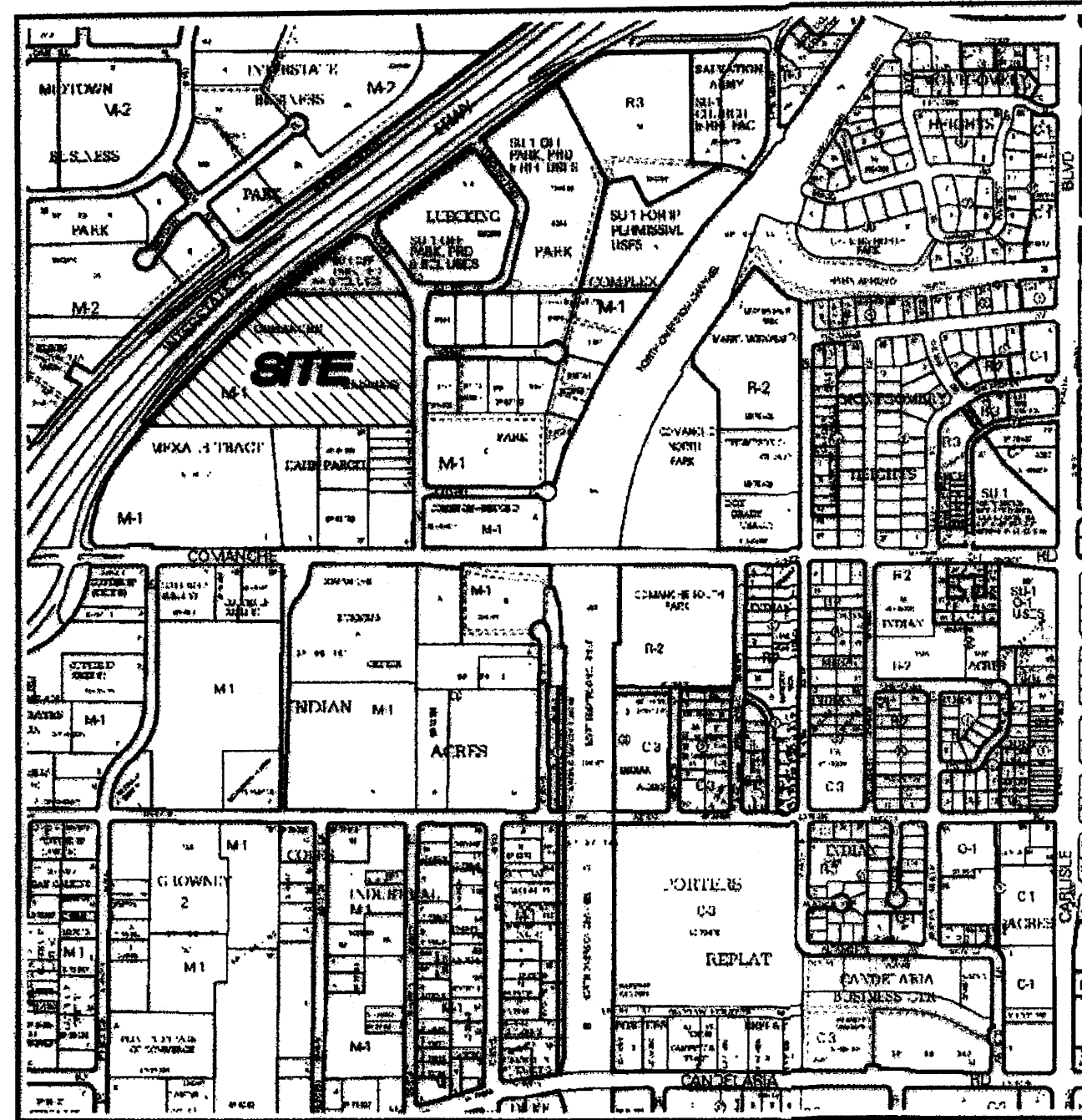


**PLAT OF
TRACT A-1-A
COMANCHE BUSINESS PARK**
(BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
SITUATE WITHIN
SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83) originated at the New Mexico State Highway Commission Monument "1-25-20".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" or a concrete nail with brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- U.C.L.S. Log Number: 2008223268
- City of Albuquerque Zone Atlas: Page G-16-Z

SUBDIVISION DATA

Total number of existing Tracts: 1
Total number of new Tracts created: 1
Gross Subdivision acreage: 15.7083 acres

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Listed Parcel
Mex Alb Corp A New Mexico
8/5/08 Date

[Signature]
Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- Create 1 New Tract from existing Tract "A-1", Comanche Business Park
- Grant the Public and Private Easements as shown hereon.
- Dedicate the additional street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants.

PROJECT NUMBER: 1006865

Application Number: 08 DRB- 70285

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> PNM Electric Services	July 21, 2008 Date
<i>[Signature]</i> PNM Gas Services	July 21, 2008 Date
<i>[Signature]</i> QWest Corporation	7/17/08 Date
<i>[Signature]</i> Comcast	6-19-08 Date

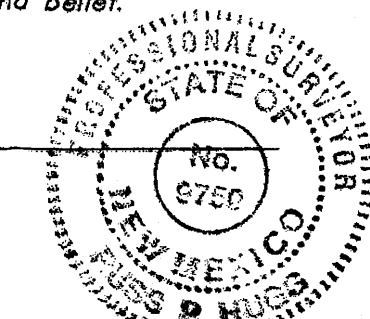
City Approvals:

<i>[Signature]</i> City Surveyor Department of Municipal Development	6-19-08 Date
N/A Real Property Division	Date
N/A Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	7-9-08 Date
<i>[Signature]</i> ABCWA	7-9-08 Date
<i>[Signature]</i> Parks and Recreation Department	7/9/08 Date
<i>[Signature]</i> AMAFCA	7/9/08 Date
<i>[Signature]</i> City Engineer	7/9/08 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	7-21-08 Date

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
June 4, 2008



SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-3377

**PLAT OF
TRACT A-1-A
COMANCHE BUSINESS PARK**
(BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
SITUATE WITHIN
SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008

LEGAL DESCRIPTION

Tract A-1, Comanche Business Park, within Section 3, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on plat entitled "PLAT OF TRACT A-1, COMANCHE BUSINESS PARK, ALBUQUERQUE, NEW MEXICO, SEPTEMBER, 1998" filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 14, 1998 in Plat Book 98C, Page 349.

Said parcel contains 15.7083 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF PLAT OF TRACT A-1-A, COMANCHE BUSINESS PARK (BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK) SITUATE WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional street right of way, as shown hereon, to the City Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	940.44' (940.37')	5607.00'	471.33'	939.34' (939.27')	N45°10'29"E (N45°10'51"E)	9°36'36" (9°36'33")
C2	184.08' (184.07')	417.00'	93.57'	182.59' (182.58')	S12°11'14"E (S12°11'12"E)	25°17'35" (25°17'29")
C3	92.17'	432.00'	46.26'	91.99'	N21°44'29"W	12°13'26"
C4	94.07'	335.00'	47.35'	93.76'	N07°35'07"W	16°05'19"
C5	26.83'	17.33'	16.94'	24.23'	N44°48'14"E	88°41'23"
C6	27.57'	17.24'	17.74'	24.73'	N45°21'36"W	91°38'18"
C7	214.58'	5607.00'	107.30'	214.57'	S48°53'00"W	2°11'34"
C8	22.55'	5607.00'	11.27'	22.55'	S47°40'19"W	0°13'49"
C11	20.62'	30.00'	10.74'	20.22'	S26°24'26"E	39°23'05"

LINE TABLE		
LINE	LENGTH	BEARING
L1	75.05	S00°27'33"W
L2	61.45	S01°12'16"W
L3	2.68	S89°38'15"E
L4	28.59	S01°12'16"W
L5	32.85	S01°12'16"W
L6	27.92	N89°59'20"E
L7	33.41	N89°59'20"E
L8	42.39	S00°00'00"W
L9	42.75	S00°00'40"E
L10	29.72	S06°46'53"E
L11	29.50	N00°00'00"E
L12	34.00	S00°00'00"E

OWNER

Southwest Regional Council of Carpenters

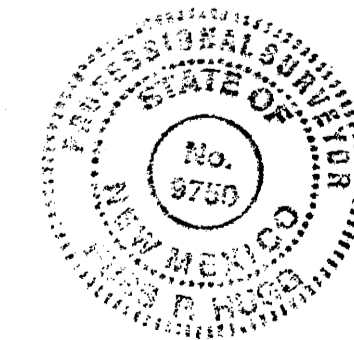
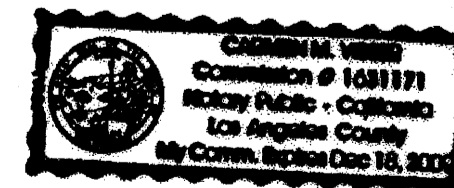
By: Randy J. Sowell
Randy J. Sowell, Director of Real Estate

ACKNOWLEDGMENT

STATE OF California
COUNTY OF Los Angeles SS

The foregoing instrument was acknowledged before me this 13th day of June, 2008, by Randy J. Sowell, Director of Real Estate, United Brotherhood of Carpenters & Joiners of America on behalf of the Southwest Regional Council of Carpenters

Charm M. Foster My commission expires December 18, 2009
Notary Public



NEW EASEMENTS

- (A) Public Water Line and Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (B) 20' Public Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (C) 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (D) Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- (E) 7' Public Utility Easement granted by this plat.
- (F) Private Access Easement granted for the benefit of Tract A-4A, Luecking Park Complex No. 2 and No. 3, by this plat. Maintenance of said easement to be the responsibility of the owners of said Tract A-4A and Tract A-1-A, Comanche Business Park, 0.4194 Ac.
- (G) Sidewalk Easement granted to the City of Albuquerque by this plat.
- (H) 5' Public Utility Easement granted by this plat.

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

**PLAT OF
TRACT A-1-A
COMANCHE BUSINESS PARK**
(BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
SITUATE WITHIN
SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008

NEW MEXICO STATE HIGHWAY COMMISSION
MONUMENT "1-25-20"
N.M. State Plane Coordinates
(Central Zone - NAD83)
North = 1,502,367.513
East = 1,530,649.760
Delta Alpha = -00°12'40.48"
Ground to Grid Factor = 0.999674593

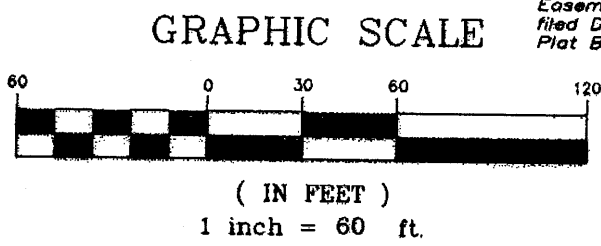
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C13	49.05'	159.37'	24.72'	48.86'	N51°38'42"E	17°38'08"
C14	372.02'	5436.21'	188.08'	371.95'	S44°48'34"W	3°55'16"
C15	210.74'	5607.00'	105.38'	210.73'	S41°26'47"W	2°09'12"
C16	24.79'	23.33'	13.71'	23.64'	S63°44'32"W	60°53'07"
C17	9.73'	30.00'	4.91'	9.69'	N75°12'22"W	18°34'59"
C18	11.82'	23.33'	6.04'	11.70'	S13°10'55"E	29°01'58"
C19	15.03'	5607.00'	7.51'	15.03'	S47°42'37"W	0°09'13"
C20	45.61'	30.00'	28.52'	41.34'	N89°39'06"W	87°06'16"
C21	74.42'	5607.00'	37.21'	74.42'	S47°10'35"W	0°45'38"
C22	418.16'	5607.00'	209.18'	418.06'	S44°39'35"W	4°16'23"

**INTERSTATE
PAN AMERICAN
HIGHWAY
FREEWAY**
(Right of Way Width Varies)

TRACT A-1-A
15.6299 Ac.

TRACT A-1
COMANCHE BUSINESS PARK
Filed December 14, 1998 in Plat Book 98C, Page 349

NOTE
This property is subject to a Blanket Public Drainage Easement as noted on the plat filed May 4, 1989 in Volume C39, Folio 34, granted by said plat with the understanding that the specific alignment and location will be determined upon the development of any of the lots subdivided on said plat, or the construction of Vassar Drive N.E. as dedicated on said plat, whichever comes first.



Existing 10' Public Utility Easement granted by plat filed December 14, 1998 in Plat Book 98C, Page 349.

Found 5/8" rebar w/alum. disk stamped "LS 11184"

Variable width Drainage Easement as shown on plat filed April 26, 1976 in Volume D7, Folio 22.

Variable width Drainage Easement as shown on plat filed February 8, 1974 in Volume D6, Folio 22.

TRACT 1
MEXALB TRACT
Filed April 26, 1976 in Volume D7, Folio 22

PARCEL 1
HAHN PARCEL
Filed June 16, 1982 in Volume C19, Folio 171

DOCH 2008088162
08/05/2008 04:16 PM Page: 3 of 4
PLAT R: 22.00 B: 2008C P: 0172 M. Toulous Oliveira, Bernalillo Cour

SHEET 3 OF 4

SURVOTEK, INC.
Consulting Surveyors
8584 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

NEW MEXICO STATE HIGHWAY COMMISSION
MONUMENT "1-25-20"
N.M. State Plane Coordinates
(Central Zone - NAD83)
North = 1,502,367.313
East = 1,530,649.760
Delta Alpha = -00°12'40.48"
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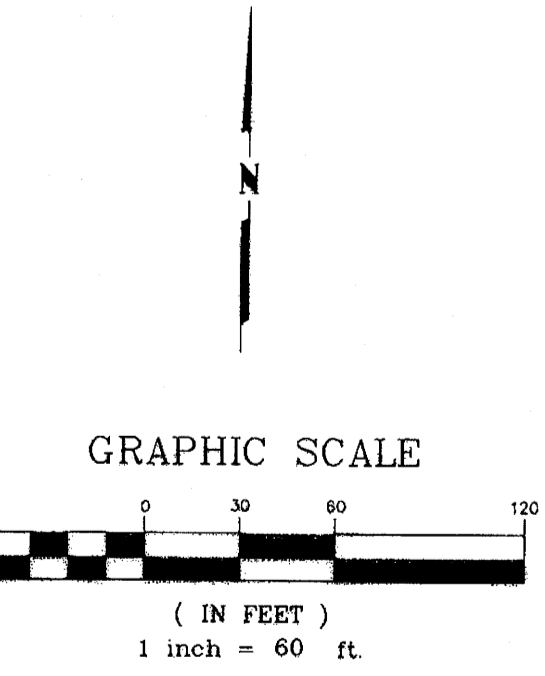
TRACT A-4A
LUECKING PARK COMPLEX
NO. 2 AND NO. 3
Filed September 14, 2000 in Plat Book 2000C, Page 41

PLAT OF
TRACT A-1-A
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SITUATE WITHIN
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NEW MEXICO PRINCIPAL MERIDIAN
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BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008

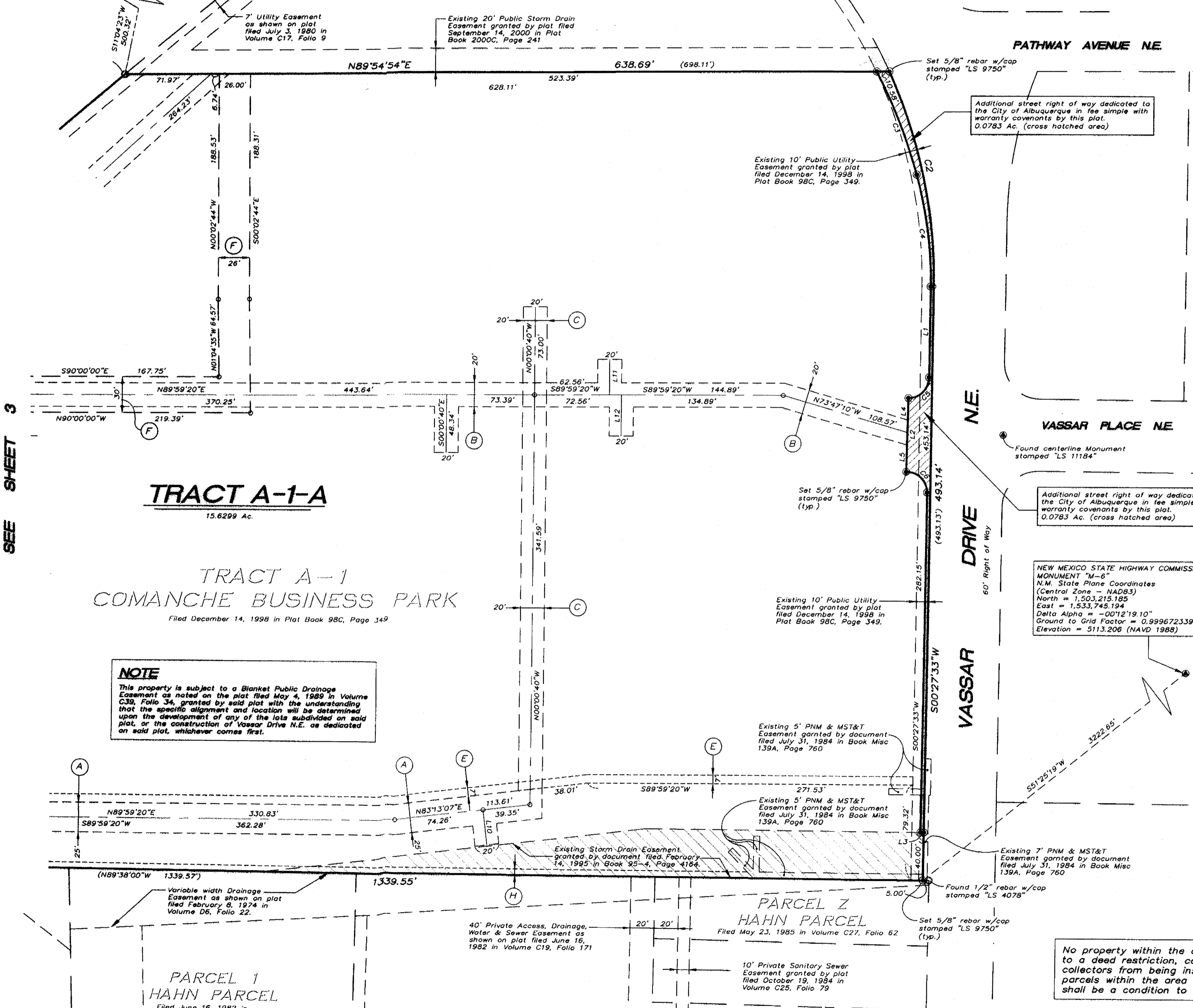
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LINE	LENGTH	BEARING
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L14	47.36	N44°26'12"E
L15	6.70	N68°27'11"E
L16	27.78	S00°00'40"E
L17	40.79	S00°00'04"W



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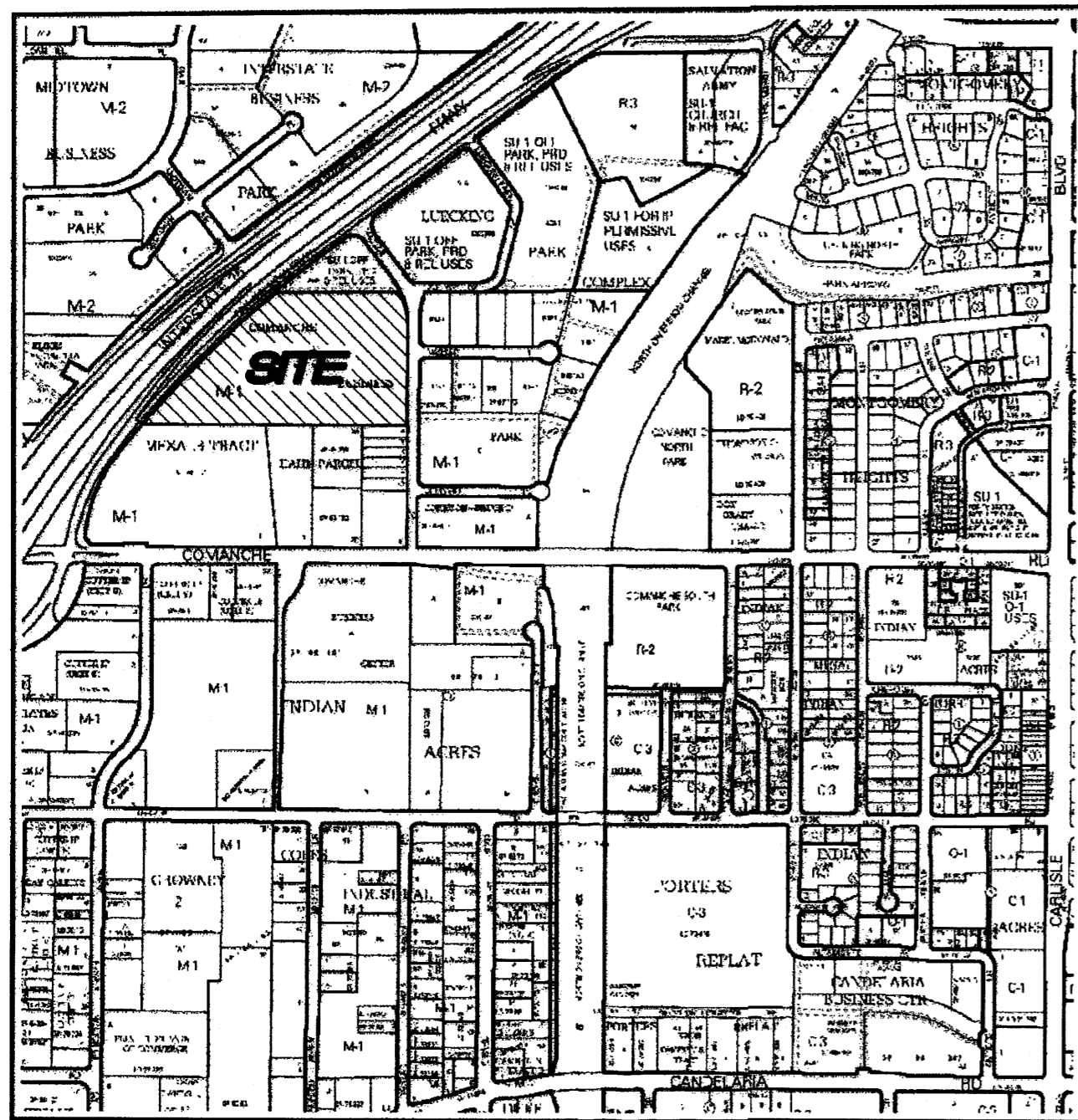
SEE SHEET 3

DOC# 2008088162
08/05/2008 04:16 PM Page: 4 of 4
L\PLAT R:\22.00 B: 2008C P: 0172 M. Taulous Olivera, Bernalillo Coar.

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
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**PLAT OF
TRACT A-1-A
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**SITUATE WITHIN
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JUNE, 2008



**VICINITY MAP
NOT TO SCALE**

GENERAL NOTES

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- U.C.L.S. Log Number: 2008223268
- City of Albuquerque Zone Atlas: Page G-16-Z

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Total number of new Tracts created: 1
Gross Subdivision acreage: 15.7083 acres

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This is to certify that taxes are current and paid on the following:

_____ Date

Bernalillo County Treasurer

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DISCLAIMER

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PURPOSE OF PLAT:

The Purpose of this plat is to:

- Create 1 New Tract from existing Tract "A-1", Comanche Business Park
- Grant the Public and Private Easements as shown hereon.
- Dedicate the additional street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants.

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals:

 _____ **6-19-08**
City Surveyor _____ Date _____
Department of Municipal Development _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

ABCWJA _____ Date _____

Parks and Recreation Department _____ Date _____

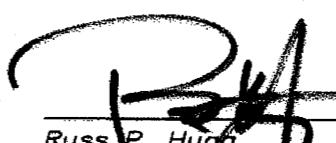
AMA FCA _____ Date _____

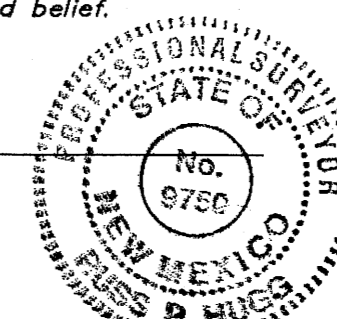
City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

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I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.


Russ P. Hugg
NMPS No. 9750
June 4, 2008



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 (BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
 SITUATE WITHIN
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 JUNE, 2008

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Said parcel contains 15.7083 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF PLAT OF TRACT A-1-A, COMANCHE BUSINESS PARK (BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK) SITUATE WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional street right of way, as shown hereon, to the City Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	940.44' (940.37')	5607.00'	471.33'	939.34' (939.27')	N45°10'29"E (N45°10'51"E)	9°36'36" (9°36'33")
C2	184.08' (184.07')	417.00'	93.57'	182.59' (182.58')	S12°11'14"E (S12°11'12"E)	25°17'35" (25°17'29")
C3	92.17'	432.00'	46.26'	91.99'	N21°44'29"W	12°13'26"
C4	94.07'	335.00'	47.35'	93.76'	N07°35'07"W	16°05'19"
C5	26.83'	17.33'	16.94'	24.23'	N44°48'14"E	88°41'23"
C6	27.57'	17.24'	17.74'	24.73'	N45°21'36"W	91°38'18"
C7	214.58'	5607.00'	107.30'	214.57'	S48°53'00"W	2°11'34"
C8	22.55'	5607.00'	11.27'	22.55'	S47°40'19"W	0°13'49"
C9	58.24'	5607.00'	29.12'	58.24'	S47°15'33"W	0°35'43"
C10	645.07'	5607.00'	322.89'	644.71'	S43°39'56"W	6°35'30"
C11	20.62'	30.00'	10.74'	20.22'	S26°24'26"E	39°23'05"
C12	28.23'	30.00'	15.26'	27.20'	N73°03'27"W	53°54'58"

LINE TABLE		
LINE	LENGTH	BEARING
L1	75.05	S00°27'33"W
L2	61.45	S01°12'16"W
L3	2.68	S89°38'15"E
L4	28.59	S01°12'16"W
L5	32.85	S01°12'16"W
L6	27.92	N89°59'20"E
L7	33.41	N89°59'20"E
L8	42.39	S00°00'00"W
L9	42.75	S00°00'40"E
L10	29.72	S06°46'53"E
L11	29.50	N00°00'00"E
L12	34.00	S00°00'00"E

OWNER

Southwest Regional Council of Carpenters

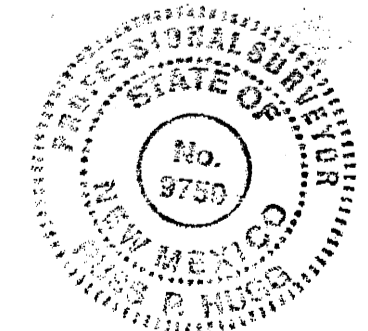
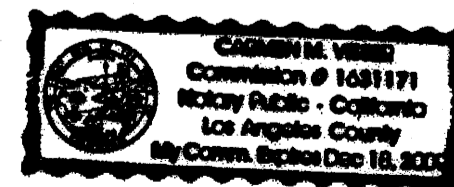
By: Randy J. Sowell
Randy J. Sowell, Director of Real Estate

ACKNOWLEDGMENT

STATE OF California
COUNTY OF Los Angeles SS

The foregoing instrument was acknowledged before me this 13th
day of June, 2008, by Randy J. Sowell, Director
of Real Estate, United Brotherhood of Carpenters & Joiners of America
on behalf of the Southwest Regional Council of Carpenters

Carroll M. Kiser My commission expires December 18, 2009
Notary Public



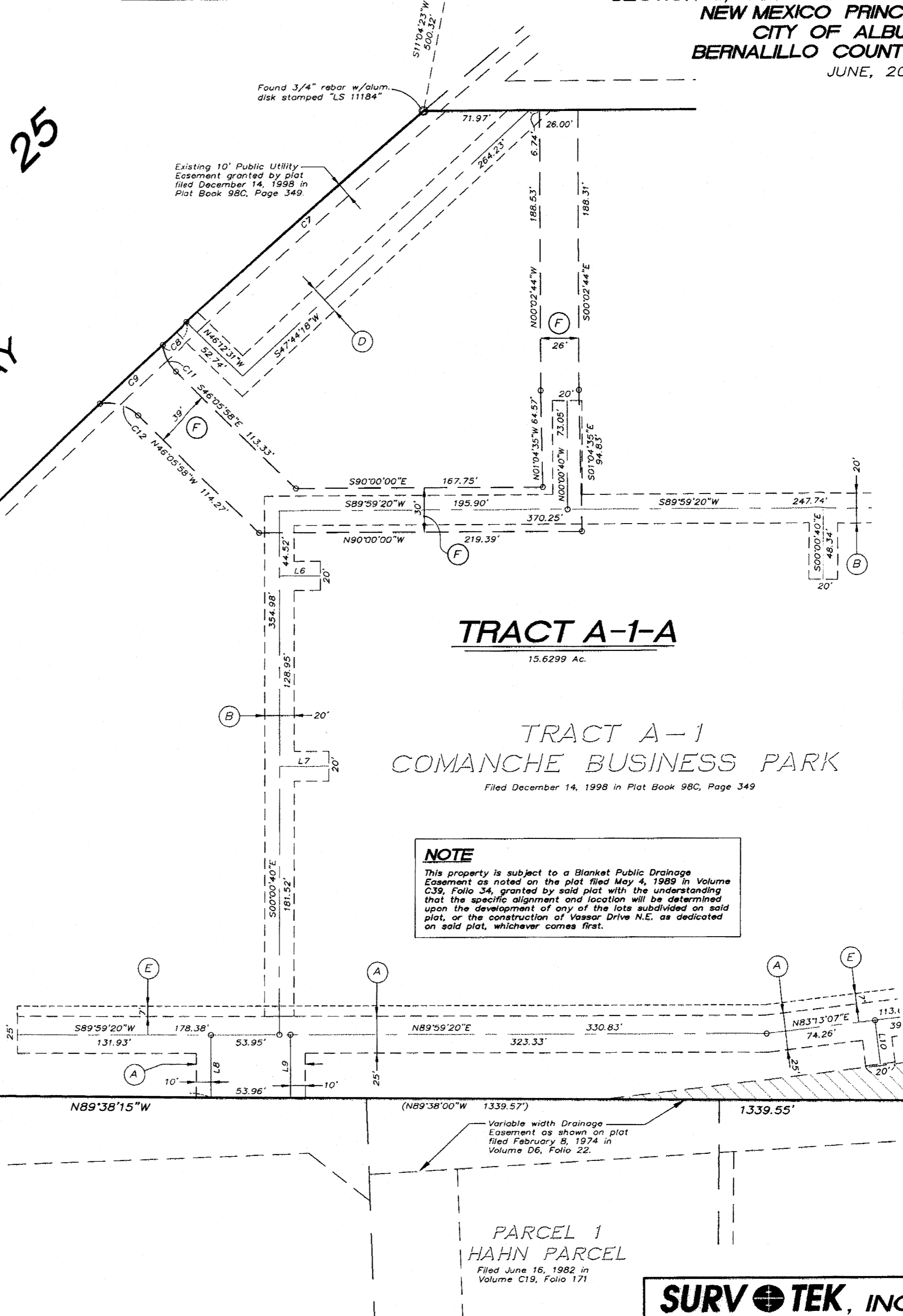
NEW EASEMENTS

- (A) Public Water Line and Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (B) 20' Public Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (C) 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (D) Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- (E) 7' Public Utility Easement granted by this plat.
- (F) Private Access Easement granted for the benefit of Tract A-4A, Luecking Park Complex No. 2 and No. 3, by this plat. Maintenance of said easement to be the responsibility of the owners of said Tract A-4A and Tract A-1-A, Comanche Business Park, 0.4175 Ac.

NEW MEXICO STATE HIGHWAY COMMISSION
 MONUMENT 1-25-20'
 N.M. State Plane Coordinates
 (Central Zone - NAD83)
 North = 1,502,367.513
 East = 1,530,649.760
 Delta Alpha = -00°12'40.48"
 Ground to Grid Factor = 0.999674593

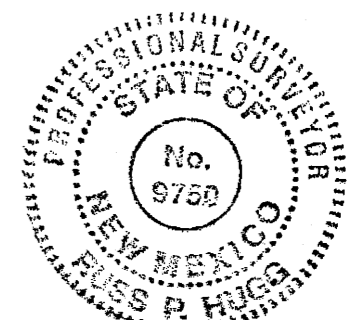
PLAT OF
TRACT A-1-A
COMANCHE BUSINESS PARK
 (BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
 SITUATE WITHIN
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2008

INTERSTATE PAN AMERICAN HIGHWAY NO. 25
 (Right of Way Width Varies)
AMERICAN FREEWAY



NOTE
 This property is subject to a Blanket Public Drainage Easement as noted on the plat filed May 4, 1989 in Volume C39, Folio 34, granted by said plat with the understanding that the specific alignment and location will be determined upon the development of any of the lots subdivided on said plat, or the construction of Vassar Drive N.E. as dedicated on said plat, whichever comes first.

SEE SHEET 4



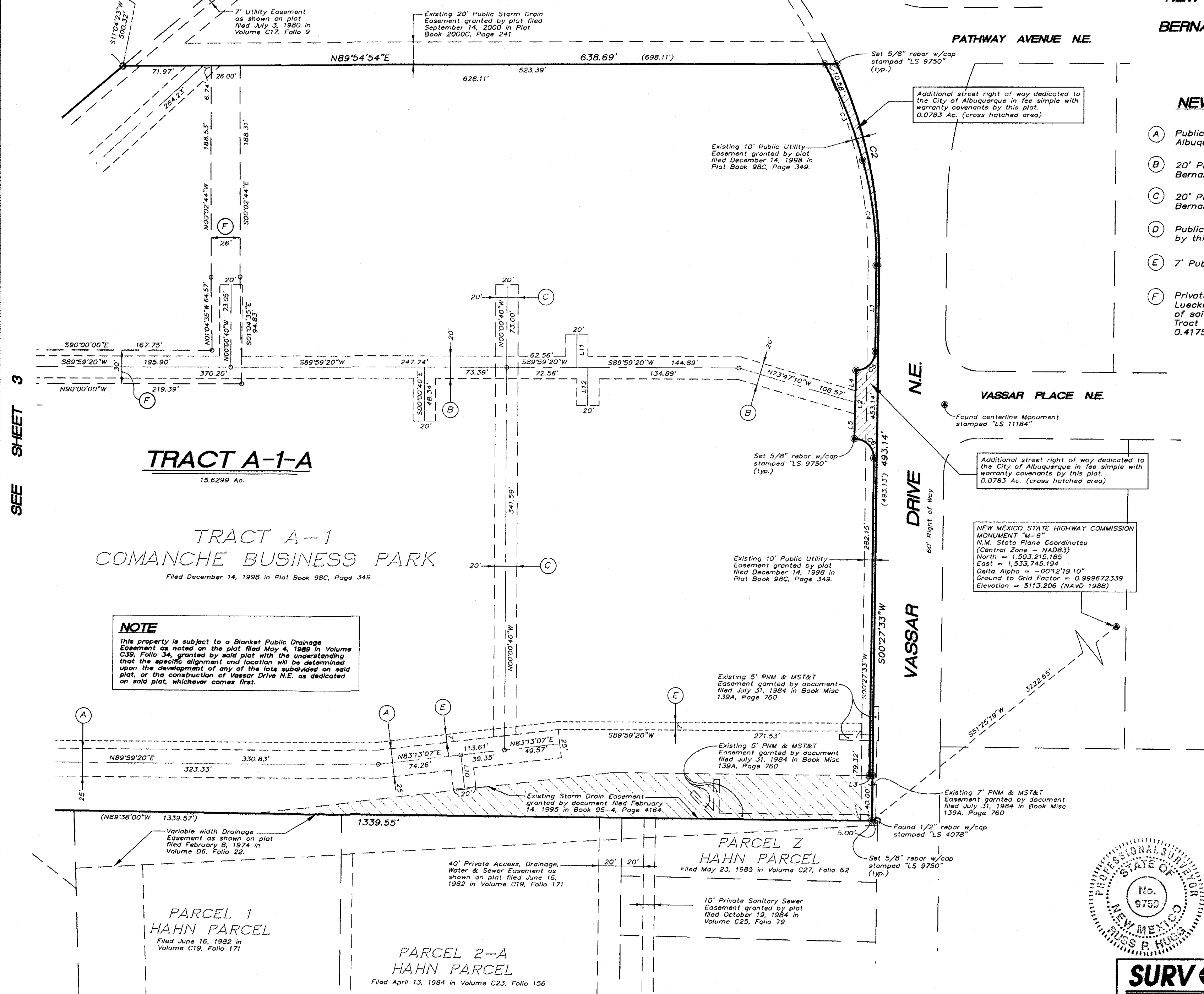
SHEET 3 OF 4

SURVTEK, INC.
 Consulting Surveyors
 9394 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

NEW MEXICO STATE HIGHWAY COMMISSION
 MONUMENT "1-25-20"
 N.M. State Plane Coordinates
 (Central Zone - NAD83)
 North = 1,502,367.513
 East = 1,530,849.760
 Delta Alpha = -00°12'40.48"
 Ground to Grid Factor = 0.999674593

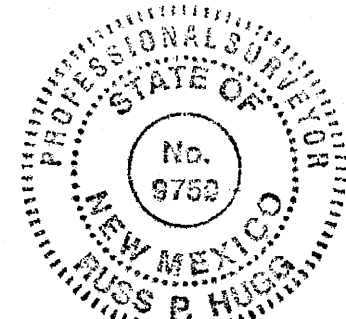
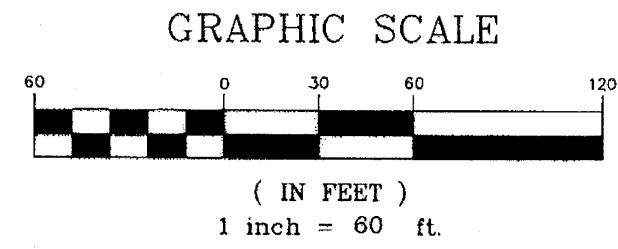
TRACT A-4A
 LUECKING PARK COMPLEX
 NO. 2 AND NO. 3
 Filed September 14, 2000 in Plat Book 2000C, Page 41

PLAT OF
 TRACT A-1-A
 COMANCHE BUSINESS PARK
 (BEING A REPLAT OF TRACT A-1, COMANCHE BUSINESS PARK)
 SITUATE WITHIN
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2008

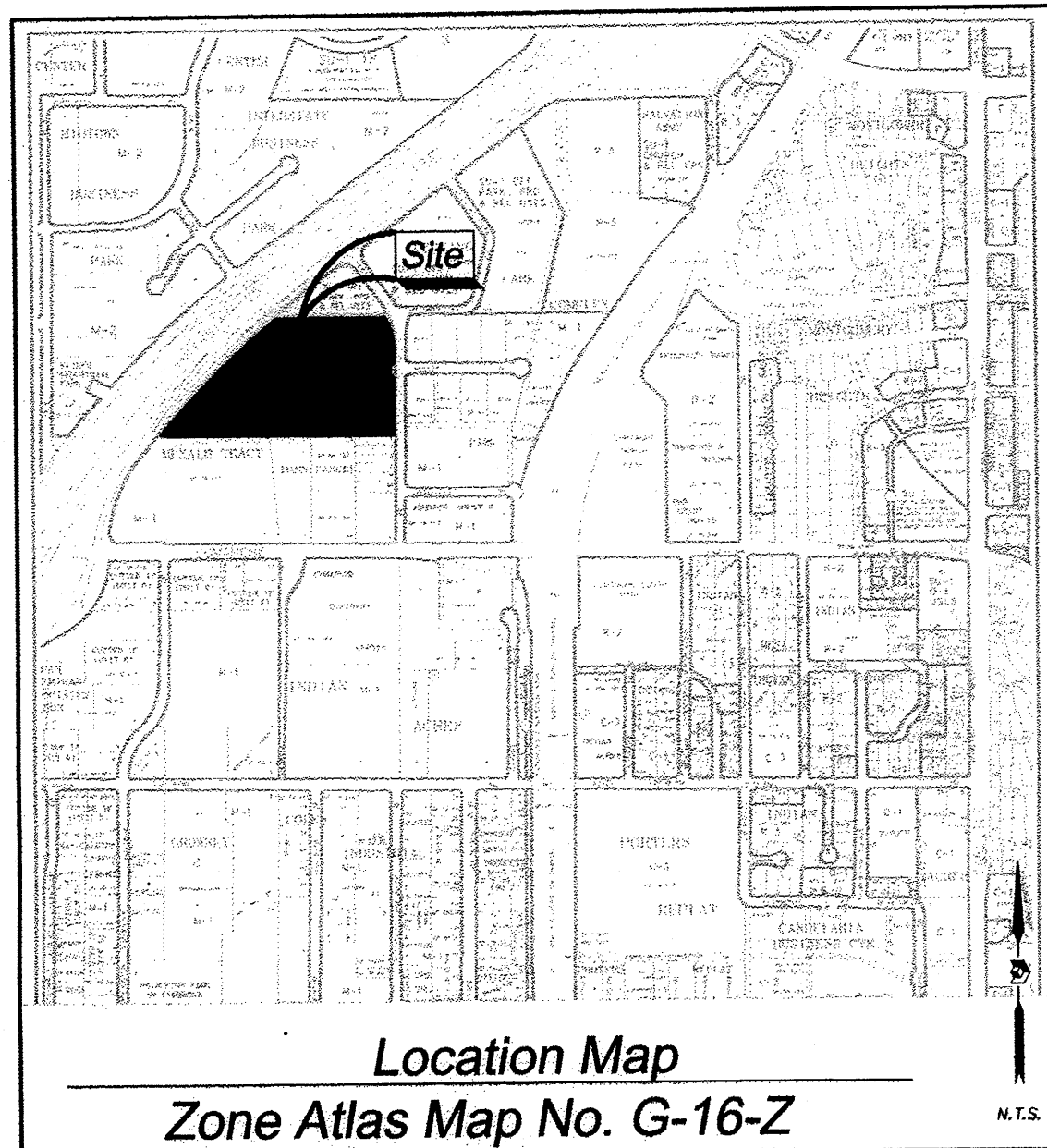


- NEW EASEMENTS**
- (A) Public Water Line and Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
 - (B) 20' Public Water Line Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
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 - (D) Public Storm Drain Easement granted to the City of Albuquerque by this plat.
 - (E) 7' Public Utility Easement granted by this plat.
 - (F) Private Access Easement granted for the benefit of Tract A-4A, Luecking Park Complex No. 2 and No. 3, by this plat. Maintenance of said easement to be the responsibility of the owners of said Tract A-4A and Tract A-1-A, Comanche Business Park, 0.4175 Ac.

NEW MEXICO STATE HIGHWAY COMMISSION
 MONUMENT "4-6"
 N.M. State Plane Coordinates
 (Central Zone - NAD83)
 North = 1,503,215.185
 East = 1,533,745.194
 Delta Alpha = -00°12'19.10"
 Ground to Grid Factor = 0.999672339
 Elevation = 5113.206 (NAVD 1988)



P:\Rusty\080285\dwg\080285.dwg, 6/18/2008 7:06:02 AM, HP1050C_2.pc3



Subdivision Data:

ZONING: M-1
 GROSS SUBDIVISION ACREAGE: 15.7083 ACRES±
 ZONE ATLAS INDEX NO: G-16-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 4
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: SEPTEMBER 16, 2014

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO FOUR NEW LOTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

TRACT A-1-A, COMANCHE BUSINESS PARK, WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON PLAT ENTITLED "PLAT OF TRACT A-1-A, COMANCHE BUSINESS PARK, ALBUQUERQUE, NEW MEXICO, SEPTEMBER, 1998" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 05, 2008 IN PLAT BOOK 2008C, PAGE 0172.

SAID PARCEL CONTAINS 15.7083 ACRES, MORE OR LESS.

