1006865

APPLICATION # 08-70285

RE: Tract A-1, Comanche Business Park

Please provide a solar collector note per Section 14-14-4-7 of the Subdivision Ordinance - please be specific to this type of request, i.e. use the words "THIS PLAT" and not "REQUESTED FINAL ACTION" in the beginning of the note and delete the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" from the end of the note.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov



Item# 11
Project# 1006865
Hearing Date: July 9, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD - SPEED MEMO

DRB CASE NO/PROJECT NO: 1006865

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.
Minor comment on infrastructure list.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (EP)

BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (EP)

TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 2, 2008

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1006865

AGENDA ITEM NO: 6

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line; right of way dedication may be required.

Define the width of all sidewalk.

Provide build notes, referring to all applicable city standards for all proposed work located within the right of way (sidewalks, entrances, etc.)

A 6-foot wide, ADA accessible, pedestrian path must be provided to all buildings (need ramps from Building A to C).

All public sidewalk located outside of the public right of way requires a public sidewalk easement.

(TIS FOR SITE: VASSAR DEVELOPMENT, I-25 EAST FRONTAGE ROAD NORTH OF
COMANCHE ROAD)

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

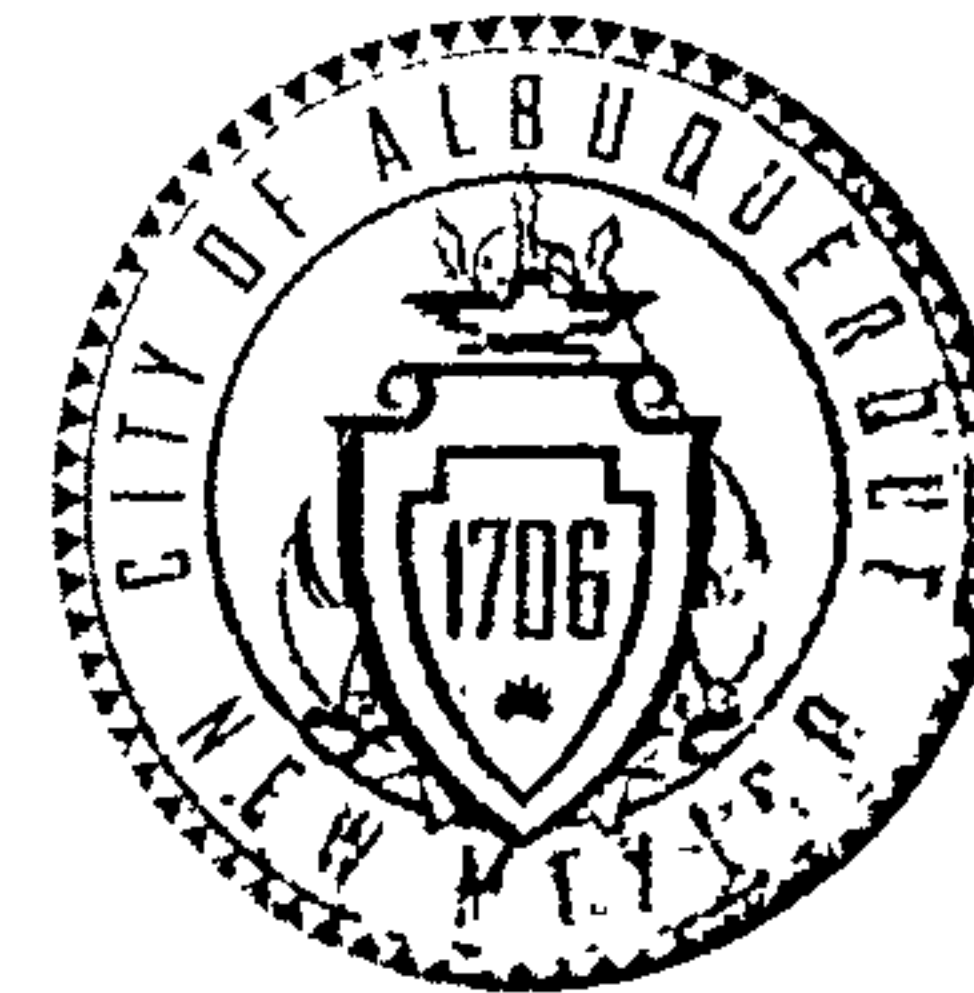
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: APRIL2, 2008



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1006865

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.
Minor comment on infrastructure list.

NM 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 2, 2008

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

Date: March 12, 2008
To: Jack Cloud, DRB Chair
From: Carol Toffaleti, Planner, Development Review
Subject: Project #1006865, 07EPC-40066, 08DRB-70117 – SW Council of Carpenters

On November 15, 2007, the Environmental Planning Commission approved Project #1006865, 07EPC-40066, a Site Development Plan for Building Permit subject to conditions, for a site of approximately 15.7 acres located on Pan American Hwy between Comanche and Vassar NE, zoned M1 (SC).

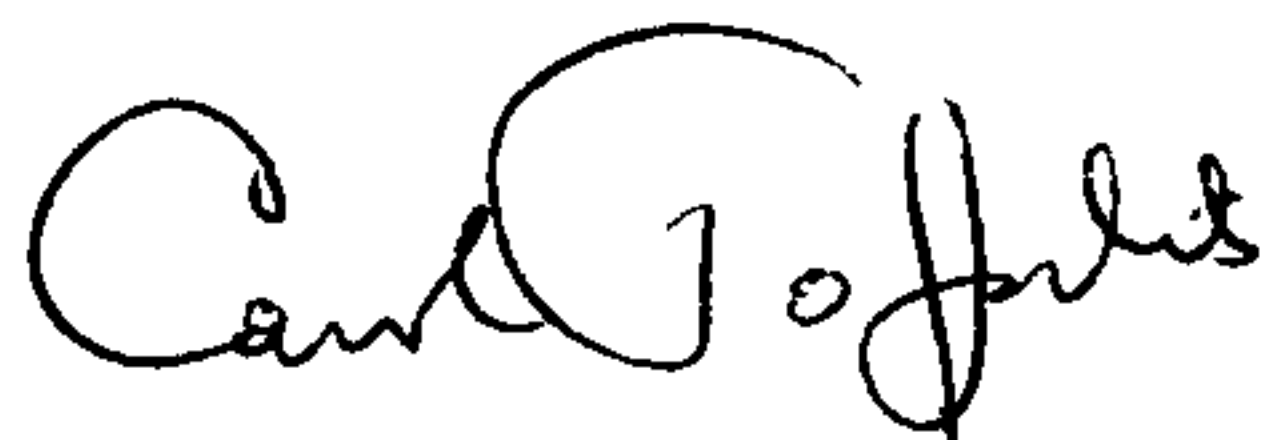
Attached is the Amended EPC Notification of Decision, dated November 29, 2007, which should replace the one in the current submittal.

Re. Condition 6.c.

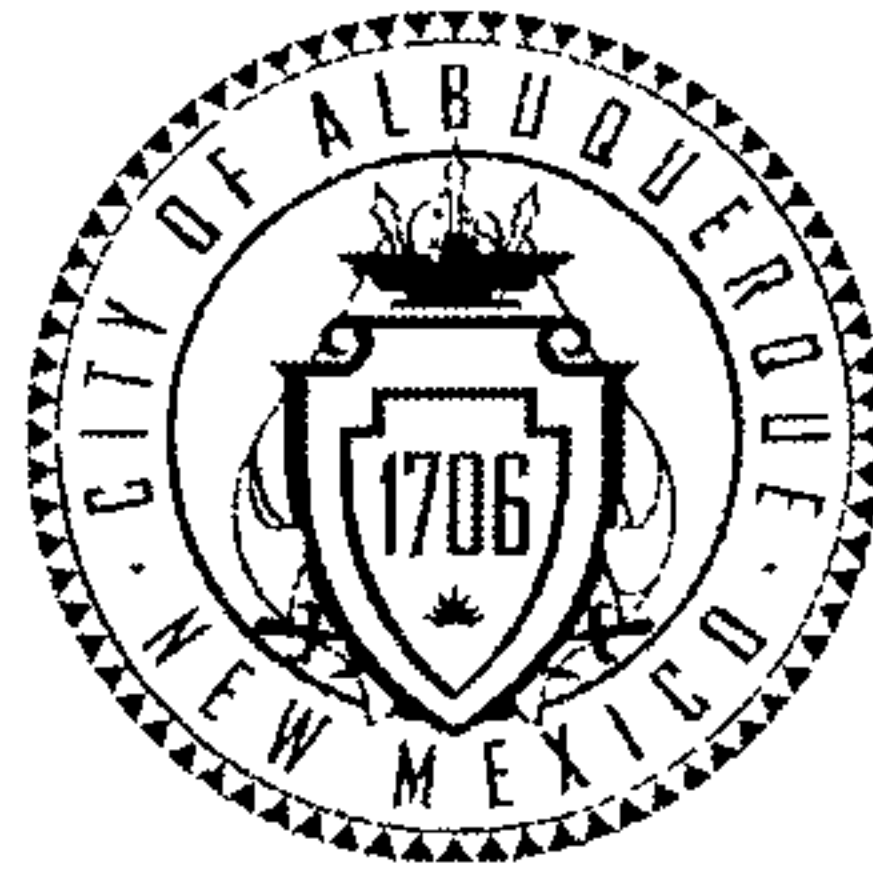
The letter from NMDOT referenced in the applicant's cover letter was not found in the file. This is a critical component of the submittal package for DRB.

Staff will submit a memo by this Friday noon in response to other conditions of approval.

If you have any questions, feel free to contact me on 924-3345.



Att.



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 29, 2007

AMENDED OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1006865**
07EPC-40066 SITE DEVELOPMENT -
BUILDG PRMT

SW Regional Council of Carpenters
533 S. Fremont Ave. 9th Floor
Los Angeles, CA, 90071

LEGAL DESCRIPTION: for all or a portion of Tract A-1, COMANCHE BUSINESS PARK zoned M-1 (SC) located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR NE containing approximately 15.701 acres. (G-16) Carol Toffaleti, Staff Planner

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1006865/07EPC 40066, a Site Development Plan for Building Permit, for Tract A-1, Comanche Business Park, zoned M-1 (SC), based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS:

1. The proposal is a site development plan for building permit for a site of approximately 15.7 acres located on Pan American Hwy North, between Comanche Rd. and Vassar Dr. NE, zoned M-1 (SC), which gives the EPC site development plan approval authority, but does not afford discretion over parking or other zoning code requirements.
2. Phase I includes a 2 story 93,686 sf carpenters' training center with an assembly hall for 550 people, parking and the main site drive for the development. Phase II includes a one-story, 19,435 sf restaurant, a 2-story, 76,000 sf office building, and a three-story, 57,072 sf office building and associated parking. The total square footage is 245,200 sf.. The applicant has included design guidelines and requests that approval of Phase II development be delegated to DRB.
3. A Traffic Impact Study (TIS) was completed on July 30, 2007, which recommends measures to mitigate the impacts of the development on the surrounding road network. A reevaluation of the affected intersections was submitted by the applicant based on the land uses in the current proposal, dated Nov. 13, 2007, which has been verified by the City Engineer/Transportation Development Section.

AMENDED OFFICIAL NOTICE OF DECISION

4. Mixed use shared parking calculations dated Nov. 13, 2007 were submitted by the applicant to satisfy a 20% reduction in the required provision. Code Enforcement has reviewed them and found them to be incomplete. The calculations are subject to acceptance and approval by Code Enforcement prior to DRB sign-off. A shared parking agreement is not necessary because the property is not being subdivided and is owned by one party.
5. The subject site is in the Established Urban area of the Comprehensive Plan. No Rank II or III plans apply.
6. The proposal furthers the following Comprehensive Plan goals and policies:
 - a. The Goal for the Established Urban area and Policy II.B.5a, because the mix of educational, office and restaurant uses broadens the range of land uses in the area and the architecture of the carpenters' training center will enhance the built environment.
 - b. Policy II.B.5e, because the development will occur on vacant land that is contiguous to existing urban facilities and services.
 - c. Policy II.B.5i, because the proposed employment uses will not adversely impact on residential environments, as the site does not abut residential properties.
 - d. The Economic Development and Education Goals and Policies II.D.6.a, II.D.6.b, II.D.6.c, II.D.7.a because the proposed training center, offices and restaurant expand employment and educational opportunities in the area.
7. The existing billboards (off-premise signs) are non-conforming uses, in terms of their proximity to the freeway and their location on a shopping center site, pursuant to Sections 14-16-3-5(B)(1)(l) and 14-16-3-2 of the Zoning Code. The applicant has stated that they will remain on the site.
8. Property-owners within 100' of the site were notified of the proposal. There are no neighborhood associations in the area. No comments have been received.
9. The subject site lies in the Express Corridor (I-25, including its frontage roads). The objective of the express corridor allows shared parking and parking reductions.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered by incorporating measures that use a portion of stormwater runoff from the site for irrigation and infiltration. These shall include improvements to the existing drainage channel along the south boundary of the site, to be coordinated with the City Hydrologist.
4. The site development plan shall include a design standard that furthers the Energy Management Goal, Section II.D.3 of the Comprehensive Plan.
5. Concerning the request for a 20% reduction in the required off-street parking provisions, pursuant to section 14-16-3-1(E)(6)(b) of the Zoning code:
 - a. The mixed use shared parking calculations shall be revised to provide all the required information and shall be accepted and approved by Code Enforcement prior to DRB sign-off.
 - b. Parking spaces in the gated service area shall be excluded from the mixed use shared parking calculations as they are effectively “reserved” spaces that cannot be shared by other users of the site.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Site drive intersecting Northbound I-25 Frontage Road to be designed per TIS and NMDOT requirements (includes deceleration lane). NMDOT approval required.
 - d. Internal drive aisles to be a minimum of 24’ wide and 26’ maximum, except the main drive aisle shall be 30 ft. wide, with concrete accent paving raised at the 3 indicated intersections and with parking restrictions.
 - e. Site plan shall comply and be designed per DPM Standards.

7. Revise the boundary of Phase I to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
8. Pedestrian connectivity shall be improved between Building B and C as shown on the alternate site development plan provided at the Planning Commission meeting. A connection from Building C to the east shall connect with Vassar Drive.
9. The outdoor patio of Building D (restaurant) shall be relocated so that it is not between two rows of parking. Outdoor patios of Buildings A (training center) and C (office) shall be relocated away from parking end aisles or be screened by dense evergreen foliage or wall. All outdoor patios shall comply with Section 14-16-3-18 (C)(4) of the Zoning Code.
10. A walkway shall be added along the south façade of Building C.
11. Refuse enclosures or compactors and recycle areas shall be provided to meet the requirements of the City Solid Waste Department.
12. Indicate chain link fences as existing.
13. Indicate height, length, material and color of retaining walls and include elevations to illustrate their design.
14. Correct inconsistencies between the number of parking spaces shown on the site layout and in the data table.
15. Dimensions of all parking spaces shall comply with zoning regulations (Sections 14-16-1-5 and 14-16-3-1).
16. Sheet A-1 shall be revised as follows:
 - a. Reword Design guidelines #2 and 3 as follows:

“2. The color, materials and architecture of buildings in Phase II shall match, or achieve a continuity of design with, Building A in Phase I. They shall have similar detailing of wall surfaces, canopies and fenestration.”

“3. Accent colors for trim shall match, or be compatible with, those of Building A/Phase I.”
 - b. Delete the last phrase in Design guideline #4, “unless screened...as the buildings.”
 - c. Eliminate duplication between Design guideline #8 and Note 5.
 - d. Insert the following text in the design guideline(s) concerning lighting: “Area lighting shall be supplemented by pedestrian-scale and/or building-mounted lighting, where necessary to illuminate walkways, building entrances and common areas. Fixtures shall be compatible with area lighting and building architecture.”
 - e. Eliminate any inconsistencies between design guideline #9 and actual signage shown on detail sheet.

- f. Note 3, replace “impervious surface” with “total lot area”.
 - g. Note 6, move reference to “no illuminated plastic banding on signage” to design guideline #9.
 - h. Note 9, delete the phrase “except no structure shall exceed 65’ in height”.
17. Indicate any building-mounted lighting on the elevations for Building A.
18. Reduce the sign face area of the free-standing pylon sign to comply with SC zoning regulations.
19. The landscape plan shall be revised as follows:
- a. The total buildings area in the calculations shall be corrected.
 - b. The plant palette shall exclude sod and include a minimum of 25% low water use plants.
 - c. Include landscaping around Building C.
 - d. Adjust the location of street trees on Pan American Hwy to avoid conflict with the existing billboards.
 - e. Add retaining walls to the landscape plan and adjust the landscape design where appropriate.
 - f. Reflect opportunities for infiltration of stormwater runoff in the design of landscaping along the northwest boundary of the site.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

AMENDED OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

Richard Dineen
Planning Director

RD/CT/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Michael Buehler, 4100 Pan American FWY NE, Albuquerque, NM 87107



DRB CASE ACTION LOG (EPC SITE PLAN – BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70117 Project # 1006865
 Project Name: COMANCHE BUSINESS PARK
 Agent: TIERRA WEST LLC Phone No.: 858-3100

Your request was approved on 3/26/08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Easement, comment - a plat may be needed for definition of ROW

UTILITIES: _____

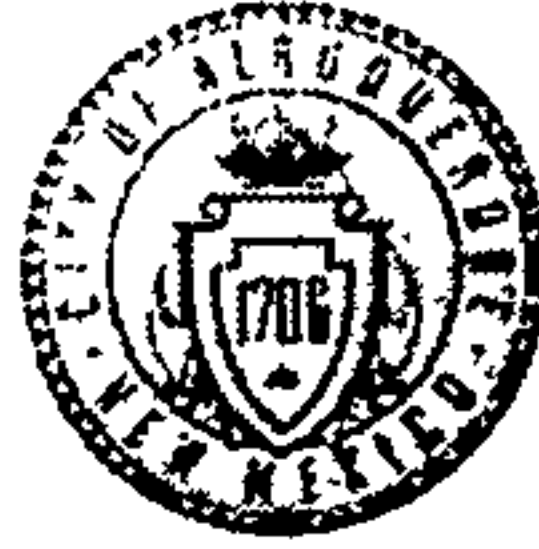
CITY ENGINEER / AMAFCA: - S/A, Easements

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 26, 2008 9:00AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City
Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007137**
08DRB-70097 VACATION OF PUBLIC
RIGHT-OF-WAY
ISMELDA F. FLORES request(s) the above/ referenced
action(s) for all or a portion of the alley at the rear of Lot(s)
1, Block B, **CACY SUBDIVISION** zoned R-2, located on
the east side of CORONA DR NW BETWEEN
PHEASANT AVE NW AND FLAMINGO AVE NW. (G-
11) **DEFERRED TO 5/7/08 AT THE AGENT'S REQUEST.**

2. **Project# 1004036**
08DRB-70104 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
MAX and VICTORIA CONTRERAS request(s) the above/
referenced action(s) for all or a portion of **MAX REPLAT**
zoned RA-2 and R-1, located on the west side of RIO
GRANDE BLVD NW BETWEEN LOS ANAYAS RD
NW AND ZICKERT RD NW containing approximately
1.0661 acre(s). (H-12, H-13) **THE TWO YEAR
EXTENSION OF THE SUBDIVISION IMPROVEMENT
AGREEMENT (SIA) WAS APPROVED.**

3. **Project# 1000965**
08DRB-70109 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
BOHANNAN HUSTON INC agent(s) for ANDALUCIA
DEVELOPMENT CO INC request(s) the above/ referenced
action(s) for all or a portion of **ANDALUCIA AT LA
LUZ**, zoned SU-1, located on the east side of COORS
BLVD NW BETWEEN MONTANO RD NW AND
NAMASTE RD NW containing approximately 84.7 acre(s).
(F-11) **THE ONE YEAR EXTENSION OF THE
SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS
APPROVED.**

4. **Project# 1004739**
08DRB-70110 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for SIERRA AT THE TRAILS, INC request(s) the above/ referenced action(s) for all or a portion of **SANTA FE 3 AT THE TRAILS UNIT 2** zoned SU-2/ RD, located on the NORTHWEST CORNER OF TREELINE AVE NW AND OAKRIDGE ST NW, containing approximately 19.3591 acre(s). (C-9) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

5. **Project# 1005108**
08DRB-70059 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70105 SIDEWALK WAIVER
08DRB-70138 SIDEWALK WAIVER

THE DESIGN GROUP agent(s) for RALPH CORRIZ request(s) the above/ referenced action(s) for all or a portion of Tract(s) 67-A-1 AND 67-A-2, **MRGCD MAP #29**, zoned R-1 and C-1, located on the east side of 4TH ST NW BETWEEN VINEYARD RD NW AND WILLOW RD NW containing approximately 2.4 acre(s). (E-15) *[Deferred from 2/27/08 & 3/12/08]*. **DEFERRED TO 4/2/08 AT THE AGENT'S REQUEST.**

6. **Project# 1006833**
08DRB-70108 VACATION OF PUBLIC
EASEMENT
08DRB-70111 VACATION OF PRIVATE
EASEMENT
08DRB-70112 MAJOR - PRELIMINARY
PLAT APPROVAL

SURV-TEK INC agent(s) for TABEL LUMBER CO request(s) the above/ referenced action(s) for all or a portion of Tracts S-1A and S-2A-2, **ATRISCO BUSINESS PARK, UNIT 2** (TBK as Tract(s) A & B, MERIDIAN BUSINESS PARK II) together with Tract S-2A-1, **ATRISCO BUSINESS PARK, UNIT 2** (TBK as UNSER TOWNE CROSSING) zoned IP, located on the east side of UNSER BLVD NW BETWEEN LOS VOLCANES RD NW AND INTERSTATE ROUTE 40 containing approximately 70.3629 acre(s). (J-9, J-10) **DEFERRED TO 4/9/08 AT THE AGENT'S REQUEST.**

07DRB-70254 MAJOR - SDP FOR
SUBDIVISION
07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)** zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) *[Deferred from 10/10/07, 11/14/07, 12/12/07, 1/30/08 & 2/27/08]* **DEFERRED TO 4/9/08 AT THE AGENT'S REQUEST.**

7. **Project# 1004354**
08DRB-70048 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) *[Deferred from 2/20/08, 3/5/08, 3/12/08 & 3/19/08.]* **DEFERRED TO 4/2/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

8. ~~Project# 1006865~~
08DRB-70117 EPC APPROVED SDP
FOR BUILD PERMIT
- TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the above action(s) for all or a portion of Tract(s) A-1, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR DR NE containing approximately 15.701 acre(s). (G-16) *[Deferred from 3/12/08]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/26/08, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA AND EASMENTS, AND TO TRANSPORTATION FOR EASEMENT AND COMMENTS – A PLAT MAY BE NEEDED FOR DEDICATION OF RIGHT-OF-WAY.**
9. **Project# 1006973**
08DRB-70119 EPC APPROVED SDP
FOR BUILD PERMIT
08DRB-70120 EPC APPROVED SDP
FOR SUBDIVISION
- CONSENSUS PLANNING agent(s) for MIDWEST PHILLIPS EDISON AND COMPANY request(s) the above action(s) for all or a portion of Lot(s) 19 A-1, **PARADISE NORTH** zoned SU-1 FOR C-1 USES, located on UNSER BLVD NW BETWEEN MCMAHON BLVD NW AND SUMMER REDGE NW containing approximately 3.6 acre(s). (A-11) *[Deferred from 3/12/08]* **DEFERRED TO 4/9/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project# 1003828**
08DRB-70142 SIDEWALK WAIVER
- WILLIAM T CANIGCIA agent(s) for CANDALARIA VILLAGE LLC request(s) the above action(s) for all or a portion of Lot(s) 23-P1, **CANDALARIA VILLAGE** zoned R-1, located on VALLE AND CANDELARIA (G-13) **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
11. **Project# 1003857**
08DRB-70141 MAJOR - FINAL PLAT
APPROVAL
- PRECISION SURVEYS INC agent(s) for MICHAEL GONZALES request(s) the above action(s) for all or a portion of Tract(s) B TBK LOTS 1-12 & TRACT A, **BARELAS COFFEE HOUSE To Be Known As BARELAS TOWN HOMES**, zoned SU-2 & SU-2 R-T, located on SIMPIER LANE SW BETWEEN 8TH ST SW AND 4TH ST SW containing approximately 1.0618 acre(s). (L-14) **THE FINAL PLAT WAS APPROVED. AGENT MUST PROVIDE 3 COPIES OF RECORDED PLAT TO PLANNING.**

12. **Project# 1006940**
08DRB-70139 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

COMMUNITY SCIENCES CORPOTATION agent(s) for FABIAN IBARRA request(s) the above action(s) for all or a portion of Lot(s) 17-20, **ORIGINAL TOWNSITE OF WESTLAND** zoned C-2, located on BRIDGE BLVD SW BETWEEN 86TH ST SW AND 90TH ST SW containing approximately 1.1941 acre(s). (K-09) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/26/08, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project# 1005513**
08DRB-70035 MINOR - FINAL PLAT
APPROVAL

JACKS HIGH COUNTRY INC agent(s) for FRANK L AND EVELYN S BARELA request(s) the above action(s) for all or a portion of Tract(s) 2, **LANDS OF ALBERT L. MATTHEW**, zoned R-1, located on 12TH ST NW BETWEEN DON FRANCISCO NW AND DON FRANCISCO PL NW containing approximately 0.3755 acre(s). (G-14) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELGATED TO CITY ENGINEER FOR ENGINEERING CERTIFICATION AND TO PLANNING TO RECORD AND FOR 3 COPIES.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1001970**
08DRB-70140 SKETCH PLAT REVIEW
AND COMMENT

THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for VIRGIL GIL JR request(s) the above action(s) for all or a portion of Tract(s) F, **COLLEGE PARK WEST** zoned RL-T, located on ST JOSEPH AVE NW BETWEEN UNSER BLVD NW AND LADERA DR NW containing approximately 2.7 acre(s). (G-10) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Approval of the Development Review Board Minutes for October 31, 2007.

16. Other Matters: None

ADJOURNED: 10:35

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT.NO: 1006865

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/GMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

ENGINEERING COMMENTS:

Minor comments on infrastructure list.
An executed SIA w/ financial guarantees is required for Site Plan signoff by City Engineer.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIA

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: March 26, 2008

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Item# 6
Project# 1006865
Hearing Date: Mar. 12, 2008

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

Date: March 14, 2008
To: Jack Cloud, DRB Chair
From: Carol Toffaleti, Planner, Development Review
Subject: Project #1006865, 07EPC-40066, 08DRB-70117 – SW Council of Carpenters

On November 15, 2007, the Environmental Planning Commission approved Project #1006865, 07EPC-40066, a Site Development Plan for Building Permit subject to conditions, for a site of approximately 15.7 acres located on Pan American Hwy between Comanche and Vassar NE, zoned M1 (SC).

Further to my previous memo dated March 12, 2008, please find below complete comments on the applicant's DRB submittal.

The applicant has met all the conditions of approval with the following exceptions:

3. Stormwater Management – *The applicant has not met the first part of the condition: the site development plan must include measures to use a portion of runoff from the site for irrigation and infiltration.*
4. Energy Management – *Proposed Design Guideline #16 does not describe the energy management measure(s) that shall be incorporated in the development.*
7. Phase I boundary – *The boundary of Phase I development needs to be amended on sheets C-2 and C-2.*
9. Outdoor patios – *The patios have been relocated to staff's satisfaction, but the size of the patio at Building D (the restaurant) has been reduced to approximately half the size approved by the EPC. The patio area needs to be 400 sf.*
13. Retaining walls – *Information on walls has been added to several sheets in the submittal since EPC approval, but it is inconsistent and/or redundant. Sheets A-2, A-4, C-1, C-1-A, L-1, L-2 and L-3 need revising to show accurate and consistent information concerning the location, design, dimensions, materials and colors of retaining and screen walls, as approved by the EPC.*
16. Design guidelines/standards
 - e. Signage - *The proposed monument and pylon signs are considered "free-standing" signs. To avoid confusion, staff requests that the third sentence in*

Design Guideline #9 be reworded as follows: "Sign area for a free-standing or projecting sign shall not exceed 100 square feet per sign face, except that one free-standing pylon sign is allowed with a maximum of 150 square feet per sign face."

19. Landscape plan

- a. *Calculations – The calculations need amending to include landscaping for the entire premises, as approved by the EPC, and with the correct total buildings area. The applicant may provide further calculations to show Phase I and any temporary landscaping proposed until Phases II and III are developed. (The type and quantity of native seed proposed as temporary landscaping must be included in the plant legend.)*
- c. *Building C – While landscaping is now shown around Building C on Sheet L-1, it has disappeared from other Phase II areas (around Buildings B and D). Landscaping for the entire premises needs to be shown on Sheet L-1, as approved by the EPC.*
- f. *Stormwater runoff – Landscaped areas that will receive stormwater runoff need to be indicated on the landscape plan and redesigned as appropriate. (See also 3. above)*

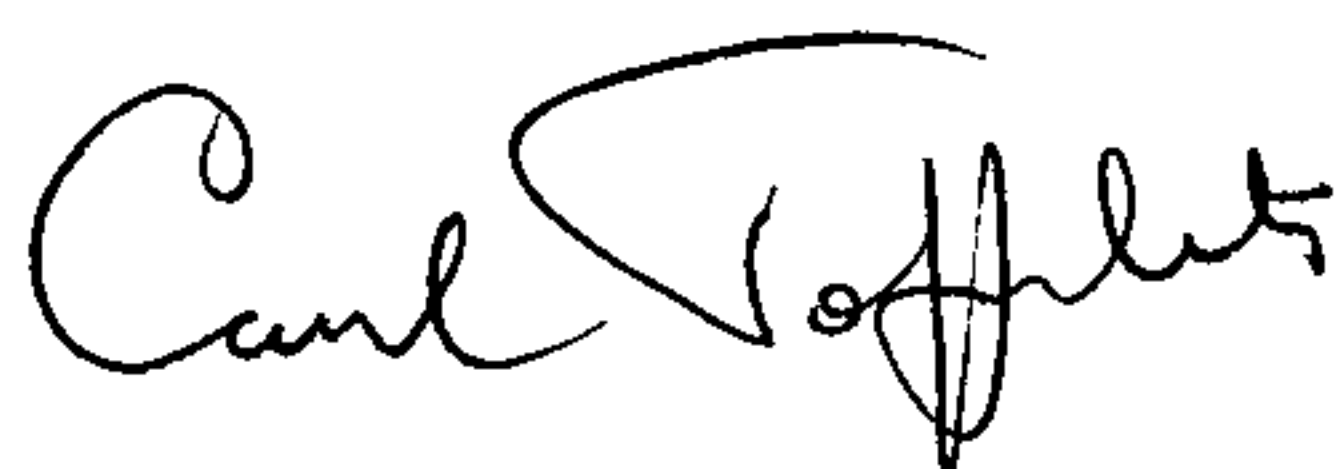
Staff would also like to comment on Condition 5. concerning off-street parking.

Staff received a memo from the City's Code Enforcement Officer dated March 6, 2008 (see attached) that calls for a procedural change from what is described in the condition.

The site development plan shows that sufficient parking is provided to meet the requirements for Phase I of the development (318 spaces). The CEO does not require the shared parking agreement cited in Condition 5.a. until future phases. However, to reflect this requirement for future development on the site, an additional note is needed on the current site development plan: "A shared parking agreement shall be approved by Code Enforcement prior to DRB approval of any future phases of development." (See email attached)

Staff recommends another meeting with the applicant before they re-submit to DRB.

If you have any questions, feel free to contact me on 924-3345.



Atts.



Mayor Martin J. Chávez

City of Albuquerque

Planning Department

Martin J. Chavez, Mayor
Interoffice Memorandum

March 6, 2008

To: Carol Tofaletti, Planner, Development Review

From: Matthew Conrad, Code Compliance Official, Code Enforcement *Mac*

Subject: Carpenter's Training Center (Project 1006865)

After reviewing the proposed project, it has been determined that a Shared Parking Agreement as described in the Comprehensive City Zoning Code is not required until the future phases are constructed (office buildings and restaurants). Nonetheless, if and when the future phases are to be developed, it is at that point that a Shared Parking Agreement will be required. In the meantime, all of the parking that is required for Phase I of the development (Training Center) needs to be provided and demonstrated on the site prior to DRB approval.

Toffaleti, Carol G.

From: Garcia, Juanita C.
Sent: Friday, March 14, 2008 10:41 AM
To: Toffaleti, Carol G.
Subject: RE: EPC/DRB 1006865 Carpenters' Training Ctr

Sounds Perfect Thanks for the forethought.

Juanita C. Garcia
Assistant Planning Manager
Code Enforcement Division
Planning Department
City of Albuquerque
Phone: 924-3823
Fax: 924-3460
juanitagarcia@cabq.gov

From: Toffaleti, Carol G.
Sent: Friday, March 14, 2008 10:02 AM
To: Garcia, Juanita C.
Subject: EPC/DRB 1006865 Carpenters' Training Ctr

Juanita

I'm working on the DRB memo which I promised to finish today and have a question.

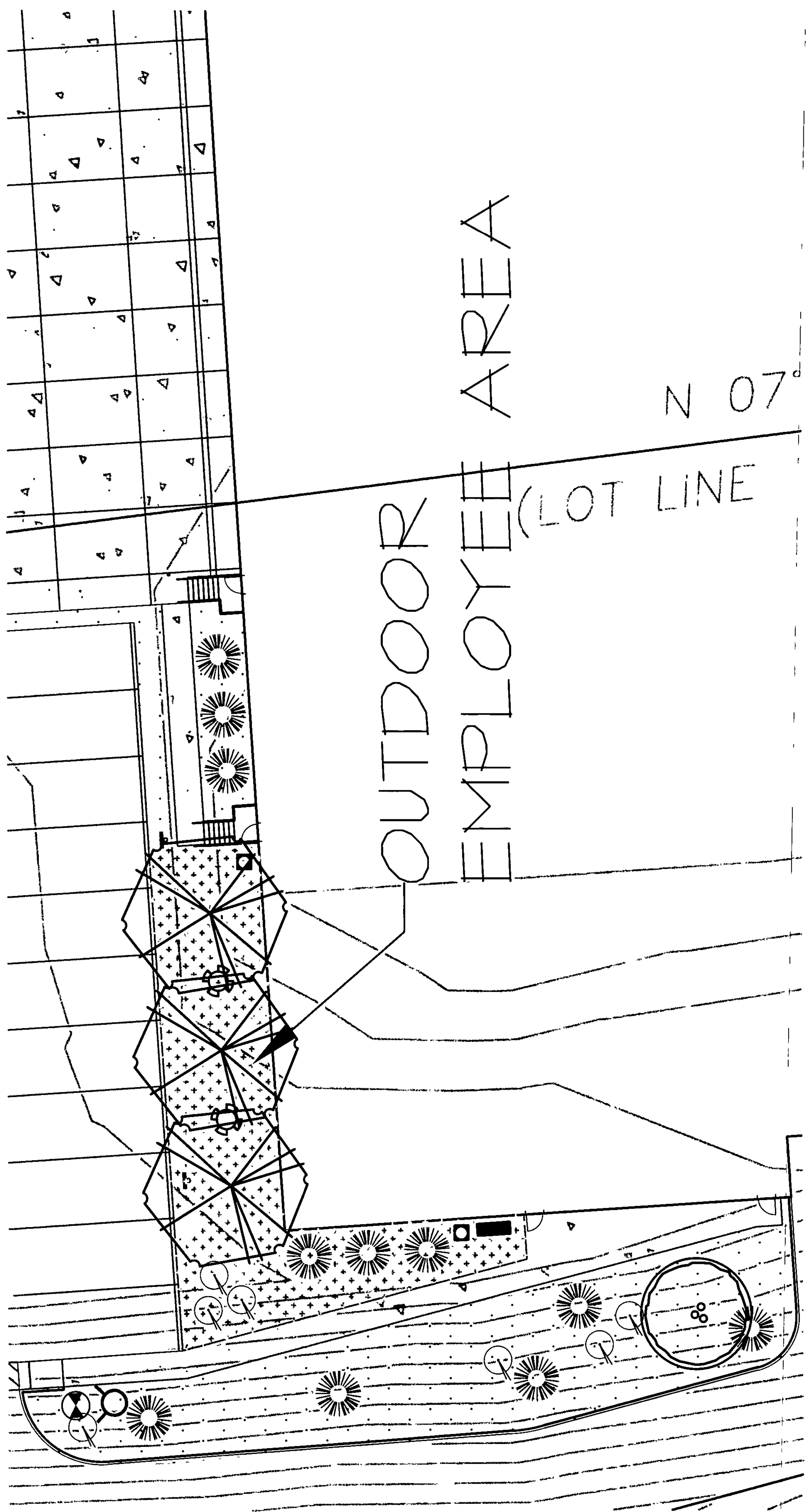
Do you think the site plan needs to include a note about a shared parking agreem't for future phases? The future phases will be delegated to DRB and they don't typically go back to the notice of decision when they review plans, do they? So they might not know one is required. I wouldn't want the shared parking agreement req't to be overlooked down the line.

If you agree, here's a draft note for you to change as you see fit:

A shared parking agreement shall be approved by Code Enforcement prior to DRB approval of any future phases of development.

Thanks,
Carol

Carol Toffaleti
Planner
Development Review Division
City of Albuquerque Planning Department
(505) 924-3345
(505) 924-3339 fax
cgtoffaleti@cabq.gov



OUTDOOR
EMPLOYEE AREA

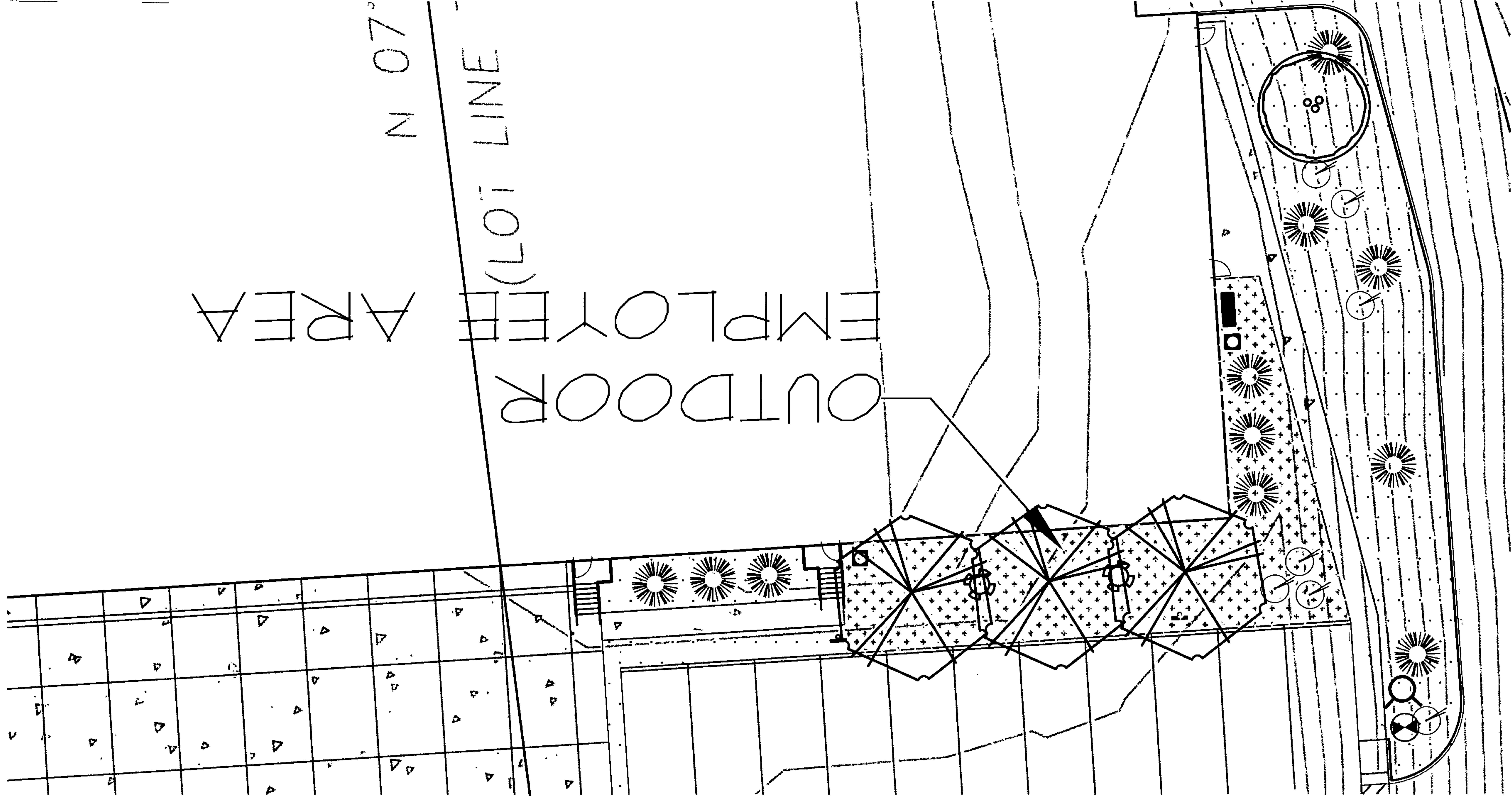
(LOT LINE

N 07°

OUTDOOR EMPLOYER AREA

N 07°

(LOT LINE)





Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West, LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place, NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rrb@tierrawestllc.com

APPLICANT: Southwest Regional Council of Carpenters PHONE: 213-488-2950
 ADDRESS: 533 S. Fremont Ave. 9th Floor FAX: 213-488-2951
 CITY: Los Angeles STATE CA ZIP 90071 E-MAIL: rsowell@swcarpenters.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Site Development Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Comanche Business Park
 Existing Zoning: M-1 Proposed zoning: No-Change MRGCD Map No _____
 Zone Atlas page(s): G-16-Z UPC Code: 101606014736320661

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB-98-299/
DRB-98-294, Z-380/ZA-86-246/07 EPC-40066/08DRB-70285/ Project# 1006865

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 15.701 +/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Pan American Freeway NE
 Between: Comanche NE and Vassar Drive NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 5/9/14
 (Print Name) Ronald R. Bohannon Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB - 70148</u>	<u>SPS</u>	_____	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>May 21, 2014</u>			Total
	<u>5-9-14</u>			\$ <u>405.00</u>
	Staff signature & Date	Project # <u>1006865</u>		

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - N/A Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
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- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon

 Applicant name (print)
 _____ 5/9/14
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
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 14 - DRB - 70148

_____ 5-9-14
 Planner signature / date
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Revised: 4/2012

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Hearing date May 21, 2014

5-9-14
Staff signature & Date

Project # 1006865

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Ronald R. Bohannon

 Applicant name (print)