Plat of
 Lots 1, 2, 3 and 4
SRCC Albuquerque
Carpenters Training Center
 (A Subdivision of Tract A-1-A Comanche Business Park)
 Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 September 2014

Project No. _____

Application No. 14DRB-_____

Utility Approvals

<i>Fernando Vigil</i>	10-13-14
PNM	DATE
<i>[Signature]</i>	10-20-14
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
<i>[Signature]</i>	10/20/14
COMCAST	DATE

City Approvals

<i>[Signature]</i>	9/25/14
Acting CITY SURVEYOR	DATE
<i>[Signature]</i>	10-22-14
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>[Signature]</i>	10/22/14
A.B.C.W.U.A.	DATE
<i>[Signature]</i>	10/22/14
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	10-22-14
AMAFCA	DATE
<i>[Signature]</i>	10-22-14
CITY ENGINEER	DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 9/17/14
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION CARPENTERS TRAINING CENTER

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

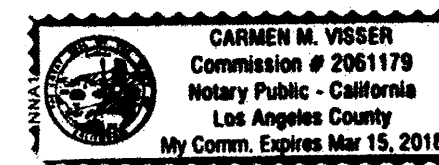
[Signature] 9/22/14
 DATE
 SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 RANDY J. SOWELL, DIRECTOR OF REAL ESTATE,
 FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRC

Acknowledgment

STATE OF CALIFORNIA)
 COUNTY OF LOS ANGELES) SS

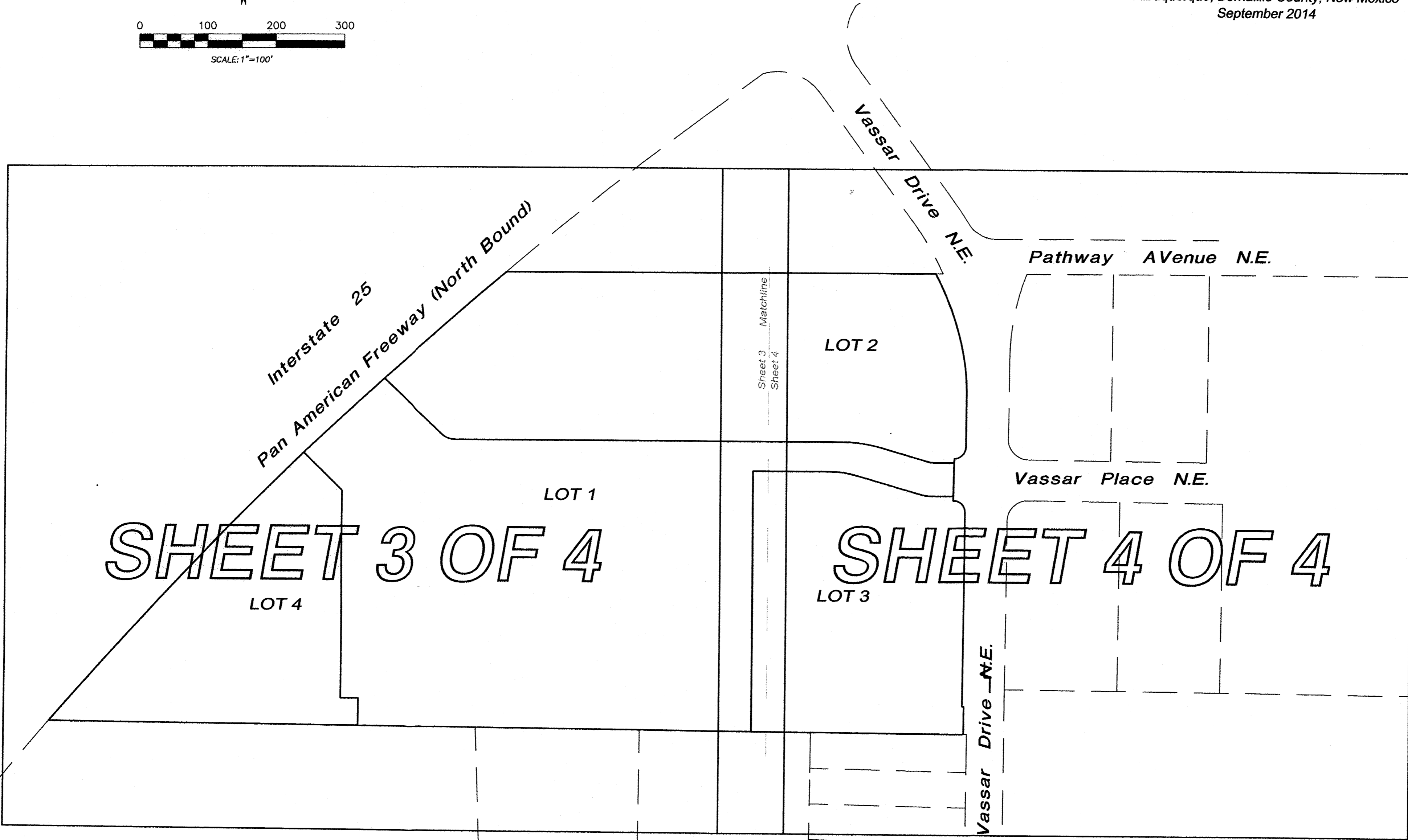
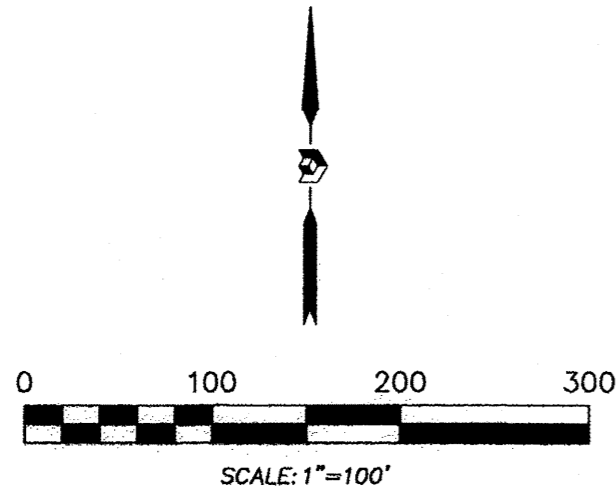
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF September, 2014 BY
 RANDY J. SOWELL, DIRECTOR OF REAL ESTATE, FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRC

[Signature]
 MY COMMISSION EXPIRES: March 15, 2018
 NOTARY PUBLIC



RECORDING STAMP

Plat of
Lots 1, 2, 3 and 4
SRCC Albuquerque
Carpenters Training Center
(A Subdivision of Tract A-1-A Comanche Business Park)
Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
September 2014



SHEET 3 OF 4

SHEET 4 OF 4

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

INDEXING INFORMATION FOR COUNTY CLERK
OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CARPENTER'S TRAINING CENTER

505.856.5700 PHONE
505.856.7900 FAX

Sheet 2 of 4

146123P

Plat of

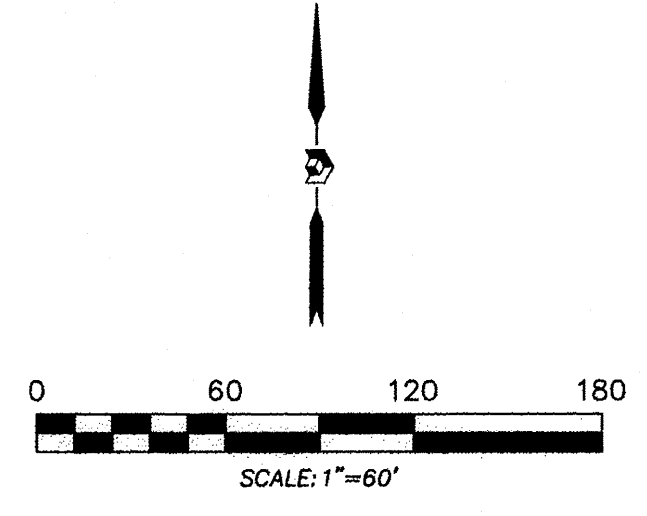
Lots 1, 2, 3 and 4

SRCC Albuquerque Carpenters Training Center

(A Subdivision of Tract A-1-A Comanche Business Park)
Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
September 2014

RECORDING STAMP

A.G.R.S. MONUMENT "L25_20"
STANDARD 3 1/4" ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,302,387.91
E=1,530,649.76
PUBLISHED EL=N/A (NAVD 1988)
GROUND TO GRID FACTOR=0.999674593
DELTA ALPHA ANGLE=-012°40.48"



NOTE:

1. PROPERTY SUBJECT TO BLANKET PUBLIC DRAINAGE EASEMENT AS NOTED ON THE PLAT FILED MAY 4, 1989 IN VOLUME C39, FOLIO 34, GRANTED BY SAID PLAT WITH THE UNDERSTANDING THAT THE SPECIFIC ALIGNMENT AND LOCATION WILL BE DETERMINED UPON THE DEVELOPMENT OF ANY OF THE LOTS SUBDIVIDED ON SAID PLAT, OR THE CONSTRUCTION OF VASSAR DR. N.E. AS DEDICATED ON SAID PLAT, WHICHEVER COMES FIRST.
2. PRIVATE COMMON PARKING, PEDESTRIAN, AND VEHICULAR ACCESS EASEMENT ACROSS TRACTS 1, 2 AND 4 FOR THE BENEFIT OF EACH TRACT, TO BE MAINTAINED BY THE OWNER OF EACH TRACT, GRANTED BY THIS PLAT.

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
○	MEASURED BEARINGS AND DISTANCES MATCH RECORD PLAT
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Interstate 25
VARIABLE WIDTH R/W

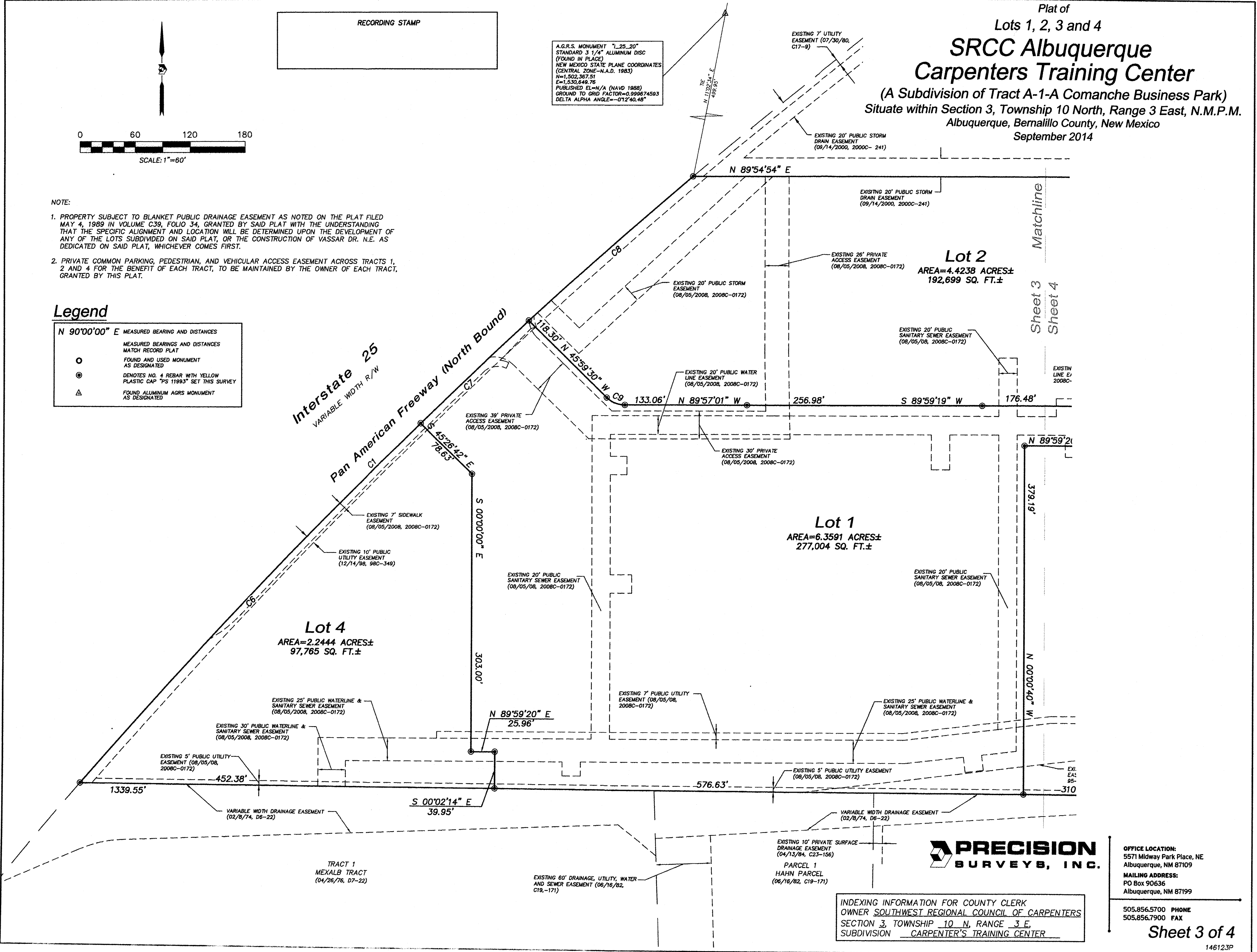
Pan American Freeway (North Bound)

Lot 4
AREA=2.2444 ACRES±
97,765 SQ. FT.±

Lot 1
AREA=6.3591 ACRES±
277,004 SQ. FT.±

Lot 2
AREA=4.4238 ACRES±
192,699 SQ. FT.±

Matchline
Sheet 3
Sheet 4



PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

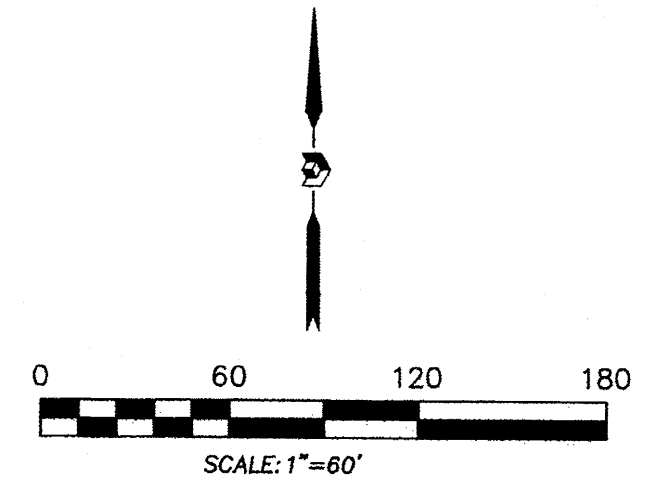
505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CARPENTER'S TRAINING CENTER

© 1994-2014, Precision Surveys, Inc. All Rights Reserved. 10/22/2014 11:25:29 AM, HP DesignPlot 7770, User: HRCG

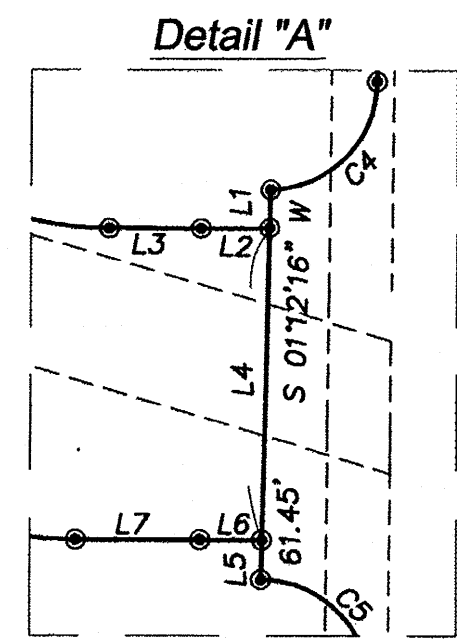
RECORDING STAMP

Plat of
 Lots 1, 2, 3 and 4
SRCC Albuquerque
Carpenters Training Center
 (A Subdivision of Tract A-1-A Comanche Business Park)
 Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 September 2014



Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	RECORD BEARINGS AND DISTANCES MATCH MEASURED
⊙	FOUND AND USED MONUMENT AS DESIGNATED
⊙	REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



Line Table

LINE	BEARING	DISTANCE
L1	S 01°12'16" W	6.14'
L2	S 89°48'41" W	10.90'
L3	N 89°57'17" W	14.63'
L4	S 01°12'16" W	49.09'
L5	S 01°12'16" W	6.22'
L6	N 89°44'46" W	9.86'
L7	S 89°59'20" W	19.81'
L8	S 89°38'15" E	2.76'

Curve Table

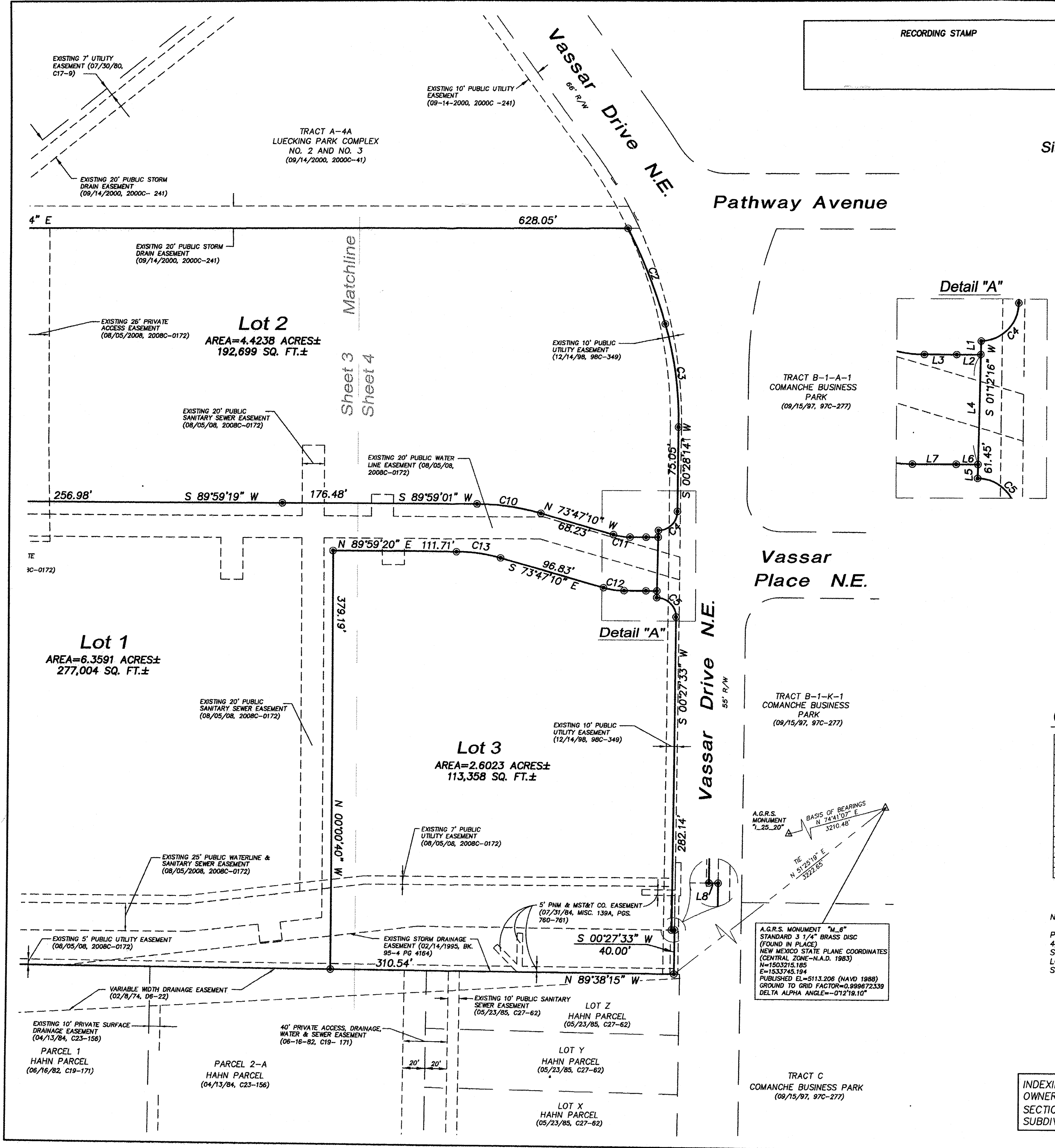
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	5607.00'	940.44'	9°36'36"	S 45°10'29" W	939.34'	471.33'
C2	432.99'	92.19'	12°11'56"	S 21°46'57" E	92.01'	46.27'
C3	314.40'	94.11'	17°09'03"	S 07°34'41" E	93.76'	47.41'
C4	17.33'	26.81'	88°38'55"	S 44°46'32" W	24.22'	16.93'
C5	17.24'	27.50'	91°24'35"	S 45°12'22" E	24.68'	17.67'
C6	5607.00'	541.86'	5°32'14"	N 43°08'18" E	541.65'	271.14'
C7	5607.00'	161.44'	1°38'59"	N 46°43'54" E	161.43'	80.72'
C8	5607.00'	237.14'	2°25'24"	N 48°46'05" E	237.12'	118.59'
C9	28.50'	21.84'	43°54'46"	S 68°03'17" E	21.31'	11.49'
C10	206.50'	58.48'	16°13'30"	S 81°53'56" E	58.28'	29.44'
C11	53.50'	15.15'	16°13'30"	S 81°53'55" E	15.10'	7.63'
C12	66.50'	18.83'	16°13'30"	S 81°53'55" E	18.77'	9.48'
C13	143.49'	40.64'	16°13'31"	S 81°53'56" E	40.50'	20.45'

NOTE:
 PROPERTY SUBJECT TO BLANKET PUBLIC DRAINAGE EASEMENT AS NOTED ON THE PLAT FILED MAY 4, 1989 IN VOLUME C39, FOLIO 34, GRANTED BY SAID PLAT WITH THE UNDERSTANDING THAT THE SPECIFIC ALIGNMENT AND LOCATION WILL BE DETERMINED UPON THE DEVELOPMENT OF ANY OF THE LOTS SUBDIVIDED ON SAID PLAT, OR THE CONSTRUCTION OF VASSAR DR. N.E. AS DEDICATED ON SAID PLAT, WHICHEVER COMES FIRST.

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION CARPENTER'S TRAINING CENTER

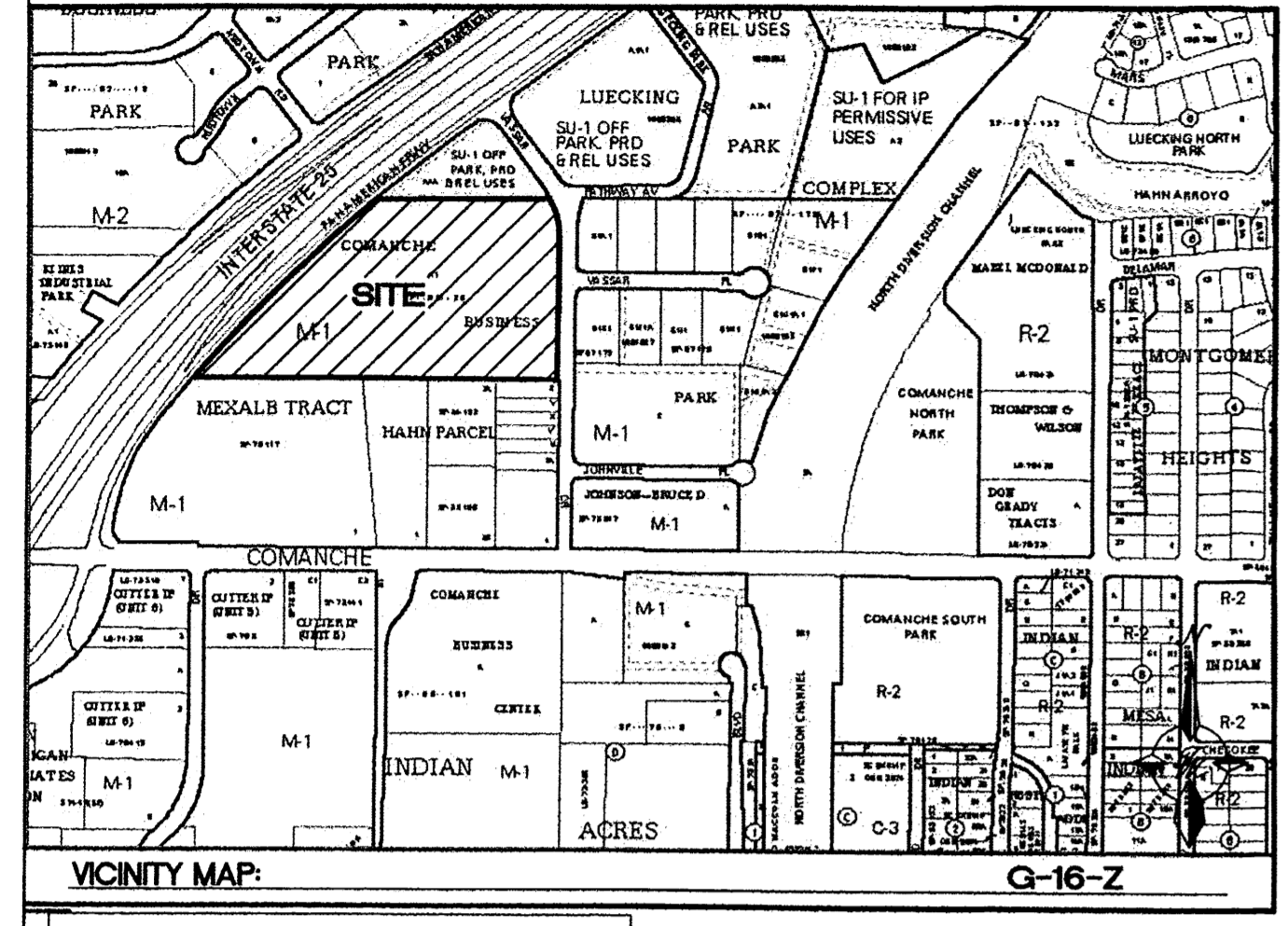


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PROJECT #: 1009865
 DATE: 5-21-14
 APP#: 14-70478(P5)

SITE DATA TABLE

LOTS	LOT SIZE	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	SHARED PARKING	PROV. 7AM-6PM	PROV. 6PM-12AM	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MAX. BLDG. HEIGHT	STORY	PATIO AREA	MAX FAR
1	6.36 Ac	93,686	OFFICE & TRAINING ASSEMBLY	M-1 (SC)	180	113	90%	162	5%	9	8	2	2	9	10	5	6	50'	2	1,200 SF	.35
2	4.42 Ac	76,000	RETAIL/OFFICE(FUTURE)	M-1 (SC)	317	277	100%	317	50%	159	8	8	2	15	10	6	6	50'	2	800 SF	.35
3	2.60 Ac	57,072	RETAIL/OFFICE(FUTURE)	M-1 (SC)	221	180	100%	221	50%	111	8	8	2	11	10	5	6	65'	3	400 SF	.35
4	2.24 Ac	19,435	RESTAURANT(S)(FUTURE)	M-1 (SC)	235	224	70%	165	100%	235	8	8	2	8	10	5	5	36'	1	400 SF	.35
TOTAL	15.63 Ac	245,193			1091	881	865	651		32	32	8	8	43	45	21	23			2,800 SF	



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

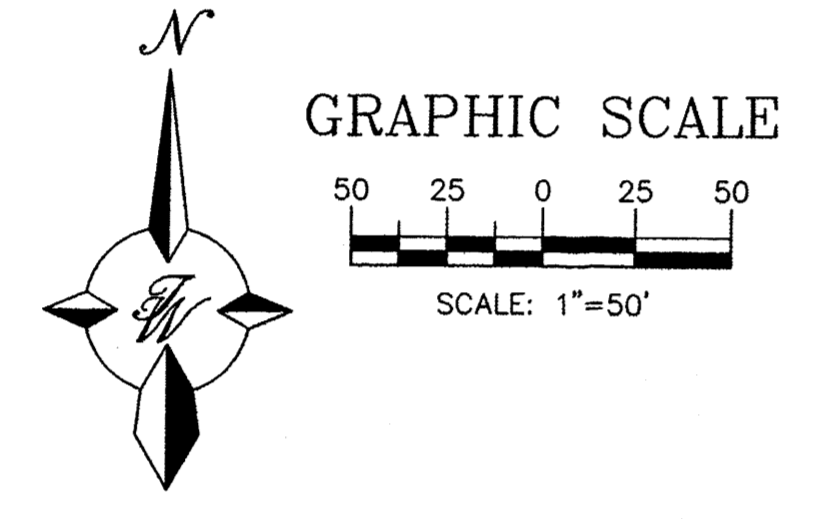
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

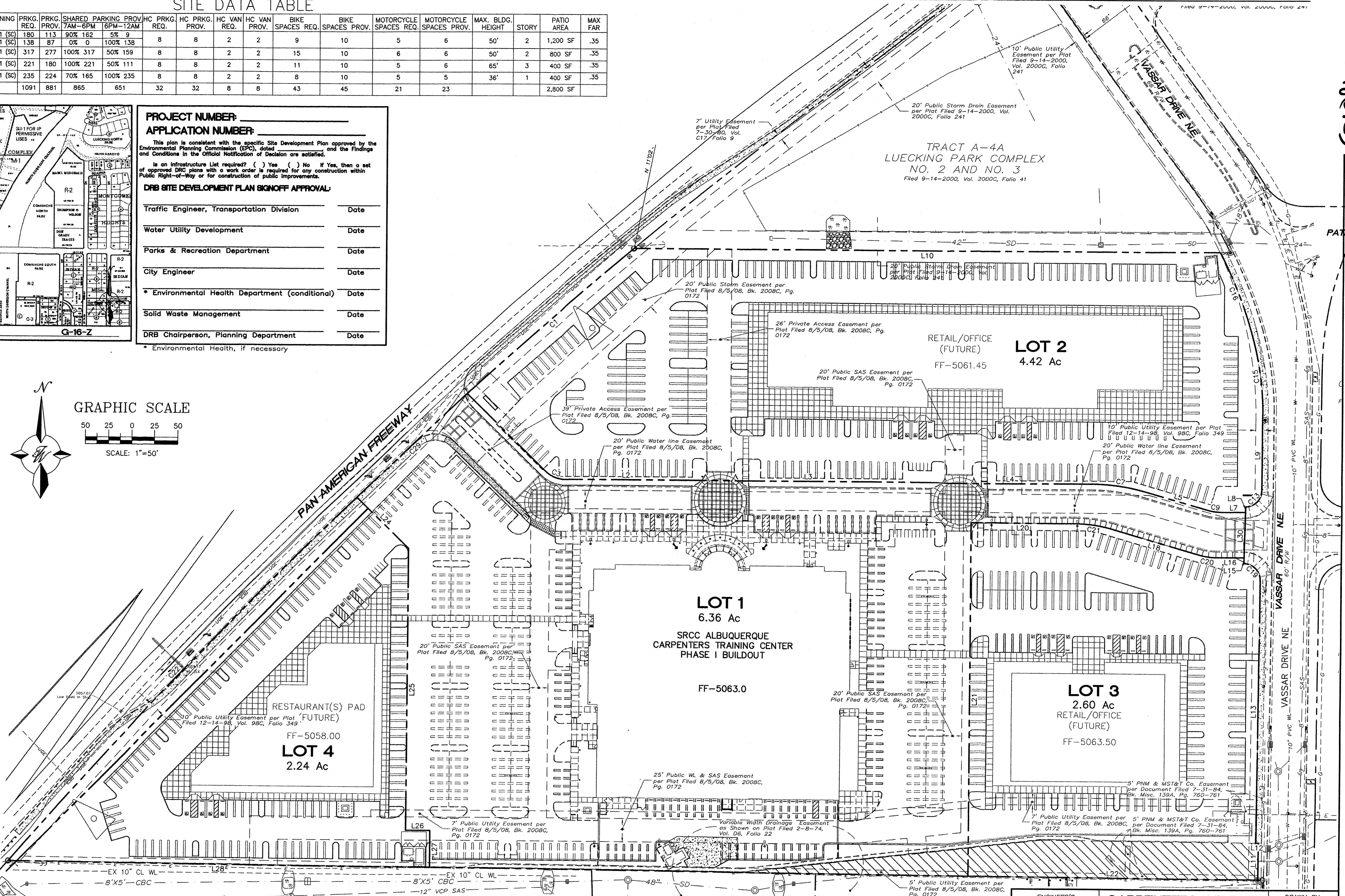
Curve Table

Curve #	Length	Radius	Delta
C22	541.863	5607.000	5.5371
C16	92.189	432.989	12.1990
C15	94.112	314.399	17.1508
C13	26.813	17.330	88.6486
C9	15.150	53.500	16.2249
C7	58.477	206.503	16.2249
C3	21.842	28.499	43.9127
C1	237.139	5607.000	2.4232
C21	40.635	143.494	16.2253
C20	18.831	66.497	16.2249
C19	27.505	17.240	91.4099
C29	161.438	5607.000	1.6497

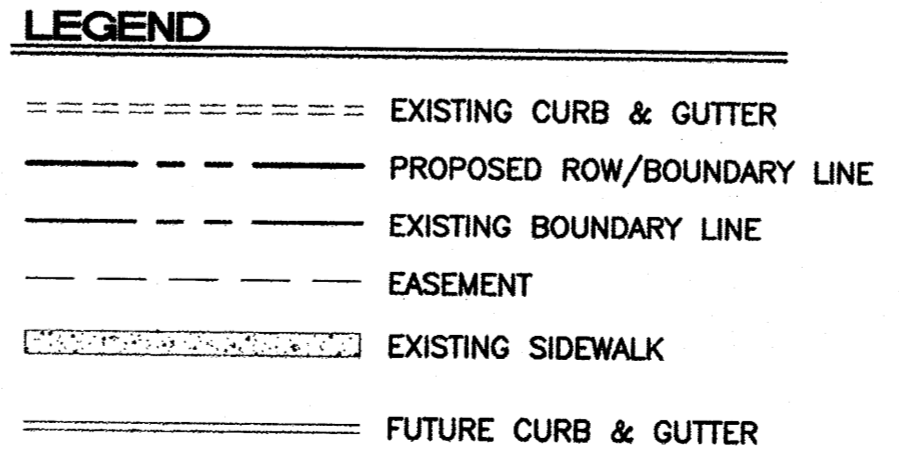


Line Table

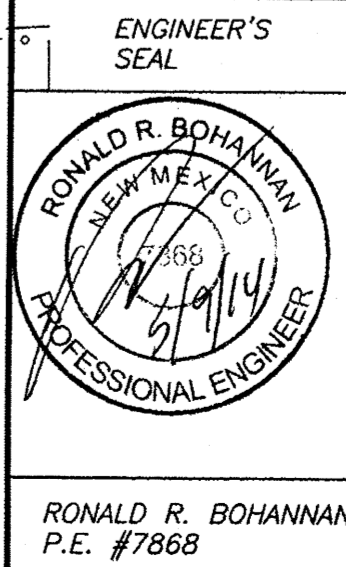
Line #	Length	Direction
L28	452.378	N89° 38' 15.41"W
L27	39.949	S0° 02' 14.15"E
L26	25.956	N89° 59' 19.91"E
L25	303.000	S0° 00' 00.00"E
L24	78.626	S45° 26' 41.79"E
L10	628.047	S89° 54' 54.00"W
L9	75.047	N0° 28' 13.63"E
L8	6.139	N1° 12' 15.81"E
L7	25.530	N89° 56' 43.83"E
L5	68.235	S73° 47' 10.35"E
L4	176.483	N89° 59' 00.76"E
L3	256.983	N89° 59' 19.07"E
L2	133.060	S89° 57' 01.34"E
L1	118.302	S45° 59' 30.23"E
L22	310.536	S89° 38' 15.41"E
L21	379.193	S0° 00' 40.03"E
L20	111.712	S89° 59' 19.91"W
L18	96.832	N73° 47' 10.35"W
L16	29.672	N89° 55' 22.87"W
L15	6.218	N1° 12' 15.81"E
L12	2.760	N89° 38' 15.41"W
L11	40.000	N0° 27' 33.00"E
L30	49.089	N1° 12' 15.81"E



- NOTES:**
- CROSS LOT PARKING AND DRAINAGE EASEMENTS WILL BE INCLUDED ON PLAT.
 - CROSS LOT PEDESTRIAN AND VEHICLE ACCESS EASEMENTS WILL BE INCLUDED ON PLAT.



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE NOTES
 - C3. GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - L1. LANDSCAPE PLAN
 - L2. LANDSCAPE PLAN
 - L3. LANDSCAPE PLAN
 - L4. LANDSCAPE PLAN



ENGINEER'S SEAL

RONALD R. BOHANNAN
 NEW MEXICO
 PROFESSIONAL ENGINEER
 License No. 7868

CARPENTERS CENTER
 3900 PAN AMERICAN FREEWAY

SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.terrawestllc.com

DRAWN BY
 BJF

DATE
 05/07/14

2014029_SPSE

SHEET #
 C1

JOB #
 2014029

PROPOSED DESIGN GUIDELINES:

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE INITIAL BUILDING THAT IS DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

1. PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONING CODE.
2. BUILDING MATERIALS AND COLORS SHALL BE THE SAME AS, OR COMPLIMENTARY TO THOSE USED ON THE INITIAL BUILDING, WITH SIMILAR DETAILING OF WALL SURFACES, PILASTERS, AWNINGS, AND FENESTRATION. ALTERNATIVE MATERIALS OF SIMILAR QUALITY MAY BE CONSIDERED BY THE DRB, BUT APPROVAL IS AT THEIR DISCRETION.
3. ACCENT COLORS FOR TRIM MAY BE BASED ON THOSE USED ON THE INITIAL BUILDING, BUT MAY ALSO BE BASED ON THE CORPORATE BRANDING COLORS OF THE PAD OCCUPANTS.
4. BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS, UNLESS SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AS THE BUILDINGS.
5. SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS. ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.
6. ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
7. RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDINGS ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
8. CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 25' ON A 3' CONCRETE BASE. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLIMENT THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. ALL SIGN AREA FOR A FREESTANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREESTANDING SIGN SHALL NOT EXCEED 26 FEET. THE COLOR & STYLE OF FREESTANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE. MONUMENT & PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY. THE USE OF NEON IN SIGNS & AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED.

10. VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

11. SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG VASSAR DRIVE.

12. PATIO AREAS SHALL BE PROVIDED AT ALL BUILDINGS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO PEDESTRIAN WAYS AT RESTAURANTS. MINIMUM SIZE TO BE 400 SQUARE FEET WITH 25% OF THE AREA COVERED.

13. BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE BIKE SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE. FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

13. WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS. WALLS TO BE PAINTED SPLIT FACE CONCRETE BLOCK. ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

NOTES:

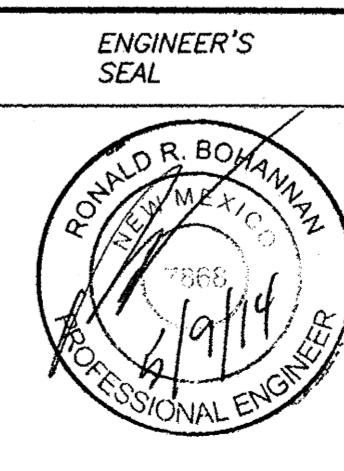
1. COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 28' (25' POLE ON A 3' CONCRETE BASE), WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE BASED ON A PHOTOMETRIC ILLUMINATION STUDY AND SUBMITTED DURING PLAN CHECK FOR FINAL APPROVAL.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK. IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 5 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

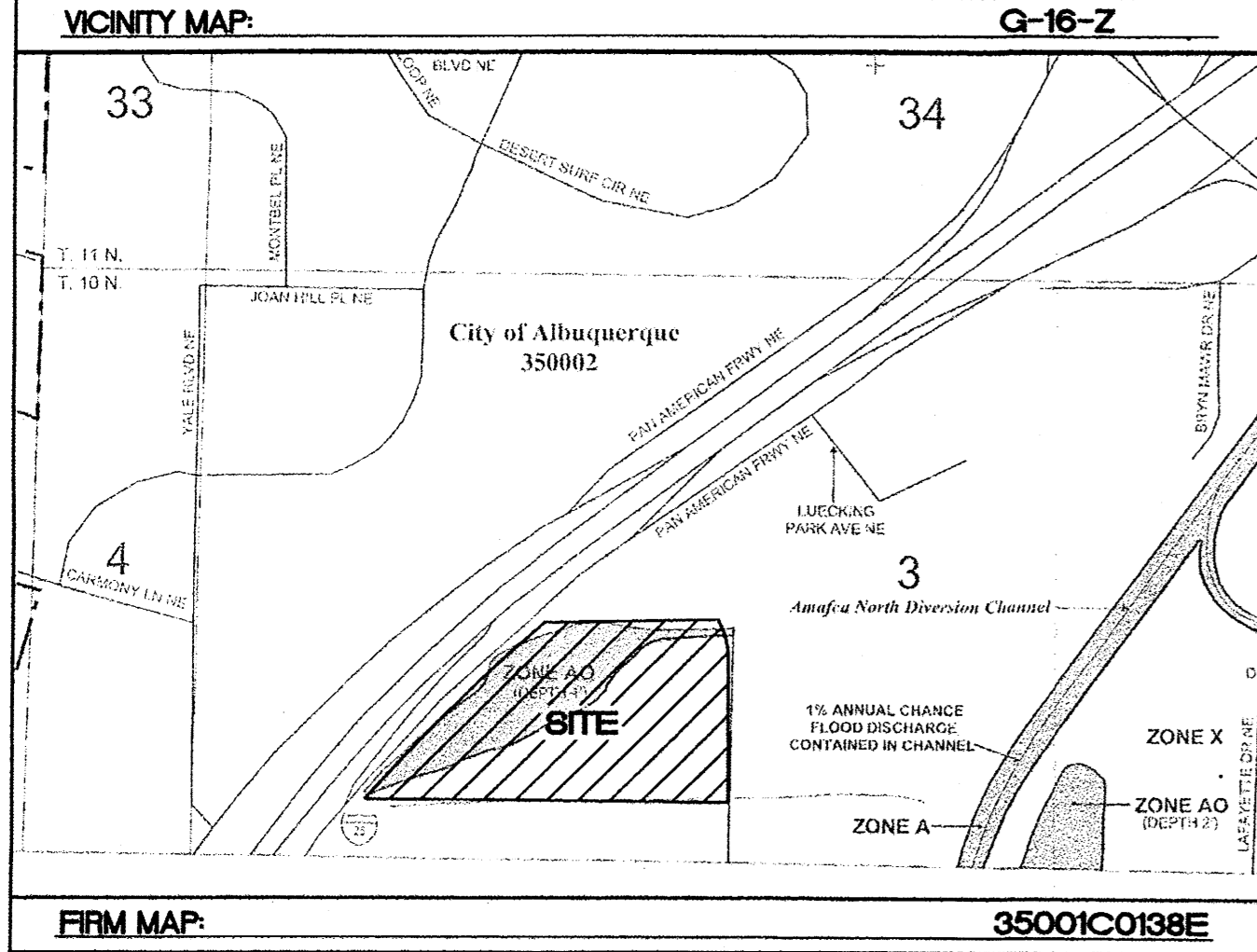
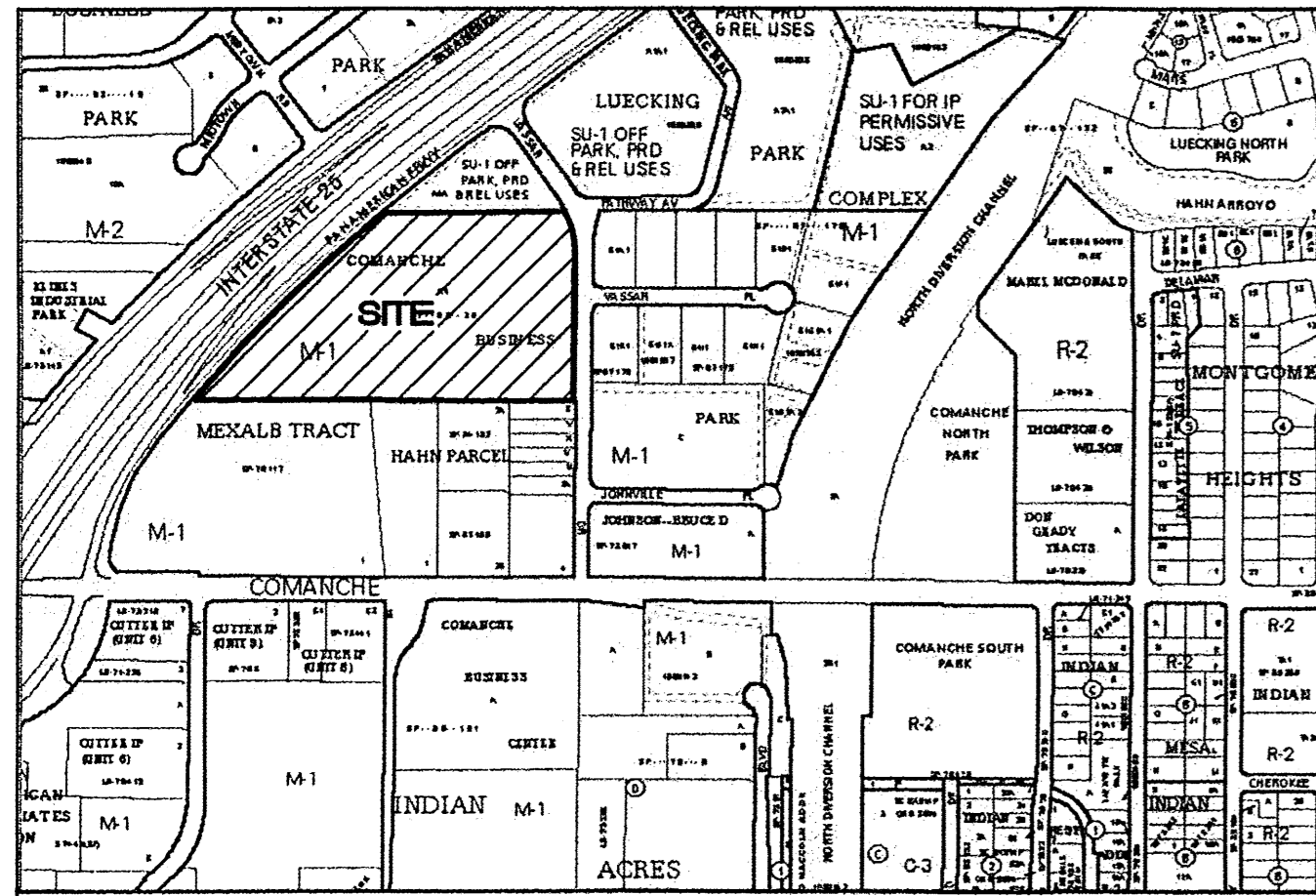
8. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE.

9. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 65' IN HEIGHT.

10. SITE PLAN FOR BUILDING PERMIT FOR FUTURE BUILDINGS TO BE DELEGATED DOWN TO DRB.

PROJECT NOTES

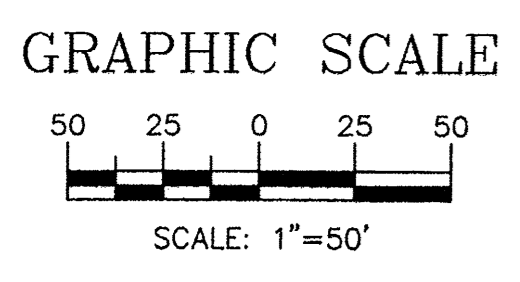
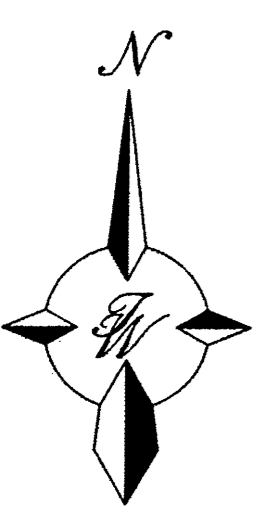
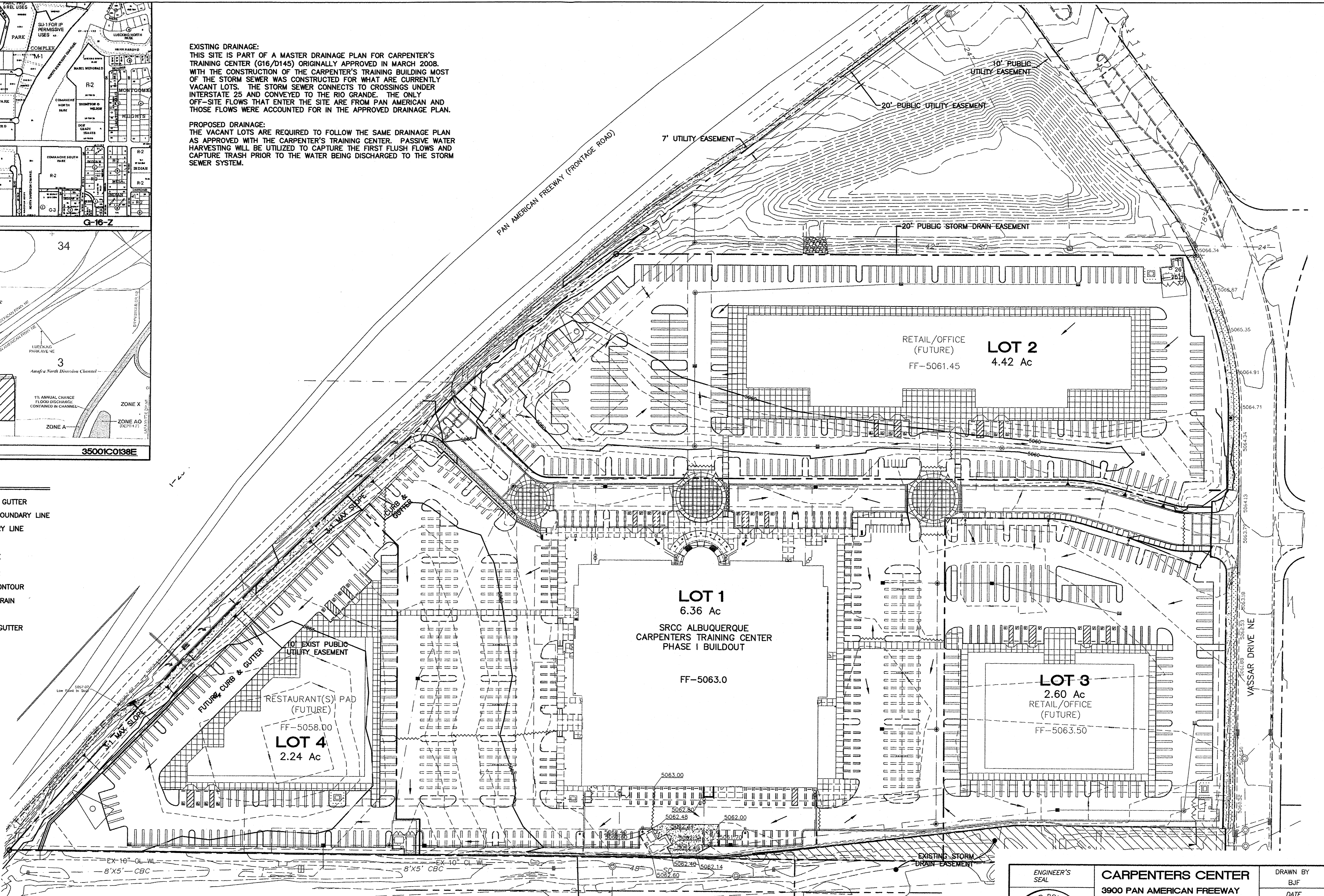
	ENGINEER'S SEAL RONALD R. BOHANNAN STATE OF NEW MEXICO PROFESSIONAL ENGINEER #7868 05/07/14	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY SITE PLAN FOR SUBDIVISION NOTES	DRAWN BY BJF DATE 05/07/14 2014029_SPSE
	RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2 JOB # 2014029



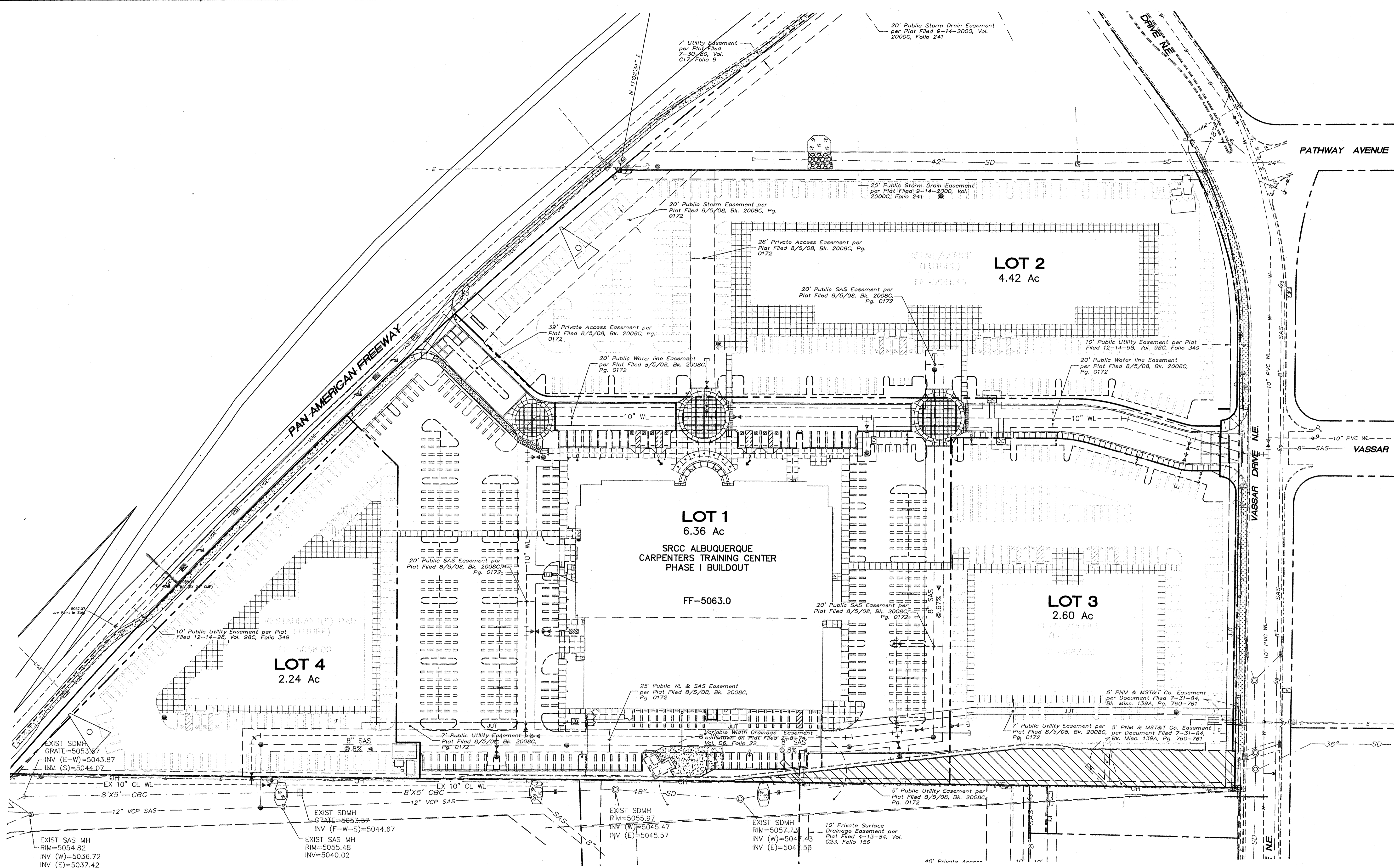
- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED ROW/BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - EXISTING SIDEWALK
 - 5011--- EXISTING CONTOUR
 - 5010--- EXISTING INDEX CONTOUR
 - EXISTING STORM DRAIN
 - FLOW ARROW
 - FUTURE CURB & GUTTER

EXISTING DRAINAGE:
 THIS SITE IS PART OF A MASTER DRAINAGE PLAN FOR CARPENTER'S TRAINING CENTER (G16/D145) ORIGINALLY APPROVED IN MARCH 2008. WITH THE CONSTRUCTION OF THE CARPENTER'S TRAINING BUILDING MOST OF THE STORM SEWER WAS CONSTRUCTED FOR WHAT ARE CURRENTLY VACANT LOTS. THE STORM SEWER CONNECTS TO CROSSINGS UNDER INTERSTATE 25 AND CONVEYED TO THE RIO GRANDE. THE ONLY OFF-SITE FLOWS THAT ENTER THE SITE ARE FROM PAN AMERICAN AND THOSE FLOWS WERE ACCOUNTED FOR IN THE APPROVED DRAINAGE PLAN.

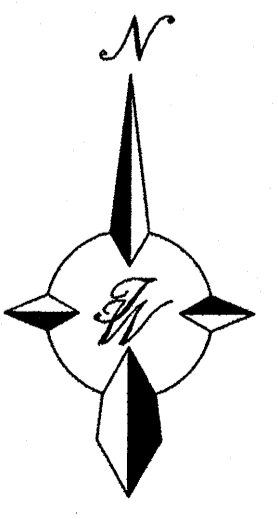
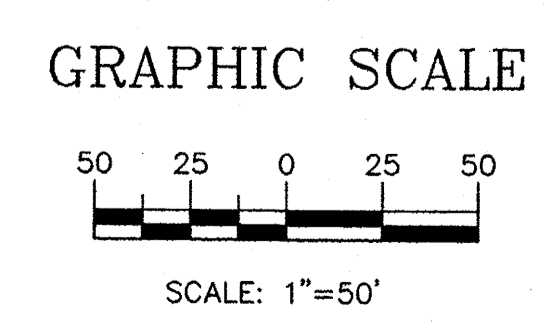
PROPOSED DRAINAGE:
 THE VACANT LOTS ARE REQUIRED TO FOLLOW THE SAME DRAINAGE PLAN AS APPROVED WITH THE CARPENTER'S TRAINING CENTER. PASSIVE WATER HARVESTING WILL BE UTILIZED TO CAPTURE THE FIRST FLUSH FLOWS AND CAPTURE TRASH PRIOR TO THE WATER BEING DISCHARGED TO THE STORM SEWER SYSTEM.



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DRAWN BY BJJ
	PRELIMINARY GRADING AND DRAINAGE PLAN	DATE 05/07/14
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3	JOB # 2014029



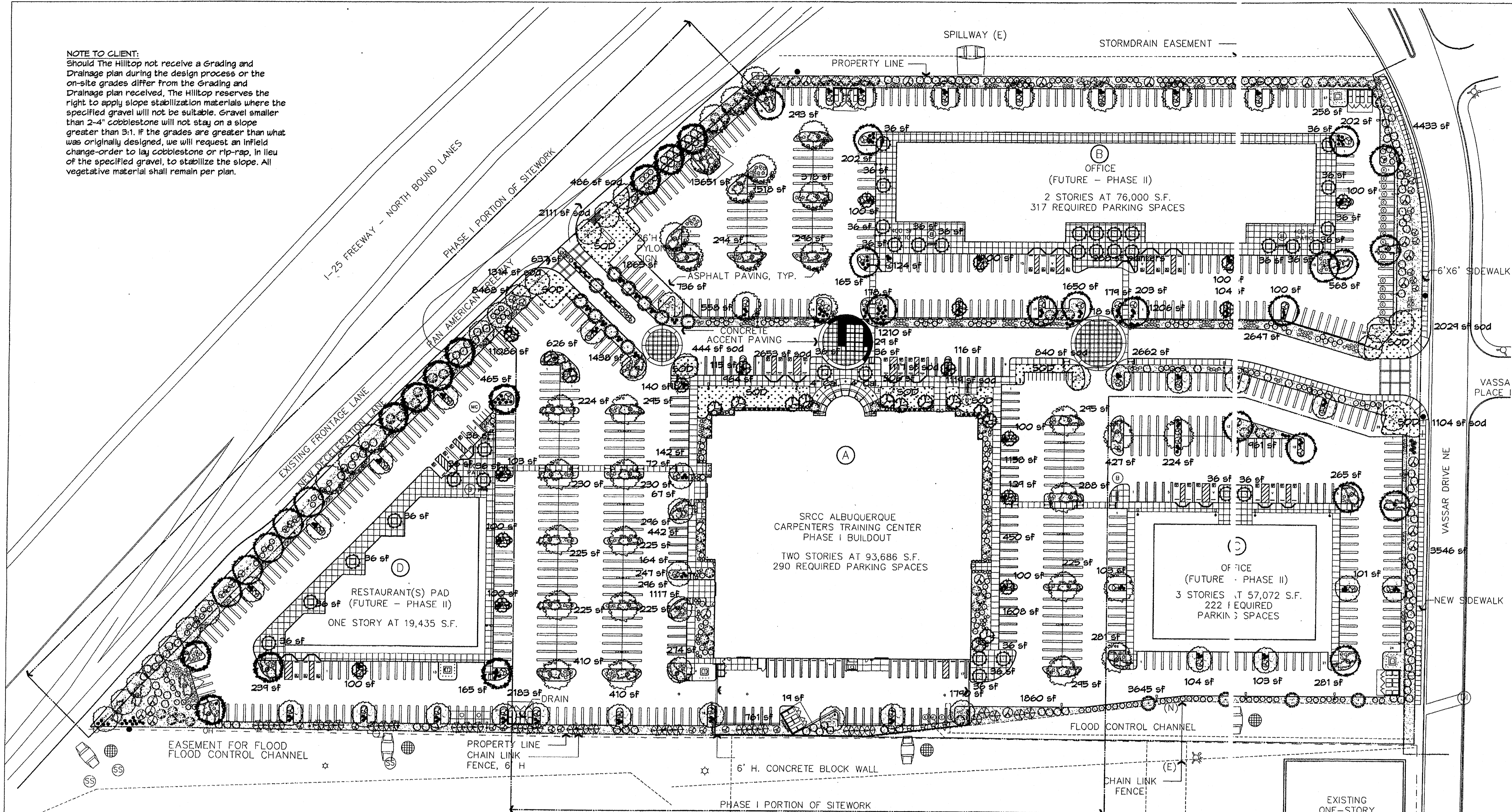
LEGEND	
--- EXISTING CURB & GUTTER	--- EXISTING SIDEWALK
--- FUTURE CURB & GUTTER	--- EXISTING SD MANHOLE
--- BOUNDARY LINE	--- EXISTING INLET
--- EXISTING BOUNDARY LINE	--- EXISTING SAS MANHOLE
--- EASEMENT	--- EXISTING FIRE HYDRANT
	--- EXISTING WATER METER
	--- EXISTING POWER POLE
	--- EXISTING GAS VALVE
	--- EXISTING OVERHEAD UTILITIES
	--- EXISTING UNDERGROUND UTILITIES
	--- EXISTING GAS
	--- EXISTING SANITARY SEWER LINE
	--- EXISTING WATER LINE
	--- EX. 18" RCP --- EXISTING STORM SEWER LINE



	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DRAWN BY B/JF
	PRELIMINARY MASTER UTILITY PLAN	DATE 05/07/14
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	2014029_MUB
		SHEET # C4
		JOB # 2014029

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NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	683498	square feet
TOTAL BUILDINGS AREA	144229	square feet
NET LOT AREA	539269	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	80890	square feet
TOTAL BED PROVIDED	88645	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	66484	square feet
TOTAL GROUND COVER PROVIDED	67074 (76%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	13217 (13%)	square feet
TOTAL LANDSCAPE PROVIDED	101862 (19%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Pan American Frwy
Required # 32 Provided # 32

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces (minimum 2" cal. & 30' at maturity)
Required # 86 Provided # 91

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

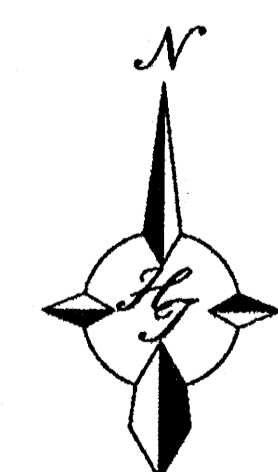
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

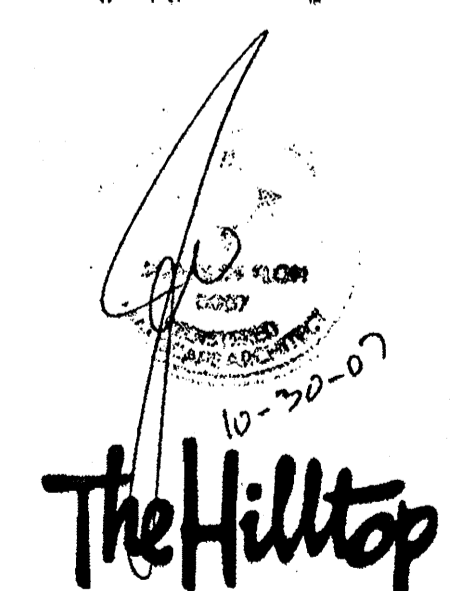
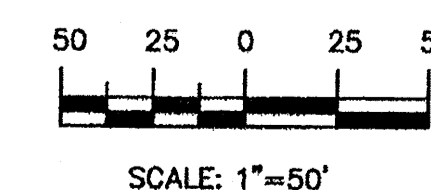
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE



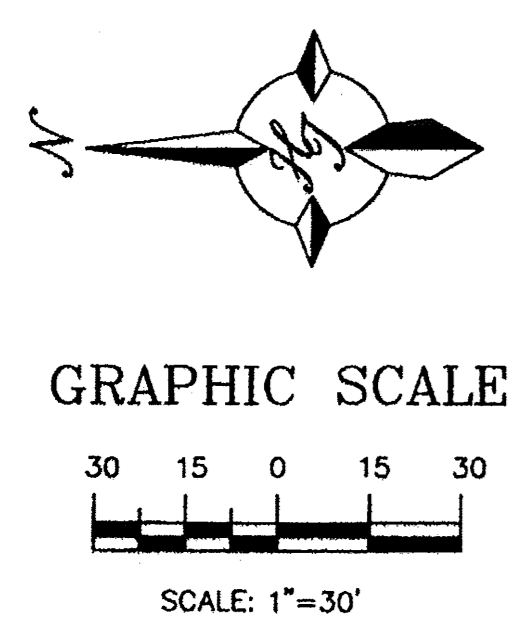
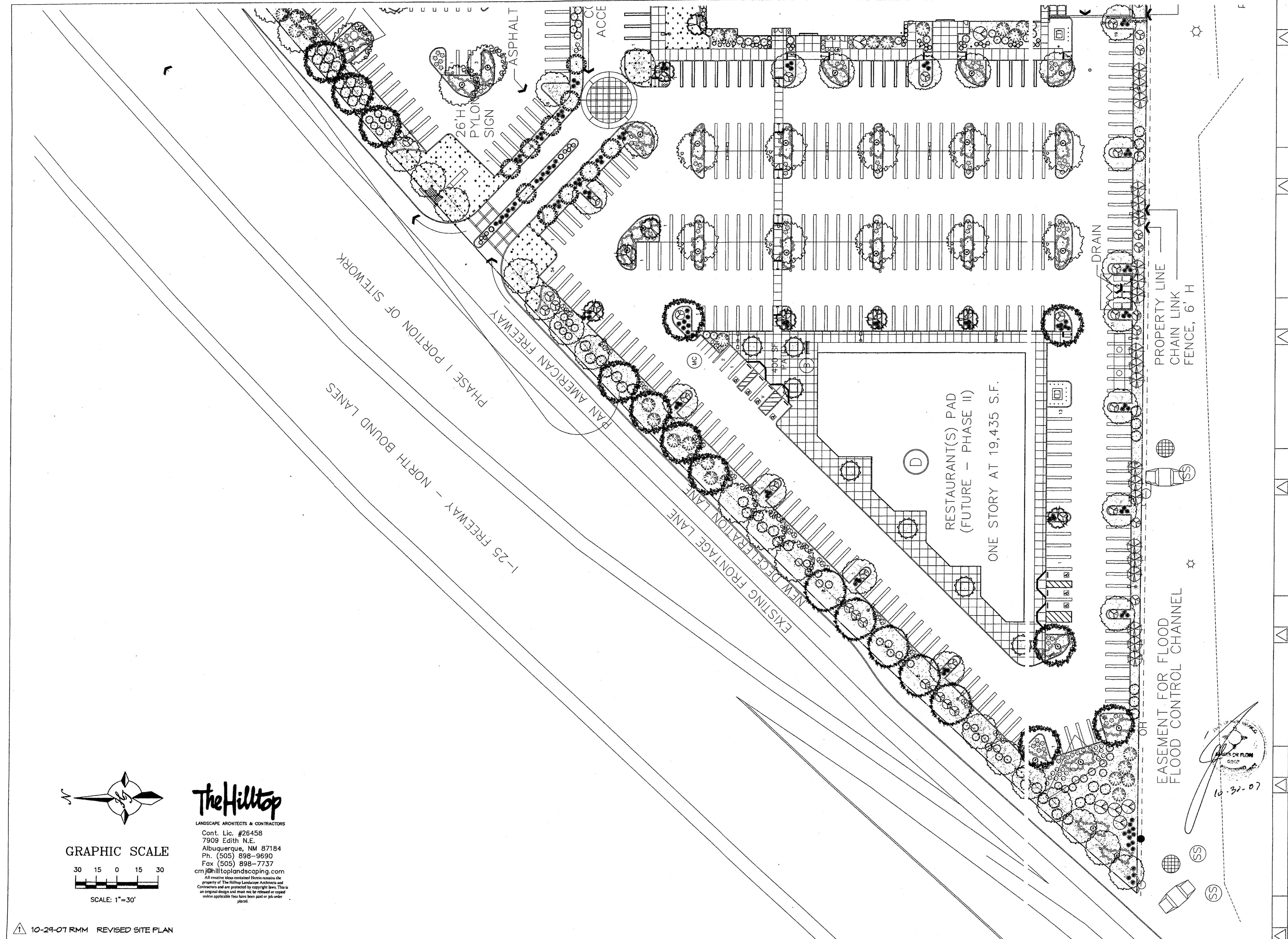
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
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PLANNING AND ARCHITECTURE
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CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM LICENSE # 007
DRAWN BY: RUM
PHASE: EPC APPROVAL
SCALE: 1"=50'
DATE: OCTOBER 4, 2007
JOB NUMBER: 20705.00
L1 of L4
Master Landscape Plan
REV DATE: 10/02/07



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
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10-29-07 RMM REVISED SITE PLAN

GIN WONG ASSOCIATES
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 4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 838-4422

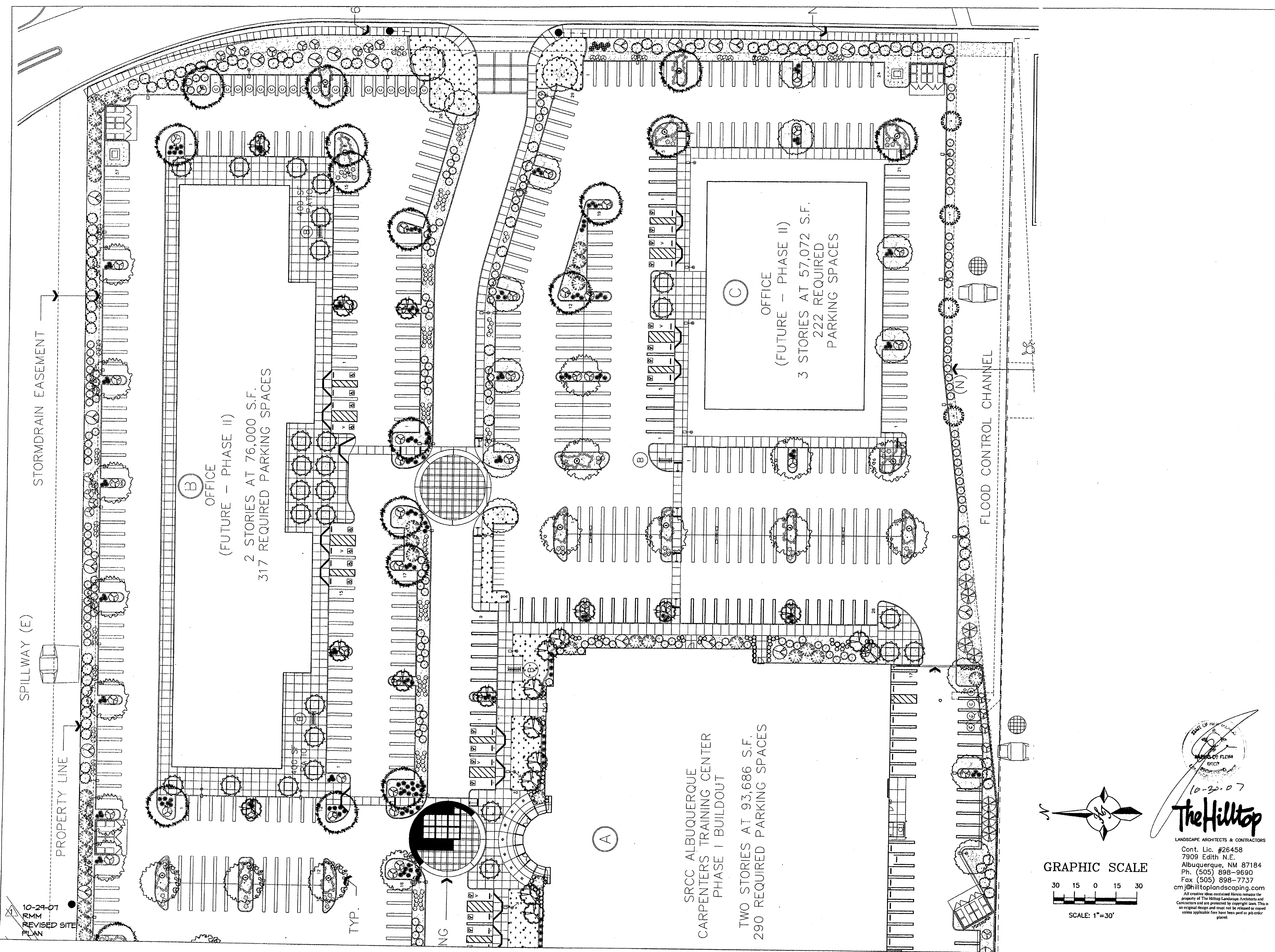


CARPENTERS CENTER
 SRCC CARPENTERS TRAINING CENTER
 4100 PAN AMERICAN FREEWAY NE
 ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM
 LICENSE # 007
 DRAWN BY: RMM
 PHASE:
 EPC APPROVAL
 SCALE: 1"=30'
 DATE:
 OCTOBER 4, 2007
 JOB NUMBER:
 20705.00

L2 of L4
 Enlarged Landscape
 Plan - West

PLAT DATE - 10/02/2007



10-24-07
R.M.M.
REVISED SITE
PLAN

TYP.

(A)

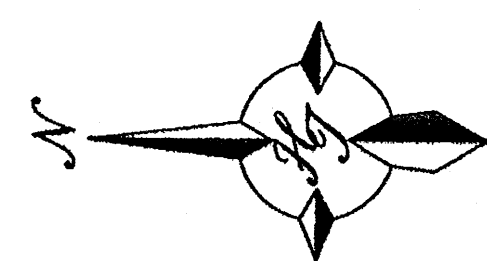
SRCC ALBUQUERQUE
CARPENTERS TRAINING CENTER
PHASE I BUILDOUT
TWO STORIES AT 93,686 S.F.
290 REQUIRED PARKING SPACES

(B)

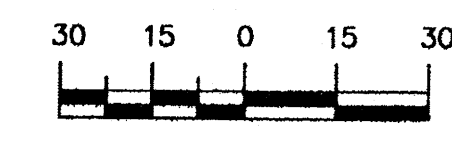
OFFICE
(FUTURE - PHASE II)
2 STORIES AT 76,000 S.F.
317 REQUIRED PARKING SPACES

(C)

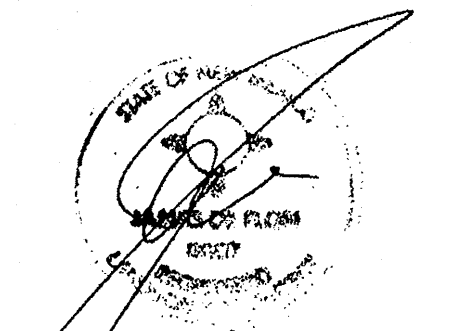
OFFICE
(FUTURE - PHASE II)
3 STORIES AT 57,072 S.F.
222 REQUIRED
PARKING SPACES



GRAPHIC SCALE



SCALE: 1"=30'



The Hilltop
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LANDSCAPE ARCHITECT'S NM
LICENSE # 007

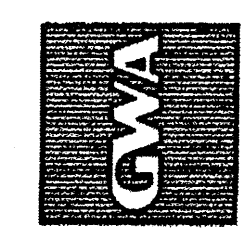
DRAWN BY: P.M.M.

PHASE:
EPC APPROVAL
SCALE: 1"=30'

DATE:
OCTOBER 4, 2007
JOB NUMBER:
20705.00

L3 of L4
Enlarged Landscape
Plan - East

PLUT DATE - 10/04/2007

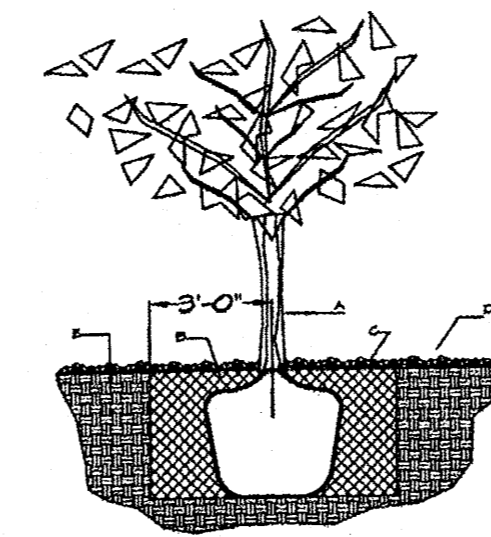


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4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107

PLANT LEGEND

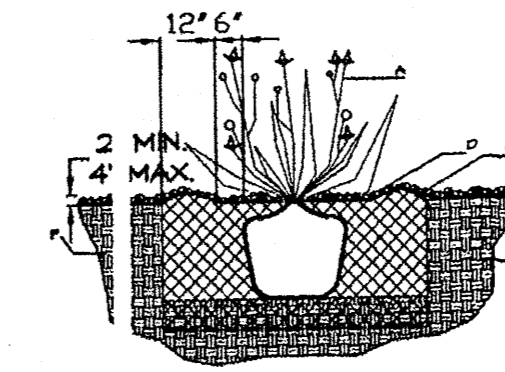
<p>CHINESE PISTACHE (M) 25 Pistacia chinensis 2" Cal., 60" H x 60" W</p> <p>SHUMARD OAK (M) 23 Quercus shumardii 2" Cal., 60" H x 60" W</p> <p>COMMON HACKBERRY (M) 12 Celtis occidentalis 2" Cal., 40" H x 40" W</p> <p>PURPLE-LEAF PLUM (M) 31 Prunus spp. 1 1/2" Cal., 20" H x 20" W</p> <p>• WILLOWLEAF COTONEASTER (M) 68 Cotoneaster salicifolius 5 Gal., 100sf, 6' H x 10' W</p> <p>• SILVERBERRY (M) 32 Elaeagnus pungens 5 Gal., 100sf, 10' H x 10' W</p> <p>• PHOTINIA (M+) 132 Photinia Fraseri 5 Gal., 64sf, 8' H x 8' W</p> <p>SNOWBERRY (M) 231 Symphoricarpos albus 5 Gal., 36sf, 6' H x 6' W</p> <p>REGAL MIST (M) 6 Muhlenbergia capillaris 5 Gal., 9sf, 3' H x 3' W</p> <p>WESTERN SAND CHERRY (M) 138 Prunus besseyi 5 Gal., 9sf, 3' H x 3' W</p> <p>• MUGO PINE (M) 5 Pinus mugo 5 Gal., 9sf, 4' H x 3' W</p> <p>MONCURB 9" WIDE</p> <p>SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH</p> <p>SOD WITH POP UP SPRINKLER</p>	<p>KENTUCKY COFFEE TREE (M) 17 Gymnocladus dioica 2" Cal., 50" H x 40" W</p> <p>EASTERN REDBUD (M) 50 Cercis canadensis 2" Cal., 30" H x 30" W</p> <p>• WESTERN RED CEDAR (M) 24 Thuja plicata 'Green Giant' 15 Gal., 164sf, 30" H x 11' W</p> <p>WASHINGTON HAWTHORN (M+) 14 Crataegus phaenopyrum 15 Gal., 225sf, 25" H x 25" W</p> <p>AMUR MAPLE (M) (IN PATIOS ONLY) 34 Acer ginnala 2" Cal., 20" H x 20" W *** The two in front of Bldg. A are 4" Cal as noted. ***</p> <p>POTENTILLA (M) 159 Potentilla fruticosa 1 Gal., 9sf, 3' H x 3' W</p> <p>CATMINT (M) 113 Nepeta mussini 1 Gal., 4sf, 1' H x 2' W</p> <p>BLUE AVENA/OAT GRASS (M) 318 Helictotrichon sempervirens 1 Gal., 9sf, 2' H x 3' W</p> <p>WILDFLOWER 99 1 Gal., 4sf, size varies</p> <p>• GREYLEAF COTONEASTER (M) 126 Cotoneaster buxifolius 5 Gal., 81sf, 2' H x 9' W Symbol indicates 3 plants</p> <p>• HONEYSUCKLE (M) 114 Lonicera japonica 'Halliana' 1 Gal., 144sf, 3' H x 12' W Unstaked-Groundcover</p> <p>TRUMPET VINE (M) 3 Campsis radicans 1 Gal., climbing to 40'</p> <p>• DENOTES EVERGREEN PLANT MATERIAL</p>
---	---



TREE PLANTING DETAIL
NTS

- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

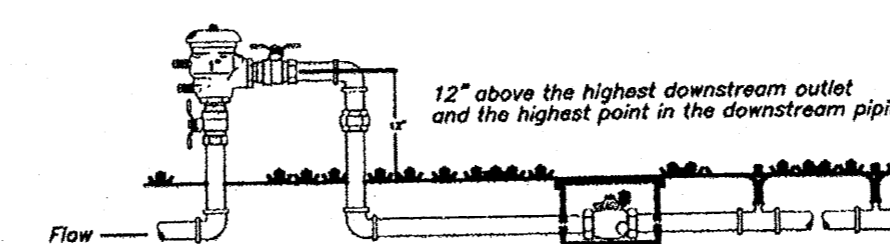


SHRUB PLANTING DETAIL
NTS

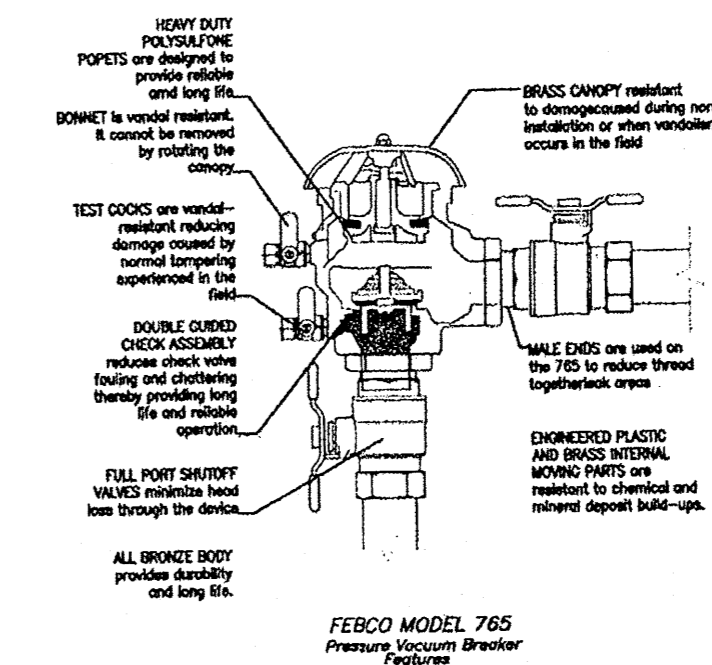
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

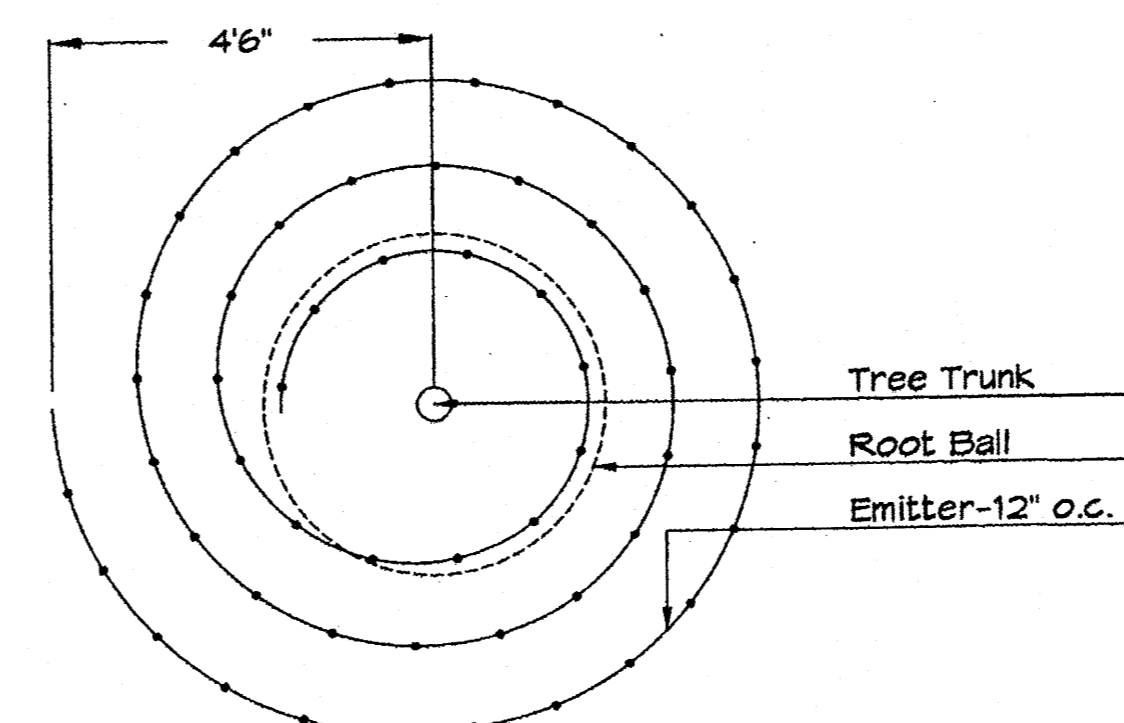
- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



FEBCO MODEL 765
Pressure Vacuum Breaker
Outside Installation

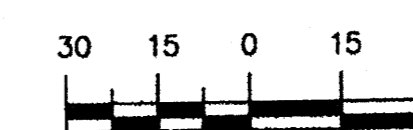


FEBCO MODEL 765
Pressure Vacuum Breaker
Pattern



Netafim Spiral Detail

GRAPHIC SCALE



SCALE: 1"=30'



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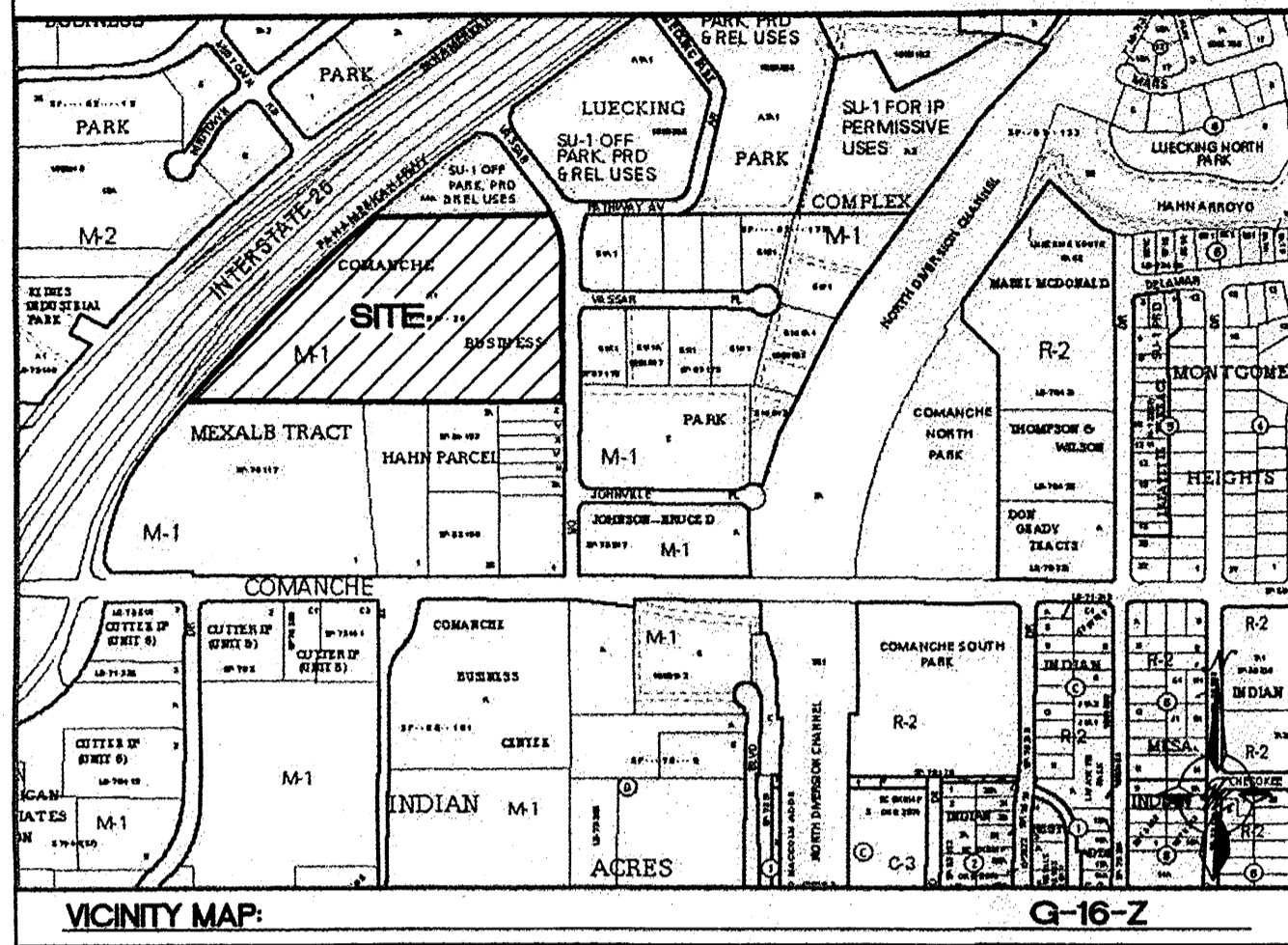
LANDSCAPE ARCHITECT'S NM
LICENSE # 007
DRAWN BY: RMM
PHASE:
EPC APPROVAL
SCALE: 1"=30'
DATE:
OCTOBER 4, 2007
JOB NUMBER:
20705.00

L4 of L4
Landscape Details
and Legend

PLT DATE - 10/04/2007

SITE DATA TABLE

LOTS	LOT SIZE	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	SHARED PARKING 7AM-6PM	PRKG. PROV. 6PM-12AM	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MAX. BLDG. HEIGHT	STORY	PATIO AREA	MAX FAR
1	6.36 Ac	93,686	OFFICE & TRAINING ASSEMBLY	M-1 (SO)	180	113	90% 162	5% 9	8	8	2	2	9	10	5	6	50'	2	1,200 SF	.35
2	4.42 Ac	76,000	RETAIL/OFFICE(FUTURE)	M-1 (SO)	138	87	0% 0	100% 138	8	8	2	2	15	10	6	6	50'	2	800 SF	.35
3	2.60 Ac	57,072	RETAIL/OFFICE(FUTURE)	M-1 (SO)	221	180	100% 221	50% 111	8	8	2	2	11	10	5	6	65'	3	400 SF	.35
4	2.24 Ac	19,435	RESTAURANT(S)(FUTURE)	M-1 (SO)	235	224	70% 165	100% 235	8	8	2	2	8	10	5	5	36'	1	400 SF	.35
TOTAL	15.63 Ac	245,193			1091	881	865	651	32	32	8	8	43	45	21	23		2,800 SF		



PROJECT NUMBER: 1006865
APPLICATION NUMBER: 14 DRB-70148

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

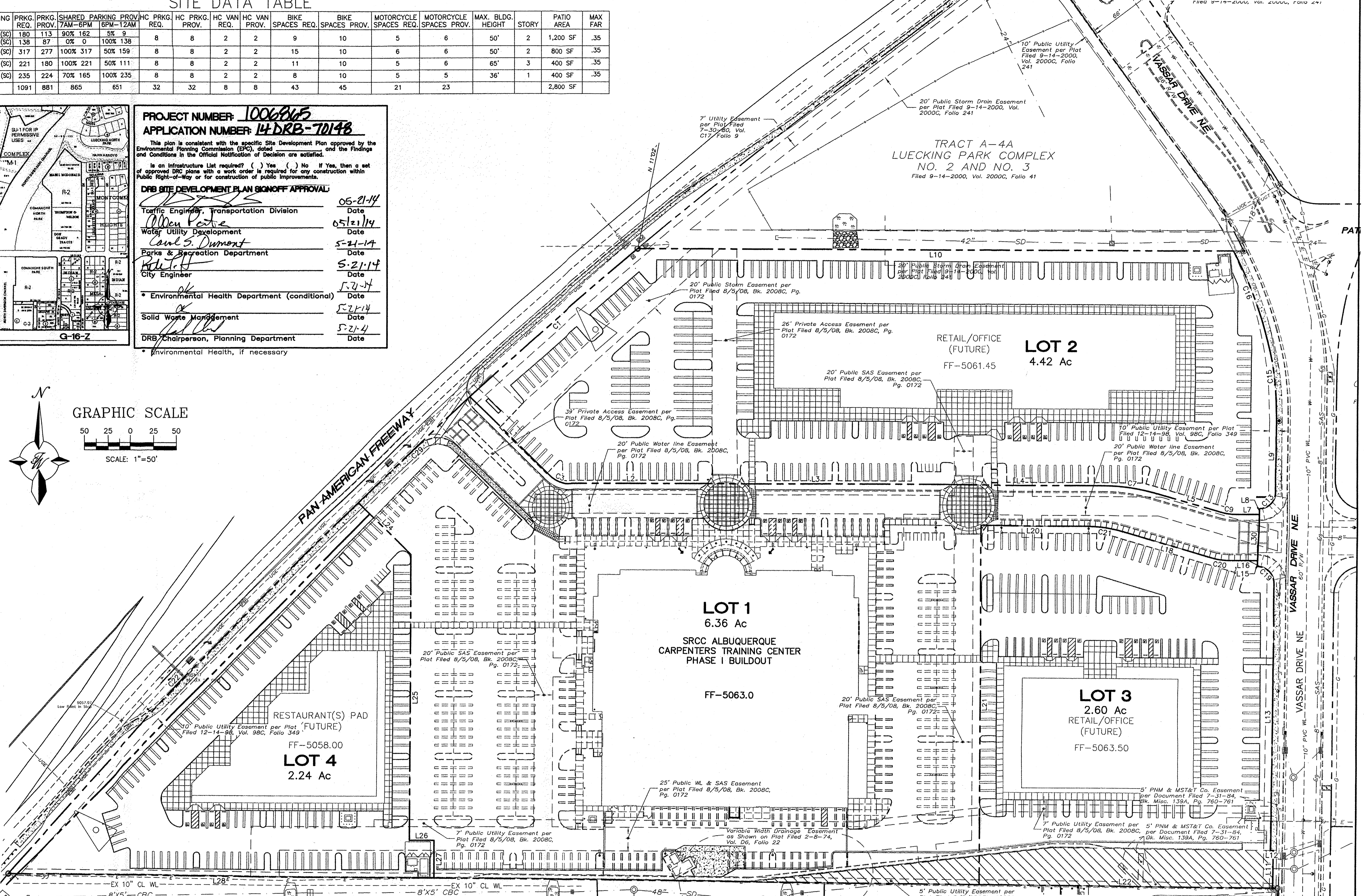
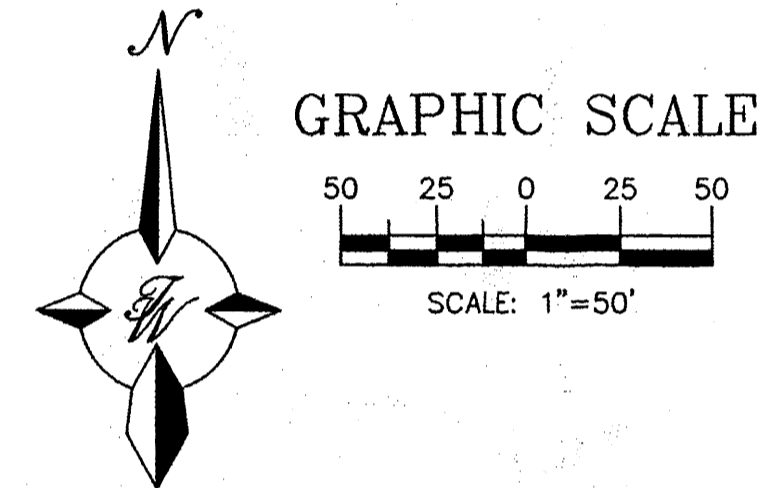
Traffic Engineer, Transportation Division: *Allen Patz* Date: 05/21/14
 Water Utility Development: *Carl S. Diment* Date: 5-21-14
 Parks & Recreation Department: *Robert []* Date: 5-21-14
 City Engineer: *[]* Date: 5-21-14
 * Environmental Health Department (conditional) Date: 5-21-14
 Solid Waste Management: *[]* Date: 5-21-14
 DRB Chairperson, Planning Department: *[]* Date: 5-21-14
 * Environmental Health, if necessary

Curve Table

Curve #	Length	Radius	Delta
C22	541.863	5607.000	5.5371
C16	92.189	432.989	12.1990
C15	94.112	314.399	17.1508
C13	26.813	17.330	88.6486
C9	15.150	53.500	16.2249
C7	58.477	206.503	16.2249
C3	21.842	28.499	43.9127
C1	237.139	5607.000	2.4232
C21	40.635	143.494	16.2253
C20	18.831	66.497	16.2249
C19	27.505	17.240	91.4099
C29	161.438	5607.000	1.6497

Line Table

Line #	Length	Direction
L28	452.378	N89° 38' 15.41"W
L27	39.949	S0° 02' 14.15"E
L26	25.956	N89° 59' 19.91"E
L25	303.000	S0° 00' 00.00"E
L24	78.626	S45° 26' 41.79"E
L10	628.047	S89° 54' 54.00"W
L9	75.047	N0° 28' 13.63"E
L8	6.139	N1° 12' 15.81"E
L7	25.530	N89° 56' 43.83"E
L5	68.235	S73° 47' 10.35"E
L4	176.483	N89° 59' 00.76"E
L3	256.983	N89° 59' 19.07"E
L2	133.060	S89° 57' 01.34"E
L1	118.302	S45° 59' 30.23"E
L22	310.536	S89° 38' 15.41"E
L21	379.193	S0° 00' 40.03"E
L20	111.712	S89° 59' 19.91"W
L18	96.832	N73° 47' 10.35"W
L16	29.672	N89° 55' 22.87"W
L15	6.218	N1° 12' 15.81"E
L13	282.138	N0° 27' 32.87"E
L12	2.760	N89° 38' 15.41"W
L11	40.000	N0° 27' 33.00"E
L30	49.089	N1° 12' 15.81"E



- NOTES:**
- CROSS LOT PARKING AND DRAINAGE EASEMENTS WILL BE INCLUDED ON PLAT.
 - CROSS LOT PEDESTRIAN AND VEHICLE ACCESS EASEMENTS WILL BE INCLUDED ON PLAT.

- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED ROW/BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - EXISTING SIDEWALK
 - FUTURE CURB & GUTTER

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE NOTES
 - C3. GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - L1. LANDSCAPE PLAN
 - L2. LANDSCAPE PLAN
 - L3. LANDSCAPE PLAN
 - L4. LANDSCAPE PLAN

ENGINEER'S SEAL
 RONALD R. BOHANNAN
 PROFESSIONAL ENGINEER
 P.E. #7868

CARPENTERS CENTER
 3900 PAN AMERICAN FREEWAY
SITE PLAN FOR SUBDIVISION
 TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com

DRAWN BY: B/JF
 DATE: 05/07/14
 2014029_SPSE
 SHEET #: **C1**
 JOB #: 2014029

EPC / 1006865

PROPOSED DESIGN GUIDELINES:

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE INITIAL BUILDING THAT IS DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

1. PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONING CODE.
2. BUILDING MATERIALS AND COLORS SHALL BE THE SAME AS, OR COMPLIMENTARY TO THOSE USED ON THE INITIAL BUILDING, WITH SIMILAR DETAILING OF WALL SURFACES, PILASTERS, AWNINGS, AND FENESTRATION. ALTERNATIVE MATERIALS OF SIMILAR QUALITY MAY BE CONSIDERED BY THE DRB, BUT APPROVAL IS AT THEIR DISCRETION.
3. ACCENT COLORS FOR TRIM MAY BE BASED ON THOSE USED ON THE INITIAL BUILDING, BUT MAY ALSO BE BASED ON THE CORPORATE BRANDING COLORS OF THE PAD OCCUPANTS.
4. BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS, UNLESS SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AS THE BUILDINGS.
5. SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS. ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.
6. ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
7. RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDINGS ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
8. CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 25' ON A 3' CONCRETE BASE. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLIMENT THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. ALL SIGN AREA FOR A FREESTANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREESTANDING SIGN SHALL NOT EXCEED 26 FEET. THE COLOR & STYLE OF FREESTANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE. MONUMENT & PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY. THE USE OF NEON IN SIGNS & AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED.

10. VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

11. SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG VASSAR DRIVE.

12. PATIO AREAS SHALL BE PROVIDED AT ALL BUILDINGS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO PEDESTRIAN WAYS AT RESTAURANTS. MINIMUM SIZE TO BE 400 SQUARE FEET WITH 25% OF THE AREA COVERED.

13. BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE BIKE SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE. FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

13. WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS. WALLS TO BE PAINTED SPLIT FACE CONCRETE BLOCK. ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

NOTES:

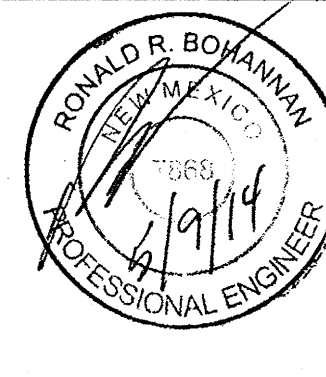
1. COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 28' (25' POLE ON A 3' CONCRETE BASE), WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE BASED ON A PHOTOMETRIC ILLUMINATION STUDY AND SUBMITTED DURING PLAN CHECK FOR FINAL APPROVAL.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK. IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 5 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

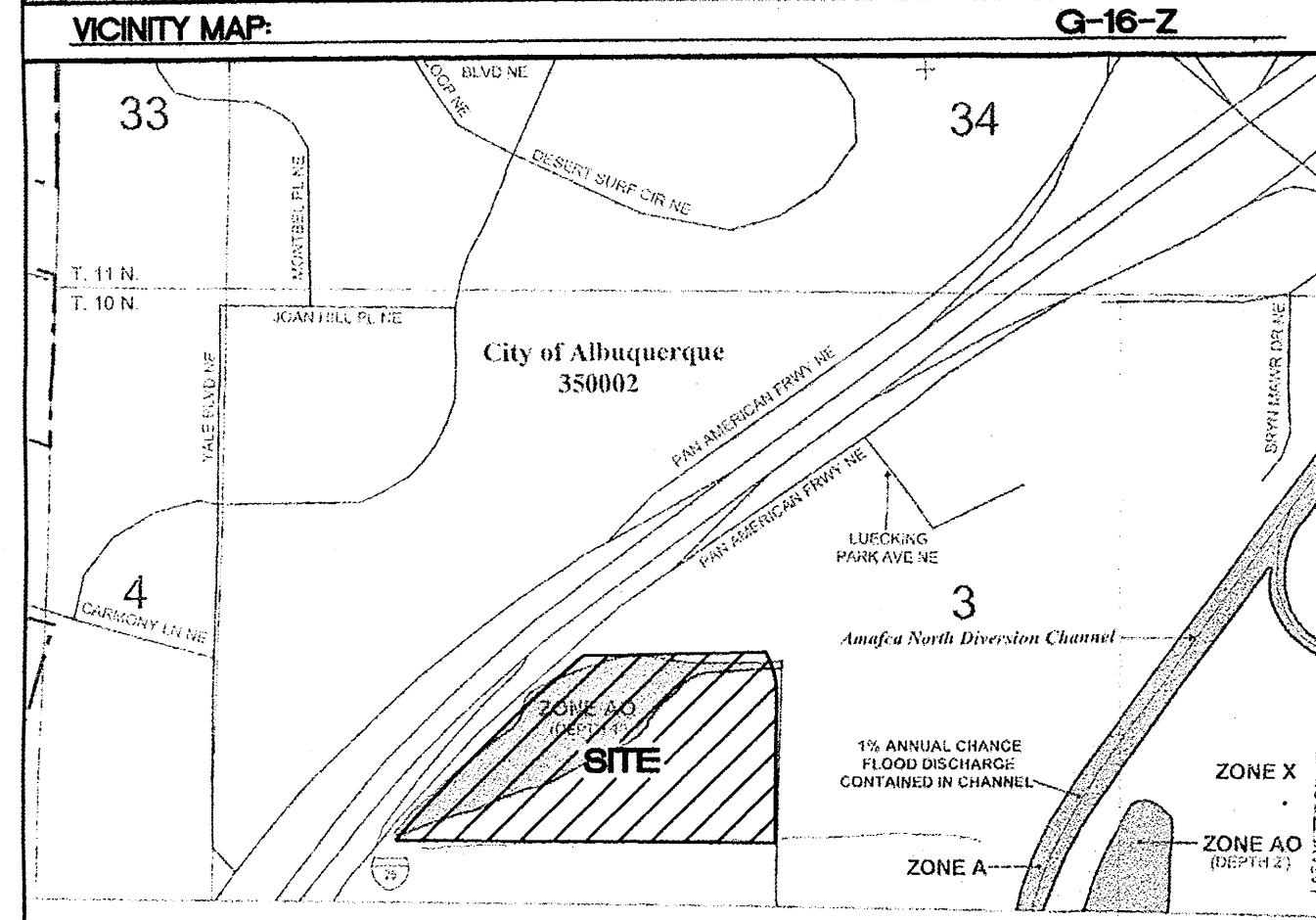
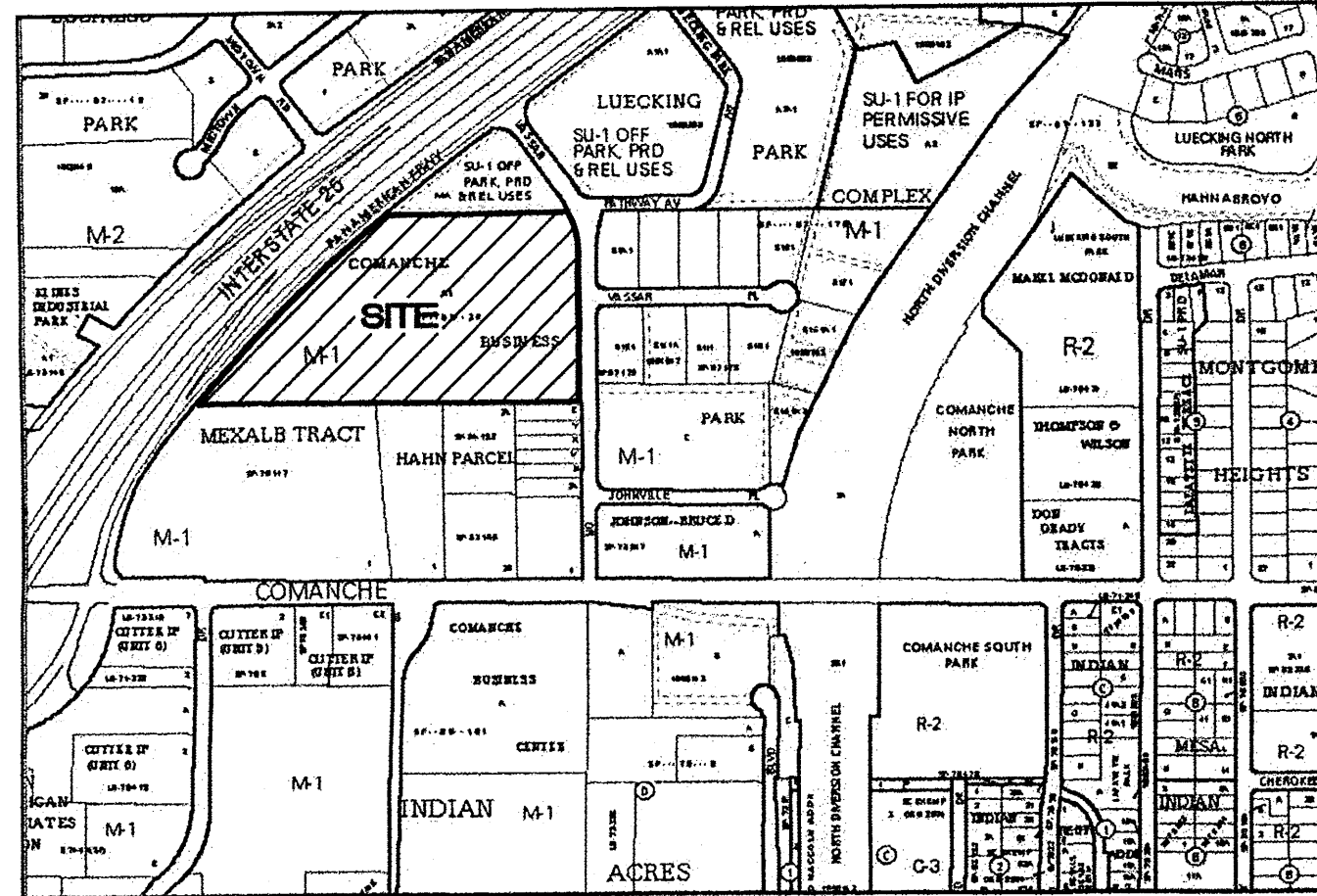
8. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE.

9. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 65' IN HEIGHT.

10. SITE PLAN FOR BUILDING PERMIT FOR FUTURE BUILDINGS TO BE DELEGATED DOWN TO DRB.

PROJECT NOTES

 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL	DRAWN BY BJJ
	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DATE 05/07/14
SITE PLAN FOR SUBDIVISION NOTES		2014029_SPSE
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		SHEET # C2
		JOB # 2014029

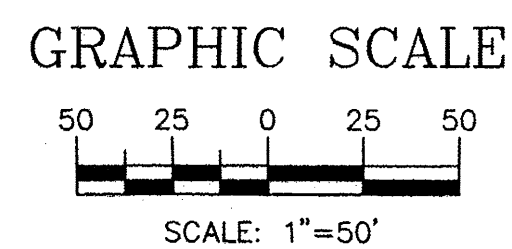
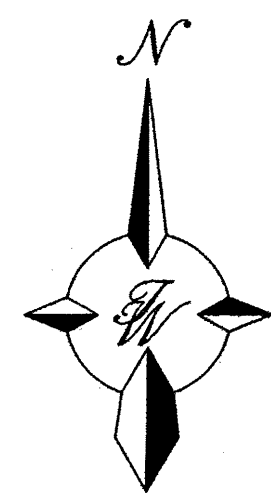
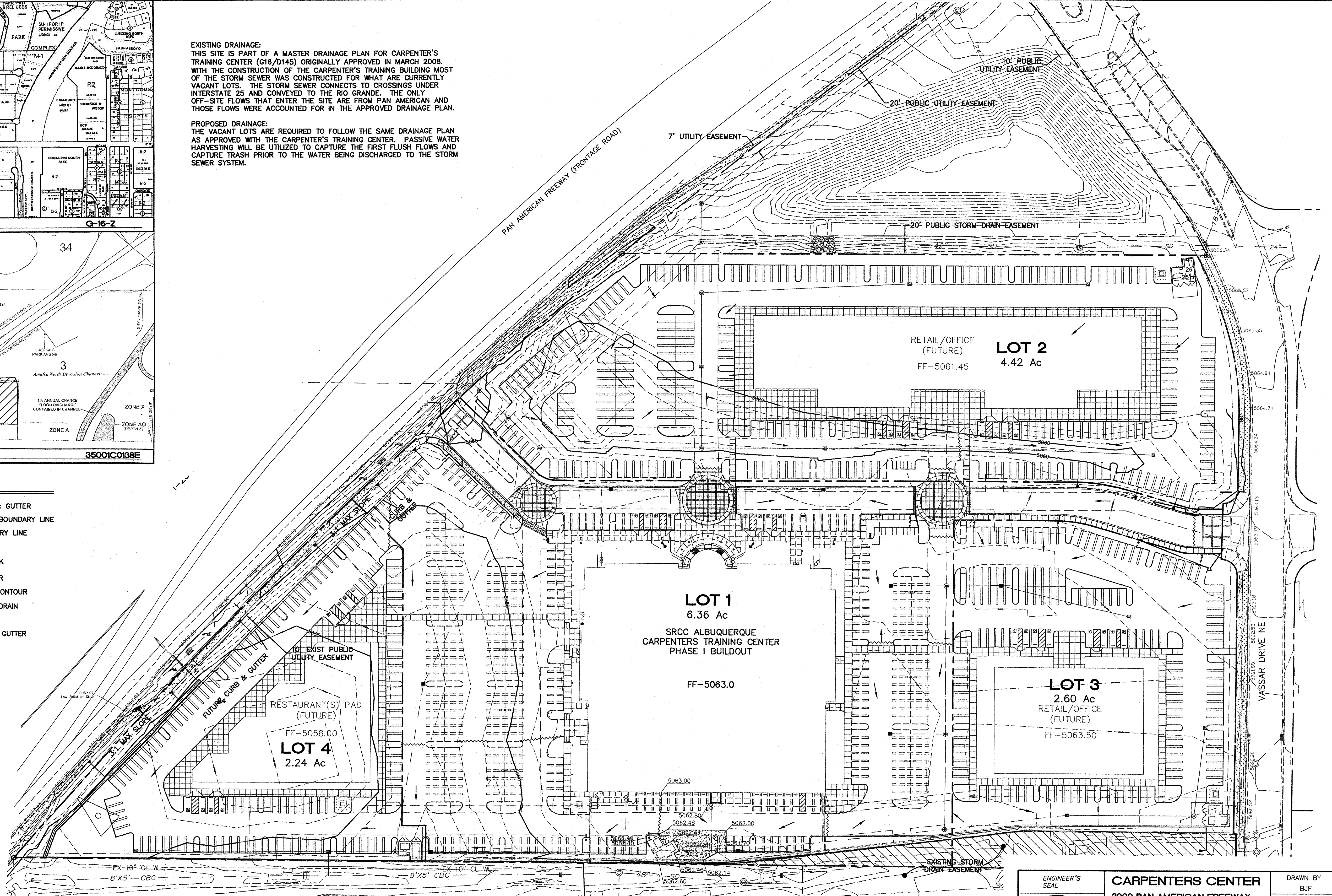


VICINITY MAP: G-16-Z
FIRM MAP: 3500IC0138E

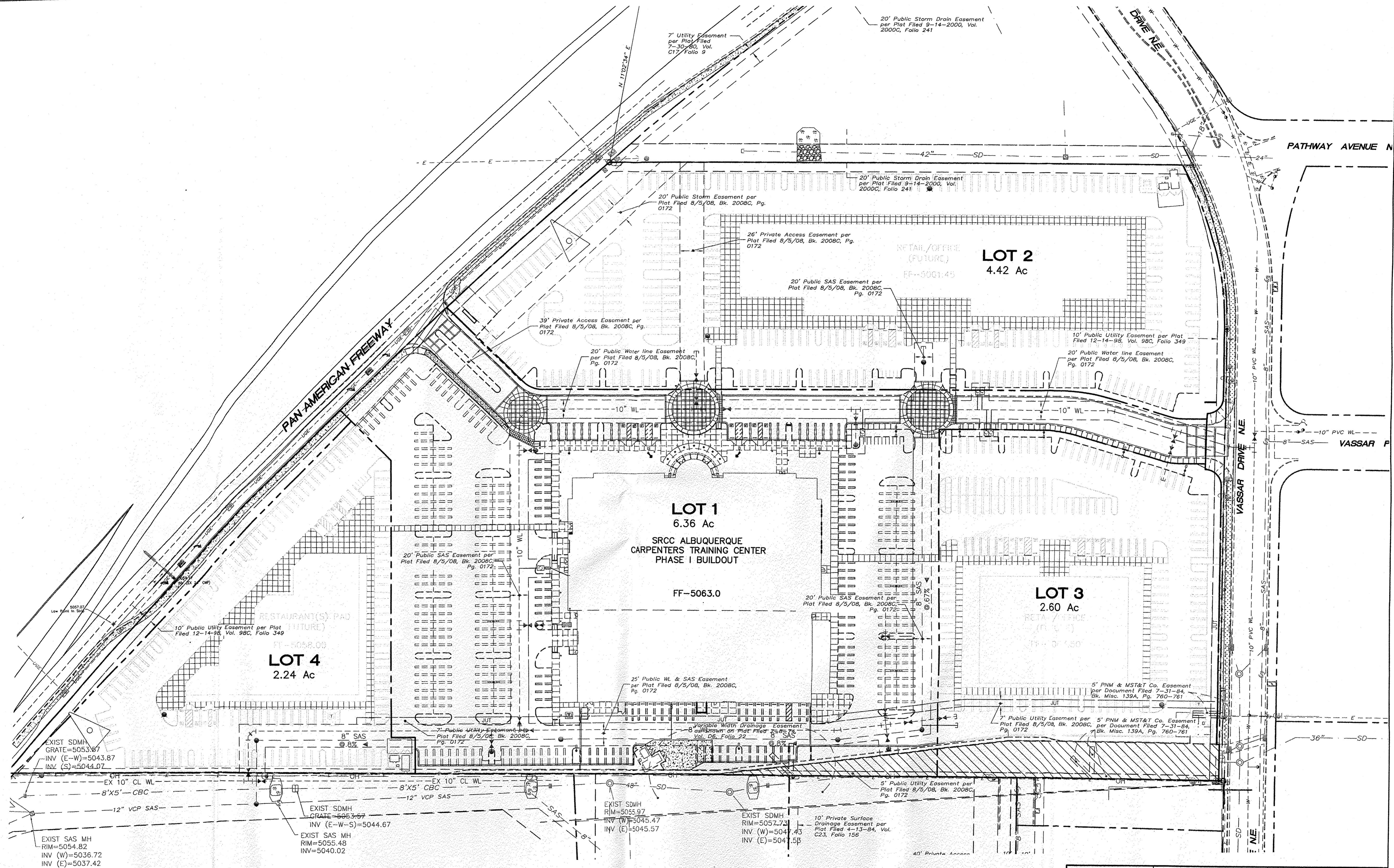
- LEGEND**
- ===== EXISTING CURB & GUTTER
 - PROPOSED ROW/BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - EXISTING SIDEWALK
 - 5011 ----- EXISTING CONTOUR
 - 5010 ----- EXISTING INDEX CONTOUR
 - EXISTING STORM DRAIN
 - FLOW ARROW
 - FUTURE CURB & GUTTER

EXISTING DRAINAGE:
THIS SITE IS PART OF A MASTER DRAINAGE PLAN FOR CARPENTER'S TRAINING CENTER (G16/D145) ORIGINALLY APPROVED IN MARCH 2008. WITH THE CONSTRUCTION OF THE CARPENTER'S TRAINING BUILDING MOST OF THE STORM SEWER WAS CONSTRUCTED FOR WHAT ARE CURRENTLY VACANT LOTS. THE STORM SEWER CONNECTS TO CROSSINGS UNDER INTERSTATE 25 AND CONVEYED TO THE RIO GRANDE. THE ONLY OFF-SITE FLOWS THAT ENTER THE SITE ARE FROM PAN AMERICAN AND THOSE FLOWS WERE ACCOUNTED FOR IN THE APPROVED DRAINAGE PLAN.

PROPOSED DRAINAGE:
THE VACANT LOTS ARE REQUIRED TO FOLLOW THE SAME DRAINAGE PLAN AS APPROVED WITH THE CARPENTER'S TRAINING CENTER. PASSIVE WATER HARVESTING WILL BE UTILIZED TO CAPTURE THE FIRST FLUSH FLOWS AND CAPTURE TRASH PRIOR TO THE WATER BEING DISCHARGED TO THE STORM SEWER SYSTEM.



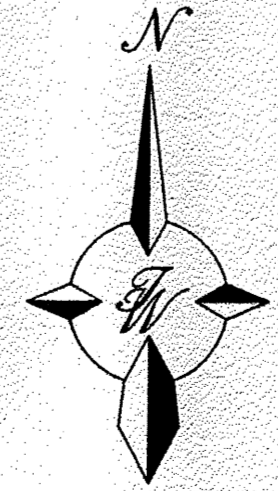
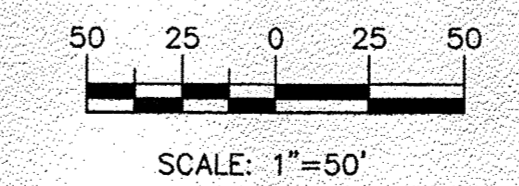
	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY PRELIMINARY GRADING AND DRAINAGE PLAN	DRAWN BY B.J.F. DATE 05/07/14 2014029_GRB
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3 JOB # 2014029



LEGEND

--- EXISTING CURB & GUTTER	--- EXISTING SIDEWALK	--- EX. 18" RCP --- EXISTING STORM SEWER LINE
--- FUTURE CURB & GUTTER	--- EXISTING SD MANHOLE	--- EX. UGE --- EXISTING UNDERGROUND UTILITIES
--- BOUNDARY LINE	--- EXISTING INLET	--- EX. 2" GAS --- EXISTING GAS
--- EXISTING BOUNDARY LINE	--- EXISTING SAS MANHOLE	--- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
--- EASEMENT	--- EXISTING FIRE HYDRANT	--- W --- EXISTING WATER LINE
	--- EXISTING WATER METER	
	--- EXISTING POWER POLE	
	--- EXISTING GAS VALVE	

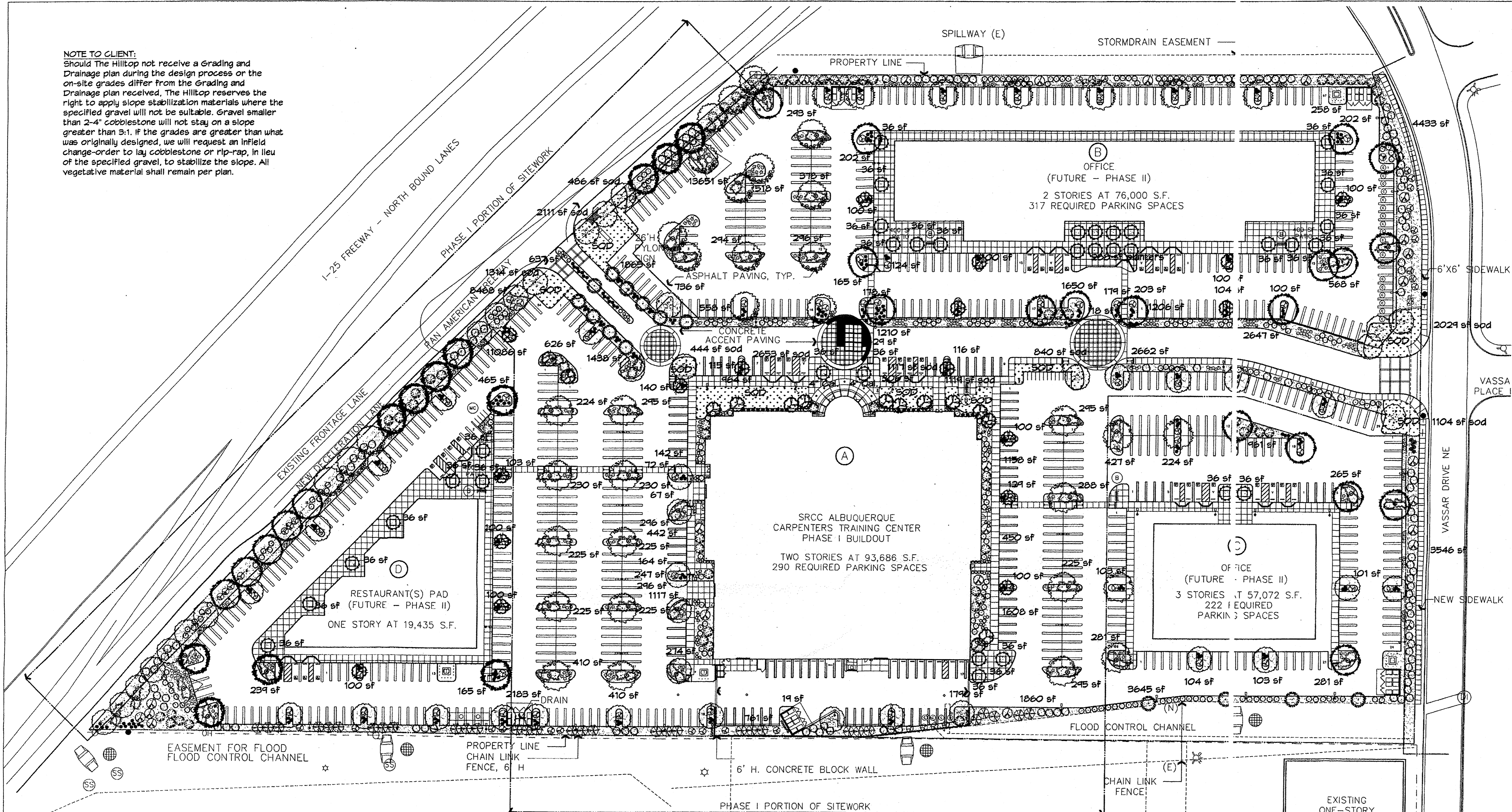
GRAPHIC SCALE



	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY PRELIMINARY MASTER UTILITY PLAN	DRAWN BY BJF DATE 05/07/14 2014029_MUB
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C4 JOB # 2014029

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	683498	square feet
TOTAL BUILDINGS AREA	144229	square feet
NET LOT AREA	539269	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	80890	square feet
TOTAL BED PROVIDED	88645	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	66404	square feet
TOTAL GROUND COVER PROVIDED	67074 (16%)	square feet
TOTAL SOD AREA	13217 (19%)	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	101862 (19%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Pan American Frwy
Required # 32 Provided # 32

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
(minimum 2" cal. @ 30' at maturity)
Required # 26 Provided # 91

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

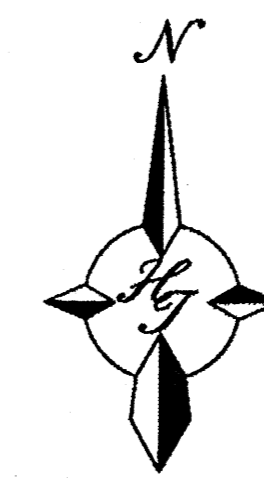
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

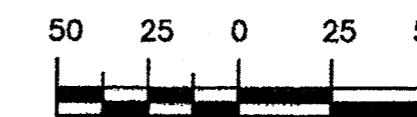
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

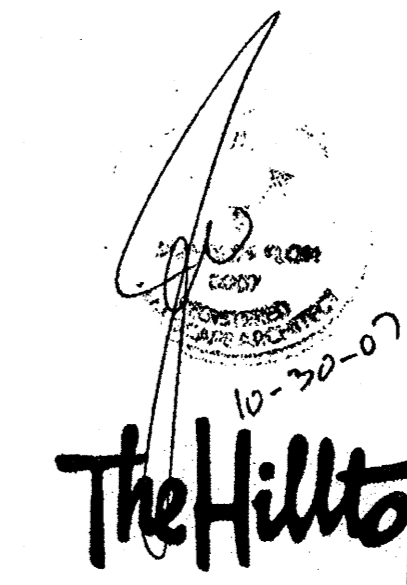
Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE



SCALE: 1"=50'



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

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LANDSCAPE ARCHITECT'S NM LICENSE # 007

DRAWN BY: RMM

PHASE

EPC APPROVAL

SCALE: 1"=50'

DATE

OCTOBER 4, 2007

JOB NUMBER

20705.00

L1 of L4

Master Landscape

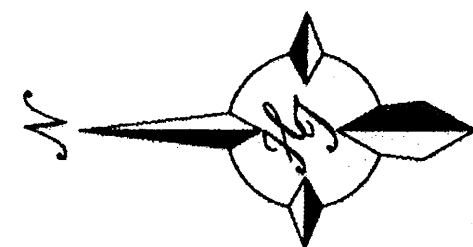
Plan

PLT DATE - 10/20/07

GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



GRAPHIC SCALE



SCALE: 1"=30'

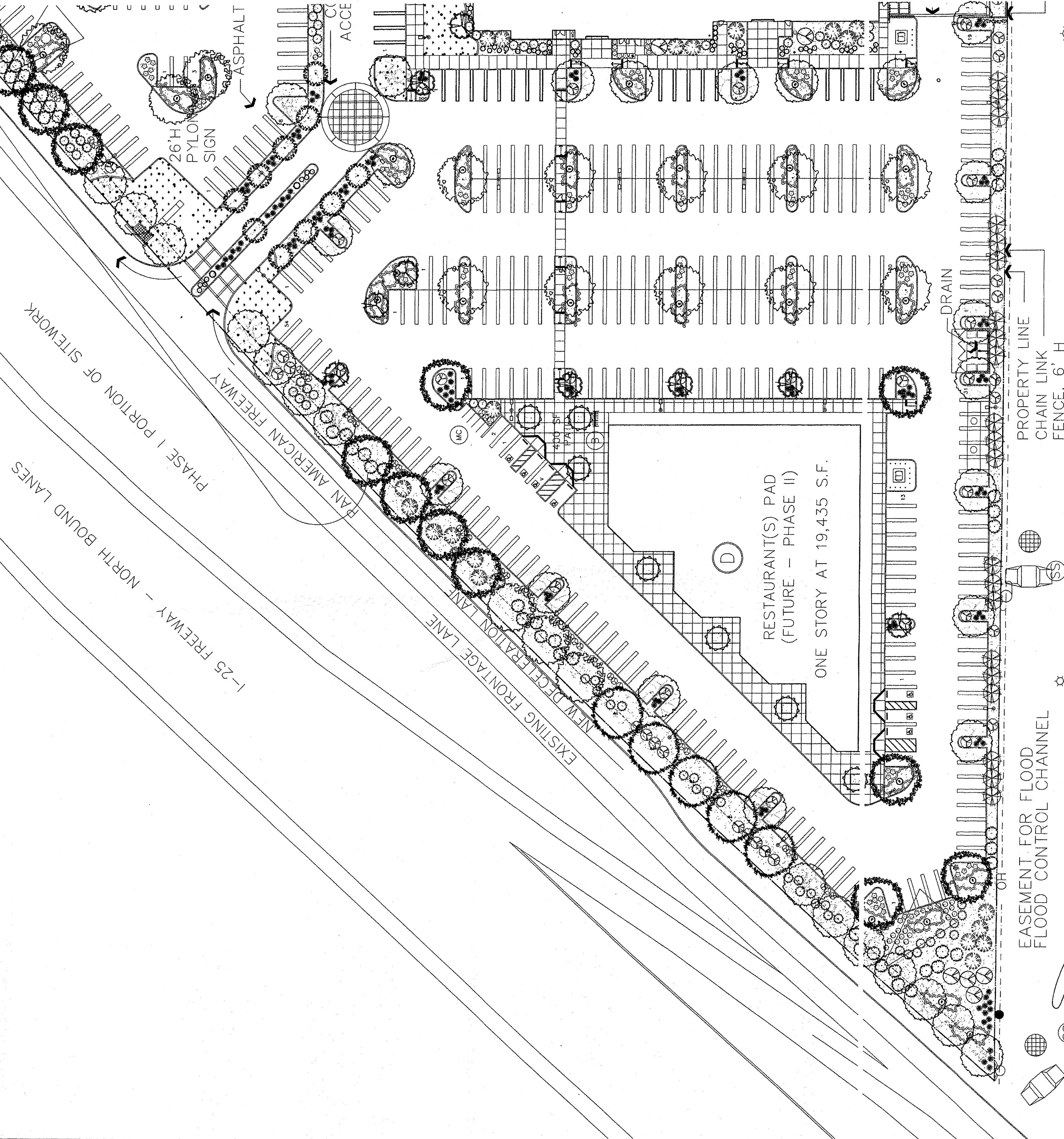
The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

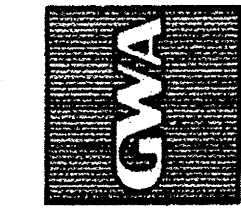
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10-29-07 RMM REVISED SITE PLAN



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 ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM LICENSE # 007

DRAWN BY RMM

PHASE

EPC APPROVAL

SCALE 1"=30'

DATE

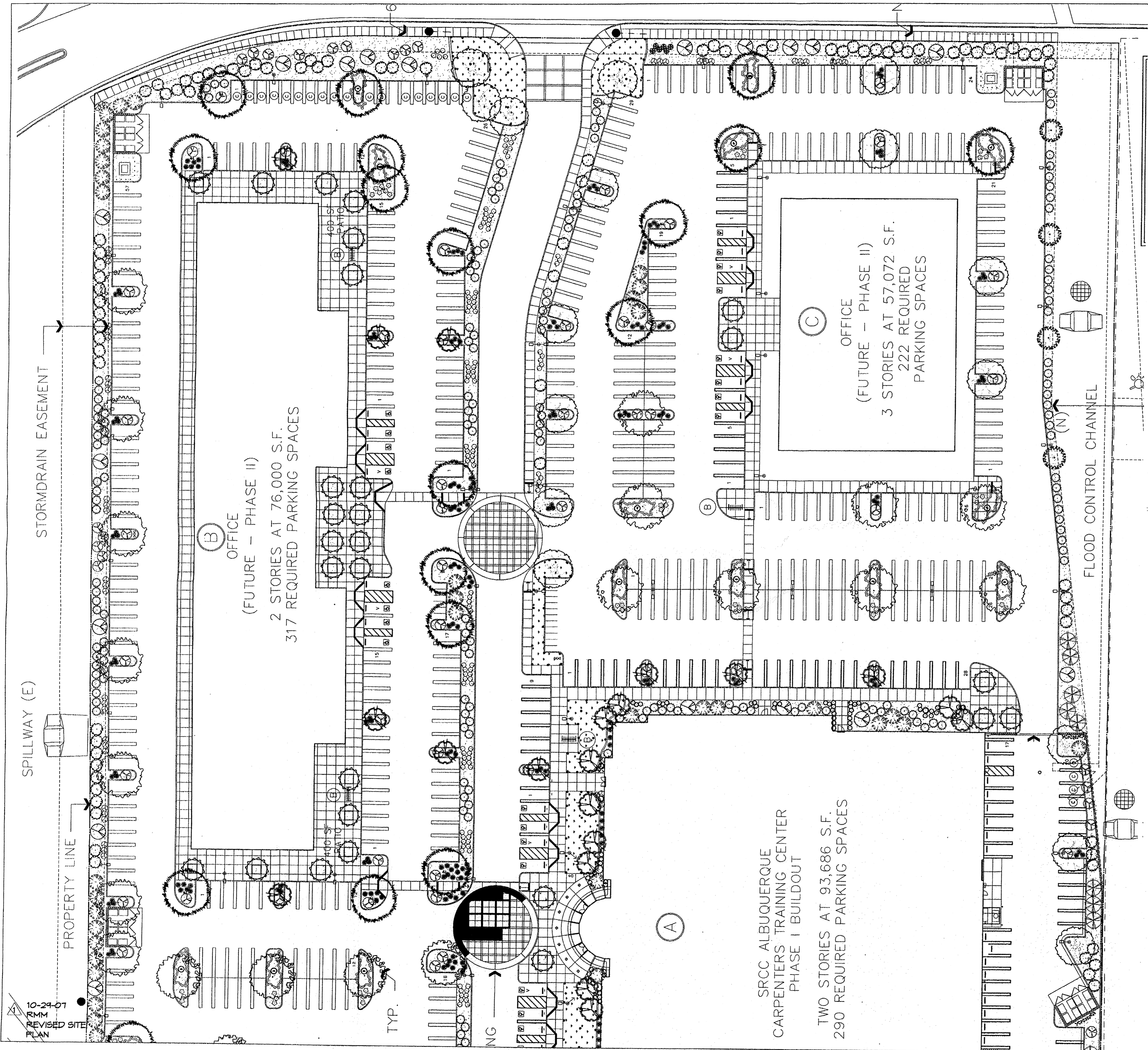
OCTOBER 4, 2007

JOB NUMBER

20705.00

L2 of L4
 Enlarged Landscape
 Plan - West

REV DATE - 10/02/2007



10-24-07
RMM
REVISED SITE
PLAN

(A)

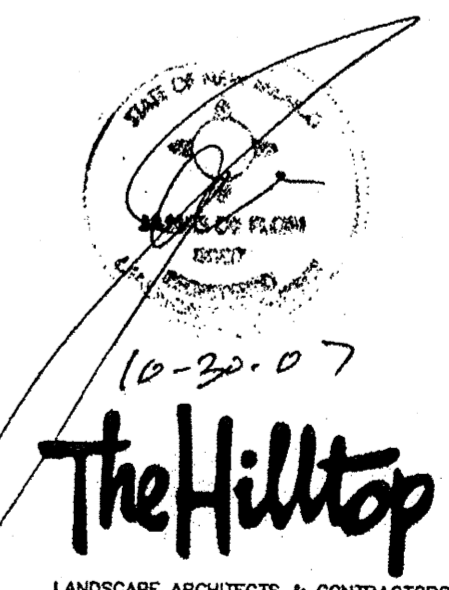
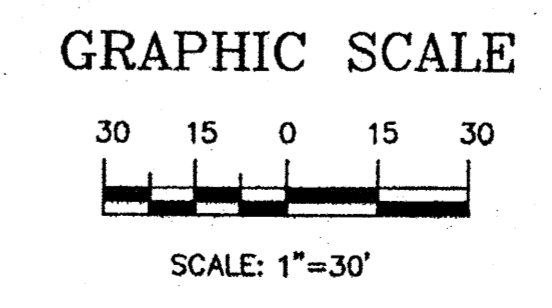
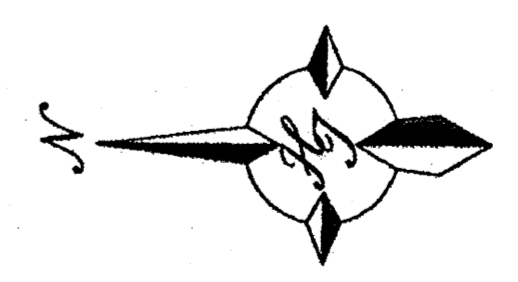
(B)

OFFICE
(FUTURE - PHASE II)
2 STORIES AT 76,000 S.F.
317 REQUIRED PARKING SPACES

(C)

OFFICE
(FUTURE - PHASE II)
3 STORIES AT 57,072 S.F.
222 REQUIRED
PARKING SPACES

SRCC ALBUQUERQUE
CARPENTERS TRAINING CENTER
PHASE I BUILDOUT
TWO STORIES AT 93,686 S.F.
290 REQUIRED PARKING SPACES



LANDSCAPE ARCHITECTS & CONTRACTORS
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placed.