 Applicant signature / date

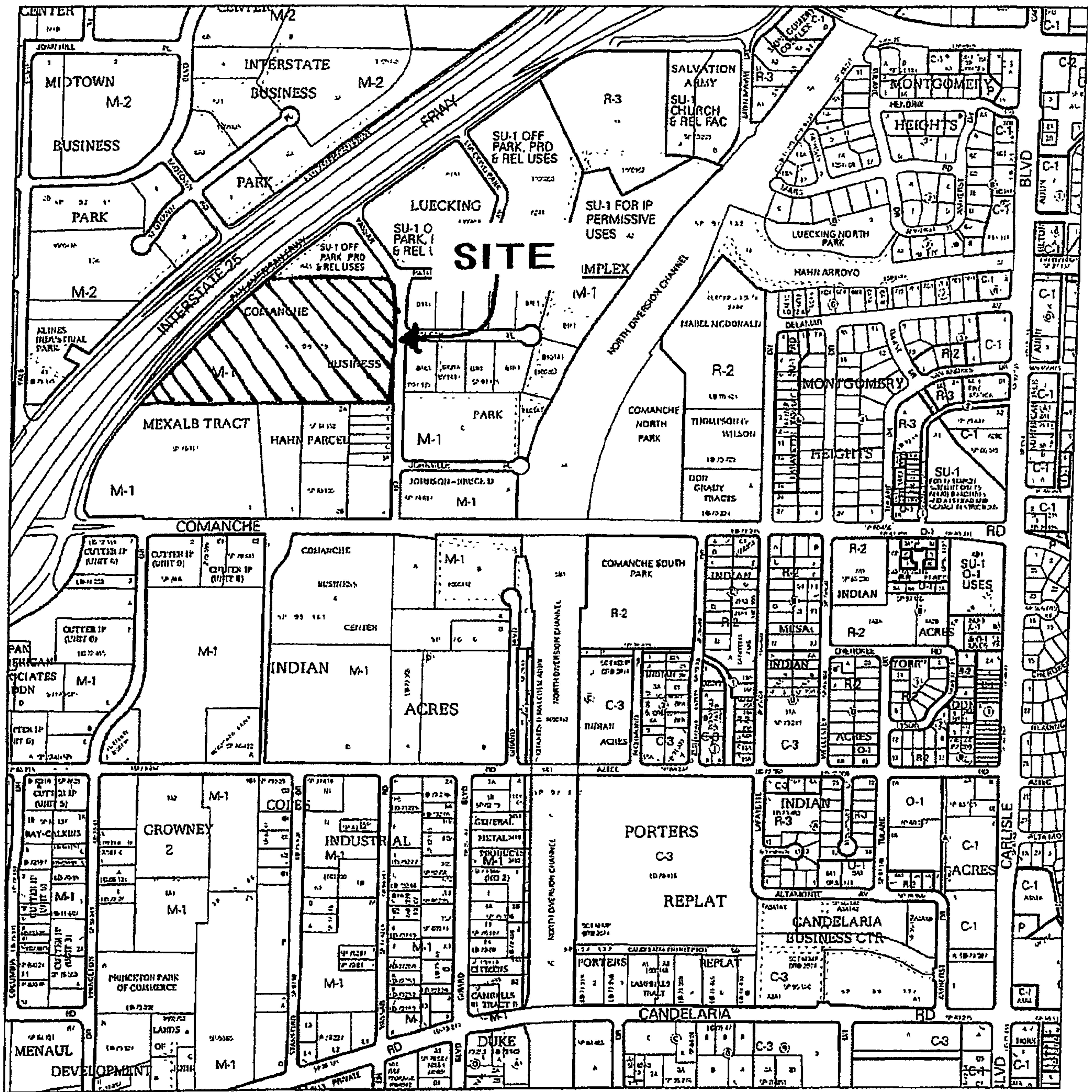


Form revised October 2007

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- Related #s listed

Application case numbers
 14-DRB-70148

_____ 5-9-14
 Planner signature / date
 Project # 1006865



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

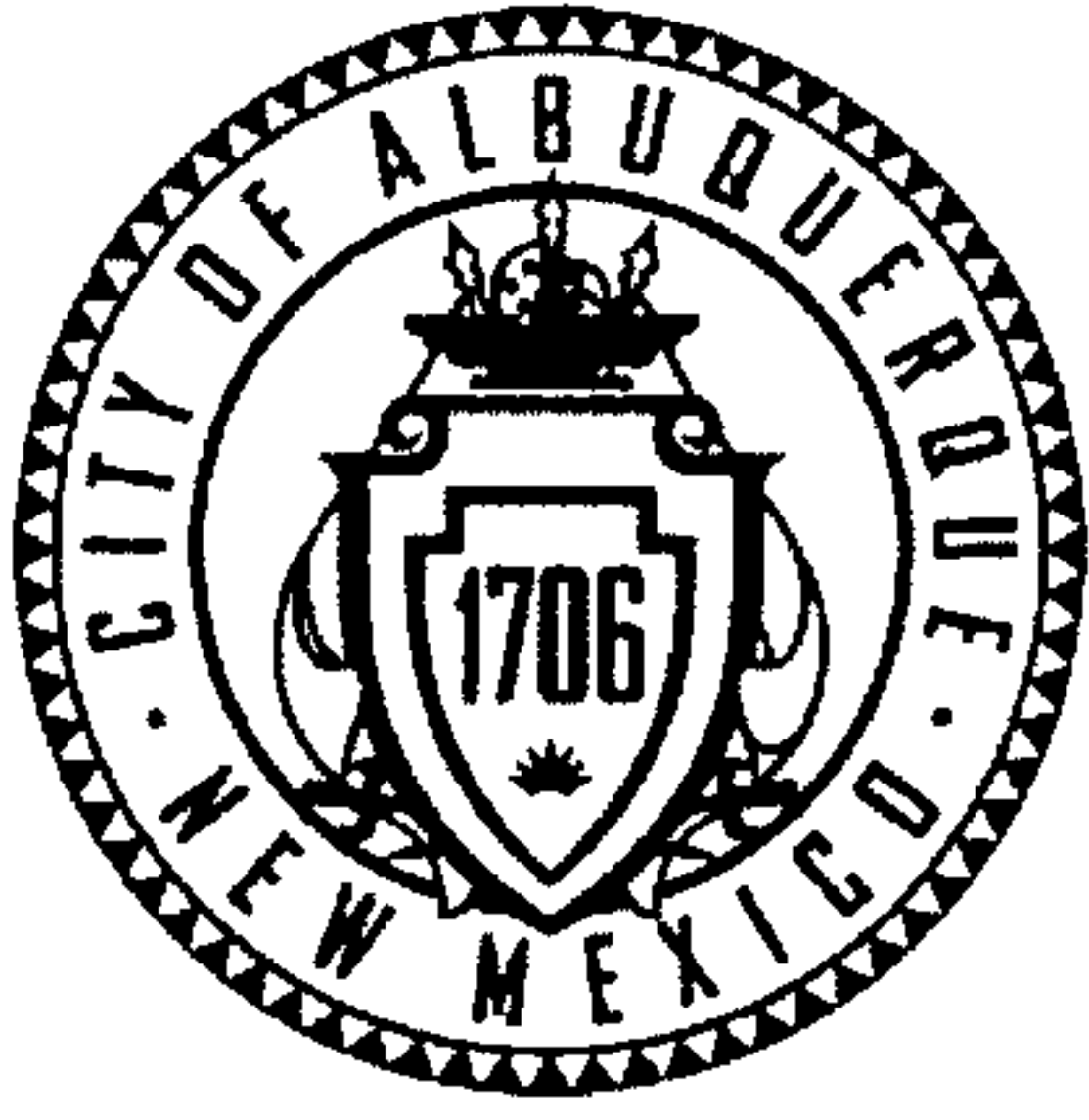
Zone Atlas Page:
G-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 9/6/2007



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Deborah Stover, Director

Richard J. Berry, Mayor
Robert J. Perry, CAO

May 9, 2014

**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance
Documentation**

Project Number(s): 1006865
Case Number(s): DRB-98-294, DRB-98-299
Agent: Tierra West, LLC
Applicant: Southwest Regional Council of Carpenters
Legal Description: TR A-1-A Plat of TR A-1-A Comanche Business Park
Zoning: M-1
Acreage: 15.63
Zone Atlas Page: G-16-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

**TREATMENT PLAN REVIEW:
DISCOVERY:**

SUPPORTING DOCUMENTATION:

NMCRIS / NIAF : A Cultural Resources Inventory of 13.34 Acres for a Proposed Industrial Park on Vassar Drive, Albuquerque, Bernalillo County, New Mexico by Douglas H.M. Boggess (Lone Mountain Archaeological Services, Inc. October 22, 2007)

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

gwr

TIERRA WEST, LLC

May 8, 2014

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE DEVELOPMENT PLAN FOR SUBDIVISION
TRACT A-1-A COMANCHE BUSINESS PARK**

Dear Chairman:

Tierra West LLC, on behalf of Southwest Regional Council of Carpenters, requests approval of a Site Development Plan for Subdivision for the above referenced site. This parcel was originally approved for Site Plan for Building Permit to be developed in Phases. Our client would now like to subdivide that Site Plan as shown in the enclosed submittal.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Randy Sowell

JN: 2014029
RRB/jn/jg

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



UNITED BROTHERHOOD OF CARPENTERS AND JOINERS OF AMERICA

Randy J. Sowell, Director of Real Estate

May 8, 2014

Via Hand Delivery

City of Albuquerque
Environmental Planning Commission
PO Box 1239
Albuquerque, NM 87103

Re: Southwest Regional Council of Carpenters
Tract A-1 & A-4A, Comanche Business Park
Subdivision Plan
Albuquerque, New Mexico
Authorized Agent: Tierra West LLC


Dear Sirs:

As the owner, we hereby authorize Mr. Ronald A. Bohannon, PE of Tierra West, LLC, 5571 Midway Park Place, NE, Albuquerque, NM 87109, to act as agent on behalf of the Southwest Regional Council of Carpenters ("Owner") on matters pertaining to any and all submittals to the City of Albuquerque regarding the Subdivision of the sites ("the Project").

If you have any questions regarding the enclosed documents or need more information, please do not hesitate to call us at any time.

Sincerely,

UNITED BROTHERHOOD OF CARPENTERS & JOINERS OF AMERICA


Randy J. Sowell
Director of Real Estate
Direct Dial: (213) 488-2957
E-mail: Rsowell@swcarpenters.org

cc: Mr. Ronald Bohannon (via email only)
Mr. Phil Newkirk (via email only)





City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1006865**
07EPC-40066 SITE DEVELOPMENT -
BUILDG PRMT

SW Regional Council of Carpenters
533 S. Fremont Ave. 9th Floor
Los Angeles, CA, 90071

LEGAL DESCRIPTION: for all or a portion of Tract A-1, COMANCHE BUSINESS PARK zoned M-1 (SC) located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR NE containing approximately 15.701 acres. (G-16) Carol Toffaleti, Staff Planner

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1006865/07EPC 40066, a Site Development Plan for Building Permit, for Tract A-1, Comanche Business Park, zoned M-1 (SC), based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS:

1. The proposal is a site development plan for building permit for a site of approximately 15.7 acres located on Pan American Hwy North, between Comanche Rd. and Vassar Dr. NE, zoned M-1 (SC), which gives the EPC site development plan approval authority, but does not afford discretion over parking or other zoning code requirements.
2. Phase I includes a 2 story 93,686 sf carpenters' training center with an assembly hall for 550 people, parking and the main site drive for the development. Phase II includes a one-story, 19,435 sf restaurant, a 2-story, 76,000 sf office building, and a three-story, 57,072 sf office building and associated parking. The total square footage is 245,200 sf.. The applicant has included design guidelines and requests that approval of Phase II development be delegated to DRB.
3. A Traffic Impact Study (TIS) was completed on July 30, 2007, which recommends measures to mitigate the impacts of the development on the surrounding road network. A reevaluation of the affected intersections was submitted by the applicant based on the land uses in the current proposal, dated Nov. 13, 2007, which has been verified by the City Engineer/Transportation Development Section.

4. Mixed use shared parking calculations dated Nov. 13, 2007 were submitted by the applicant to satisfy a 20% reduction in the required provision. Code Enforcement has reviewed them and found them to be incomplete. The calculations are subject to acceptance and approval by Code Enforcement prior to DRB sign-off. A shared parking agreement is not necessary because the property is not being subdivided and is owned by one party.
5. The subject site is in the Established Urban area of the Comprehensive Plan. No Rank II or III rules apply.
6. The proposal furthers the following Comprehensive Plan goals and policies:
 - a. The Goal for the Established Urban area and Policy II.B.5a, because the mix of educational, office and restaurant uses broadens the range of land uses in the area and the architecture of the carpenters' training center will enhance the built environment.
 - b. Policy II.B.5e, because the development will occur on vacant land that is contiguous to existing urban facilities and services.
 - c. Policy II.B.5i, because the proposed employment uses will not adversely impact on residential environments, as the site does not abut residential properties.
 - d. The Economic Development and Education Goals and Policies II.D.6.a, II.D.6.b, II.D.6.c, II.D.7.a because the proposed training center, offices and restaurant expand employment and educational opportunities in the area.
7. The existing billboards (off-premise signs) are non-conforming uses, in terms of their proximity to the freeway and their location on a shopping center site, pursuant to Sections 14-16-3-5(B)(1)(1) and 14-16-3-2 of the Zoning Code. The applicant has stated that they will remain on the site.
8. Property-owners within 100' of the site were notified of the proposal. There are no neighborhood associations in the area. No comments have been received.
9. The subject site lies in the Express Corridor (I-25, including its frontage roads). The objective of the express corridor allows shared parking and parking reductions.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 3 OF 6

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered by incorporating measures that use a portion of stormwater runoff from the site for irrigation and infiltration. These shall include improvements to the existing drainage channel along the south boundary of the site, to be coordinated with the City Hydrologist.
4. The site development plan shall include a design standard that furthers the Energy Management Goal, Section II.D.3 of the Comprehensive Plan.
5. Concerning the request for a 20% reduction in the required off-street parking provisions, pursuant to section 14-16-3-1(E)(6)(b) of the Zoning code:
 - a. The mixed use shared parking calculations shall be revised to provide all the required information and shall be accepted and approved by Code Enforcement prior to DRB sign-off.
 - b. Parking spaces in the gated service area shall be excluded from the mixed use shared parking calculations as they are effectively "reserved" spaces that cannot be shared by other users of the site.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Site drive intersecting Northbound I-25 Frontage Road to be designed per TIS and NMDOT requirements (includes deceleration lane). NMDOT approval required.
 - d. Internal drive aisles to be a minimum of 24' wide and 26' maximum, except the main drive aisle shall be 30 ft. wide, with concrete accent paving raised at the 3 indicated intersections and with parking restrictions.
 - e. Site plan shall comply and be designed per DPM Standards.

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 4 OF 6

7. Revise the boundary of Phase I to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
8. Pedestrian connectivity shall be improved between Building B and C as shown on the alternate site development plan provided at the Planning Commission meeting. A connection from Building C to the east shall connect with Vassar Drive.
9. The outdoor patio of Building D (restaurant) shall be relocated so that it is not between two rows of parking. Outdoor patios of Buildings A (training center) and C (office) shall be relocated away from parking end aisles or be screened by dense evergreen foliage or wall. All outdoor patios shall comply with Section 14-16-3-18 (C)(4) of the Zoning Code.
10. A walkway shall be added along the south façade of Building C.
11. Refuse enclosures or compactors and recycle areas shall be provided to meet the requirements of the City Solid Waste Department.
12. Indicate chain link fences as existing.
13. Indicate height, length, material and color of retaining walls and include elevations to illustrate their design.
14. Correct inconsistencies between the number of parking spaces shown on the site layout and in the data table.
15. Dimensions of all parking spaces shall comply with zoning regulations (Sections 14-16-1-5 and 14-16-3-1).
16. Sheet A-1 shall be revised as follows:
 - a. Reword Design guidelines #2 and 3 as follows:

“2. The color, materials and architecture of buildings in Phase II shall match, or achieve a continuity of design with, Building A in Phase I. They shall have similar detailing of wall surfaces, canopies and fenestration. ”

“3. Accent colors for trim shall match, or be compatible with, those of Building A/Phase I.”
 - b. Delete the last phrase in Design guideline #4, “unless screened...as the buildings.”
 - c. Eliminate duplication between Design guideline #8 and Note 5.
 - d. Insert the following text in the design guideline(s) concerning lighting: “Area lighting shall be supplemented by pedestrian-scale and/or building-mounted lighting, where necessary to illuminate walkways, building entrances and common areas. Fixtures shall be compatible with area lighting and building architecture.”
 - e. Eliminate any inconsistencies between design guideline #9 and actual signage shown on detail sheet.

- f. Note 3, replace "impervious surface" with "total lot area".
 - g. Note 6, move reference to "no illuminated plastic banding on signage" to design guideline #9.
 - h. Note 9, delete the phrase "except no structure shall exceed 65' in height".
17. Indicate any building-mounted lighting on the elevations for Building A.
18. Reduce the sign face area of the free-standing pylon sign to comply with SC zoning regulations.
19. The landscape plan shall be revised as follows:
- a. The total buildings area in the calculations shall be corrected.
 - b. The plant palette shall exclude sod and include a minimum of 25% low water use plants.
 - c. Include landscaping around Building C.
 - d. Adjust the location of street trees on Pan American Hwy to avoid conflict with the existing billboards.
 - e. Add retaining walls to the landscape plan and adjust the landscape design where appropriate.
 - f. Reflect opportunities for infiltration of stormwater runoff in the design of landscaping along the northwest boundary of the site.
20. Building C shall be moved closer to the main site drive

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

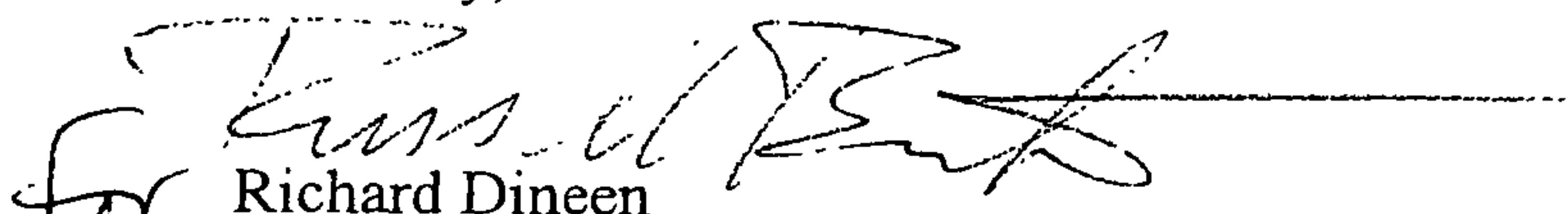
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/CT/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Michael Buehler, 4100 Pan American Fwy NE, Albuquerque, NM 87107

SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist is used by the Planning Department to verify the completeness of site development plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Because development proposals vary in type and scale, there may be submittal requirements that are not specified here and Planning Staff may require additional information. Nonetheless, it is the applicant's responsibility to provide a complete submittal.

Site development plans should generally be composed of the following plan sheets. **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

SHEET # 1 – SITE PLAN (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Vicinity Map
- 5. Signature Block (for DRB site dev. plans only)
- 6. The Site (property lines)
- 7. Current/Existing Zoning
- 8. Proposed Use(s) and List of Applicable Plans
- 9. Pedestrian Ingress and Egress (Access)
- 10. Vehicular Ingress and Egress (Access)
- 11. Any Internal Circulation Requirements
- 12. Existing easements with recording information
- 13. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

SHEET # 2 – CONCEPTUAL GRADING AND DRAINAGE PLAN

A. Conceptual Grading and Drainage Plan is required for the following:

- Commercial Development: The applicant shall consult with the City Engineer or his/her designee to determine what documentation is necessary to provide the EPC and/or DRB with an understanding of site topography and how it relates to adjacent property.
- Residential Development, Volcano Heights Sector Development Plan, or other sector development plans that do not require a site development plan for building permit submittal: Show existing and proposed contours, Finished Floor Elevation, retaining wall heights, approximate street slopes, ponding and flood zone status.

B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required to be submitted, but does not have to be approved at time of submittal.

SHEET # 3 – DESIGN STANDARDS (OPTIONAL – beneficial if seeking delegation of EPC approval authority for future site development plans for building permit)

ACCOMPANYING MATERIAL

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions
- E. **Electronic Copy (pdf) of Site Development Plan**

SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

DESIGN STANDARDS FOR FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT

In cases where sites are not governed by design regulations other than those in the Zoning Code, and where an applicant is requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body, design standards shall be provided and approved by the EPC to guide future development. The Design Standards should be written so that they can be enforced by the DRB and/or Code Enforcement and should reference compliance with applicable plans and regulations. Since Zoning Code design requirements are considered minimal, the proposed Design Standards should go above and beyond what is already required by the Zoning Code.

At a minimum, the design standards should address the following elements of design.

Site Design

- Overall layout of site and buildings, relationship to adjacent buildings and sites
- Building placement, orientation, and setbacks
- Pedestrian and vehicular circulation and connectivity (internal and external)
- Parking location and design (parking should not dominate the street frontage; shared parking/cross parking is strongly encouraged)
- Public outdoor spaces including pedestrian amenities, shading, etc. (aggregate outdoor space is strongly encouraged)
- Screening/buffering techniques
- Design and purpose of all walls and wall openings
- Design and purpose of all lighting
- How to address topographic challenges/opportunities
- Sustainable techniques such as permeable paving and other “green” features

Street Realm

- Transit, bicycle, pedestrian amenities
- Landscape buffers, sidewalks and other amenities in the public r-o-w
- Street trees – subject to the Street Tree Ordinance

Landscaping

- Overall landscape theme including plant palette and general location, height, and purpose of plants and trees
- Water conservation techniques

Building Design

- Context
- Architectural theme or style
- Maximum building height, scale, massing, materials, colors, and articulation

Signage

- Signage Plan indicating the general dimensions, location, colors, lighting and materials of all proposed signage.

May 21. 2014

SFS

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/24/2010 Issued By: PLNSDH 77222

Permit Number: 2010 070 146 **Category Code 910**

Application Number: 10DRB-70146, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: PAN AMERICAN FWY NE BETWEEN COMANCHE NE AND VASSAR DR NE

Project Number: 1006865

Applicant

Southwest Regional Council Of Carpenters

533 S Fremont Ave Ne, 9th Floor
Los Angeles CA 90071
213-488-2950

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

5/24/2010 4:00PM LOC: ANNX
WS# 007 TRANS# 0046
RECEIPT# 00131392-00131392
PERMIT# 2010070146 TRSASR
Trans Amt \$145.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$145.00
CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Southwest Regional Council of Carpenters PHONE: 213-488-2950
 ADDRESS: 533 S. Fremont Avenue, 9th Floor FAX: 213-488-2951
 CITY: Los Angeles STATE CA ZIP 90071 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: One Year Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Comanche Business Park
 Existing Zoning: M-1 Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): G-16 UPC Code: 101606014936520661

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB-98-229/
DRB-98-294/Z-380/ZA-86-246/07EPC-40066/08DRB-70117/08DRB-70285/Project # 1006865

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 15.701+/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Pan American Ewy NE
 Between: Comanche NE and Vassar Dr. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/24/10
 (Print) Ronald R. Bohannon, P.E. Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
10DRB-70146	SIA	5(2)	\$ 50.00
	ADV		\$ 75.00
	CMF		\$ 20.00
			\$
			\$

Hearing date 06/23/10

Total \$ 145.00

Sandy Handley 05/24/10
 Planner signature / date

Project # 1006865

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.

[Signature] Applicant name (print)
5/24/10 Applicant signature / date



Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 10DRB-_____ - 70146
 _____ - _____
 _____ - _____

Sandy Handley 05/24/10
 Planner signature / date
 Project # 1006865

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JUNE 8, 2010 To JUNE 23, 2010

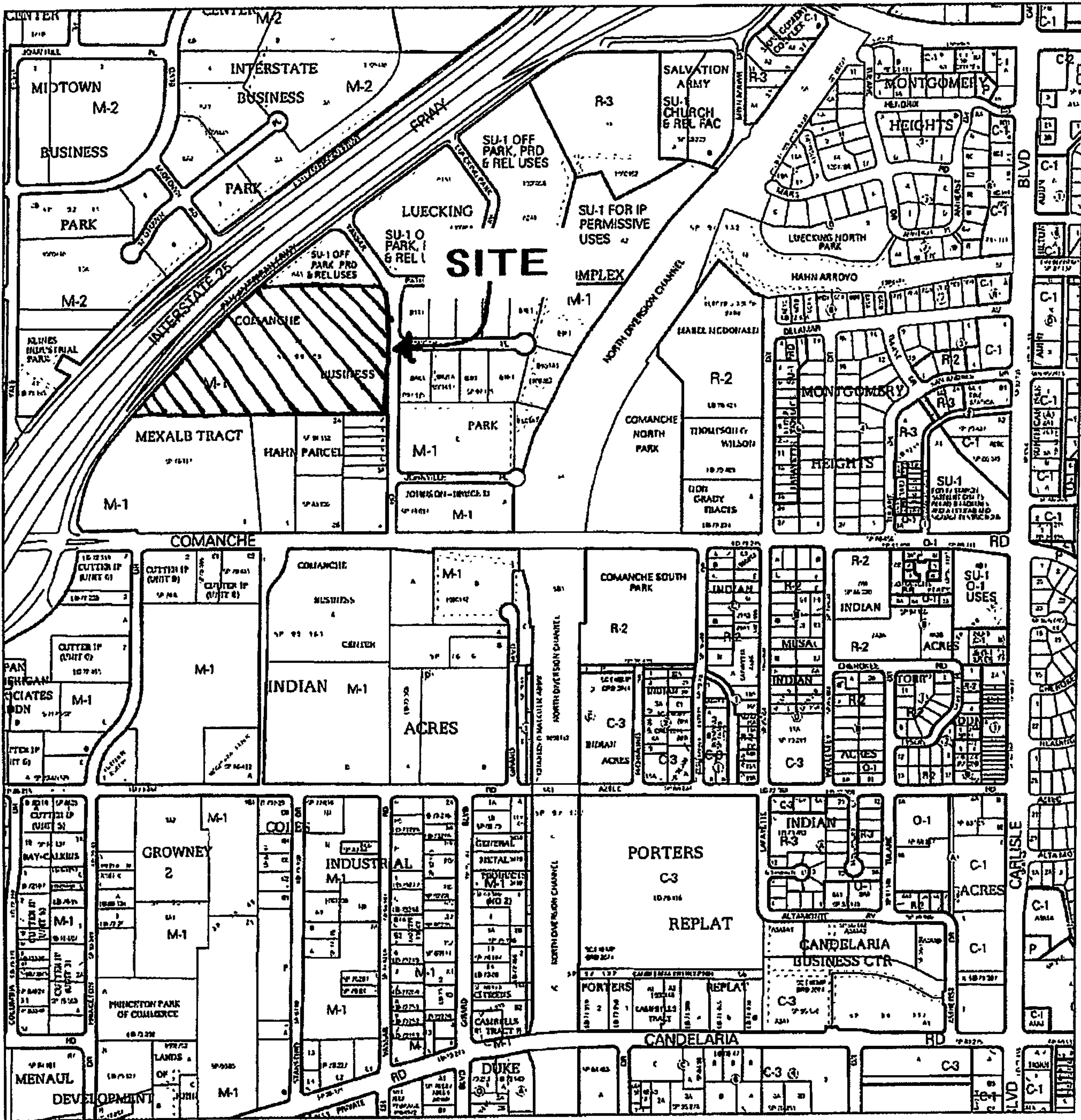
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Keeli D. Krueger, 5/24/10
(Applicant or Agent) (Date)

I issued 2 signs for this application, 05/24/10, Sandy Handberg
(Date) (Staff Member)



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/6/2007

Zone Atlas Page:
G-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500
Feet

gan

TIERRA WEST, LLC

May 24, 2010

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

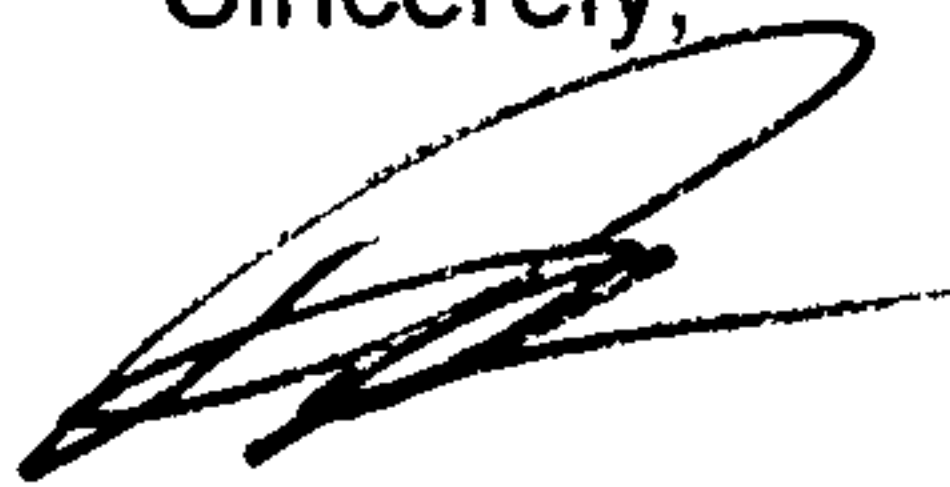
**RE: Extension of Subdivision Improvements Agreement
Carpenter's Training Center
Project # 1006865
Zone Atlas Page G-16**

Dear Mr. Cloud:

Tierra West LLC, on behalf of the Southwest Regional Council of Carpenters, requests approval of a one-year extension of the Subdivision Improvements Agreement for the above-referenced site. The site is currently under construction, is zoned M-1, and contains approximately 15.7 acres. Construction of the required improvements is almost complete. Minimal work remains along with the completion of final inspections and the submittal of the close out package remaining. The completion of these outstanding items cannot be accomplished prior to the existing construction deadline of June 10, 2010.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Randy Sowell

JN: 27101
RRB/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

NEW MEXICO STATE HIGHWAY COMMISSION
 MONUMENT 1-25-20"
 N.M. State Plane Coordinates
 (Central Zone, 36° 53' 30" W)
 East = 1530849.760
 North = 5000000.000
 Datum = NAD 83
 Ground to Grid Factor = 0.999974583

TRACT A-4A
 LUECKING PARK COMPLEX
 NO. 2 AND NO 3
 Filed September 14, 2000 in Plat Book 2000C Page 41

FLAT OF
TRACT A-1-A
COMANCHE BUSINESS PARK
 (BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
 SITUATE WITHIN
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2008

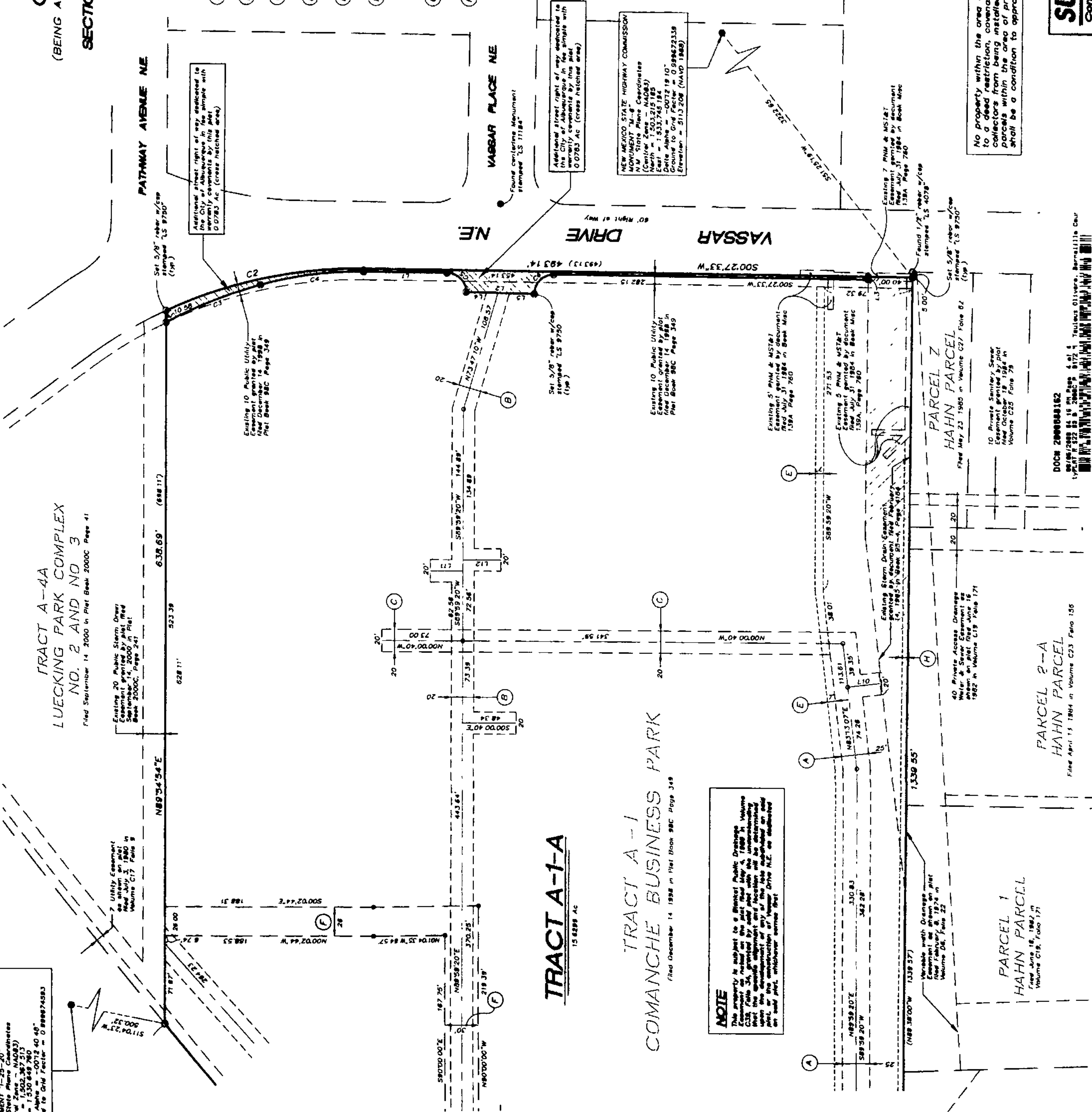
NEW EASEMENTS

- (A) Public Water Line and Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Utility Authority by this plat.
- (B) 20' Public Water Line Easement granted to the Albuquerque Bernalillo County Utility Authority by this plat
- (C) 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Utility Authority by this plat
- (D) Public Storm Drain Easement granted to the City of Albuquerque by this plat
- (E) 7' Public Utility Easement granted by this plat.
- (F) Private Access Easement granted for the benefit of Tract A-4A, Luecking Park Complex No. 2 and No. 3 by this plat. Maintenance of said easement to be the responsibility of the owners of said Tract A-4A and Tract A-1-A, Comanche Business Park 0.4194 AC.
- (G) Sidewalk Easement granted to the City of Albuquerque by this plat
- (H) 5' Public Utility Easement granted by this plat.

LINE	LENGTH	BEARING
L13	6.67	N23°44'15"E
L14	47.36	N44°26'12"E
L15	6.70	N68°22'11"E
L16	27.78	S00°00'40"E
L17	40.79	S00°00'04"W



No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.



NOTE
 This property is subject to a Planned Public Drainage System (PPDS) as shown on the attached plat. The PPDS is shown on the attached plat and is subject to the same terms, conditions, and restrictions as the PPDS shown on the attached plat. The PPDS is shown on the attached plat and is subject to the same terms, conditions, and restrictions as the PPDS shown on the attached plat.

SURVOTEK, INC.
 Consulting Surveyors
 10000 North Central Expressway, Suite 100
 Albuquerque, New Mexico 87114
 Phone 505-887-8368
 Fax 505-887-8877

000285.dwg
 SHEET 4 OF 4



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1006865
07EPC-40066 SITE DEVELOPMENT -
BUILDG PRMT

SW Regional Council of Carpenters
533 S. Fremont Ave. 9th Floor
Los Angeles, CA, 90071

LEGAL DESCRIPTION: for all or a portion of Tract A-1, COMANCHE BUSINESS PARK zoned M-1 (SC) located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR NE containing approximately 15.701 acres. (G-16) Carol Toffaleti, Staff Planner

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1006865/ 07EPC 40066, a Site Development Plan for Building Permit, for Tract A-1, Comanche Business Park, zoned M-1 (SC), based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS:

1. The proposal is a site development plan for building permit for a site of approximately 15.7 acres located on Pan American Hwy North, between Comanche Rd. and Vassar Dr. NE, zoned M-1 (SC), which gives the EPC site development plan approval authority, but does not afford discretion over parking or other zoning code requirements.
2. Phase I includes a 2 story 93,686 sf carpenters' training center with an assembly hall for 550 people, parking and the main site drive for the development. Phase II includes a one-story, 19,435 sf restaurant, a 2-story, 76,000 sf office building, and a three-story, 57,072 sf office building and associated parking. The total square footage is 245,200 sf.. The applicant has included design guidelines and requests that approval of Phase II development be delegated to DRB.
3. A Traffic Impact Study (TIS) was completed on July 30, 2007, which recommends measures to mitigate the impacts of the development on the surrounding road network. A reevaluation of the affected intersections was submitted by the applicant based on the land uses in the current proposal, dated Nov. 13, 2007, which has been verified by the City Engineer/Transportation Development Section.

4. Mixed use shared parking calculations dated Nov. 13, 2007 were submitted by the applicant to satisfy a 20% reduction in the required provision. Code Enforcement has reviewed them and found them to be incomplete. The calculations are subject to acceptance and approval by Code Enforcement prior to DRB sign-off. A shared parking agreement is not necessary because the property is not being subdivided and is owned by one party.
5. The subject site is in the Established Urban area of the Comprehensive Plan. No Rank II or III is apply.
6. The proposal furthers the following Comprehensive Plan goals and policies:
 - a. The Goal for the Established Urban area and Policy II.B.5a, because the mix of educational, office and restaurant uses broadens the range of land uses in the area and the architecture of the carpenters' training center will enhance the built environment.
 - b. Policy II.B.5e, because the development will occur on vacant land that is contiguous to existing urban facilities and services.
 - c. Policy II.B.5i, because the proposed employment uses will not adversely impact on residential environments, as the site does not abut residential properties.
 - d. The Economic Development and Education Goals and Policies II.D.6.a, II.D.6.b, II.D.6.c, II.D.7.a because the proposed training center, offices and restaurant expand employment and educational opportunities in the area.
7. The existing billboards (off-premise signs) are non-conforming uses, in terms of their proximity to the freeway and their location on a shopping center site, pursuant to Sections 14-16-3-5(B)(1)(l) and 14-16-3-2 of the Zoning Code. The applicant has stated that they will remain on the site.
8. Property-owners within 100' of the site were notified of the proposal. There are no neighborhood associations in the area. No comments have been received.
9. The subject site lies in the Express Corridor (I-25, including its frontage roads). The objective of the express corridor allows shared parking and parking reductions.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered by incorporating measures that use a portion of stormwater runoff from the site for irrigation and infiltration. These shall include improvements to the existing drainage channel along the south boundary of the site, to be coordinated with the City Hydrologist.
4. The site development plan shall include a design standard that furthers the Energy Management Goal, Section II.D.3 of the Comprehensive Plan.
5. Concerning the request for a 20% reduction in the required off-street parking provisions, pursuant to section 14-16-3-1(E)(6)(b) of the Zoning code:
 - a. The mixed use shared parking calculations shall be revised to provide all the required information and shall be accepted and approved by Code Enforcement prior to DRB sign-off.
 - b. Parking spaces in the gated service area shall be excluded from the mixed use shared parking calculations as they are effectively "reserved" spaces that cannot be shared by other users of the site.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Site drive intersecting Northbound I-25 Frontage Road to be designed per TIS and NMDOT requirements (includes deceleration lane). NMDOT approval required.
 - d. Internal drive aisles to be a minimum of 24' wide and 26' maximum, except the main drive aisle shall be 30 ft. wide, with concrete accent paving raised at the 3 indicated intersections and with parking restrictions.
 - e. Site plan shall comply and be designed per DPM Standards.

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 4 OF 6

7. Revise the boundary of Phase I to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
8. Pedestrian connectivity shall be improved between Building B and C as shown on the alternate site development plan provided at the Planning Commission meeting. A connection from Building C to the east shall connect with Vassar Drive.
9. The outdoor patio of Building D (restaurant) shall be relocated so that it is not between two rows of parking. Outdoor patios of Buildings A (training center) and C (office) shall be relocated away from parking end aisles or be screened by dense evergreen foliage or wall. All outdoor patios shall comply with Section 14-16-3-18 (C)(4) of the Zoning Code.
10. A walkway shall be added along the south façade of Building C.
11. Refuse enclosures or compactors and recycle areas shall be provided to meet the requirements of the City Solid Waste Department.
12. Indicate chain link fences as existing.
13. Indicate height, length, material and color of retaining walls and include elevations to illustrate their design.
14. Correct inconsistencies between the number of parking spaces shown on the site layout and in the data table.
15. Dimensions of all parking spaces shall comply with zoning regulations (Sections 14-16-1-5 and 14-16-3-1).
16. Sheet A-1 shall be revised as follows:
 - a. Reword Design guidelines #2 and 3 as follows:
 - “2. The color, materials and architecture of buildings in Phase II shall match, or achieve a continuity of design with, Building A in Phase I. They shall have similar detailing of wall surfaces, canopies and fenestration.”
 - “3. Accent colors for trim shall match, or be compatible with, those of Building A/Phase I.”
 - b. Delete the last phrase in Design guideline #4, “unless screened...as the buildings.”
 - c. Eliminate duplication between Design guideline #8 and Note 5.
 - d. Insert the following text in the design guideline(s) concerning lighting: “Area lighting shall be supplemented by pedestrian-scale and/or building-mounted lighting, where necessary to illuminate walkways, building entrances and common areas. Fixtures shall be compatible with area lighting and building architecture.”
 - e. Eliminate any inconsistencies between design guideline #9 and actual signage shown on detail sheet.

- f. Note 3, replace "impervious surface" with "total lot area".
 - g. Note 6, move reference to "no illuminated plastic banding on signage" to design guideline #9.
 - h. Note 9, delete the phrase "except no structure shall exceed 65' in height".
17. Indicate any building-mounted lighting on the elevations for Building A.
18. Reduce the sign face area of the free-standing pylon sign to comply with SC zoning regulations.
19. The landscape plan shall be revised as follows:
- a. The total buildings area in the calculations shall be corrected.
 - b. The plant palette shall exclude sod and include a minimum of 25% low water use plants.
 - c. Include landscaping around Building C.
 - d. Adjust the location of street trees on Pan American Hwy to avoid conflict with the existing billboards.
 - e. Add retaining walls to the landscape plan and adjust the landscape design where appropriate.
 - f. Reflect opportunities for infiltration of stormwater runoff in the design of landscaping along the northwest boundary of the site.
20. Building C shall be moved closer to the main site drive

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

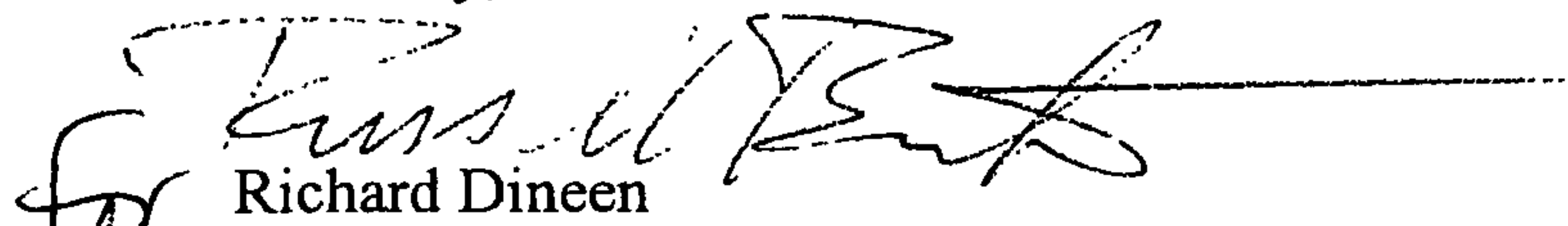
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/CT/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Michael Buehler, 4100 Pan American FWY NE, Albuquerque, NM 87107

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 3/26/08
 Date Site Plan Approved: 3/26/08
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1006865
 DRB Application No.: 08-7017

INFRASTRUCTURE LIST

(Rev. 9-29-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Tract A-1 Comanche Business Park - Carpenters Training Center Phase 1
 PROPOSED NAME OF _____ SITE DEVELOPMENT PLAN

Tract A-1 Comanche Business Park
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	Concrete Sidewalk	Vassar Drive	North Property Line	South Property Line	/	/	/
		8-10"	Waterline	On - Site			/	/	/
		8"	SAS	On-Site			/	/	/
		370'	Northbound Right-turn Decel Lane w/ 5' bike bypass lane	Pan American	Entrance to Site	370' south of entrance	/	/	/
		106'	Northbound Right Turn Lane	Intersection of Comanche and I-25 Frontage Road	Comanche Road	106' South of Comanche	/	/	/
		48"	RCP Storm Drain	On-Site <i>Easement</i>	North Property Line	311' to existing CBC	/	/	/
		20'	<i>Public</i> Storm Drain Easement	On-Site	North Property Line	311' to existing CBC	/	/	/
							/	/	/
							/	/	/

listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
							/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 Street Lights and Signs per DPM requirements.
- 2
- 3

AGENT / OWNER

Ronald R. Bohannon
NAME (print)

Tier 1 LLC
FIRM

[Signature] 3/26/08
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 3/26/08
DRB CHAIR - date