LANDSCAPE ARCHITECT'S NM
LICENSE # 007
DRAWN BY: RMM
PHASE
EPC APPROVAL
SCALE: 1"=30'
DATE
OCTOBER 4, 2007
JOB NUMBER
20705.00




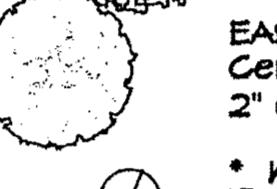

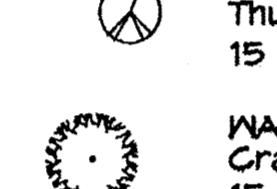
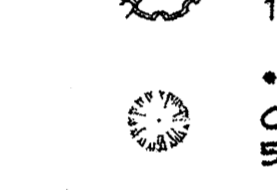
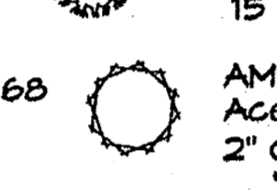
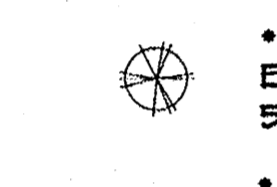
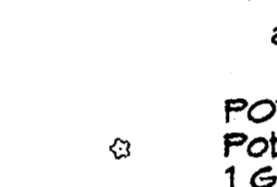

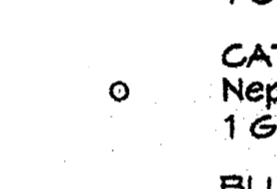

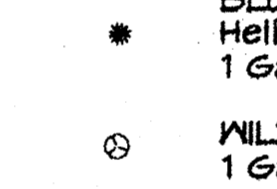


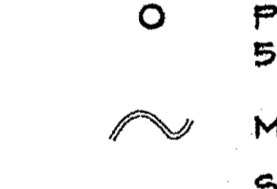
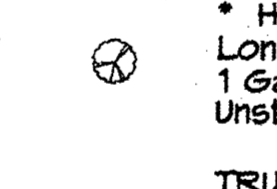
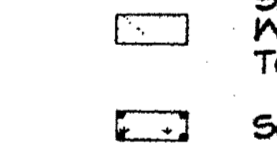
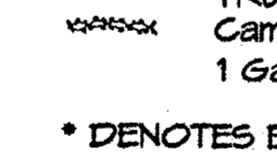



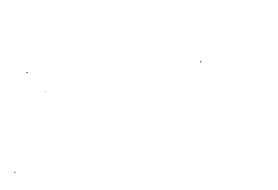



L3 of L4
Enlarged Landscape
Plan - East

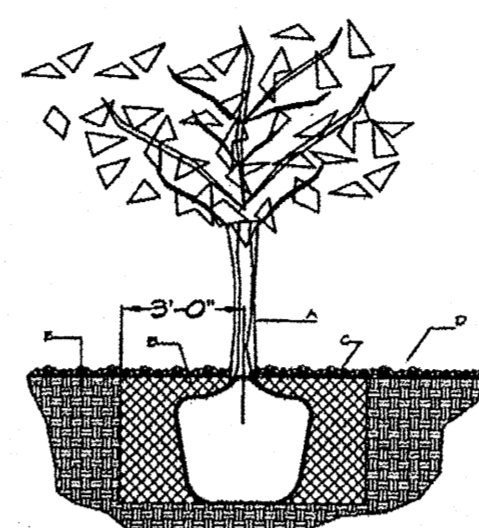
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SRCC CARPENTERS TRAINING CENTER
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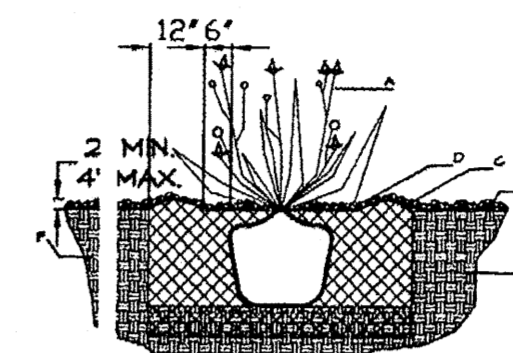
PLANT LEGEND

- | | | | |
|---|---|---|---|
|  | CHINESE PISTACHE (M) 25
<i>Pistacia chinensis</i>
2" Cal., 60" H x 60" W |  | KENTUCKY COFFEE TREE (M) 17
<i>Symnocladus dioica</i>
2" Cal., 50" H x 40" W |
|  | SHUMARD OAK (M) 23
<i>Quercus shumardii</i>
2" Cal., 60" H x 60" W |  | EASTERN REDBUD (M) 50
<i>Cercis canadensis</i>
2" Cal., 30" H x 30" W |
|  | COMMON HACKBERRY (M) 12
<i>Celtis occidentalis</i>
2" Cal., 40" H x 40" W |  | WESTERN RED CEDAR (M) 24
<i>Thuja plicata 'Green Giant'</i>
15 Gal., 169sf, 30" H x 11" W |
|  | PURPLE-LEAF PLUM (M) 31
<i>Prunus spp.</i>
1 1/2" Cal., 20" H x 20" W |  | WASHINGTON HAWTHORN (M+) 14
<i>Crataegus phaenopyrum</i>
15 Gal., 225sf, 25" H x 25" W |
|  | WILLOWLEAF COTONEASTER (M) 68
<i>Cotoneaster salicifolius</i>
5 Gal., 100sf, 6" H x 10" W |  | AMUR MAPLE (M) (IN PATIOS ONLY) 34
<i>Acer ginnala</i>
2" Cal., 20" H x 20" W
*** The two in front of Bldg. A are 4" Cal as noted. *** |
|  | SILVERBERRY (M) 32
<i>Elaeagnus pungens</i>
5 Gal., 100sf, 10" H x 10" W |  | POTENTILLA (M) 159
<i>Potentilla fruticosa</i>
1 Gal., 9sf, 3" H x 3" W |
|  | PHOTINIA (M+) 132
<i>Photinia Fraseri</i>
5 Gal., 64sf, 8" H x 8" W |  | CATMINT (M) 113
<i>Nepeta mussini</i>
1 Gal., 4sf, 1" H x 2" W |
|  | SNOWBERRY (M) 231
<i>Symphoricarpos albus</i>
5 Gal., 36sf, 6" H x 6" W |  | BLUE AVENA/OAT GRASS (M) 318
<i>Helictotrichon sempervirens</i>
1 Gal., 9sf, 2" H x 3" W |
|  | REGAL MIST (M) 6
<i>Muhlenbergia capillaris</i>
5 Gal., 9sf, 3" H x 3" W |  | WILDFLOWER 99
1 Gal., 4sf, size varies |
|  | WESTERN SAND CHERRY (M) 138
<i>Prunus besseyi</i>
5 Gal., 9sf, 3" H x 3" W |  | GREYLEAF COTONEASTER (M) 126
<i>Cotoneaster buxifolius</i>
5 Gal., 81sf, 2" H x 9" W
Symbol indicates 3 plants |
|  | MUGO PINE (M) 5
<i>Pinus mugo</i>
5 Gal., 9sf, 4" H x 3" W |  | HONEYSUCKLE (M) 114
<i>Lonicera japonica 'Halliana'</i>
1 Gal., 144sf, 3" H x 12" W
Unstaked-Groundcover |
|  | MOWCURE 9" WIDE |  | TRUMPET VINE (M) 3
<i>Campsis radicans</i>
1 Gal., climbing to 40' |
|  | SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH |  | * DENOTES EVERGREEN PLANT MATERIAL |
|  | SOD WITH POP UP SPRINKLER | | |



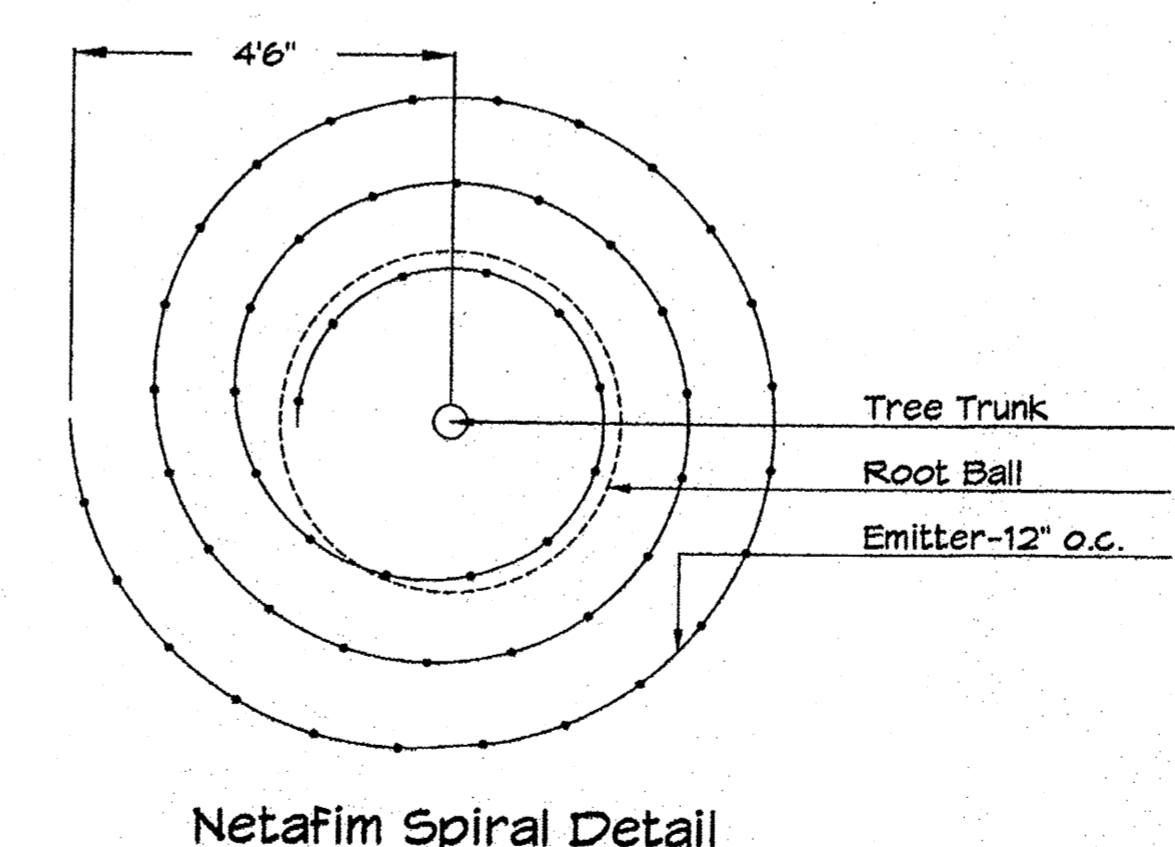
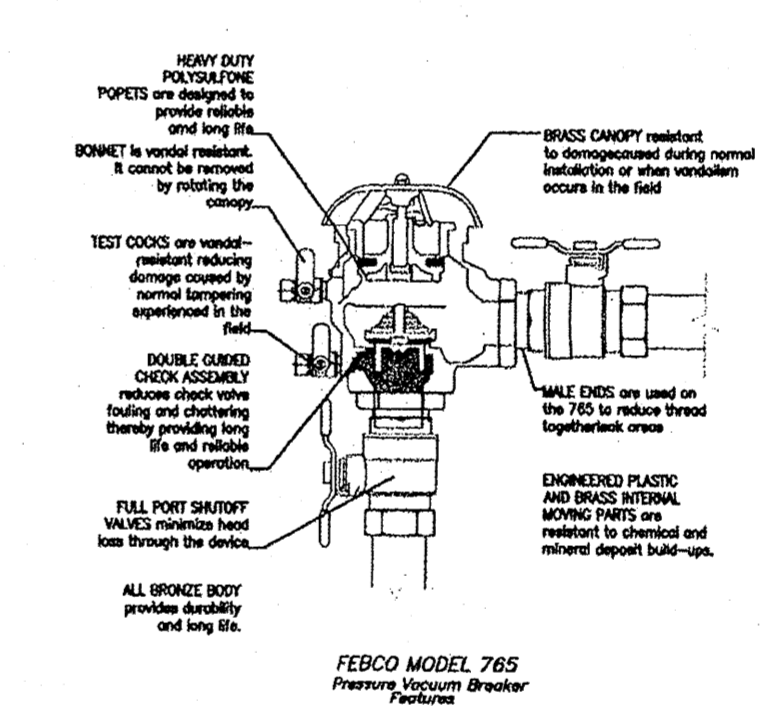
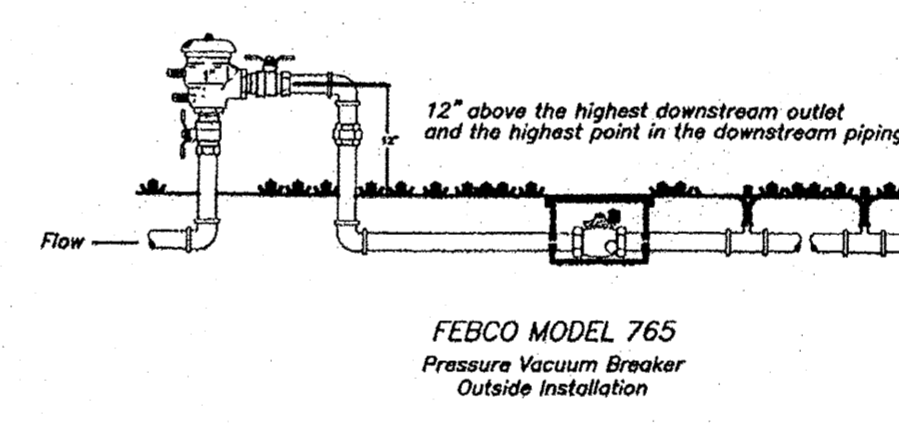
TREE PLANTING DETAIL

- NTS
- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. TREE AND TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

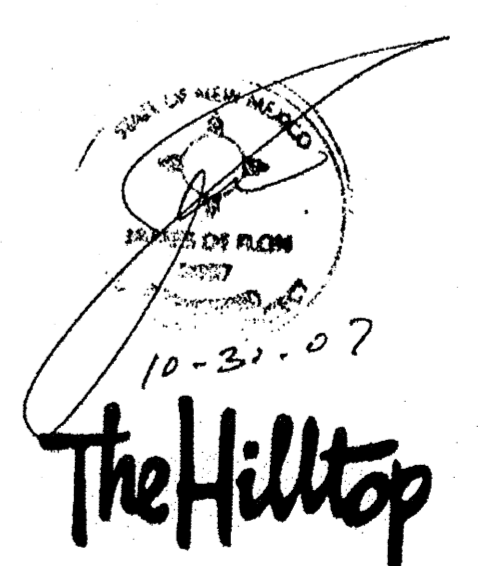
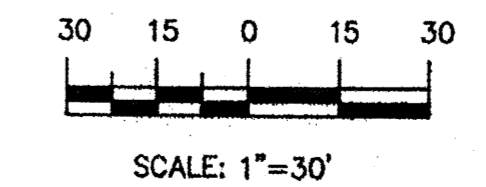


SHRUB PLANTING DETAIL

- NTS
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB
 - B. BACKFILL WITH EXISTING SOIL.
 - C. BUILT BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.



GRAPHIC SCALE



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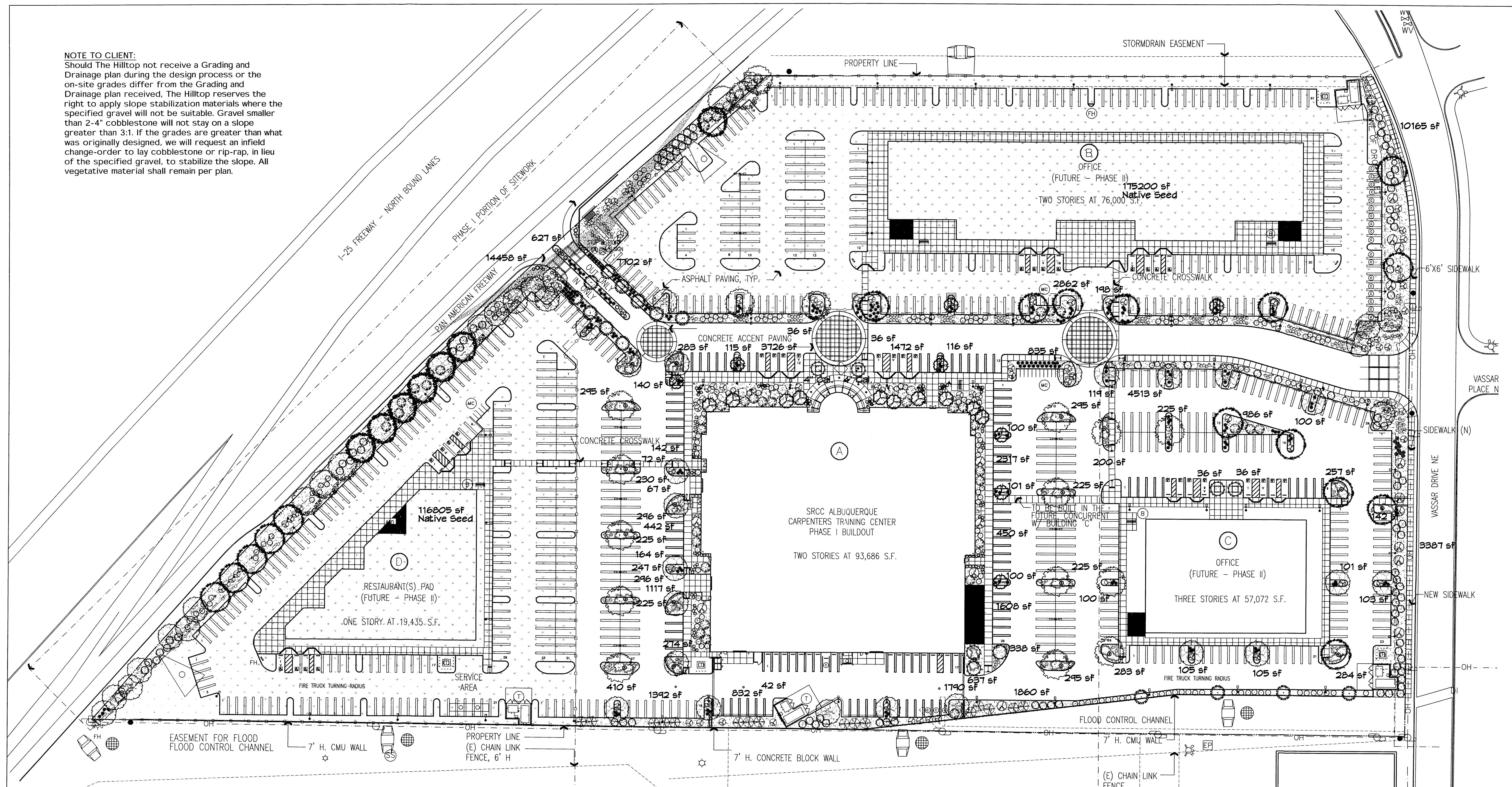
CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM LICENSE # 007
DRAWN BY PAM
PHASE
EPC APPROVAL
SCALE 1"=30'
DATE
OCTOBER 4, 2007
JOB NUMBER
20705.00

L4 of L4
Landscape Details
and Legend

PLT DATE - 10/04/2007

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



LANDSCAPE CALCULATIONS

Phase 1		
TOTAL LOT AREA	390867	square feet
TOTAL BUILDINGS AREA	86795	square feet
NET LOT AREA	304072	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	45611	square feet
TOTAL BED PROVIDED	70970	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	53228	square feet
TOTAL GROUND COVER PROVIDED	53231 (75%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED PROVIDED	292005	square feet
TOTAL LANDSCAPE PROVIDED	362975	square feet

STREET TREE REQUIREMENTS - Phase 1

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Pan American Hwy
Required # 32 Provided # 32

PARKING LOT TREE REQUIREMENTS - Phase 1

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces (minimum 2" cal. # 30' at maturity)
Required # 24 Provided # 24

PHASE I PORTION OF SITESWORK

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

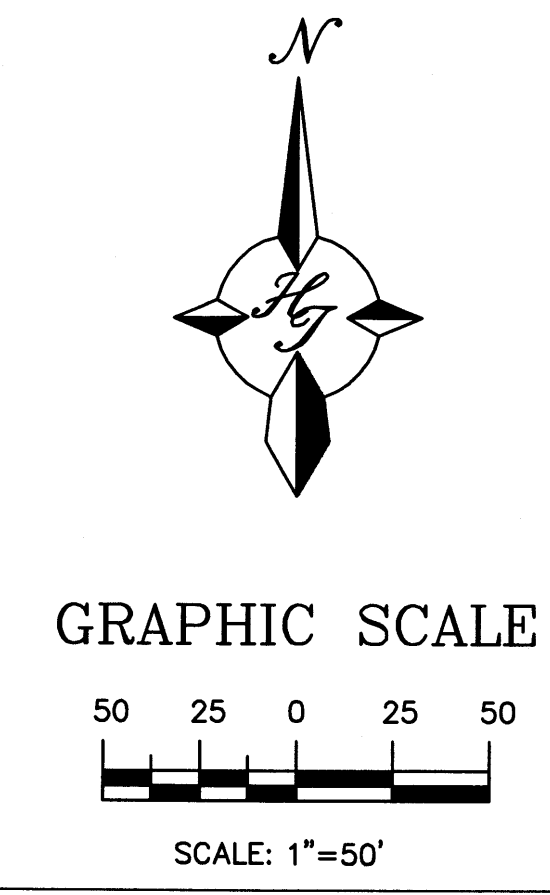
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

- 4 2-29-08 RMM COMMENTS
- 3 2-14-08 RMM COMMENTS
- 2 2-06-08 RMM REVISED SITE PLAN
- 1 10-29-07 RMM REVISED SITE PLAN



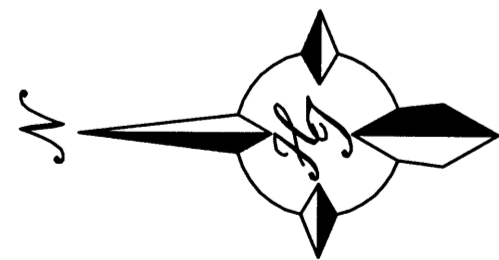
The Hilltop
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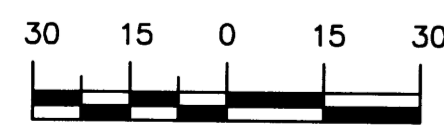
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CARPENTERS CENTER
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 3900A PAN AMERICAN FREEWAY NE
 ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM LICENSE # 007
 DRAWN BY RMM
 PHASE
 EPC APPROVAL
 SCALE 1"=50'
 DATE
 OCTOBER 4, 2007
 JOB NUMBER
 20705.00
 L1 of L4
 Master Landscape Plan
 PLOT DATE - 10/02/07



GRAPHIC SCALE



SCALE: 1"=30'

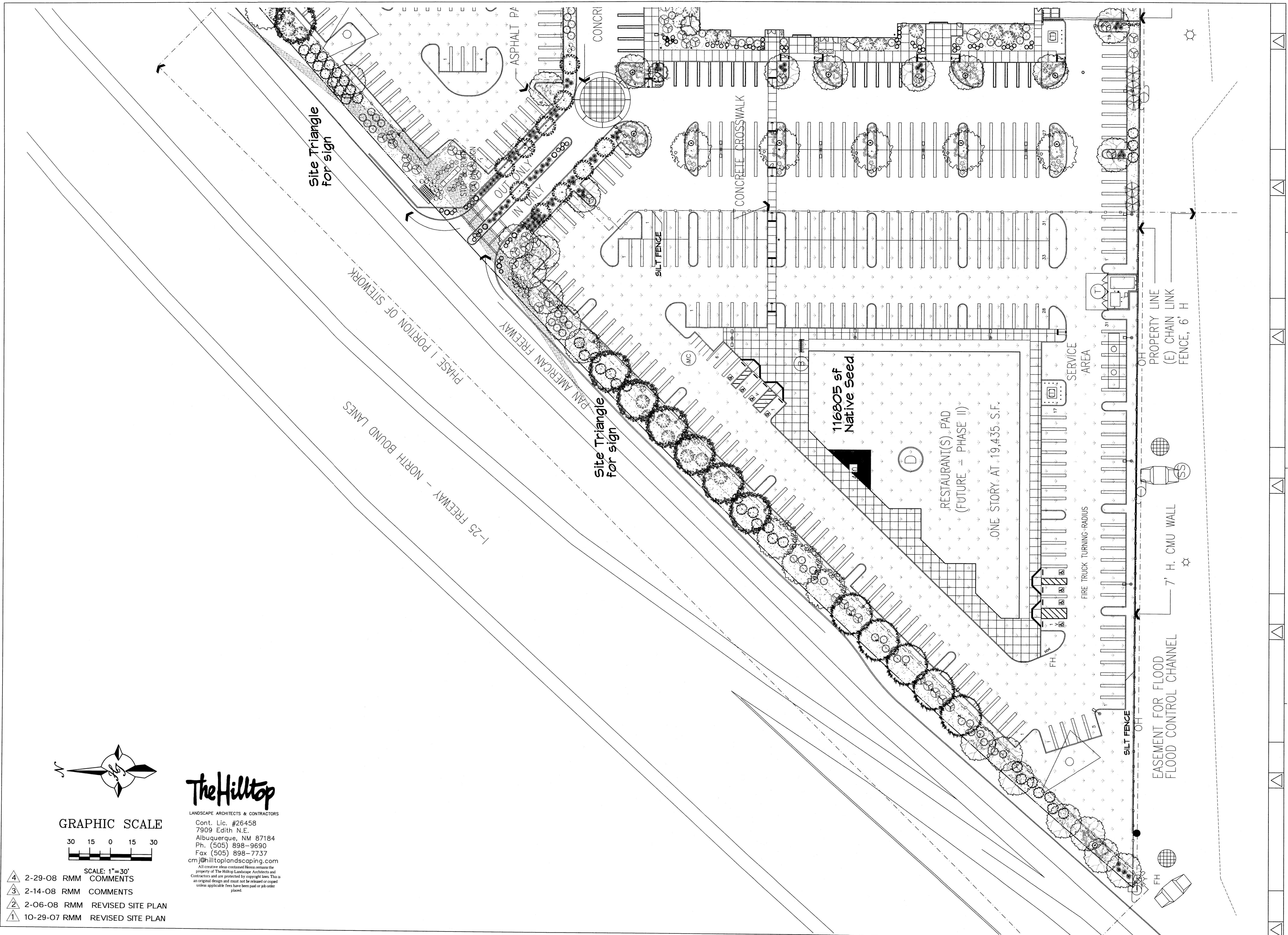
- 4 2-29-08 RMM COMMENTS
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The Hilltop

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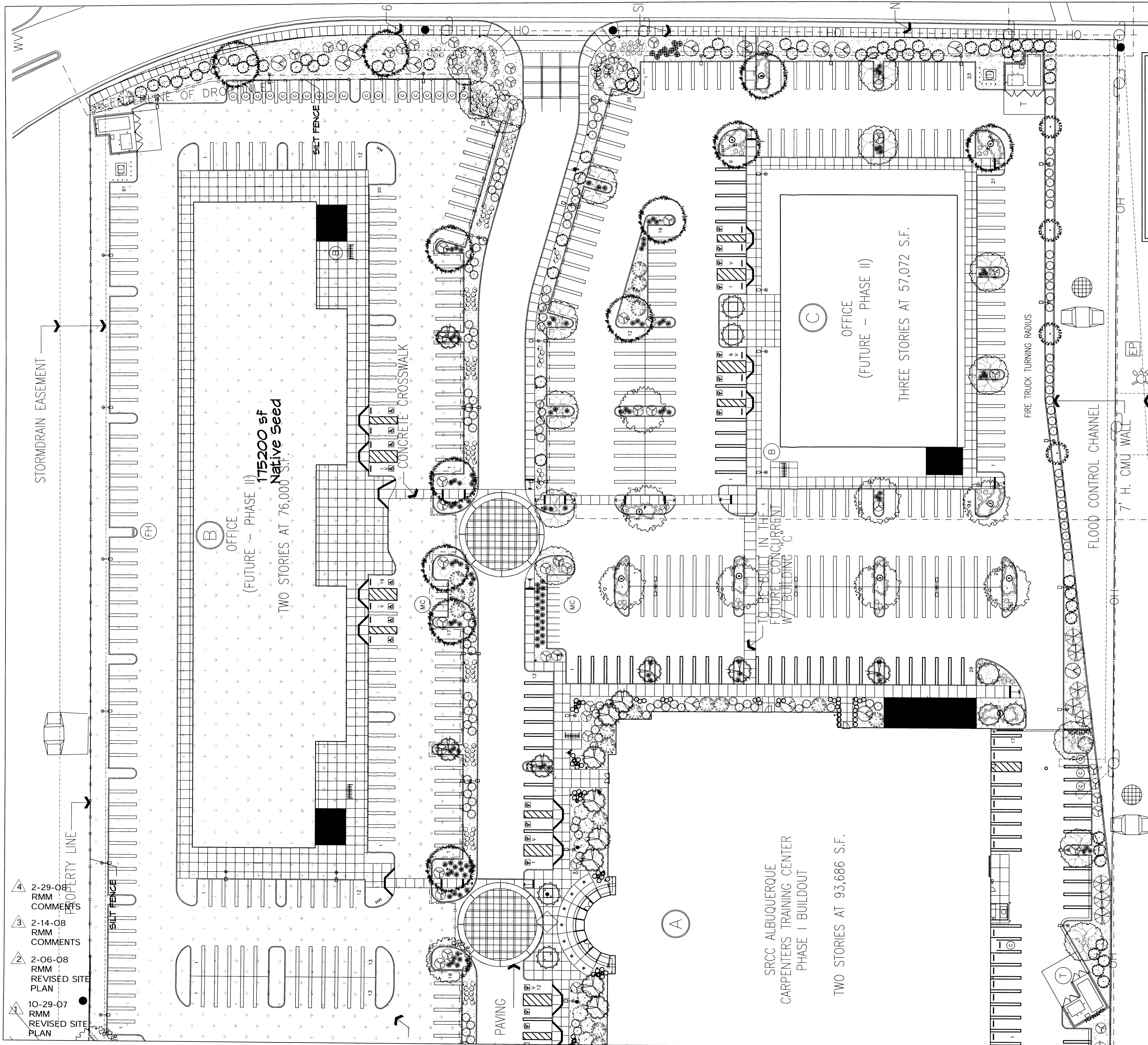
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PHASE
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 SCALE 1"=30'

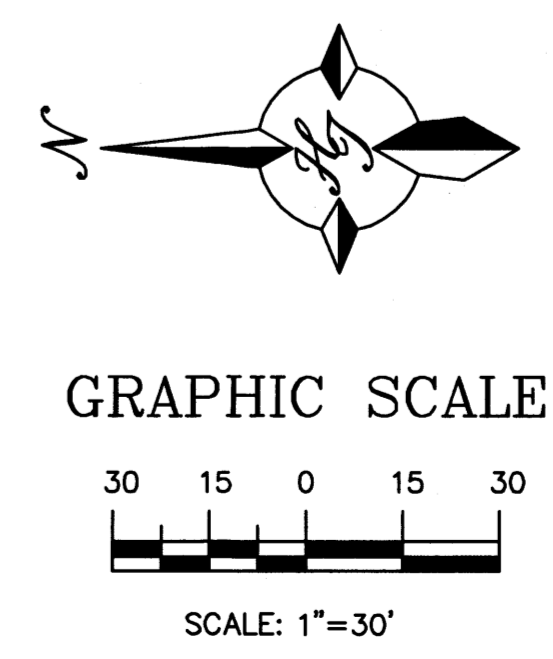
DATE
 OCTOBER 4, 2007
 JOB NUMBER
 20705.00

L2 of L4
 Enlarged Landscape
 Plan - West

PLAT ONE - 10/02/2007



- 4 2-29-08 RMM COMMENTS
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- 2 2-06-08 RMM REVISED SITE PLAN
- 1 10-29-07 RMM REVISED SITE PLAN



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SRCC ALBUQUERQUE
 CARPENTERS TRAINING CENTER
 PHASE I BUILDOUT
 TWO STORIES AT 93,686 S.F.

(B)
 OFFICE
 (FUTURE - PHASE II)
 TWO STORIES AT 76,000 S.F.
 Native Seed
 175200 sf

(C)
 OFFICE
 (FUTURE - PHASE II)
 THREE STORIES AT 57,072 S.F.













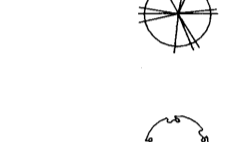




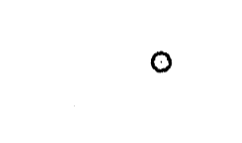



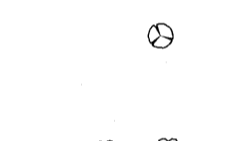


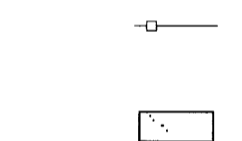

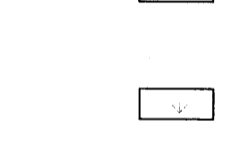
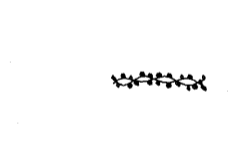
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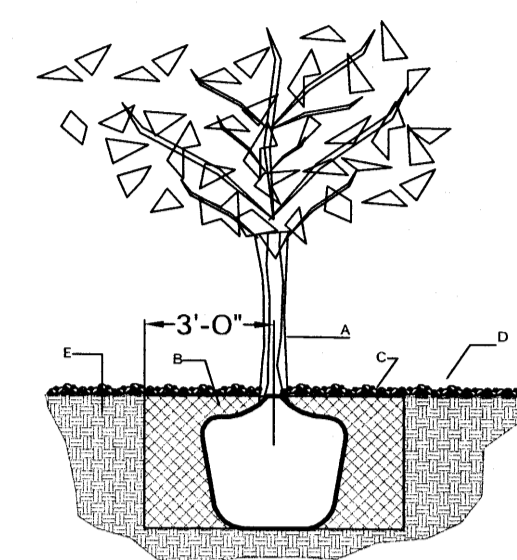
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 ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM
 LICENSE # 007
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 PHASE
 EPC APPROVAL
 SCALE 1"=30'
 DATE
 OCTOBER 4, 2007
 JOB NUMBER
 20705.00
 L3 of L4
 Enlarged Landscape
 Plan - East
 PLOT DATE - 10/04/2007

PLANT LEGEND

Phase 1

- | | |
|---|---|
|  CHINESE PISTACHE (M) 13
<i>Pistacia chinensis</i>
2" Cal., 60" H x 60" W |  KENTUCKY COFFEE TREE (M) 8
<i>Gymnocladus dioica</i>
2" Cal., 50" H x 40" W |
|  SHUMARD OAK (M) 17
<i>Quercus shumardii</i>
2" Cal., 60" H x 60" W |  CHITALPA (M) 41
<i>Chilopsis x Catalpa</i>
2" Cal., 30" H x 30" W |
|  COMMON HACKBERRY (M) 7
<i>Celtis occidentalis</i>
2" Cal., 40" H x 40" W |  * WESTERN RED CEDAR (M) 16
<i>Thuja plicata 'Green Giant'</i>
15 Gal., 169sf, 30" H x 11" W |
|  DESERT WILLOW (L) 18
<i>Chilopsis linearis</i>
15 Gal., 20" H x 20" W |  NEW MEXICO OLIVE (L) 14
<i>Forestiera neomexicana</i>
15 Gal., 225sf, 25" H x 25" W |
|  * PARNEY COTONEASTER (L) 49
<i>Cotoneaster lacteus</i>
5 Gal., 144sf, 12" H x 12" W |  AMUR MAPLE (M) (IN PATIOS ONLY) 5
<i>Acer glinnala</i>
2" Cal., 20" H x 20" W
*** The two in front of Bldg. A are 4" Cal as noted. *** |
|  BROOM BACCHARIS (L+) 16
<i>Baccharis sarothroides</i>
5 Gal., 100sf, 10" H x 10" W |  * MUGO PINE (M) 6
<i>Pinus mugo</i>
5 Gal., 9sf, 4" H x 3" W |
|  BIRD OF PARADISE (L) 10
<i>Caesalpinia gilliesii</i>
5 Gal., 100sf, 4" H x 10" W |  * PERKY SUE (L) 134
<i>Hymenoxys argentea</i>
1 Gal., 3sf |
|  * APACHE PLUME (L) 103
<i>Fallugia paradoxa</i>
5 Gal., 49sf, 6" H x 7" W |  PURPLE ICE PLANT (L+) 125
<i>Delosperma cooperi</i>
1 Gal., 4sf, .5" H x 2" W |
|  THREE-LEAF SUMAC (L) 108
<i>Rhus trilobata</i>
5 Gal., 36sf, 5" H x 6" W |  BLUE AVENA/OAT GRASS (M) 223
<i>Helictotrichon sempervirens</i>
1 Gal., 9sf, 2" H x 3" W |
|  REGAL MIST (M) 10
<i>Muhlenbergia capillaris</i>
5 Gal., 9sf, 3" H x 3" W |  WILDFLOWER 15
1 Gal., 4sf, size varies |
|  * RED YUCCA (L) 170
<i>Hesperaloe parviflora</i>
5 Gal., 9sf, 3" H x 3" W |  * GREYLEAF COTONEASTER (M) 63
<i>Cotoneaster glaucophyllus</i>
5 Gal., 81sf, 2" H x 4" W
Symbol indicates 3 plants |
|  SILT FENCE |  WINTER JASMINE (L+) 106
<i>Jasminum nudiflorum</i>
1 Gal., 144sf, 3" H x 12" W
Unstaked-Groundcover |
|  SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH |  TRUMPET VINE (M) 3
<i>Campsis radicans</i>
1 Gal., climbing to 40' |
|  NATIVE SEED WITH CRIMP STRAW |  OVERSIZED GRAVEL & 21 BOULDERS |
- * DENOTES EVERGREEN PLANT MATERIAL



TREE PLANTING DETAIL

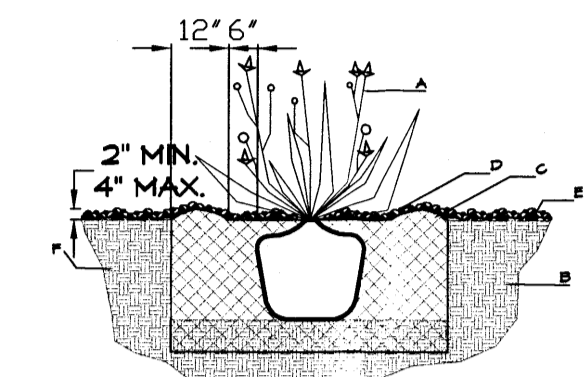
NTS

GENERAL NOTES:

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2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

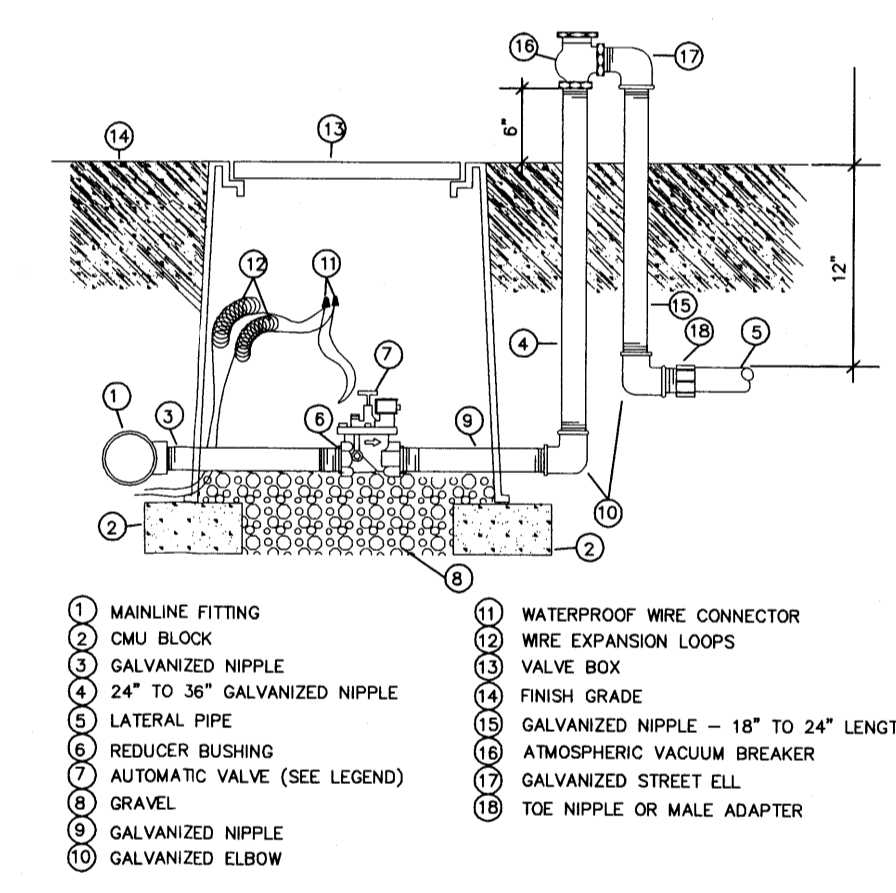
NTS

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

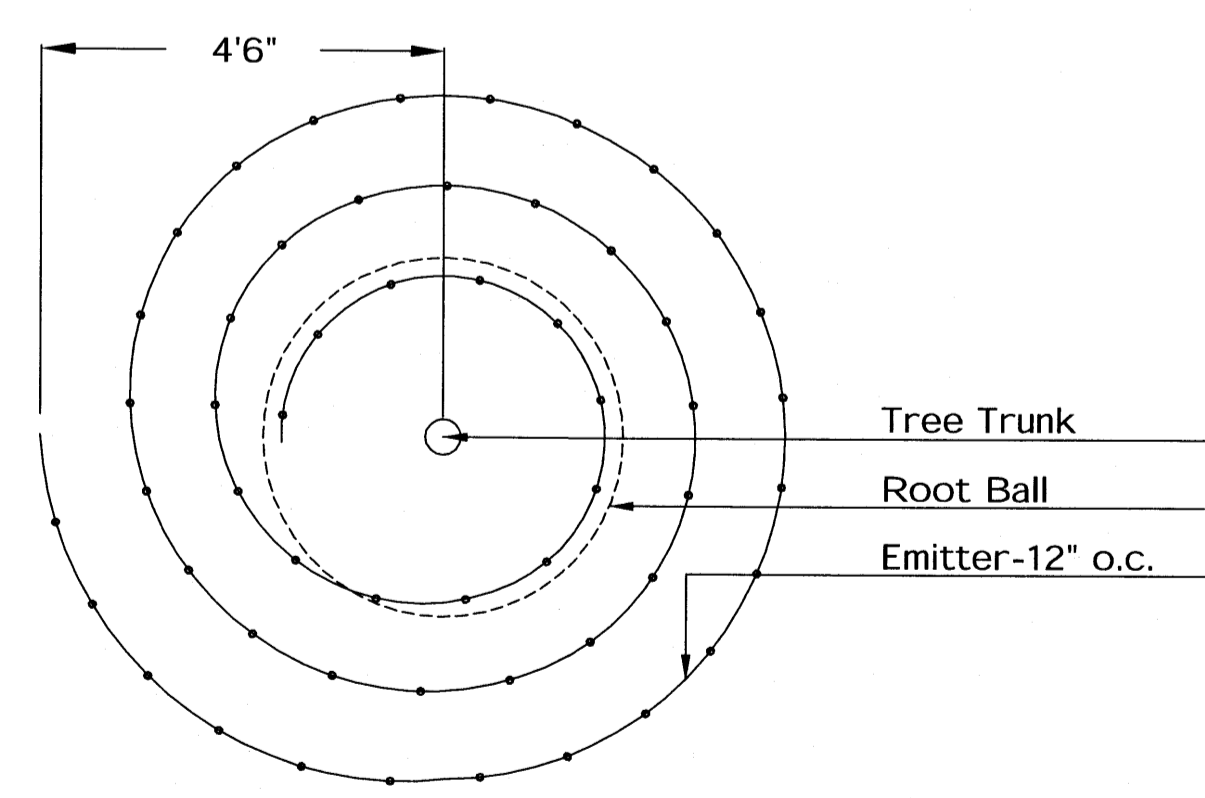
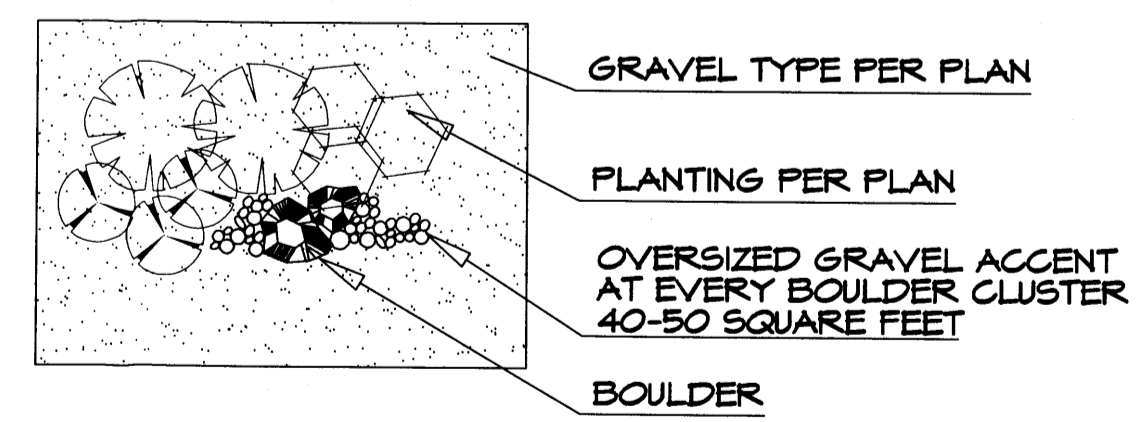
CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



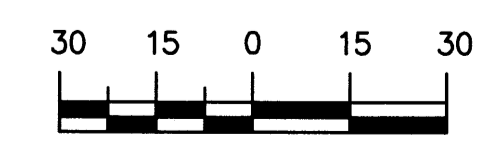
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.