[Signature] 3/26/08
TRANSPORTATION DEVELOPMENT - date

[Signature] 3/26/08
UTILITY DEVELOPMENT - date

Bradley D. Brigham 3/26/08
CITY ENGINEER - date

Christina Santoral 3/26/08
PARKS & RECREATION - date

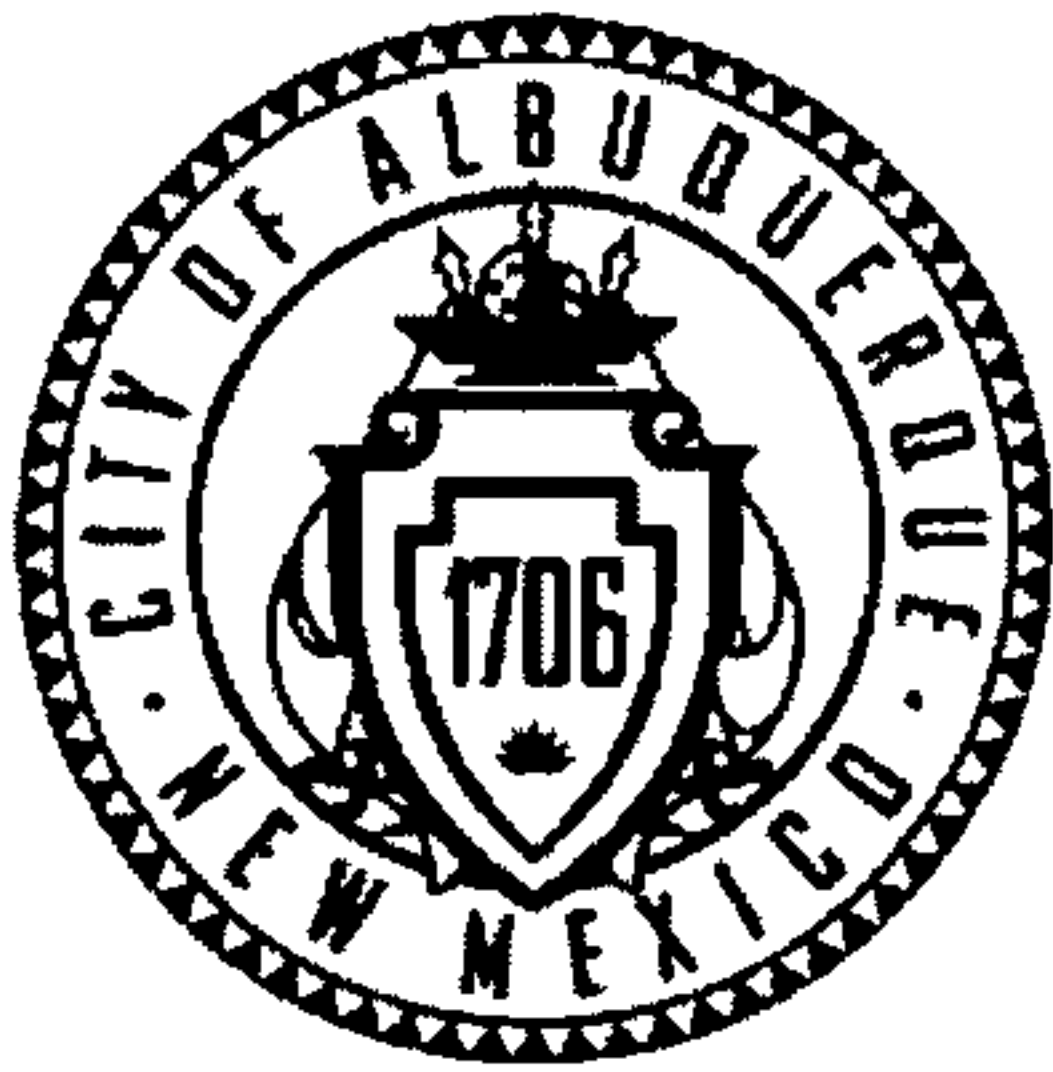
AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: Keli Krueger

COMPANY NAME: Tierra West LLC

ADDRESS/ZIP: 5571 Midway Park Place NE, Albuquerque, NM 87109

PHONE: 505-858-3100 FAX: 505-858-1118

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

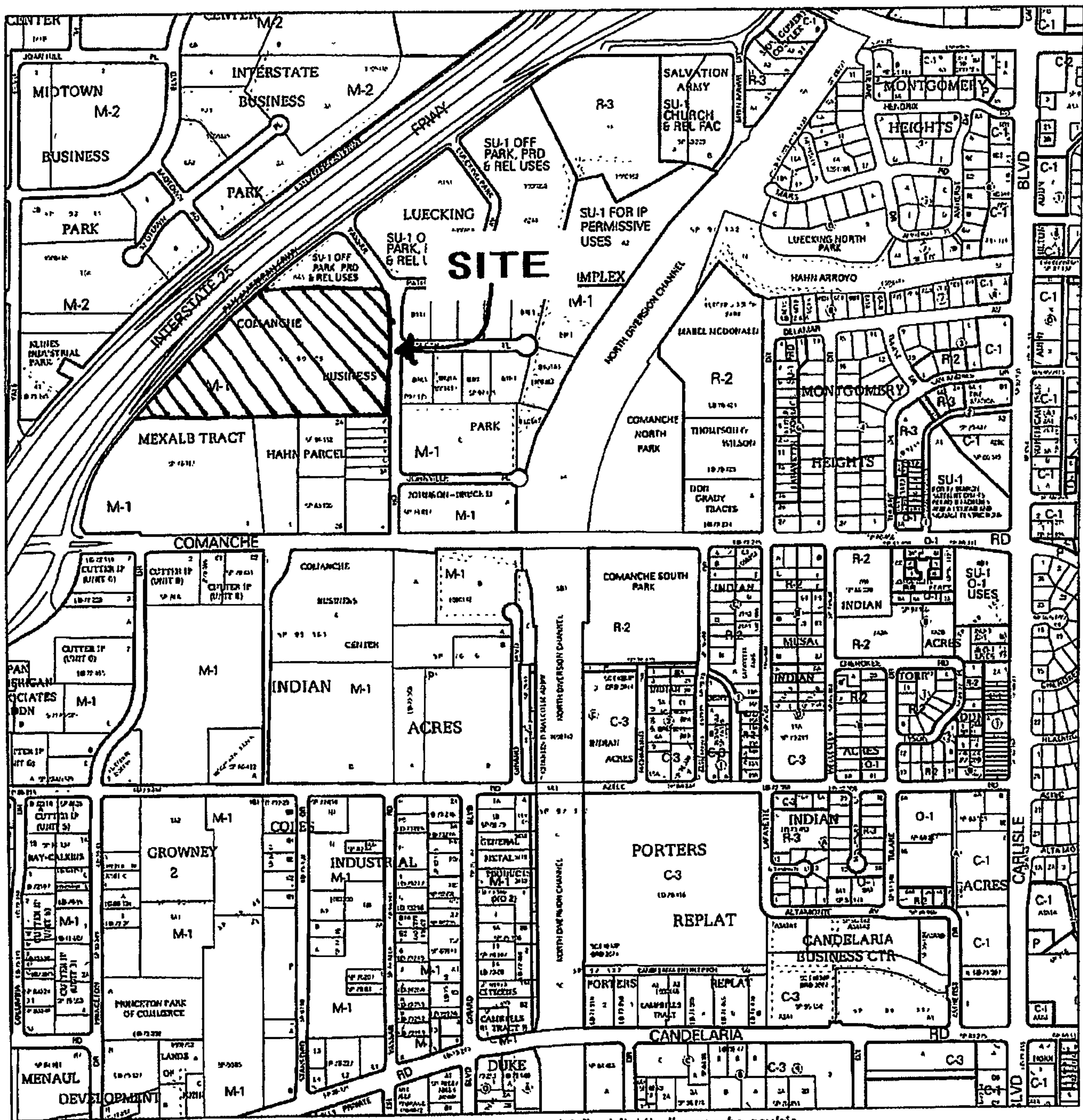
Tract A-1-A Comanche Business Park

LOCATED ON Pan American Fwy. NE LEGAL DESCRIPTION
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Comanche NE AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

Vassar Drive NE
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (G-16).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

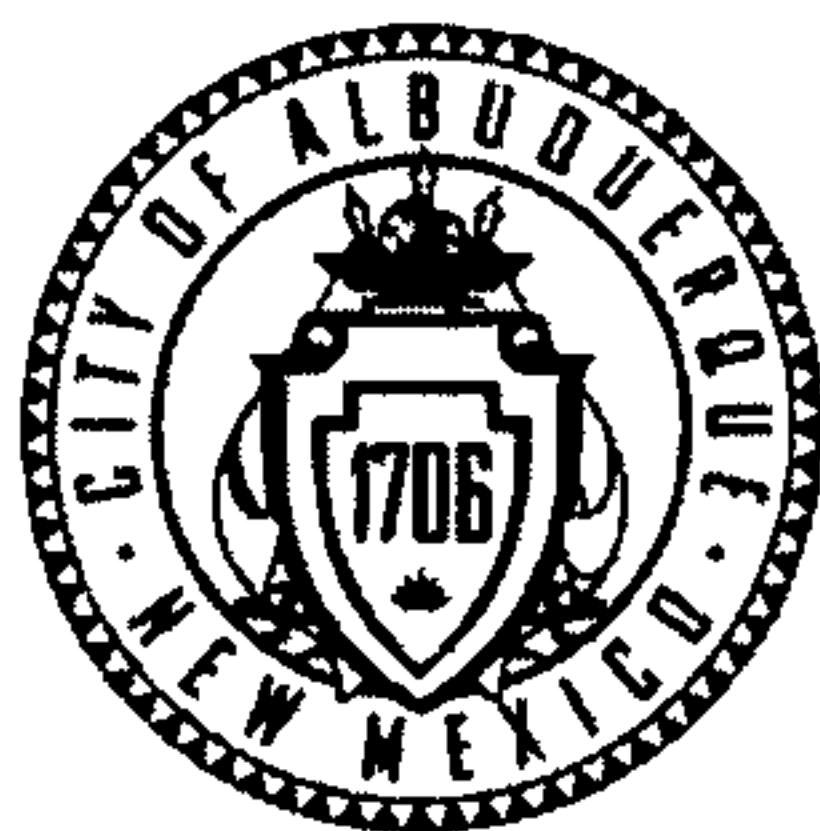
Map amended through: 9/6/2007

Zone Atlas Page:
G-16-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

May 24, 2010

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **May 24, 2010:**

Contact Name: KELI KRUEGER

Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkruieger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – TRACT A-1-A, COMANCHE BUSINESS PARK, LOCATED ON PAN AMERICAN FREEWAY NE BETWEEN COMANCHE ROAD NE AND VASSAR DRIVE NE** zone map **G-16**.

Our records indicate that as of May 24, 2010, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(01/22/08)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **05/24/10** Time Entered: **12:45 p.m.** ONC Rep. Initials: **siw**

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 5th day of June, 2008, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Southwest Regional Council of Carpenters ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Unincorporated Association, whose address is 533 S. Fremont Avenue, 10th Floor, Los Angeles, CA 90071 and whose telephone number is 213-488-2950, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] Tract A-1, Comanche Business Park, recorded on December 14, 19 98 in the records of the Bernalillo County Clerk at Book 98C, Folio 349 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Southwest Regional Council of Carpenters ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Carpenter's Training Center describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 10th day of June, 2010 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 554483.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured's. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation & Sidewalk Fees</u>	<u>As required per City-approved estimate</u>
<u>Street Restoration Fees</u>	<u>As required per City-approved estimate (Fig. 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the Public Improvements.)

4. Surveying, Inspection and Testing. The improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Public Improvements shall be performed by Surv-Tek, and construction surveying of the Private Improvements shall be performed by Surv-Tek. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection methods. Inspection of the construction of the Public Improvements shall be performed by Tierra West LLC, and inspection of the Private Improvements shall be performed by Tierra West LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City, which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field-testing of the construction of the Public Improvements shall be performed by Terracon, and field testing of the Private Improvements shall be performed by Terracon, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for the Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports, and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Municipal Lien

Amount: \$ 686,921.09

Name of Financial Institution or Surety providing Guaranty:

Date City first able to call Guaranty: June 10, 2010

[Construction Completion Deadline]: June 10, 2010

If Guarantee other than a Bond, last day City able to call on Guaranty is:

August 10, 2010

Additional information: Infrastructure Improvements

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the Public Improvements are constructed, the Subdivider will convey to the city all real and personal property rights

which the City deems reasonably necessary, and all Public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the Public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be freestanding, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements, which have been, completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of Section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed Public Improvements and a Certificate of Partial Completion for the completed Private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written

consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:
Southwest Regional Council of Carpenters

By [Signature]: Randy J. Sowell
Name: Randy Sowell

Title: Director of Real Estate for United Brotherhood of Carpenters & Joiners of America
On behalf of the Southwest Regional Council of Carpenters

Dated: 5/29/08

CITY OF ALBUQUERQUE

Approved by: [Signature]

City Engineer

Dated: 6-05-08

Use 624108

W
6-4-08

SUBDIVIDER'S NOTARY

STATE OF California)
) ss.
COUNTY OF Los Angeles)

This instrument was acknowledged before me on 29th day of May, 2008
by [name(s) of person(s):] Randy Sowell, Director of Real Estate of United Brotherhood of Carpenters & Joiners of America on behalf of Southwest Regional Council of Carpenters.

Carmen M. Visser
Notary Public

My Commission Expires:

December 18, 2009



CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 5 day of June, 2008 by Richard Dourte, City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Lisa Cornejo
Notary Public

My Commission Expires:

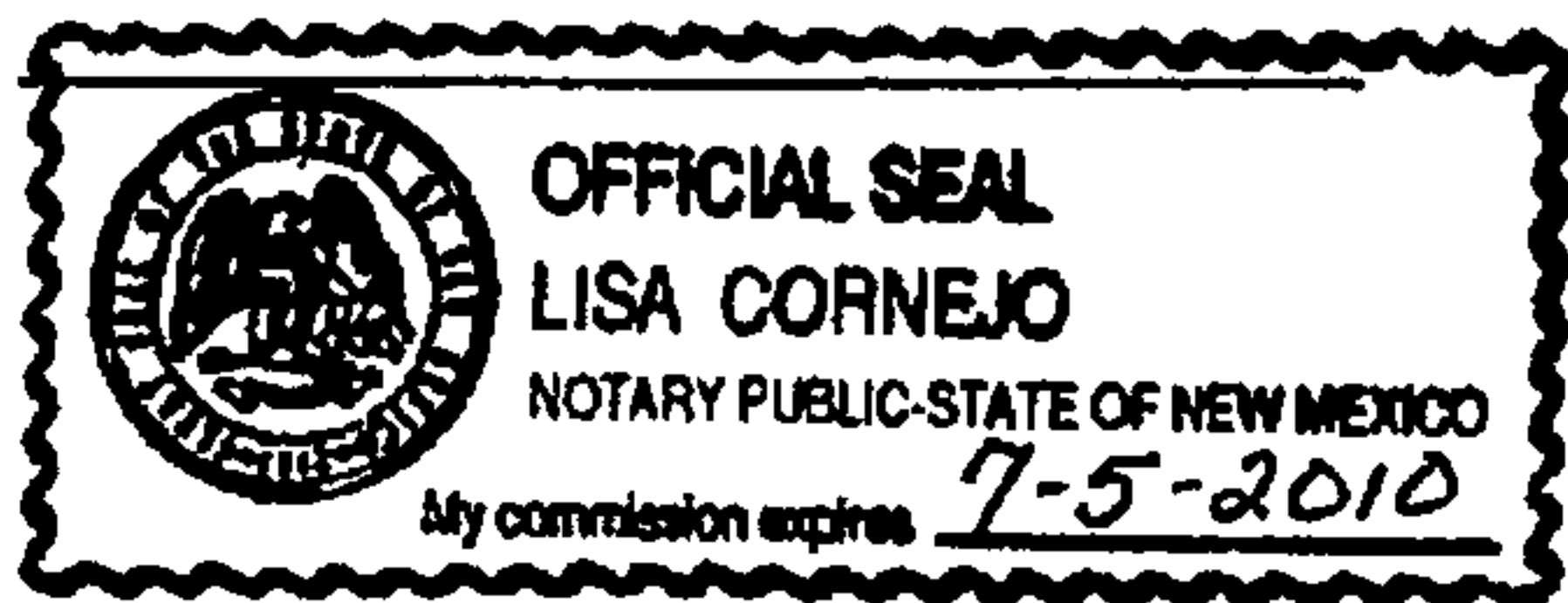


EXHIBIT A ATTACHED

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 3/26/08
 Date Site Plan Approved: 3/26/08
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1006865
 DRB Application No.: 08-7017

INFRASTRUCTURE LIST

(Rev. 9-28-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Tract A-1 Comanche Business Park - Carpenters Training Center Phase 1
 PROPOSED NAME OF _____ SITE DEVELOPMENT PLAN**

**Tract A-1 Comanche Business Park
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6'	Concrete Sidewalk	Vassar Drive	North Property Line	South Property Line	/	/	/
		8-10"	Waterline	On - Site			/	/	/
		8"	SAS	On-Site			/	/	/
		370'	Northbound Right-turn Decel Lane w/ 5' bike bypass lane	Pan American	Entrance to Site	370' south of entrance	/	/	/
		106'	Northbound Right Turn Lane	Intersection of Comanche and I-25 Frontage Road	Comanche Road	106' South of Comanche	/	/	/
		48"	RCP Storm Drain	On-Site <i>Easement</i>	North Property Line	311' to existing CBC	/	/	/
		20'	<i>Public</i> Storm Drain Easement	On-Site	North Property Line	311' to existing CBC	/	/	/
							/	/	/
							/	/	/

Listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cmt Engineer
							/	/
							/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____
 City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

Street Lights and Signs per DPM requirements.

- 1 _____
- 2 _____
- 3 _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER <u>Ronald R. Bohannon</u> NAME (print) <u>Tiger DRC LLC</u> FIRM <u>[Signature]</u> 3/26/08 SIGNATURE - date	<u>[Signature]</u> 3/26/08 DRB CHAIR - date <u>[Signature]</u> 3/26/08 TRANSPORTATION DEVELOPMENT - date <u>[Signature]</u> 3/26/08 UTILITY DEVELOPMENT - date <u>[Signature]</u> 3/26/08 CITY ENGINEER - date	<u>Christina Dandora</u> 3/26/08 PARKS & RECREATION - date _____ AMAFCA - date _____ - date _____ - date
----------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT OWNER

FINANCIAL GUARANTY AMOUNT

05/15/2008

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 554483, Carpenter's Training center, Phase/Unit #: 1

Requested By: Sarah Abeyta

Approved estimate amount:		\$430,425.73
Contingency Amount:	10.00%	\$43,042.57
Subtotal:		\$473,468.30
NMGRT	6.875%	\$32,550.94
Subtotal:		\$506,019.24
Engineering Fee	6.60%	\$33,397.27
Testing Fee	2.00%	\$10,120.38
Subtotal:		\$549,536.87
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$686,921.09</u>

APPROVAL:

DATE:

A Woodall 5/15/08

Notes: 10% contingency, Final plans & Eng Est have not been approved,
Street lights per COA requirements, FEMA approved LOMR required
prior to release of FG.

RESOLUTION OF THE
SOUTHWEST REGIONAL COUNCIL OF CARPENTERS

The Southwest Regional Council of Carpenters (the "Regional Council") acquired approximately 15.7 acres of unimproved real property located at Interstate 25 and Vassar in Albuquerque, New Mexico (the "Property") in April 2007. The Property was purchased for the purpose of constructing an apprenticeship training center, Union offices (the "Training Center") and other potential buildings to further the purposes of the Regional Council.

Section 10 of the Bylaws of the Regional Council authorizes the Executive Committee to supervise the business of the Regional Council.

The Executive Committee has determined that the construction of the Training Center and other potential buildings (collectively the "Project") on the Property is necessary for the business purposes of the Regional Council.

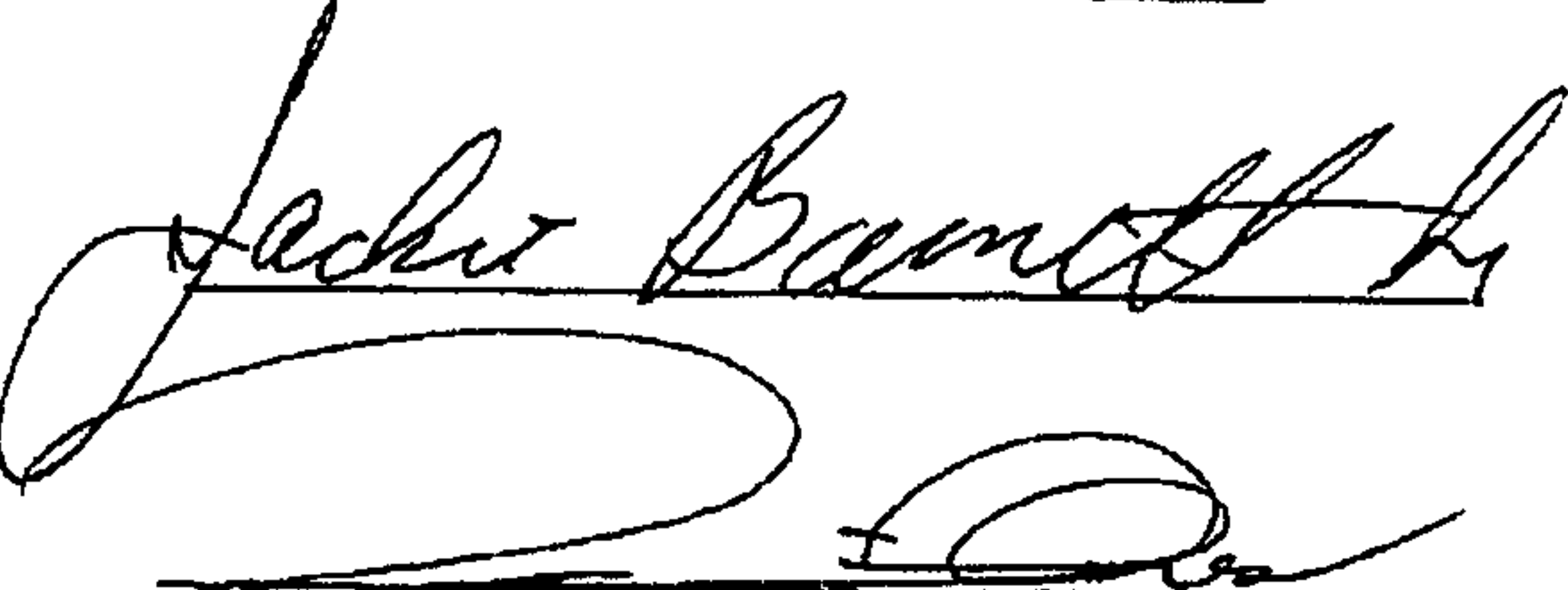

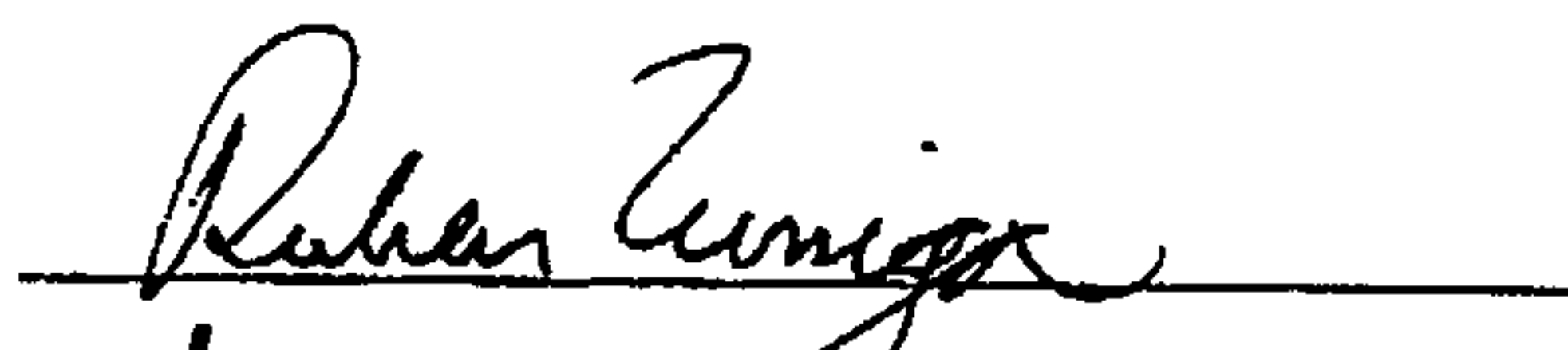
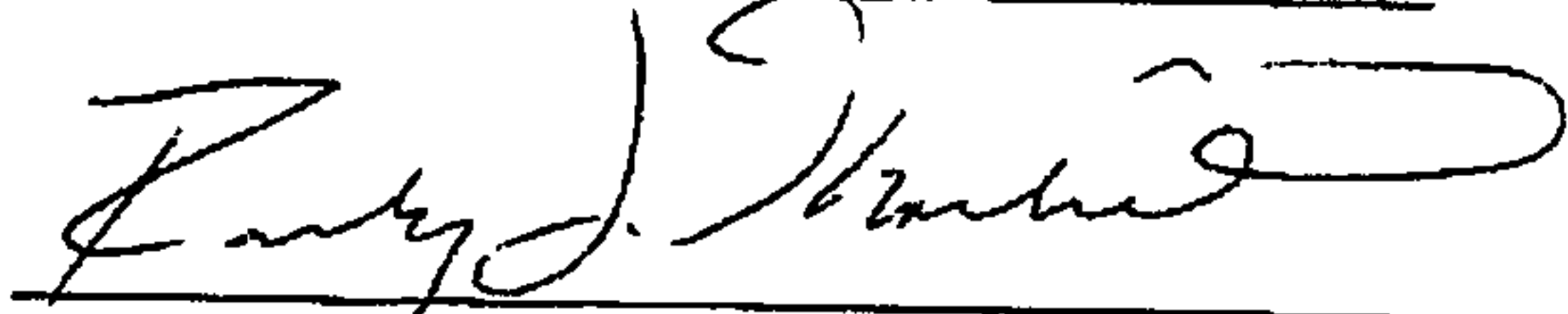
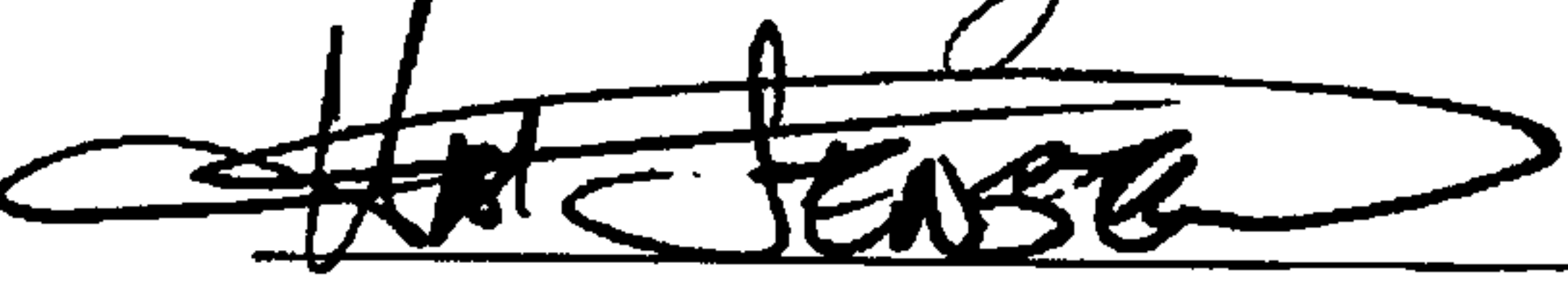
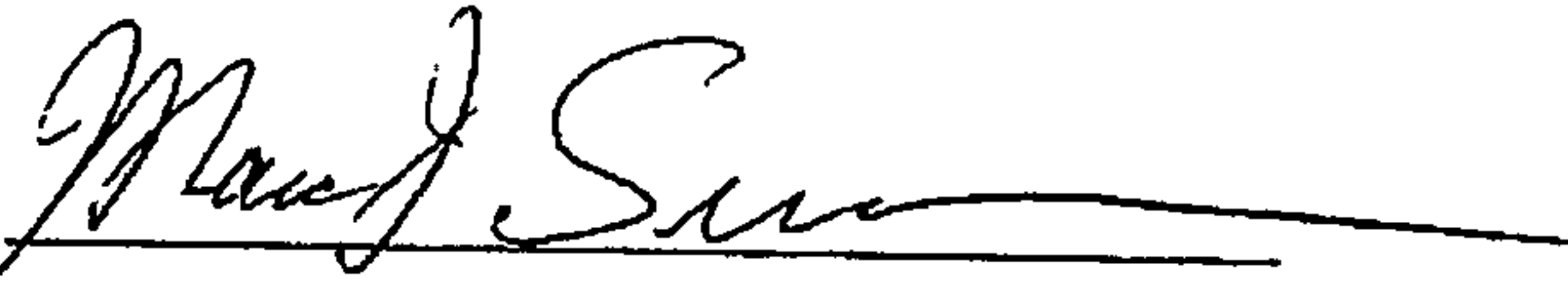
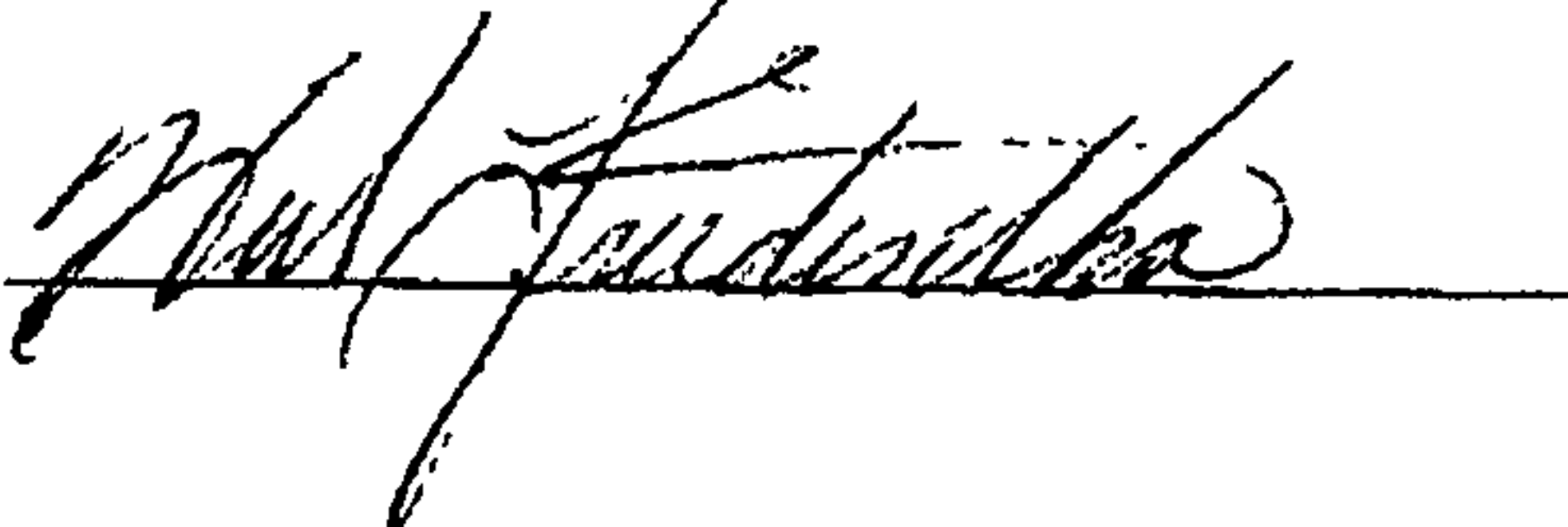
In order to construct the Project it will be necessary for the Regional Council to enter into, and execute, contracts with architects, engineers, general contractors, and consultants.

THEREFORE, BE IT RESOLVED, that the Regional Council authorizes the construction of the Project on the Property.

BE IT FURTHER RESOLVED, that Randy J. Sowell, Director of Real Estate for the United Brotherhood of Carpenters and Joiners of America, is authorized to execute any and all contracts and documents in connection with the construction of the Project on the Property on behalf of the Regional Council.

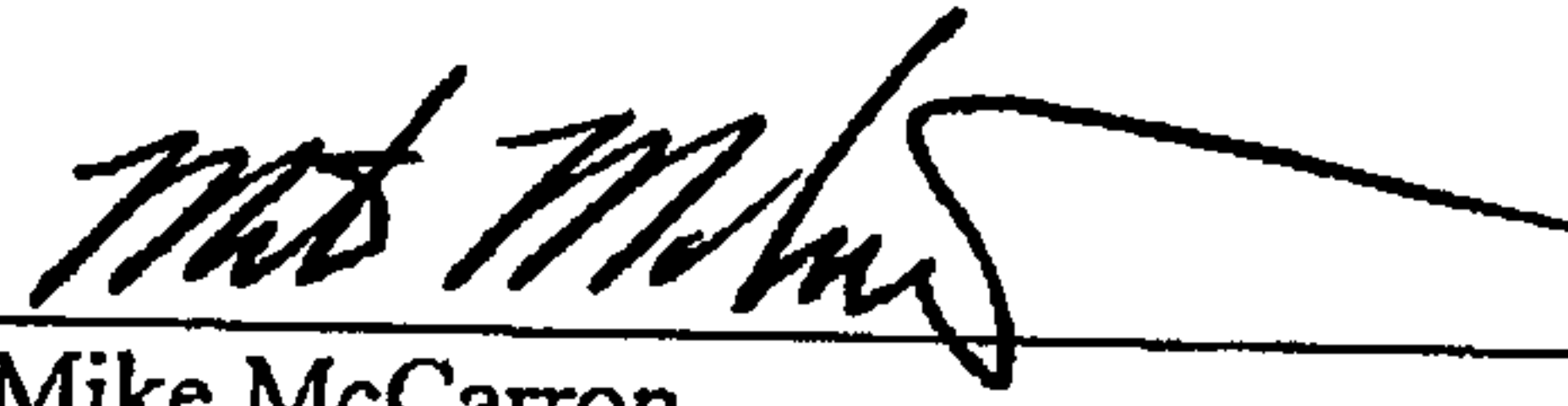
BE IT FURTHER RESOLVED, that any action heretofore taken and any documents and agreements heretofore executed by Randy J. Sowell are hereby ratified, approved and confirmed.

DATED: February 27, 2008

 _____	 _____
 _____	 _____
 _____	 _____
 _____	_____

I, MIKE McCARRON, certify that the attached resolution is a true and correct copy of the Resolution adopted by the Southwest Regional Council of Carpenters.

DATED: February 27, 2008

A handwritten signature in black ink, appearing to read "Mike McCarron", written over a horizontal line.

Mike McCarron
Executive Secretary-Treasurer

CLAIM AND NOTICE OF LIEN

TITLE OF PROJECT: Carpenter's Training Center
SUBDIVIDER: Southwest Regional Council of Carpenters
CITY PROJECT NO.: 554483

The City of Albuquerque ("City") claims a lien ("City Lien") on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) **Carpenter's Training Center**, said Improvements being more particularly described in that certain Subdivision Improvements Agreement ("Agreement") between the City of Albuquerque and (name of owner and/or subdivider) **Southwest Regional Council of Carpenters**, and recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book _____, at page _____, on _____, 20____, as Document No._____. This City Lien is established pursuant to Article 14-14-3 of the Revised Ordinances of Albuquerque, New Mexico, 1994, as amended and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

OWNER: Southwest Regional Council of Carpenters

ADDRESS OF OWNER: 533 S. Fremont Avenue, 10th Floor, Los Angeles, CA 90071

LEGAL DESCRIPTION: Tract A-1, Comanche Business Park

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book **98C**, at page **349**, on **December 14, 1998**, as Document No. **1998160271**.

FORMER LEGAL DESCRIPTION: No change to legal description

~~**RECORDING INFORMATION:** Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book _____, at page _____, on _____, 20____, as Document No. _____.~~

AMOUNT: \$ 686,921.09, plus any costs incurred for a title search and update, which amount shall bear interest at the rate of twelve percent (12%) per year from the date of filing of this Claim and Notice of Lien.

PERIOD OF TIME COVERED: Expiration of construction completion deadline **June 10, 2010**. Notwithstanding the expiration date for the construction completion deadline, the City may record this Claim and Notice of Lien at anytime the City determines that any alternative Financial Guaranty does not provide adequate assurance that construction of the Improvements will occur.

Doc# 2008068725

06/17/2008 01:37 PM Page: 1 of 2
LIEN R:\$11.00 M. Toulouse Oliver, Bernalillo County



Doc# 2008067370

06/13/2008 10:16 AM Page: 1 of 2
LIEN R:\$11.00 M. Toulouse Oliver, Bernalillo County



WITNESS my hand and seal this 9th day of June, 2008.

Kelli A. Fulgenzi for
City Clerk
City of Albuquerque
Bernalillo County, New Mexico

APPROVED:

[Signature]
Richard Dourte, City Engineer
Date: 6-05-08

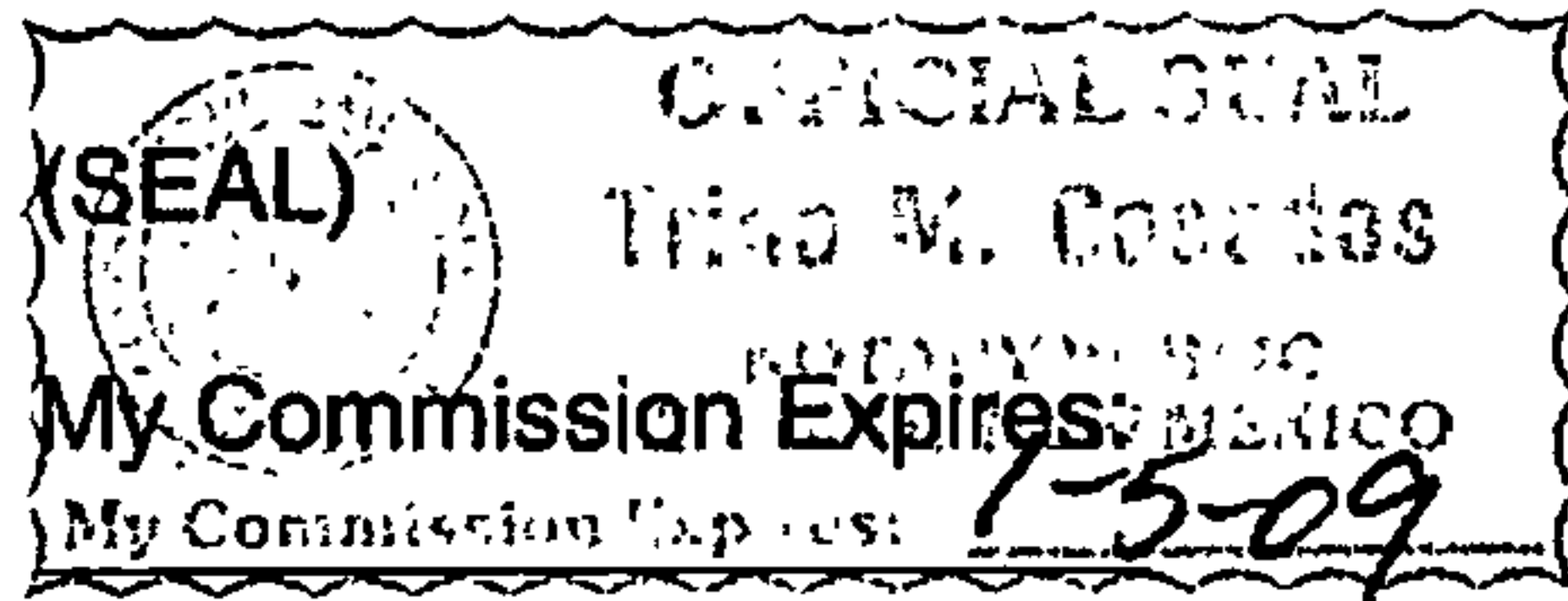
He 6/4/08
6-4-08

STATE OF NEW MEXICO)

)ss

COUNTY OF BERNALILLO)

On this the 9th day of June, 2008, before me appeared Kelli A. Fulgenzi to me personally known, who being by me duly sworn or affirmed did say that he/she is the City Clerk of the City of Albuquerque, County of Bernalillo, State of New Mexico, and that said instrument was signed and sealed in behalf of said City of Albuquerque by authority of its City Council and the laws of the State of New Mexico and of said City of Albuquerque, and the County Clerk acknowledges said instrument to be the free act and Claim and Notice of Lien of the City of Albuquerque.



[Signature]
Notary Public

X:\RELU\SHARE\AGREKJC\claim notice of lien figure 30.doc
revised 5/28/08

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/24/2008 Issued By: PLNSDH

Permit Number: 2008 070 285 **Category Code 910**

Application Number: 08DRB-70285, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: PAN AMERICAN FREEWAY NE BETWEEN COMACHE NE AND VASSAR NE

Project Number: 1008865

Applicant
Southwest Regional Council Of Carpenters

533 S Fremont Ave 9th Flr
Los Angeles CA 90071
213-488-2950

Agent / Contact
Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87108

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

6/24/2008 10:21AM LOC: ANNX
WSH 00/ TRANS# 0016
RECEIPT# 00100423-00100423
PERMIT# 2008070285 TRSLJS
Trans Amt \$235.00
Conflict Manag. Fee \$20.00
DRB Actions \$215.00
CK \$235.00
CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Southwest Regional Council of Carpenters PHONE: 213-488-2950
 ADDRESS: 533 S. Fremont Avenue, 9th Floor FAX: 213-488-2951
 CITY: Los Angeles STATE CA ZIP 90071 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Preliminary/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Comanche Business Park
 Existing Zoning: M-1 Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): G-16 UPC Code: 101606014736320661

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB-98-299/
DRB-98-294/Z-380/ZA-86-246/07EPC-40066/Project # 1006865

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 15.701+/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Pan American Freeway NE
 Between: Comanche NE and Vassar Dr. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Keeli D. Krueger for DATE 6/24/08
 (Print) Ronald R. Bohannon, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB - 70285</u>	<u>P&F</u>	<u>5(3)</u>	<u>\$ 215.00</u>
_____	<u>GMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>07/09/08</u>			Total <u>\$ 235.00</u>

Sandy Handley 06/24/08
 Planner signature / date

Project # 1006865

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE
 Applicant name (print)
Kaci D. Krueger for 6/25/08
 Applicant signature / date

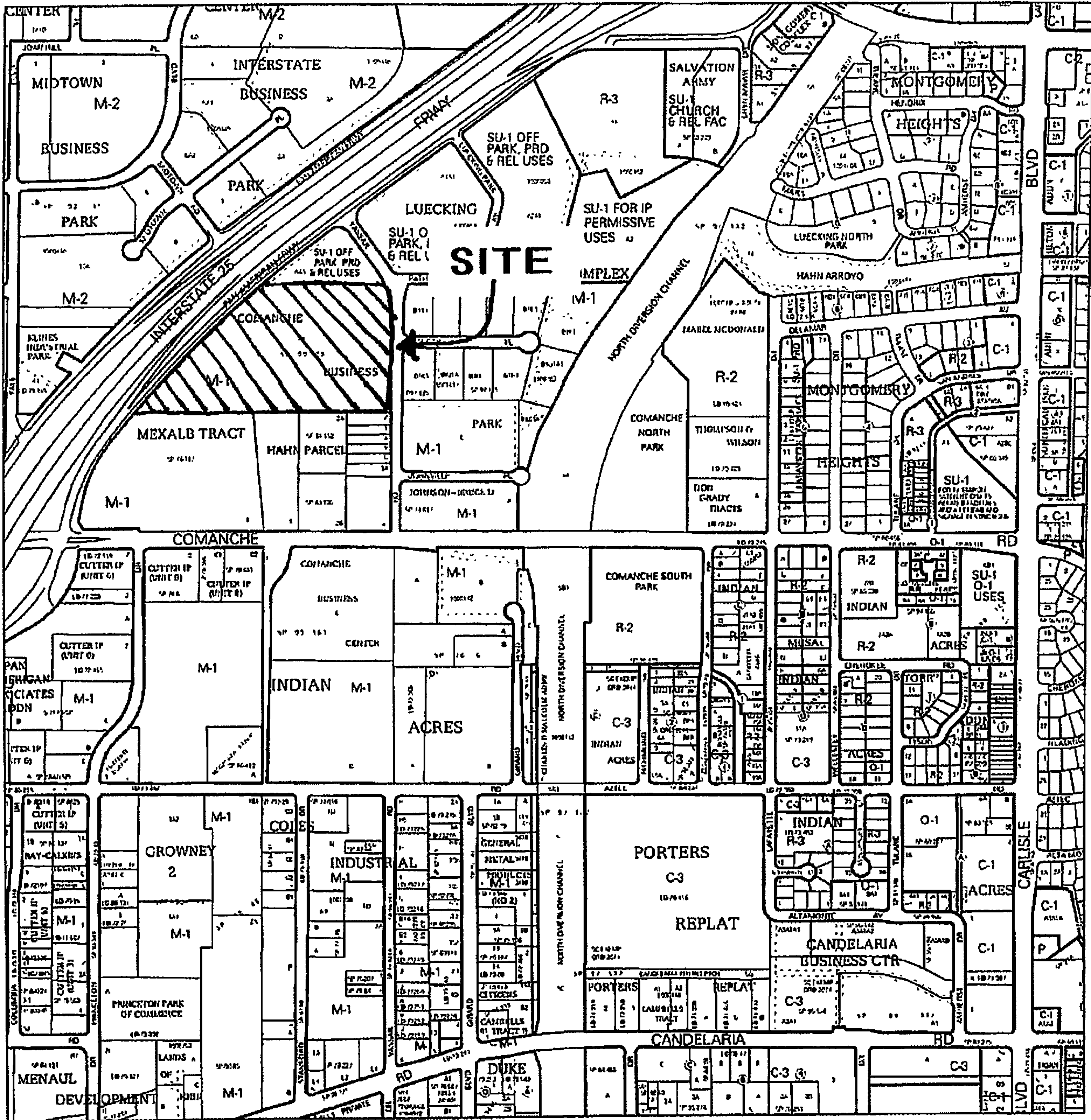


Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB - 70285
 _____ - _____
 _____ - _____

Sandy Handley 06/24/08
 Planner signature / date
 Project # 100.6865



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 9/6/2007

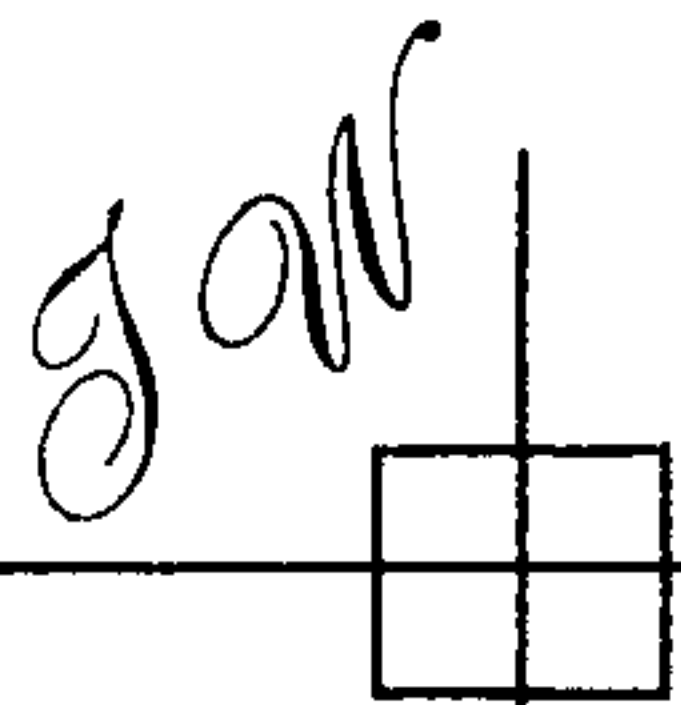
Note: Grey Shading represents Areas Outside the City Limits.