GRAVEL ACCENT DETAIL



Netafim Spiral Detail

GRAPHIC SCALE



SCALE: 1" = 30'



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- 4 2-29-08 RMM COMMENTS
- 3 2-14-08 RMM COMMENTS
- 2 2-06-08 RMM REVISED SITE PLAN
- 1 10-29-07 RMM REVISED SITE PLAN

GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4485 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



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LANDSCAPE ARCHITECT'S NM LICENSE # 007

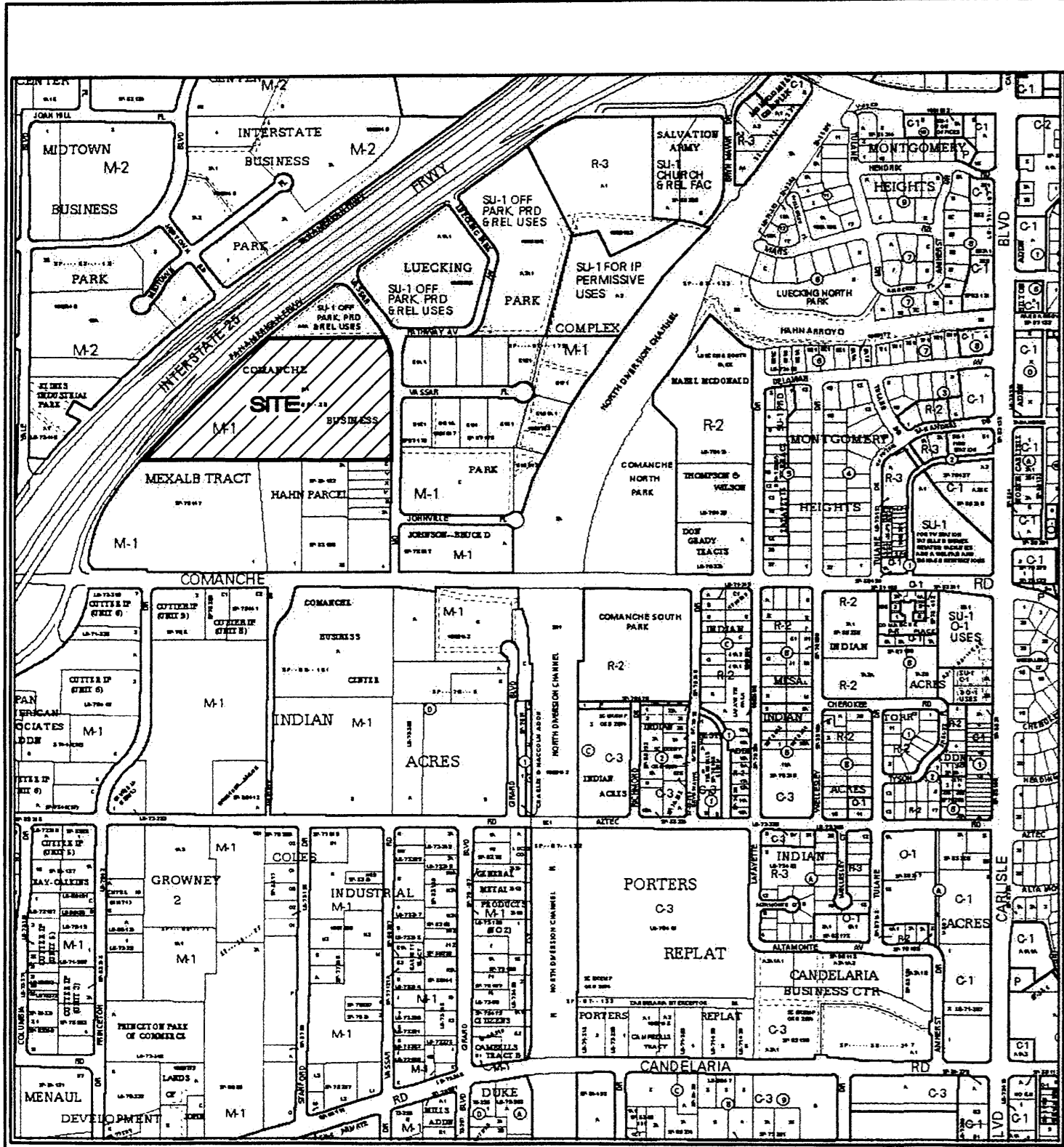
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PHASE
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SCALE 1"=30'

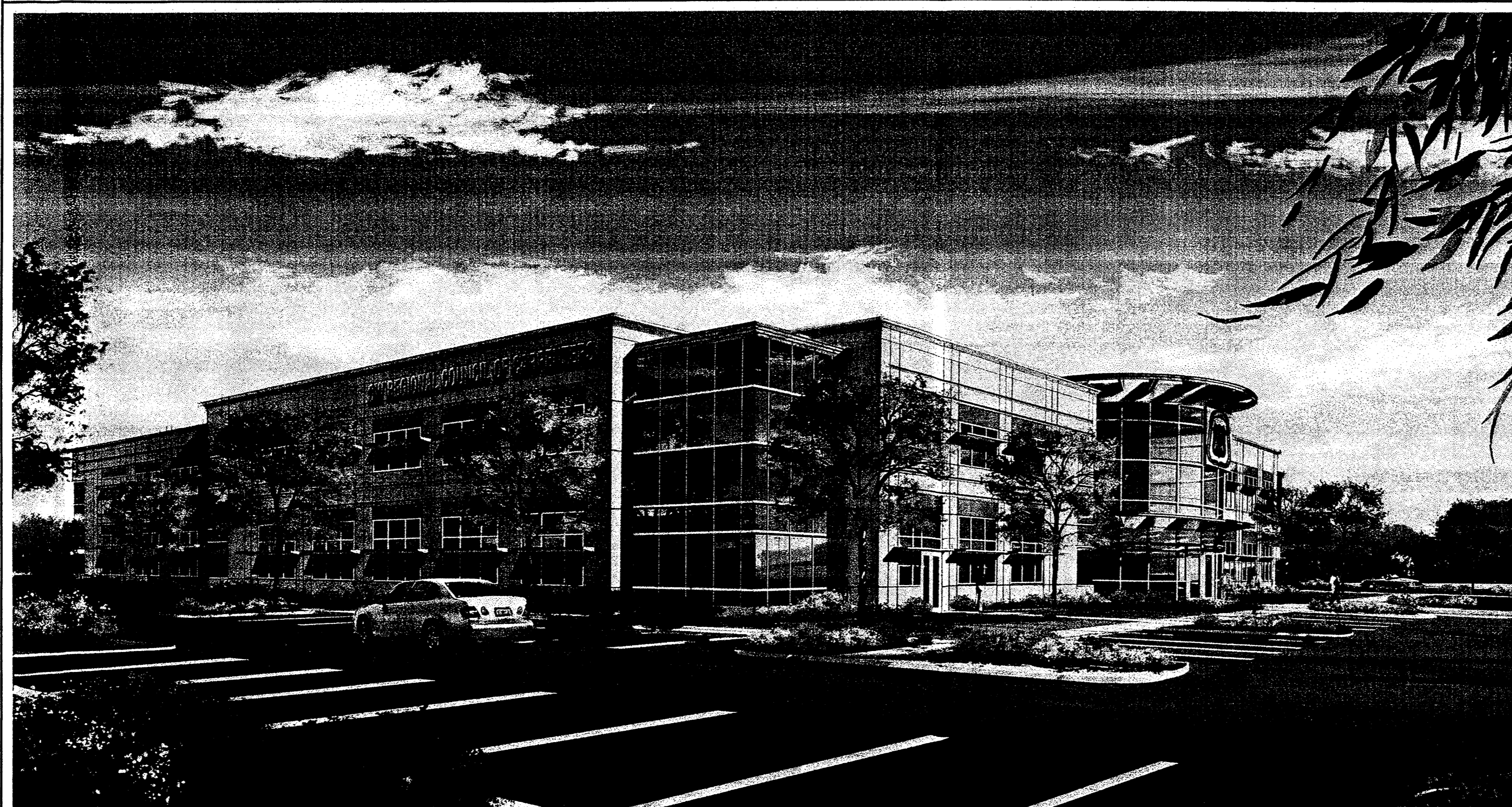
DATE
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L4 of L4
Landscape Details
and Legend

PLUT DATE - 10/04/2007



VICINITY MAP (G-16-Z)



RENDERING OF PROPOSED TRAINING CENTER - BUILDING A

CARPENTERS CENTER

A MIXED USE CAMPUS FOR THE "SOUTHWEST REGIONAL COUNCIL OF CARPENTERS - ALBUQUERQUE TRAINING CENTER AND UNION OFFICES", AND FUTURE TENANT BUILDINGS. THE TRAINING CENTER BUILDING WILL BE CONSTRUCTED INITIALLY, FOLLOWED BY TENANT OFFICE BUILDINGS AND RESTAURANT AS LEASING PROGRESSES. THE QUALITY OF MATERIALS, FINISHES, AND DETAILS WILL BE CONSISTENT BETWEEN BUILDINGS.

PROJECT SCOPE

ARCHITECTURAL

- A-1 COVER SHEET
- A-2 SITE PLAN FOR BUILDING PERMIT
- A-3 EXTERIOR ELEVATIONS
- A-4 SITE DETAILS
- A-5 COLOR IMAGES

CIVIL

- C-1 CONCEPTUAL GRADING & DRAINAGE PLAN
- C-2 CONCEPTUAL MASTER UTILITY PLAN
- C-3 DETAIL SHEET

LANDSCAPE

- L-1 MASTER LANDSCAPE PLAN
- L-2 ENLARGED LANDSCAPE PLAN - WEST
- L-3 ENLARGED LANDSCAPE PLAN - EAST
- L-4 LANDSCAPE DETAILS & LEGEND

SHEET INDEX

OWNER	SOUTHWEST REGIONAL COUNCIL OF CARPENTERS 533 S. FREMONT AVE 10TH FLOOR LOS ANGELES, CA. 90071 JUSTIN WEIDNER - 213-385-1457 213-385-3759 (FAX)
OWNER'S REPRESENTATIVE	SOUTHWEST REGIONAL COUNCIL OF CARPENTERS 533 S. FREMONT AVE 9TH FLOOR LOS ANGELES, CA. 90071 RANDY SOWELL - 213-488-2957 213-483-2951 (FAX)
ARCHITECT	GIN WONG ASSOCIATES 4465 WILSHIRE BLVD, SUITE 100 LOS ANGELES, CA 90010 323-938-4422 323-938-4114 (FAX)
CONSTRUCTION CONSULTANT	EJM CONSULTANTS, INC 13810 CALLE DE LOS PINOS, SUITE A LAKE ELSINORE, CA 92530 951-678-2087 951-678-4057 (FAX)
CIVIL ENGINEER	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 505-858-3100 505-858-1118 (FAX)
LANDSCAPE	THE HILLTOP LANDSCAPE ARCHITECTS 7909 EDITH NE ALBUQUERQUE, NM 87184 505-898-9690 505-898-7737 (FAX)

PROPOSED DESIGN GUIDELINES:

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE INITIAL BUILDING THAT IS DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

1. PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONING CODE.
2. THE COLOR, MATERIALS AND ARCHITECTURE OF BUILDINGS IN PHASE II SHALL MATCH, OR ACHIEVE A CONTINUITY OF DESIGN WITH, BUILDING A IN PHASE I. THEY SHALL HAVE SIMILAR DETAILING OF WALL SURFACES, CANOPIES AND FENESTRATION.
3. ACCENT COLORS FOR TRIM SHALL MATCH, OR BE COMPATIBLE WITH, THOSE OF BUILDING A IN PHASE I.
4. BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS.
5. SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS. ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.
6. ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
7. RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDINGS ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
8. CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. AREA LIGHTING SHALL BE SUPPLEMENTED BY PEDESTRIAN-SCALE AND/OR BUILDING-MOUNTED LIGHTING, WHERE NECESSARY TO ILLUMINATE WALKWAYS, BUILDING ENTRANCES AND COMMON AREA. FIXTURES SHALL BE COMPATIBLE WITH AREA LIGHTING AND BUILDING ARCHITECTURE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE BASED ON A PHOTOMETRIC ILLUMINATION STUDY AND SUBMITTED DURING PLAN CHECK FOR FINAL APPROVAL.

LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 28' (25' POLE ON A 3' CONCRETE BASE). LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.

9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLEMENT THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. ALL SIGN AREA FOR A FREESTANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET PER SIGN FACE. PYLON SIGNS SHALL NOT EXCEED 150 SQUARE FEET PER SIGN FACE. THE HEIGHT OF A FREESTANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR & STYLE OF FREESTANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE. MONUMENT & PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY. THE USE OF NEON IN SIGNS & AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED. THERE SHALL BE NO ILLUMINATED PLASTIC BANDING ON SIGNAGE.

10. VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

11. SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG VASSAR DRIVE.

12. PATIO AREAS SHALL BE PROVIDED AT ALL BUILDINGS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO PEDESTRIAN WAYS AT RESTAURANTS. MINIMUM SIZE TO BE 400 SQUARE FEET WITH 25% OF THE AREA COVERED.

13. BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE BIKE SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE. FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

14. WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS. WALLS TO BE PAINTED SPLIT FACE CONCRETE BLOCK. ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

15. DIMENSIONS OF ALL PARKING SPACES SHALL COMPLY WITH ZONING REGULATIONS (SECTIONS 14-16-1-5 AND 14-16-3-1).

16. THE SITE DEVELOPMENT PLAN SHALL INCLUDE A DESIGN STANDARD THAT FURTHERS THE ENERGY MANAGEMENT GOAL, SECTION II.D.3 OF THE COMPREHENSIVE PLAN.

DESIGN STANDARDS:

1. COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE TOTAL LOT AREA LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS.
6. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK. IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 5 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

7. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE.

8. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE.

9. SITE PLAN FOR BUILDING PERMIT FOR FUTURE BUILDINGS TO BE DELEGATED DOWN TO DRB.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure list required? () Yes () No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

APPROVAL

PROJECT NOTES

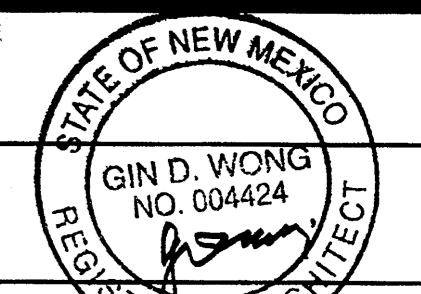
PROJECT TEAM

LEGAL DESCRIPTION:	TRACT A-1 COMANCHE BUSINESS PARK
AREA:	15.7083 ACRES
USES:	OFFICE, RESTAURANT, TRAINING
ZONING:	M-1 (SC) LIGHT MANUFACTURING, SHOPPING CENTER

SITE DATA

COVER SHEET

CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
3900 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



ARCHITECT STATE OF NEW MEXICO
 LICENSE # 4424

DRAWN BY

PHASE

EPC APPROVAL

SCALE

DATE

OCTOBER 30, 2007

JOB NUMBER

20705.00

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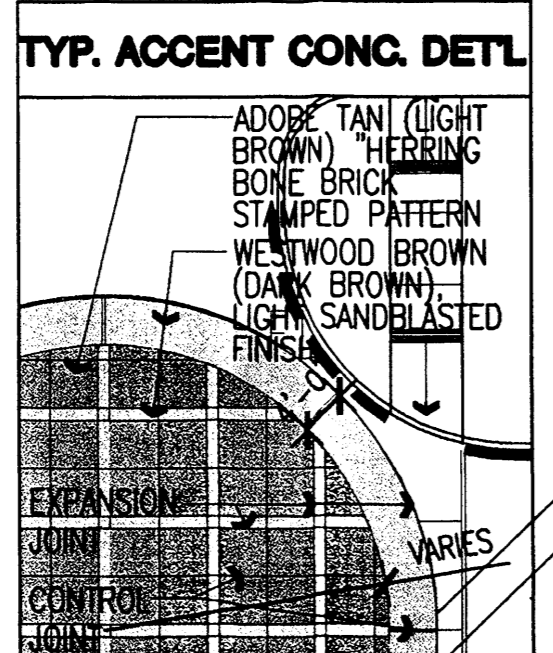
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BUILDING	BUILDING AREA	PROPOSED USE	ZONING	④				②				③				MAX. BLDG. HEIGHT	STORY	PATIO AREA
				PRKG. REQ.	PRKG. PROV.	SHARED PARKING 7AM-6PM	SHARED PARKING 6PM-12AM	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.			
A	93,686	OFFICE & TRAINING ASSEMBLY	M-1 (SC)	180	113	90% 162	5% 9	8	8	2	2	9	10	5	6	50'	2	1,200 SF
B	76,000	OFFICE (FUTURE)	M-1 (SC)	317	277	100% 317	50% 159	8	8	2	2	15	10	6	6	50'	2	800 SF
C	57,072	OFFICE (FUTURE)	M-1 (SC)	221	180	100% 221	50% 111	8	8	2	2	11	10	5	6	65'	3	400 SF
D	19,435	RESTAURANT(S) (FUTURE)	M-1 (SC)	235	224	70% 165	100% 235	8	8	2	2	8	10	5	5	36'	1	400 SF
TOTAL	245,193			1091	881	865	651	32	32	8	8	43	45	21	23			2,800 SF

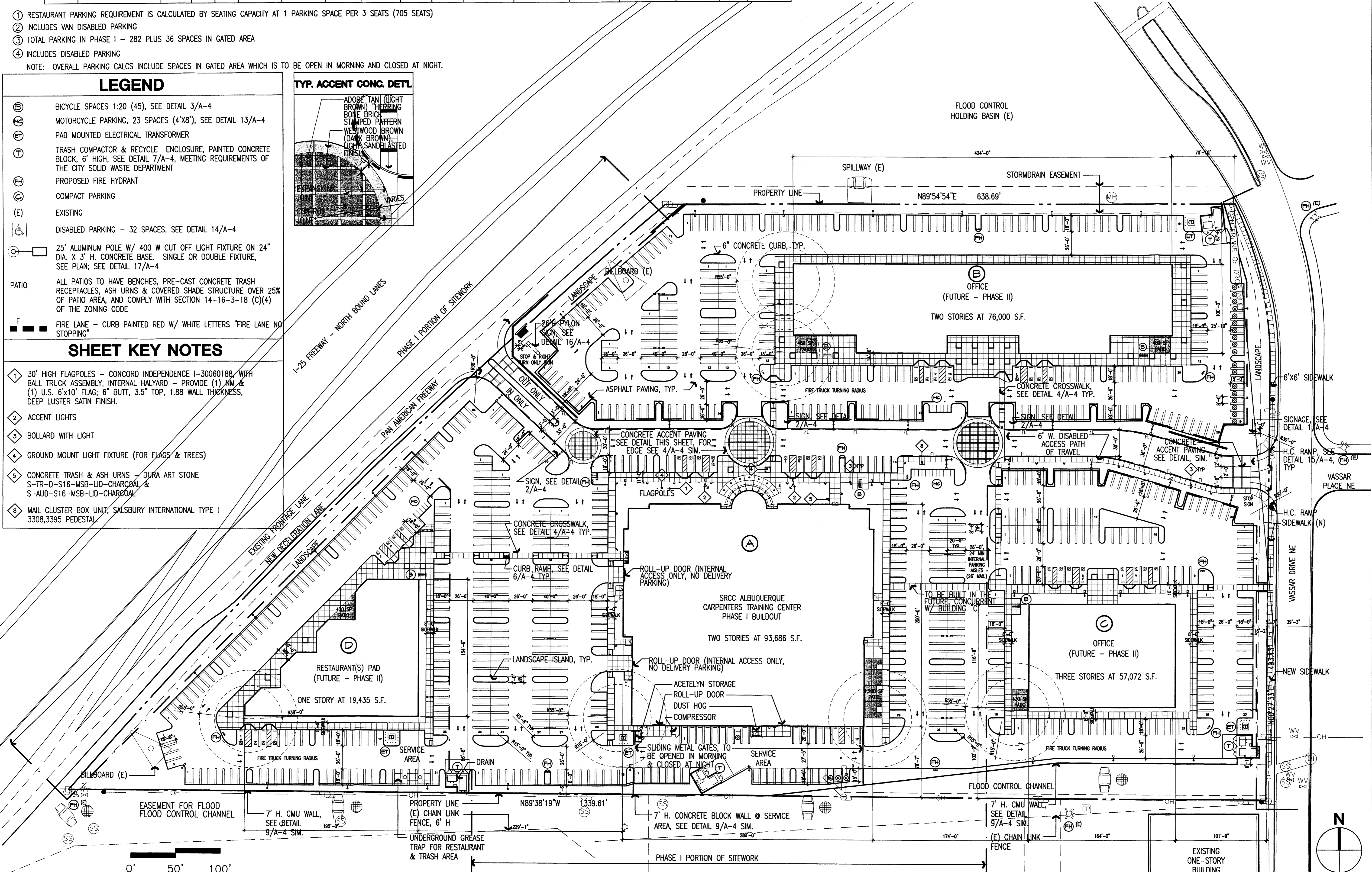
- ① RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY AT 1 PARKING SPACE PER 3 SEATS (705 SEATS)
 - ② INCLUDES VAN DISABLED PARKING
 - ③ TOTAL PARKING IN PHASE I - 282 PLUS 36 SPACES IN GATED AREA
 - ④ INCLUDES DISABLED PARKING
- NOTE: OVERALL PARKING CALCS INCLUDE SPACES IN GATED AREA WHICH IS TO BE OPEN IN MORNING AND CLOSED AT NIGHT.

LEGEND

- (B) BICYCLE SPACES 1:20 (45), SEE DETAIL 3/A-4
- (M) MOTORCYCLE PARKING, 23 SPACES (4'x8'), SEE DETAIL 13/A-4
- (E) PAD MOUNTED ELECTRICAL TRANSFORMER
- (T) TRASH COMPACTOR & RECYCLE ENCLOSURE, PAINTED CONCRETE BLOCK, 6' HIGH, SEE DETAIL 7/A-4, MEETING REQUIREMENTS OF THE CITY SOLID WASTE DEPARTMENT
- (FH) PROPOSED FIRE HYDRANT
- (C) COMPACT PARKING
- (E) EXISTING
- (D) DISABLED PARKING - 32 SPACES, SEE DETAIL 14/A-4
- (L) 25' ALUMINUM POLE W/ 400 W CUT OFF LIGHT FIXTURE ON 24" DIA. X 3' H. CONCRETE BASE. SINGLE OR DOUBLE FIXTURE, SEE PLAN; SEE DETAIL 17/A-4
- PATIO ALL PATIOS TO HAVE BENCHES, PRE-CAST CONCRETE TRASH RECEPTACLES, ASH URNS & COVERED SHADE STRUCTURE OVER 25% OF PATIO AREA, AND COMPLY WITH SECTION 14-16-3-18 (C)(4) OF THE ZONING CODE
- FL FIRE LANE - CURB PAINTED RED W/ WHITE LETTERS "FIRE LANE NO STOPPING"



- ### SHEET KEY NOTES
- 1 30' HIGH FLAGPOLES - CONCORD INDEPENDENCE I-30060188, WITH BALL TRUCK ASSEMBLY, INTERNAL HALYARD - PROVIDE (1) NM & (1) U.S. 6'x10' FLAG; 6" BUTT, 3.5" TOP, 1.88 WALL THICKNESS, DEEP LUSTER SATIN FINISH.
 - 2 ACCENT LIGHTS
 - 3 BOLLARD WITH LIGHT
 - 4 GROUND MOUNT LIGHT FIXTURE (FOR FLAGS & TREES)
 - 5 CONCRETE TRASH & ASH URNS - DURA ART STONE S-TR-D-S16-MSB-LID-CHARCOAL & S-AUD-S16-MSB-LID-CHARCOAL
 - 6 MAIL CLUSTER BOX UNIT, SALSBURY INTERNATIONAL TYPE I 3308,3395 PEDESTAL



GIN WONG ASSOCIATES
 PLANNING AND ARCHITECTURE
 4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422

SITE PLAN FOR BUILDING PERMIT
CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
3900 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107

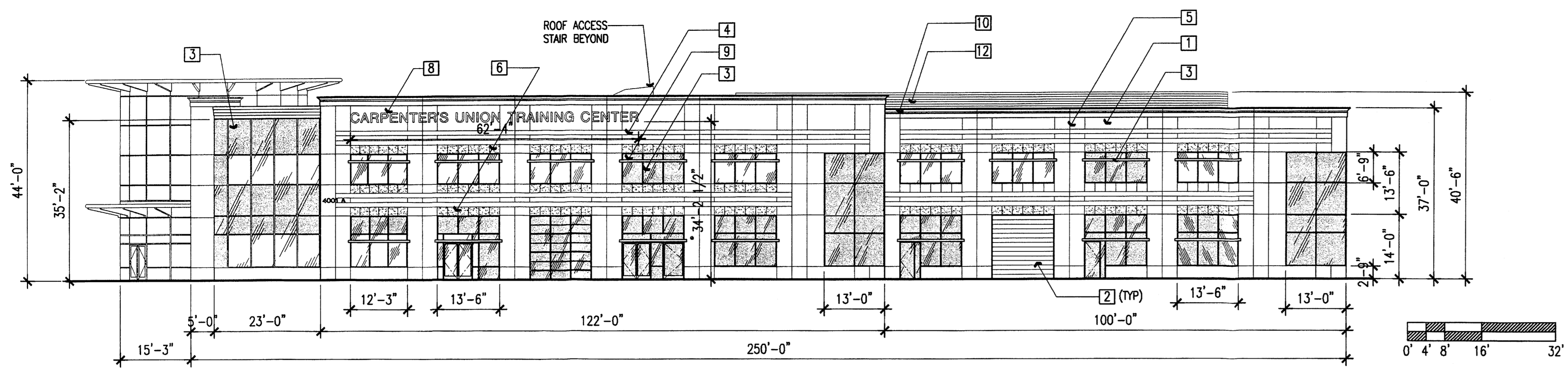
ARCHITECT: GIN D. WONG
 LICENSE # 4424

DATE: OCTOBER 30, 2007
 JOB NUMBER: 20705.00

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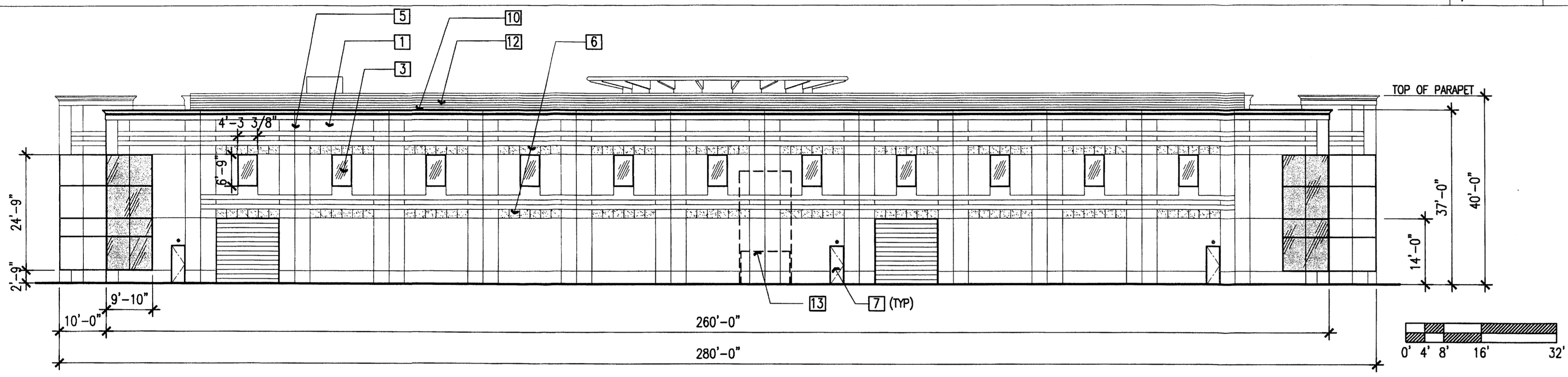
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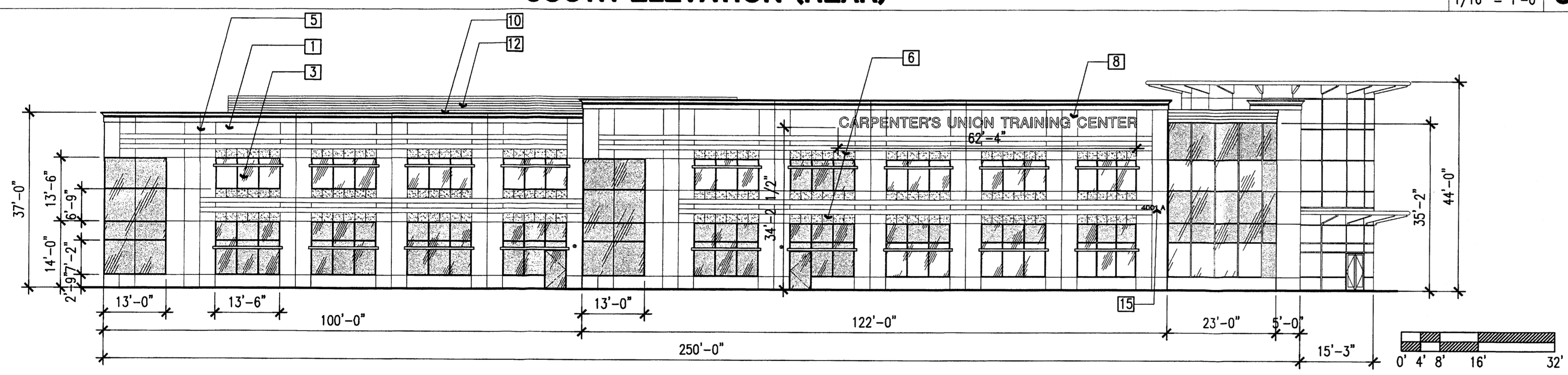
WEST ELEVATION (ELEV. FACING I-25)

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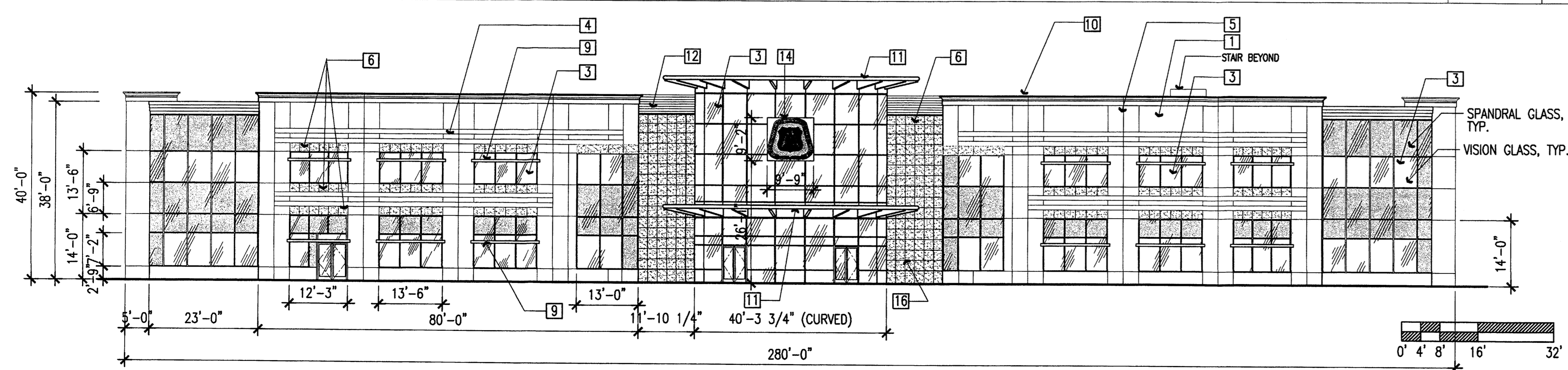
SOUTH ELEVATION (REAR)

SCALE: 1/16" = 1'-0" **3**



EAST ELEVATION (ELEV. FACING VASSAR DRIVE NE)

SCALE: 1/16" = 1'-0" **2**

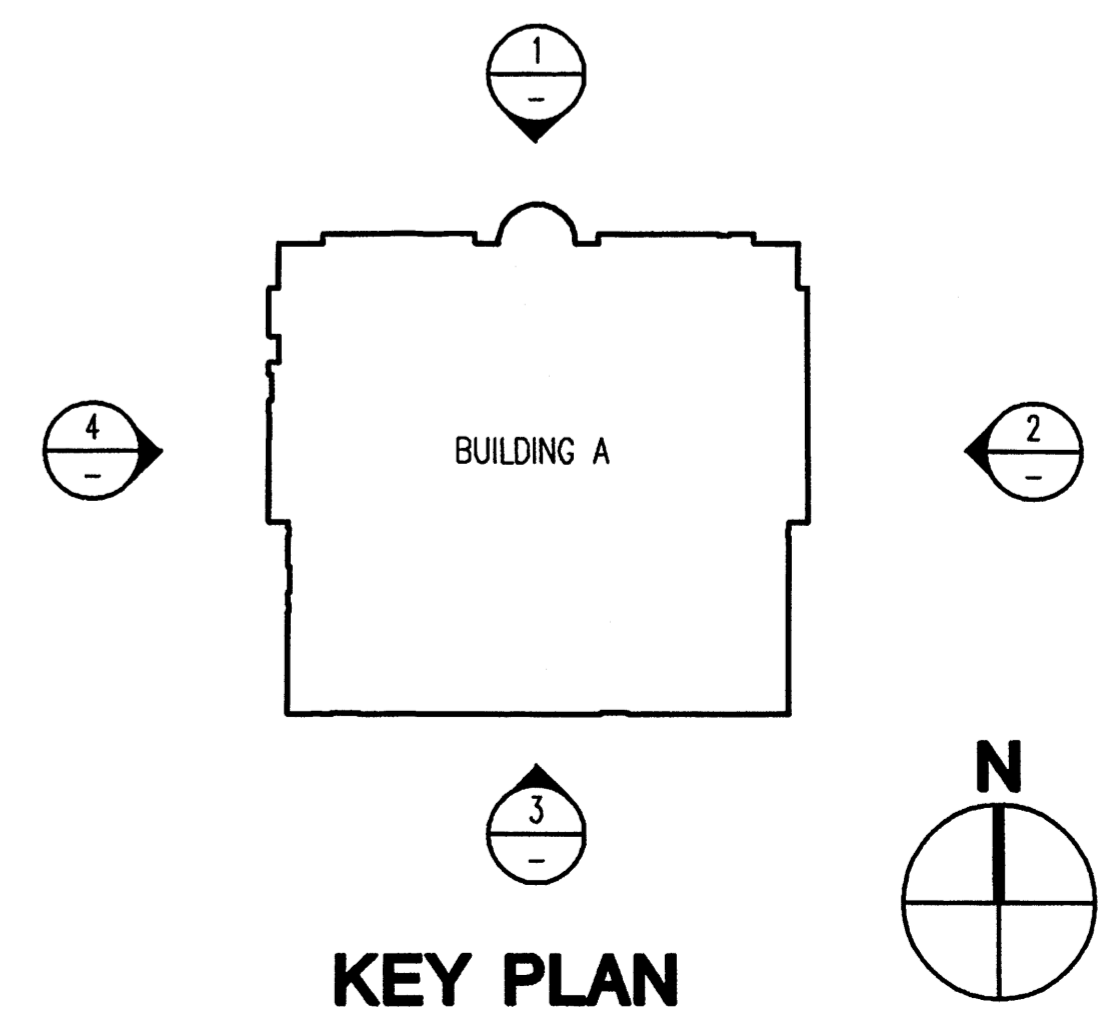


NORTH ELEVATION (FRONT)

SCALE: 1/16" = 1'-0" **1**

LEGEND

- 1 TILT UP CONCRETE PANEL W/ PAINTED FINISH, PT-7, DE 747 "SAHARA" (LIGHT BEIGE)
- 2 OVERHEAD COILING INSULATED ROLL UP DOOR, FACTORY FINISH POWDER COAT, MATCH PT-7
- 3 ALUMINUM & INSULATED GLASS WINDOW, FACTORY FINISH CLASS 1 CLEAR ANODIZED FINISH, 1/4" PPG SOLARCOOL CARIBIA, 1/2" AIR SPACE, 1/4" SOLARBAN 60 LOW E CLEAR GLASS
- 4 CONCRETE REVEAL
- 5 PANEL JOINT
- 6 STONE VENEER 5/8" THK. CHOCOLATE BROWN SANDSTONE
- 7 HOLLOW METAL DOOR & FRAME, PAINT TO MATCH WALL (SEMIGLOSS)
- 8 ILLUMINATED SIGNAGE 3" HIGH FABRICATED ALUMINUM LETTERS WITH BRONZE POWDERCOAT FINISH, WITH HALO ILLUMINATION. SIGN FACE AREA 187 SF (FACADE AREA 9,250 SF, ALLOWABLE SIGNAGE AREA 555 SF). VARIANCE REQUESTED TO ALLOW WALL SIGN TO EXCEED 30' HIGH TO BE COMPATIBLE WITH DESIGN OF EXTERIOR ELEVATION.
- 9 ALUMINUM LIGHT SHELF FOR INTERIOR DAYLIGHTING (COLOR TO MATCH CLASS 1 CLEAR ANODIZED ALUMINUM)
- 10 CORNICE, PT-6, DE 6123 "TRAIL DUST" (DARK BEIGE)
- 11 ALUMINUM FEATURE ELEMENT (COLOR TO MATCH CLASS 1 CLEAR ANODIZED ALUMINUM)
- 12 PAINTED METAL MECHANICAL EQUIPMENT SCREEN, PT-7
- 13 DUST HOG METAL DECK SCREEN, PAINTED TO MATCH BUILDING, PT-7
- 14 INTERNALLY ILLUMINATED SIGNAGE WITH CARPENTER LOGO. SIGN FACE AREA 90 SF (FACADE AREA 10,260 SF, ALLOWABLE SIGNAGE AREA 615 SF). VARIANCE REQUESTED TO ALLOW WALL SIGN TO EXCEED 30' HIGH TO BE COMPATIBLE WITH DESIGN OF EXTERIOR ELEVATION.
- 15 BUILDING ADDRESS, WITH 12" HIGH CAST ALUMINUM LETTERS, DARK BRONZE POWDERCOAT
- 16 FIRE DEPARTMENT "KNOX BOX"



KEY PLAN

GIN WONG ASSOCIATES
 PLANNING AND ARCHITECTURE
 4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



EXTERIOR ELEVATIONS
CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
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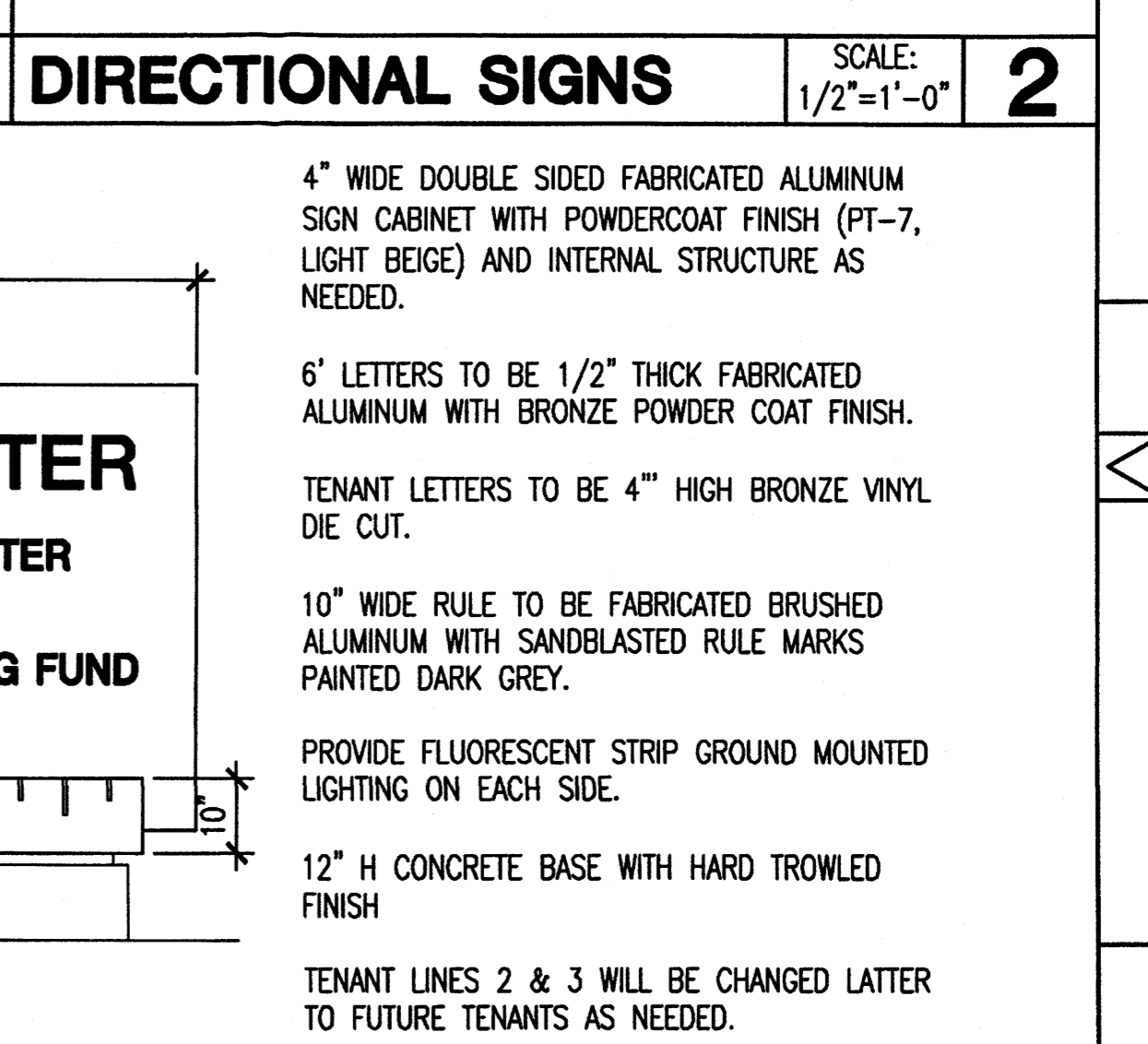
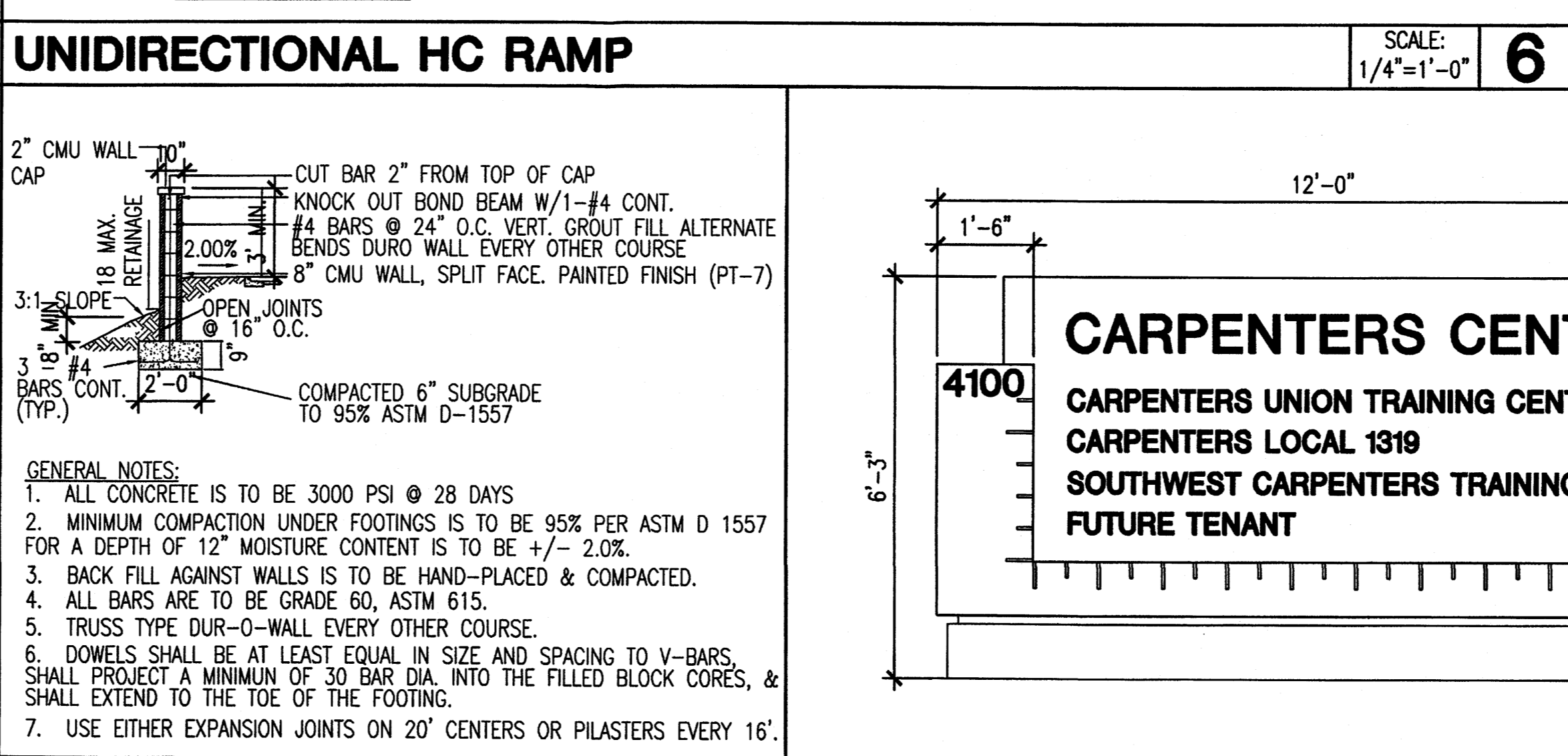
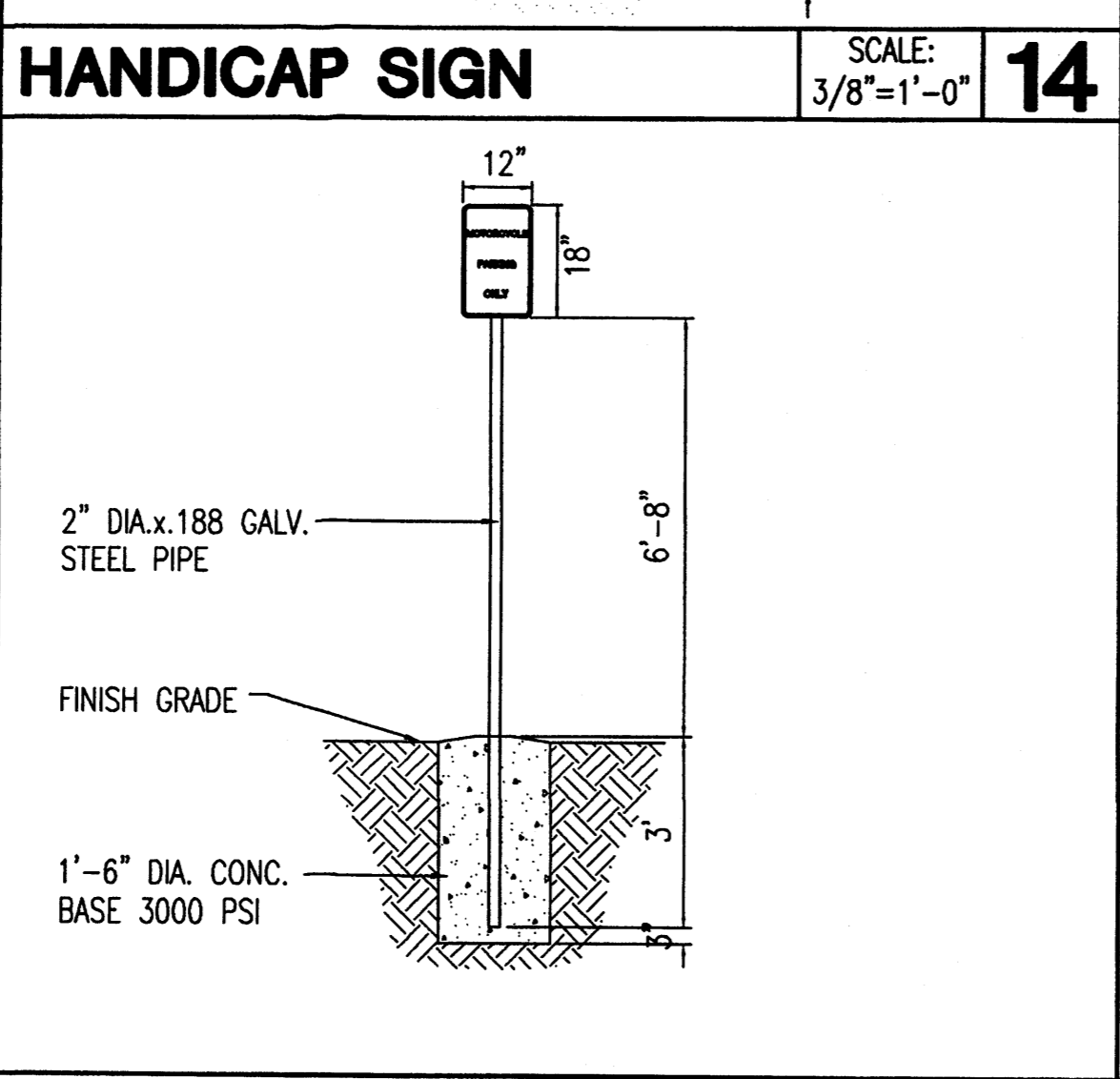
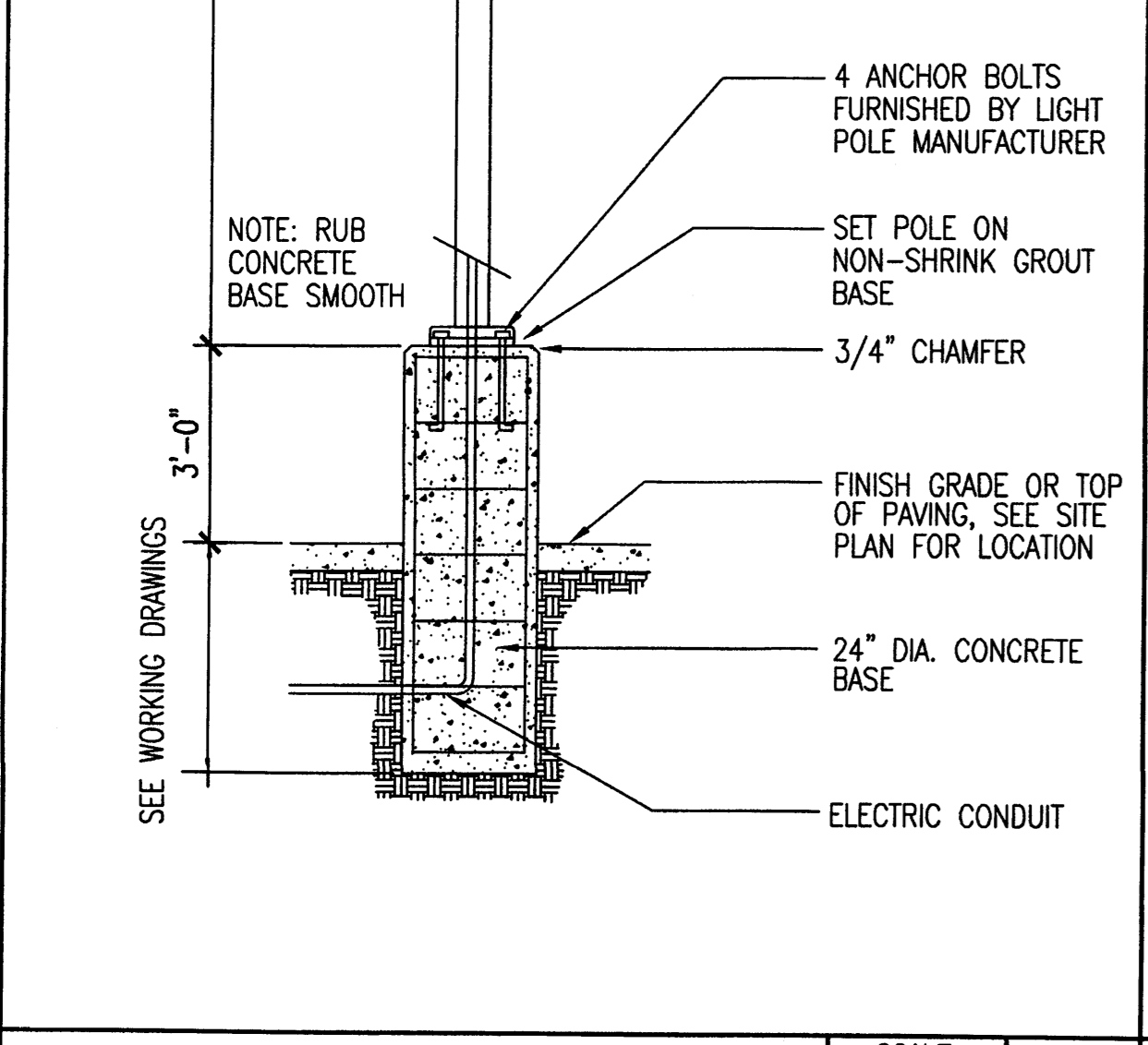
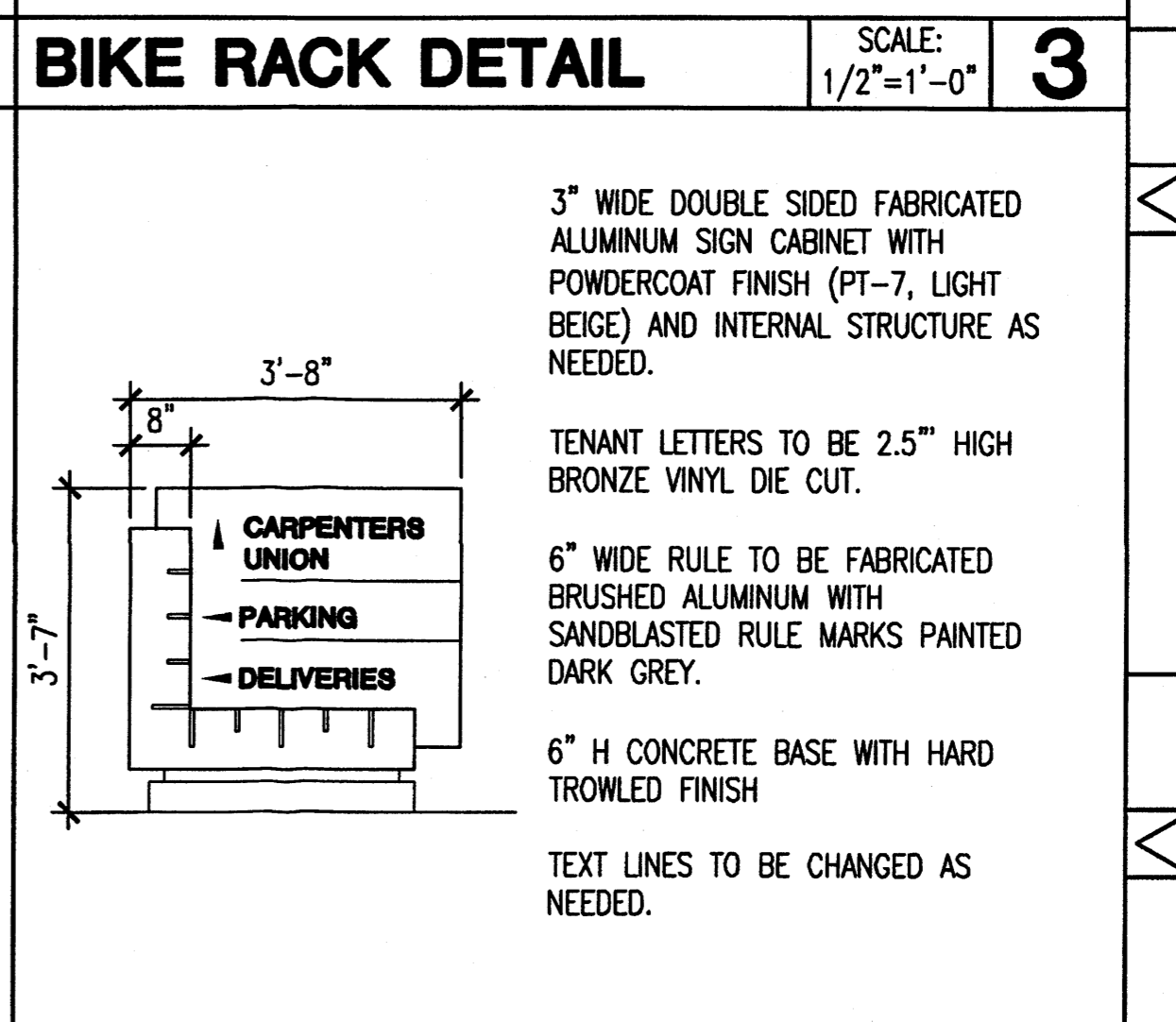
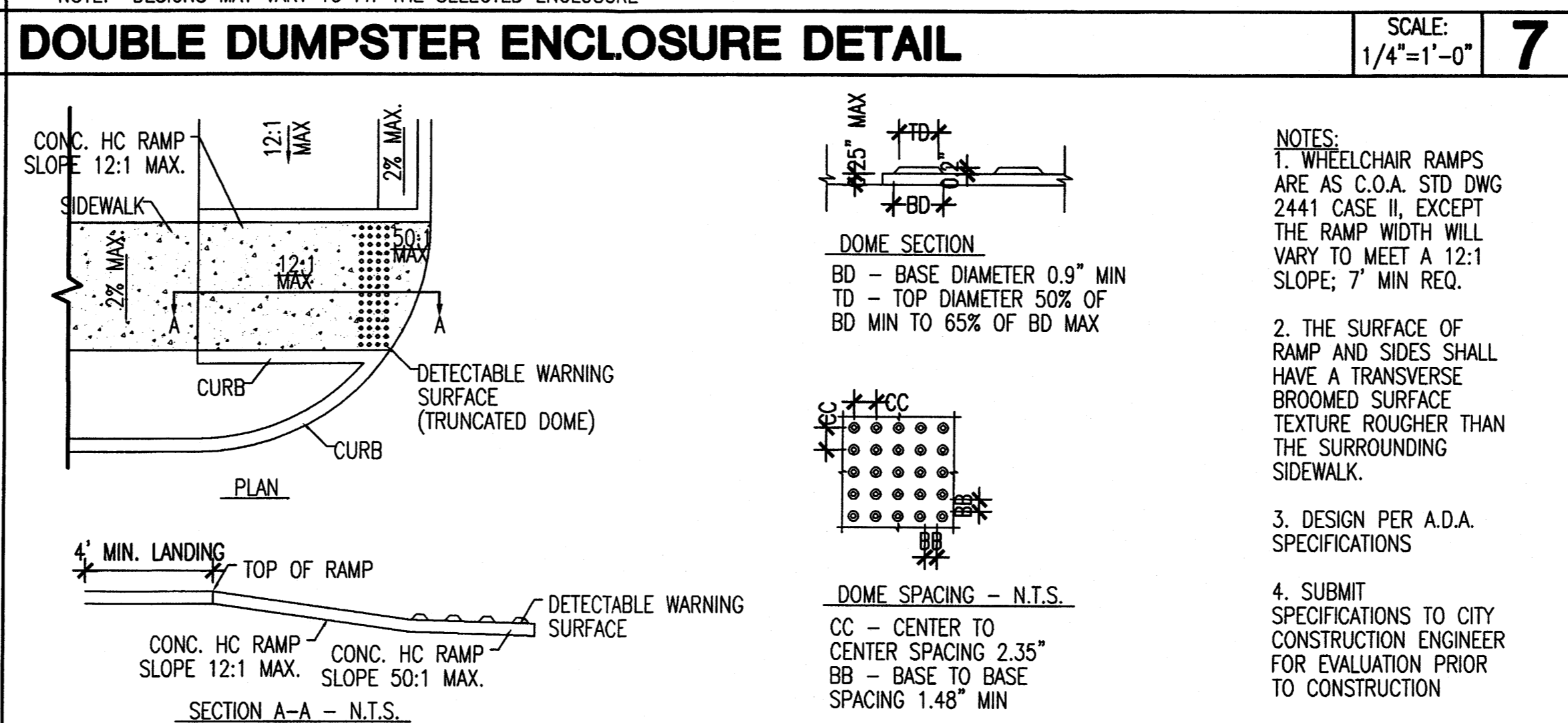
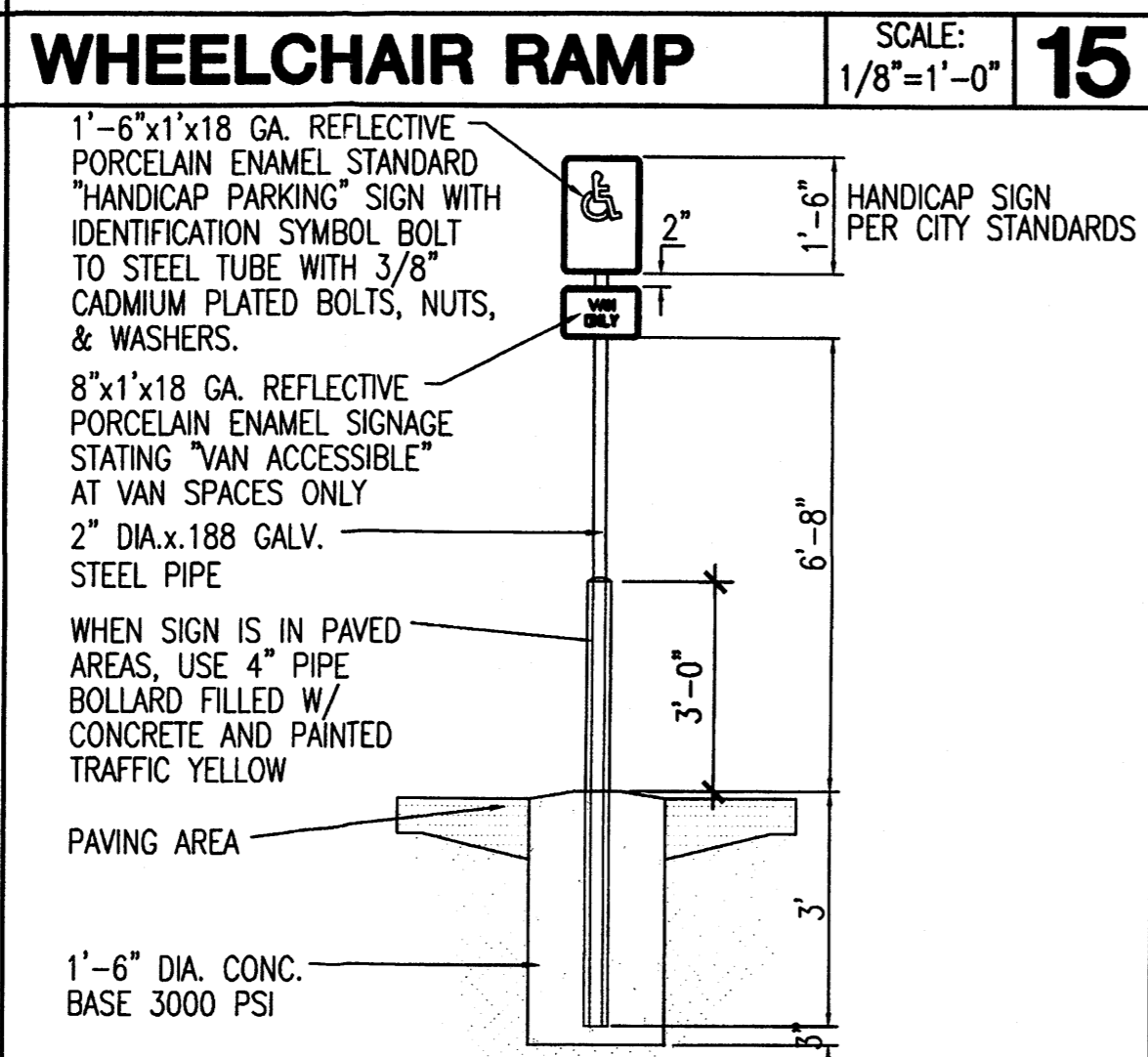
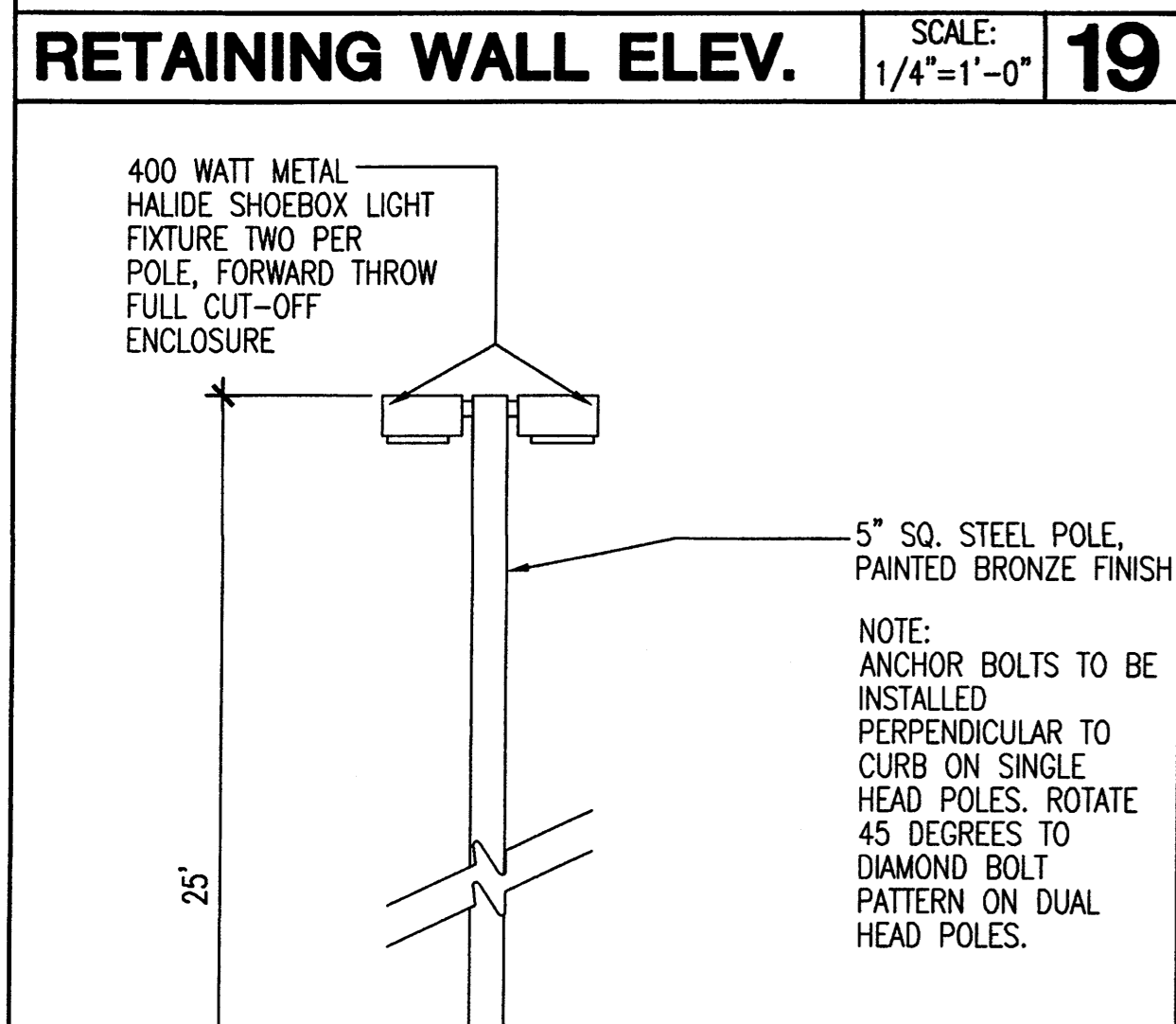
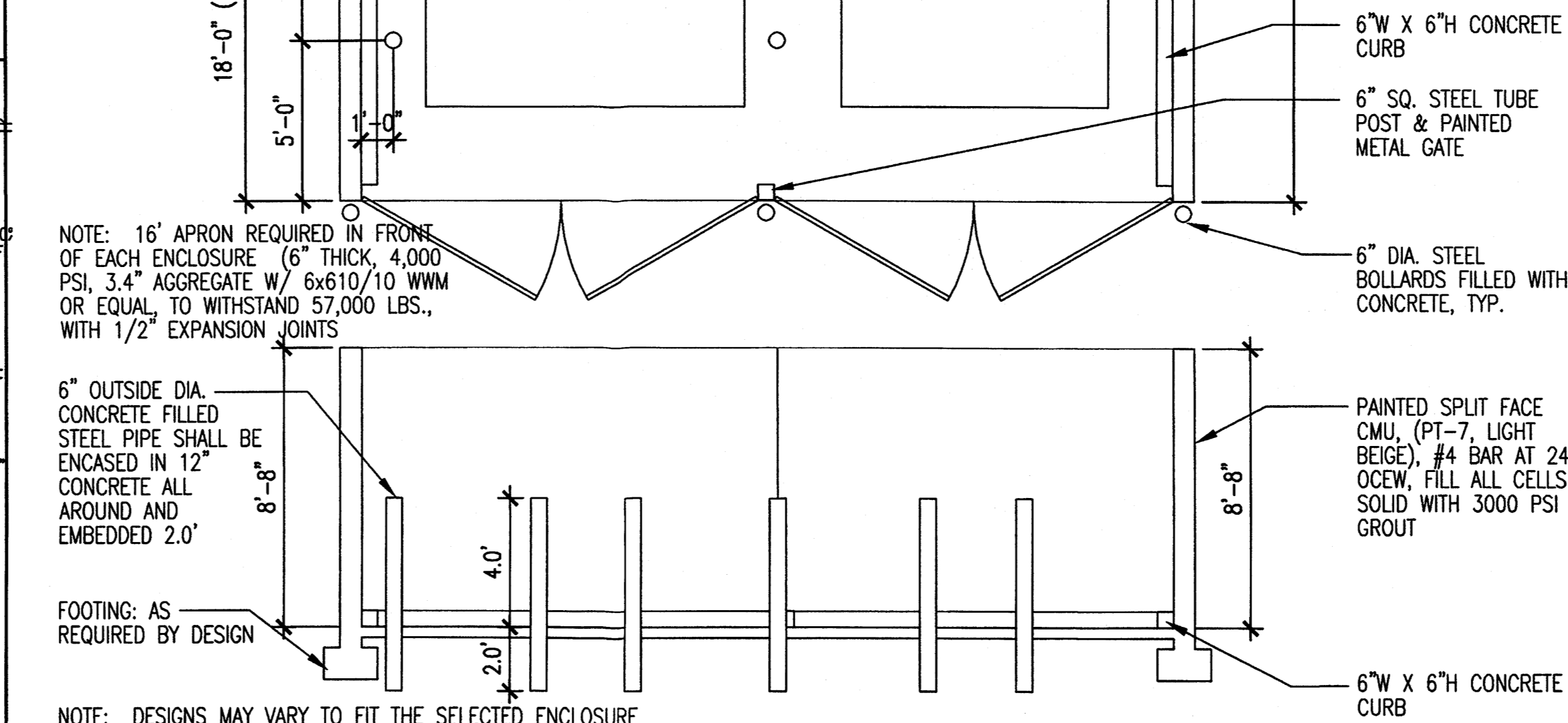
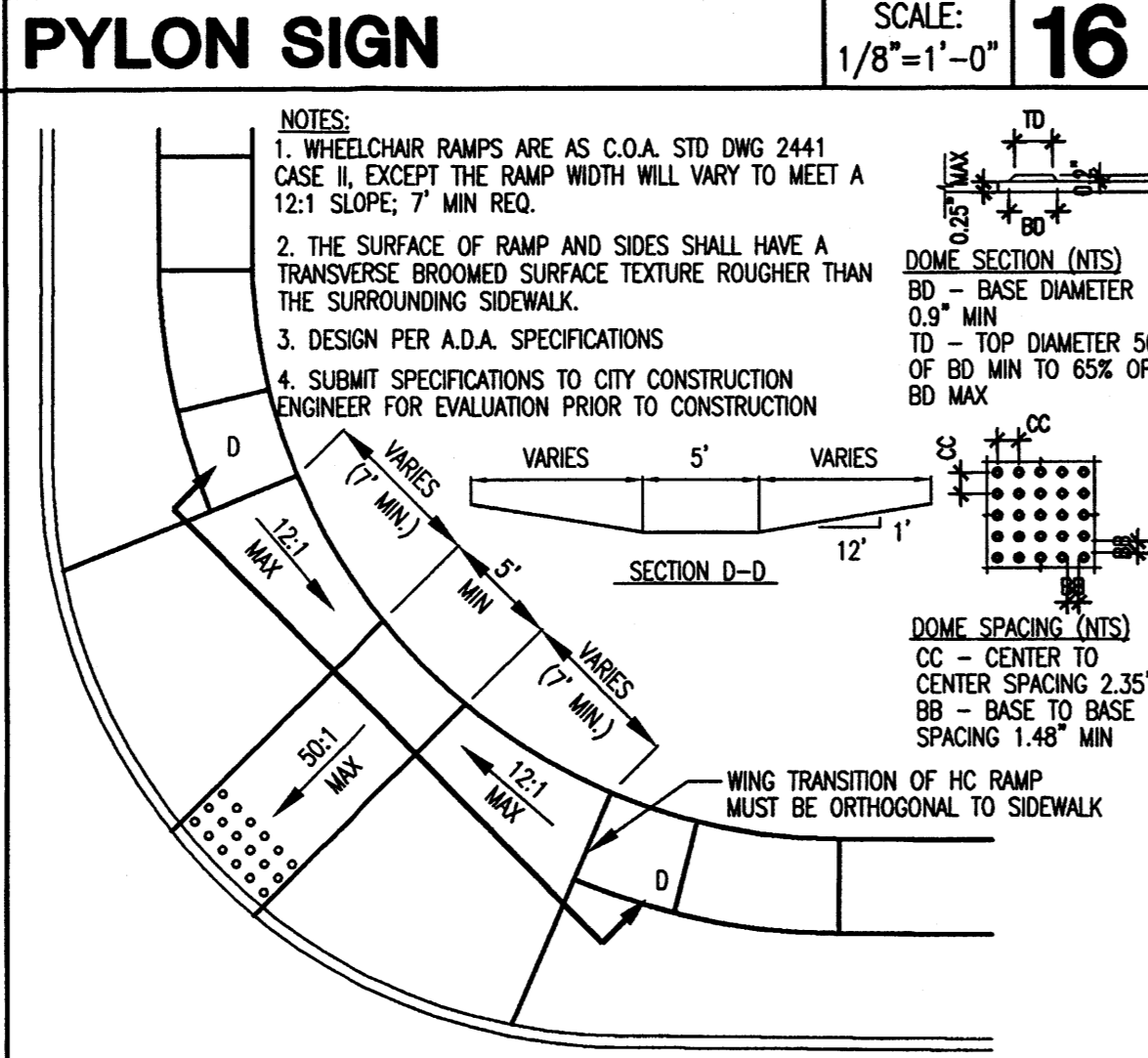
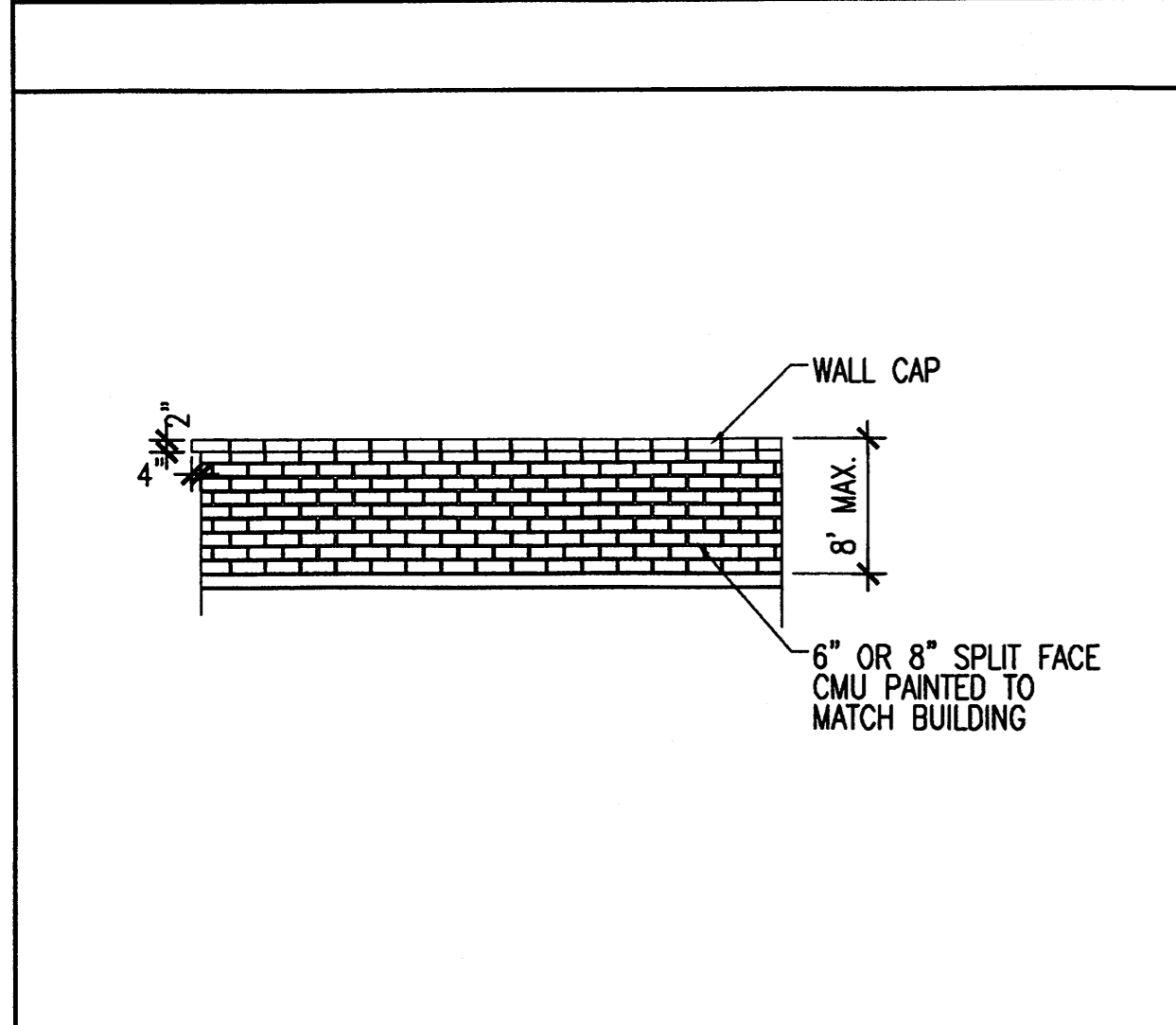
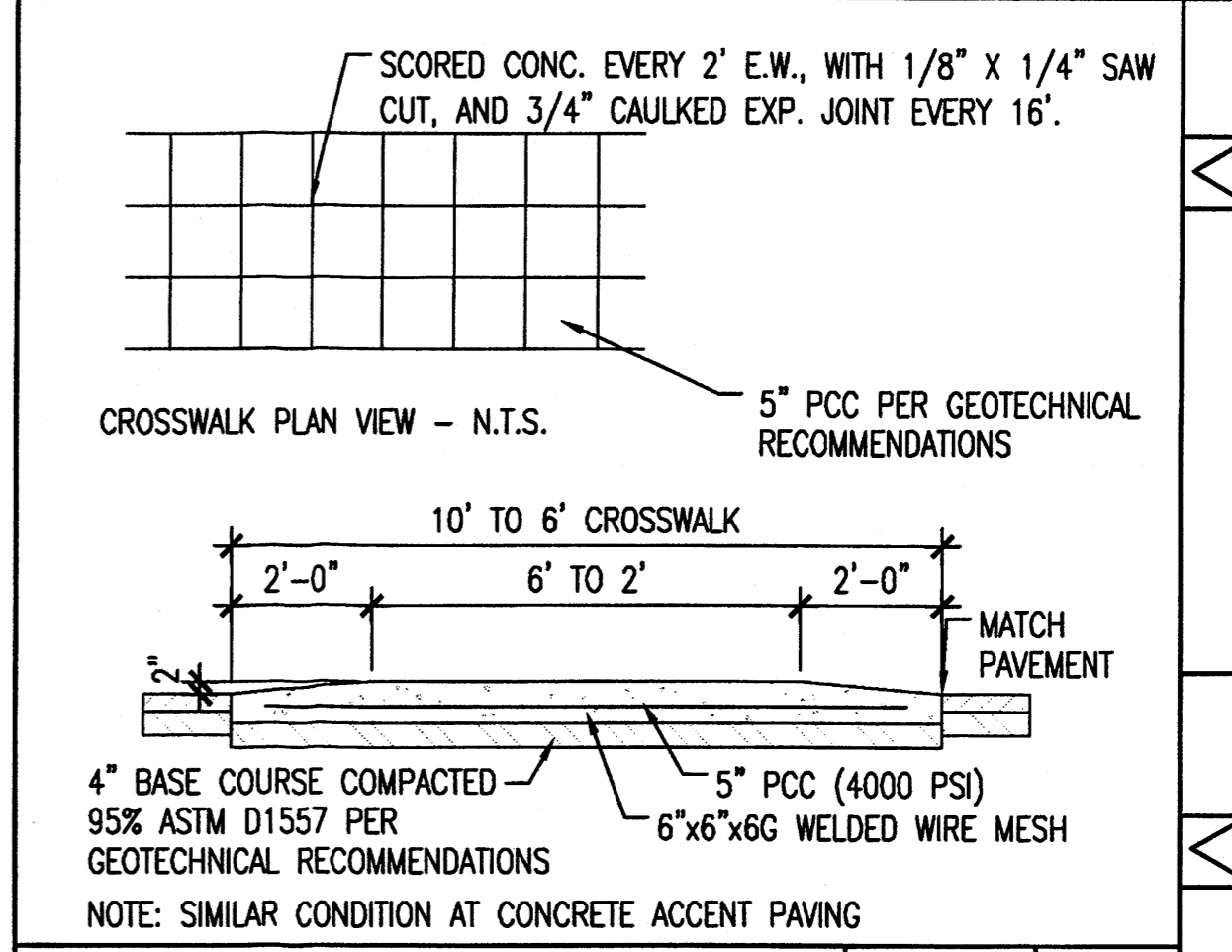
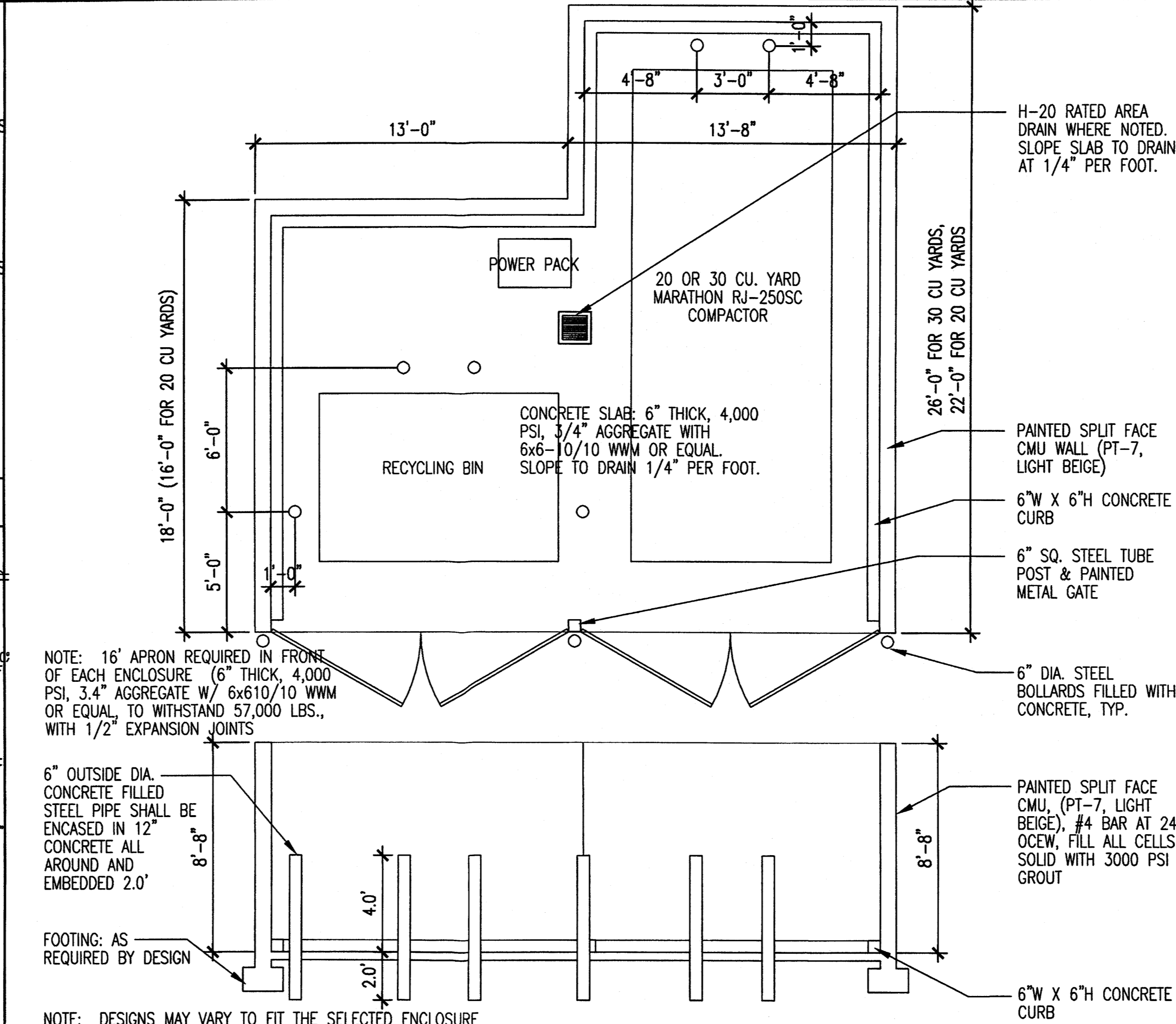
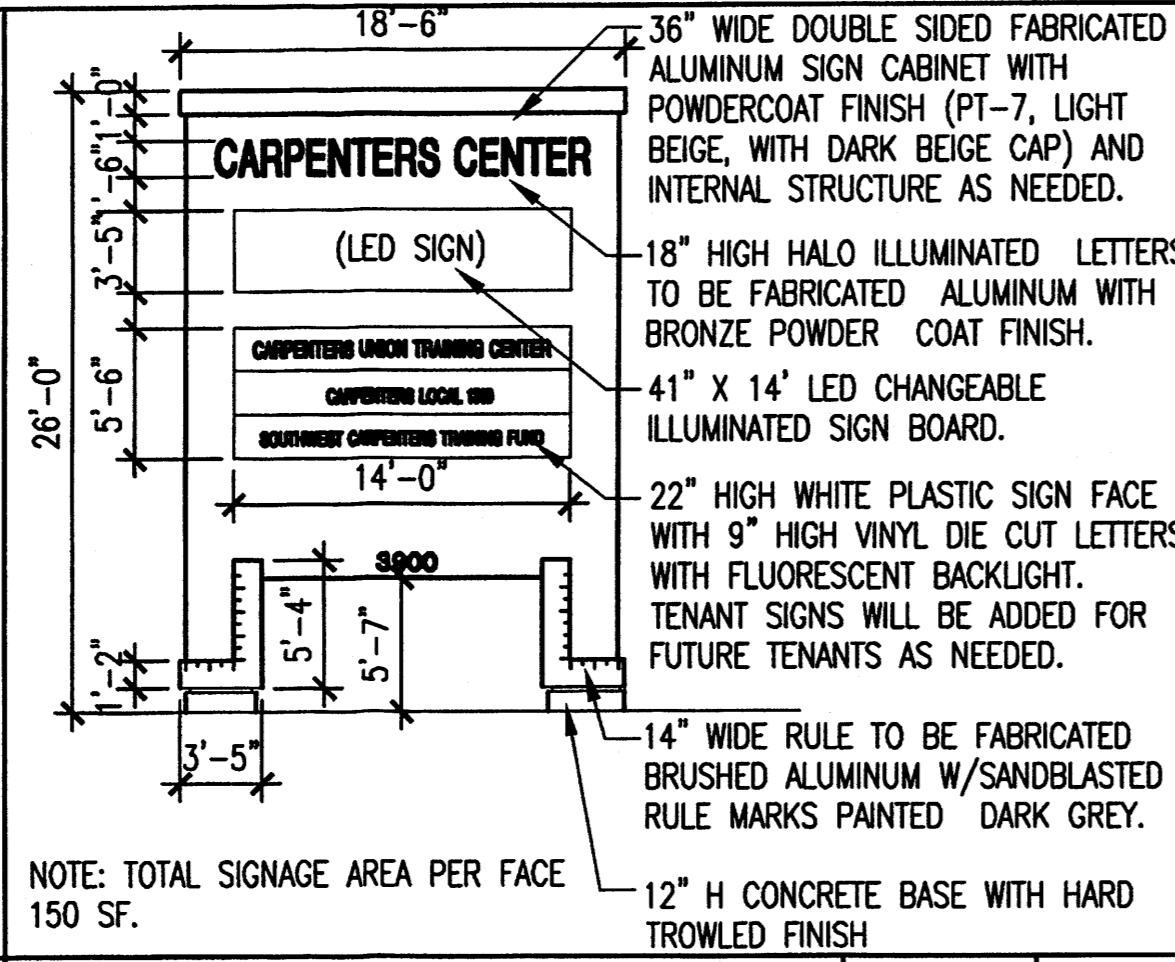
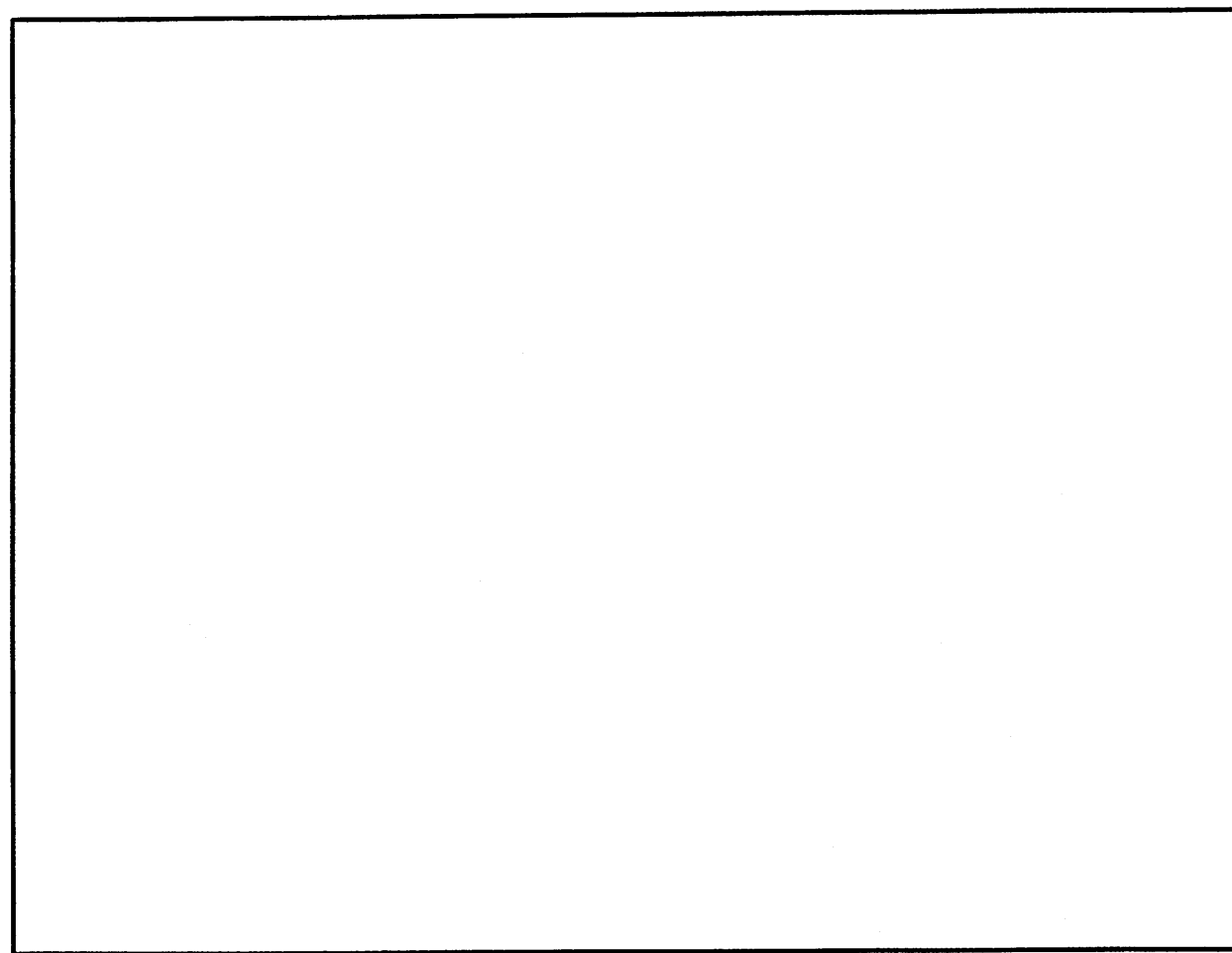


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GIN WONG ASSOCIATES
PLANNING AND ARCHITECTURE
4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 838-4422

GWA

SITE DETAILS

CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
3900 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107

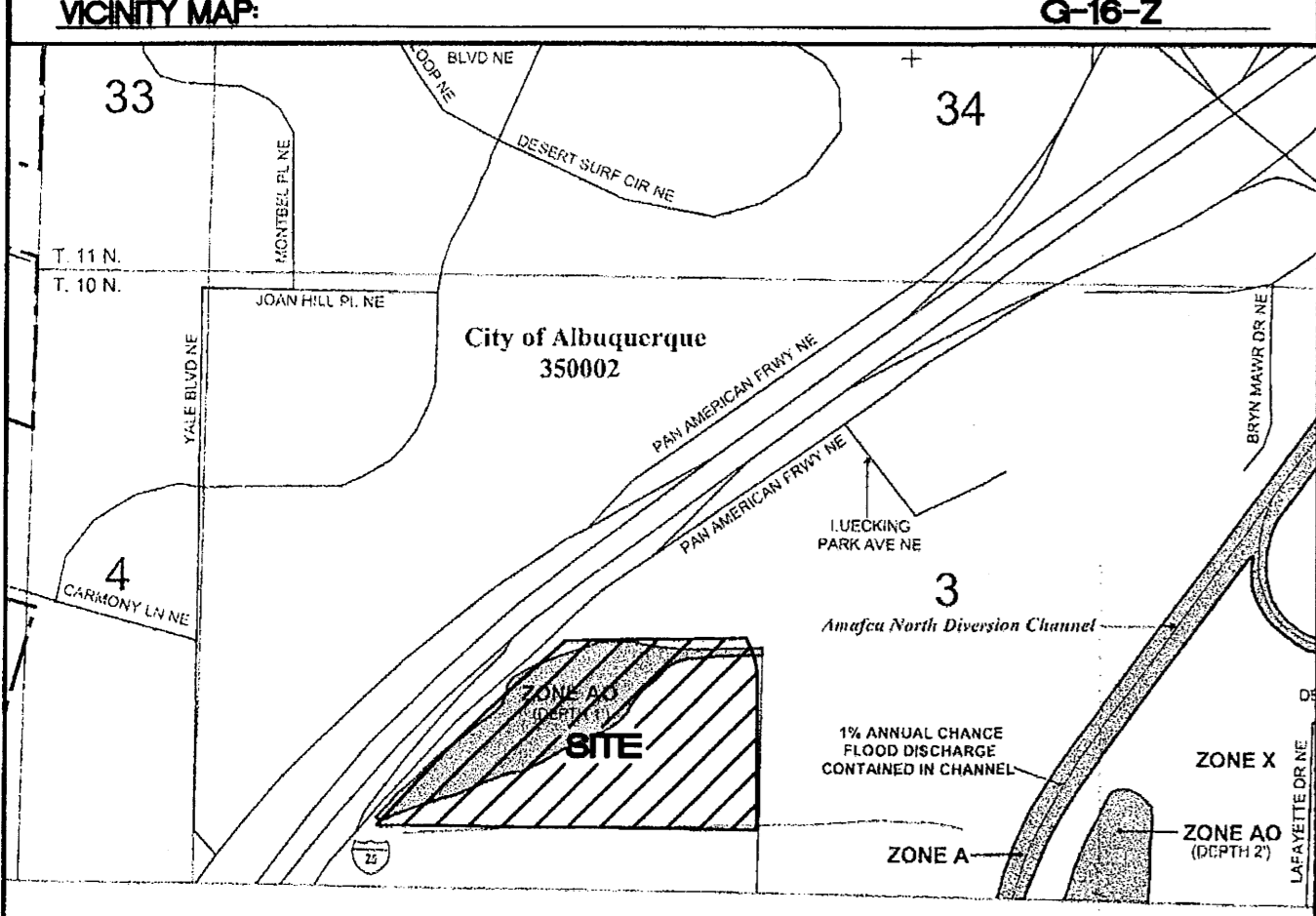
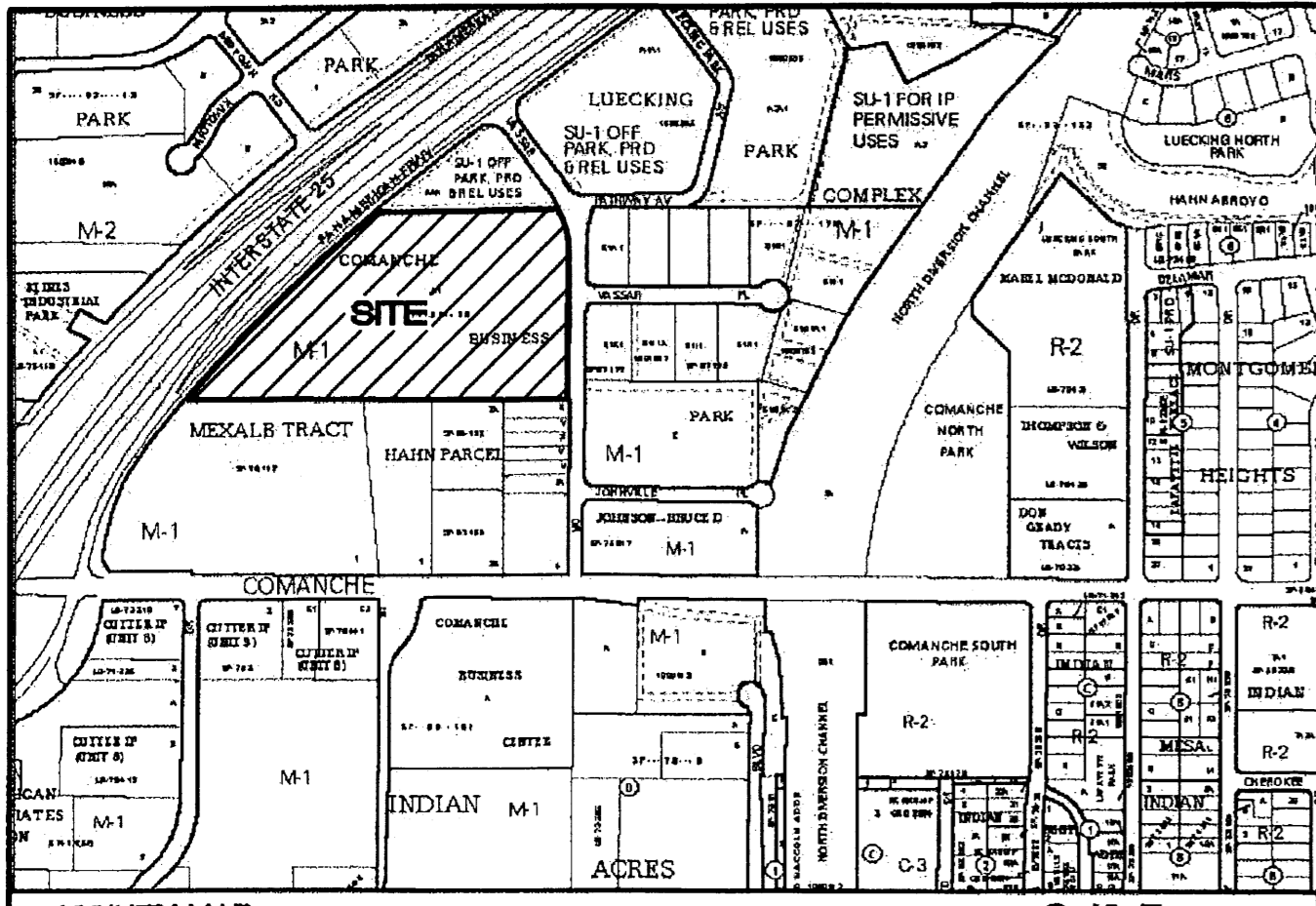
STATE OF NEW MEXICO
GIN D. WONG
NO. 004424
REGISTERED ARCHITECT

ARCHITECT'S NEW MEXICO LICENSE # 4424

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PRUSE: _____
EPC APPROVAL: _____
SCALE: _____
AS NOTED
DATE: OCTOBER 30, 2007
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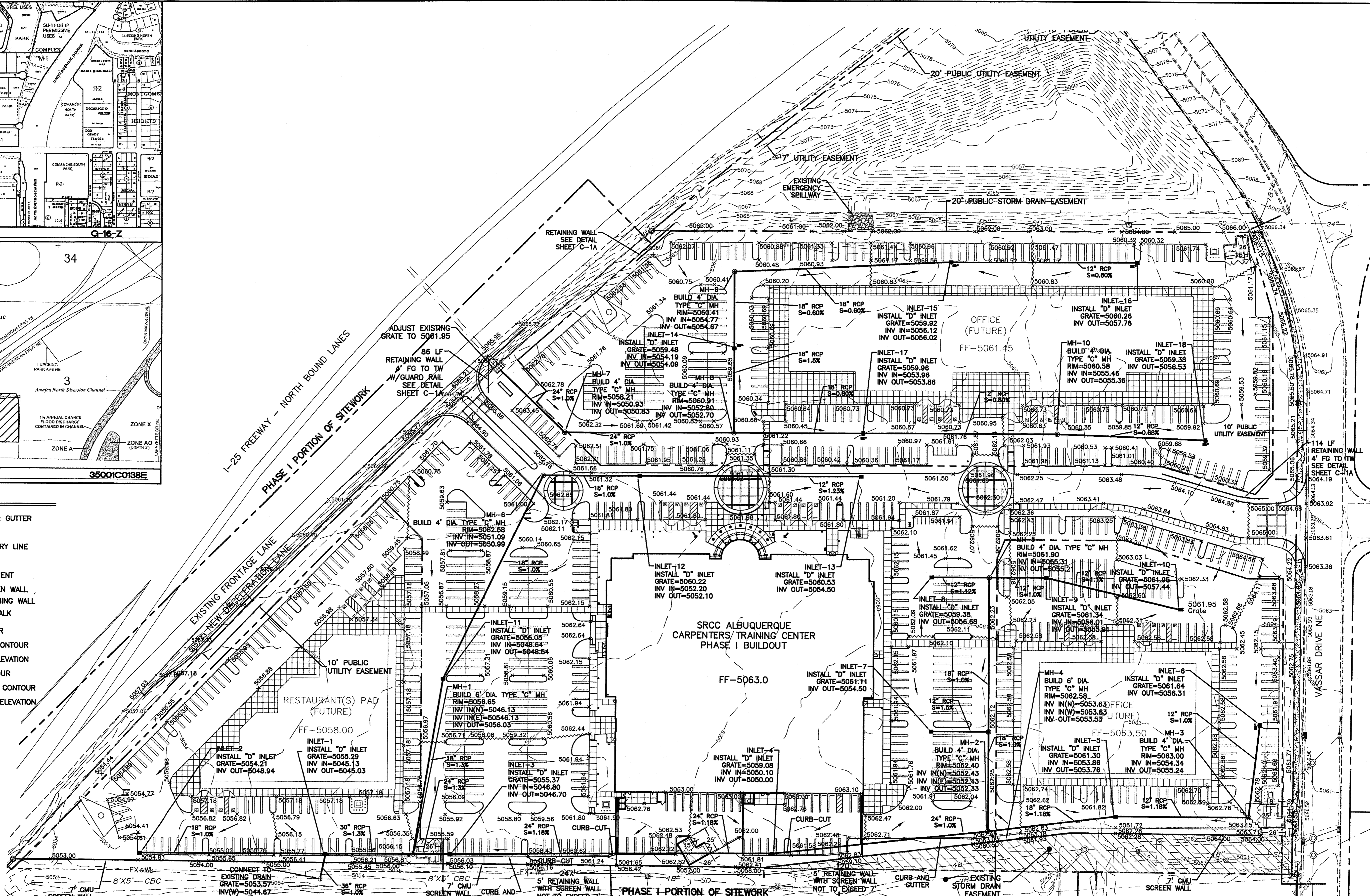
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VICINITY MAP: G-16-Z
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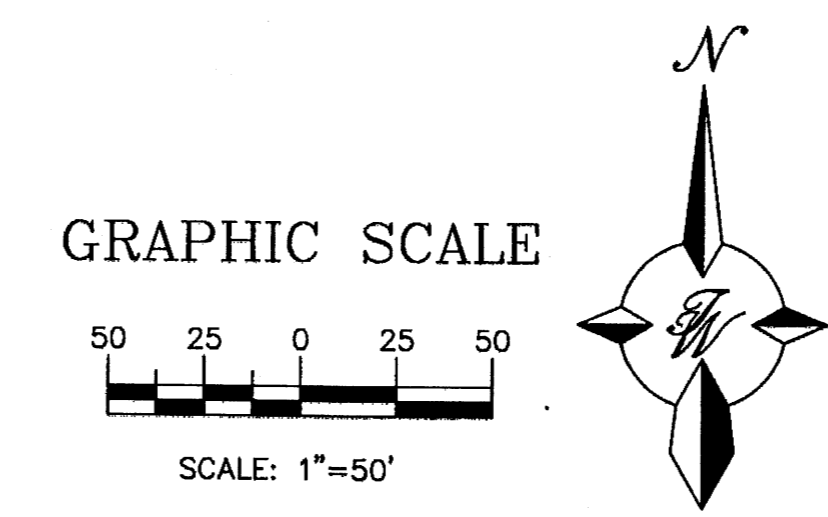
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- x 5048.25 EXISTING SPOT ELEVATION
- 5011 PROPOSED CONTOUR
- 5010 PROPOSED INDEX CONTOUR
- x 5048.25 PROPOSED SPOT ELEVATION
- FLOW ARROW



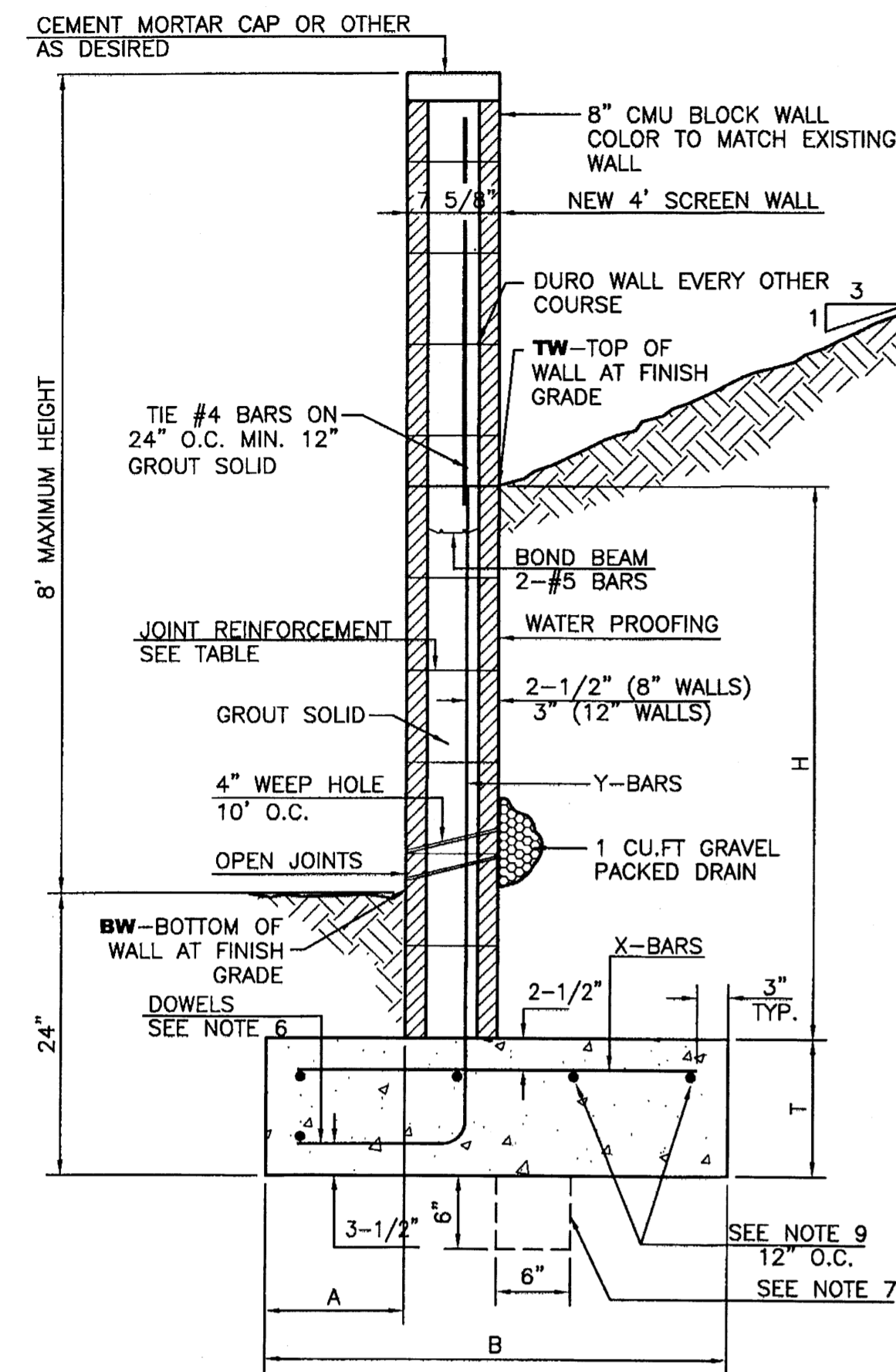
- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL _____ DATE _____



ENGINEER'S SEAL	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DRAWN BY	BJF
		DATE	03/04/08
	GRADING AND DRAINAGE PLAN		2626-GRE
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET #	C-1
RONALD R. BOHANNAN P.E. #7868		JOB #	26026

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8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

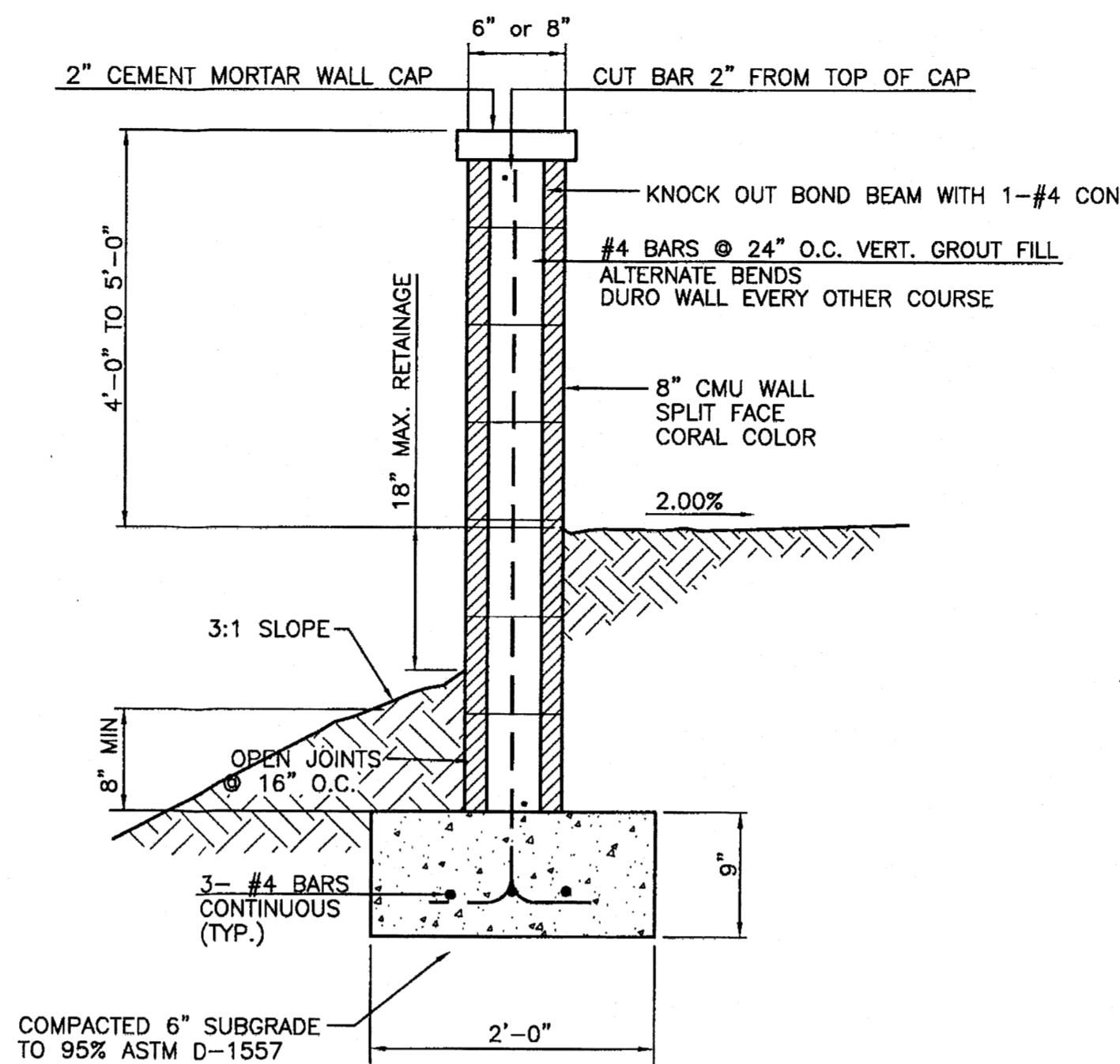
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

RETAINING WALL DETAIL
NTS

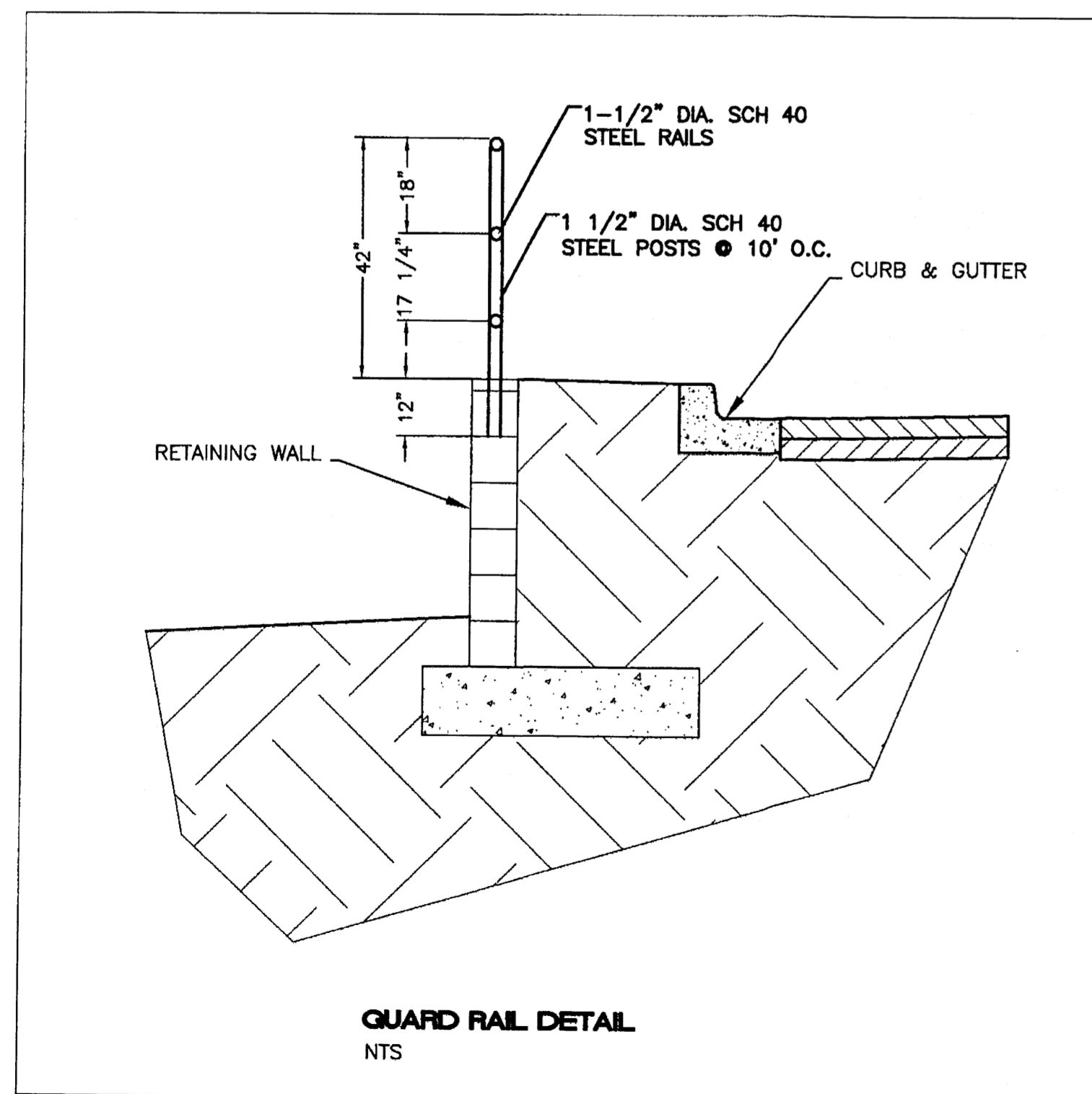


SCREEN WALL SECTION
NTS

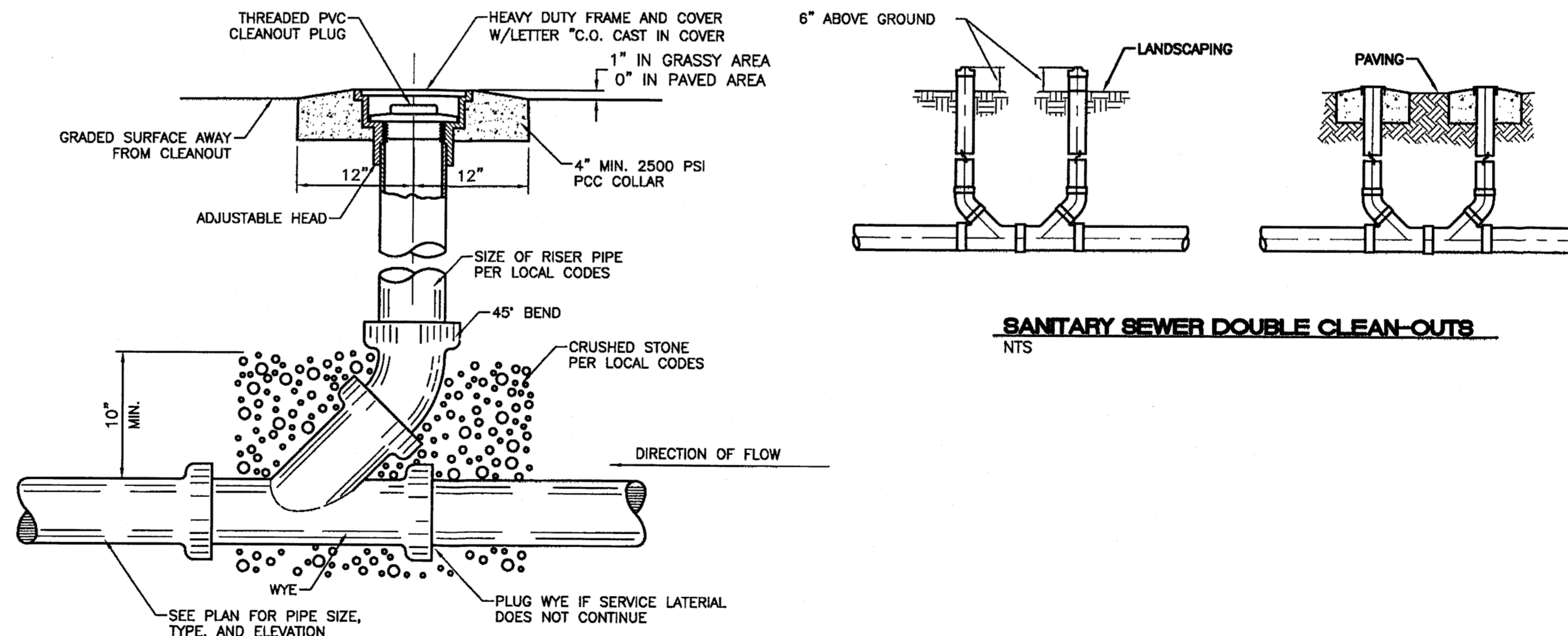
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

SCREEN WALL ELEVATION
NTS



GUARD RAIL DETAIL
NTS



SANITARY SEWER CLEAN-OUT
NTS

SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

ENGINEER'S SEAL	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DRAWN BY BJF
	DETAIL SHEET	DATE 10/29/07
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	2626-DETAIL SHEET
RONALD R. BOHANNAN P.E. #7868		SHEET # C-1A
		JOB # 26026

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

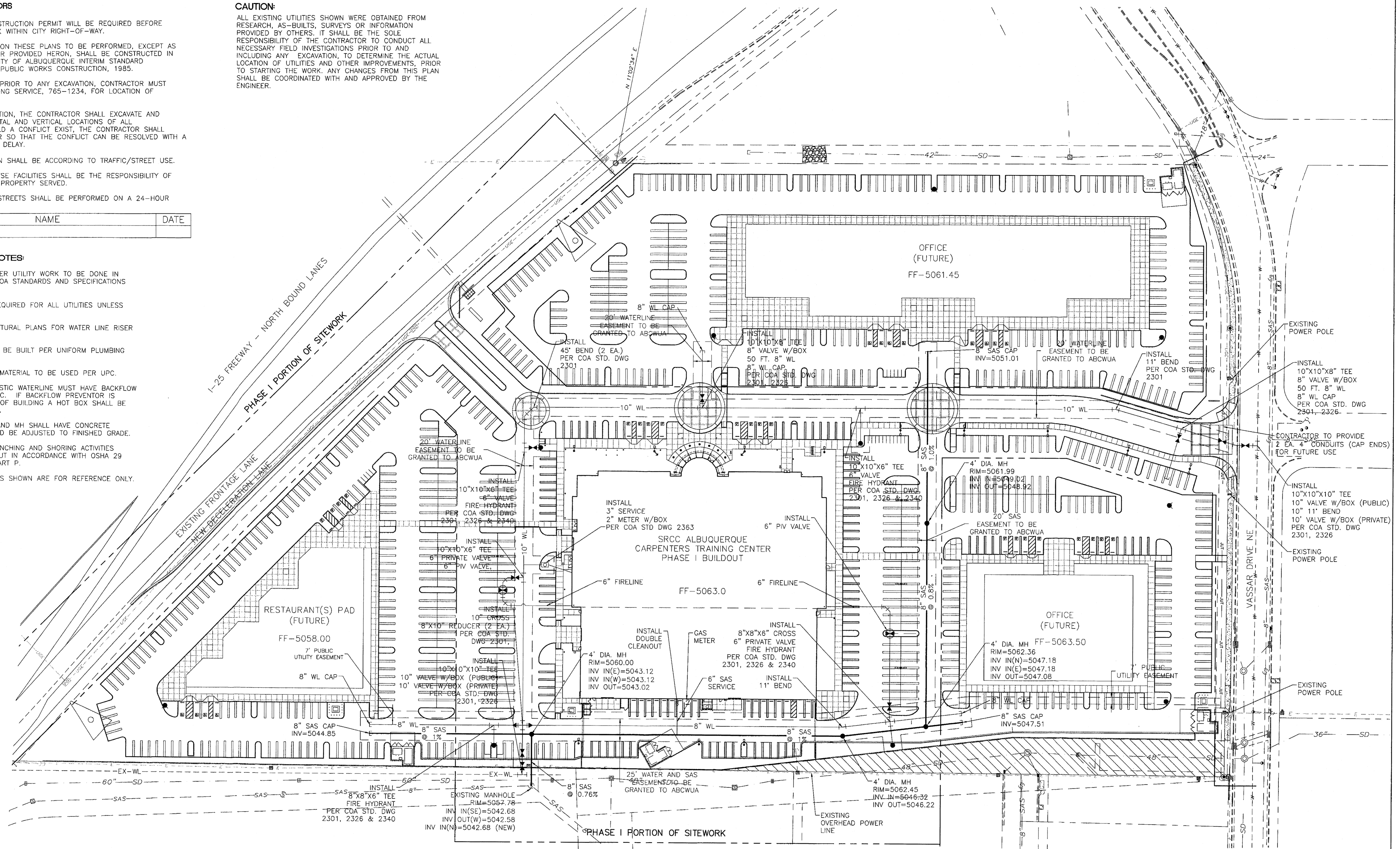
APPROVAL	NAME	DATE
INSPECTOR		

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
11. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

CAUTION:

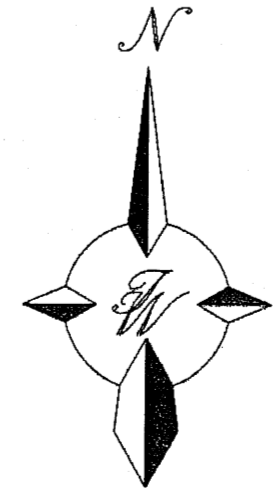
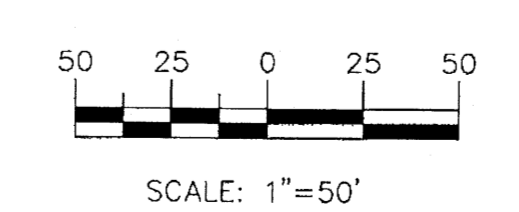
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGEND

=====	EXISTING CURB & GUTTER	-----	PROPOSED SIDEWALK	○	PROPOSED PARKING LOT LIGHT	---	EXISTING STORM SEWER LINE
----	BOUNDARY LINE	○	EXISTING SD MANHOLE	○	PROPOSED CLEAN OUT	---	PROPOSED SANITARY SEWER LINE
----	EXISTING BOUNDARY LINE	○	EXISTING INLET	∞	PROPOSED DOUBLE CLEAN OUT	●	PROPOSED FIRE HYDRANT
----	EASEMENT	○	EXISTING SAS MANHOLE	---	EXISTING OVERHEAD UTILITIES	---	PROPOSED WATERLINE
----	PROPOSED EASEMENT	○	EXISTING FIRE HYDRANT	---	EXISTING UNDERGROUND UTILITIES	---	PROPOSED WATERLINE
----	PROPOSED SCREEN WALL	○	EXISTING WATER METER	---	EXISTING GAS	---	
----	PROPOSED RETAINING WALL	○	EXISTING POWER POLE	---	EXISTING SANITARY SEWER LINE	---	
		○	EXISTING GAS VALVE	---	EXISTING WATER LINE	---	

GRAPHIC SCALE



ENGINEER'S SEAL	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DRAWN BY B/J
	MASTER UTILITY PLAN	DATE 02/28/08
		2626-MUE
		SHEET # C-2
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	JOB # 26026
RONALD R. BOHANNAN P.E. #7668		