Zone Atlas Page:
G-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



TIERRA WEST, LLC

June 24, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Preliminary/Final Plat
Tract A-1, Comanche Business Park
Zone Atlas Page G-16**

Dear Mr. Cloud:

Tierra West LLC, on behalf of the Southwest Regional Council of Carpenters, requests approval of the preliminary/final plat for the above-referenced project. The site is located on the northbound Pan American Freeway, north of Comanche Boulevard. The site is currently undeveloped, is zoned M-1 and consists of ±15.701 acres. The site development plan has been approved and signed off by all departments except Hydrology and Transportation and all required infrastructure was tied to the site plan and the SIA has been recorded. The purpose of the replat is to dedicate additional right-of-way along Vassar Drive, as required by Transportation Development comments, grant additional easements required by City Hydrology and the Albuquerque Bernalillo County Water Utility Authority.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

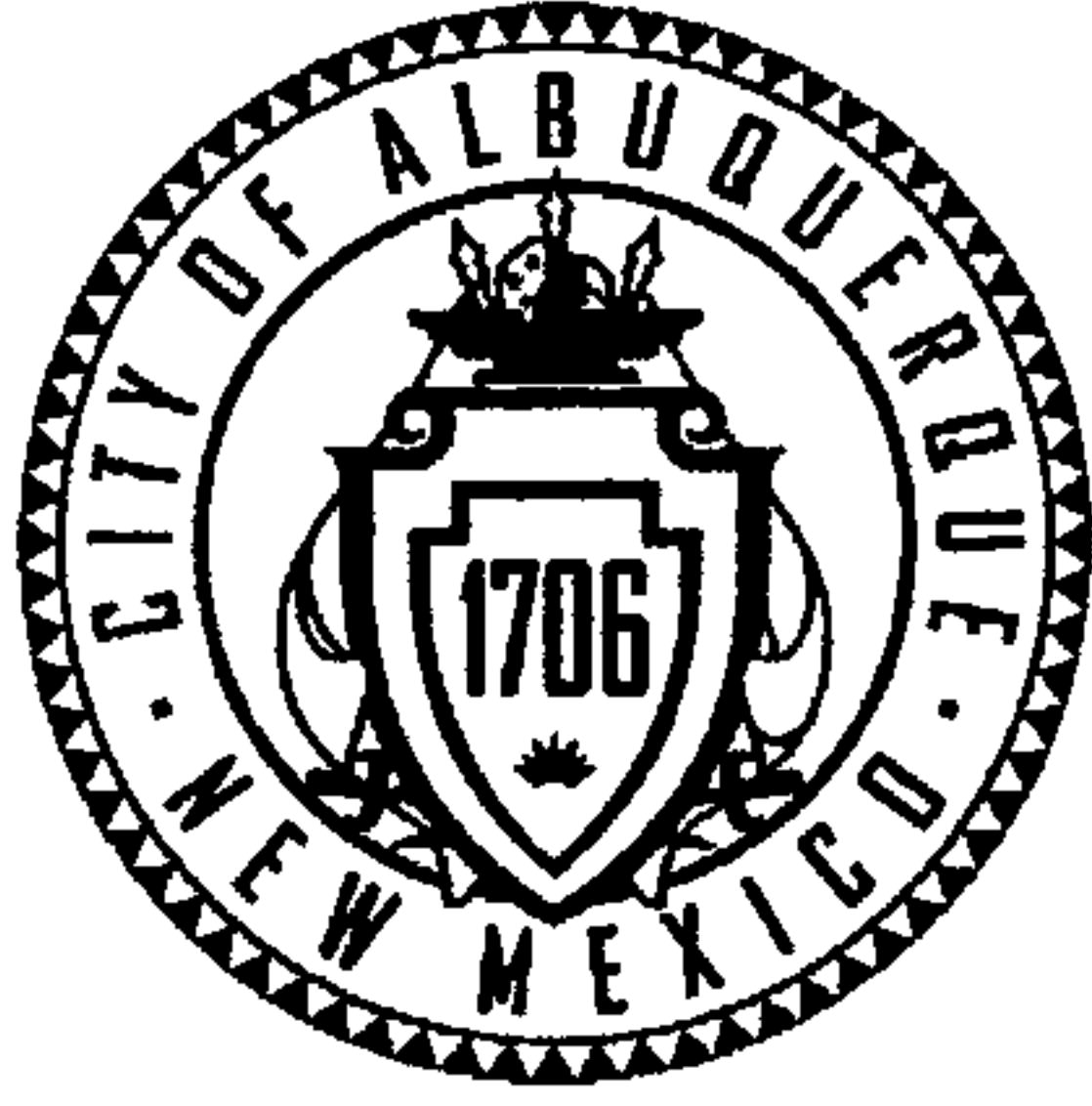
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Randy Sowell
Bruce Bailey

JN: 27101
RRB/kdk

557.1 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



26026
Archeological
Survey

City of Albuquerque

P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

October 29, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s): EPC #1006865

Case Number(s):

Agent: Tierra West, LLC / Metric Corp.

Applicant:

Legal Description: Tract A-1, Comanche Business Park

Acreage: 15.7 acres

Zone Atlas Page: G-16

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

NMCRIS / NIAF : A Cultural Resources Inventory of 13.34 Acres for a Proposed Industrial Park on Vassar Drive, Albuquerque, Bernalillo County, New Mexico by Douglas H.M. Boggess (Lone Mountain Archaeological Services, Inc. October 22, 2007)

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)—no significant sites in project area)***

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/17/2008 Issued By: E08375

**
**
**
**
**

Permit Number: 2008 070 117 **Category Code 910**

Application Number: 08DRB-70117, Epc Approved Sdp For Build Permit

Address:

Location Description: PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR DR NE

Project Number: 1006865

Applicant
Southwest Regional Council Of Carpenters

533 S Fermont Ave 9th Floor
Los Angeles CA 90071
213-488-2950

Agent / Contact
Tierra West Llc
Ronald Bohannan
5571 Midway Park Pl Ne
Albuquerque NM 87108

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

3/17/2008 10:33AM LOC: ANHX
WS# 006 TRANS# 0010
RECEIPT# 00089277-00089277
PERMIT# 2008070117 TRSCCS
Trans Amt \$110.00
DRB Actions \$110.00
\$110.00
CK \$0.00
CHANGE Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/04/2008 Issued By: E08375

4/4/08
4/4/08
4/4/08
4/4/08

Permit Number: 2008 070 117

Category Code 910

Application Number: 08DRB-70117, Epc Approved Sdp For Build Permit

Address:

Location Description: PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR DR NE

Project Number: 1008865

Applicant

Southwest Regional Council Of Carpenters

533 S Fermont Ave 9th Floor
Los Angeles CA 90071
213-488-2850

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllo@tierrawestllc.com

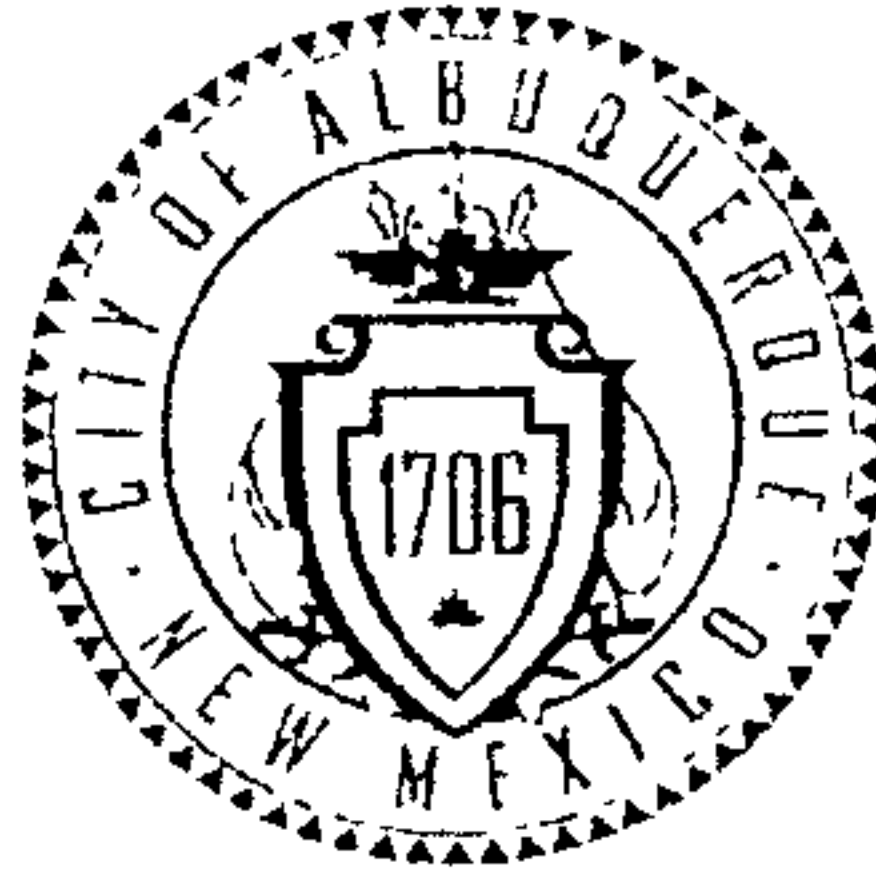
Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

3/4/2008 10:46AM LDC: ANN
US# 006 TRANS# 0014
RECEIPT# 00033657-00088657
PERMIT# 2008070117 TRS005
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
CK \$20.00
CHANGE \$0.00

Thank You



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 29, 2007

AMENDED OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1006865**
07EPC-40066 SITE DEVELOPMENT -
BUILDG PRMT

SW Regional Council of Carpenters
533 S. Fremont Ave. 9th Floor
Los Angeles, CA, 90071

LEGAL DESCRIPTION: for all or a portion of Tract A-1, COMANCHE BUSINESS PARK zoned M-1 (SC) located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR NE containing approximately 15.701 acres. (G-16) Carol Toffaleti, Staff Planner

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1006865/07EPC 40066, a Site Development Plan for Building Permit, for Tract A-1, Comanche Business Park, zoned M-1 (SC), based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS:

1. The proposal is a site development plan for building permit for a site of approximately 15.7 acres located on Pan American Hwy North, between Comanche Rd. and Vassar Dr. NE, zoned M-1 (SC), which gives the EPC site development plan approval authority, but does not afford discretion over parking or other zoning code requirements.
2. Phase I includes a 2 story 93,686 sf carpenters' training center with an assembly hall for 550 people, parking and the main site drive for the development. Phase II includes a one-story, 19,435 sf restaurant, a 2-story, 76,000 sf office building, and a three-story, 57,072 sf office building and associated parking. The total square footage is 245,200 sf.. The applicant has included design guidelines and requests that approval of Phase II development be delegated to DRB.
3. A Traffic Impact Study (TIS) was completed on July 30, 2007, which recommends measures to mitigate the impacts of the development on the surrounding road network. A reevaluation of the affected intersections was submitted by the applicant based on the land uses in the current proposal, dated Nov. 13, 2007, which has been verified by the City Engineer/Transportation Development Section.

AMENDED OFFICIAL NOTICE OF DECISION

4. Mixed use shared parking calculations dated Nov. 13, 2007 were submitted by the applicant to satisfy a 20% reduction in the required provision. Code Enforcement has reviewed them and found them to be incomplete. The calculations are subject to acceptance and approval by Code Enforcement prior to DRB sign-off. A shared parking agreement is not necessary because the property is not being subdivided and is owned by one party.
5. The subject site is in the Established Urban area of the Comprehensive Plan. No Rank II or III plans apply.
6. The proposal furthers the following Comprehensive Plan goals and policies:
 - a. The Goal for the Established Urban area and Policy II.B.5a, because the mix of educational, office and restaurant uses broadens the range of land uses in the area and the architecture of the carpenters' training center will enhance the built environment.
 - b. Policy II.B.5e, because the development will occur on vacant land that is contiguous to existing urban facilities and services.
 - c. Policy II.B.5i, because the proposed employment uses will not adversely impact on residential environments, as the site does not abut residential properties.
 - d. The Economic Development and Education Goals and Policies II.D.6.a, II.D.6.b, II.D.6.c, II.D.7.a because the proposed training center, offices and restaurant expand employment and educational opportunities in the area.
7. The existing billboards (off-premise signs) are non-conforming uses, in terms of their proximity to the freeway and their location on a shopping center site, pursuant to Sections 14-16-3-5(B)(1)(I) and 14-16-3-2 of the Zoning Code. The applicant has stated that they will remain on the site.
8. Property-owners within 100' of the site were notified of the proposal. There are no neighborhood associations in the area. No comments have been received.
9. The subject site lies in the Express Corridor (I-25, including its frontage roads). The objective of the express corridor allows shared parking and parking reductions.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered by incorporating measures that use a portion of stormwater runoff from the site for irrigation and infiltration. These shall include improvements to the existing drainage channel along the south boundary of the site, to be coordinated with the City Hydrologist.
4. The site development plan shall include a design standard that furthers the Energy Management Goal, Section II.D.3 of the Comprehensive Plan.
5. Concerning the request for a 20% reduction in the required off-street parking provisions, pursuant to section 14-16-3-1(E)(6)(b) of the Zoning code:
 - a. The mixed use shared parking calculations shall be revised to provide all the required information and shall be accepted and approved by Code Enforcement prior to DRB sign-off.
 - b. Parking spaces in the gated service area shall be excluded from the mixed use shared parking calculations as they are effectively "reserved" spaces that cannot be shared by other users of the site.
6. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOF:**

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Site drive intersecting Northbound I-25 Frontage Road to be designed per TIS and NMDOT requirements (includes deceleration lane). NMDOT approval required.
 - d. Internal drive aisles to be a minimum of 24' wide and 26' maximum, except the main drive aisle shall be 30 ft. wide, with concrete accent paving raised at the 3 indicated intersections and with parking restrictions.
 - e. Site plan shall comply and be designed per DPM Standards.

7. Revise the boundary of Phase I to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
8. Pedestrian connectivity shall be improved between Building B and C as shown on the alternate site development plan provided at the Planning Commission meeting. A connection from Building C to the east shall connect with Vassar Drive.
9. The outdoor patio of Building D (restaurant) shall be relocated so that it is not between two rows of parking. Outdoor patios of Buildings A (training center) and C (office) shall be relocated away from parking end aisles or be screened by dense evergreen foliage or wall. All outdoor patios shall comply with Section 14-16-3-18 (C)(4) of the Zoning Code.
10. A walkway shall be added along the south façade of Building C.
11. Refuse enclosures or compactors and recycle areas shall be provided to meet the requirements of the City Solid Waste Department.
12. Indicate chain link fences as existing.
13. Indicate height, length, material and color of retaining walls and include elevations to illustrate their design.
14. Correct inconsistencies between the number of parking spaces shown on the site layout and in the data table.
15. Dimensions of all parking spaces shall comply with zoning regulations (Sections 14-16-1-5 and 14-16-3-1).
16. Sheet A-1 shall be revised as follows:
 - a. Reword Design guidelines #2 and 3 as follows:

“2. The color, materials and architecture of buildings in Phase II shall match, or achieve a continuity of design with, Building A in Phase I. They shall have similar detailing of wall surfaces, canopies and fenestration.”

“3. Accent colors for trim shall match, or be compatible with, those of Building A/Phase I.”
 - b. Delete the last phrase in Design guideline #4, “unless screened...as the buildings.”
 - c. Eliminate duplication between Design guideline #8 and Note 5.
 - d. Insert the following text in the design guideline(s) concerning lighting: “Area lighting shall be supplemented by pedestrian-scale and/or building-mounted lighting, where necessary to illuminate walkways, building entrances and common areas. Fixtures shall be compatible with area lighting and building architecture.”
 - e. Eliminate any inconsistencies between design guideline #9 and actual signage shown on detail sheet.

- f. Note 3, replace "impervious surface" with "total lot area".
 - g. Note 6, move reference to "no illuminated plastic banding on signage" to design guideline #9.
 - h. Note 9, delete the phrase "except no structure shall exceed 65' in height".
17. Indicate any building-mounted lighting on the elevations for Building A.
18. Reduce the sign face area of the free-standing pylon sign to comply with SC zoning regulations.
19. The landscape plan shall be revised as follows:
- a. The total buildings area in the calculations shall be corrected.
 - b. The plant palette shall exclude sod and include a minimum of 25% low water use plants.
 - c. Include landscaping around Building C.
 - d. Adjust the location of street trees on Pan American Hwy to avoid conflict with the existing billboards.
 - e. Add retaining walls to the landscape plan and adjust the landscape design where appropriate.
 - f. Reflect opportunities for infiltration of stormwater runoff in the design of landscaping along the northwest boundary of the site.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

AMENDED OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

Richard Dineen
Planning Director

RD/CT/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Michael Buehler, 4100 Pan American FWY NE, Albuquerque, NM 87107



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- D L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Southwest Regional Council of Carpenters PHONE: 213-488-2950
 ADDRESS: 533 S. Fremont Avenue, 9th Floor FAX: 213-488-2951
 CITY: Los Angeles STATE CA ZIP 90071 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: DRB Sign Off of EPC Approved Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Comanche Business Park
 Existing Zoning: M-1 Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): G-16 UPC Code: 101606014736320661

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB-98-299/
DRB-98-294/Z-380/ZA-86-246/07EPC-40066/Project # 1006865

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 15.701+/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Pan American Freeway NE
 Between: Comanche NE and Vassar Dr. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Ronald R. Bohannon for DATE 3/4/08
 (Print) Ronald R. Bohannon, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB-70117</u>			\$ <u>0.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____

Hearing date March 12, 2008

[Signature] 3/4/08
 Planner signature / date

Project # **1006865**

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

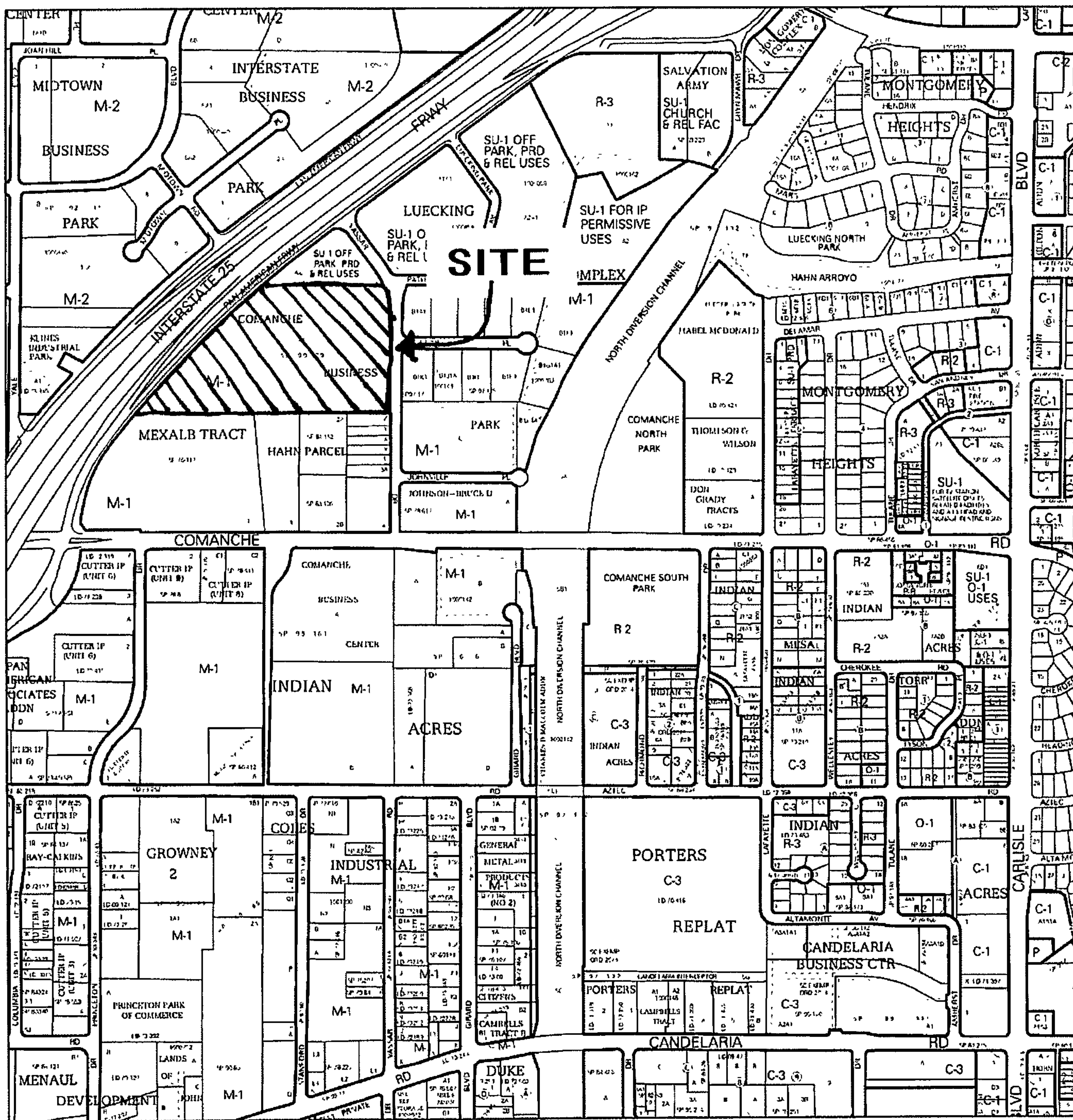
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

 Ronald R. Bohannon, PE
 Applicant name (print)
Keli D. Krueger for 3/4/08
 Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 28DRB-_____-20117

Form revised October 2007
 _____ 3/4/08
 Planner signature / date
 Project # 1006865



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/6/2007

Note: Grey Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
G-16-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

gwr

TIERRA WEST, LLC

March 4, 2008

Mr. Jack Cloud
DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: DRB Final Sign-off of EPC Approved Site Plan for Building Permit
Legal Description: Tract A, Comanche Business Park, zoned M-1 (SC)
Project # 1006865

Dear Mr. Cloud:

Tierra West LLC, on behalf of the owner of the above referenced property, requests EPC final sign-off approval for Site Plan for Building Permit. We provided the following responses to the conditions listed by the Environmental Planning Commission.

CONDITIONS ON APPROVAL OF SITE PLAN FOR BUILDING PERMIT

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifically all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals. **The EPC comments and how they were addressed are listed in the contents of this letter.**
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met. **A meeting with the staff planner, Carol Toffaleti, took place on February 28, 2008 to review plans and discuss how comments were addressed.**
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered by incorporating measures that use a portion of stormwater runoff from the site for irrigation and infiltration. These shall include improvements to the existing drainage channel along the south boundary of the site, to be coordinated with the City Hydrologist. **The Grading and Drainage Plan for this site will be turned into the City Hydrologist for review and approval. Comments from the City Hydrologist, will be incorporated into the final Grading and Drainage Plan.**

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

4. The site development plan shall include a design standard that furthers the Energy Management Goal, Section II.D.3 of the Comprehensive Plan.
A design guideline were added to the plan showing how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan will me furthered.
5. Concerning the request for a 20% reduction in the required off-street parking provisions, pursuant to section 14-6-3-1(E)(6)(b) of the Zoning Code:
 - a. The mixed use shared parking calculation shall be revised to provide all the required information and shall be accepted and approved by Code Enforcement prior to DRB sign-off.
The mixed use shared parking calculations were submitted to Code Enforcement and are currently under review.
 - b. Parking spaces in the gated service area shall be excluded from the mixed use shared parking calculations as they are effectively "reserved" spaces that cannot be shared by other users of the site.
The parking spaces in the gated area will be counted in the shared parking calculations. It was discussed with the planner that as long as we had a note on the Site Plan stating the gated area would be open in the morning and closed at night the stalls could be counted in the shared parking calculations. This was also discussed with Juanita Garcia, whom the shared parking calculations were submitted to.
6. Conditions from the City Engineer, Municipal development, Water Authority and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
The requirements of previous actions taken by the EPC and DRB will be completed and/or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
Public infrastructure improvements within public right-of-way or public easement will be built to the City's Specifications.
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
The Infrastructure improvements required by the TIS will be constructed with Phase I of the project. The TIS was approved with conditions by the New Mexico Department of Transportation. The approval letter is included for reference.

- d. Internal drive aisles to be a minimum of 24' wide and 26' maximum, except the main drive aisle shall be 30 ft wide, with concrete accent paving raised at the 3 indicated intersections and with parking restrictions.
The drive aisles were changed to meet this requirement. The main 30' drive will have the concrete accent paving as shown on the Site Plan. The main drive will also be striped to indicate fire lane, no parking as shown on the Site Plan.
- e. Site Plan shall comply and be designed per DPM Standards.
Site Plan complies with DPM Standards.
7. Revise the boundary of Phase I to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
The boundary was revised to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
8. Pedestrian connectivity shall be improved between Building B and C as shown on the alternate site development plan provided at the Planning Commission meeting. A connection from Building C to the east shall connect with Vassar Drive.
The pedestrian connections were added as shown on the alternate site development plan provided to EPC. The connection between building C and the Carpenter's Training Center has been called out as a future connection to be built at the time Building C is built.
9. The outdoor patio of Building D (restaurant) shall be relocated so that it is not between two rows of parking. Outdoor patios of Buildings A (training center) and C (office) shall be relocated away from parking end aisles or be screened by dense evergreen foliage or wall. All outdoor patios shall comply with Section 14-16-3-18(C)(4) of the Zoning Code.
The outdoor patio of Building D has been relocated. The patio areas and the square footage of the patio areas are shown on the site plan. A note was also added to the Site Plan stating all patios to have benches, pre-cast concrete trash receptacles, ash urns & covered shade structure over 25% of patio area, and comply with Section 14-16-3-18 (C)(4) of the Zoning Code.
10. A walkway shall be added along the south façade of Building C.
A 8' walkway was added to the south Face of Building C.
11. Refuse enclosures or compactors and recycle area shall be provided to meet the requirements of the City Solid Waste Department.
Solid waste has signed off on a plan showing the compactor areas as shown on the Site Plan.
12. Indicate chain link fence as existing.
The chain link fencing to the south of the property is labeled as existing.
13. Indicate height, length, material and color of retaining walls and include elevations to illustrate their design.
A detail for the elevation of the retaining wall was added to sheet A-4. The heights and lengths of the retaining walls are shown on the Grading Plan, sheet C-1.

14. Correct inconsistencies between the number of parking spaces shown on the site layout and in the data table.
The inconsistencies between the number of parking spaces shown on the site plan and the data table were corrected.
15. Dimensions of all parking spaces shall comply with zoning regulations (Sections 14-16-1-15 and 14-16-3-1).
The dimensions of parking spaces were labeled on the site plan to show they comply with the zoning regulations.
16. Sheet A-1 shall be revised as follows:
 - a. Reword Design guidelines #2 and 3 as follows:
"2. The color, materials and architecture of buildings in Phase II shall match, or achieve a continuity of design with, Building A in Phase I. They shall have similar detailing of walls surfaces, canopies and fenestration."
"3. Accent colors for trim shall match, or be compatible with, those of Building A/Phase I."
The design guidelines were revised to meet the condition.
 - b. Delete the last phrase in Design guideline #4, unless screened...as the buildings."
The last phrase in Design Guideline #4 were deleted.
 - c. Eliminate duplication between Design guideline #8 and Note 5.
Note 5 was revised to eliminate duplication between Design guideline #8 and Note 5.
 - d. Insert the following text in the design guidelines concerning lighting: "Area lighting shall be supplemented by pedestrian-scale and/or building –mounted lighting, where necessary to illuminate walkways, building entrances and common areas. Fixtures shall be compatible with area lighting and building architecture."
The text was added under Design guideline #8 regarding lighting.
 - e. Eliminate any inconsistencies between guideline #9 and actual signage shown on detail sheet.
Guideline #9 was corrected to show the correct sign area and the detail was revised to match the area called out in the design guideline.
 - f. Note 3, replace "impervious surface" with "total lot area."
Note 3 has been revised.
 - g. Note 6, move reference to "no illuminated plastic banding on signage" to design guideline #9.
The reference to "no illuminated plastic banding on signage" was relocated to design guideline #9 regarding signage.
 - h. Note 9, delete the phrase "except no structure shall exceed 64' in height".
The reference to structure heights were deleted from the notes.
17. Indicate any building-mounted lighting on the elevations for building A.
As shown on the elevations, there is no building-mounted lighting on the building.

18. Reduce the sign face area of the free-standing pylon sign to comply with SC zoning regulations.

The sign face area of the free-standing pylon was changed to 150 square feet as regulated by the SC zoning regulations. The revised sign elevation is shown on the detail sheet, A-4.

19. The landscape plan shall be revised as follows:

a. The total building area in the calculations shall be corrected.

The calculations on the landscape plan were revised.

b. The plant palette shall exclude sod and include a minimum of 25% low water use plants.

The minimum of 25% low water use plants were added to the plan.

c. Include landscaping around Building C.

Landscaping was added around Building C as shown on the revised plan.

d. Adjust the location of street trees on Pan American Hwy to avoid conflict with the existing billboards.

The locations of the street trees on Pan American Hwy were adjusted to avoid conflict with the existing billboards.

e. Add retaining walls to the landscape plan and adjust the landscape design where appropriate.

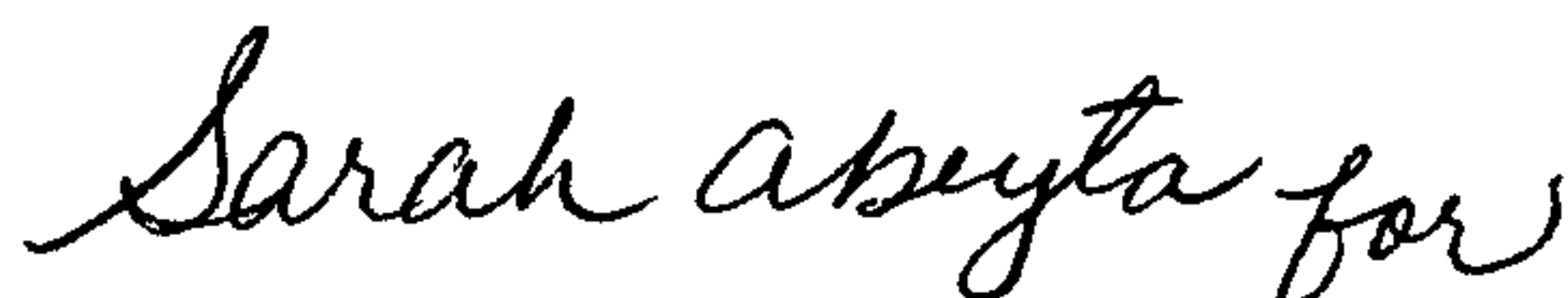
The retaining wall locations were added to the plan.

f. Reflect opportunities for infiltration of stormwater runoff in the design of landscaping along the northwest boundary of the site.

The area where infiltration of stormwater runoff will occur is in some of the parking islands on the site. A detail has been provided on the Grading plan for reference.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



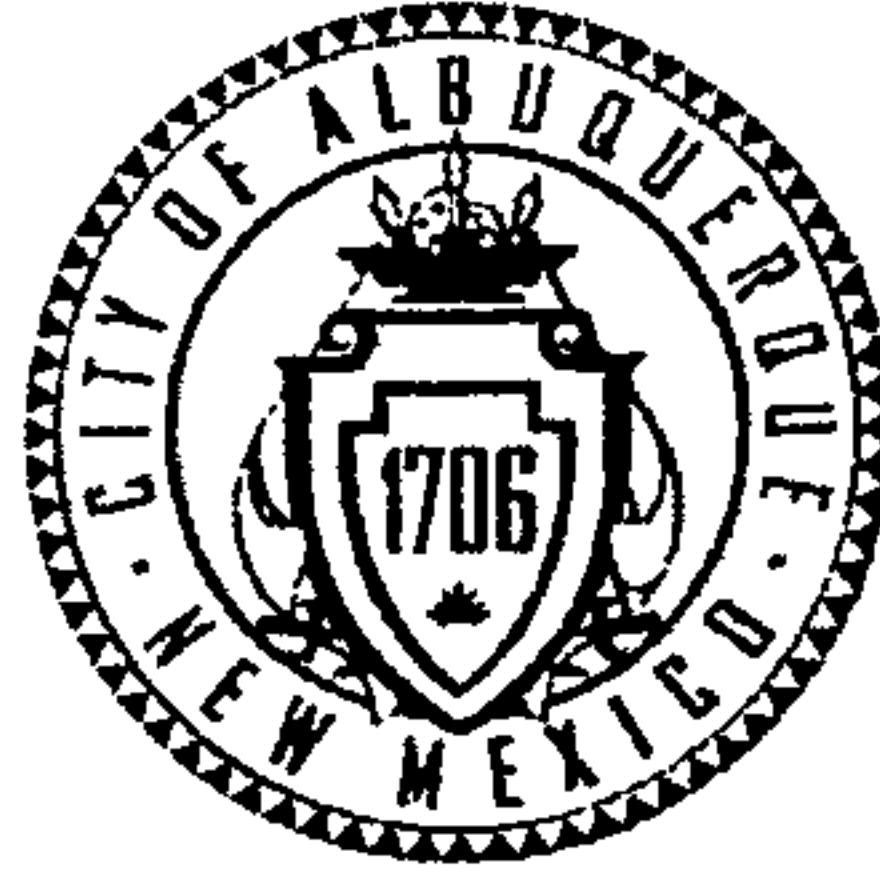
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Bruce Bailey

JN: 27101

SA/cla



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1006865**
07EPC-40066 SITE DEVELOPMENT -
BUILDG PRMT

SW Regional Council of Carpenters
533 S. Fremont Ave. 9th Floor
Los Angeles, CA, 90071

LEGAL DESCRIPTION: for all or a portion of Tract A-1, COMANCHE BUSINESS PARK zoned M-1 (SC) located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR NE containing approximately 15.701 acres. (G-16) Carol Toffaleti, Staff Planner

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1006865/07EPC 40066, a Site Development Plan for Building Permit, for Tract A-1, Comanche Business Park, zoned M-1 (SC), based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS:

1. The proposal is a site development plan for building permit for a site of approximately 15.7 acres located on Pan American Hwy North, between Comanche Rd. and Vassar Dr. NE, zoned M-1 (SC), which gives the EPC site development plan approval authority, but does not afford discretion over parking or other zoning code requirements.
2. Phase I includes a 2 story 93,686 sf carpenters' training center with an assembly hall for 550 people, parking and the main site drive for the development. Phase II includes a one-story, 19,435 sf restaurant, a 2-story, 76,000 sf office building, and a three-story, 57,072 sf office building and associated parking. The total square footage is 245,200 sf.. The applicant has included design guidelines and requests that approval of Phase II development be delegated to DRB.
3. A Traffic Impact Study (TIS) was completed on July 30, 2007, which recommends measures to mitigate the impacts of the development on the surrounding road network. A reevaluation of the affected intersections was submitted by the applicant based on the land uses in the current proposal, dated Nov. 13, 2007, which has been verified by the City Engineer/Transportation Development Section.

4. Mixed use shared parking calculations dated Nov. 13, 2007 were submitted by the applicant to satisfy a 20% reduction in the required provision. Code Enforcement has reviewed them and found them to be incomplete. The calculations are subject to acceptance and approval by Code Enforcement prior to DRB sign-off. A shared parking agreement is not necessary because the property is not being subdivided and is owned by one party.
5. The subject site is in the Established Urban area of the Comprehensive Plan. No Rank II or III standards apply.
6. The proposal furthers the following Comprehensive Plan goals and policies:
 - a. The Goal for the Established Urban area and Policy II.B.5a, because the mix of educational, office and restaurant uses broadens the range of land uses in the area and the architecture of the carpenters' training center will enhance the built environment.
 - b. Policy II.B.5e, because the development will occur on vacant land that is contiguous to existing urban facilities and services.
 - c. Policy II.B.5i, because the proposed employment uses will not adversely impact on residential environments, as the site does not abut residential properties.
 - d. The Economic Development and Education Goals and Policies II.D.6.a, II.D.6.b, II.D.6.c, II.D.7.a because the proposed training center, offices and restaurant expand employment and educational opportunities in the area.
7. The existing billboards (off-premise signs) are non-conforming uses, in terms of their proximity to the freeway and their location on a shopping center site, pursuant to Sections 14-16-3-5(B)(1)(1) and 14-16-3-2 of the Zoning Code. The applicant has stated that they will remain on the site.
8. Property-owners within 100' of the site were notified of the proposal. There are no neighborhood associations in the area. No comments have been received.
9. The subject site lies in the Express Corridor (I-25, including its frontage roads). The objective of the express corridor allows shared parking and parking reductions.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered by incorporating measures that use a portion of stormwater runoff from the site for irrigation and infiltration. These shall include improvements to the existing drainage channel along the south boundary of the site, to be coordinated with the City Hydrologist.
4. The site development plan shall include a design standard that furthers the Energy Management Goal, Section II.D.3 of the Comprehensive Plan.
5. Concerning the request for a 20% reduction in the required off-street parking provisions, pursuant to section 14-16-3-1(E)(6)(b) of the Zoning code:
 - a. The mixed use shared parking calculations shall be revised to provide all the required information and shall be accepted and approved by Code Enforcement prior to DRB sign-off.
 - b. Parking spaces in the gated service area shall be excluded from the mixed use shared parking calculations as they are effectively "reserved" spaces that cannot be shared by other users of the site.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Site drive intersecting Northbound I-25 Frontage Road to be designed per TIS and NMDOT requirements (includes deceleration lane). NMDOT approval required.
 - d. Internal drive aisles to be a minimum of 24' wide and 26' maximum, except the main drive aisle shall be 30 ft. wide, with concrete accent paving raised at the 3 indicated intersections and with parking restrictions.
 - e. Site plan shall comply and be designed per DPM Standards.

7. Revise the boundary of Phase I to exclude the row of parking spaces along the southern edge of the site drive in the area containing Building C.
8. Pedestrian connectivity shall be improved between Building B and C as shown on the alternate site development plan provided at the Planning Commission meeting. A connection from Building C to the east shall connect with Vassar Drive.
9. The outdoor patio of Building D (restaurant) shall be relocated so that it is not between two rows of parking. Outdoor patios of Buildings A (training center) and C (office) shall be relocated away from parking end aisles or be screened by dense evergreen foliage or wall. All outdoor patios shall comply with Section 14-16-3-18 (C)(4) of the Zoning Code.
10. A walkway shall be added along the south façade of Building C.
11. Refuse enclosures or compactors and recycle areas shall be provided to meet the requirements of the City Solid Waste Department.
12. Indicate chain link fences as existing.
13. Indicate height, length, material and color of retaining walls and include elevations to illustrate their design.
14. Correct inconsistencies between the number of parking spaces shown on the site layout and in the data table.
15. Dimensions of all parking spaces shall comply with zoning regulations (Sections 14-16-1-5 and 14-16-3-1).
16. Sheet A-1 shall be revised as follows:
 - a. Reword Design guidelines #2 and 3 as follows:
 - “2. The color, materials and architecture of buildings in Phase II shall match, or achieve a continuity of design with, Building A in Phase I. They shall have similar detailing of wall surfaces, canopies and fenestration.”
 - “3. Accent colors for trim shall match, or be compatible with, those of Building A/Phase I.”
 - b. Delete the last phrase in Design guideline #4, “unless screened...as the buildings.”
 - c. Eliminate duplication between Design guideline #8 and Note 5.
 - d. Insert the following text in the design guideline(s) concerning lighting: “Area lighting shall be supplemented by pedestrian-scale and/or building-mounted lighting, where necessary to illuminate walkways, building entrances and common areas. Fixtures shall be compatible with area lighting and building architecture.”
 - e. Eliminate any inconsistencies between design guideline #9 and actual signage shown on detail sheet.

- f. Note 3, replace "impervious surface" with "total lot area".
 - g. Note 6, move reference to "no illuminated plastic banding on signage" to design guideline #9.
 - h. Note 9, delete the phrase "except no structure shall exceed 65' in height".
17. Indicate any building-mounted lighting on the elevations for Building A.
18. Reduce the sign face area of the free-standing pylon sign to comply with SC zoning regulations.
19. The landscape plan shall be revised as follows:
- a. The total buildings area in the calculations shall be corrected.
 - b. The plant palette shall exclude sod and include a minimum of 25% low water use plants.
 - c. Include landscaping around Building C.
 - d. Adjust the location of street trees on Pan American Hwy to avoid conflict with the existing billboards.
 - e. Add retaining walls to the landscape plan and adjust the landscape design where appropriate.
 - f. Reflect opportunities for infiltration of stormwater runoff in the design of landscaping along the northwest boundary of the site.
20. Building C shall be moved closer to the main site drive

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

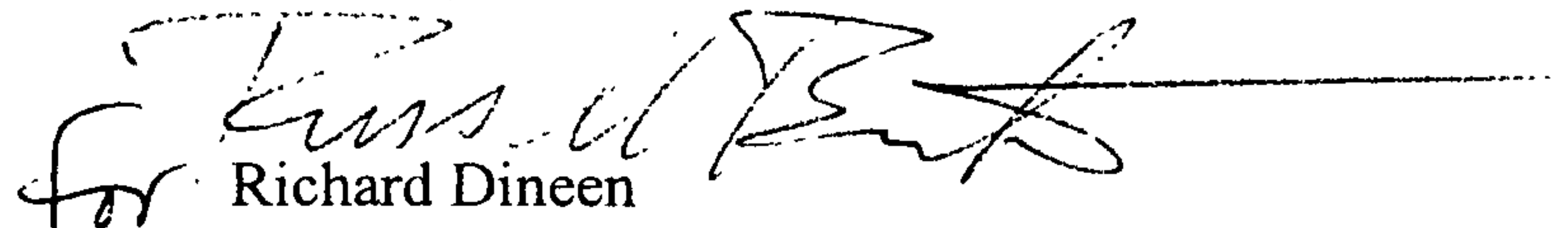
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1006865
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/CT/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Michael Buehler, 4100 Pan American FWY NE, Albuquerque, NM 87107

Done
5/22/14

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1006865

Application #: 14DRB-70148

Project Name: COMANCHE BUSINESS PARK

Agent: TIERRA WEST LLC

Phone #:

Your request was approved on 5-21-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

- TRANSPORTATION:
- ABCWUA:
- CITY ENGINEER / AMAFCA:
- PARKS / CIP:
- PLANNING (Last to sign):

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

→ 3 copies of the approved site plan. Include all pages.

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1006865

AGENDA ITEM NO: 8

SUBJECT:

FINAL PLAT
PRELIMINARY PLAT

ENGINEERING COMMENTS:

Cross access easements are required.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: OCTOBER 22, 2014

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1006865

AGENDA ITEM NO: 8

SUBJECT:

Plat

ENGINEERING COMMENTS:

Hydrology has no objection.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

Date: 10-22-13

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

October 22, 2014

DRB Comments


ITEM # 8

PROJECT # 1006865

APPLICATION # 14-70353

RE: Tract A-1-A, Comanche Business Park

Reciprocal/ Cross Lot Easements need to be noted on the Plat per the approved Site Plan for Subdivision; the 'Purpose of Plat' would need to reflect granting of easements, and owner's signature would need to be initialed and dated.



Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov