

Location Map
Zone Atlas Map No. G-16-Z

Subdivision Data:

ZONING: M-1
GROSS SUBDIVISION ACREAGE: 15.7083 ACRES±
ZONE ATLAS INDEX NO: G-16-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 4
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: SEPTEMBER 16, 2014

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO FOUR NEW LOTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

TRACT A-1-A, COMANCHE BUSINESS PARK, WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON PLAT ENTITLED "PLAT OF TRACT A-1-A, COMANCHE BUSINESS PARK, ALBUQUERQUE, NEW MEXICO, SEPTEMBER, 1998" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 05, 2008 IN PLAT BOOK 2008C, PAGE 0172.

SAID PARCEL CONTAINS 15.7083 ACRES, MORE OR LESS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Randy J. Sowell 9/22/14
SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
RANDY J. SOWELL, DIRECTOR OF REAL ESTATE,
FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

Acknowledgment

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF September, 2014 BY RANDY J. SOWELL, DIRECTOR OF REAL ESTATE, FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

Carmen M. Visser
BY *Carmen M. Visser* MY COMMISSION EXPIRES: March 15, 2018
NOTARY PUBLIC



Plat of
Lots 1, 2, 3 and 4
**SRCC Albuquerque
Carpenters Training Center**
(A Subdivision of Tract A-1-A Comanche Business Park)
Situatw within Section 3, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
September 2014

Project No. 1006865
Application No. 14DRB-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
City Approvals	
<i>Steven M. Banchone</i> Acting CITY SURVEYOR	9/25/14 DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 9/17/14
LARRY W. MEDRANO
N.M.P.S. No. 11993

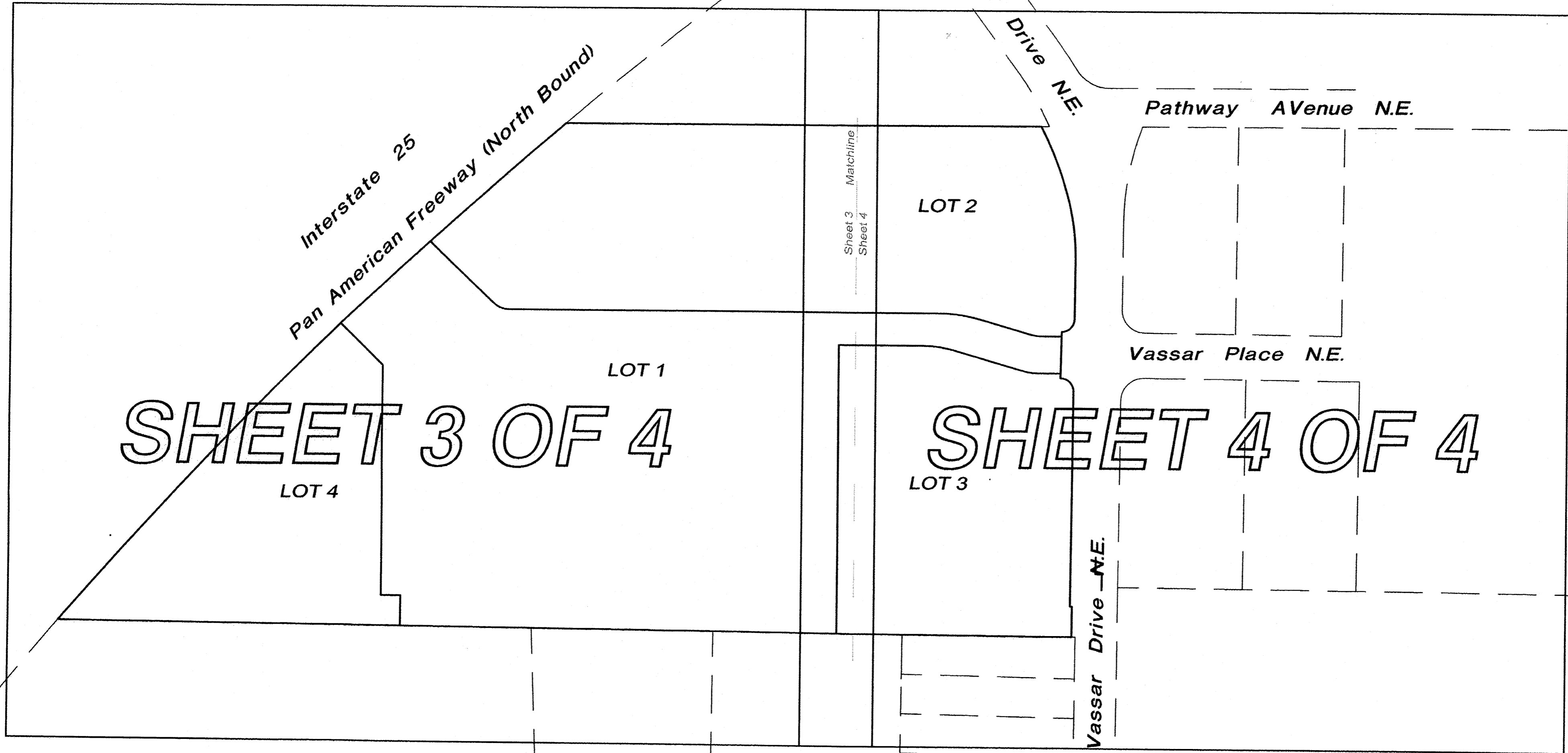
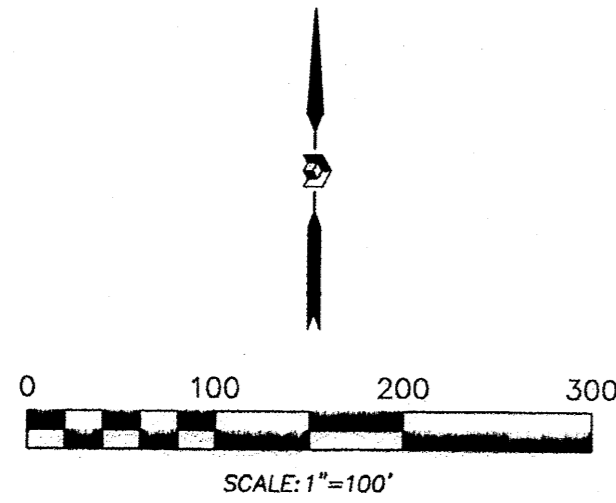


INDEXING INFORMATION FOR COUNTY CLERK
OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CARPENTERS TRAINING CENTER

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

RECORDING STAMP

Plat of
Lots 1, 2, 3 and 4
SRCC Albuquerque
Carpenters Training Center
(A Subdivision of Tract A-1-A Comanche Business Park)
Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
September 2014



SHEET 3 OF 4
LOT 4

SHEET 4 OF 4
LOT 3

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
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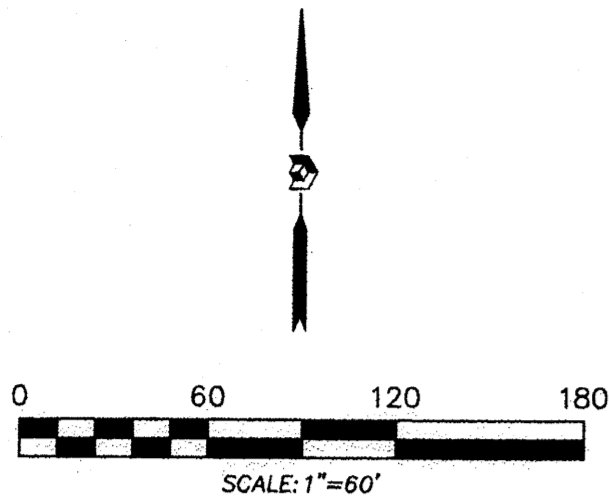
Sheet 2 of 4

146123P

RECORDING STAMP

A.G.R.S. MONUMENT "L_25_20"
STANDARD 3 1/4" ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,502,367.51
E=1,530,649.78
PUBLISHED EL=N/A (NAVD 1988)
GROUND TO GRID FACTOR=0.999674593
DELTA ALPHA ANGLE=-0'12"40.48"

Plat of
Lots 1, 2, 3 and 4
SRCC Albuquerque
Carpenters Training Center
(A Subdivision of Tract A-1-A Comanche Business Park)
Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
September 2014

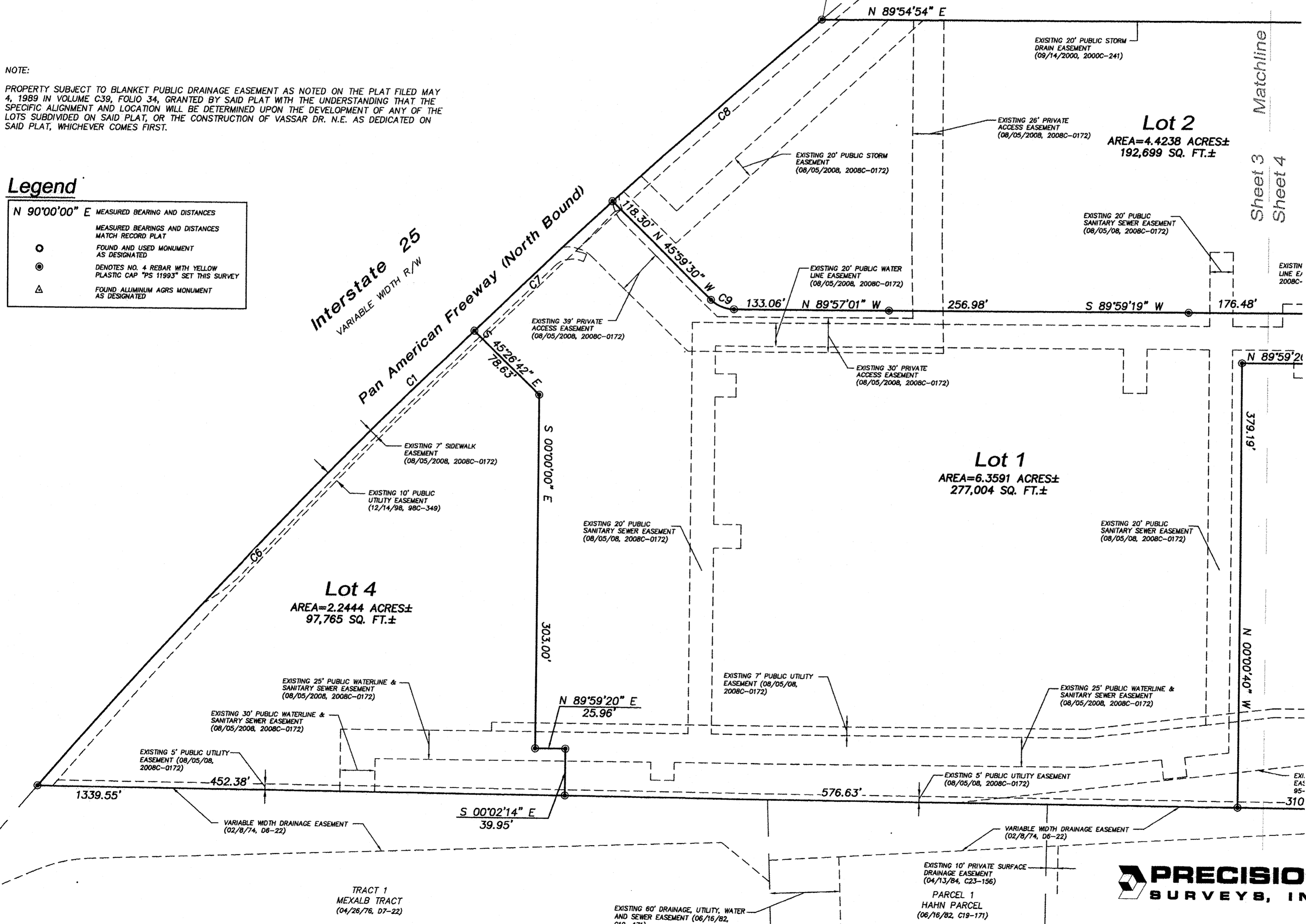


NOTE:
PROPERTY SUBJECT TO BLANKET PUBLIC DRAINAGE EASEMENT AS NOTED ON THE PLAT FILED MAY 4, 1989 IN VOLUME C39, FOLIO 34, GRANTED BY SAID PLAT WITH THE UNDERSTANDING THAT THE SPECIFIC ALIGNMENT AND LOCATION WILL BE DETERMINED UPON THE DEVELOPMENT OF ANY OF THE LOTS SUBDIVIDED ON SAID PLAT, OR THE CONSTRUCTION OF VASSAR DR. N.E. AS DEDICATED ON SAID PLAT, WHICHEVER COMES FIRST.

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- MEASURED BEARINGS AND DISTANCES MATCH RECORD PLAT
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Interstate 25
VARIABLE WIDTH R/W
Pan American Freeway (North Bound)



PRECISION SURVEYS, INC.

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Albuquerque, NM 87109
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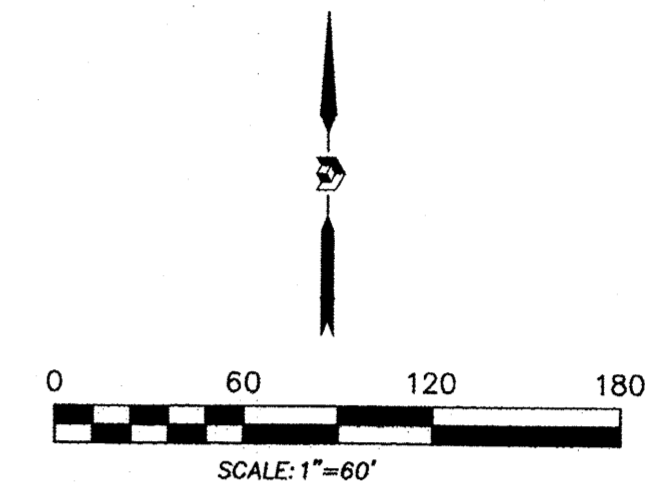
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INDEXING INFORMATION FOR COUNTY CLERK
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SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CARPENTER'S TRAINING CENTER

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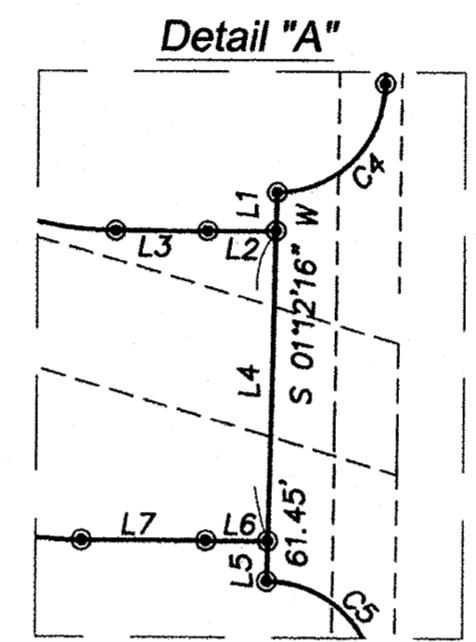
Plat of
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 Albuquerque, Bernalillo County, New Mexico
 September 2014



Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES

- RECORD BEARINGS AND DISTANCES MATCH MEASURED
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



Line Table

LINE	BEARING	DISTANCE
L1	S 01°12'16" W	6.14'
L2	S 89°48'41" W	10.90'
L3	N 89°57'17" W	14.63'
L4	S 01°12'16" W	49.09'
L5	S 01°12'16" W	6.22'
L6	N 89°44'46" W	9.86'
L7	S 89°59'20" W	19.81'
L8	S 89°38'15" E	2.76'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	5607.00'	940.44'	9°36'36"	S 45°10'29" W	939.34'	471.33'
C2	432.99'	92.19'	12°11'56"	S 21°46'57" E	92.01'	46.27'
C3	314.40'	94.11'	17°09'03"	S 07°34'41" E	93.76'	47.41'
C4	17.33'	26.81'	88°38'55"	S 44°46'32" W	24.22'	16.93'
C5	17.24'	27.50'	91°24'35"	S 45°12'22" E	24.68'	17.67'
C6	5607.00'	541.86'	5°32'14"	N 43°08'18" E	541.65'	271.14'
C7	5607.00'	161.44'	1°38'59"	N 46°43'54" E	161.43'	80.72'
C8	5607.00'	237.14'	2°25'24"	N 48°46'05" E	237.12'	118.59'
C9	28.50'	21.84'	43°54'46"	S 68°03'17" E	21.31'	11.49'
C10	206.50'	58.48'	16°13'30"	S 81°53'56" E	58.28'	29.44'
C11	53.50'	15.15'	16°13'30"	S 81°53'55" E	15.10'	7.63'
C12	66.50'	18.83'	16°13'30"	S 81°53'55" E	18.77'	9.48'
C13	1143.49'	40.84'	16°13'31"	S 81°53'56" E	40.50'	20.45'

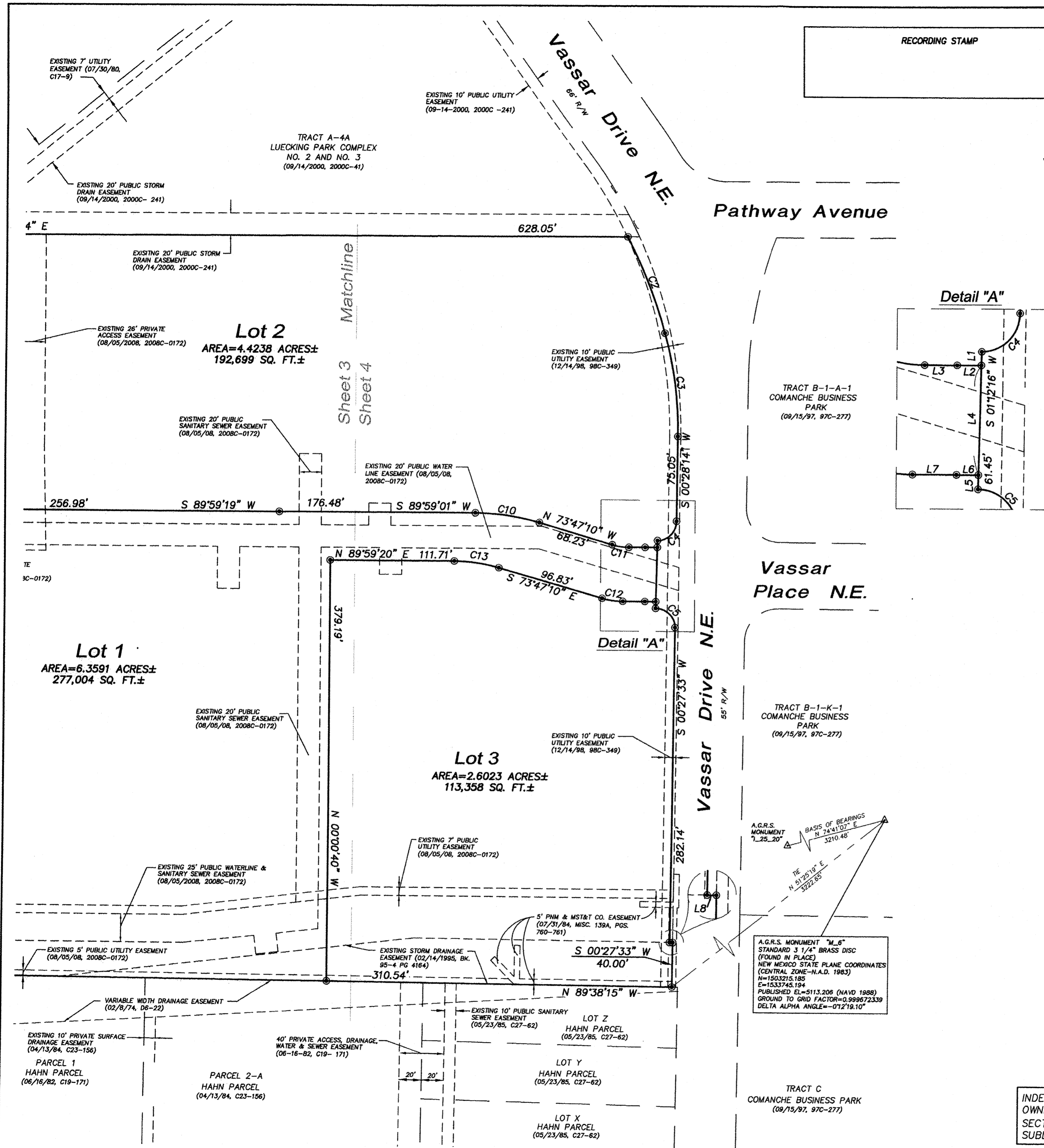
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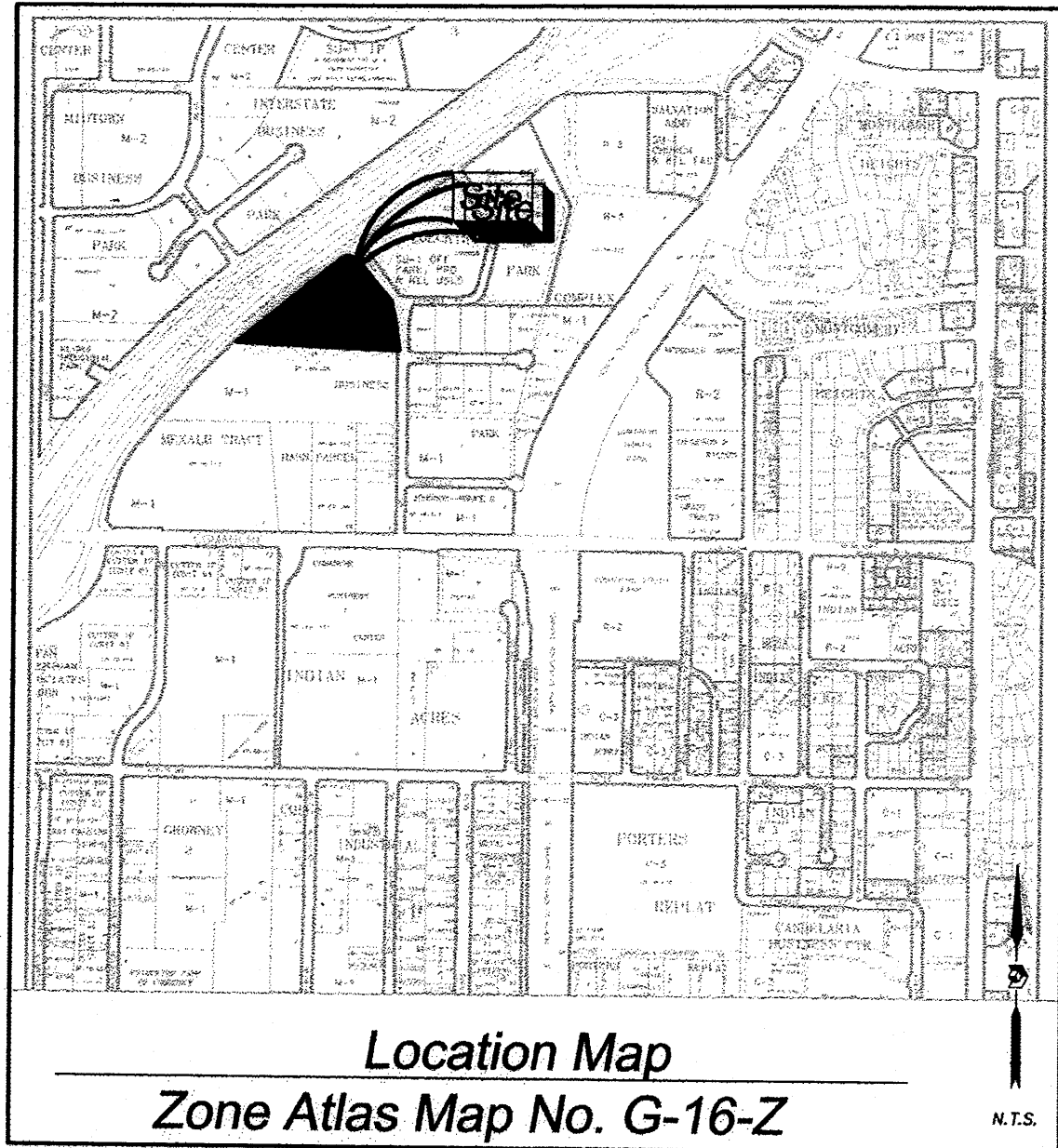
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RECORDING STAMP

Plat of
 Lots 2-A and 2-B
SRCC Albuquerque
Carpenters Training Center
 Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
 City of Albuquerque, Bernalillo County, New Mexico
 March 2015

Legal Description

TRACT A-4A, LUECKING PARK COMPLEX, A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT A-4A, LUECKING PARK COMPLEX, THE SAME IS SHOWN AND DESIGNATED ON PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 14, 2000 IN PLAT BOOK 2000C, PAGE 41, TOGETHER WITH LOT 2, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 2, 2014 IN PLAT BOOK 2014C, PAGE 129, SAID TRACT CONTAINS 6.8157 ACRES, MORE OR LESS, NOW COMPRISING LOTS 2-A AND 2-B SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER.

PROJECT: 1006865
 DATE: 4-22-15
 APP: 15-70137 (VPE)
 15-70138 (SBP)
 15-70144 (PP)

Project No. 100685

Application No. 15DRB-

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____

Subdivision Data:

ZONING: M-1
 GROSS SUBDIVISION ACREAGE: 6.8157 ACRES±
 ZONE ATLAS INDEX NO.: G-16-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 2
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: SEPTEMBER 16, 2014, FIELD VERIFIED MARCH 6, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO TWO NEW LOTS.

Notes:

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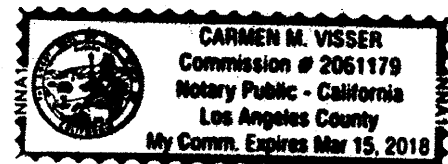
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Randy J. Sowell 4/1/15
 DATE
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 RANDY J. SOWELL, DIRECTOR OF REAL ESTATE,
 FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

Acknowledgment

STATE OF CALIFORNIA)
 COUNTY OF LOS ANGELES) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF April, 2015 BY
 RANDY J. SOWELL, DIRECTOR OF REAL ESTATE, FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

Carmen M. Visser
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: March 15, 2018



TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 3/17/15
 DATE
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



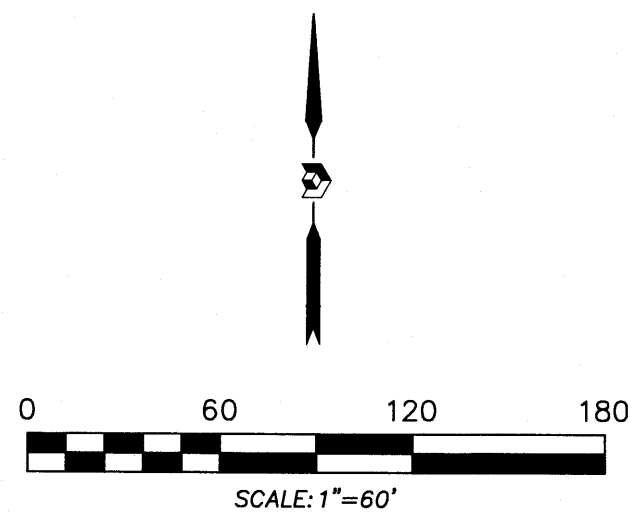
OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION CARPENTERS TRAINING CENTER

505.856.5700 PHONE
 505.856.7900 FAX

Plat of
 Lots 2-A and 2-B
**SRCC Albuquerque
 Carpenters Training Center**

Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
 City of Albuquerque, Bernalillo County, New Mexico
 March 2015



RECORDING STAMP

NOTE:

- PROPERTY SUBJECT TO BLANKET PUBLIC DRAINAGE EASEMENT AS NOTED ON THE PLAT FILED MAY 4, 1989 IN VOLUME C39, FOLIO 34, GRANTED BY SAID PLAT WITH THE UNDERSTANDING THAT THE SPECIFIC ALIGNMENT AND LOCATION WILL BE DETERMINED UPON THE DEVELOPMENT OF ANY OF THE LOTS SUBDIVIDED ON SAID PLAT, OR THE CONSTRUCTION OF VASSAR DR. N.E. AS DEDICATED ON SAID PLAT, WHICHEVER COMES FIRST.
- EXISTING PRIVATE COMMON PARKING, PEDESTRIAN, AND VEHICULAR ACCESS EASEMENT ACROSS TRACTS 1, 2, NOW 2-A, 2-B AND 4 FOR THE BENEFIT OF EACH TRACT, TO BE MAINTAINED BY THE OWNER OF EACH TRACT, (12/02/2014, 2014C-129).

A.G.R.S. MONUMENT "M_6"
 STANDARD 3 1/4" BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1503215.185
 E=1533745.194
 PUBLISHED EL=5113.206 (NAVD 1989)
 GROUND TO GRID FACTOR=0.999672339
 DELTA ALPHA ANGLE=-012'19.10"

A.G.R.S. MONUMENT "L_25_20"
 STANDARD 3 1/4" ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,502,367.51
 E=1,530,649.76
 PUBLISHED EL=N/A (NAVD 1988)
 GROUND TO GRID FACTOR=0.999674593
 DELTA ALPHA ANGLE=-012'40.48"

Legend

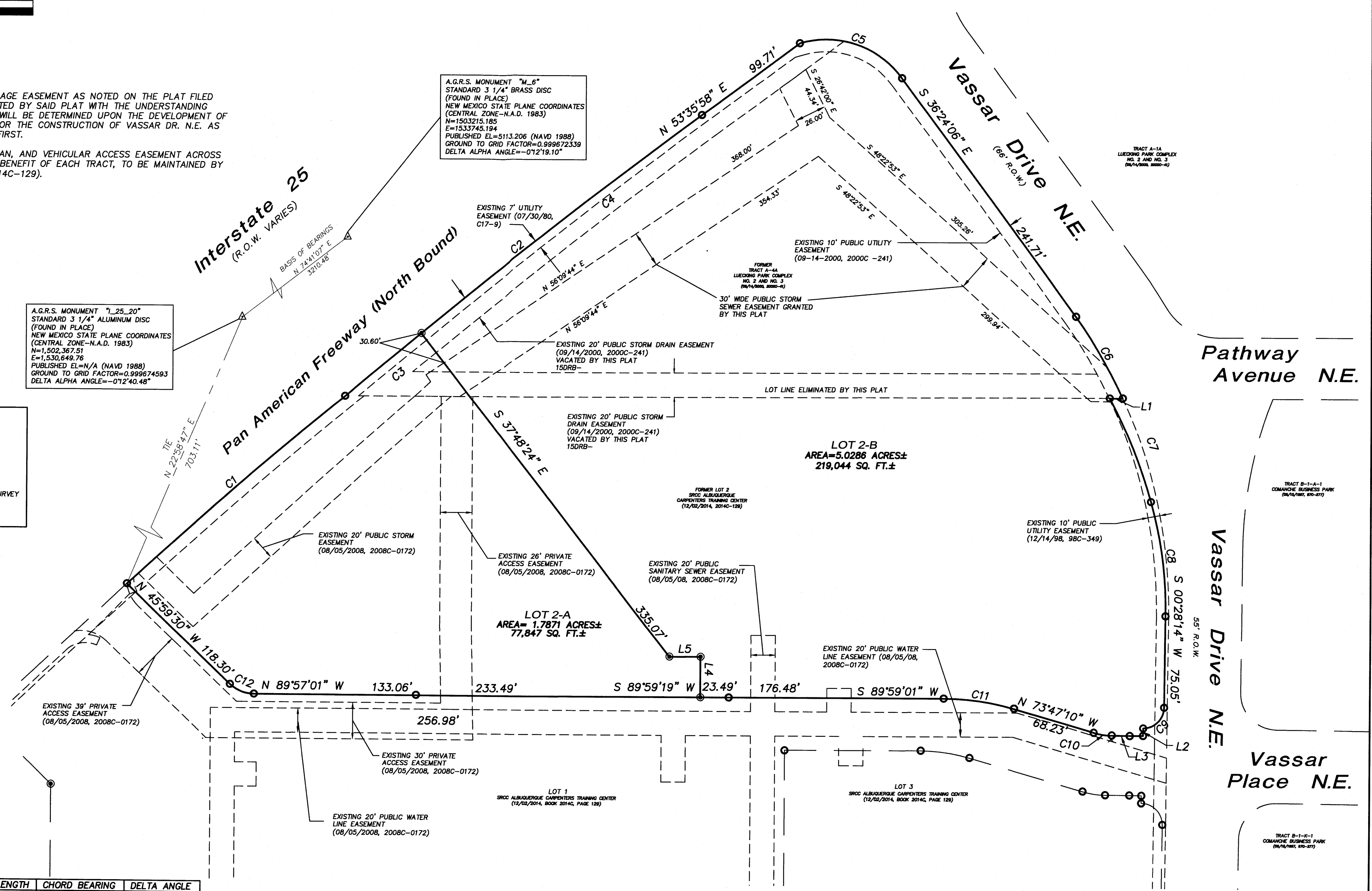
- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
 MEASURED BEARINGS AND DISTANCES
 MATCH RECORD PLAT
- FOUND AND USED MONUMENT-
NO. 4 REBAR WITH YELLOW
PLASTIC CAP "PS 11993"
 - DENOTES NO. 4 REBAR WITH YELLOW
PLASTIC CAP "PS 11993" SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT
AS DESIGNATED

Line Table

LINE	BEARING	DISTANCE
L1	N 89°54'54" E	10.64'
L2	N 01°12'16" E	6.14'
L3	N 89°56'44" E	25.53'
L4	S 00°00'41" E	33.49'
L5	N 89°59'50" E	25.55'

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	5807.00'	237.14'	237.12'	N 48°46'05" E	2°25'24"
C2	5717.83'	373.02'	372.96'	N 51°42'44" E	3°44'16"
C3	6796.25'	81.10'	81.10'	N 50°16'00" E	0°41'01"
C4	5664.52'	291.79'	291.75'	N 52°06'45" E	2°57'05"
C5	77.00'	94.28'	88.50'	S 71°28'44" E	70°09'14"
C6	414.95'	77.00'	76.89'	S 30°06'37" E	10°37'57"
C7	432.99'	92.19'	92.01'	S 21°46'57" E	12°11'56"
C8	314.40'	94.11'	93.76'	S 07°34'41" E	17°09'03"
C9	17.33'	26.81'	24.22'	S 44°46'32" W	88°38'55"
C10	53.50'	15.15'	15.10'	N 81°53'55" W	16°13'30"
C11	206.50'	58.48'	58.28'	N 81°53'55" W	16°13'28"
C12	28.50'	21.84'	21.31'	N 68°03'17" W	43°54'46"



**PRECISION
 SURVEYS, INC.**

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

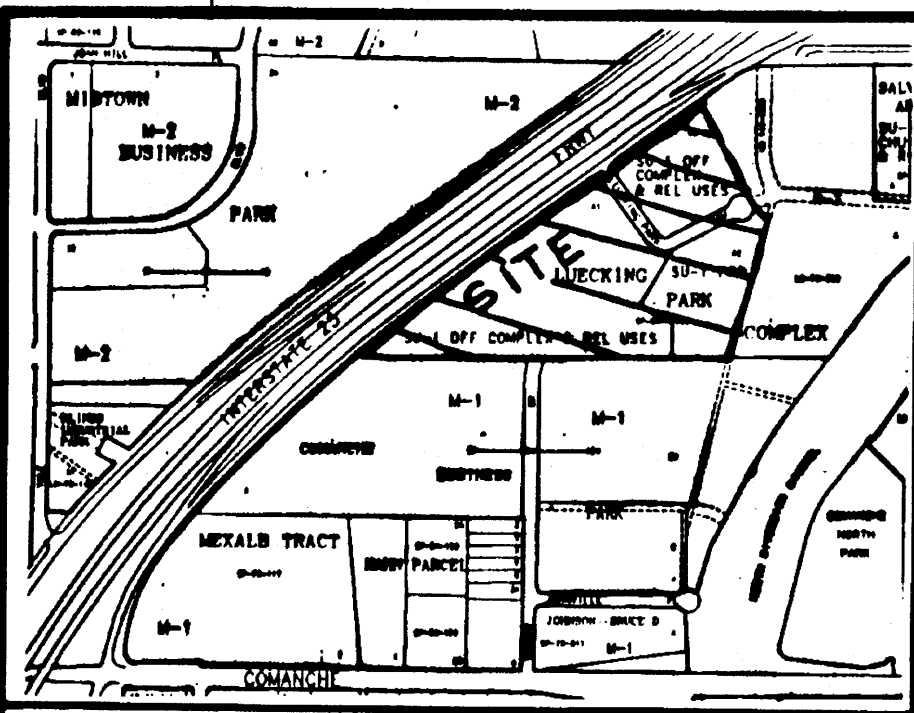
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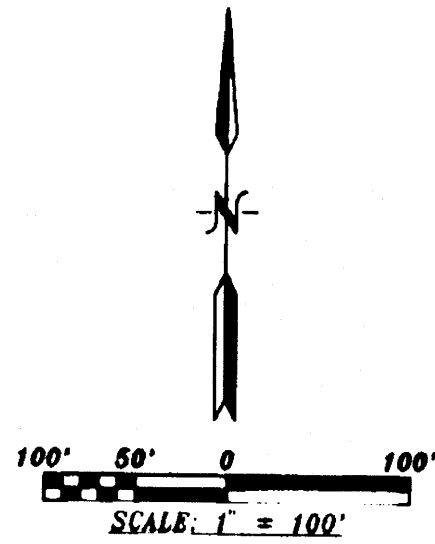
PROJECT: 1006865
DATE: 4-22-98 [PLAT]

PLAT OF
TRACTS A-1A, A-2A, A-3A AND A-4A
LUECKING PARK COMPLEX NO. 2 AND NO. 3

WITHIN
SECTION 3, T 10 N, R 3 E, N.M.P.M
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 1998



VICINITY MAP
ZONE MAP NO. G-16



LEGAL DESCRIPTION

TRACTS LETTERED A-ONE (A-1), A-TWO (A-2) A-THREE (A-3) OF THE REPLAT OF TRACTS A,B,C AND D, LUECKING PARK COMPLEX NO. 2 TOGETHER WITH TRACT A, LUECKING PARK COMPLEX NO. 3, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 3, 1980 IN VOLUME C17, FOLIO 9.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING COMMON WITH THE SOUTHEAST CORNER OF SAID TRACT A-2 RUNNING THENCE S. 89° 54' 54" W., A DISTANCE OF 1510.87 FEET TO THE SOUTHWEST CORNER, BEING A POINT ON THE EASTERLY LINE OF THE PAN AMERICAN FREEWAY;
THENCE 372.76 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 5609.99 AND A CHORD BEARING AND DISTANCE OF N. 51° 41' 38" E., 372.69 FEET TO A POINT OF TANGENCY;
THENCE CONTINUING ALONG THE EASTERLY LINE OF THE PAN AMERICAN FREEWAY, A DISTANCE OF 1378.44 FEET TO THE MOST NORTHERLY CORNER OF THE TRACT;
THENCE LEAVING THE EASTERLY LINE OF THE PAN AMERICAN FREEWAY, S. 26° 56' 39" E., A DISTANCE OF 543.52 FEET TO AN ANGLE POINT;
THENCE S 13° 43' 42" W., A DISTANCE OF 578.80 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 20.7236 ACRES MORE OR LESS.

COURSE	RADIUS	ARC LENGTH	DELTA	CHORD	CHORD BEARING
C1 MEAS	25.00'	39.27'	90°00'00"	35.36'	N 08°35'58"E
C1 REC.	25.00'	39.27'			
C2 MEAS	25.00'	21.03'	48°11'50"	20.42'	S 87°08'47"W
C2 REC.	25.00'	21.03'			
C3 MEAS	50.00'	84.11'	96°22'48"	74.54'	N 63°03'19"E
C3 REC.	50.00'	84.11'			
C4 MEAS	25.00'	21.03'	48°11'23"	20.41'	S 38°57'38"W
C4 REC.	25.00'	21.03'			
C5 MEAS	25.00'	35.31'	80°55'54"	32.45'	N 76°51'59"W
C5 REC.	25.00'	35.31'			
C6 MEAS	25.00'	39.27'	90°00'00"	35.36'	S 81°24'02"E
C6 REC.	25.00'	39.27'			
C7	30.00'	51.87'	99°04'01"	45.65'	N 13°07'58"E
C8 MEAS	25.00'	21.03'	48°11'23"	20.41'	N 87°09'00"E
C8 REC.	25.00'	21.03'			
C9 MEAS	50.00'	84.11'	96°22'48"	74.54'	S 63°03'19"W
C9 REC.	50.00'	84.11'			
C10 REC.	25.00'	21.03'	48°11'50"	20.42'	N 38°57'51"E
C10 MEAS	25.00'	21.03'			
C11 MEAS	5606.99'	372.76'	3°48'33"	372.69'	N 51°41'38"E
C11 REC.	5606.99'	372.69'			
C12	77.00'	94.28'	70°09'17"	88.50'	S 71°28'44"E
C13	77.00'	94.27'	70°08'50"	88.49'	N 01°19'41"W
C14	417.00'	77.08'	10°35'25"	76.97'	S 30°06'51"E
C15	483.00'	38.85'	4°35'05"	38.64'	S 34°06'31"E
C16	50.00'	78.54'	89°59'56"	70.71'	S 08°35'56"W
C17	110.50'	173.57'	89°59'56"	156.27'	S 08°35'56"W
C18	95.00'	80.22'	36°19'00"	59.21'	S 71°45'24"W
C19	50.00'	50.85'	58°16'05"	48.69'	N 80°57'03"W
C20	75.00'	117.81'	89°59'56"	106.06'	S 08°35'56"W

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO DIVIDE 3 TRACTS INTO 4 TRACTS, DEDICATE STREETS AS PUBLIC RIGHT OF WAY AND GRANT EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 20.7236 ACRES.
- TALOS LOG NO. 98 - 040908570087
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- DRB CASE NO. 98-
- SHOWN IN PARENTHESIS ARE RECORD.
- TOTAL AREA OF RIGHT-OF-WAY: 2.8835 ACRES.
- TOTAL AREA OF OLD RIGHT-OF-WAY: 1.0914 ACRES.
- THE SUBJECT PROPERTY (TRACTS A-1A, A-2A AND A-4A) IS WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON THE "NATIONAL FLOOD INSURANCE RATE MAP" UNTIL SUCH TIME THAT A LOMR IS ISSUED BY FEMA TO REMOVE THE FLOODPLAIN, FLOOD INSURANCE MAY BE REQUIRED BY THE MORTGAGE COMPANY.
- ALL OF TRACT A-4A TO BE A TEMPORARY PUBLIC DRAINAGE EASEMENT FOR RETENTION POND. EASEMENT CAN BE VACATED WHEN PERMANENT DOWNSTREAM IMPROVEMENTS HAVE BEEN CONSTRUCTED AND THE DRB HAS APPROVED THE VACATION REQUEST. (GRANTED BY THIS PLAT.)

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT AND ALSO DO DEDICATE STREETS TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Joseph S. Coey 9/22/98
JOSEPH S. COEY, PRESIDENT
EDUCATORS FEDERAL CREDIT UNION

ACKNOWLEDGEMENT

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 22nd DAY OF Sept 19 98

BY: NEW Mexico Educators Federal Credit Union
OWNER

MY COMMISSION EXPIRES: 21 Mar 99 BY: Carla Archuleta
NOTARY PUBLIC

APPROVALS:

- Frank J. Lopez 1-28-99
City Engineer, City of Albuquerque, N.M.
- Frank J. Lopez 1-28-99
Albuquerque Metropolitan Agency Flood Control Authority
- Kurt L. Bout 1-11-99
Transportation Development, City of Albuquerque, N.M.
- Roger A. Green 1-11-99
Utility Development Division, City of Albuquerque, N.M.
- Deborah J. ... 1-11-99
Design and Development, City of Albuquerque, N.M.
- Wil C. ... 092598
City Surveyor, City of Albuquerque, N.M.
- John M. ... 2-16-99
Property Manager, City of Albuquerque, N.M.
- Ruth Philp 3-8-99
PNM Gas
- Catherine Schauder 03-08-99
U.S. West Telecommunications
- Ruth Philp 3-8-99
PNM Electric
- Therese Watson 3-3-99
Jones Intercable, Inc.

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCE OF ALBUQUERQUE, NEW MEXICO

[Signature] 3/9/99
CITY PLANNER
ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 27th DAY OF April 1998.

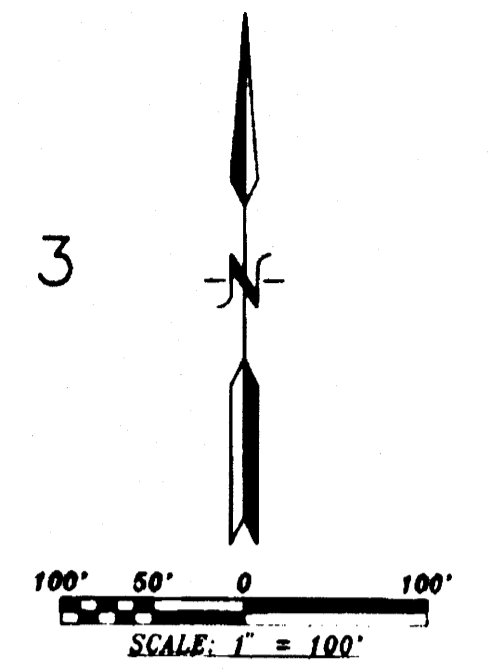
Anthony L. Harris
ANTHONY L. HARRIS, P.S. #11463



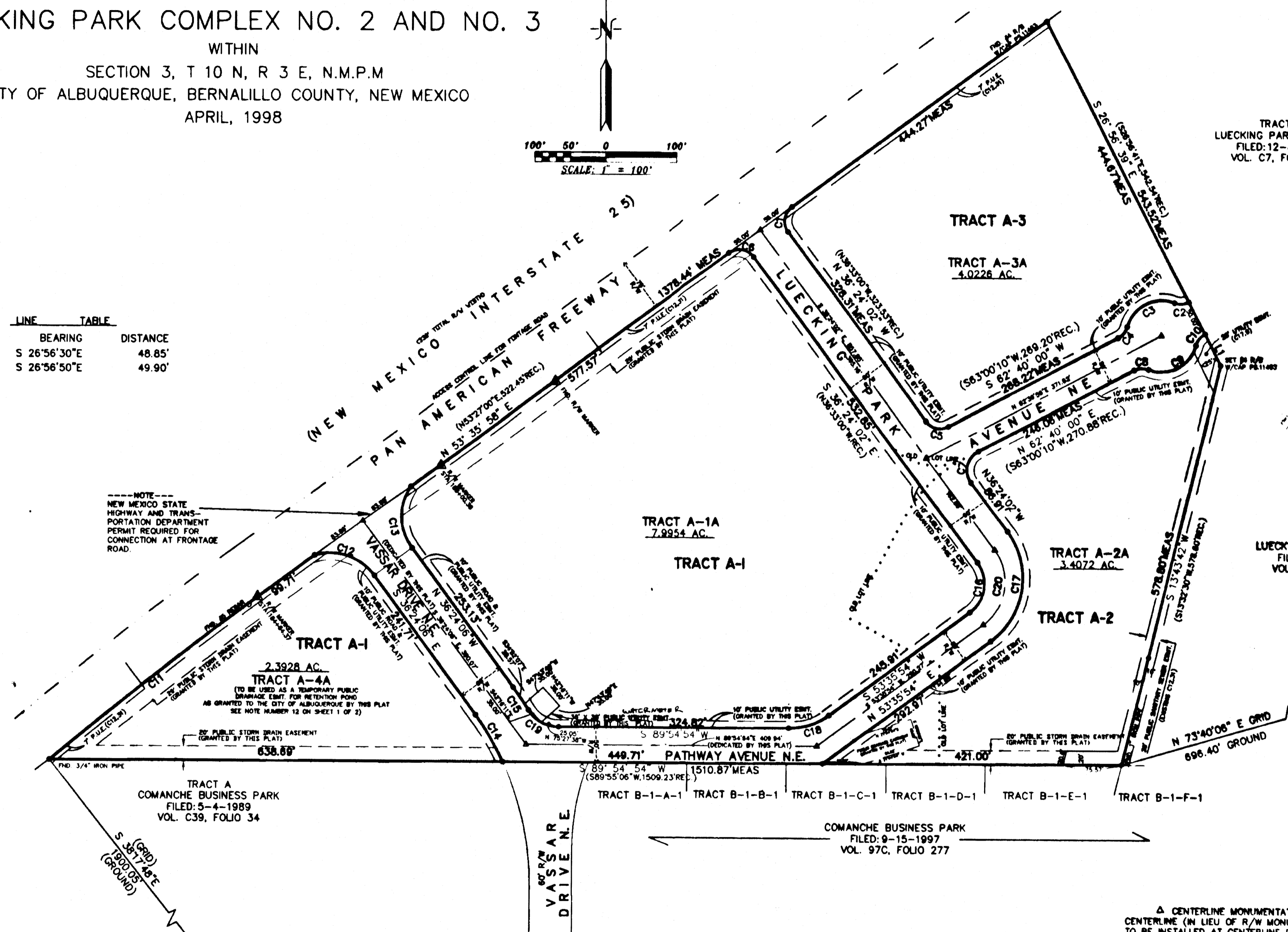
W&E SURVEYING, INC. PHONE: (505) 885-0000
1111-2 BARRON STREET, N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 885-0045

RE-LUEK.DWG(3/98)

PLAT OF
TRACTS A-1A, A-2A, A-3A AND A-4A
LUECKING PARK COMPLEX NO. 2 AND NO. 3
 WITHIN
 SECTION 3, T 10 N, R 3 E, N.M.P.M
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL, 1998



COURSE	BEARING	DISTANCE
L1 MEAS	S 26°56'30"E	48.85'
L1 REC.	S 26°56'50"E	49.90'



NOTE:
 NEW MEXICO STATE
 HIGHWAY AND TRANS-
 PORTATION DEPARTMENT
 PERMIT REQUIRED FOR
 CONNECTION AT FRONTAGE
 ROAD.

TRACT A-4A
 2.3928 AC.
 (TO BE USED AS A TEMPORARY PUBLIC
 DRAINAGE EASEMENT FOR RETENTION POND
 AS GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT
 SEE NOTE NUMBER 12 ON SHEET 1 OF 2)

TRACT A
 COMANCHE BUSINESS PARK
 FILED: 5-4-1989
 VOL. C39, FOLIO 34

TRACT B-1-A-1 TRACT B-1-B-1 TRACT B-1-C-1 TRACT B-1-D-1 TRACT B-1-E-1 TRACT B-1-F-1

COMANCHE BUSINESS PARK
 FILED: 9-15-1997
 VOL. 97C, FOLIO 277

TRACT A
 LUECKING PARK COMPLEX
 FILED: 12-8-1970
 VOL. C7, FOLIO 176

TRACT A
 LUECKING PARK COMPLEX
 FILED: 12-8-1970
 VOL. C7, FOLIO 176

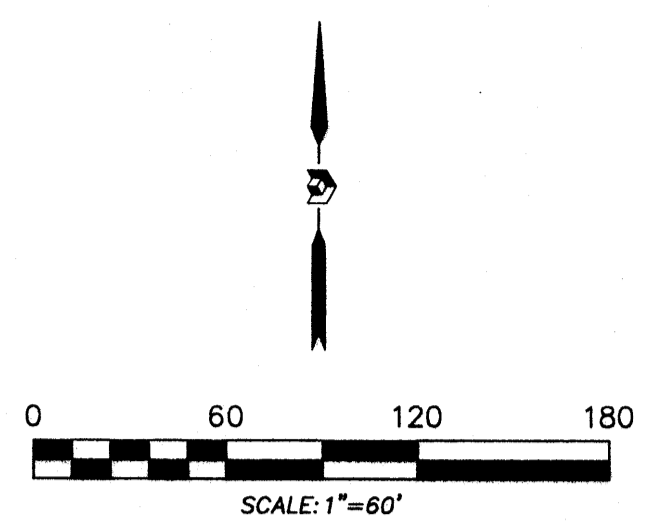
ACS STATION "NDC 15-16"
 X=392,486.40
 Y=1,502,012.20
 GRD TO GRID=0.99986910
 Δα = -00° 12' 25"
 CENTRAL ZONE, NAD 1927

ACS STATION "NDC 16-16"
 X=391,757.41
 Y=1,500,518.28
 GRD TO GRID=0.99986901
 Δα = -00° 12' 30"
 CENTRAL ZONE, NAD 1927

Δ CENTERLINE MONUMENTATION
 CENTERLINE (IN LIEU OF R/W MONUMENTATION)
 TO BE INSTALLED AT CENTERLINE PC'S, PT'S,
 ANGLE POINTS, AND STREET INTERSECTIONS
 AS SHOWN HEREON, AND WILL CONSIST OF A
 FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED:
 CITY OF ALBUQUERQUE
 CENTERLINE MONUMENT
 DO NOT DISTURB
 PLS #11483

PROJECT: 1006865
 DATE: 9-2-15
 APP: 15-70295
 REQUEST: Final Plat

Plat of
 Lots 2-A and 2-B
SRCC Albuquerque
Carpenters Training Center
 located within Section 3, Township 10 North, Range 3 East, N.M.P.M.
 City of Albuquerque, Bernalillo County, New Mexico
 August 2015



RECORDING STAMP

NOTE:

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Legend

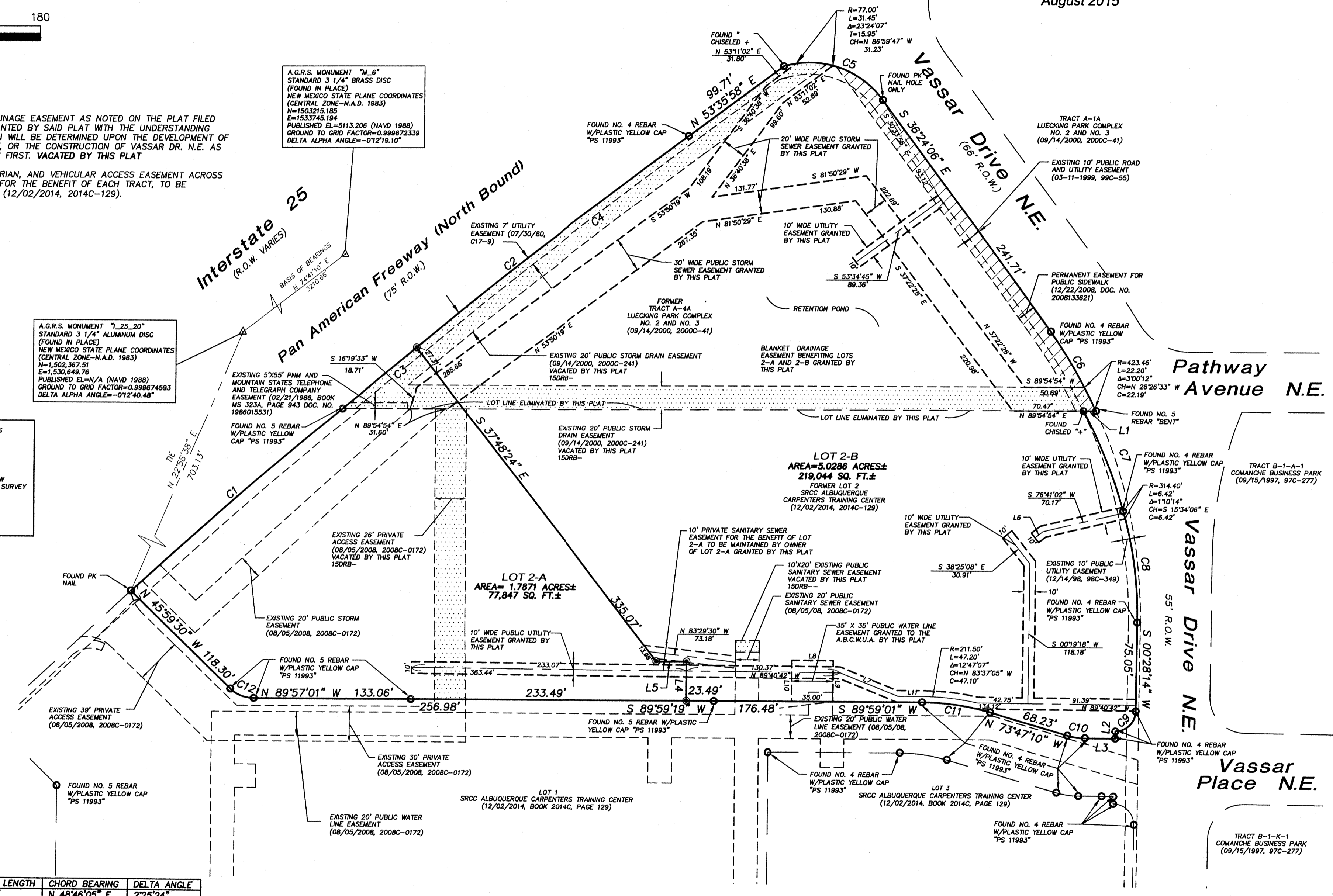
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT- NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"
 - DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Line Table

LINE	BEARING	DISTANCE
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L4	S 00°00'41" E	33.49'
L5	N 89°59'50" E	25.55'
L6	S 52°15'07" W	8.39'
L7	N 68°06'54" W	52.93'
L8	N 89°59'01" E	35.00'
L9	S 00°00'59" E	35.00'
L10	S 89°59'01" W	35.00'
L11	S 89°59'01" W	20.49'

Curve Table

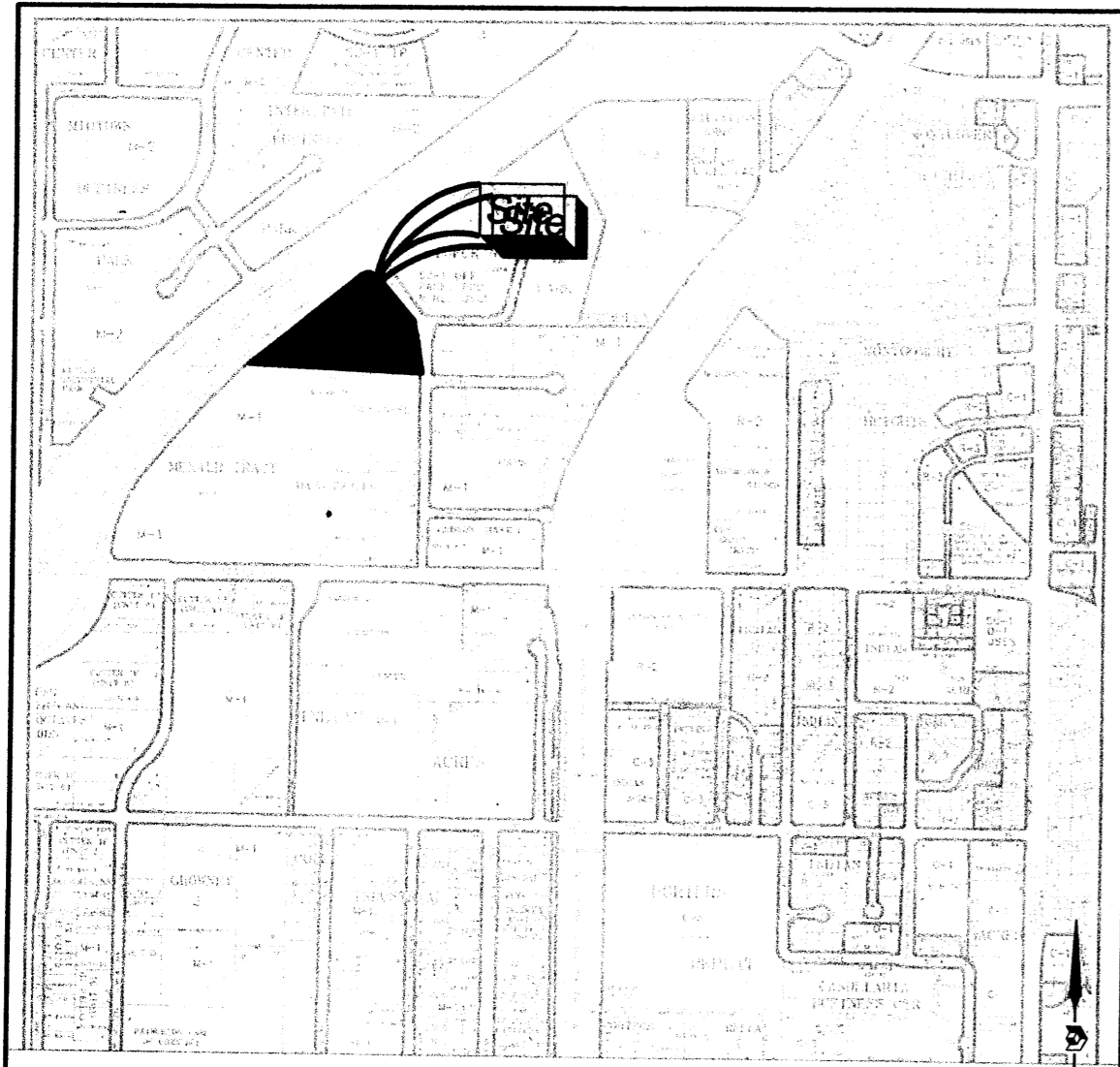
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C2	5681.29'	372.76'	372.69'	N 51°42'23" E	3°45'33"
C3	5681.29'	80.83'	80.83'	N 50°14'04" E	0°48'04"
C4	5681.29'	291.92'	291.89'	N 52°06'50" E	2°56'39"
C5	77.00'	94.28'	88.50'	S 71°28'44" E	70°09'14"
C6	423.46'	76.97'	76.86'	N 30°08'53" W	10°24'52"
C7	432.99'	92.19'	92.01'	S 21°46'57" E	12°11'56"
C8	314.40'	94.11'	93.76'	S 07°34'41" E	17°09'03"
C9	17.33'	26.81'	24.22'	S 44°46'32" W	88°38'55"
C10	53.50'	15.15'	15.10'	N 81°53'55" W	16°13'30"
C11	206.50'	58.48'	58.28'	N 81°53'55" W	16°13'28"
C12	28.50'	21.84'	21.31'	N 88°03'17" W	43°54'46"



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 OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION CARPENTER'S TRAINING CENTER

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

505.856.5700 PHONE
 505.856.7900 FAX



Location Map
Zone Atlas Map No. G-16-Z

Subdivision Data:

ZONING: M-1
GROSS SUBDIVISION ACREAGE: 6.8157 ACRES±
ZONE ATLAS INDEX NO: G-16-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 2
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: SEPTEMBER 16, 2014, FIELD VERIFIED MARCH 6, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO TWO NEW LOTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS; NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

TRACT A-4A, LUECKING PARK COMPLEX, A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT A-4A, LUECKING PARK COMPLEX, THE SAME IS SHOWN AND DESIGNATED ON PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 14, 2000 IN PLAT BOOK 2000C, PAGE 41. TOGETHER WITH LOT 2, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 2, 2014 IN PLAT BOOK 2014C, PAGE 129, SAID TRACT CONTAINS 6.8157 ACRES, MORE OR LESS, NOW COMPRISING LOTS 2-A AND 2-B SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER.

Plat of
Lots 2-A and 2-B
SRCC Albuquerque
Carpenters Training Center
Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
City of Albuquerque, Bernalillo County, New Mexico
AUGUST 2015

Project No. 1006865

Application No. 15DRB-

Utility Approvals

Fernando Vigil 8-17-15
DATE
Chi Salgado 8-17-15
NEW MEXICO GAS COMPANY DATE
[Signature] 8-17-15
QWEST CORPORATION D/B/A CENTURYLINK QC DATE

COMCAST DATE

City Approvals

Scott M. Reinhardt P.S. 4/7/15
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

A.B.C.W.U.A. DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 3/17/15
LARRY W. MEDRANO DATE
N.M.P.S. No. 11993



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

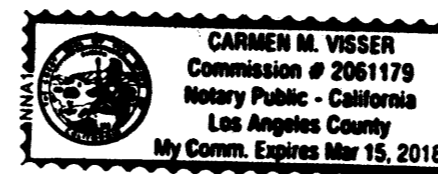
Randy J. Sowell 4/1/15
SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
RANDY J. SOWELL, DIRECTOR OF REAL ESTATE,
FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

Acknowledgment

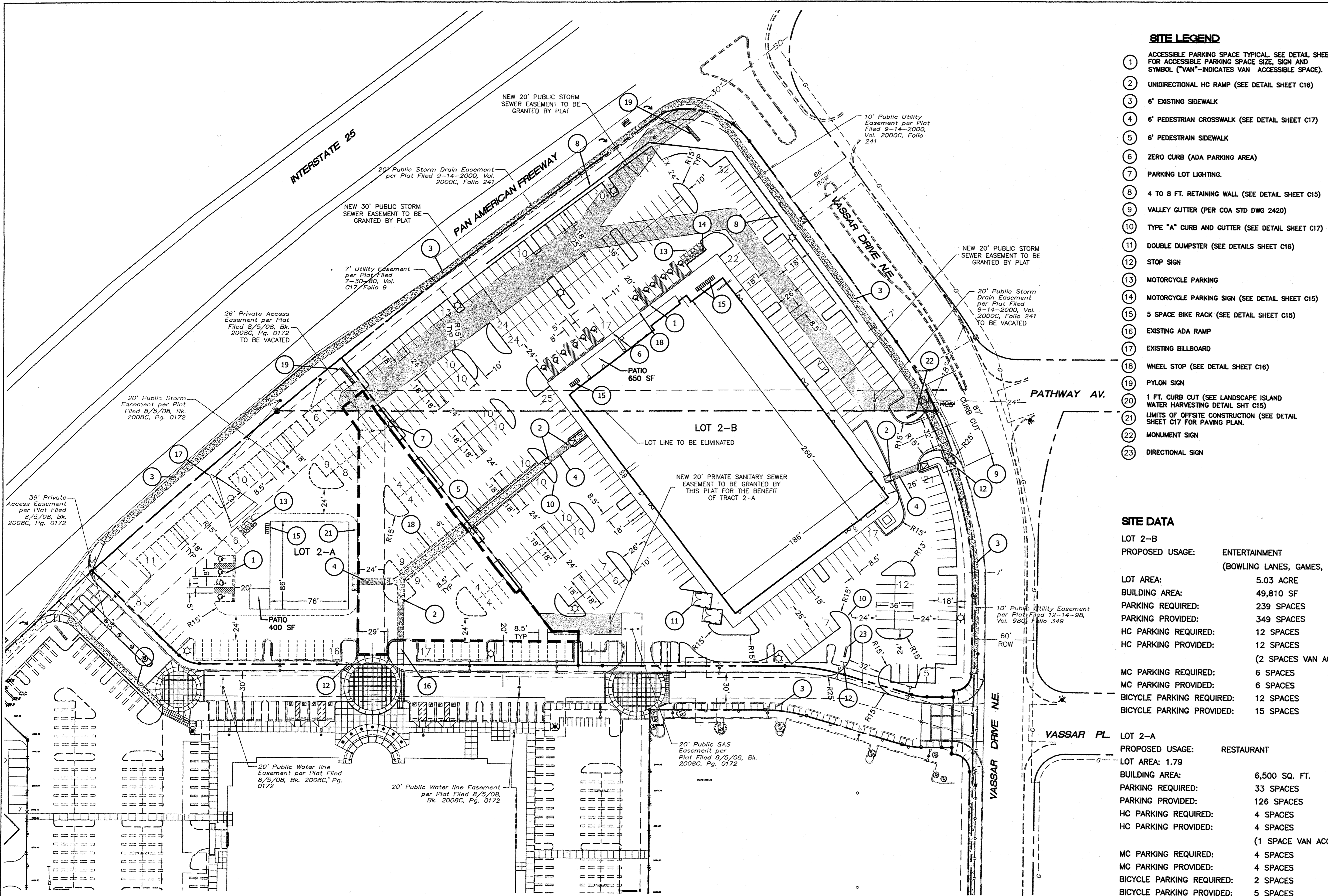
STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF April, 2015 BY
RANDY J. SOWELL, DIRECTOR OF REAL ESTATE, FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

[Signature]
NOTARY PUBLIC MY COMMISSION EXPIRES: March 15, 2018



INDEXING INFORMATION FOR COUNTY CLERK
OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CARPENTERS TRAINING CENTER

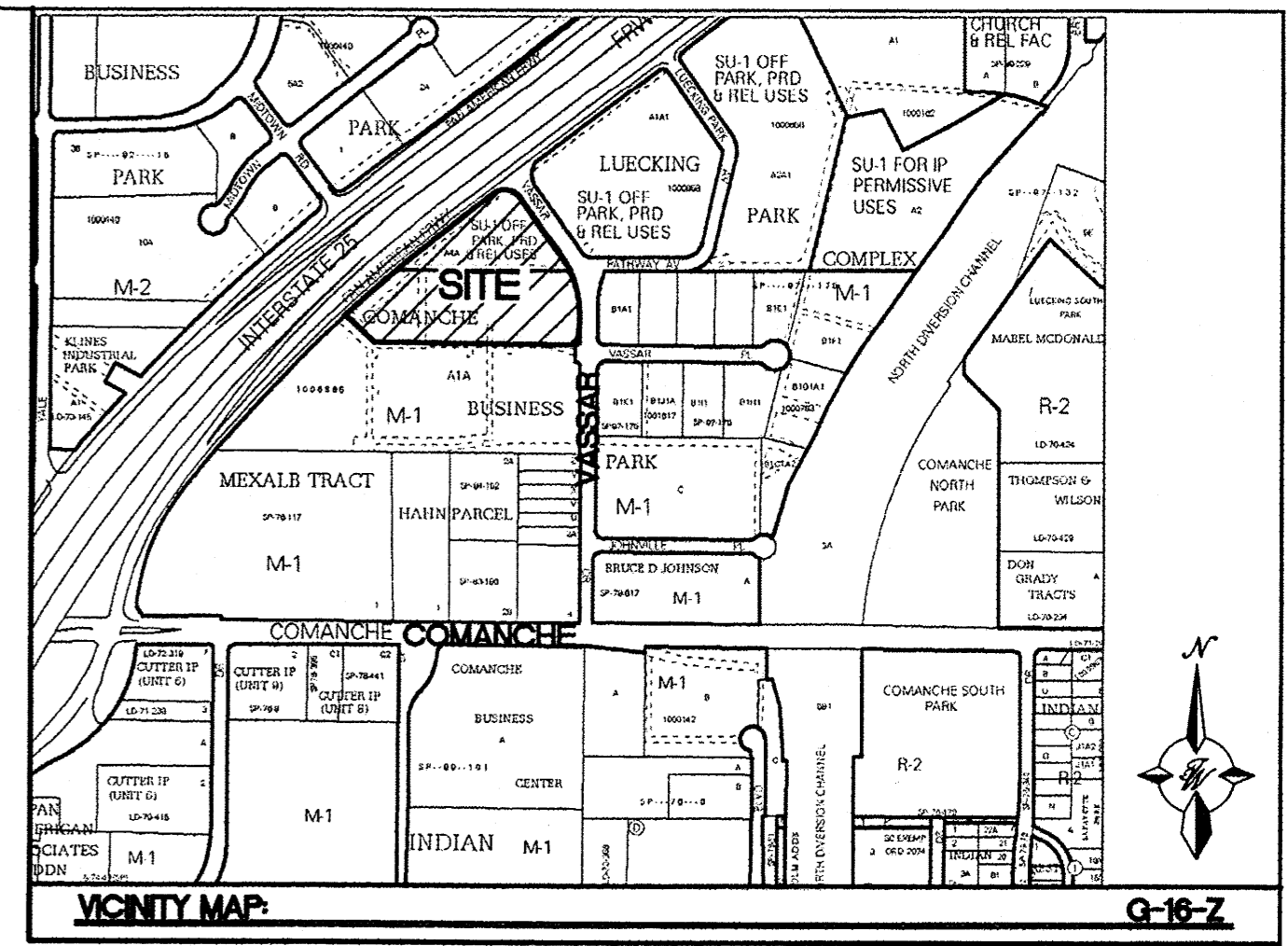


- SITE LEGEND**
- 1 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
 - 2 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHEET C16)
 - 3 6' EXISTING SIDEWALK
 - 4 6' PEDESTRIAN CROSSWALK (SEE DETAIL SHEET C17)
 - 5 6' PEDESTRIAN SIDEWALK
 - 6 ZERO CURB (ADA PARKING AREA)
 - 7 PARKING LOT LIGHTING
 - 8 4 TO 8 FT. RETAINING WALL (SEE DETAIL SHEET C15)
 - 9 VALLEY GUTTER (PER COA STD DWG 2420)
 - 10 TYPE "A" CURB AND GUTTER (SEE DETAIL SHEET C17)
 - 11 DOUBLE DUMPSTER (SEE DETAILS SHEET C16)
 - 12 STOP SIGN
 - 13 MOTORCYCLE PARKING
 - 14 MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C15)
 - 15 5 SPACE BIKE RACK (SEE DETAIL SHEET C15)
 - 16 EXISTING ADA RAMP
 - 17 EXISTING BILLBOARD
 - 18 WHEEL STOP (SEE DETAIL SHEET C16)
 - 19 PYLON SIGN
 - 20 1 FT. CURB CUT (SEE LANDSCAPE ISLAND WATER HARVESTING DETAIL SHT C15)
 - 21 LIMITS OF OFFSITE CONSTRUCTION (SEE DETAIL SHEET C17 FOR PAVING PLAN)
 - 22 MONUMENT SIGN
 - 23 DIRECTIONAL SIGN

SITE DATA

LOT 2-B	ENTERTAINMENT (BOWLING LANES, GAMES, DINING)
PROPOSED USAGE:	
LOT AREA:	5.03 ACRE
BUILDING AREA:	49,810 SF
PARKING REQUIRED:	239 SPACES
PARKING PROVIDED:	349 SPACES
HC PARKING REQUIRED:	12 SPACES
HC PARKING PROVIDED:	12 SPACES (2 SPACES VAN ACCESSIBLE)
MC PARKING REQUIRED:	6 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	12 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

LOT 2-A	RESTAURANT
PROPOSED USAGE:	
LOT AREA:	1.79
BUILDING AREA:	6,500 SQ. FT.
PARKING REQUIRED:	33 SPACES
PARKING PROVIDED:	126 SPACES
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	4 SPACES (1 SPACE VAN ACCESSIBLE)
MC PARKING REQUIRED:	4 SPACES
MC PARKING PROVIDED:	4 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES



LEGAL DESCRIPTION:
 LOTS 2-A AND 2-B, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER

NOTES:
 1. SEE PAVING PLAN SHEET C9

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

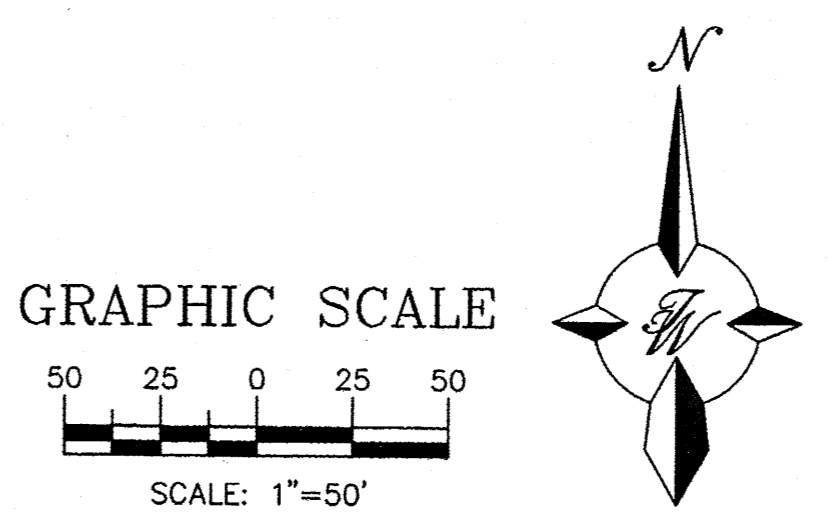
Traffic Engineer, Transportation Division	_____	Date
Water Utility Development	_____	Date
Parks & Recreation Department	_____	Date
City Engineer	_____	Date
* Environmental Health Department (conditional)	_____	Date
Solid Waste Management	<i>John M. Mc...</i>	4-16-15
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary

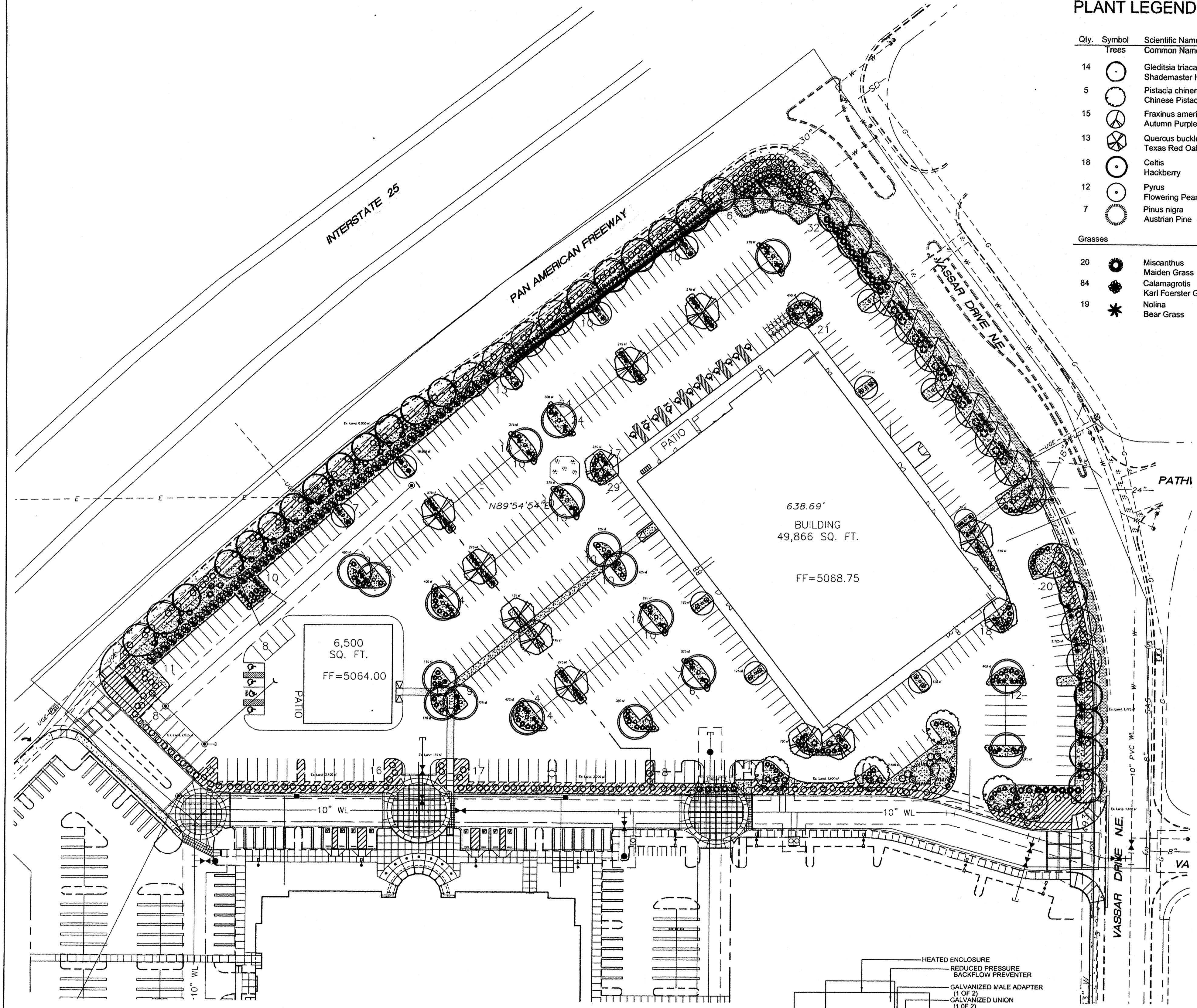
- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. LANDSCAPING PLAN
 - C3. LANDSCAPING PLAN
 - C4. LANDSCAPING PLAN
 - C5. GRADING AND DRAINAGE PLAN
 - C6. GRADING AND DRAINAGE PLAN
 - C7. MASTER UTILITY PLAN
 - C8. BUILDING ELEVATIONS
 - C9. BUILDING ELEVATIONS
 - C10. BUILDING SIGNS AND LIGHTING
 - C11. BUILDING SIGNS AND LIGHTING
 - C12. BUILDING SIGNS AND LIGHTING
 - C13. PLYON SIGNS
 - C14. DETAIL SHEET
 - C15. DETAIL SHEET
 - C16. DETAIL SHEET

LEGEND

— CURB & GUTTER	— LIMITS OF OFFSITE CONSTRUCTION
— BOUNDARY LINE	— FUTURE CURB & GUTTER
— EASEMENT	— EXISTING CURB & GUTTER
— CENTERLINE	— EXISTING BOUNDARY LINE
— RIGHT-OF-WAY	— EXISTING SIDEWALK
— BUILDING	— EXISTING LANE
— SIDEWALK	— EXISTING STRIPING
— RETAINING WALL	— EXISTING STREET LIGHTS
— PARKING LOT LIGHTS	
— LANE	
— STRIPING	
— PROPOSED EASEMENT	



	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY BJF
	SITE PLAN FOR BUILDING PERMIT	DATE 04/15/15
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C1
		JOB # 2015015



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Landscape Ht./ Sp. Coverage	Water Use	Drip Emitters	Allergenic Potential
14	●	Gleditsia triacanthos Shademaster Honey Locust	2" Cal	50/45'	Medium+	6-2 gph	Low
5	○	Pistacia chinensis Chinese Pistache	2" Cal	60/60'	Medium	6-2 gph	Low
15	○	Fraxinus americana Autumn Purple Ash	2" Cal	40/35'	Medium +	6-2 gph	Low
13	○	Quercus buckleyi Texas Red Oak	2" Cal	40/40'	Medium +	6-2 gph	Low
18	○	Celtis Hackberry	2" Cal	40/40'	Medium +	6-2 gph	Low
12	○	Pyrus Flowering Pear	2" Cal	25/15'	Medium +	6-2 gph	Low
7	○	Pinus nigra Austrian Pine	6" Ht.	35/25'	Medium +	6-2 gph	Low
Grasses							
20	●	Miscanthus Maiden Grass	1-Gal	5/5'	40 sf=800 sf	Medium	2-2 gph Low
84	●	Calamagrostis Karl Foerster Grass	5-Gal	3/2'	10 sf=840 sf	Medium	2-2 gph Low
19	●	Nolina Bear Grass	5-Gal	5/6'	64 sf=1216 sf	RW	2-1 gph Low

Qty.	Symbol	Scientific Name Common Name	Size	Mature Landscape Ht./ Sp. Coverage	Water Use	Drip Emitters	Allergenic Potential
27	○	Lavandula Lavender	1-Gal	3/3'	12 sf=324 sf	Medium	2-2 gph Low
92	○	Hesperaloe parviflora Red Yucca	5-Gal	2/5'	25 sf=2300 sf	Low+	2-1 gph Low
139	○	Juniperus horizontalis Blue Chip Juniper	5-Gal	2/5'	50 sf=6950 sf	Low +	2-1 gph Low
14	○	Raphiolepis indica India Hawthorn	5-Gal	2/6'	36 sf=504 sf	Low+	2-1 gph Low
59	○	Leucophyllum frutescens Texas Ranger	5-Gal	4/4'	50 sf=2950 sf	Low	2-1 gph Low
6	○	Buddleia Butterfly Bush	1-Gal	5/5'	50 sf=300 sf	Medium	2-2 gph Low
97	○	Ericameria Turpentine Bush	5-Gal	3/4'	25 sf=2425 sf	Low	2-2 gph Low
49	○	Chamaebatia Fernbush	5-Gal	5/6'	100 sf=4900 sf	Low+	2-1 gph Low
22	○	Salvia greggii Cherry Sage	1-Gal	2/3'	15 sf=330 sf	Low+	2-2 gph Low
16	○	Potentilla Shrubby Cinquefoil	5-Gal	3/3'	15 sf=240 sf	Medium	2-2 gph Low
14	○	Caryopteris Blue Mist Spirea	5-Gal	3/3'	36 sf=504 sf	Medium	2-2 gph Low
18	○	Rhus trilobata 3 Leaf Sumac	1-Gal	6/6'	64 sf=1152 sf	Low	2-2 gph Low

Total landscape coverage= 25,735 sf

EXISTING LANDSCAPE LEGEND

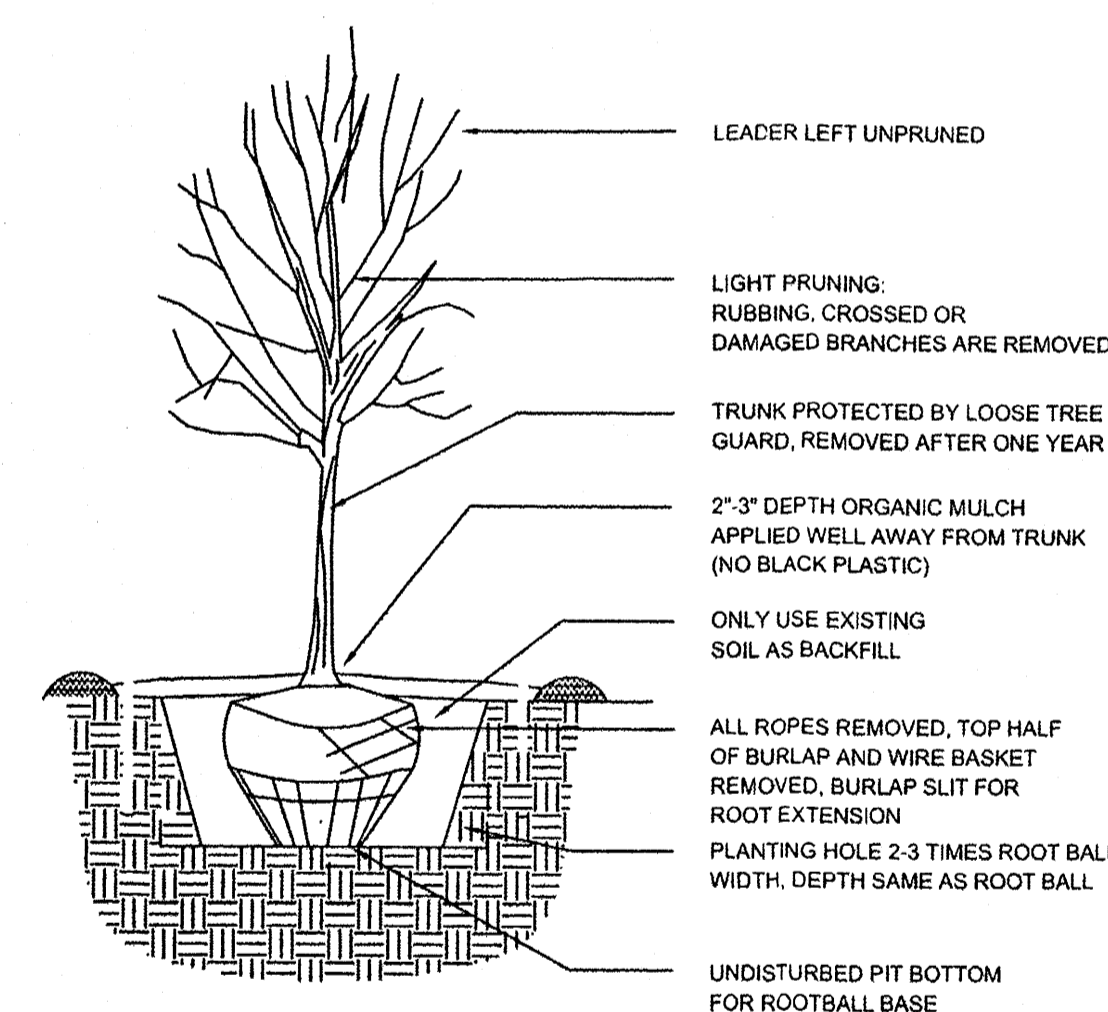
- EXISTING LANDSCAPE AREA TO REMAIN (EXISTING 7/8" SANTA FE BROWN GRAVEL)
- EXISTING TREES TO REMAIN
A-ASH
DW-DESERT WILLOW
CH-CHITALPA
- EXISTING SHRUBS TO REMAIN
JUNIPER, RED YUCCA, SUMAC,
RED BARBERRY, SILVERBERRY,
POTENTILLA

LANDSCAPE DATA

GROSS LOT AREA	286,890 SF
LESS BUILDING(S)	56,366 SF
NET LOT AREA	291,254 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	43,688 SF
EXISTING LANDSCAPE	17,775 SF
PROPOSED LANDSCAPE	33,825 SF
TOTAL LANDSCAPE PROVIDED	51,600 SF
PERCENT OF NET LOT AREA	18%
HIGH WATER USE TURF NONE PROPOSED	
REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	42
REQUIRED PARKING LOT TREES AT 1 PER 10 SPACES (472 SPACES/10)	47
PROVIDED PARKING LOT TREES	55
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (33,825 SF x 75%)	25,368 SF MIN.
PROVIDED LANDSCAPE COVERAGE	25,735 SF (76%)

NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- TREES ALONG STREET TO BE LOCATED IN FIELD WITH OWNER SO AS NOT TO BLOCK SIGNAGE.



TREE PLANTING DETAIL

growing better
Up Heads

LANDSCAPE CONTRACTORS
www.headsuplandscape.com

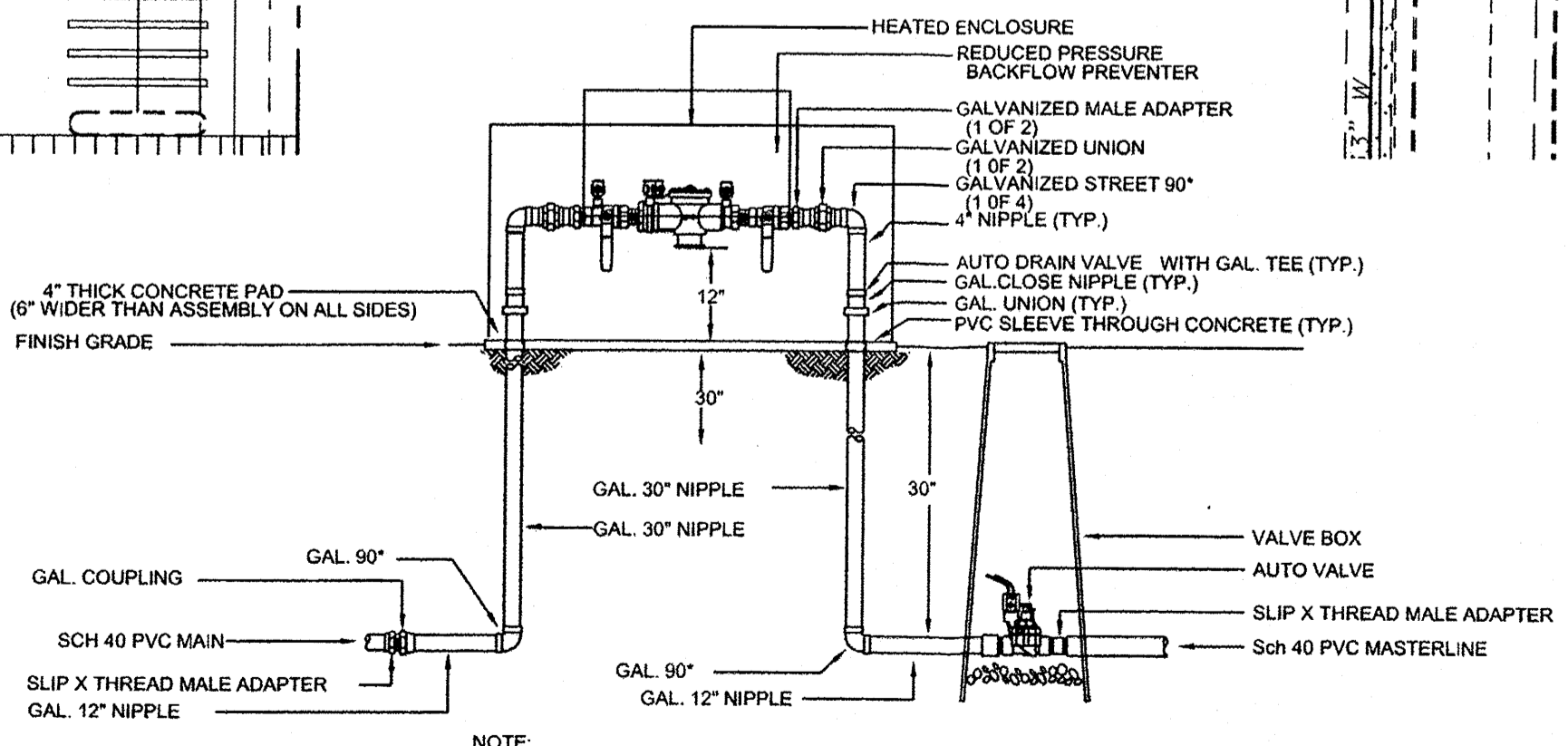
P.O. Box 10597
ALBUQUERQUE, N.M. 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

IRRIGATION NOTE

- DRIP SYSTEM RUN CYCLES:
- ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
- SPRING:
1 HOUR/2-3 DAYS A WEEK
- FALL:
1 HOUR/2-3 DAYS A WEEK
- WINTER:
1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND

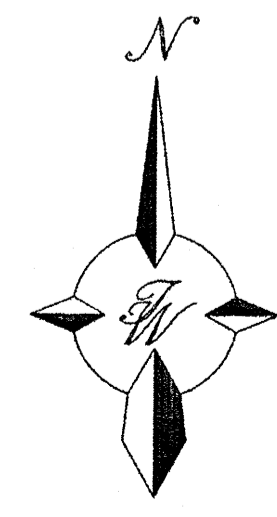
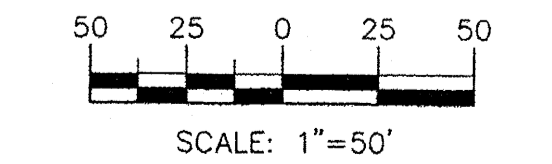
- 7/8" SANTA FE BROWN GRAVEL (TO MATCH)
- EXISTING 7/8" SANTA FE BROWN GRAVEL AT R.O.W.



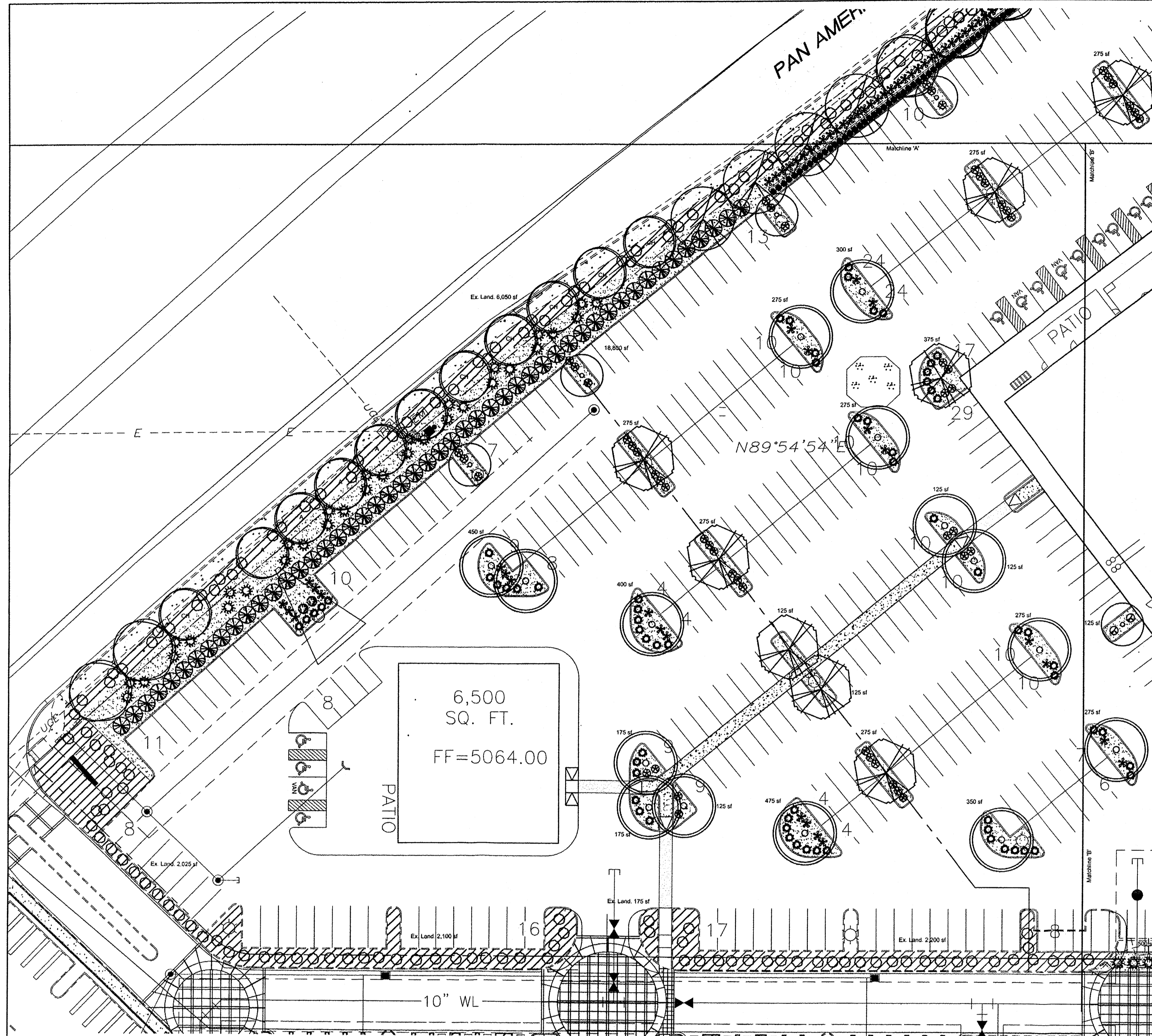
NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL

GRAPHIC SCALE



ENGINEER'S SEAL	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY HU
	LANDSCAPE PLAN	DATE 03/19/15
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	CARPENTERS UNION MAIN EVENT LANDSCAPE 3.16.15
RONALD R. BOHANNAN P.E. #7868		SHEET # C2
		JOB # 2015015



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht/ Sp. Coverage	Water Use	Drip Emitters	Allergenic Potential
14	(Symbol)	Gleditsia triacanthos Shademaker Honey Locust	2" Cal	50/45'	Medium+	6-2 gph	Low
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15	(Symbol)	Fraxinus americana Autumn Purple Ash	2" Cal	40/35'	Medium +	6-2 gph	Low
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49	(Symbol)	Chamaebatia Fernbush	5-Gal	5/6'	100 sf=4900 sf	Low+	2-1 gph Low
22	(Symbol)	Salvia greggii Cherry Sage	1-Gal	2/3'	15 sf=330 sf	Low+	2-2 gph Low
16	(Symbol)	Potentilla Shrubby Cinquefoil	5-Gal	3/3'	15 sf=240 sf	Medium	2-2 gph Low
14	(Symbol)	Caryopteris Blue Mist Spirea	5-Gal	3/3'	36 sf=504 sf	Medium	2-2 gph Low
18	(Symbol)	Rhus trilobata 3 Leaf Sumac	1-Gal	6/6'	64 sf=1152 sf	Low	2-2 gph Low

Total landscape coverage= 25,735 sf

EXISTING LANDSCAPE LEGEND

- (Symbol) EXISTING LANDSCAPE AREA TO REMAIN (EXISTING 7/8" SANTA FE BROWN GRAVEL)
- (Symbol) EXISTING TREES TO REMAIN
A-ASH
DW-DESERT WILLOW
CH-CHITALPA
- (Symbol) EXISTING SHRUBS TO REMAIN
JUNIPER, RED YUCCA, SUMAC,
RED BARBERRY, SILVERBERRY,
POTENTILLA

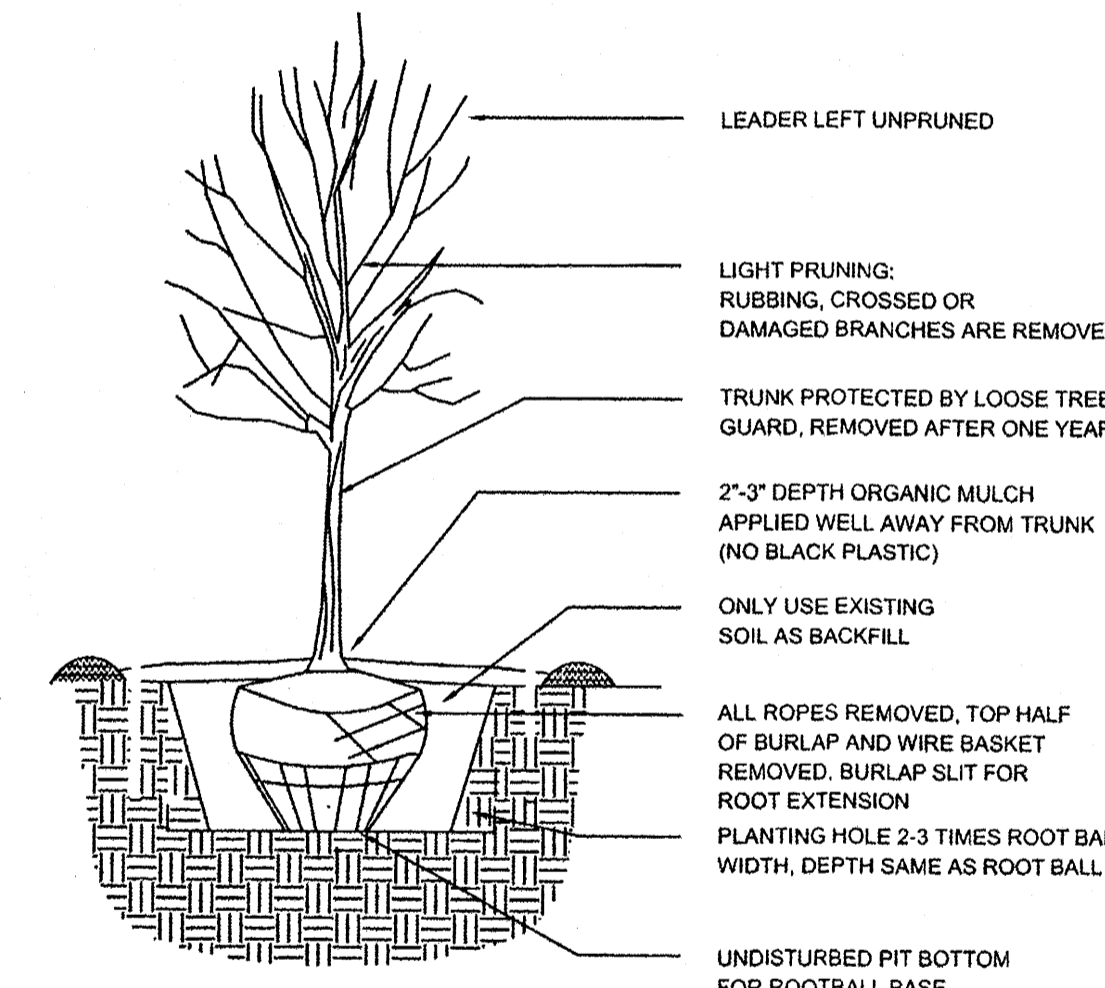
LANDSCAPE DATA

GROSS LOT AREA	296,890 SF
LESS BUILDING(S)	56,366 SF
NET LOT AREA	291,254 SF
REQUIRED LANDSCAPE	43,688 SF
15% OF NET LOT AREA	17,775 SF
EXISTING LANDSCAPE	33,825 SF
PROPOSED LANDSCAPE	51,600 SF
TOTAL LANDSCAPE PROVIDED	85,425 SF
PERCENT OF NET LOT AREA	29.3%

HIGH WATER USE TURF	
NONE PROPOSED	
REQUIRED STREET TREES	
PROVIDED AT 30' O.C. SPACING STREET	42
REQUIRED PARKING LOT TREES	
AT 1 PER 10 SPACES (472 SPACES/10)	47
PROVIDED PARKING LOT TREES	55
REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	25,368 SF MIN.
(33,825 SF x 75%)	
PROVIDED LANDSCAPE COVERAGE	25,735 SF (76%)

NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR-SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- TREES ALONG STREET TO BE LOCATED IN FIELD WITH OWNER SO AS NOT TO BLOCK SIGNAGE.



TREE PLANTING DETAIL



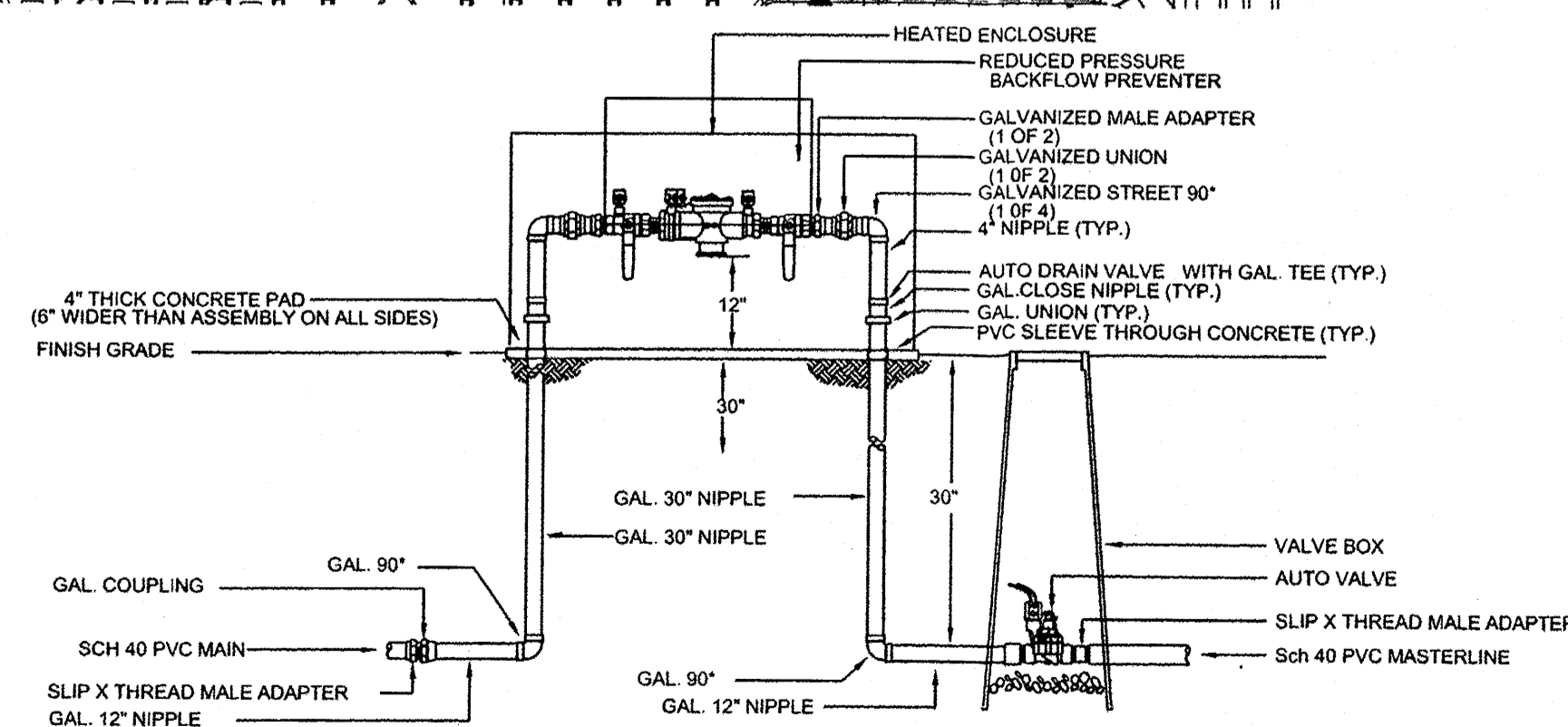
LANDSCAPE CONTRACTORS
www.headsuplandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND

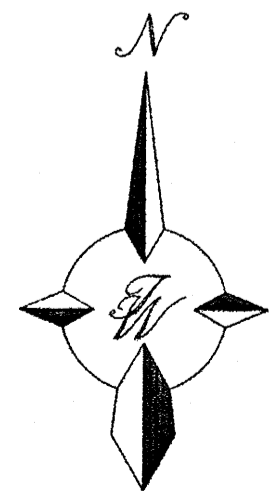
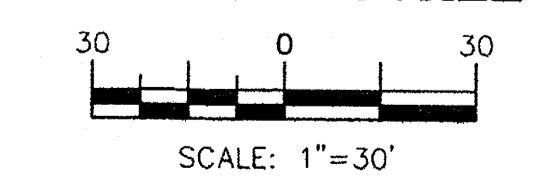
- (Symbol) 7/8" SANTA FE BROWN GRAVEL (TO MATCH)
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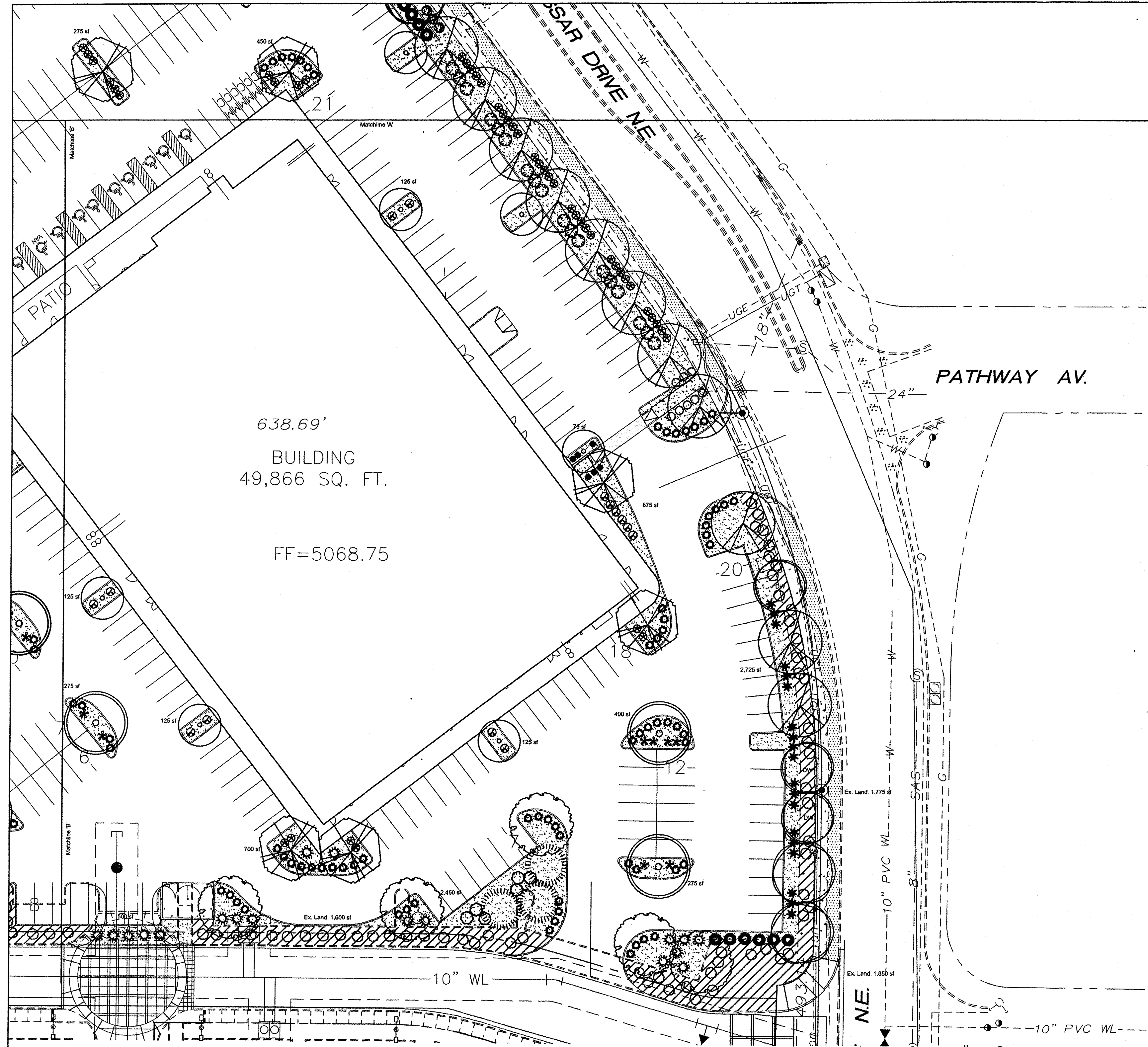
NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL

GRAPHIC SCALE



ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
	PAN AM FREEWAY AND VASSAR AV.	HU
LANDSCAPE PLAN		DATE
		03/19/15
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		CARPENTERS' UNION MAIN EVENT LANDSCAPE 3.16.15
		SHEET #
		C3
RONALD R. BOHANNAN P.E. #7868		JOB # 2015015



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht./ Sp. Coverage	Landscaping Use	Water Use	Drip Emitters	Allergenic Potential
14	○	Gleditsia triacanthos Shademaster Honey Locust	2" Cal	50/145'	Medium+	6-2 gph	Low	
5	○	Pistacia chinensis Chinese Pistache	2" Cal	60/160'	Medium	6-2 gph	Low	
15	○	Fraxinus americana Autumn Purple Ash	2" Cal	40/35'	Medium +	6-2 gph	Low	
13	○	Quercus buckleyi Texas Red Oak	2" Cal	40/40'	Medium +	6-2 gph	Low	
18	○	Celtis Hackberry	2" Cal	40/40'	Medium +	6-2 gph	Low	
12	○	Pyrus Flowering Pear	2" Cal	25/15'	Medium +	6-2 gph	Low	
7	○	Pinus nigra Austrian Pine	6" Ht.	35/25'	Medium +	6-2 gph	Low	
Grasses								
20	○	Miscanthus Maiden Grass	1-Gal	5/5'	40 sf=800 sf	Medium	2-2 gph	Low
84	○	Calamagrostis Karl Foerster Grass	5-Gal	3/2'	10 sf=840 sf	Medium	2-2 gph	Low
19	○	Nolina Bear Grass	5-Gal	5/6'	64 sf=1216 sf	RW	2-1 gph	Low

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht./ Sp. Coverage	Landscaping Use	Water Use	Drip Emitters	Allergenic Potential
27	○	Lavandula Lavender	1-Gal	3/3'	12 sf=324 sf	Medium	2-2 gph	Low
92	○	Hesperaloe parviflora Red Yucca	5-Gal	2/5'	25 sf=2300 sf	Low+	2-1 gph	Low
139	○	Juniperus horizontalis Blue Chip Juniper	5-Gal	2/5'	50 sf=6950 sf	Low +	2-1 gph	Low
14	○	Raphiolepis indica India Hawthorn	5-Gal	2/6'	36 sf=504 sf	Low+	2-1 gph	Low
59	○	Leucophyllum frutescens Texas Ranger	5-Gal	4/4'	50 sf=2950 sf	Low	2-1 gph	Low
6	○	Buddleia Butterfly Bush	1-Gal	5/5'	50 sf=300 sf	Medium	2-2 gph	Low
97	○	Ericameria Turpentine Bush	5-Gal	3/4'	25 sf=2425 sf	Low	2-2 gph	Low
49	○	Chamaebatia Fernbush	5-Gal	5/6'	100 sf=4900 sf	Low+	2-1 gph	Low
22	○	Salvia greggii Cherry Sage	1-Gal	2/3'	15 sf=330 sf	Low+	2-2 gph	Low
16	○	Potentilla Shrubby Cinquefoil	5-Gal	3/3'	15 sf=240 sf	Medium	2-2 gph	Low
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18	○	Rhus trilobata 3 Leaf Sumac	1-Gal	6/6'	64 sf=1152 sf	Low	2-2 gph	Low

Total landscape coverage= 25,735 sf

EXISTING LANDSCAPE LEGEND

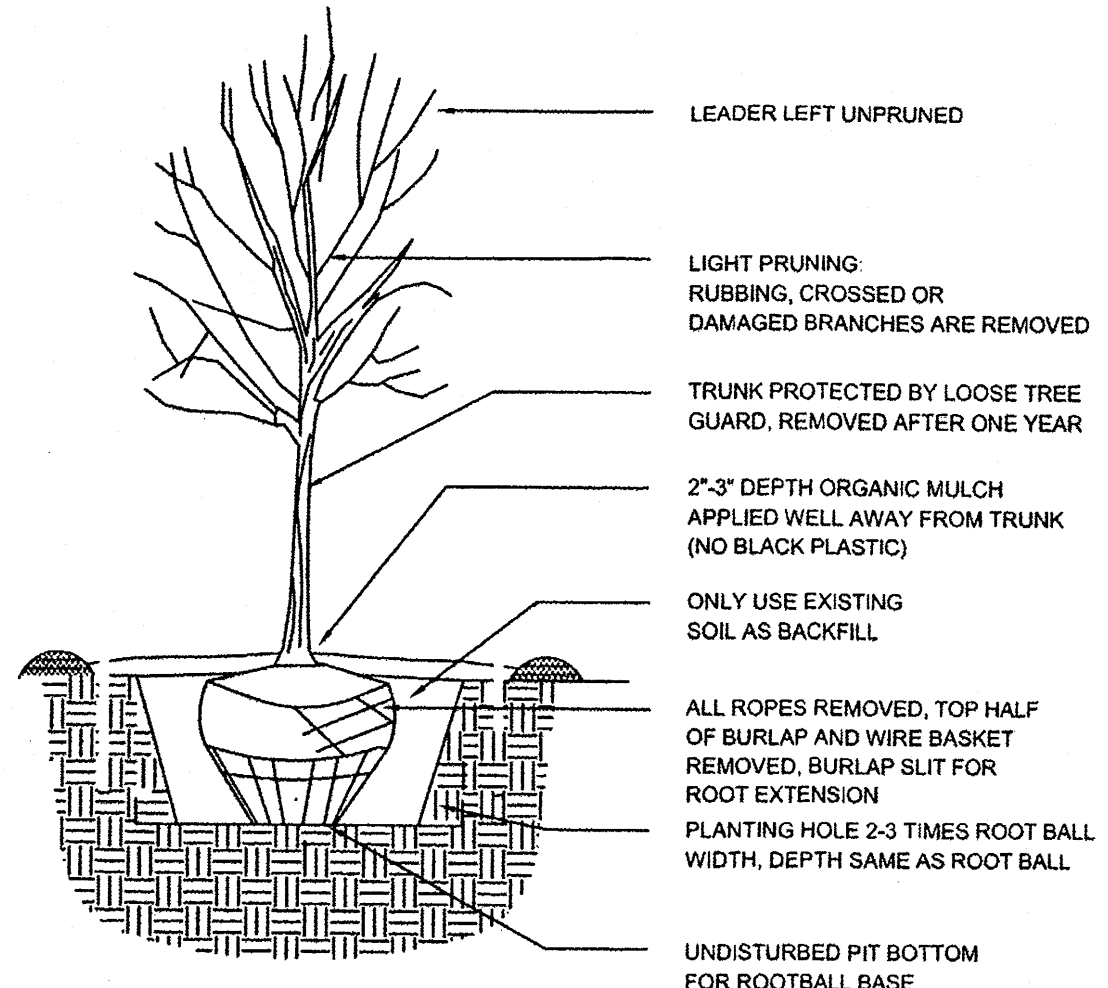
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- EXISTING SHRUBS TO REMAIN
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POTENTILLA

LANDSCAPE DATA

GROSS LOT AREA	296,890 SF
LESS BUILDING(S)	56,366 SF
NET LOT AREA	291,254 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	43,688 SF
EXISTING LANDSCAPE	17,775 SF
PROPOSED LANDSCAPE	33,825 SF
TOTAL LANDSCAPE PROVIDED	51,600 SF
PERCENT OF NET LOT AREA	18 %
HIGH WATER USE TURF NONE PROPOSED	
REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	42
REQUIRED PARKING LOT TREES AT 1 PER 10 SPACES (472 SPACES/10)	47
PROVIDED PARKING LOT TREES	55
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (33,825 SF x 75%)	25,368 SF MIN.
PROVIDED LANDSCAPE COVERAGE	25,735 SF (76%)

NOTE

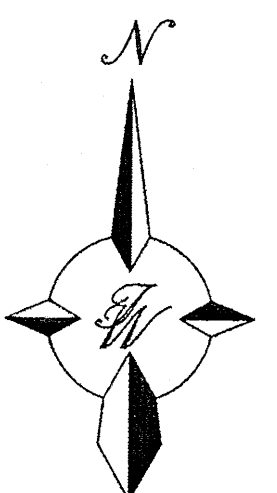
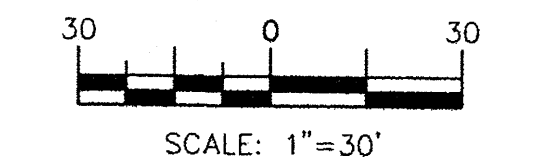
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- TREES ALONG STREET TO BE LOCATED IN FIELD WITH OWNER SO AS NOT TO BLOCK SIGNAGE.



TREE PLANTING DETAIL

growing better
HeadUp
LANDSCAPE CONTRACTORS
www.headsuplandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@huic.com

GRAPHIC SCALE

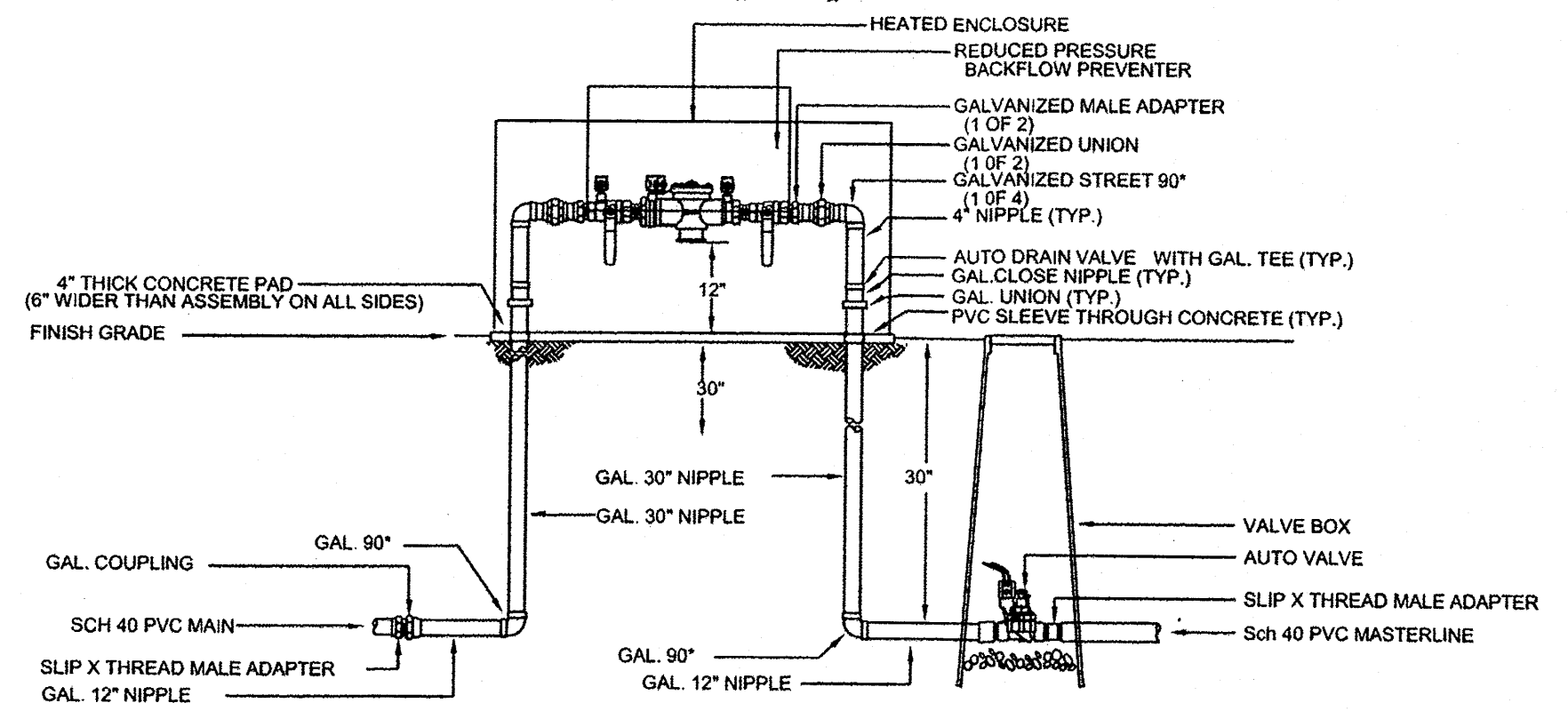


IRRIGATION NOTE

- DRIP SYSTEM RUN CYCLES:
- ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
- SPRING:
1 HOUR/2-3 DAYS A WEEK
- FALL:
1 HOUR/2-3 DAYS A WEEK
- WINTER:
1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND

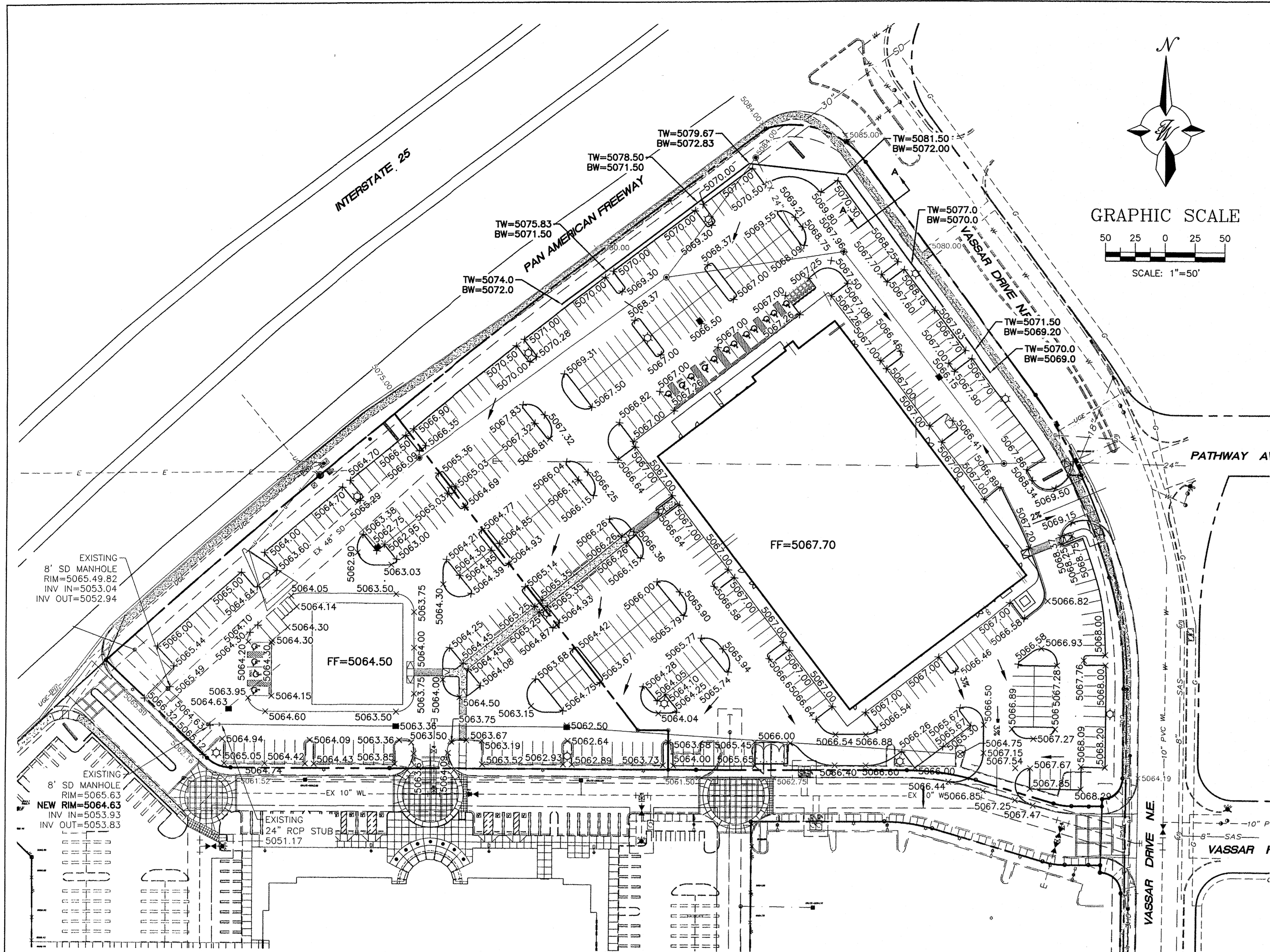
- 7/8" SANTA FE BROWN GRAVEL (TO MATCH)
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NOTE:
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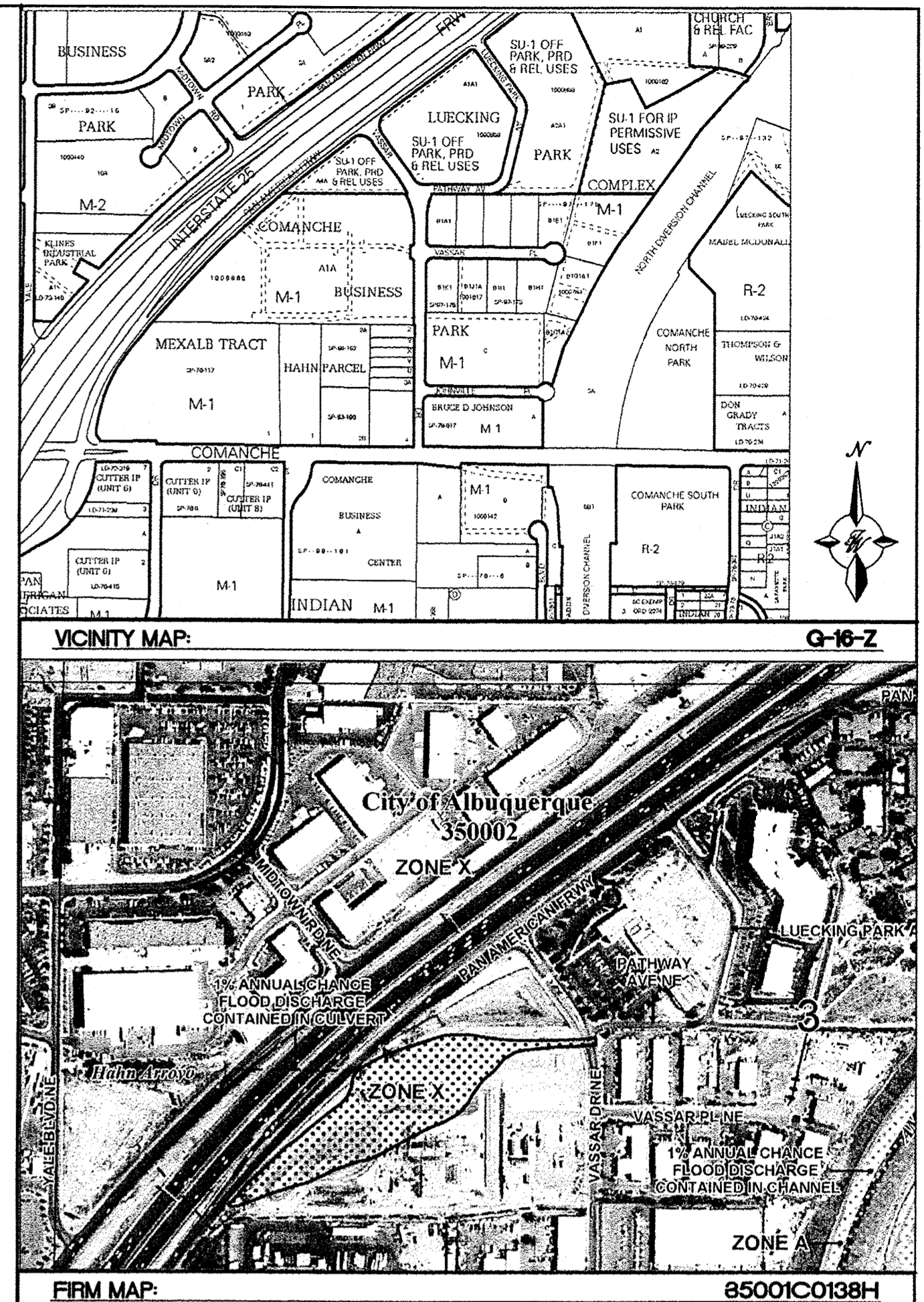
RP BACKFLOW/MASTER VALVE DETAIL

ENGINEER'S SEAL	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY HU
	LANDSCAPE PLAN	DATE 03/19/15
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	CARPENTERS UNION MAIN EVENT LANDSCAPE 3.16.15
RONALD R. BOHANNAN P.E. #7868		SHEET # C4
		JOB # 2015015



LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
---	SCREEN WALL
---	RETAINING WALL
---	5010 CONTOUR MAJOR
---	5011 CONTOUR MINOR
x 5048.25	SPOT ELEVATION
---	FLOW ARROW
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	5010 EXISTING CONTOUR MAJOR
---	5011 EXISTING CONTOUR MINOR
x 5048.25	EXISTING SPOT ELEVATION



PROPOSED SITE DRAINAGE

THIS SITE WILL BE DEVELOPED WITH AN ENTERTAINMENT/RESTAURANT BUILDING ON THE PAD ALONG VASSAR DRIVE AND A FUTURE RESTAURANT PAD SITE ALONG THE PAN AMERICAN FREEWAY. THE TEMPORARY RETENTION POND WILL BE ELIMINATED AND THE EXISTING 42-INCH PUBLIC STORM SEWER WILL BE REROUTED AND CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER DEVELOPMENT (G16/D145). THE SITE WILL UTILIZE LOW IMPACT DEVELOPMENT (LID) WHERE POSSIBLE ALLOWING SURFACE STORM WATER TO FLOW THROUGH LANDSCAPED AREAS PRIOR TO DISCHARGING TO THE STORM SEWER. THERE ARE SEVEN PROPOSED BASINS AS SHOWN ON THE PROPOSED BASIN MAP ON SHEET C6.

BASIN A CONSISTS OF THE BUILDING WITH ALL OF THE ROOF DRAINAGE FLOWING TO THE BACK OF THE BUILDING AND CONVEYED TO THE PARKING LOT VIA EXTERNAL ROOF DRAINS. THESE FLOWS ALONG WITH THE PARKING LOT FLOWS WILL DRAIN TO A LANDSCAPED PONDING AREA WITH A STAND PIPE SO THAT TRASH AND SEDIMENT CAN BE CAPTURED PRIOR TO THE STORM WATER ENTERING A STORM SEWER SYSTEM. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 8.62 CFS.

BASIN B CONSISTS OF THE SOUTHWEST PARKING LOT WHERE SURFACE STORM WATER WILL BE ROUTED THROUGH LANDSCAPING PRIOR TO DISCHARGING TO A DROP INLET AT A 100-YEAR PEAK FLOW OF 5.11 CFS.

BASIN C CONSISTS OF THE MAIN DRIVE AISLE INTO THE SITE AND PART OF THE FUTURE RESTAURANT PAD. THIS BASIN WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.54 CFS THAT WILL DISCHARGE INTO A DROP INLET.

BASIN D CONSISTS OF A PORTION OF THE FUTURE RESTAURANT PAD AND WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.46 CFS WHICH DISCHARGES INTO A DROP INLET.

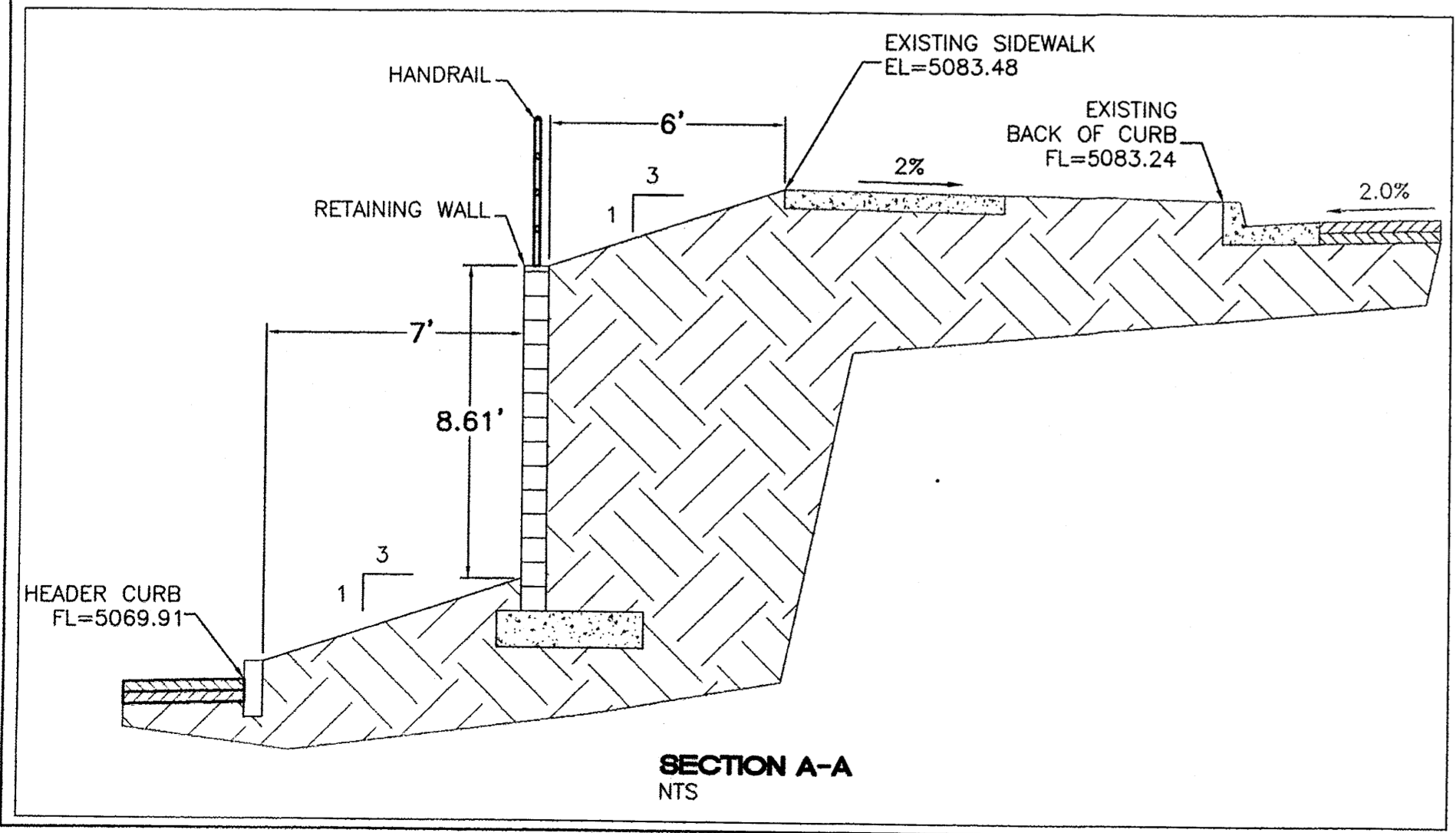
BASIN E CONSISTS OF A PARKING LOT WHERE THE TEMPORARY RETENTION POND IS BEING RECLAIMED. AN EXISTING 42-INCH PUBLIC STORM SEWER (93.4 CFS) ENTERS THIS BASIN FROM THE WEST AND WILL BE REALIGNED TO THE NORTH TO INTERCEPT AN EXISTING PUBLIC 24-INCH STORM SEWER (24.5 CFS) THAT ENTERS THE SITE FROM THE NORTH. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 3.45 CFS AND DISCHARGE TO A DROP INLET CONNECTED TO THE 42-INCH STORM SEWER.

BASIN F CONSISTS OF A PARKING LOT GENERATING A 100-YEAR PEAK FLOW OF 3.44 CFS WHICH DISCHARGES TO A DROP INLET.

BASIN G CONSISTS OF A PARKING LOT AND THE REMAINING PORTION OF THE FUTURE RESTAURANT PAD. THE REALIGNED 42-INCH PUBLIC STORM SEWER WILL BE CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER THAT WAS DESIGNED TO CONTAIN ALL OF THE DEVELOPED FLOW FROM THIS PROPERTY AS WELL AS FROM THE PATHWAY OFFICE PARK. THIS BASIN GENERATES A 100-YEAR PEAK FLOW OF 6.25 CFS.

ALL OF THE STORM SEWER CONSTRUCTED WITH THIS PROJECT WILL BE CONNECTED TO AN EXISTING 48-INCH STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER PROJECT. THE PREVIOUSLY APPROVED DRAINAGE REPORT FOR CARPENTERS CENTER ESTIMATED A TOTAL DEVELOPED DISCHARGE THROUGH THAT PIPE OF 159.55 CFS. THIS PROJECT WILL GENERATE A TOTAL DEVELOPED 100-YEAR FLOW OF 29.88 CFS AND COMBINED WITH THE 117.9 CFS FROM THE PATHWAY OFFICE PARK DEVELOPMENT WILL DISCHARGE A 100-YEAR FLOW OF 147.79 CFS WHICH IS LESS THAN THE 159.55 CFS PREVIOUSLY APPROVED.

SINCE STORM WATER IS BEING CAPTURED IN THE LANDSCAPE ISLANDS AND THE DEVELOPED FLOW FROM THIS PROJECT WAS INCLUDED IN THE DESIGN OF THE REGIONAL GRIEGOS POND CONSTRUCTED WITH SAD 216 THIS SITE MEETS THE CURRENT CITY DRAINAGE ORDINANCE.



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

EXISTING SITE DRAINAGE:

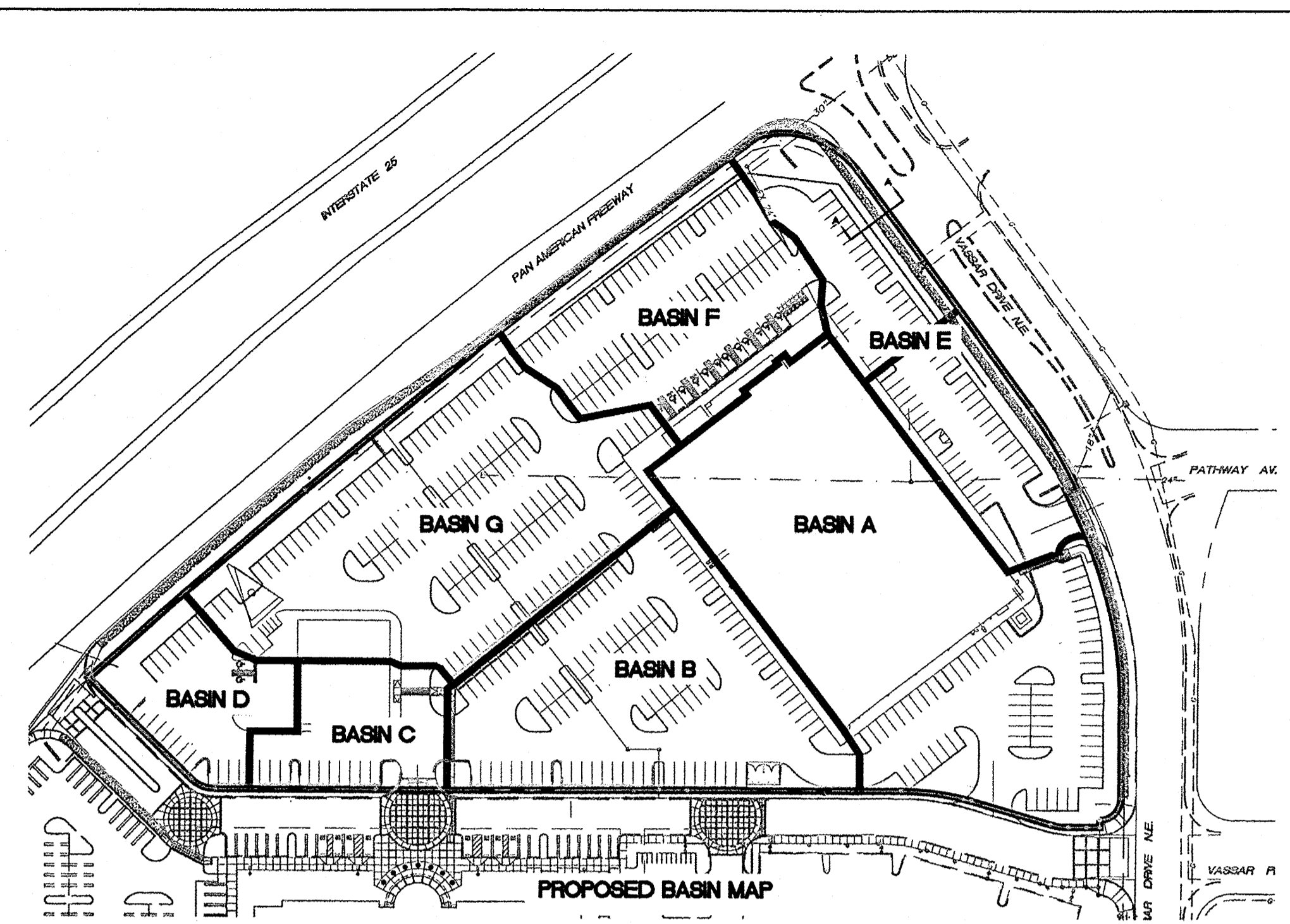
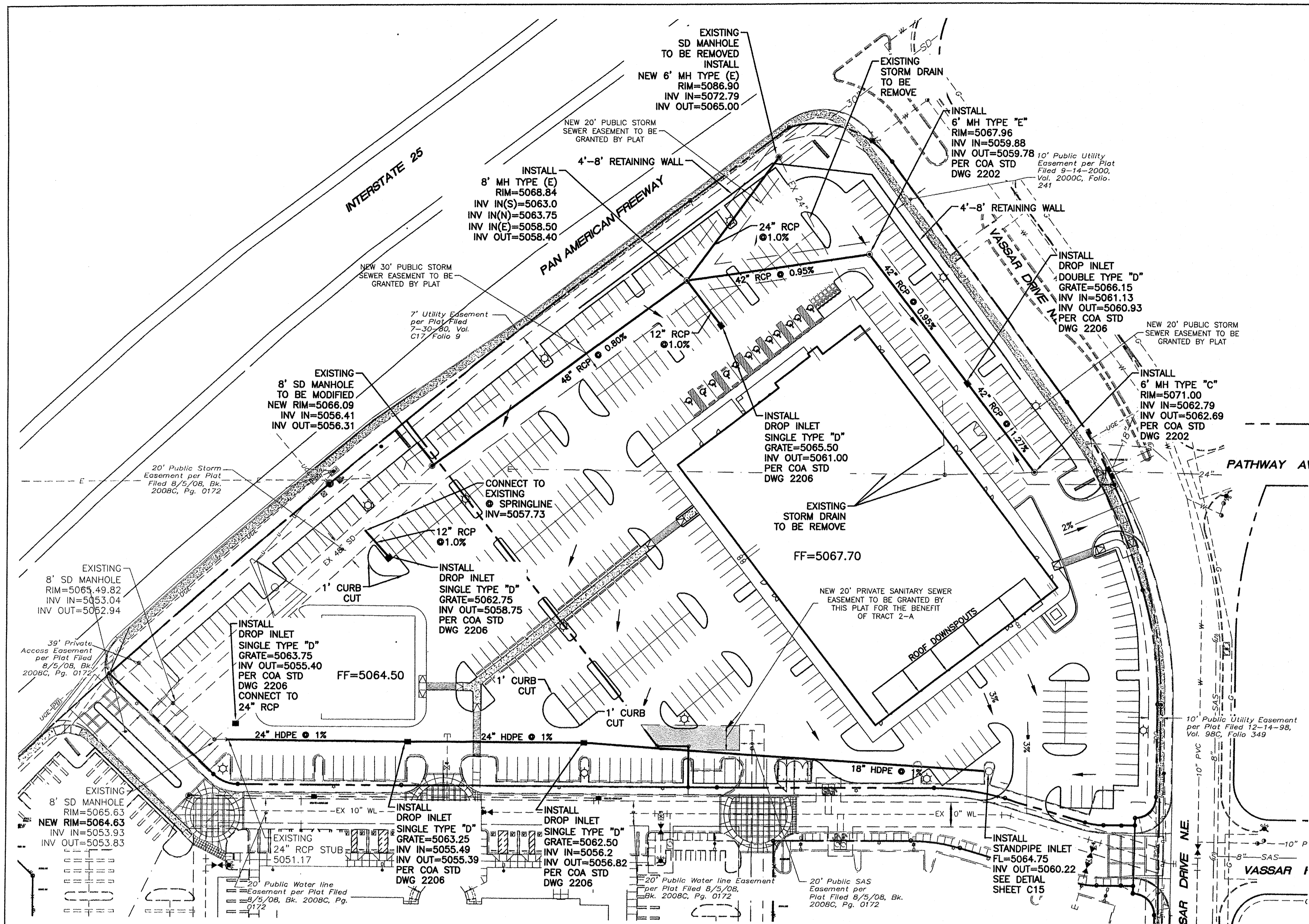
THE 6.82 ACRE SITE IS LOCATED AT THE SOUTHEAST CORNER OF PAN AMERICAN FREEWAY AND VASSAR DRIVE NE. THE SITE IS BOUNDED ON THE NORTH AND WEST BY PAN AMERICAN FREEWAY, ON THE EAST BY VASSAR DRIVE NE AND ON THE SOUTH BY AN INDUSTRIAL/MANUFACTURING DEVELOPMENT.

THE SITE IS CURRENTLY VACANT WITH ONE THIRD OF THE PROPERTY BEING A TEMPORARY RETENTION POND FOR THE PATHWAY OFFICE PARK (G16/D114) AND THE REMAINING TWO THIRDS DRAINING FROM EAST TO WEST TO A TEMPORARY DESILTING POND AND STORM SEWER INLET WHERE THE WATER IS THEN CONVEYED BY STORM SEWER AND OPEN CHANNEL TO THE GRIEGOS POND THAT WAS CONSTRUCTED WITH SAD 216.

THERE ARE OFF-SITE FLOWS ENTERING THE POND AS PART OF THE PATHWAY OFFICE PARK DEVELOPMENT AS WELL AS MINIMAL FLOWS FROM THE PAN AMERICAN FREEWAY. THIS SITE IS LOCATED IN A SHADED "X" ZONE AS SHOWN ON FIRM MAP #35001C0138H.

BASED ON THE APPROVED DRAINAGE REPORT FOR THE CARPENTERS TRAINING CENTER (G16/D145) THIS PROJECT MAY DISCHARGE A TOTAL OF 161 CFS WHICH TAKES INTO ACCOUNT ALL OF THE STORM WATER ENTERING THE TEMPORARY RETENTION POND.

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
	RONALD R. BOHANNAN P.E. #7868	PAN AM FREEWAY AND VASSAR AV.	BJF
		GRADING PLAN	DATE
			02/26/15
			2015015_GRB
			SHEET #
			C5
			JOB #
			2015015



Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	42	1.27	9.62	0.875	113.69	93.40	9.71
2	42	0.95	9.62	0.875	98.33	96.87	10.07
3	42	0.95	9.62	0.875	98.33	96.87	10.07
4	24	1.25	3.14	0.500	25.36	24.50	7.80
5	12	1.00	0.79	0.250	3.57	3.44	4.38
6	48	0.80	12.57	1.000	128.82	124.81	9.93
7	48	1.17	12.57	1.000	155.79	124.81	9.93
8	12	3.40	0.79	0.250	6.59	6.25	7.96
9	48	1.17	12.57	1.000	155.79	131.06	10.43
10	18	1.00	1.77	0.375	10.53	8.62	4.88
11	24	1.00	3.14	0.500	22.68	13.73	4.37
12	24	1.00	3.14	0.500	22.68	15.27	4.86
13	24	6.97	3.14	0.500	59.89	1.46	0.46
14	24	1.98	3.14	0.500	31.92	16.73	5.33
15	48	2.65	12.57	1.000	234.46	147.79	11.76

Manning's Equation:
 $Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$
 A = Area
 R = D/4
 S = Slope
 n = 0.013

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment				100-Year			10-Year						
			%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs		
A	83,352	1.91	0%	0	8%	0.15	0%	0.00	92%	1.76	2,013	0.321	8.62	1,255	0.200	5.67
B	49,888	1.15	0%	0	10%	0.11	0%	0.00	90%	1.03	1,986	0.190	5.11	1,234	0.118	3.35
C	14,756	0.34	0%	0	6%	0.02	0%	0.00	94%	0.32	2,040	0.058	1.54	1,276	0.036	1.02
D	15,034	0.35	0%	0	19%	0.07	0%	0.00	81%	0.28	1,865	0.054	1.46	1,139	0.033	0.94
E	36,072	0.83	0%	0	22%	0.18	0%	0.00	78%	0.65	1,825	0.126	3.45	1,107	0.076	2.20
F	34,539	0.79	0%	0	15%	0.12	0%	0.00	85%	0.67	1,919	0.127	3.44	1,181	0.078	2.23
G	63,131	1.45	0%	0	16%	0.23	0%	0.00	84%	1.22	1,906	0.230	6.25	1,170	0.141	4.04
29.88																

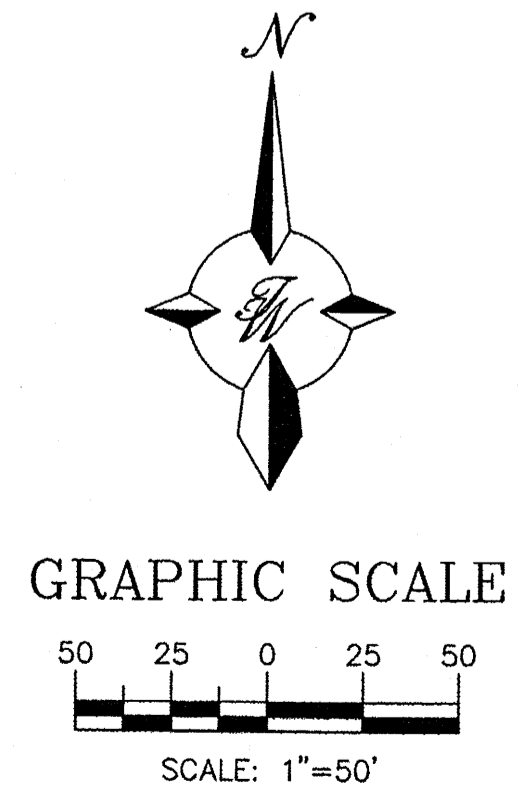
Equations:
 Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$
 Volume = Weighted E * Total Area
 Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Zone	Excess Precipitation, E (inches)		Peak Discharge (cfs/acre)	
	100-Year	10-Year	100-Year	10-Year
E _a	0.53	0.13	1.56	0.38
E _b	0.78	0.28	2.28	0.95
E _c	1.13	0.52	3.14	1.71
E _d	2.12	1.34	4.70	3.14

EROSION CONTROL NOTES:

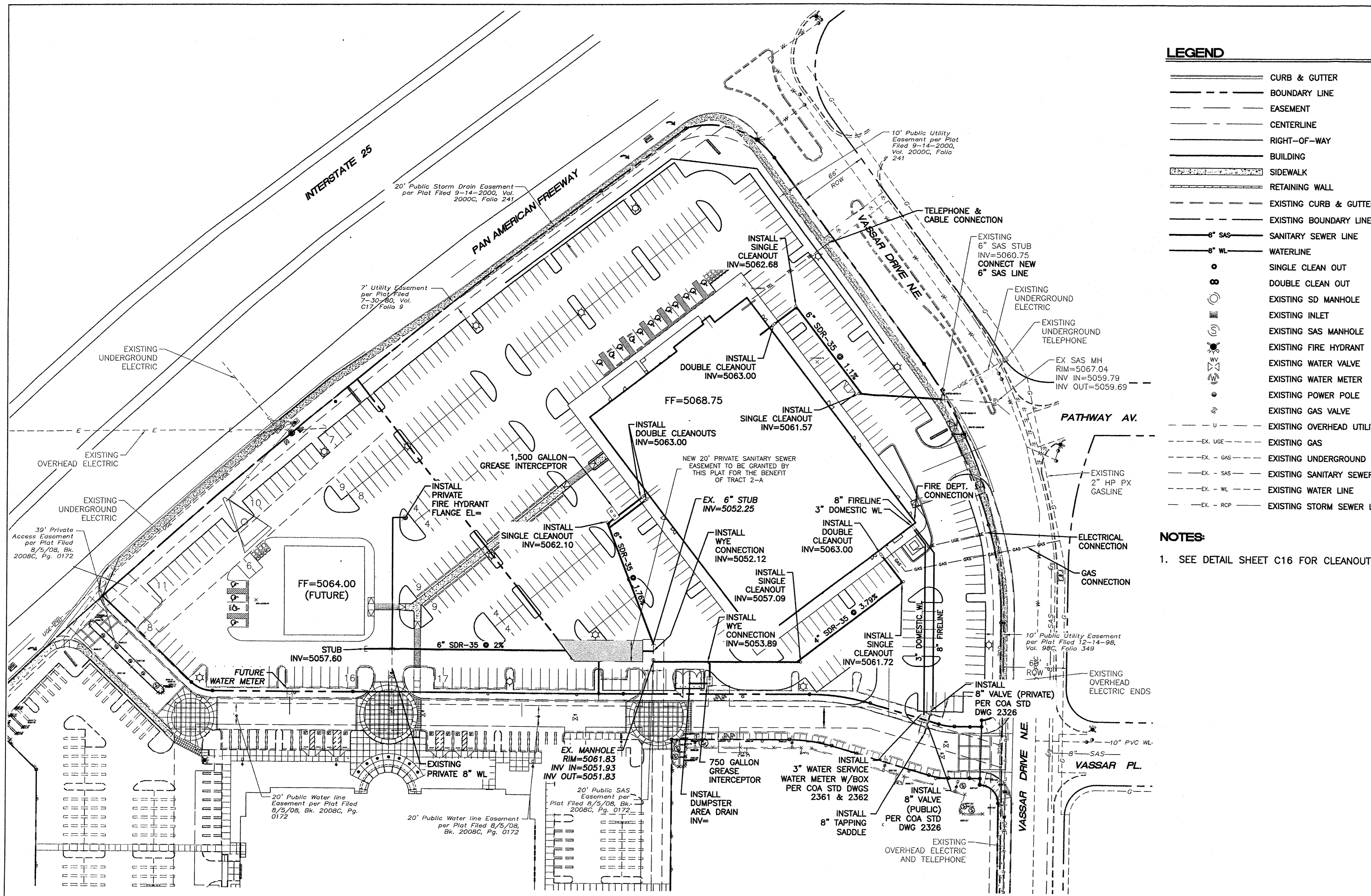
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
		PAN AM FREEWAY AND VASSAR AV.	BJF
		DRAINAGE PLAN	DATE
			02/26/15
			SHEET #
			C6
			JOB #
			2015015

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 6" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. UG — EXISTING OVERHEAD UTILITIES
- EX. UG — EXISTING GAS
- EX. SAS — EXISTING UNDERGROUND UTILITIES
- EX. SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE

NOTES:

- SEE DETAIL SHEET C16 FOR CLEANOUT DETAILS

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

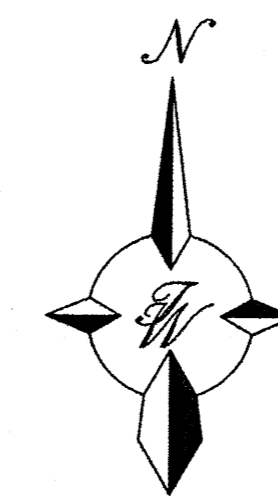
APPROVAL	NAME	DATE
INSPECTOR		

CAUTION:

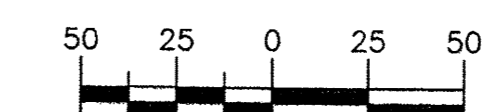
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.



GRAPHIC SCALE



SCALE: 1"=50'

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
		PAN AM FREEWAY AND VASSAR AV.	BJF
		MASTER UTILITY PLAN	DATE
			03/24/15
			2015015_MUB
			SHEET #
			C7
			JOB #
			2015015

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
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 www.tierrawestllc.com

EXTERIOR MATERIALS LIST (08/25/14)

METAL COPING
 MC-1: Berridge Mfg. Co. / Color: Lead Cote

PREFINISHED METAL
 PM-1: Canopy soffit and fascia to be Alpollic Materials PE Solid, 4mm Aluminum Composite Metal, Dry Seal System, Color: DYB Blue
 PM-2: Berridge Mfg. Co. / Color: Sierra Tan

MASONRY
 BL-1: Trenwyth Trendstone Croudface CMU color: Lincoln
 BL-2: Trenwyth Trendstone Croudface CMU color: Lt. Karmel

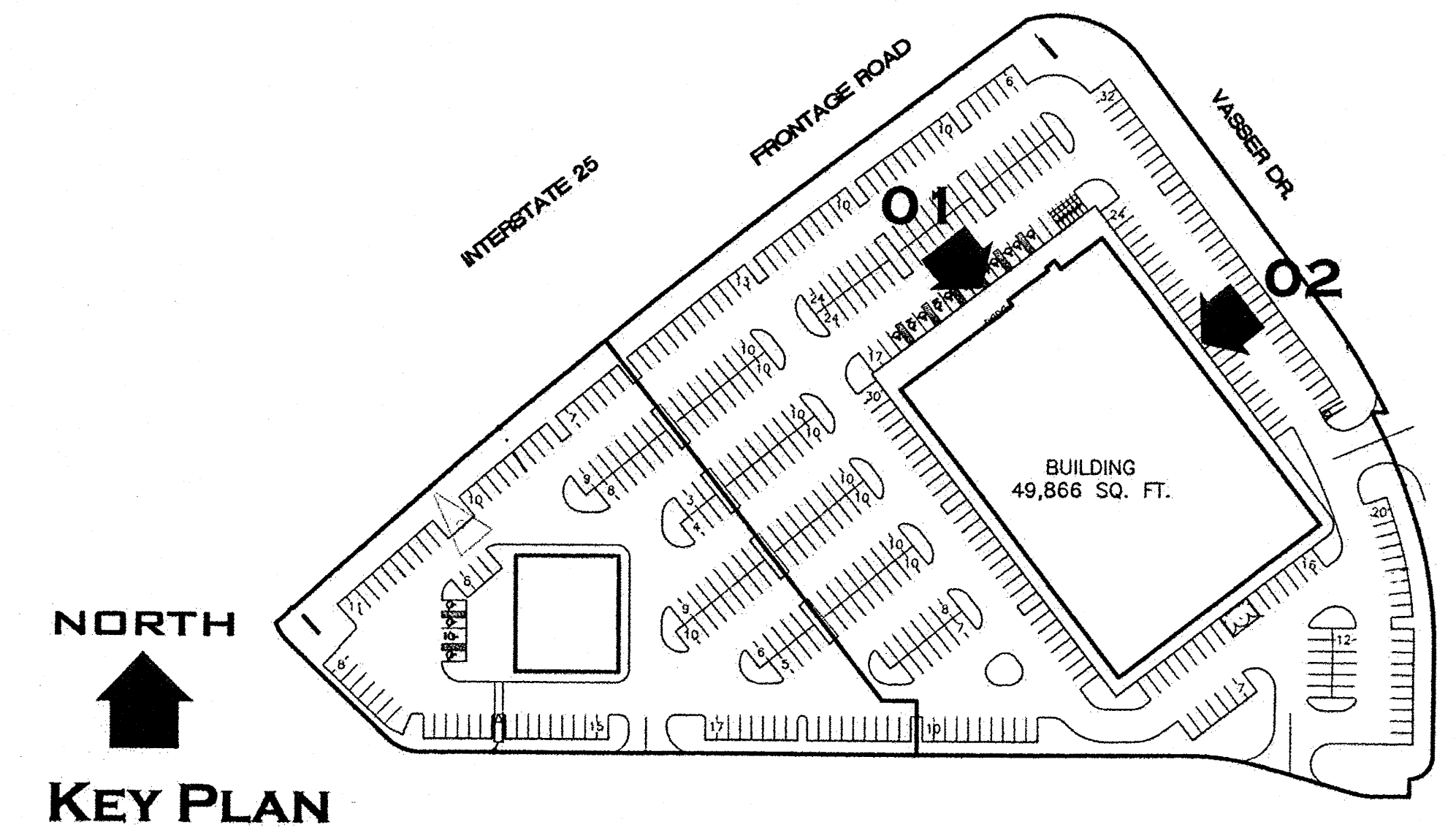
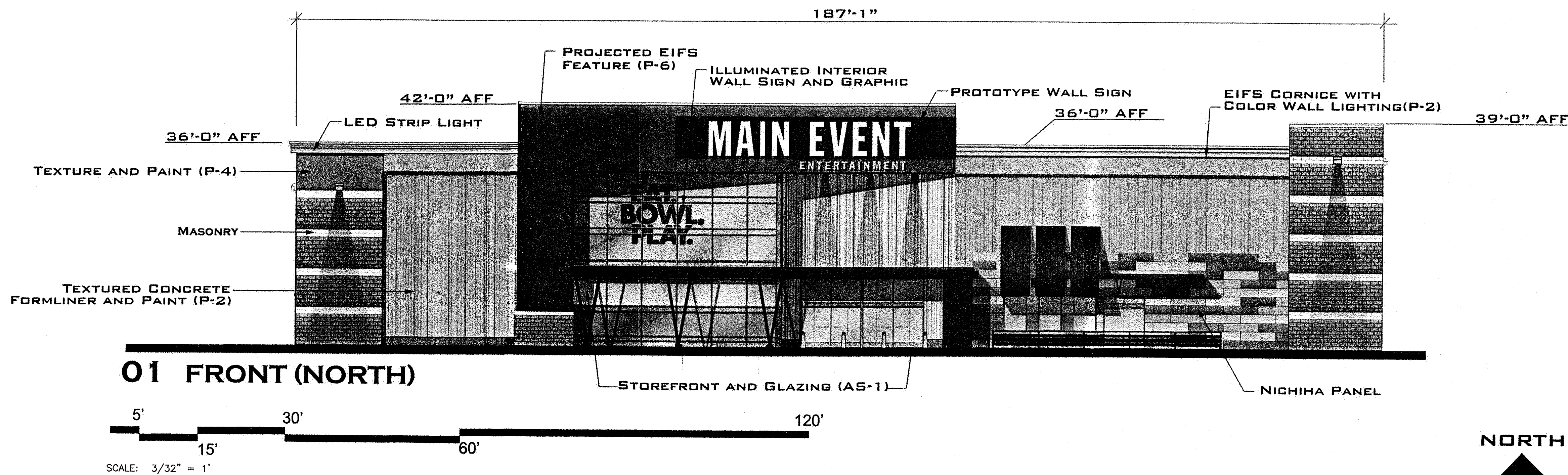
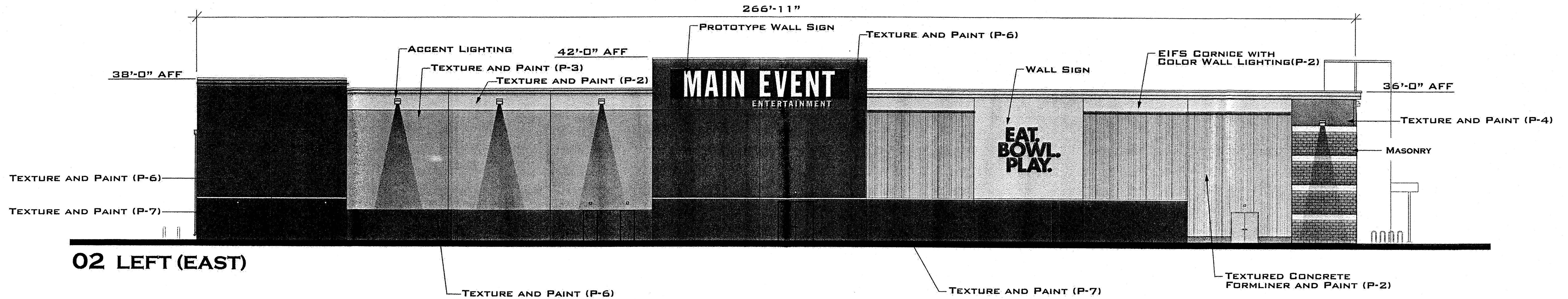
FORMLINER
 FL-1: Formliner: Fitzgerald Formliner; Pattern #14382 Norfolk Rib

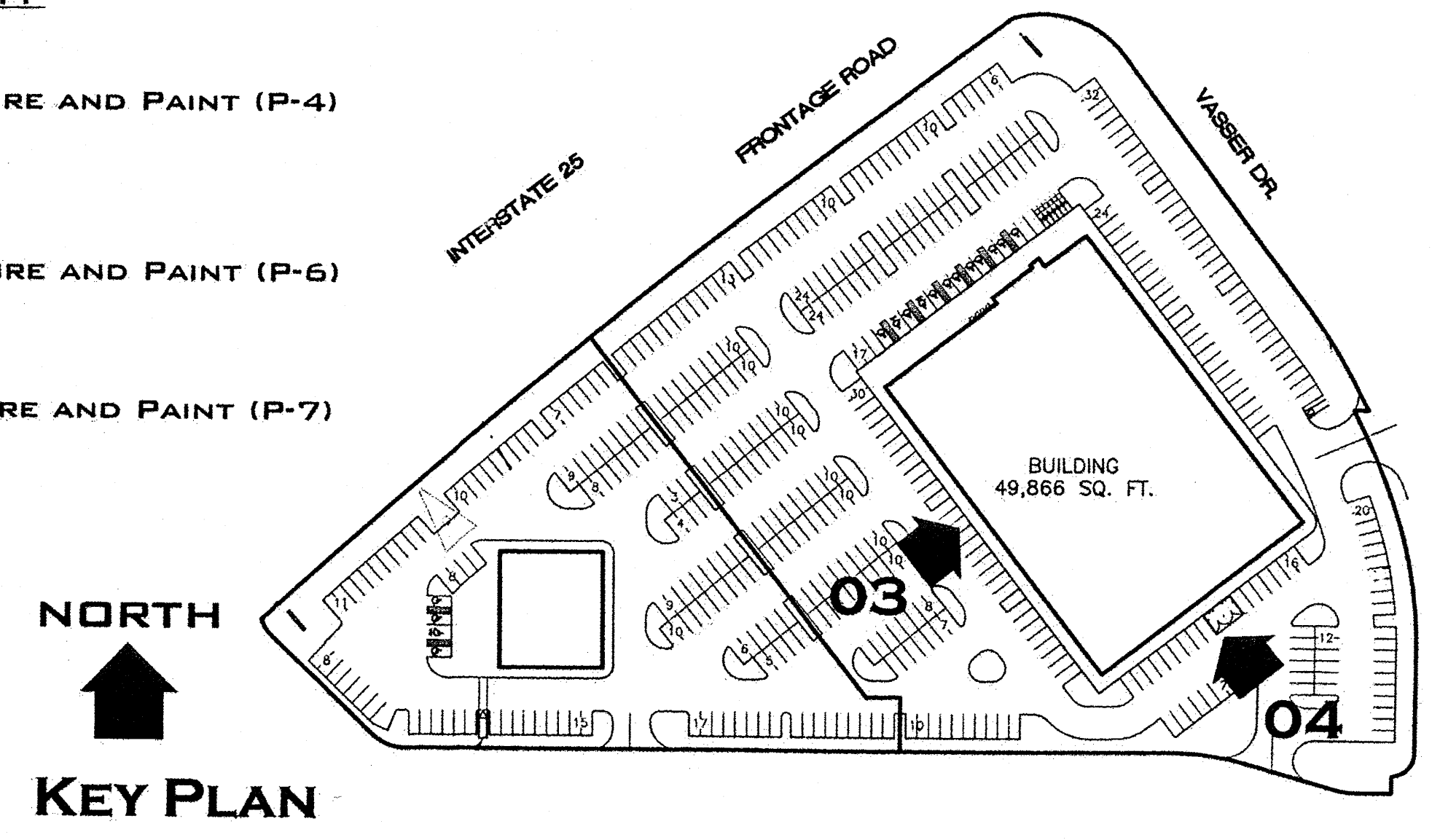
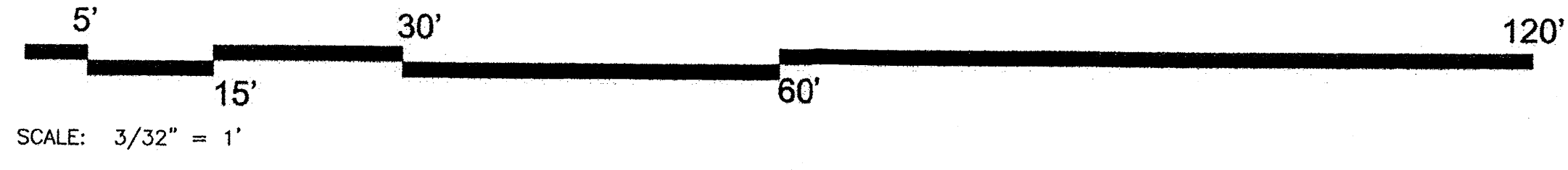
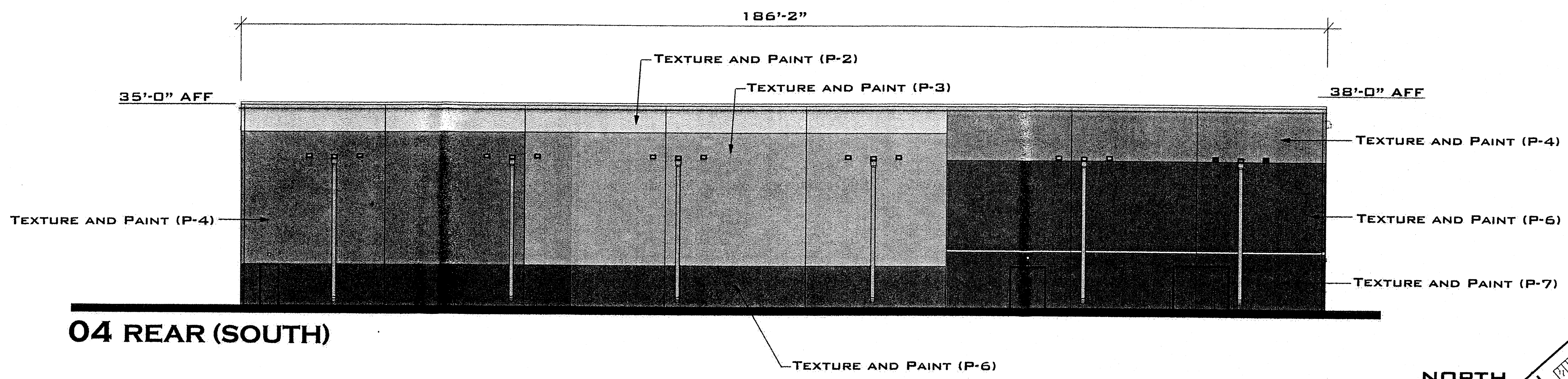
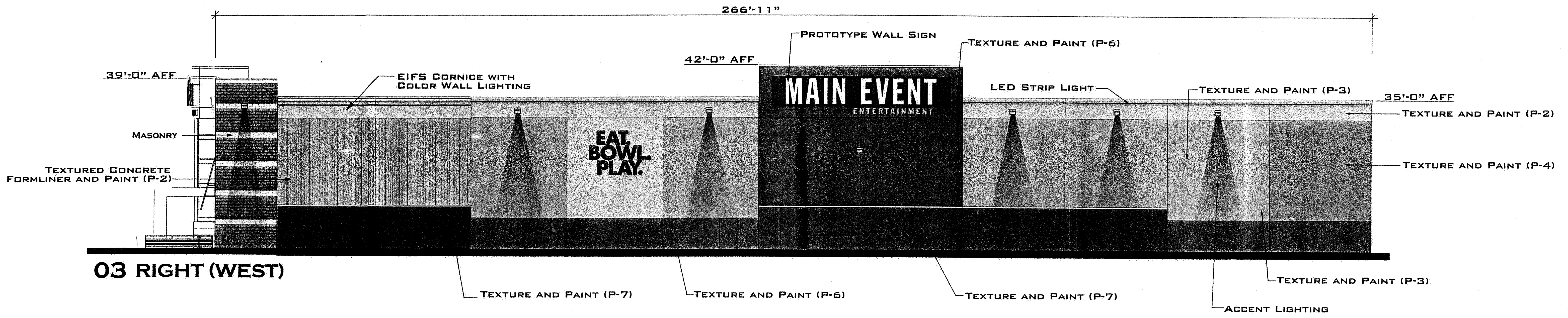
WALL PANEL
 WP-1: Nichiha Veneer Panels Color Blend,
 Colors: Sherwin Williams SW0038 Library Pewter
 Benjamin Moore 1077 Great Plains Gold
 Sherwin Williams SW6249 Storm Cloud
 Sherwin Williams SW 7036 Accessible Beige
 Benjamin Moore AF-100 Pashmina

PAINT
 P-1: Sherwin Williams, SW7042, Shoji White
 P-2: Sherwin Williams, SW7036, Accessible Beige
 P-3: Benjamin Moore Affinity, AF-100, Pashmina
 P-4: Sherwin Williams, SW7038, Tony Taupe
 P-5: (Not used)
 P-6: Sherwin Williams, SW7039, Virtual Taupe
 P-7: Sherwin Williams, SW7026, Griffin
 P-8: Sherwin Williams, SW7041, Van Dyke Brown
 P-10: Pittsburgh Paints, 347-6 Blue Odyssey

ALUMINUM STOREFRONT
 AS-1: Clear Anodized Aluminum Storefront

NOTE: MATERIALS SUBJECT TO CHANGE BASED ON AVAILABILITY
 FINAL SELECTIONS TO BE IN SIMILAR COLOR PALETTE





HODGES
&
ASSOCIATES
Architecture PLLC

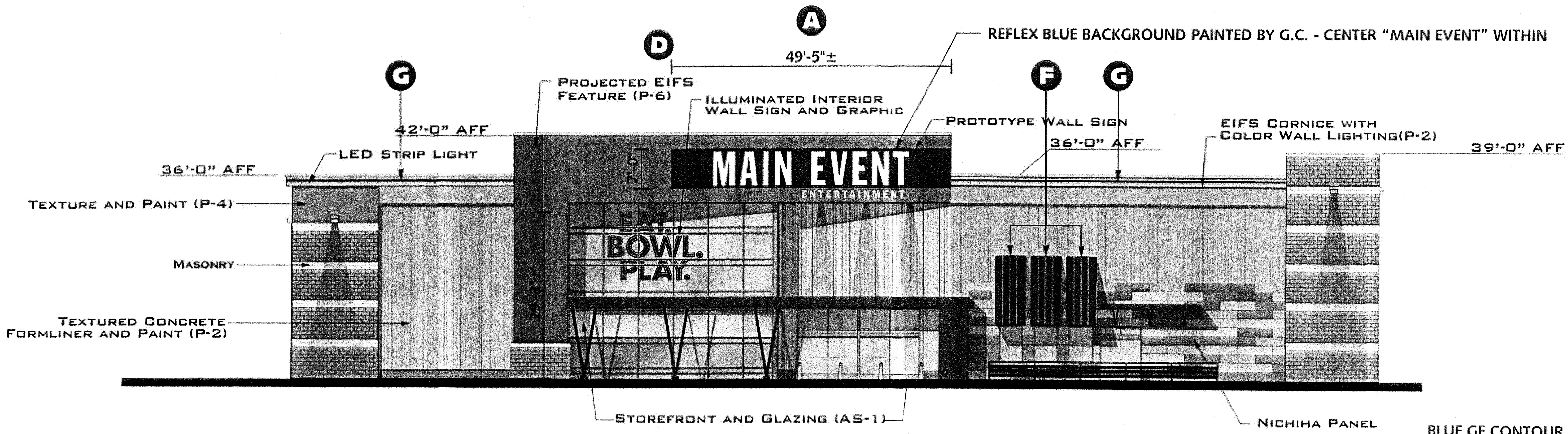
03/12/15
15015

MAIN EVENT -

49K PROTOTYPE

ALBUQUERQUE, NM

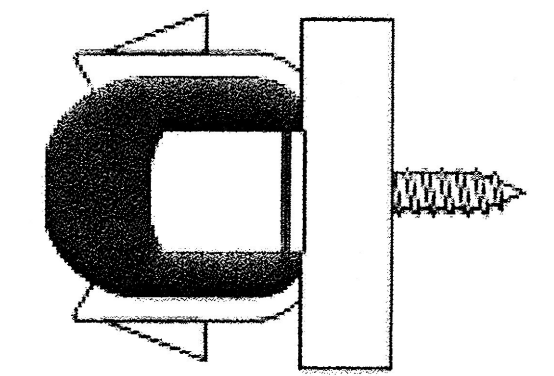
MAIN EVENT
ENTERTAINMENT



FRONT (NORTH) ELEVATION

NOT TO SCALE

BLUE GE CONTOUR LED STRIPS MTD. w/ ACRYLIC BUTTONS ON APPROX. 18" CTRS.

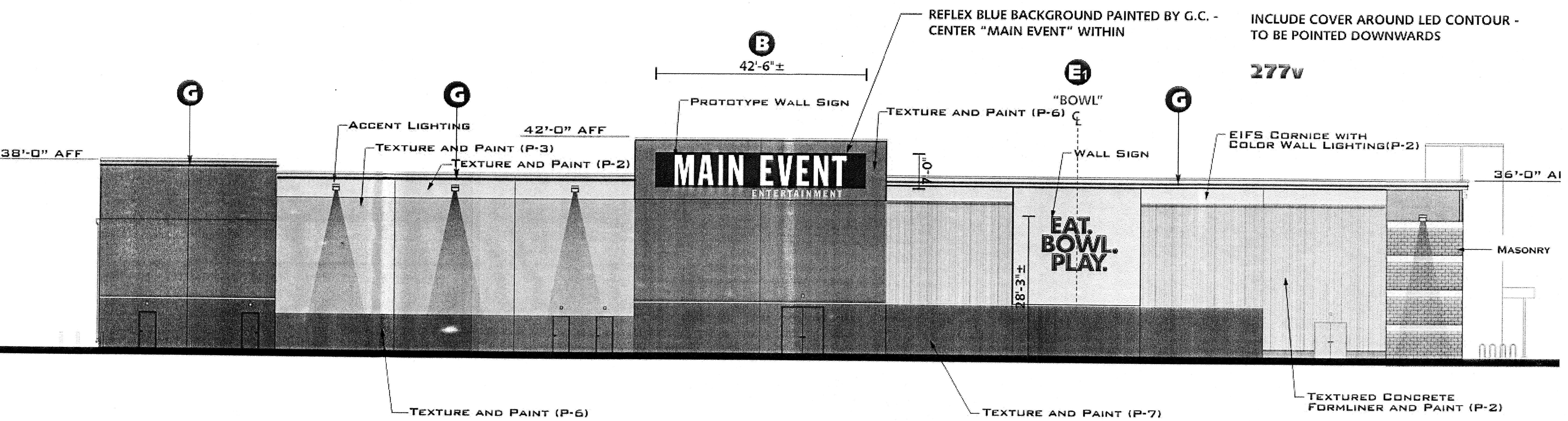


G CONTOUR LEDs NTS

727'-0"± TOTAL LENGTH OF SINGLE ROW OF GE CONTOUR BLUE LEDS SPANNING TOP OF ELEVATIONS AS SHOWN

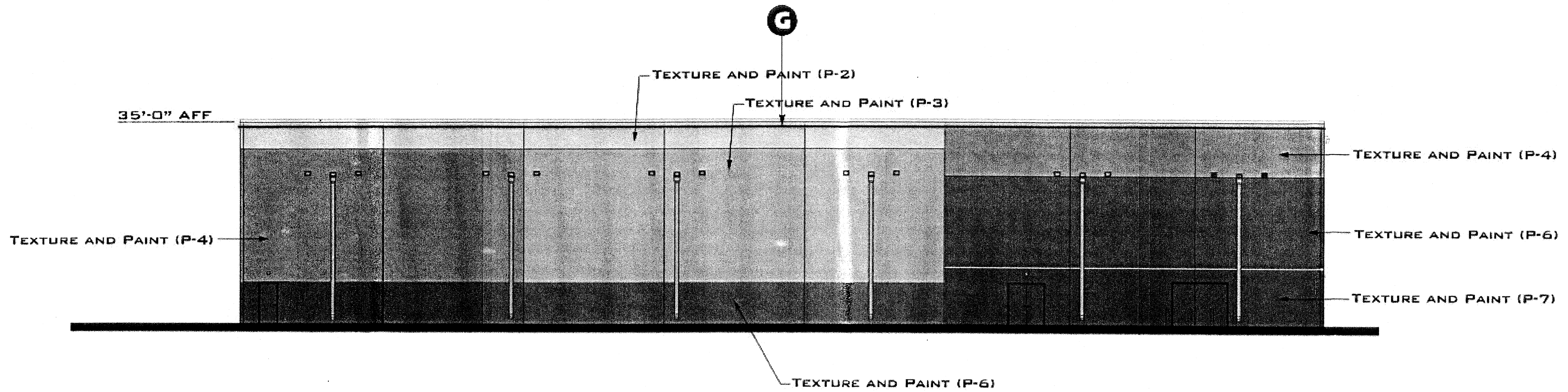
INCLUDE COVER AROUND LED CONTOUR - TO BE POINTED DOWNWARDS

277v



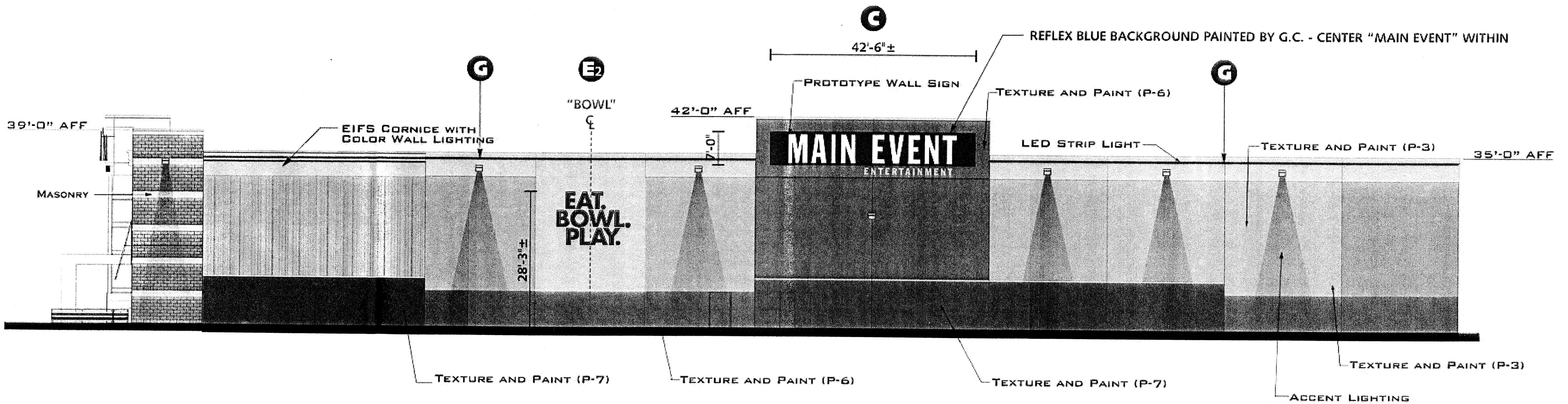
LEFT (EAST) ELEVATION

NOT TO SCALE



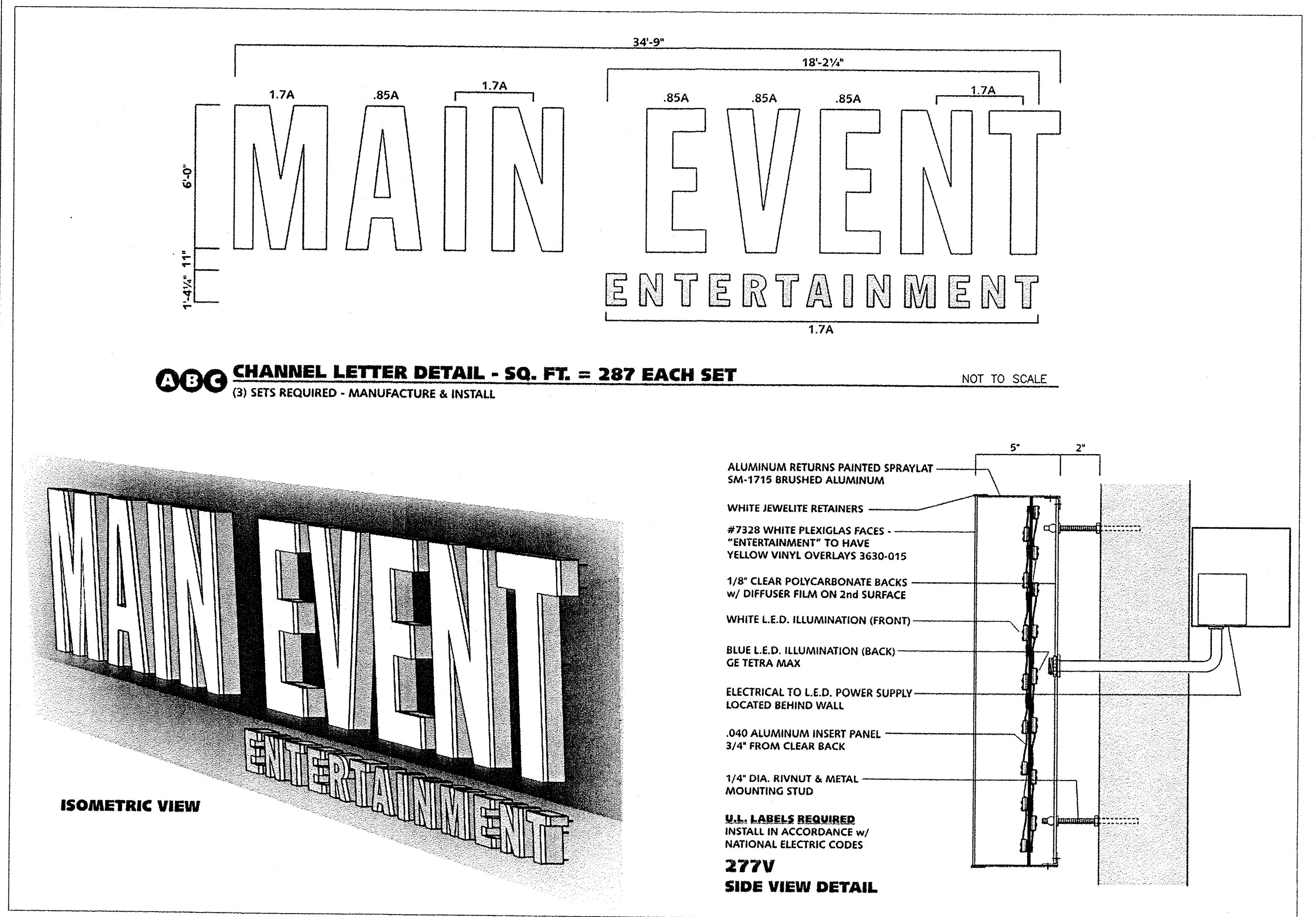
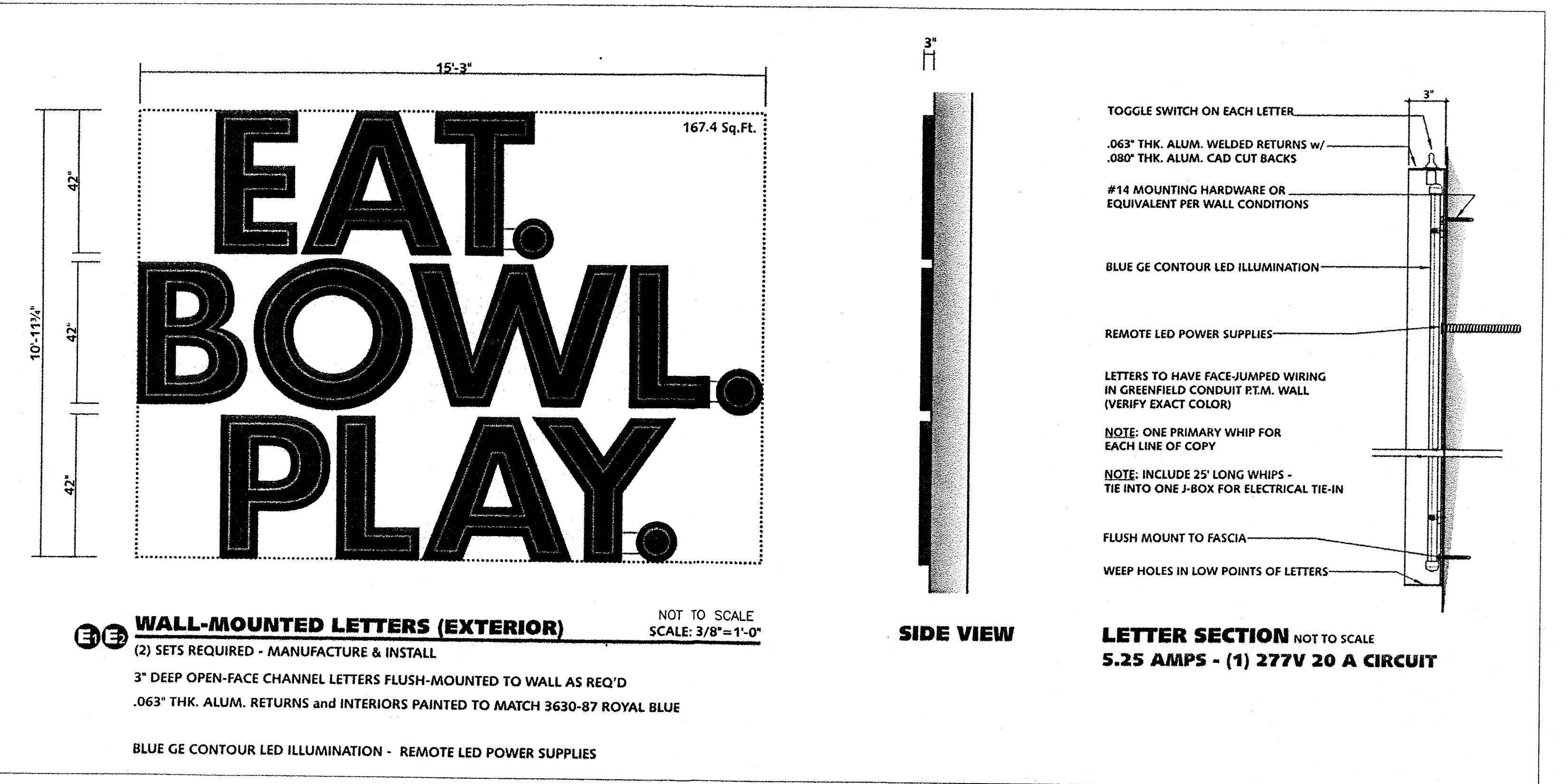
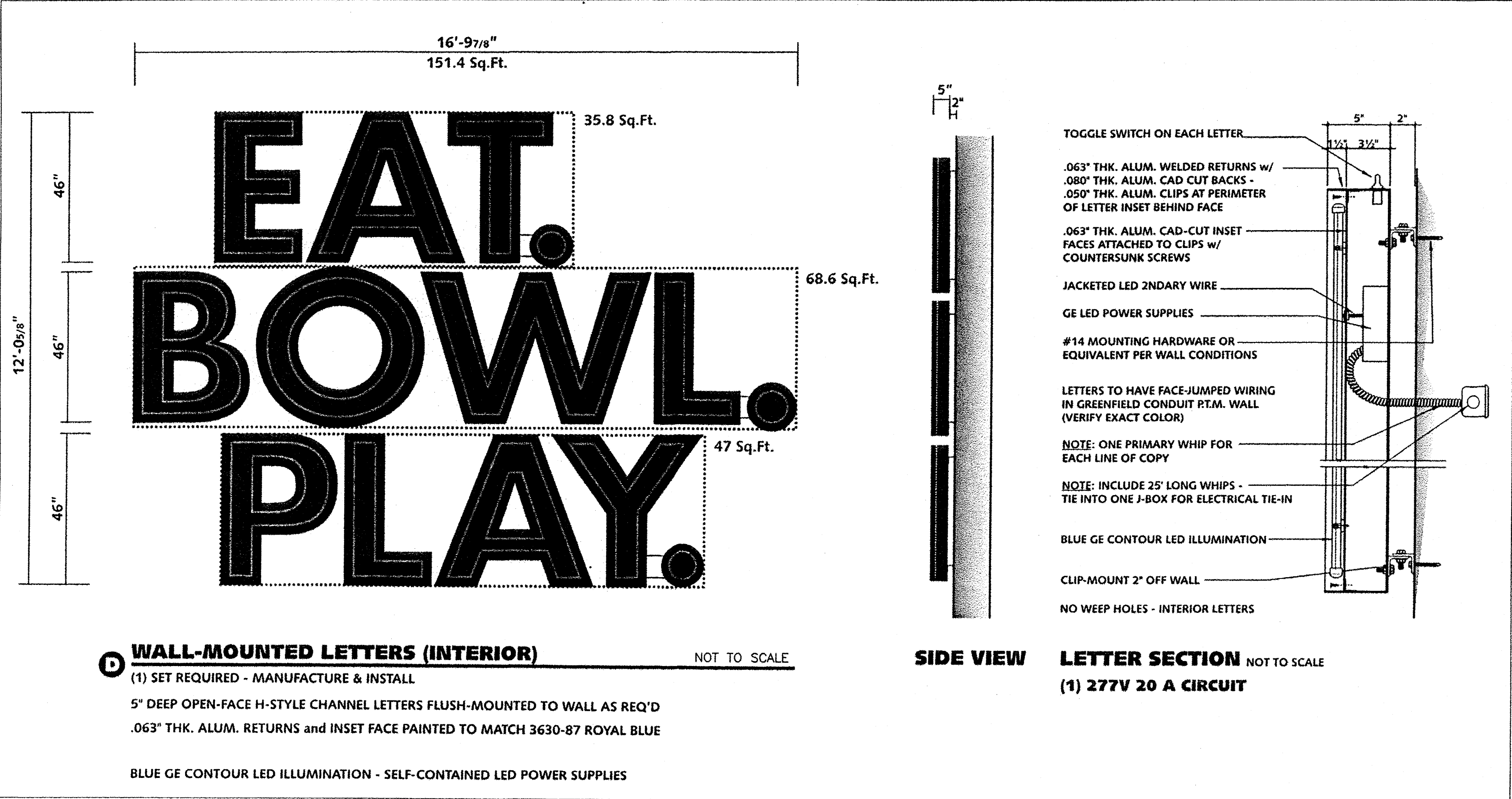
REAR (SOUTH) ELEVATION

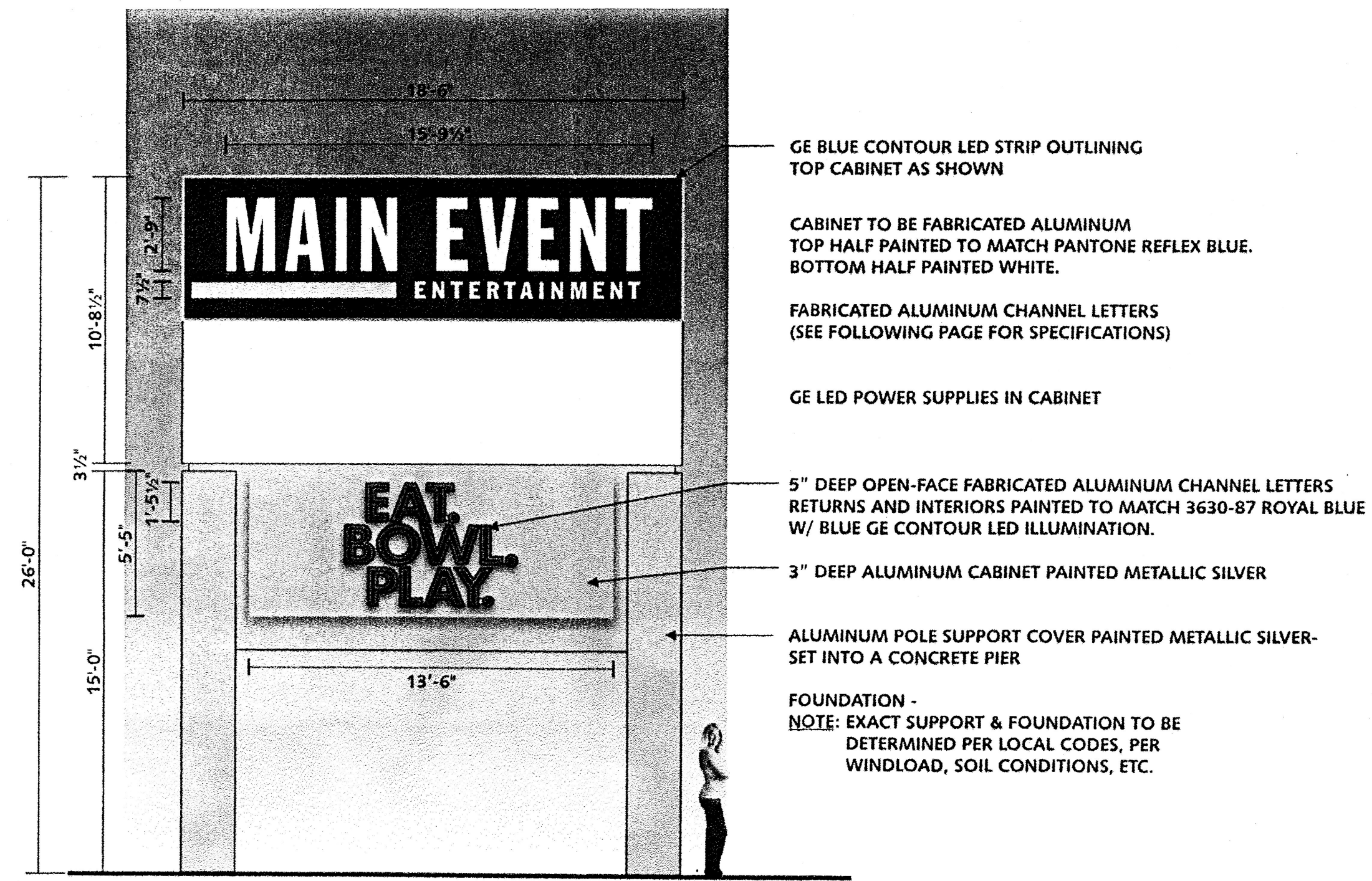
NOT TO SCALE



RIGHT (WEST) ELEVATION

NOT TO SCALE





GE BLUE CONTOUR LED STRIP OUTLINING TOP CABINET AS SHOWN

CABINET TO BE FABRICATED ALUMINUM TOP HALF PAINTED TO MATCH PANTONE REFLEX BLUE, BOTTOM HALF PAINTED WHITE.

FABRICATED ALUMINUM CHANNEL LETTERS (SEE FOLLOWING PAGE FOR SPECIFICATIONS)

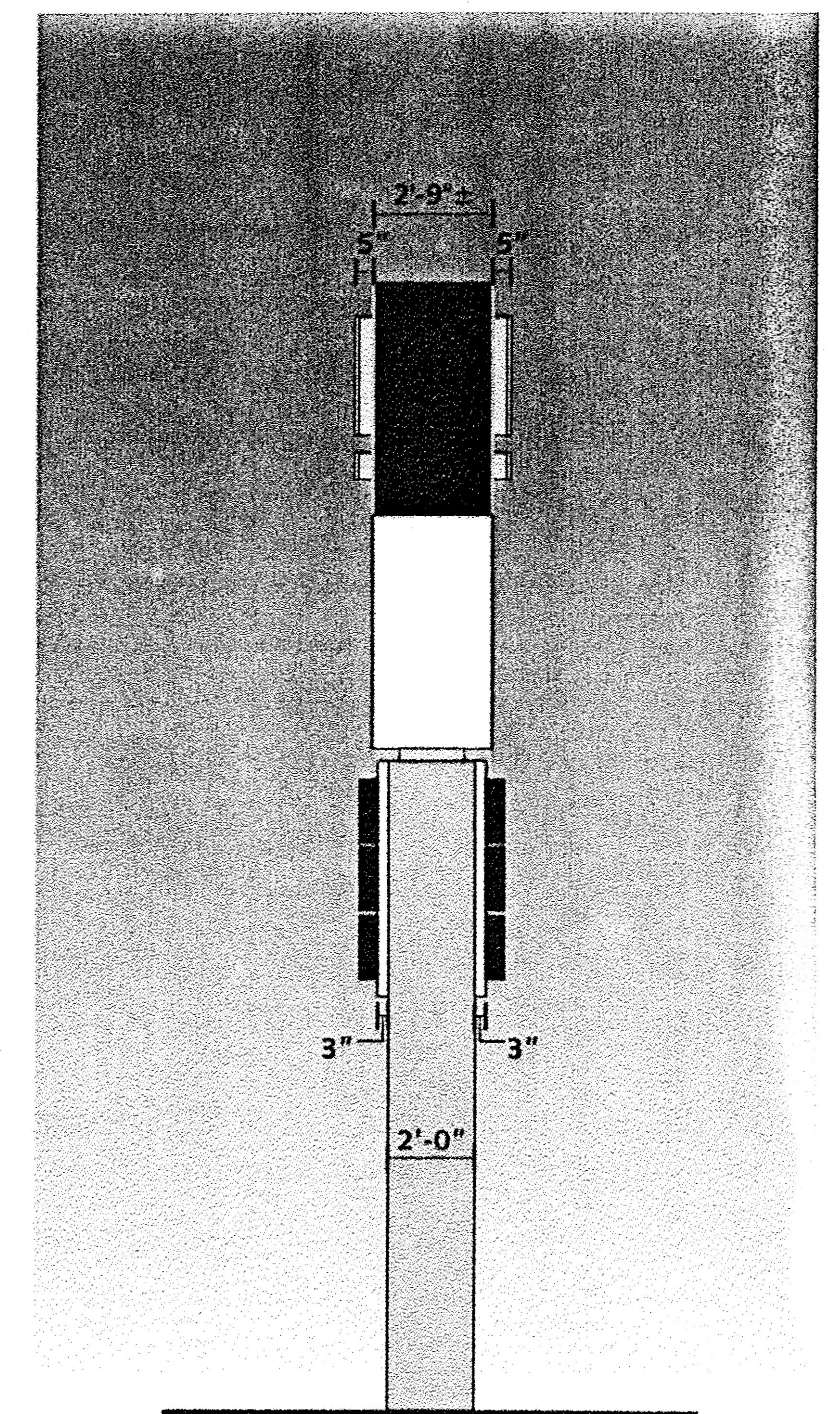
GE LED POWER SUPPLIES IN CABINET

5" DEEP OPEN-FACE FABRICATED ALUMINUM CHANNEL LETTERS RETURNS AND INTERIORS PAINTED TO MATCH 3630-87 ROYAL BLUE W/ BLUE GE CONTOUR LED ILLUMINATION.

3" DEEP ALUMINUM CABINET PAINTED METALLIC SILVER

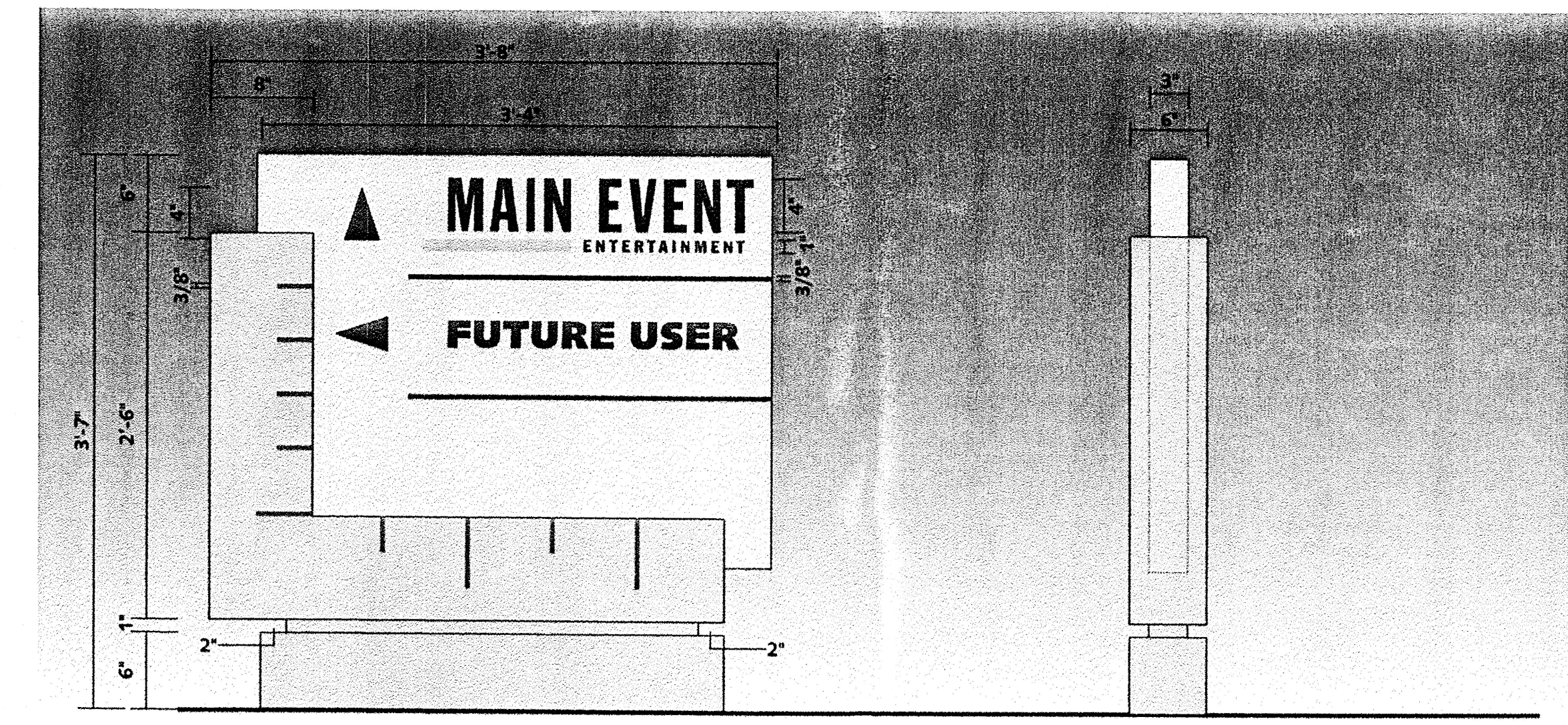
ALUMINUM POLE SUPPORT COVER PAINTED METALLIC SILVER - SET INTO A CONCRETE PIER

FOUNDATION -
NOTE: EXACT SUPPORT & FOUNDATION TO BE DETERMINED PER LOCAL CODES, PER WINDLOAD, SOIL CONDITIONS, ETC.



END VIEW

D/F PYLON ELEVATION SCALE: 3/16"=1'-0"
MANUFACTURE & INSTALL ONE (1) DOUBLE FACE PYLON SIGN



D/F DIRECTIONAL SIGN SCALE: 1"=1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL:

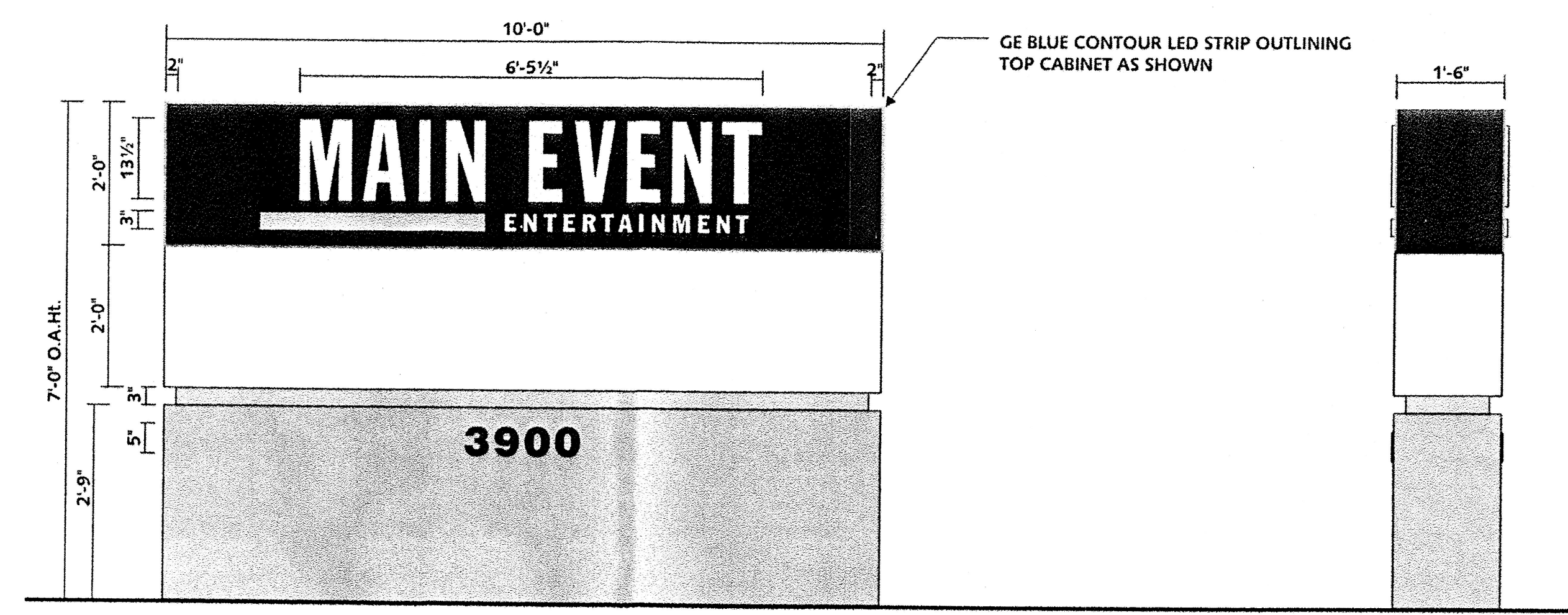
FABRICATED ALUMINUM SIGN CABINET PAINTED (PT-7 LIGHT BEIGE)

APPLY VINYL COPY
3630-87 ROYAL BLUE AND YELLOW 3630-015 VINYL ON STRIPE

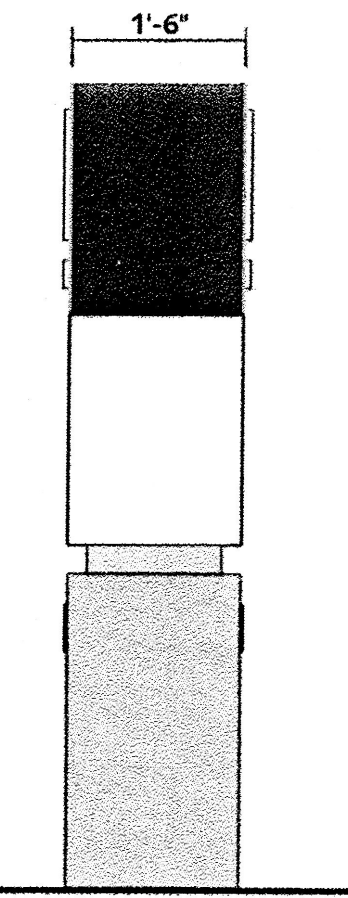
"ARROW AND DIVIDER STIPE" - DURANODIC BRONZE VINYL

FABRICATED ALUMINUM CABINET & REVEAL PAINTED BRUSHED ALUMINUM W/ SLATE GRAY 3630-61 VINYL STIPE

CONCRETE FOUNDATION TO MEET CITY CODE



GE BLUE CONTOUR LED STRIP OUTLINING TOP CABINET AS SHOWN



END VIEW

D/F MONUMENT SIGN SCALE: 1/2"=1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL:

FABRICATED ALUMINUM SIGN CABINET PAINTED TO MATCH PANTONE REFLEX BLUE AND BOTTOM CABINET TO BE PAINTED WHITE. COPY TO BE ROUT-OUT/PUSH-THRU WHITE ACRYLIC - YELLOW 3630-015 VINYL OVERLAY ON STRIPE

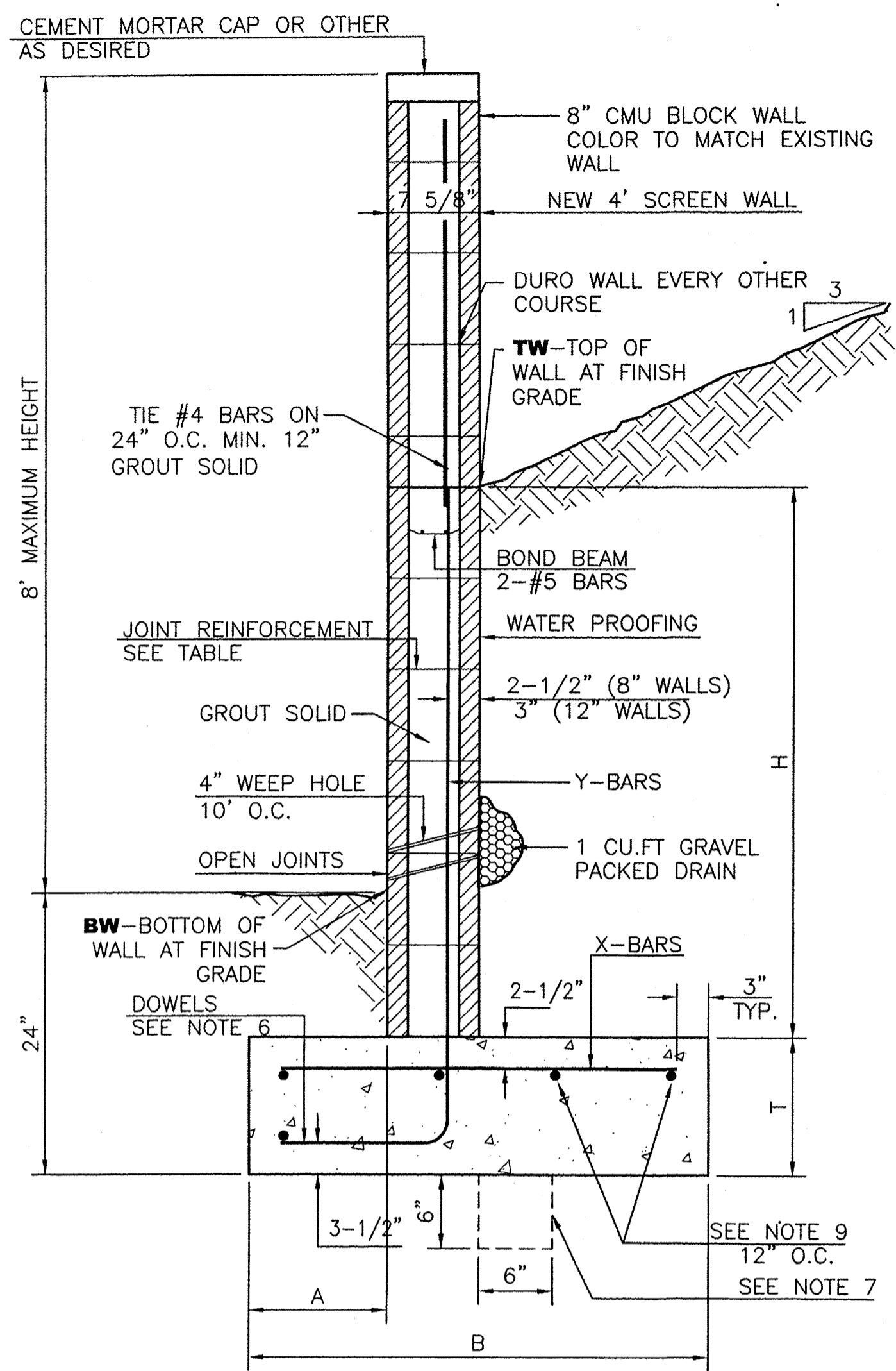
INTERNALLY ILLUMINATED w/ WHITE LED'S

D/F BLUE GE CONTOUR LED STRIPS AROUND TOP BORDER OF SIGN

FABRICATED ALUMINUM REVEAL & BASE PAINTED TO MATCH METALLIC SILVER - (2) SETS 1/4" THICK FLAT CUT-OUT ALUMINUM ADDRESS STUD-MOUNTED TO BASE

INSTALL w/ STEEL SUPPORTS & CONCRETE FOUNDATION TO MEET CITY CODE

	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY B.J.F.
	PYLON AND DIRECTIONAL SIGNS	DATE 04/16/15
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015015_PYLON SIGNS
		SHEET # C13
RONALD R. BOHANNAN P.E. #7868		JOB # 2015015



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

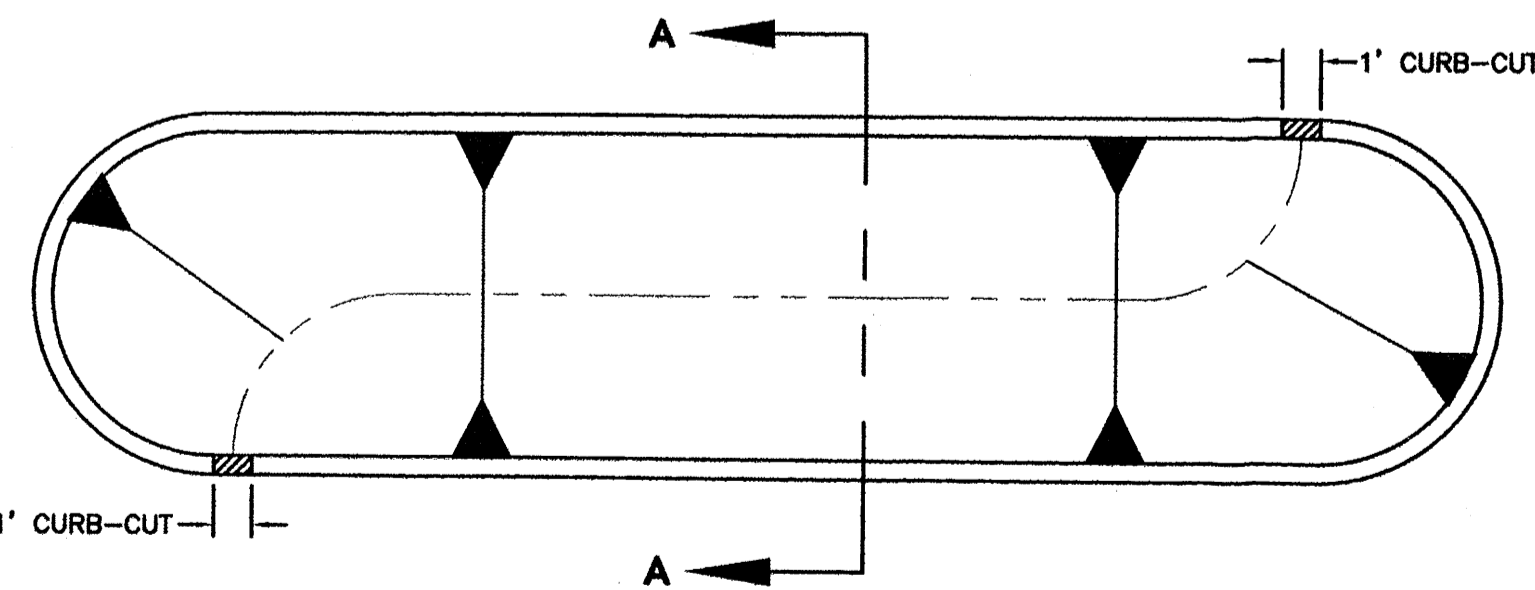
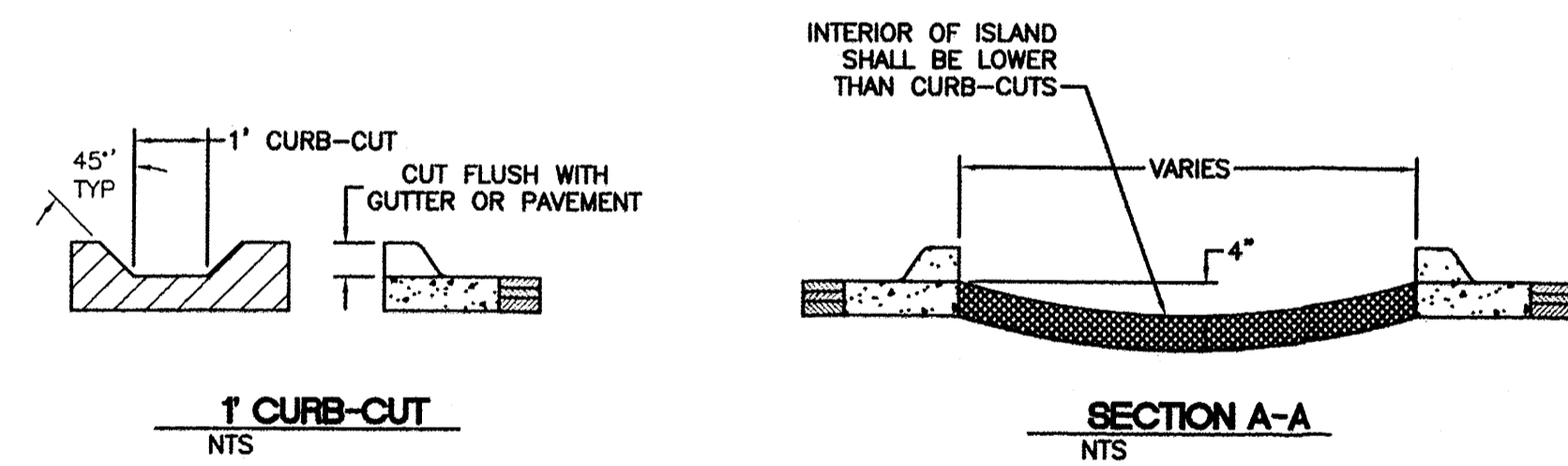
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

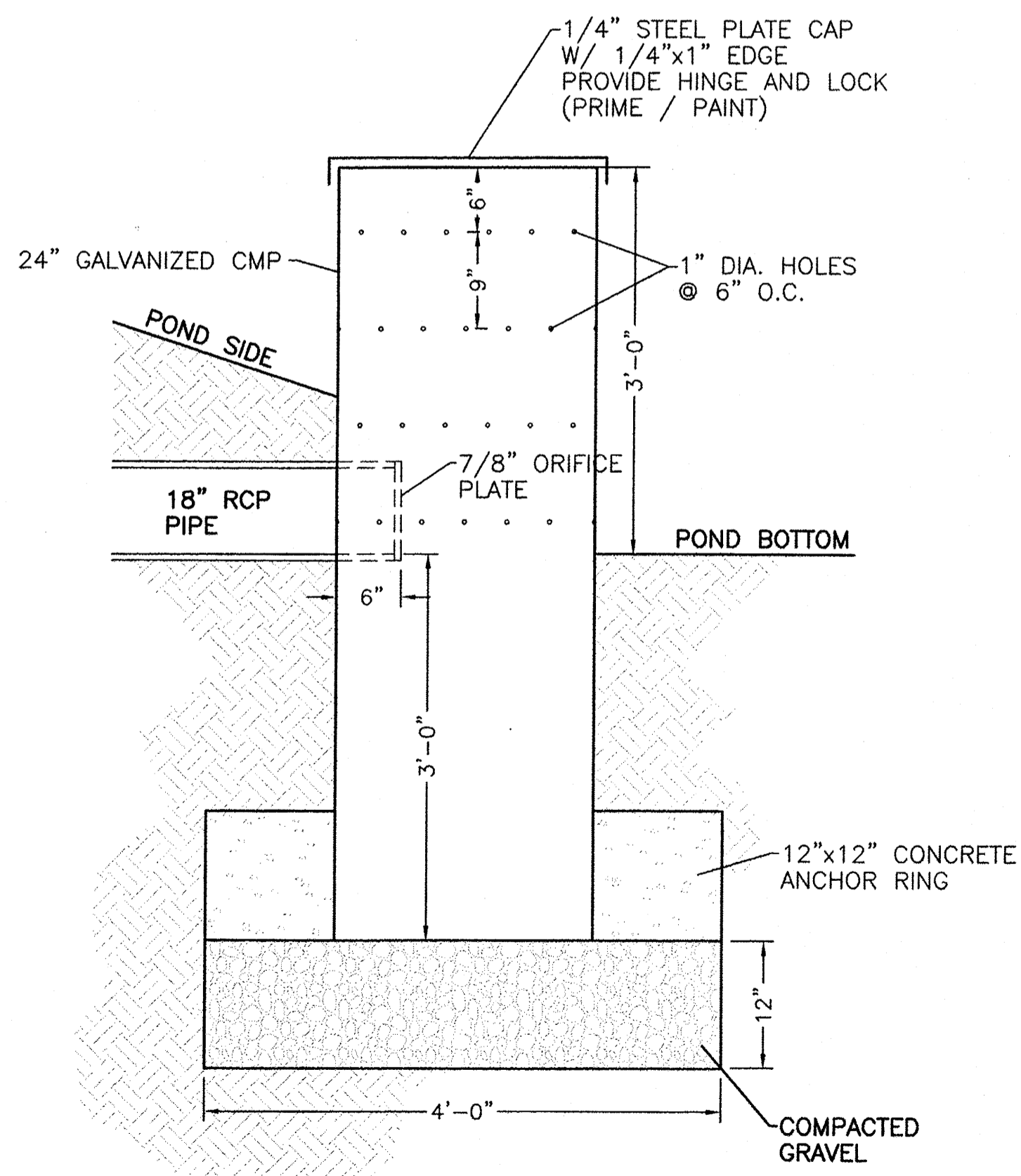
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

RETAINING WALL DETAIL

NTS

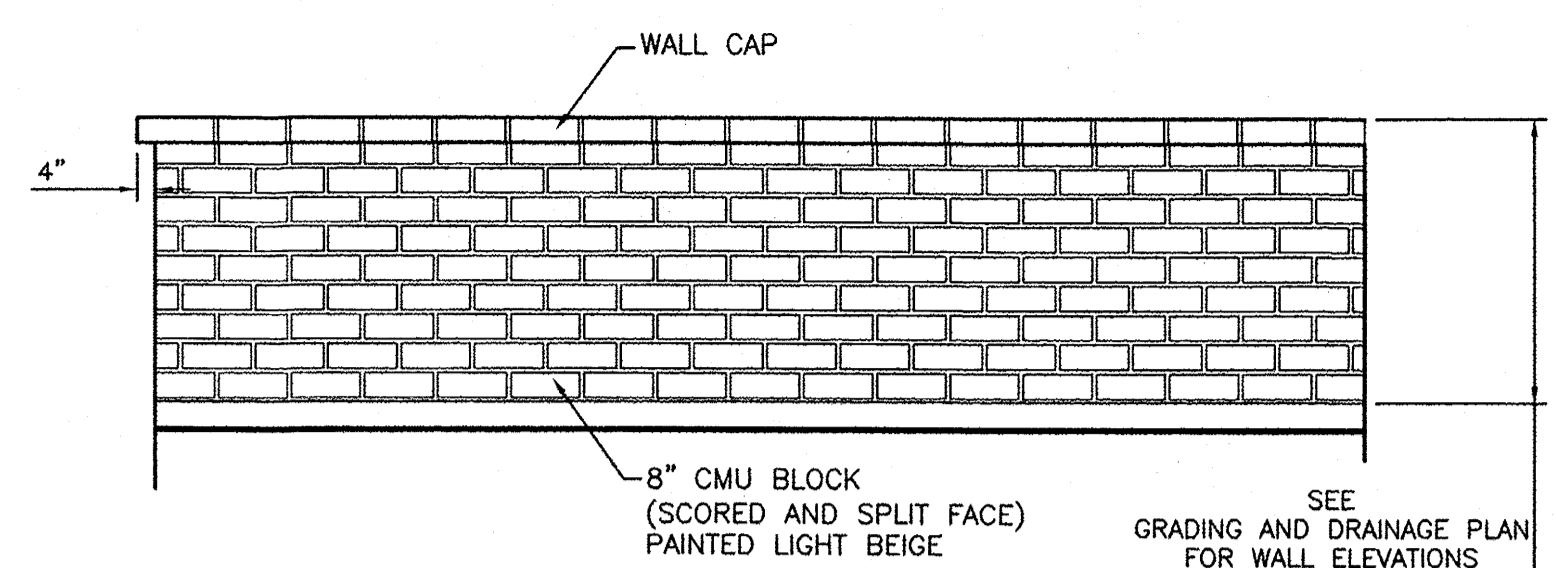


LANDSCAPE ISLAND WATER HARVESTING DETAIL
FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN



STAND PIPE DETAIL

NTS

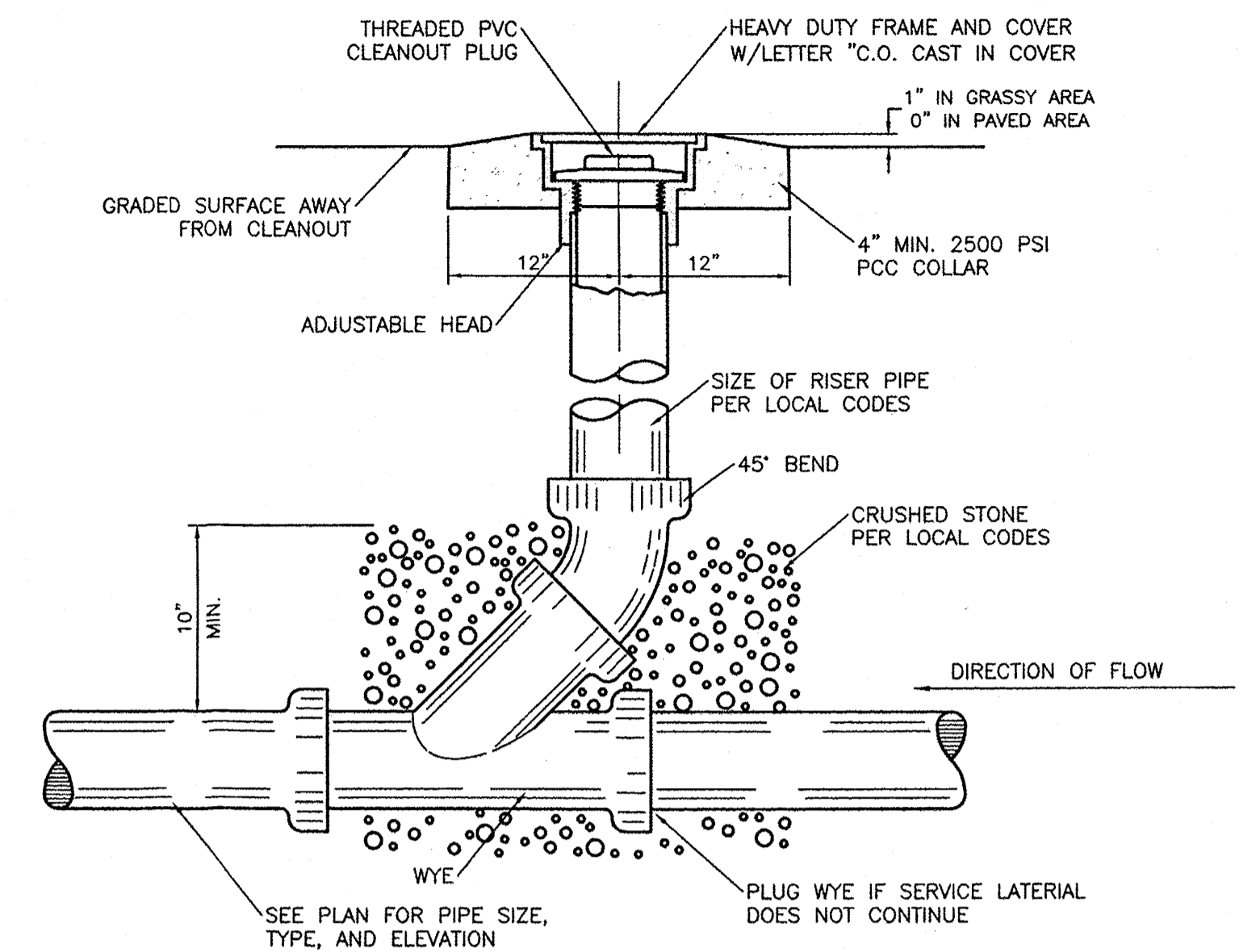


RETAINING/SCREEN WALL ELEVATION

NTS

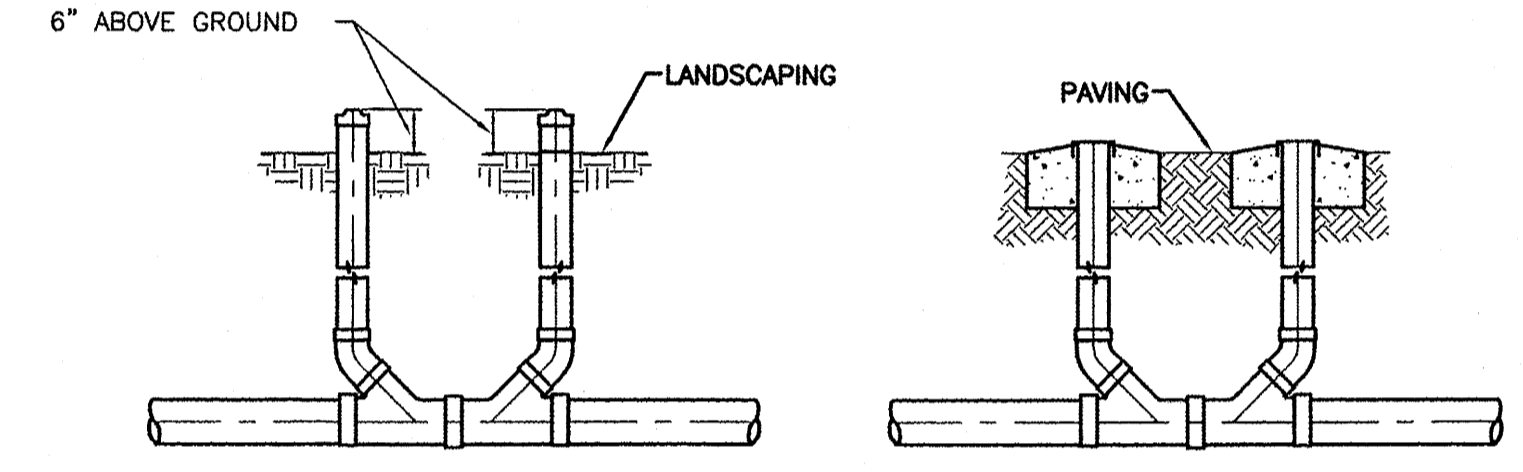
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



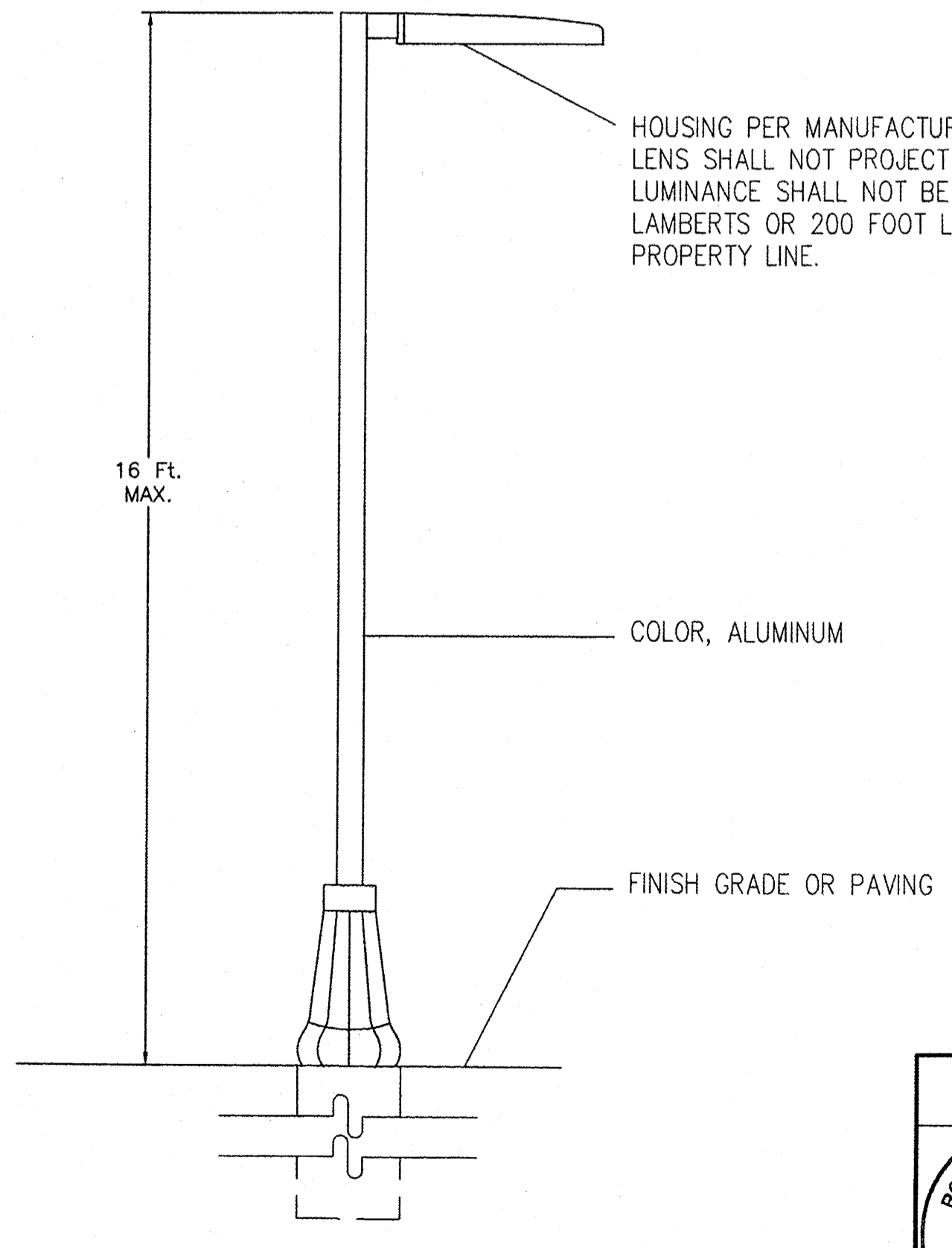
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS

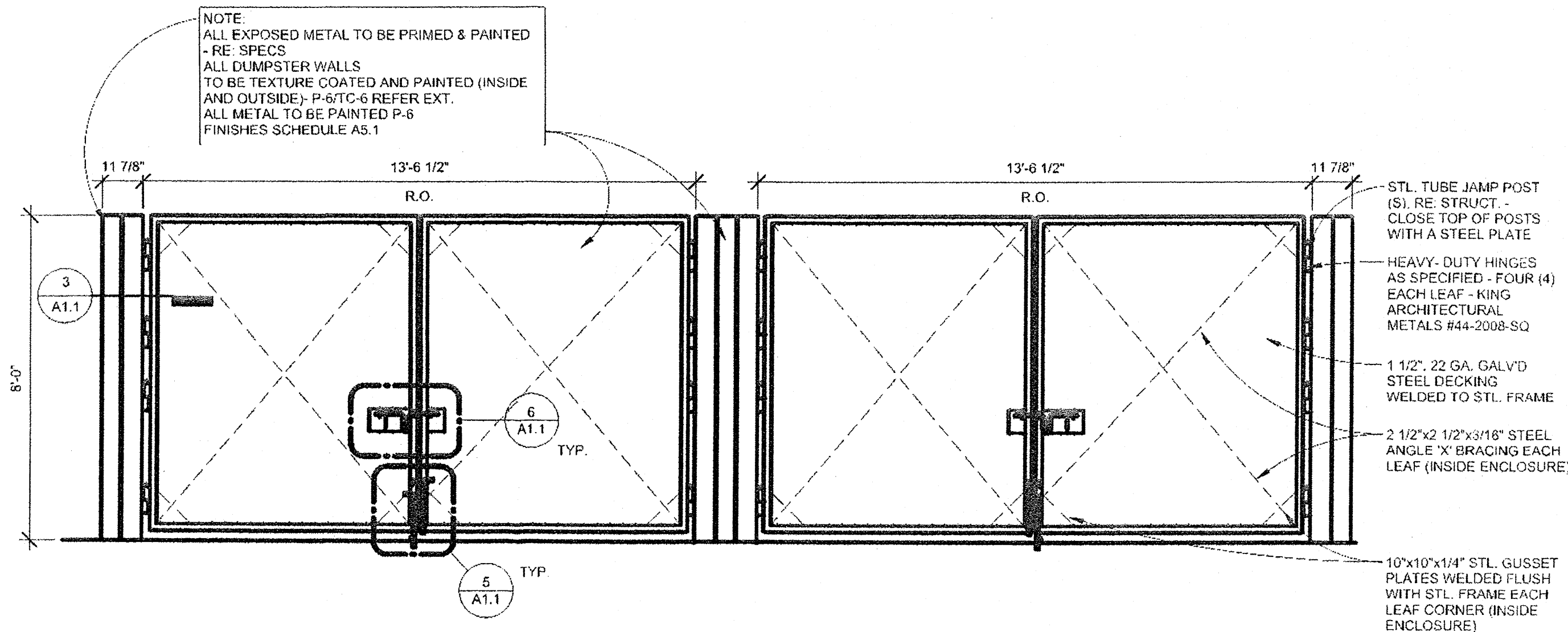


PARKING LOT LIGHT POLE

SCALE: NTS

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
	RONALD R. BOHANNAN NEW MEXICO 7888 PROFESSIONAL ENGINEER	PAN AM FREEWAY AND VASSAR AV.	BJF
		DETAIL SHEET	DATE
			02/26/15
			2015015_DTB
			SHEET #
			C14
			JOB #
			2015015

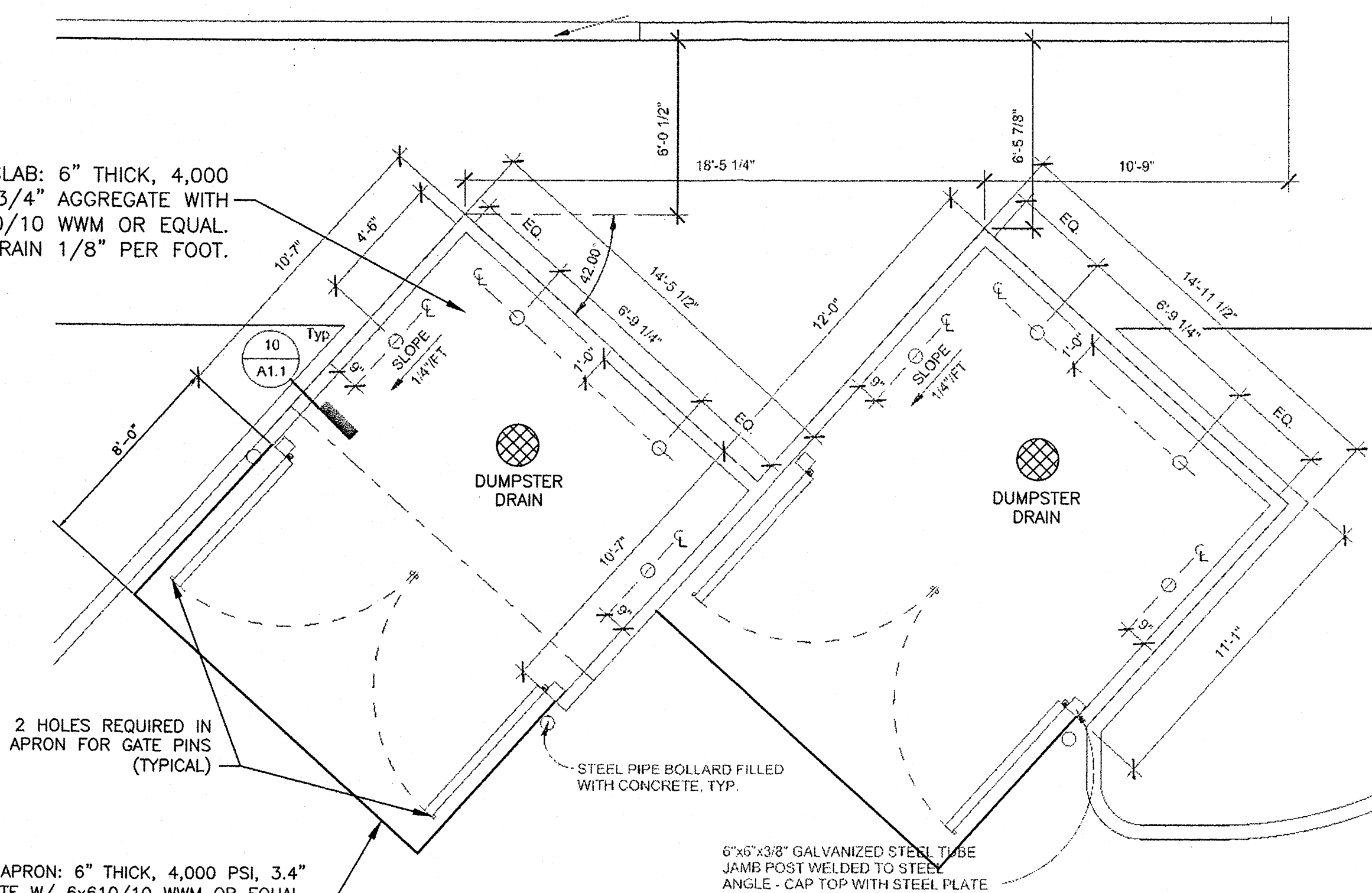
TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com



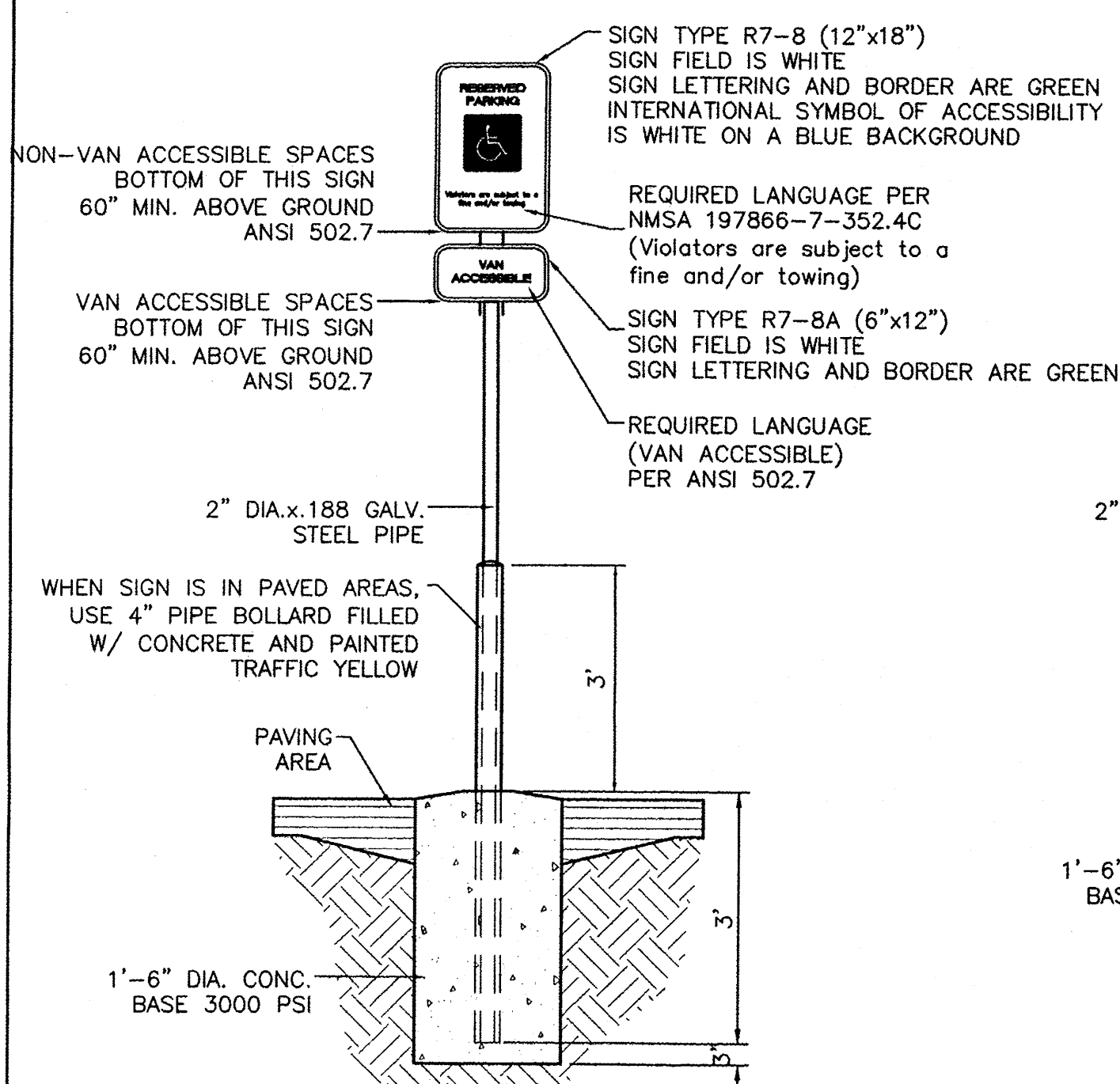
DUMPSTER ENCLOSURE ELEVATION
SEE ARCHITECT PLANS FOR DETAILS

- NOTES:
- MUST HAVE A MINIMUM CLEARANCE OF 12 FT. WHEN GATES ARE OPEN.
 - 4 GATE PIN HOLES REQUIRED FOR KEEPING GATES OPEN. (SEE ENCLOSURE DETAIL THIS SHEET)

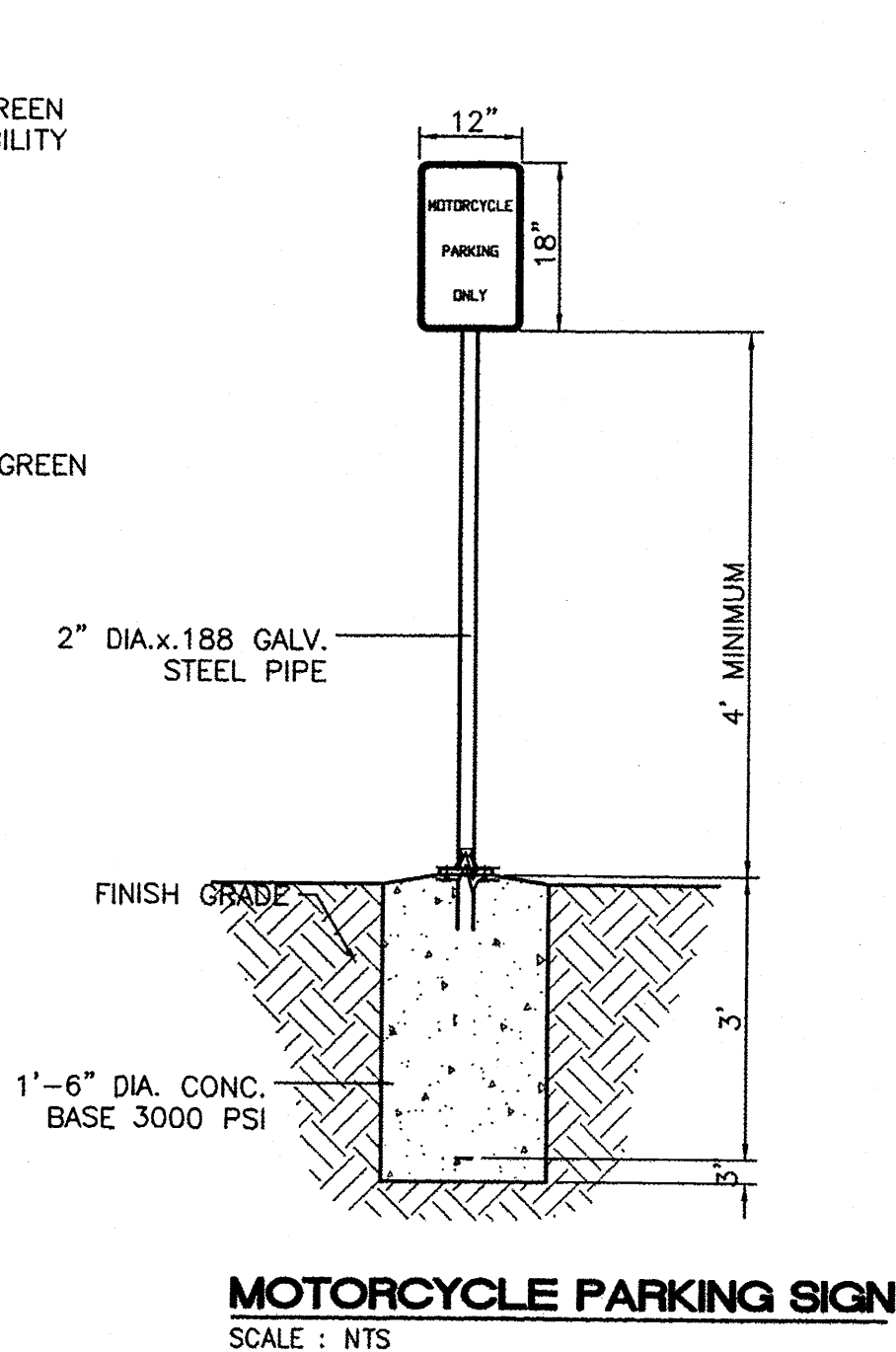
CONCRETE SLAB: 6" THICK, 4,000 PSI, 3/4" AGGREGATE WITH 6x6-10/10 WWM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.



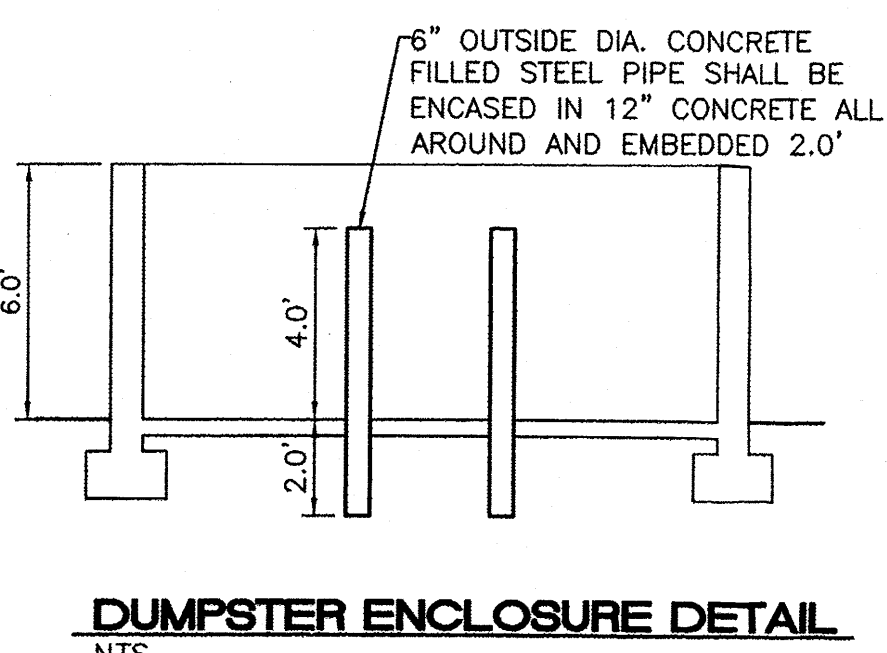
DUMPSTER ENCLOSURE PLAN
SEE ARCHITECT PLANS FOR DETAILS



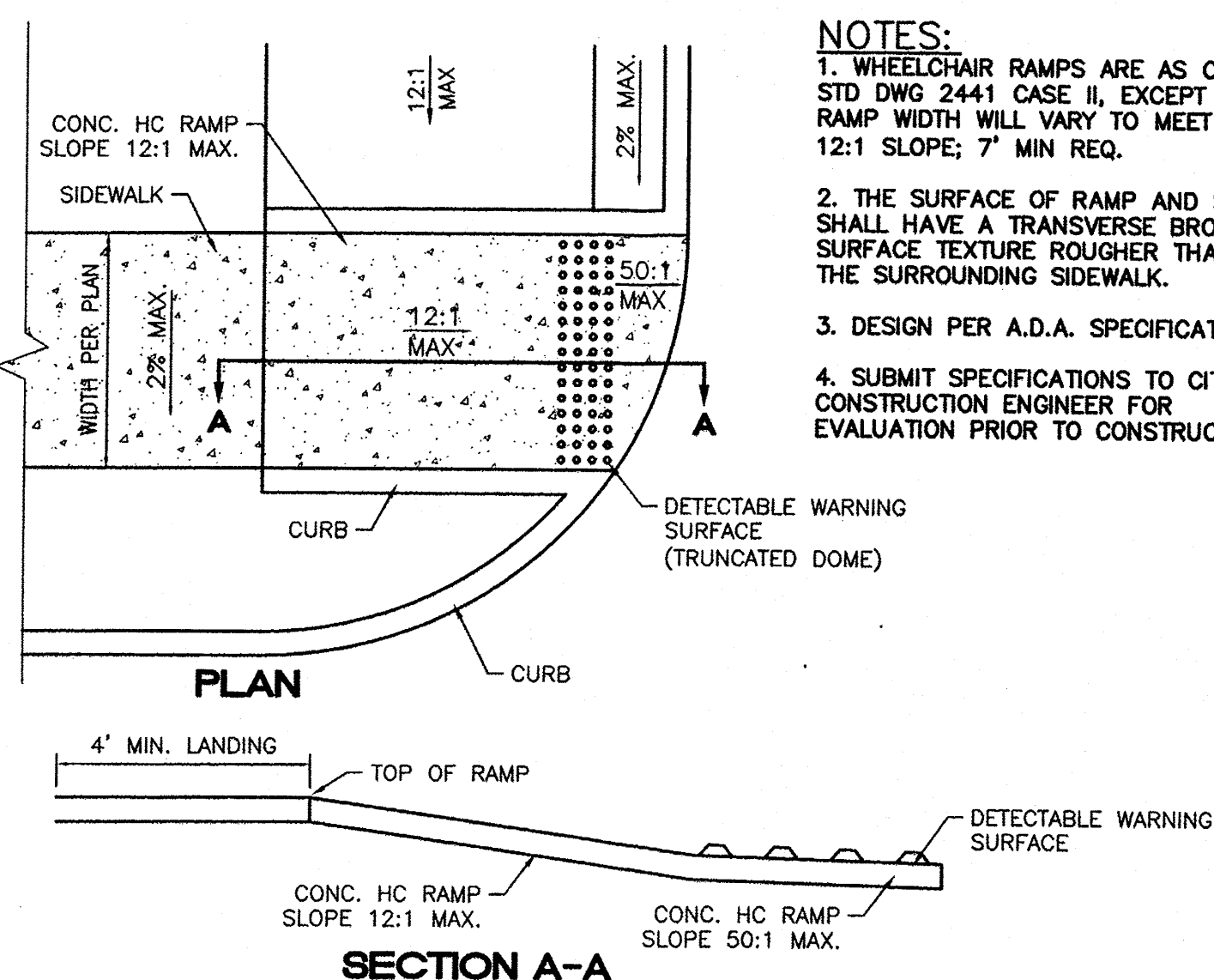
ACCESSIBLE PARKING LOT SIGN
NTS



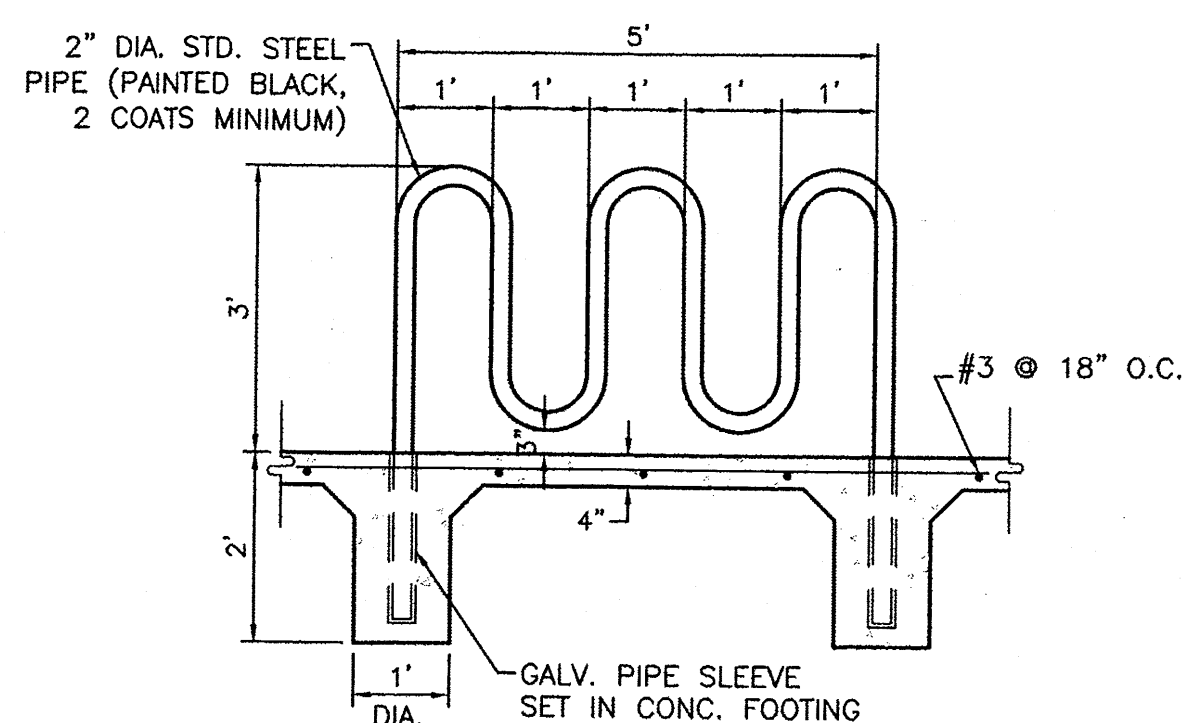
MOTORCYCLE PARKING SIGN
SCALE: NTS



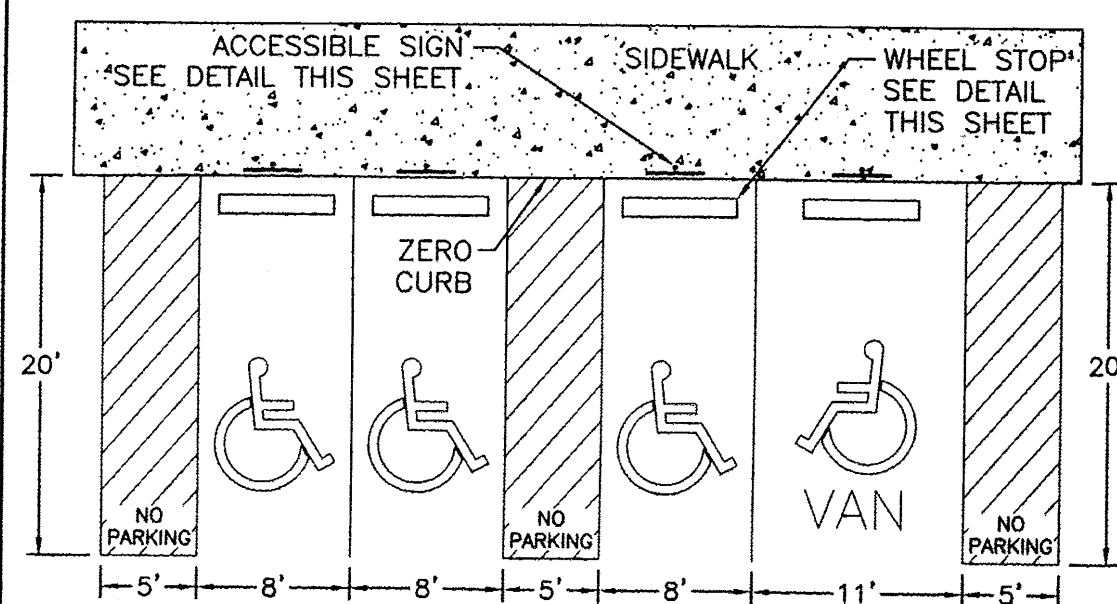
DUMPSTER ENCLOSURE DETAIL
NTS



UNIDIRECTION HC RAMP
SCALE: NTS

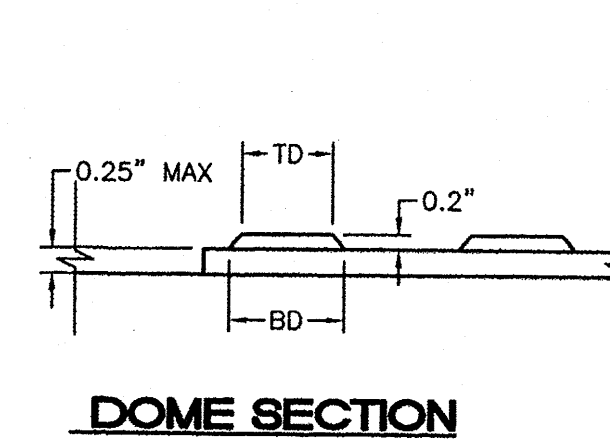


BIKE RACK DETAIL
NTS

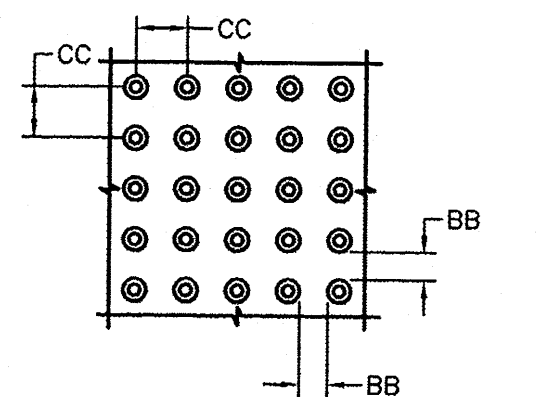


HC PARKING DETAIL
NTS

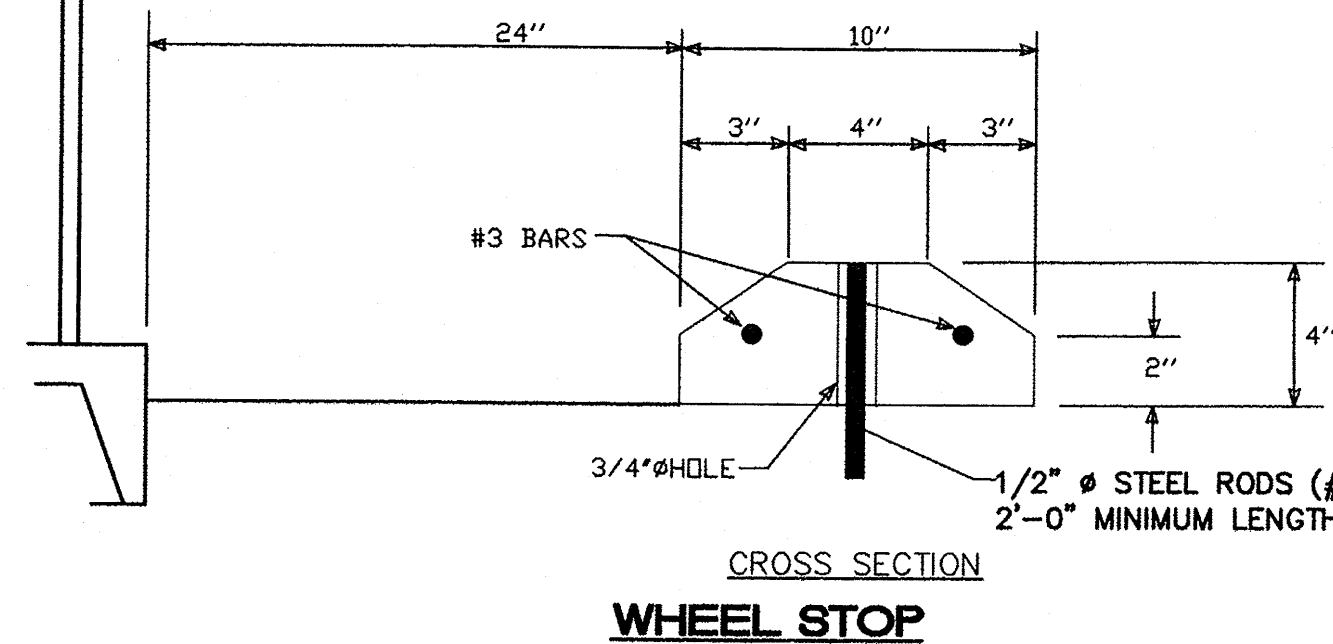
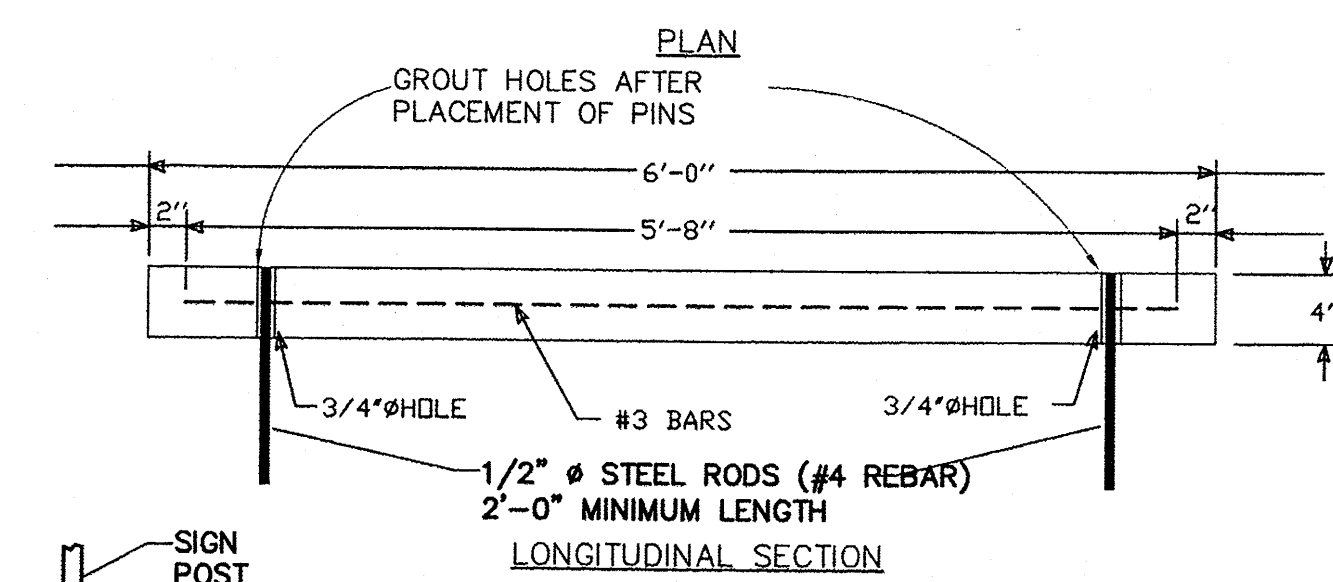
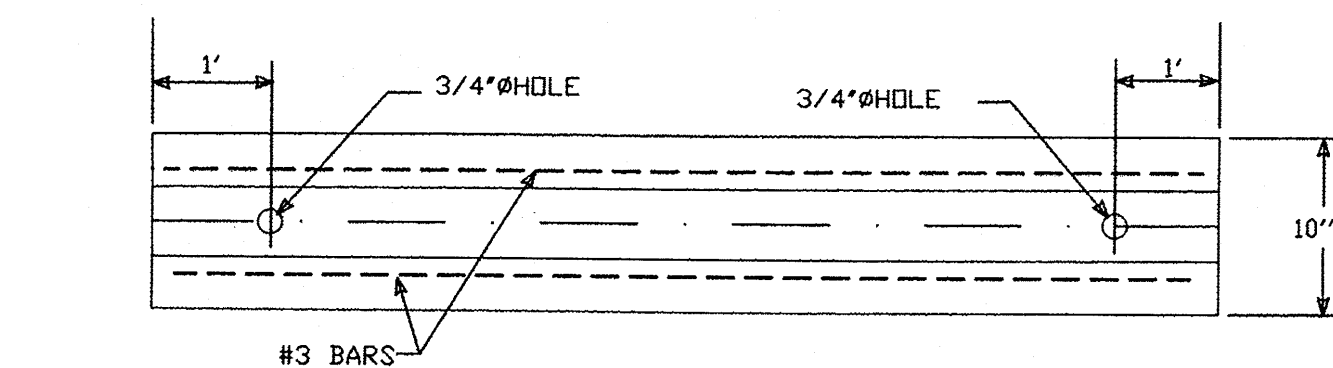
- NOTES:
- International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - Parking space lines and diagonal striping to be painted blue.
 - Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



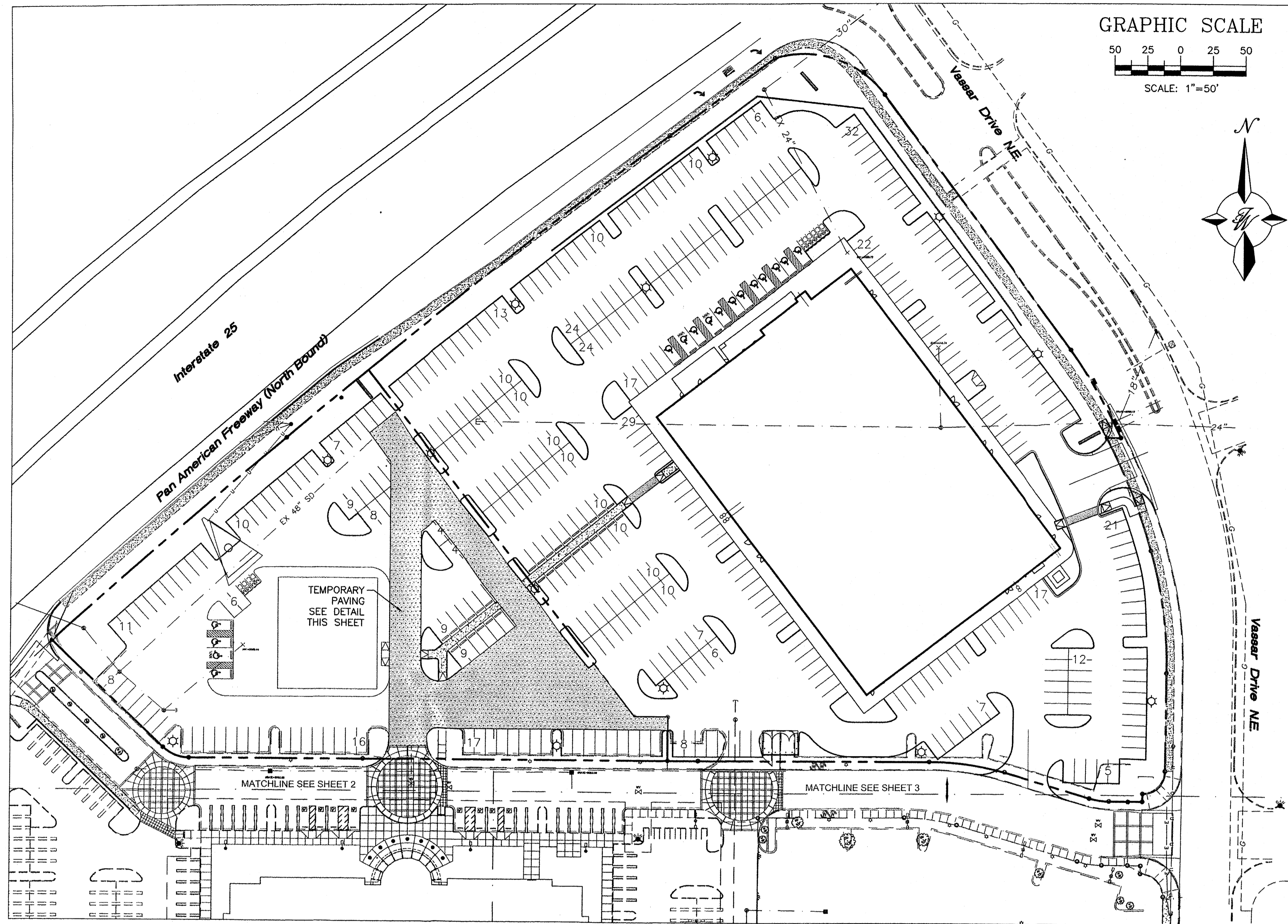
DOME SECTION



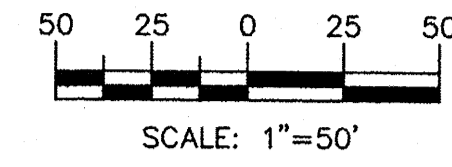
DOME SPACING
CC - CENTER TO CENTER SPACING
2.35"
BB - BASE TO BASE SPACING
1.48" MIN



ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
	PAN AM FREEWAY AND VASSAR AV.	BJF
		DATE
	DETAIL SHEET	04/15/15
		2015015_DTB
		SHEET #
	TIERRA WEST, LLC	C15
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB #
RONALD R. BOHANNAN P.E. #7868		2015015

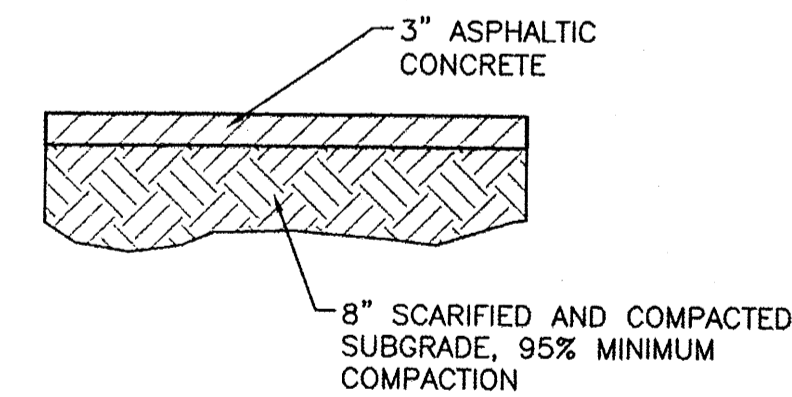


GRAPHIC SCALE



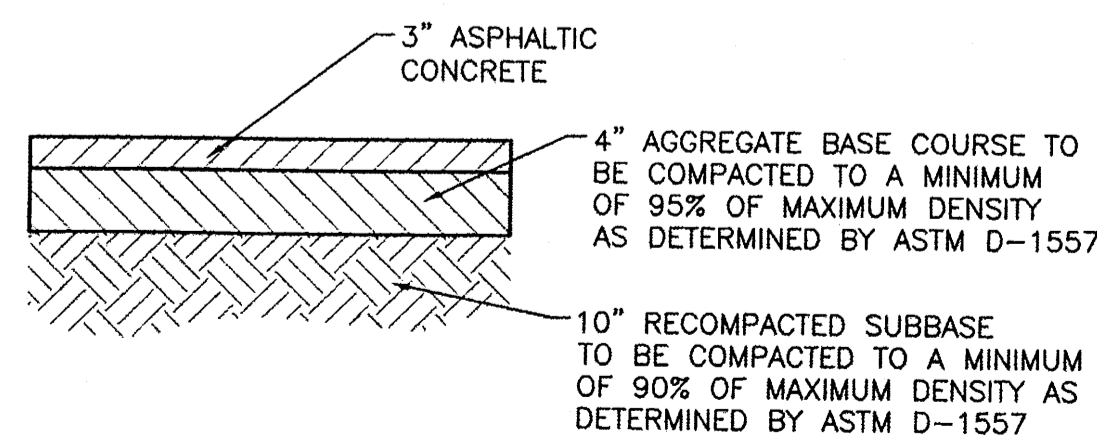
PAVING PLAN

SCALE: 1"=50'



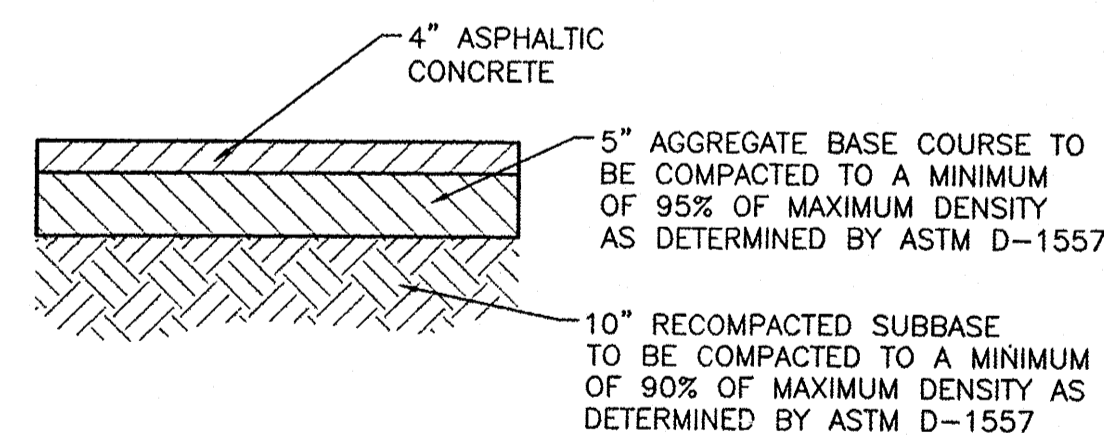
TEMPORARY PAVING SECTION

NTS



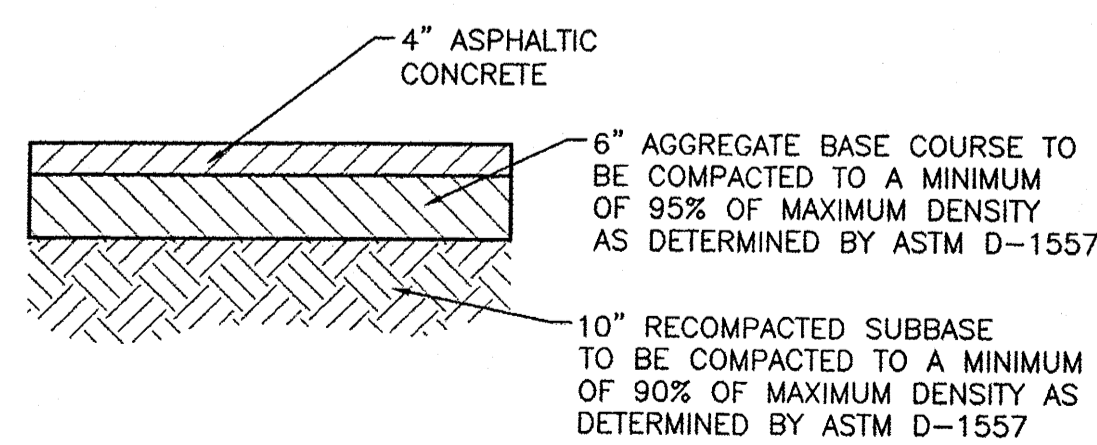
PARKING AREA PAVING SECTION

NTS



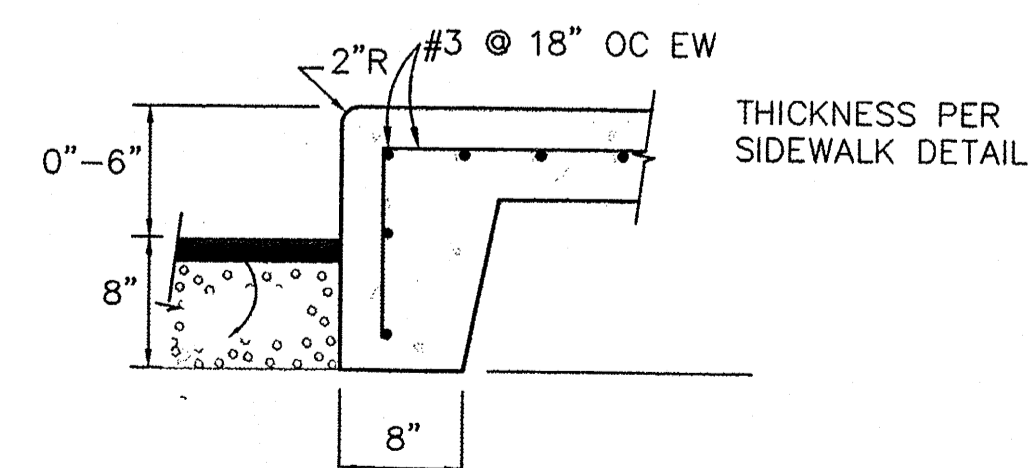
DRIVE AISLE PAVING SECTION

NTS



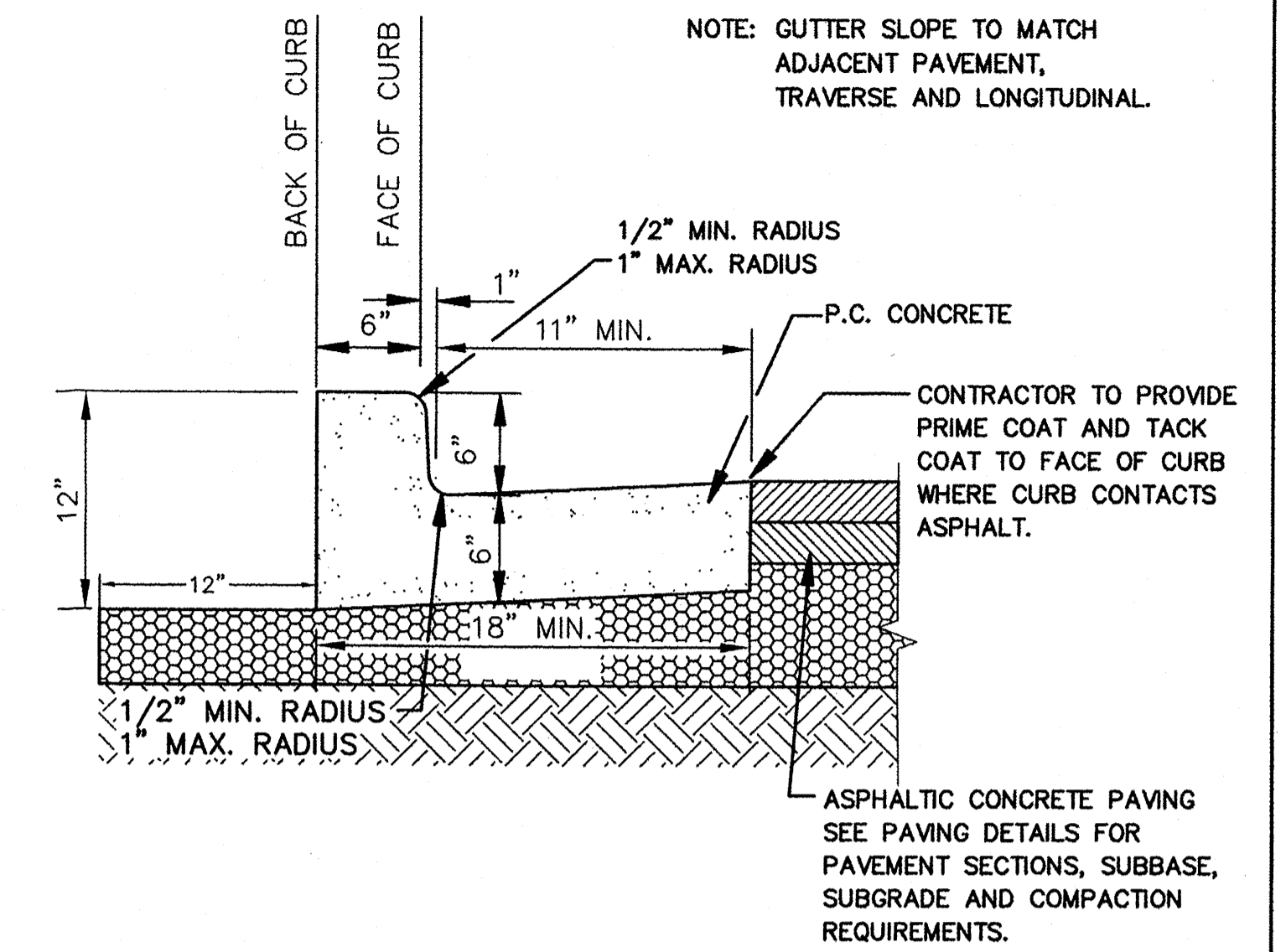
SERVICE AREA PAVING SECTION

NTS

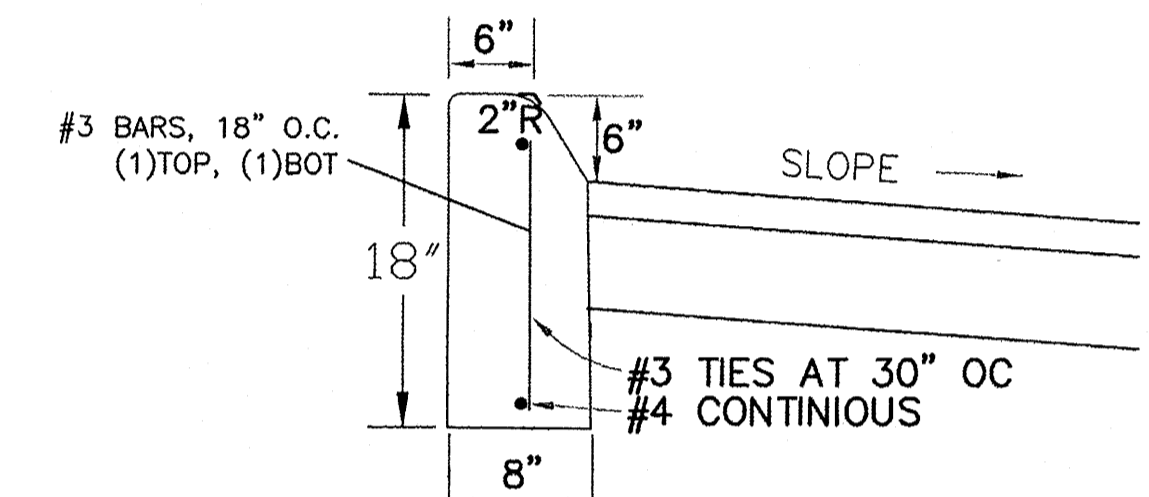


TURN DOWN CURB DETAIL

NTS



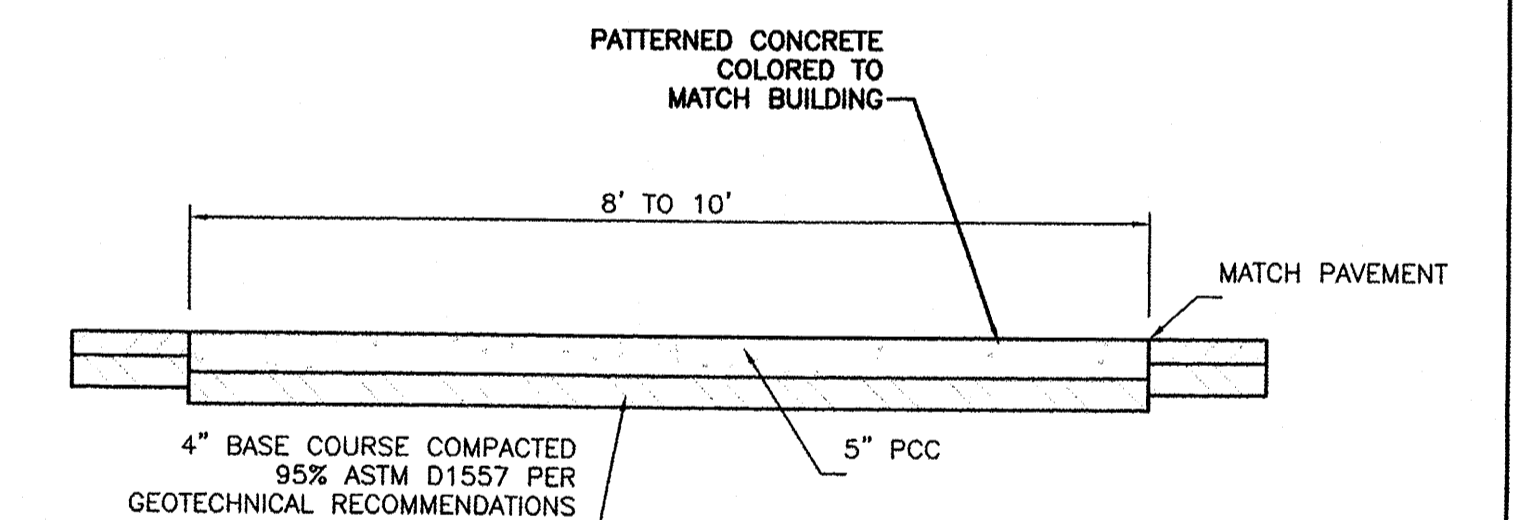
TYPE 'A' CONCRETE CURB AND GUTTER



- NOTES:
- 1/2 INCH CAULKABLE EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 50 FEET AT THE ENDS AND MIDPOINT OF RETURNS, AND AT ANY POINT WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.
 - 5 FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER UNLESS OTHERWISE NOTED.

6' HEADER CURB DETAIL

NTS



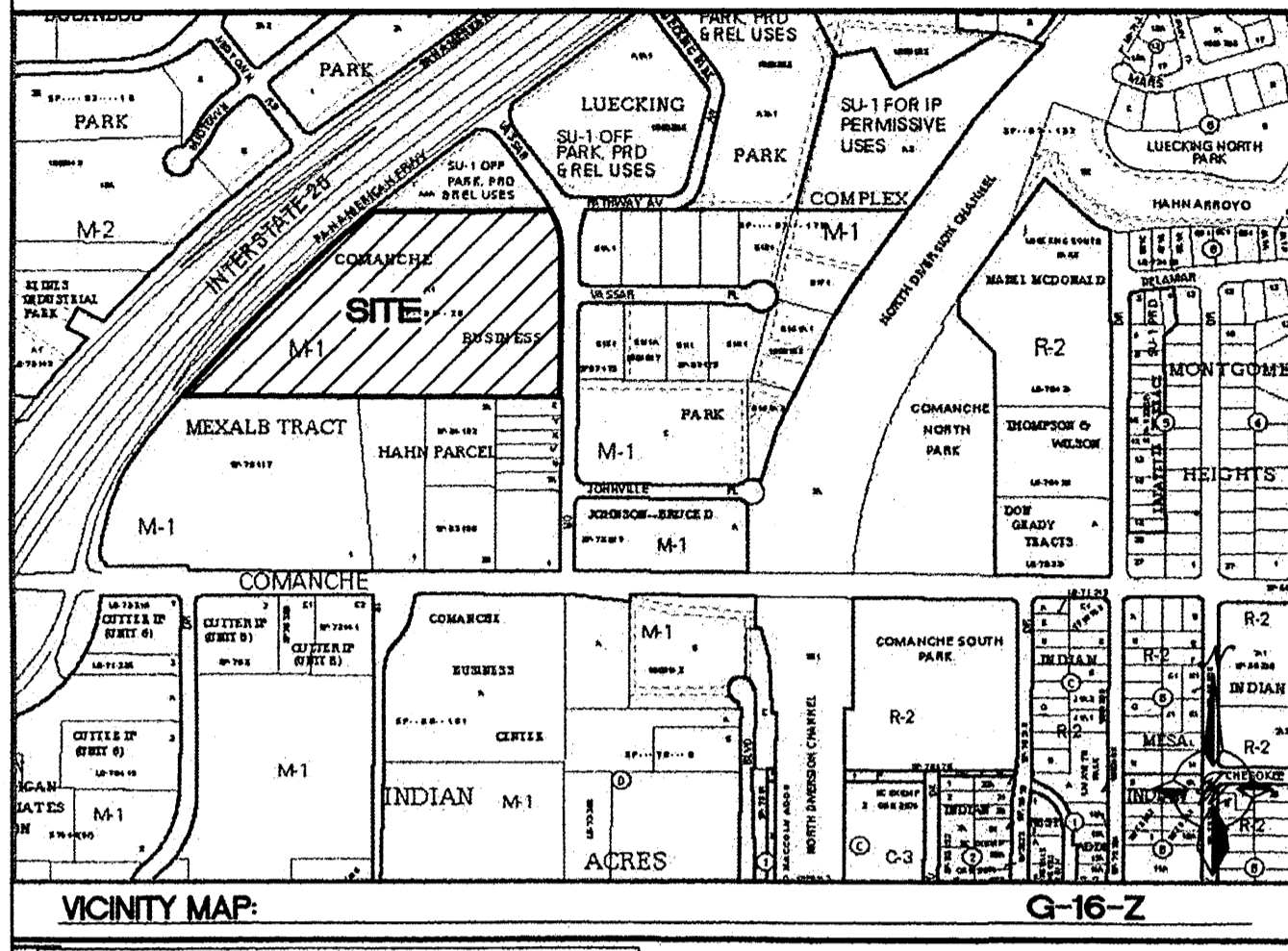
PEDESTRIAN CROSSING

NTS

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY BJF
		PAN AM FREEWAY AND VASSAR AV.	DATE 02/26/15
		DETAIL SHEET	2015015_DTB
			SHEET # C16
		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2015015
	RONALD R. BOHANNAN P.E. #7868		

SITE DATA TABLE

LOTS	LOT SIZE	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	SHARED PARKING	PROV. 7AM-6PM	PROV. 6PM-12AM	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MAX. BLDG. HEIGHT	STORY	PATIO AREA	MAX FAR
1	6.36 Ac	93,686	OFFICE & TRAINING ASSEMBLY	M-1 (SC)	180	113	90%	162	5%	9	8	8	2	2	9	10	5	50'	2	1,200 SF	.35
2	4.42 Ac	76,000	RETAIL/OFFICE(FUTURE)	M-1 (SC)	317	277	100%	317	50%	159	8	8	2	2	15	10	6	50'	2	800 SF	.35
3	2.60 Ac	57,072	RETAIL/OFFICE(FUTURE)	M-1 (SC)	221	180	100%	221	50%	111	8	8	2	2	11	10	5	65'	3	400 SF	.35
4	2.24 Ac	19,435	RESTAURANT(S)(FUTURE)	M-1 (SC)	235	224	70%	165	100%	235	8	8	2	2	8	10	5	36'	1	400 SF	.35
TOTAL	15.63 Ac	245,193			1091	881		865		651	32	32	8	8	43	45	21			2,800 SF	



PROJECT NUMBER: 1006865
APPLICATION NUMBER: 14DRB-70148

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [redacted] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineer, Transportation Division	<i>Allen Pate</i>	05-21-14
Water Utility Development	<i>Carl S. Dumont</i>	05-21-14
Parks & Recreation Department	<i>[Signature]</i>	5-21-14
City Engineer	<i>[Signature]</i>	5-21-14
Environmental Health Department (conditional)		
Solid Waste Management		
DRB Chairperson, Planning Department		

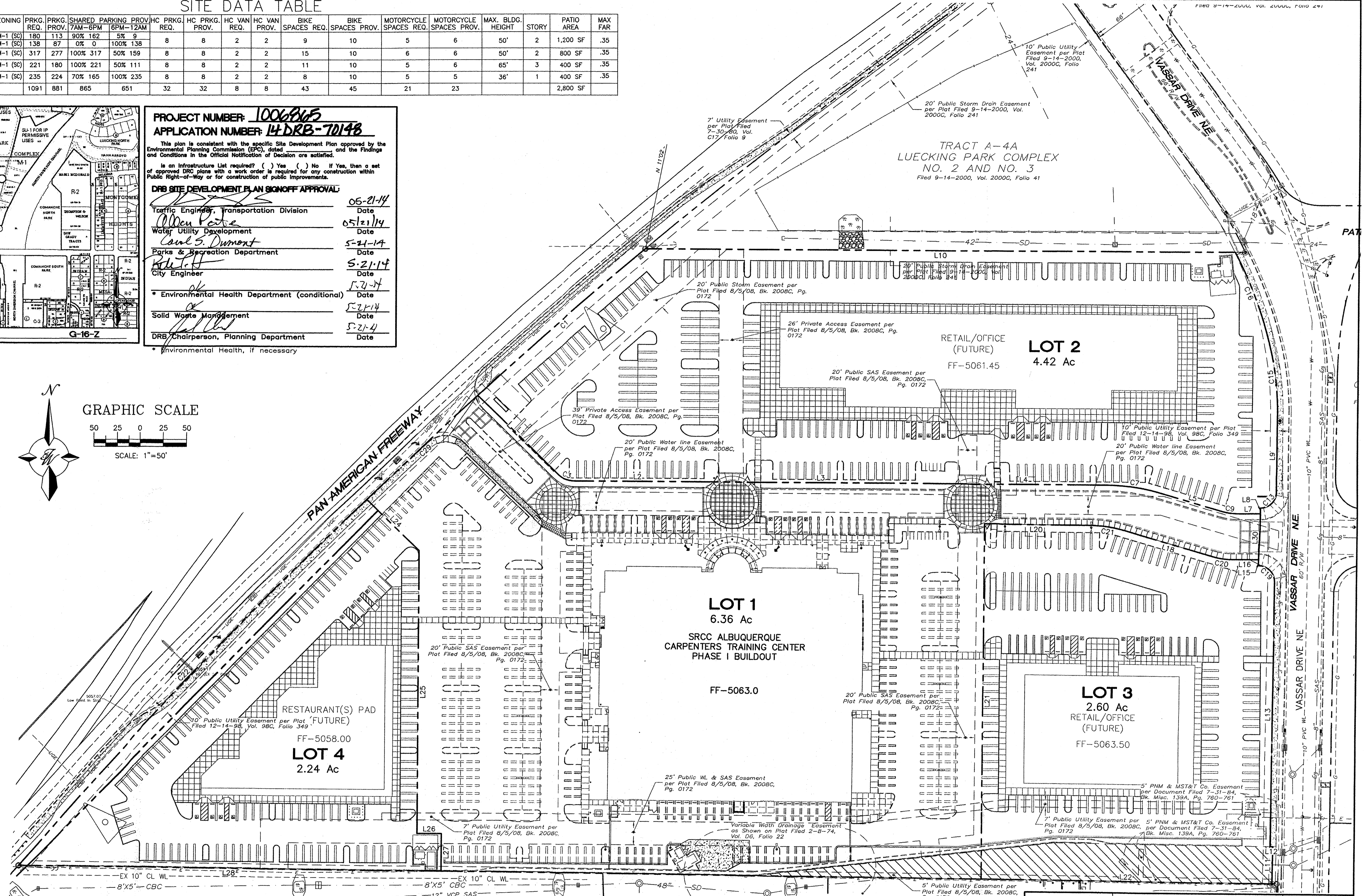
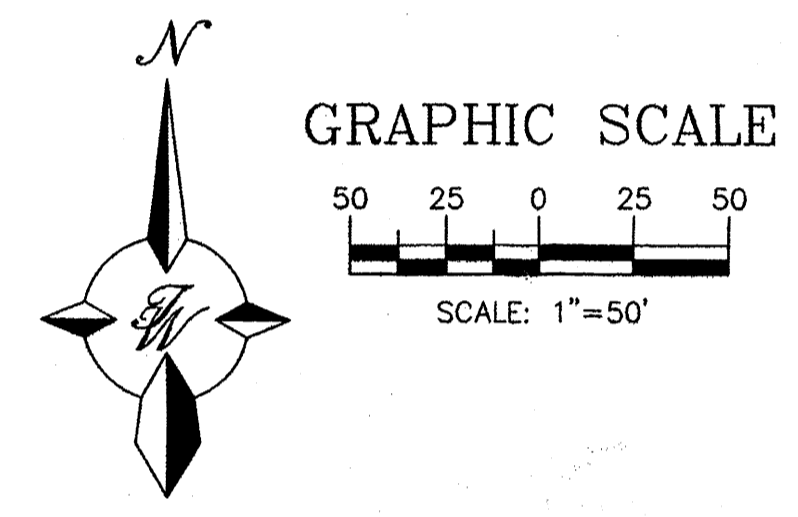
* Environmental Health, if necessary

Curve Table

Curve #	Length	Radius	Delta
C22	541.863	5607.000	5.5371
C16	92.189	432.989	12.1990
C15	94.112	314.399	17.1508
C13	26.813	17.330	88.6486
C9	15.150	53.500	16.2249
C7	58.477	206.503	16.2249
C3	21.842	28.499	43.9127
C1	237.139	5607.000	2.4232
C21	40.635	143.494	16.2253
C20	18.831	66.497	16.2249
C19	27.505	17.240	91.4099
C29	161.438	5607.000	1.6497

Line Table

Line #	Length	Direction
L28	452.378	N89° 38' 15.41"W
L27	39.949	S0° 02' 14.15"E
L26	25.956	N89° 59' 19.91"E
L25	303.000	S0° 00' 00.00"E
L24	78.626	S45° 26' 41.79"E
L10	628.047	S89° 54' 54.00"W
L9	75.047	N0° 28' 13.63"E
L8	6.139	N1° 12' 15.81"E
L7	25.530	N89° 56' 43.83"E
L5	68.235	S73° 47' 10.35"E
L4	176.483	N89° 59' 00.76"E
L3	256.983	N89° 59' 19.07"E
L2	133.060	S89° 57' 01.34"E
L1	118.302	S45° 59' 30.23"E
L22	310.536	S89° 38' 15.41"E
L21	379.193	S0° 00' 40.03"E
L20	111.712	S89° 59' 19.91"W
L18	96.832	N73° 47' 10.35"W
L16	29.672	N89° 55' 22.87"W
L15	6.218	N1° 12' 15.81"E
L13	282.138	N0° 27' 32.87"E
L12	2.760	N89° 38' 15.41"W
L11	40.000	N0° 27' 33.00"E
L30	49.089	N1° 12' 15.81"E



- NOTES:**
- CROSS LOT PARKING AND DRAINAGE EASEMENTS WILL BE INCLUDED ON PLAT.
 - CROSS LOT PEDESTRIAN AND VEHICLE ACCESS EASEMENTS WILL BE INCLUDED ON PLAT.

- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED ROW/BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - EXISTING SIDEWALK
 - FUTURE CURB & GUTTER

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE NOTES
 - C3. GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - L1. LANDSCAPE PLAN
 - L2. LANDSCAPE PLAN
 - L3. LANDSCAPE PLAN
 - L4. LANDSCAPE PLAN

	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY SITE PLAN FOR SUBDIVISION	DRAWN BY BJF DATE 05/07/14 2014029_SPSE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrewestllc.com	SHEET # C1 JOB # 2014029	

PROPOSED DESIGN GUIDELINES:

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE INITIAL BUILDING THAT IS DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

1. PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONING CODE.
2. BUILDING MATERIALS AND COLORS SHALL BE THE SAME AS, OR COMPLIMENTARY TO THOSE USED ON THE INITIAL BUILDING, WITH SIMILAR DETAILING OF WALL SURFACES, PILASTERS, AWNINGS, AND FENESTRATION. ALTERNATIVE MATERIALS OF SIMILAR QUALITY MAY BE CONSIDERED BY THE DRB, BUT APPROVAL IS AT THEIR DISCRETION.
3. ACCENT COLORS FOR TRIM MAY BE BASED ON THOSE USED ON THE INITIAL BUILDING, BUT MAY ALSO BE BASED ON THE CORPORATE BRANDING COLORS OF THE PAD OCCUPANTS.
4. BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS, UNLESS SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AS THE BUILDINGS.
5. SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS. ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.
6. ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
7. RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDINGS ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
8. CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 25' ON A 3' CONCRETE BASE. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLIMENT THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. ALL SIGN AREA FOR A FREESTANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREESTANDING SIGN SHALL NOT EXCEED 26 FEET. THE COLOR & STYLE OF FREESTANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE. MONUMENT & PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY. THE USE OF NEON IN SIGNS & AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED.

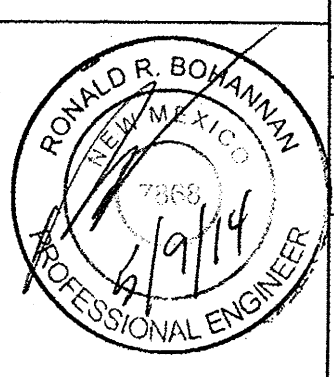
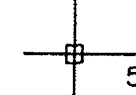
10. VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.
11. SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG VASSAR DRIVE.
12. PATIO AREAS SHALL BE PROVIDED AT ALL BUILDINGS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO PEDESTRIAN WAYS AT RESTAURANTS. MINIMUM SIZE TO BE 400 SQUARE FEET WITH 25% OF THE AREA COVERED.
13. BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE BIKE SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE. FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.
13. WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS. WALLS TO BE PAINTED SPLIT FACE CONCRETE BLOCK. ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

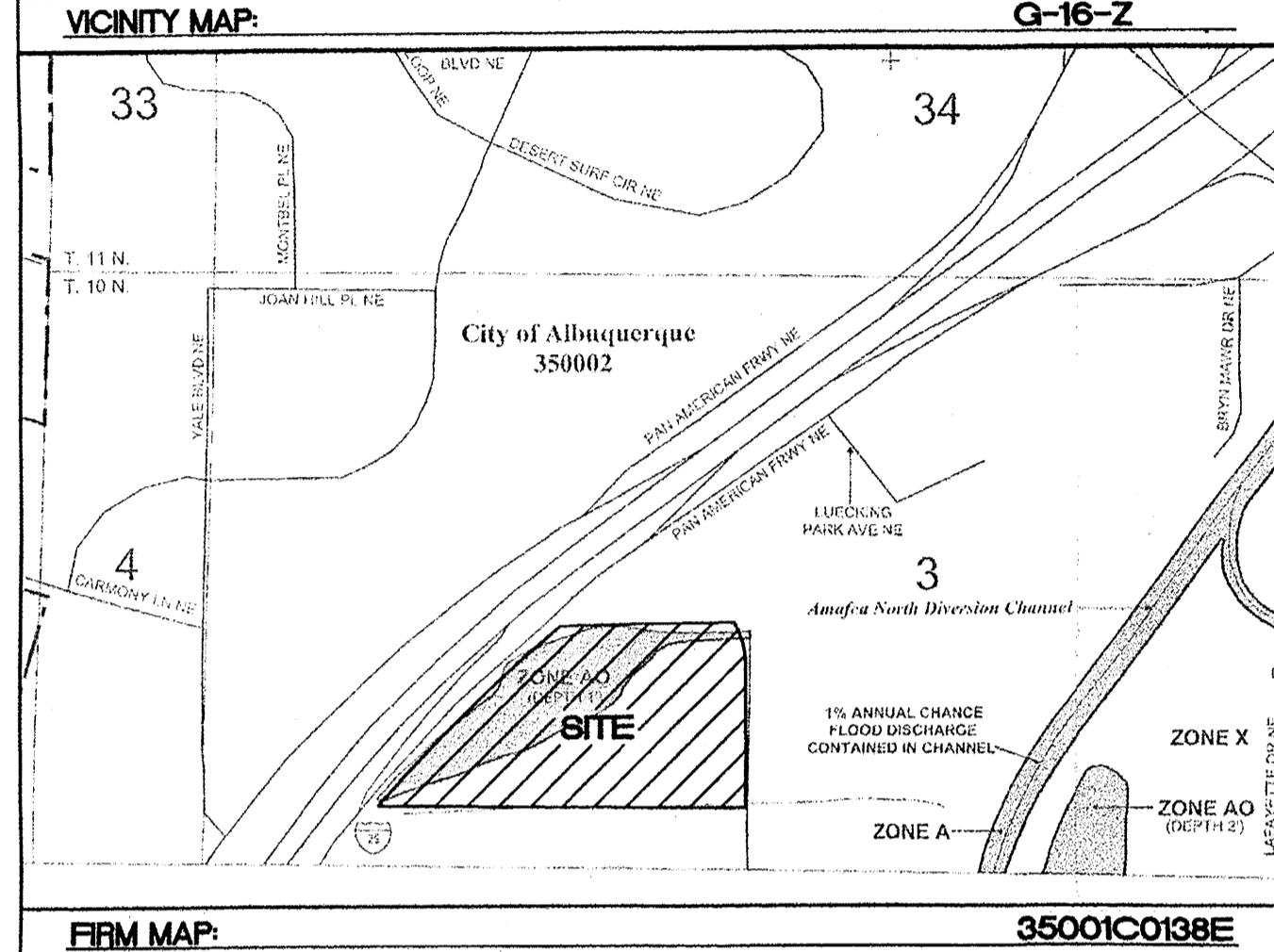
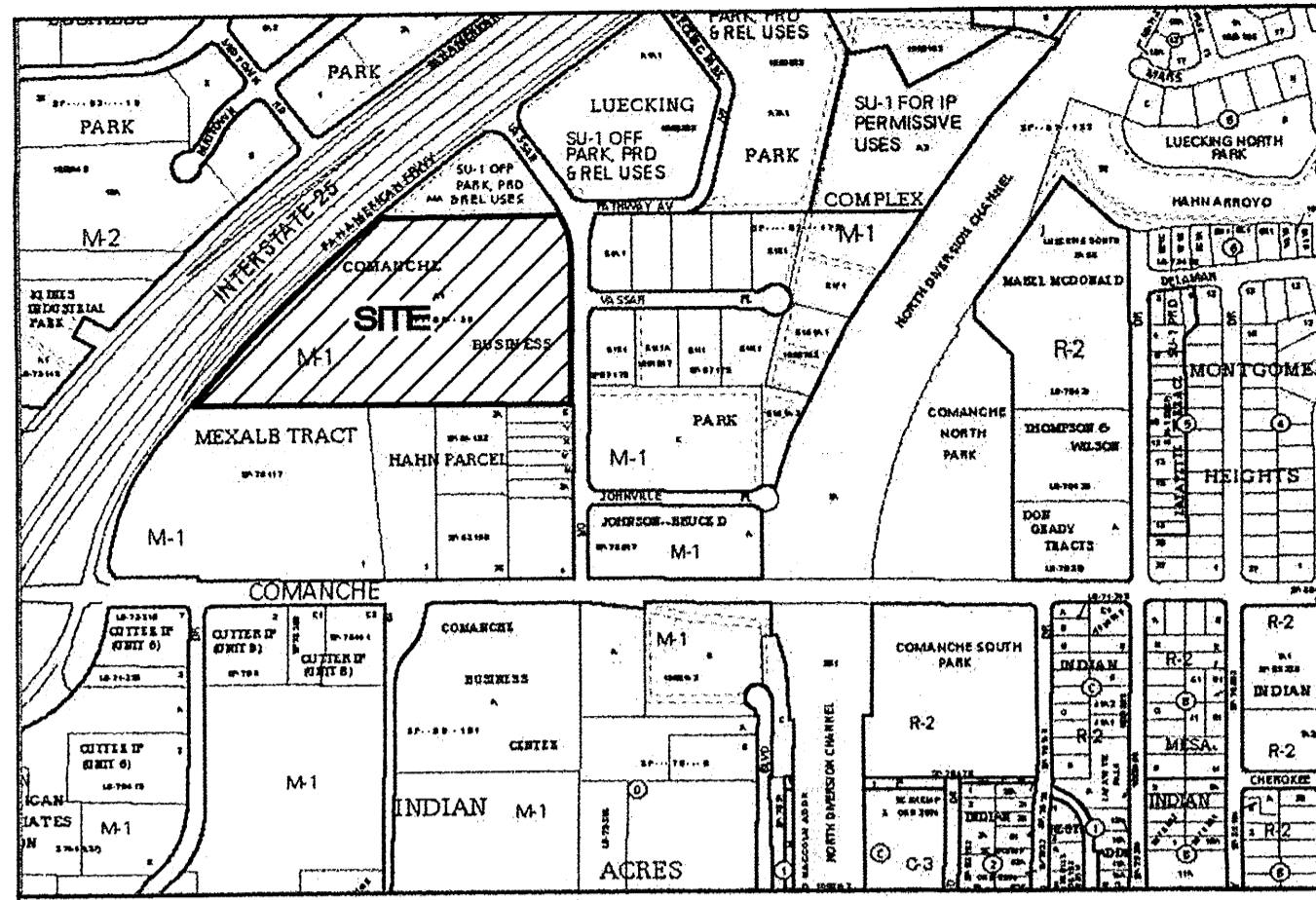
NOTES:

1. COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 28' (25' POLE ON A 3' CONCRETE BASE), WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE BASED ON A PHOTOMETRIC ILLUMINATION STUDY AND SUBMITTED DURING PLAN CHECK FOR FINAL APPROVAL.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK. IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 5 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

8. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE.
9. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 65' IN HEIGHT.
10. SITE PLAN FOR BUILDING PERMIT FOR FUTURE BUILDINGS TO BE DELEGATED DOWN TO DRB.

PROJECT NOTES

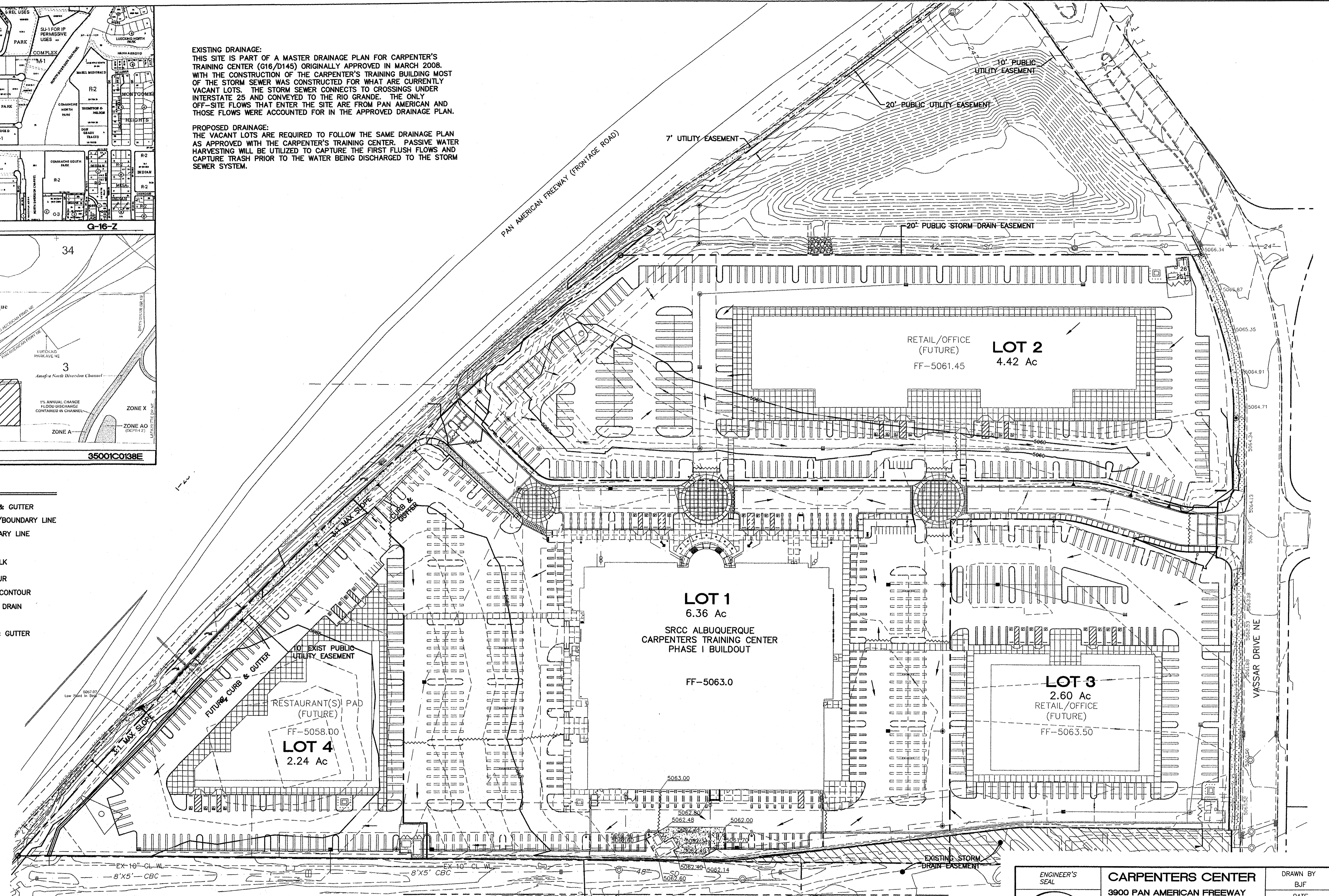
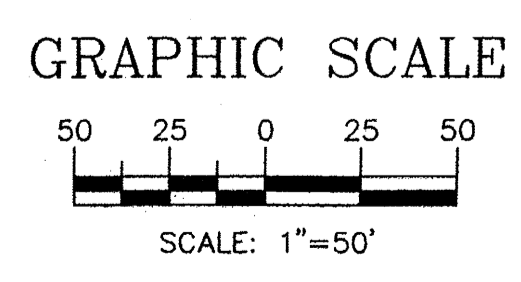
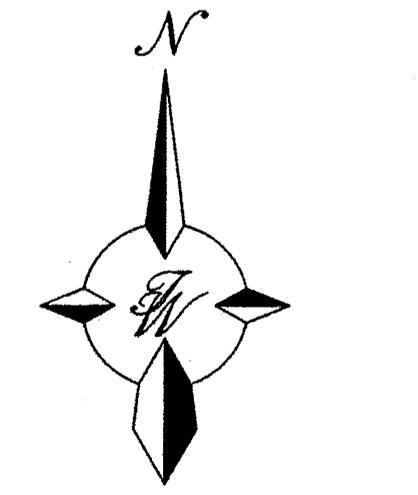
	ENGINEER'S SEAL CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY	DRAWN BY B.J.F.
	SITE PLAN FOR SUBDIVISION NOTES	DATE 05/07/14
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2014029_SPSE	SHEET # C2
RONALD R. BOHANNAN P.E. #7868	JOB # 2014029	



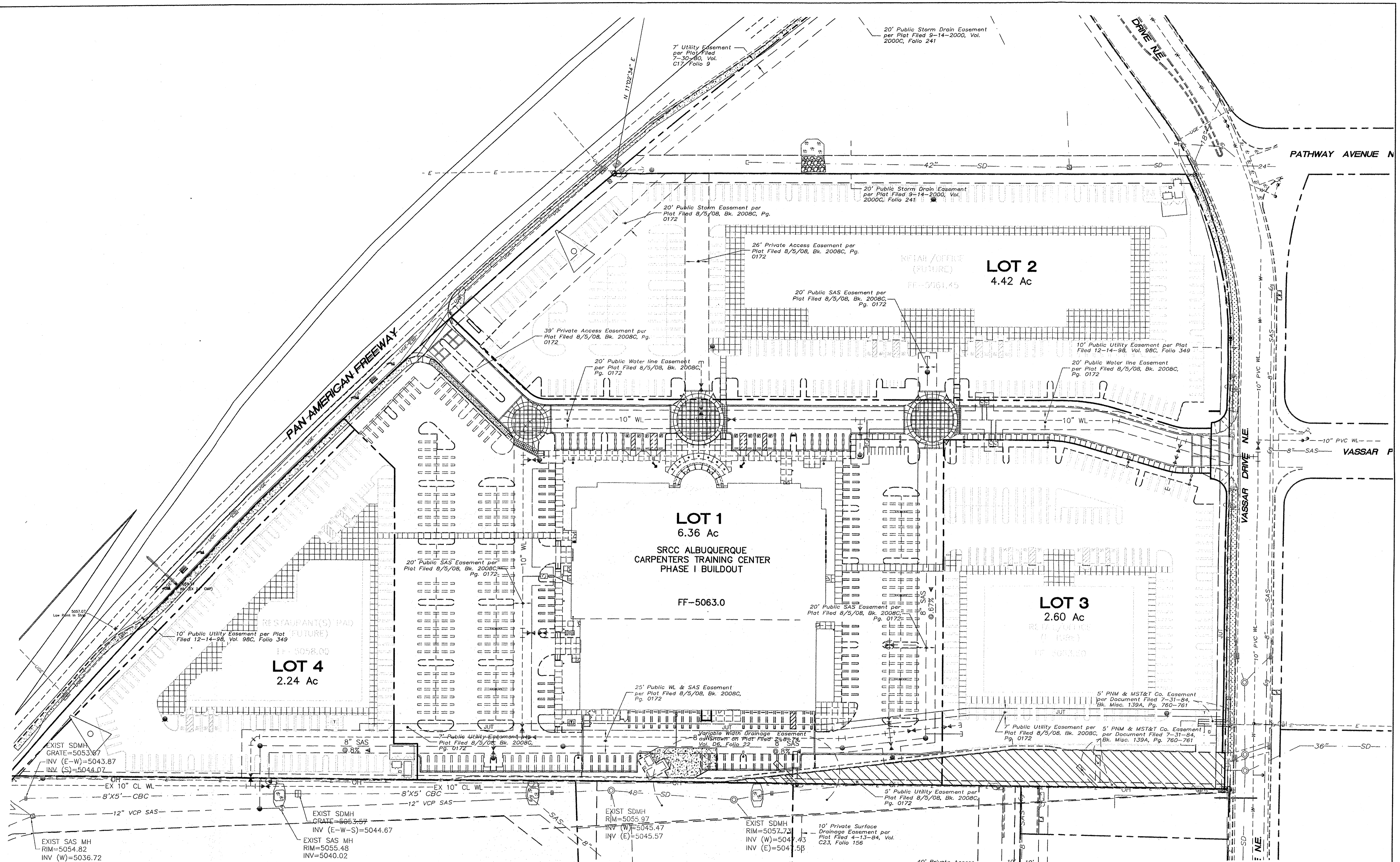
EXISTING DRAINAGE:
 THIS SITE IS PART OF A MASTER DRAINAGE PLAN FOR CARPENTER'S TRAINING CENTER (G16/D145) ORIGINALLY APPROVED IN MARCH 2008. WITH THE CONSTRUCTION OF THE CARPENTER'S TRAINING BUILDING MOST OF THE STORM SEWER WAS CONSTRUCTED FOR WHAT ARE CURRENTLY VACANT LOTS. THE STORM SEWER CONNECTS TO CROSSINGS UNDER INTERSTATE 25 AND CONVEYED TO THE RIO GRANDE. THE ONLY OFF-SITE FLOWS THAT ENTER THE SITE ARE FROM PAN AMERICAN AND THOSE FLOWS WERE ACCOUNTED FOR IN THE APPROVED DRAINAGE PLAN.

PROPOSED DRAINAGE:
 THE VACANT LOTS ARE REQUIRED TO FOLLOW THE SAME DRAINAGE PLAN AS APPROVED WITH THE CARPENTER'S TRAINING CENTER. PASSIVE WATER HARVESTING WILL BE UTILIZED TO CAPTURE THE FIRST FLUSH FLOWS AND CAPTURE TRASH PRIOR TO THE WATER BEING DISCHARGED TO THE STORM SEWER SYSTEM.

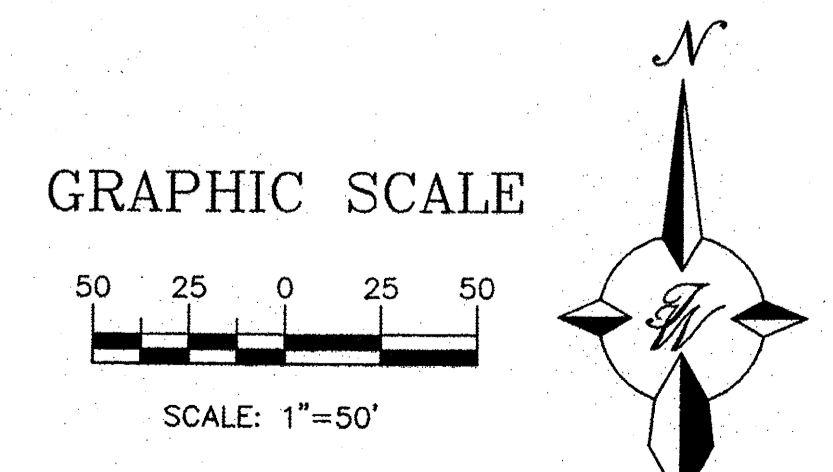
- LEGEND**
- EXISTING CURB & GUTTER
 - - - - PROPOSED ROW/BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - - - - EASEMENT
 - EXISTING SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - EXISTING STORM DRAIN
 - FLOW ARROW
 - FUTURE CURB & GUTTER



	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY PRELIMINARY GRADING AND DRAINAGE PLAN	DRAWN BY B/JF DATE 05/07/14 2014029_GRB
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3 JOB # 2014029



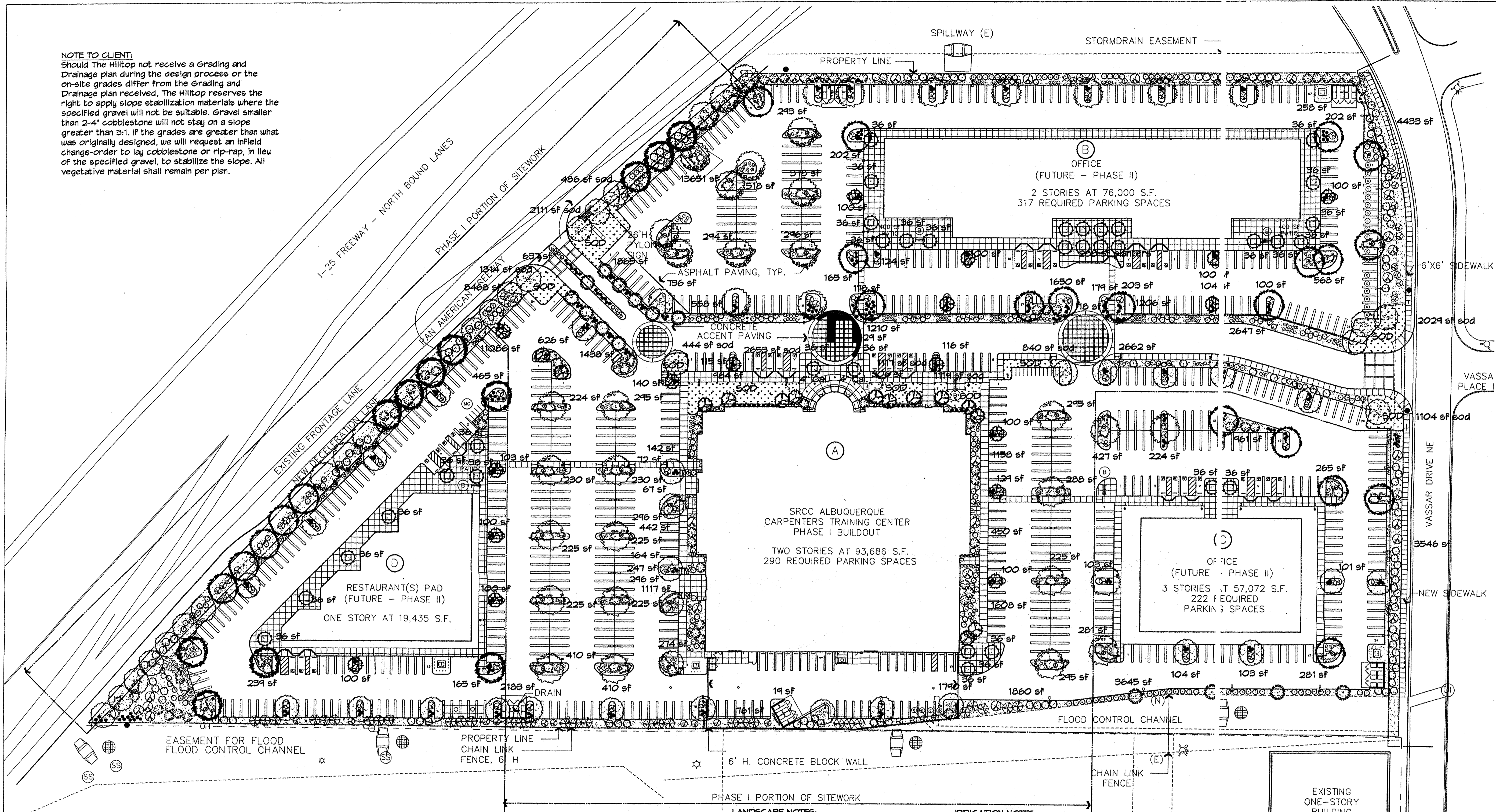
LEGEND	
--- EXISTING CURB & GUTTER	--- EXISTING SIDEWALK
--- FUTURE CURB & GUTTER	--- EXISTING SD MANHOLE
--- BOUNDARY LINE	--- EXISTING INLET
--- EXISTING BOUNDARY LINE	--- EXISTING SAS MANHOLE
--- EASEMENT	--- EXISTING FIRE HYDRANT
	--- EXISTING WATER METER
	--- EXISTING POWER POLE
	--- EXISTING GAS VALVE
	--- EXISTING OVERHEAD UTILITIES
	--- EX. 18" RCP --- EXISTING STORM SEWER LINE
	--- EX. UGE --- EXISTING UNDERGROUND UTILITIES
	--- EX. 2" GAS --- EXISTING GAS
	--- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
	--- W --- EXISTING WATER LINE



	CARPENTERS CENTER 3900 PAN AMERICAN FREEWAY PRELIMINARY MASTER UTILITY PLAN	DRAWN BY BJF DATE 05/07/14
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	SHEET # C4 JOB # 2014029

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NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an Infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	683498	square feet
TOTAL BUILDINGS AREA	144229	square feet
NET LOT AREA	539269	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	80890	square feet
TOTAL BED PROVIDED	88645	square feet
GROUND COVER REQ.	75%	
TOTAL GROUND COVER REQUIREMENT	66484	square feet
TOTAL GROUND COVER PROVIDED	67074 (16%)	square feet
TOTAL SOD AREA	13217 (13%)	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	101862 (19%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Pan American Freeway
Required # 32 Provided # 32

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces (minimum 2" cal. & 30' at maturity)
Required # 86 Provided # 91

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

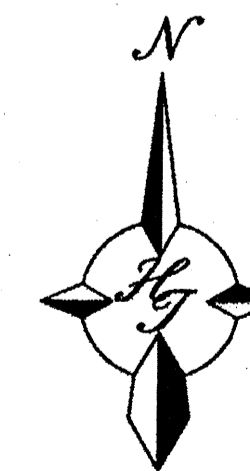
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

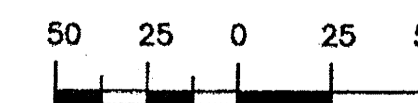
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

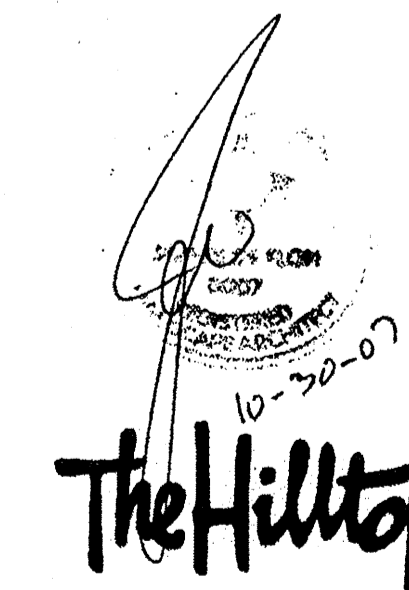
Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE



SCALE: 1"=50'



LANDSCAPE ARCHITECTS & CONTRACTORS
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cmj@hilltoplandscaping.com
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LANDSCAPE ARCHITECT'S NM LICENSE # 007

DRAWN BY: RMM

PHASE:
EPC APPROVAL
SCALE: 1"=50'

DATE:
OCTOBER 4, 2007
JOB NUMBER:
20705.00

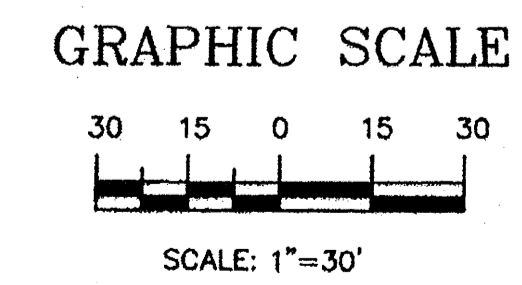
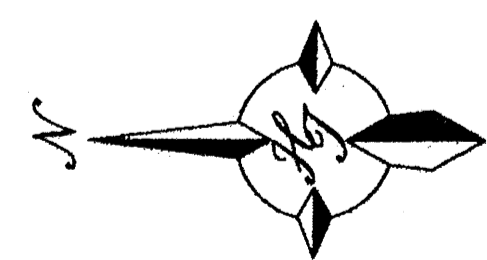
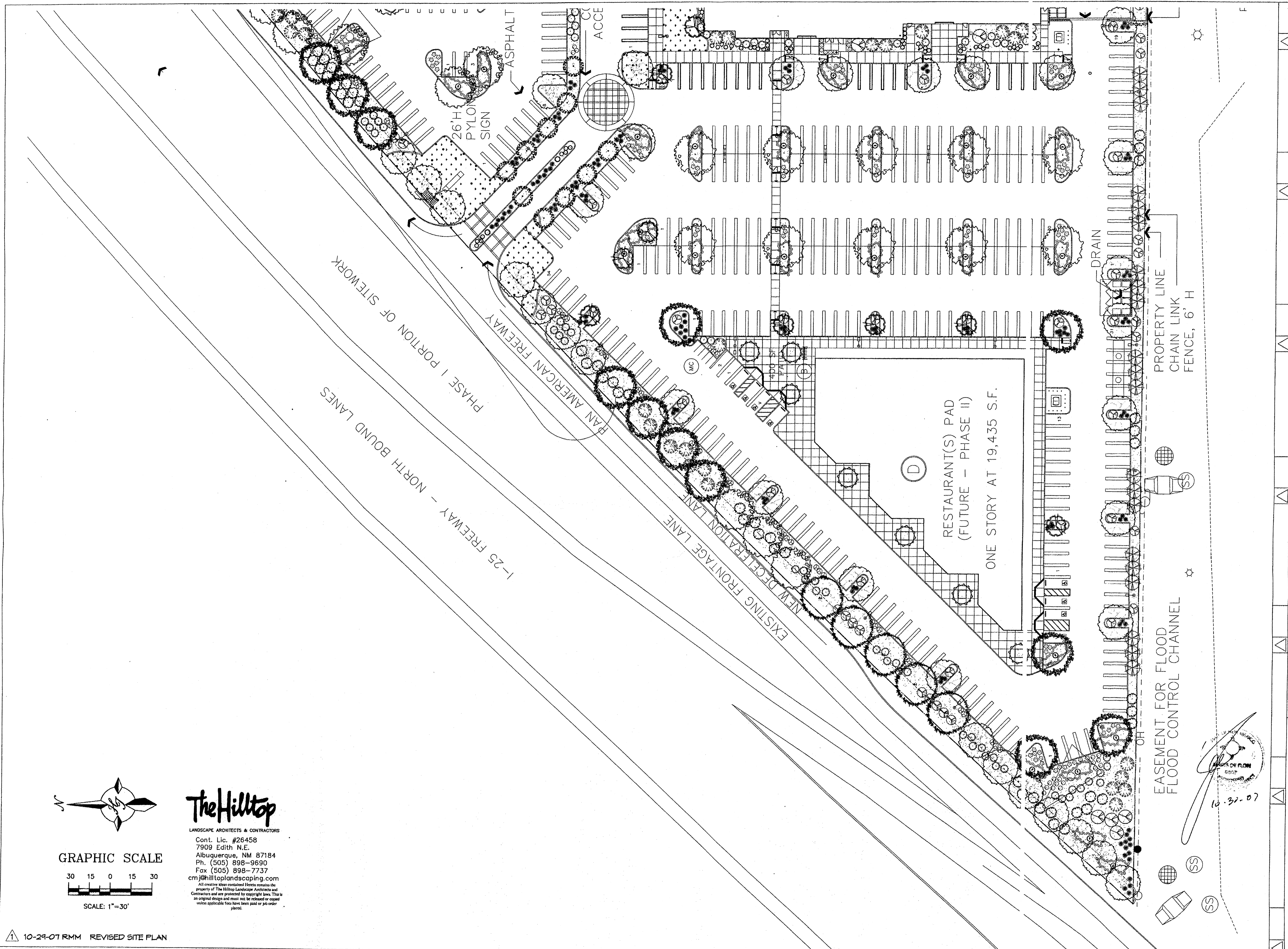
L1 of L4
Master Landscape Plan

PLAT DATE - 10/02/07

GIN WONG ASSOCIATES
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4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422



CARPENTERS CENTER
SRCC CARPENTERS TRAINING CENTER
4100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NEW MEXICO 87107



The Hilltop

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10-29-07 RMM REVISED SITE PLAN

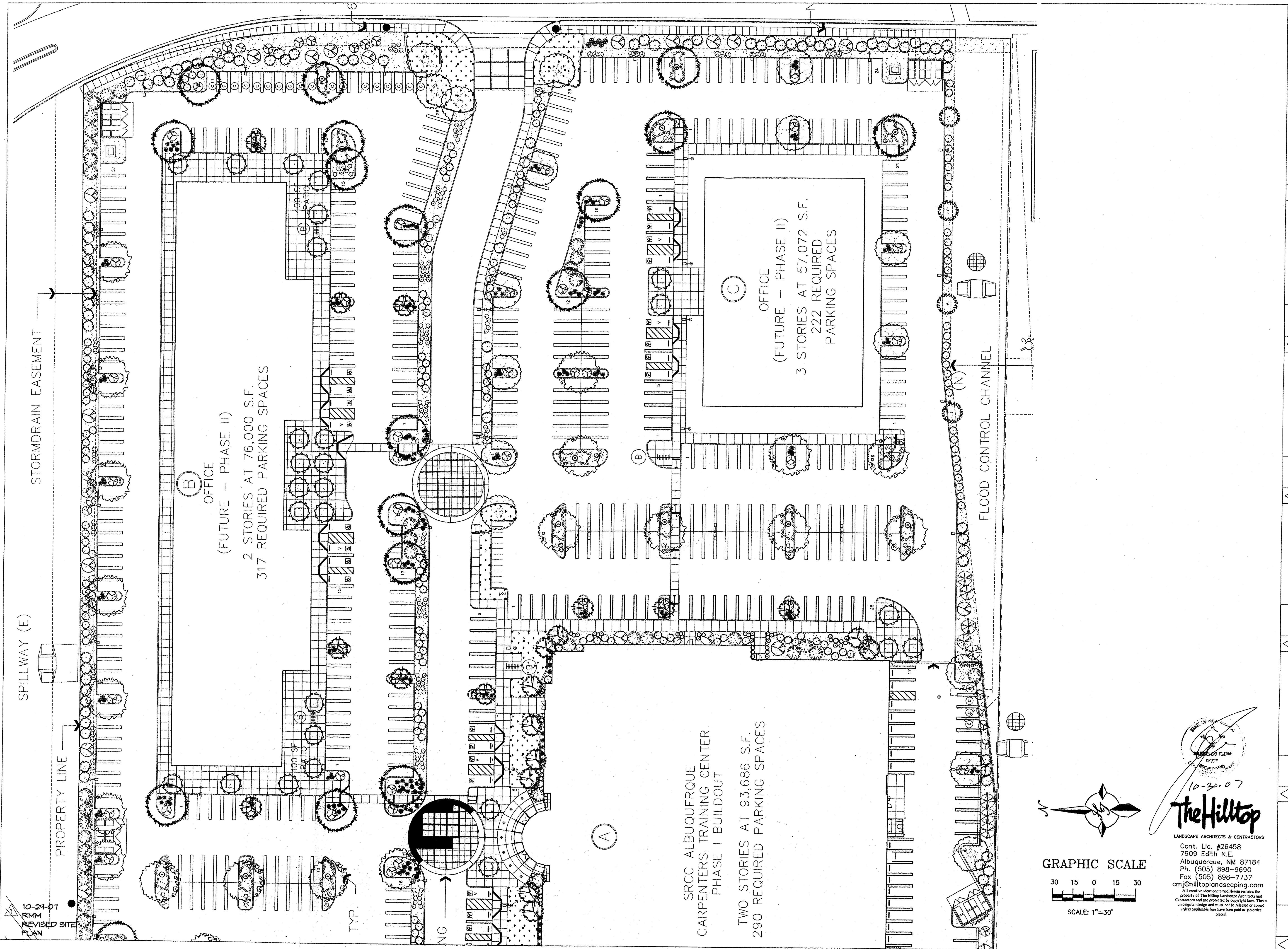
GWA
 GIN WONG ASSOCIATES
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 4465 WILSHIRE BOULEVARD, SUITE 100 LOS ANGELES, CA 90010 (323) 938-4422

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 SRCC CARPENTERS TRAINING CENTER
 4100 PAN AMERICAN FREEWAY NE
 ALBUQUERQUE, NEW MEXICO 87107

LANDSCAPE ARCHITECT'S NM LICENSE # 007
 DRAWN BY RMM
 PHASE
 EPC APPROVAL
 SCALE 1"=30'
 DATE
 OCTOBER 4, 2007
 JOB NUMBER
 20705.00

L2 of L4
 Enlarged Landscape Plan - West

PLAT DATE - 10/10/2007

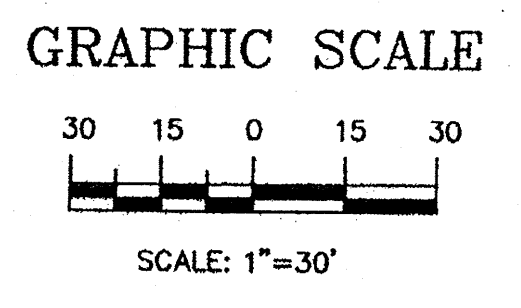
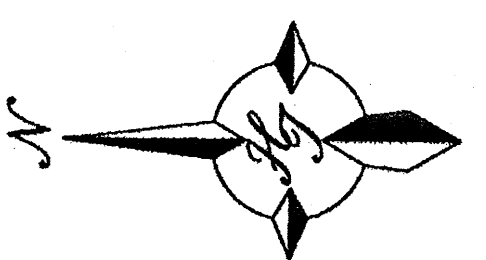


10-24-07
RMM
REVISED SITE
PLAN

SRCC ALBUQUERQUE
CARPENTERS TRAINING CENTER
PHASE I BUILDOUT
TWO STORIES AT 93,686 S.F.
290 REQUIRED PARKING SPACES

(B)
OFFICE
(FUTURE - PHASE II)
2 STORIES AT 76,000 S.F.
317 REQUIRED PARKING SPACES

(C)
OFFICE
(FUTURE - PHASE II)
3 STORIES AT 57,072 S.F.
222 REQUIRED
PARKING SPACES



10-20-07
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
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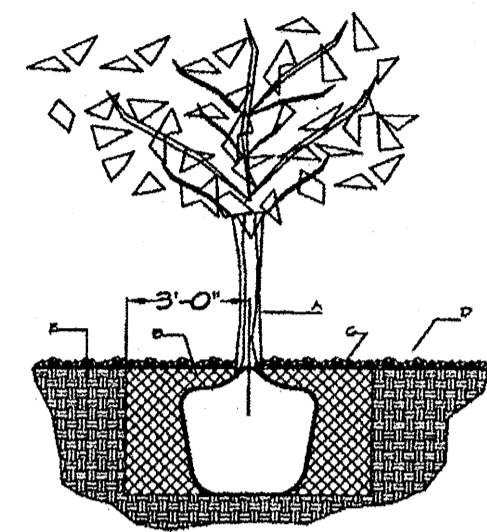
LANDSCAPE ARCHITECT'S NM
LICENSE # 007
DRAWN BY RMM
PHASE
EPC APPROVAL
SCALE 1"=30'
DATE
OCTOBER 4, 2007
JOB NUMBER
20705.00
L3 of L4
Enlarged Landscape
Plan - East
PLR ONE - 10/04/2007

GWA
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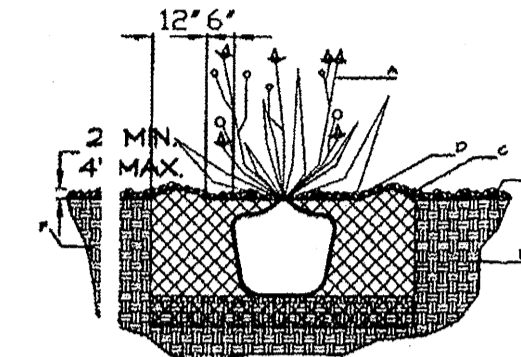
PLANT LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> CHINESE PISTACHE (M) 25
<i>Pistacia chinensis</i>
2" Cal., 60" H x 60" W SHUMARD OAK (M) 23
<i>Quercus shumardii</i>
2" Cal., 60" H x 60" W COMMON HACKBERRY (M) 12
<i>Celtis occidentalis</i>
2" Cal., 40" H x 40" W PURPLE-LEAF PLUM (M) 31
<i>Prunus spp.</i>
1 1/2" Cal., 20" H x 20" W * WILLOWLEAF COTONEASTER (M) 68
<i>Cotoneaster salicifolius</i>
5 Gal., 100sf, 6' H x 10' W * SILVERBERRY (M) 32
<i>Elaeagnus pungens</i>
5 Gal., 100sf, 10' H x 10' W * PHOTINIA (M+) 132
<i>Photinia fraseri</i>
5 Gal., 64sf, 8' H x 8' W SNOWBERRY (M) 231
<i>Symphoricarpos albus</i>
5 Gal., 36sf, 6' H x 6' W REGAL MIST (M) 6
<i>Muhlenbergia capillaris</i>
5 Gal., 4sf, 3' H x 3' W WESTERN SAND CHERRY (M) 138
<i>Prunus besseyi</i>
5 Gal., 4sf, 3' H x 3' W * MUGO PINE (M) 5
<i>Pinus mugo</i>
5 Gal., 4sf, 4' H x 3' W MONCURB 9" WIDE SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH SOD WITH POP UP SPRINKLER | <ul style="list-style-type: none"> KENTUCKY COFFEE TREE (M) 17
<i>Gymnocladus dioica</i>
2" Cal., 50" H x 40" W EASTERN REDBUD (M) 50
<i>Cercis canadensis</i>
2" Cal., 30" H x 30" W * WESTERN RED CEDAR (M) 24
<i>Thuja plicata 'Green Giant'</i>
15 Gal., 164sf, 30' H x 11' W WASHINGTON HAWTHORN (M+) 14
<i>Crataegus phaenopyrum</i>
15 Gal., 225sf, 25' H x 25' W AMUR MAPLE (M) (IN PATIOS ONLY) 34
<i>Acer ginnala</i>
2" Cal., 20" H x 20" W
*** The two in front of Bldg. A are 4" Cal as noted. *** POTENTILLA (M) 159
<i>Potentilla fruticosa</i>
1 Gal., 4sf, 3' H x 3' W CATMINT (M) 113
<i>Nepeta mussini</i>
1 Gal., 4sf, 1' H x 2' W BLUE AVENA/OAT GRASS (M) 318
<i>Helictotrichon sempervirens</i>
1 Gal., 4sf, 2' H x 3' W WILDFLOWER 99
1 Gal., 4sf, size varies * GREYLEAF COTONEASTER (M) 126
<i>Cotoneaster buxifolius</i>
5 Gal., 81sf, 2' H x 9' W
Symbol indicates 3 plants * HONEYSUCKLE (M) 114
<i>Lonicera japonica 'Halliana'</i>
1 Gal., 144sf, 3' H x 12' W
Unstaked-Groundcover TRUMPET VINE (M) 3
<i>Campsis radicans</i>
1 Gal., climbing to 40' |
|---|---|
- * DENOTES EVERGREEN PLANT MATERIAL



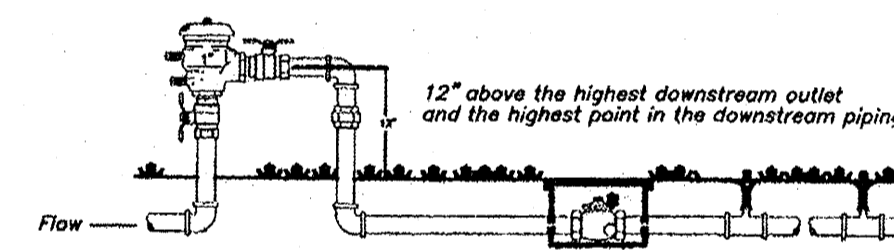
TREE PLANTING DETAIL

- GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

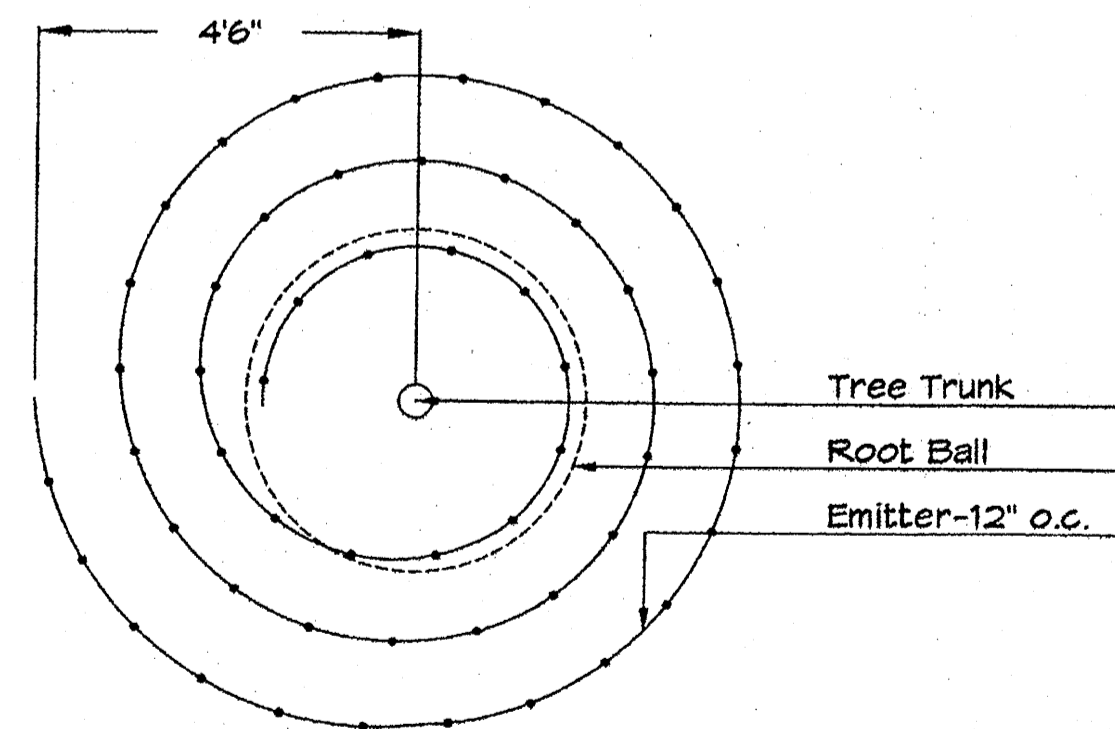
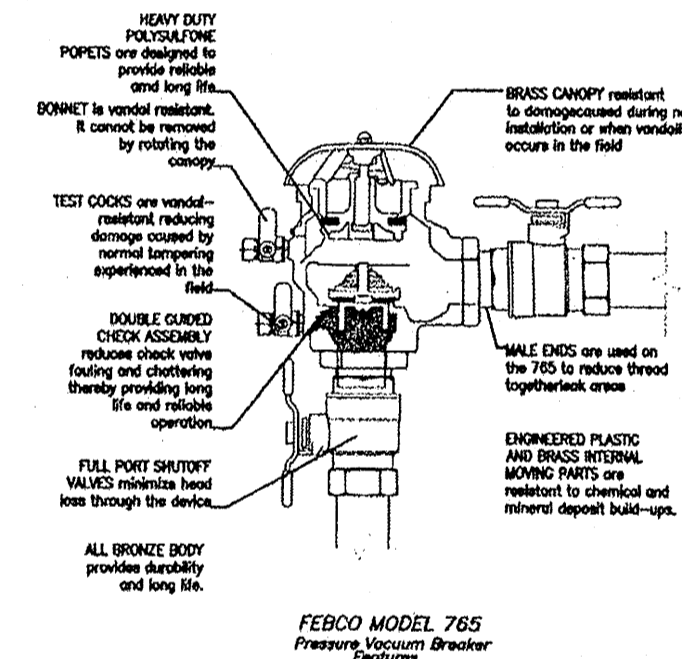


SHRUB PLANTING DETAIL

- GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.

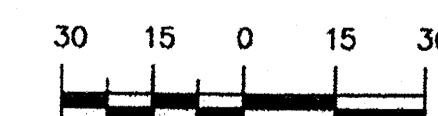


FEBCO MODEL 765
Pressure Vacuum Breaker
Outside Installation

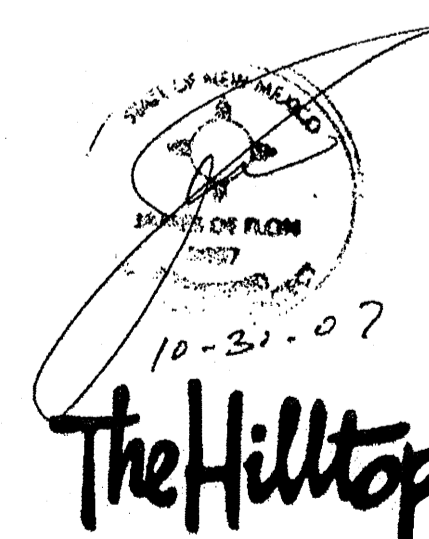


Netafim Spiral Detail

GRAPHIC SCALE



SCALE: 1"=30'



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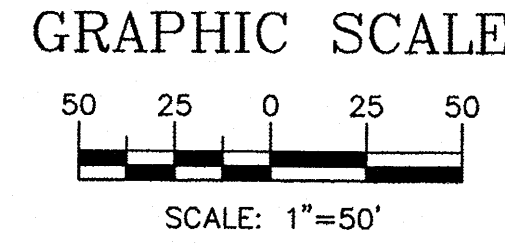
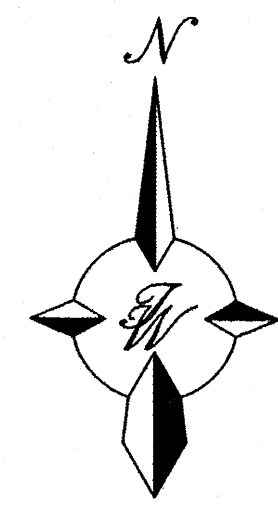
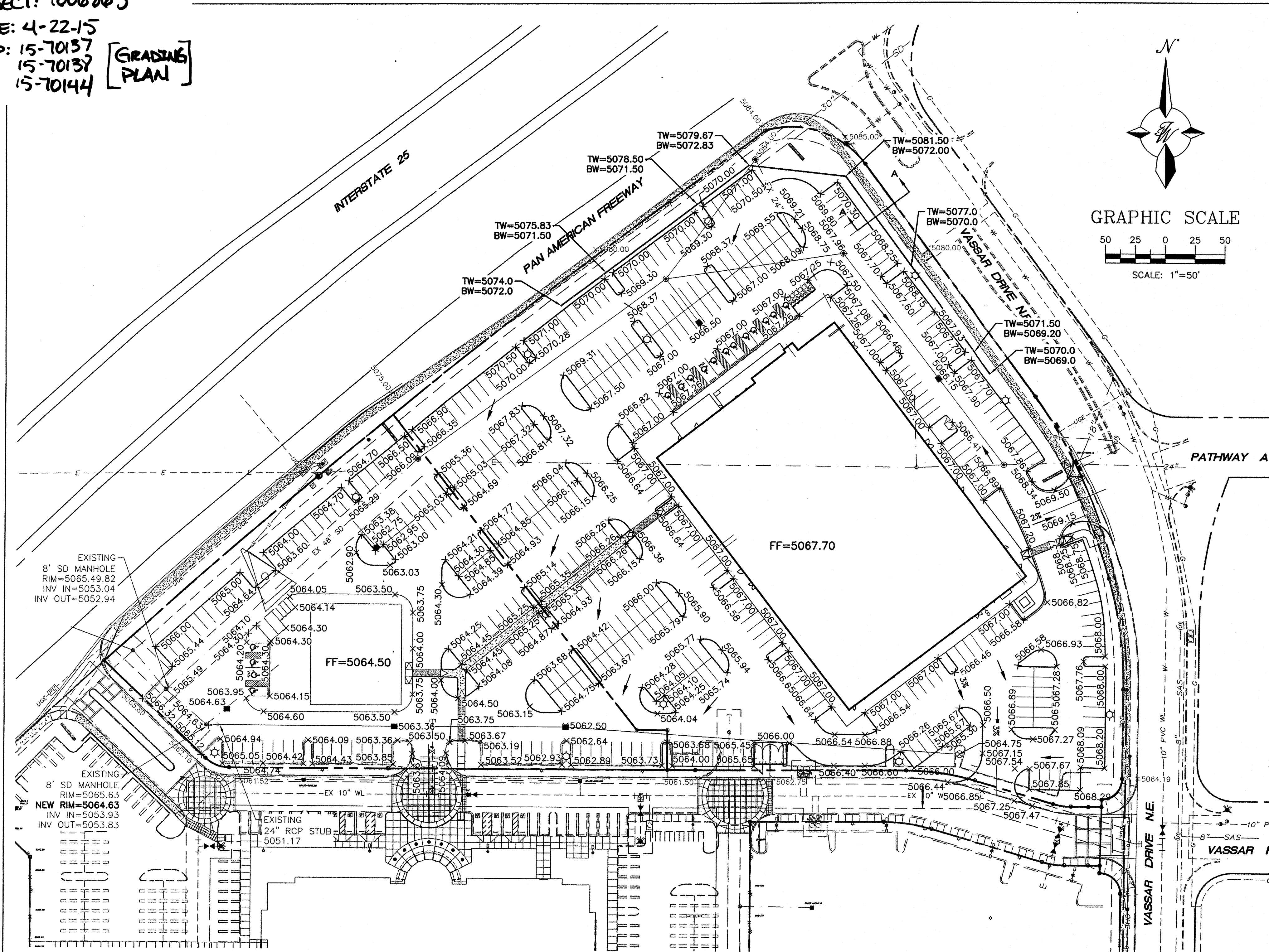
LANDSCAPE ARCHITECT'S NM LICENSE # 007
DRAWN BY: RMM
PHASE:
EPC APPROVAL
SCALE: 1"=30'
DATE:
OCTOBER 4, 2007
JOB NUMBER:
20705.00

L4 of L4
Landscape Details
and Legend

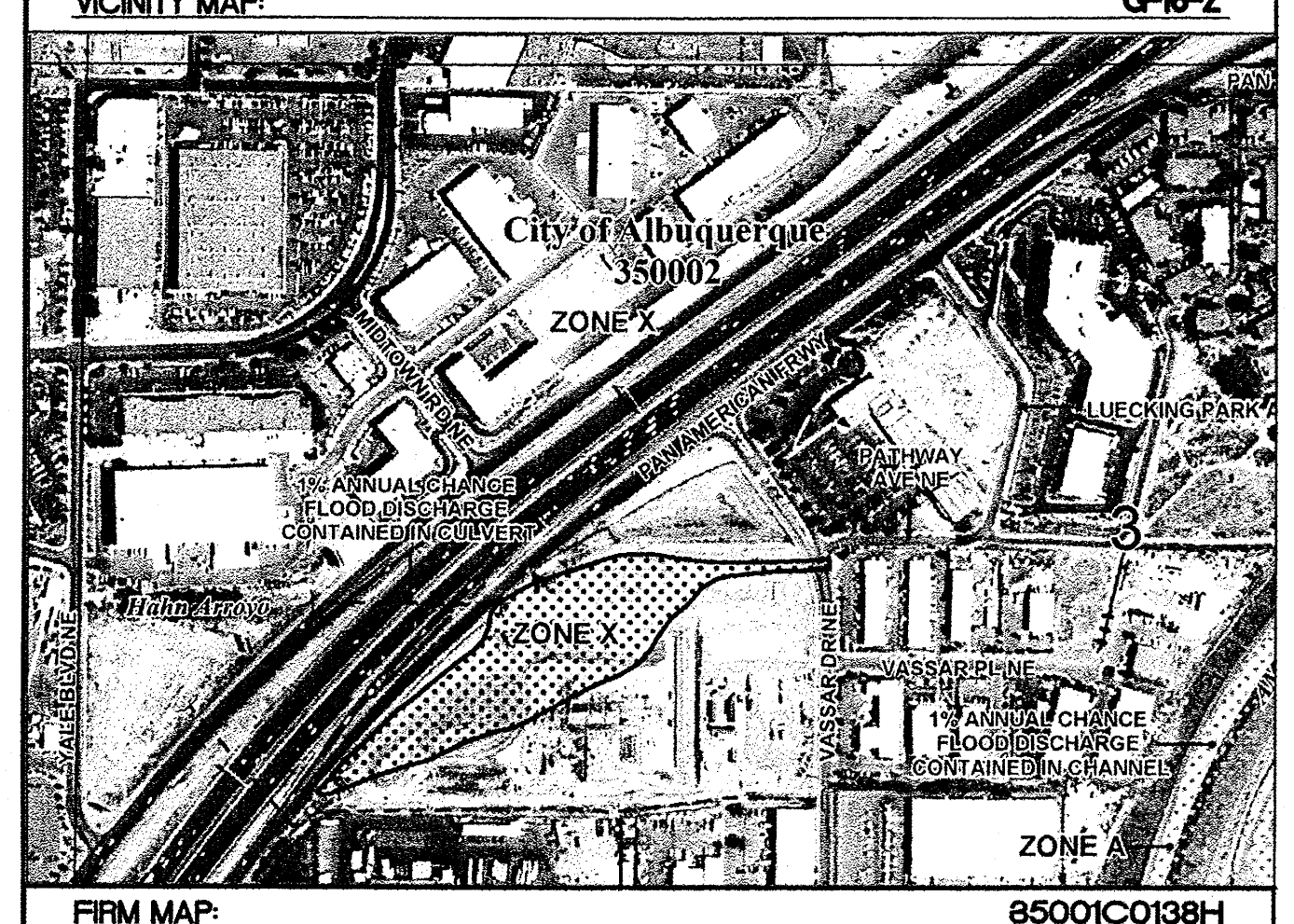
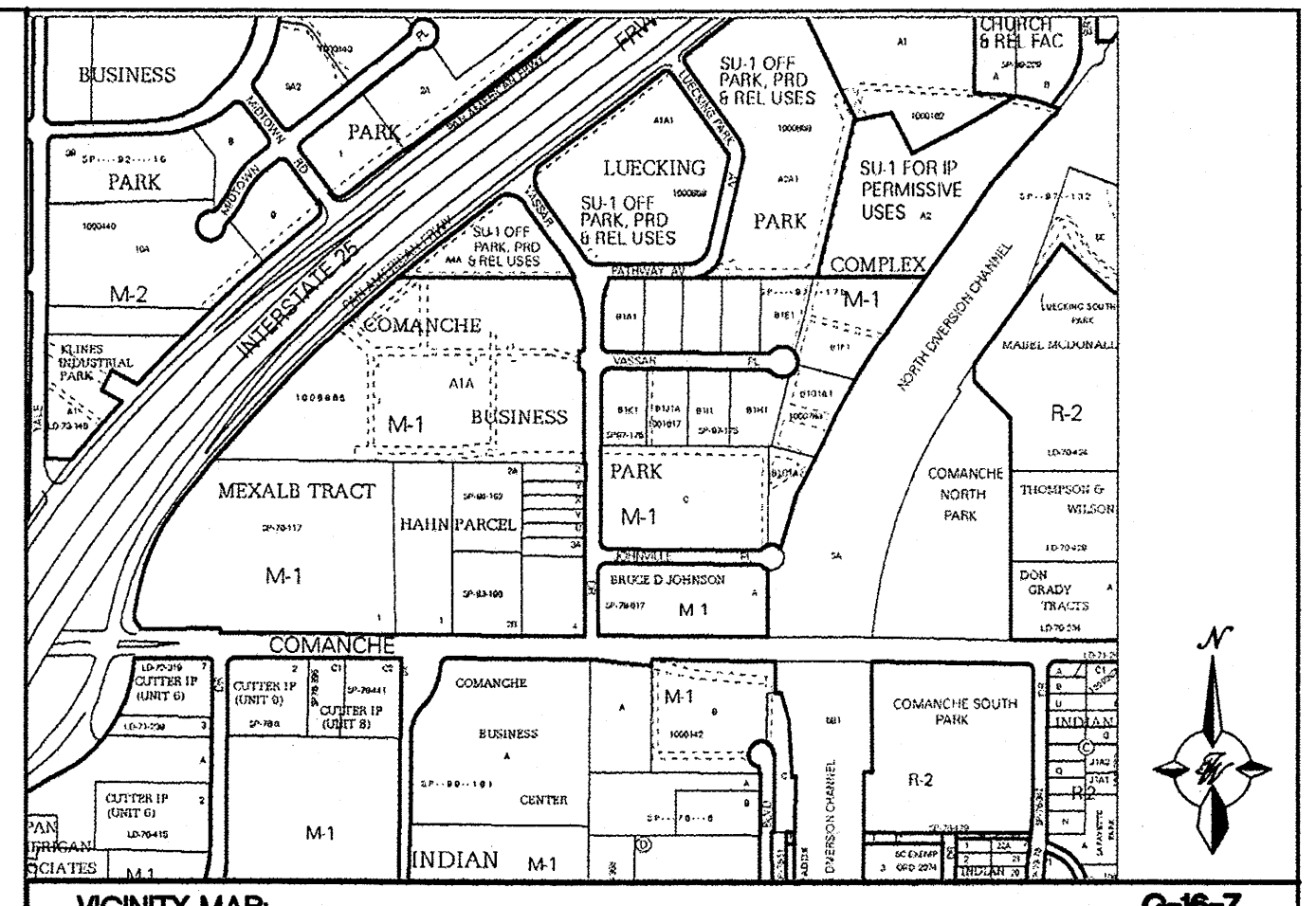
PLOT DATE - 10/04/2007

PROJECT: 1006865
 DATE: 4-22-15
 APP: 15-70137
 15-70137
 15-70144

GRADING PLAN



LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	x 5048.25 EXISTING SPOT ELEVATION



PROPOSED SITE DRAINAGE

THIS SITE WILL BE DEVELOPED WITH AN ENTERTAINMENT/RESTAURANT BUILDING ON THE PAD ALONG VASSAR DRIVE AND A FUTURE RESTAURANT PAD SITE ALONG THE PAN AMERICAN FREEWAY. THE TEMPORARY RETENTION POND WILL BE ELIMINATED AND THE EXISTING 42-INCH PUBLIC STORM SEWER WILL BE REROUTED AND CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER DEVELOPMENT (G16/D145). THE SITE WILL UTILIZE LOW IMPACT DEVELOPMENT (LID) WHERE POSSIBLE ALLOWING SURFACE STORM WATER TO FLOW THROUGH LANDSCAPED AREAS PRIOR TO DISCHARGING TO THE STORM SEWER. THERE ARE SEVEN PROPOSED BASINS AS SHOWN ON THE PROPOSED BASIN MAP ON SHEET C6.

BASIN A CONSISTS OF THE BUILDING WITH ALL OF THE ROOF DRAINAGE FLOWING TO THE BACK OF THE BUILDING AND CONVEYED TO THE PARKING LOT VIA EXTERNAL ROOF DRAINS. THESE FLOWS ALONG WITH THE PARKING LOT FLOWS WILL DRAIN TO A LANDSCAPED PONDING AREA WITH A STAND PIPE SO THAT TRASH AND SEDIMENT CAN BE CAPTURED PRIOR TO THE STORM WATER ENTERING A STORM SEWER SYSTEM. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 8.62 CFS.

BASIN B CONSISTS OF THE SOUTHWEST PARKING LOT WHERE SURFACE STORM WATER WILL BE ROUTED THROUGH LANDSCAPING PRIOR TO DISCHARGING TO A DROP INLET AT A 100-YEAR PEAK FLOW OF 5.11 CFS.

BASIN C CONSISTS OF THE MAIN DRIVE AISLE INTO THE SITE AND PART OF THE FUTURE RESTAURANT PAD. THIS BASIN WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.54 CFS THAT WILL DISCHARGE INTO A DROP INLET.

BASIN D CONSISTS OF A PORTION OF THE FUTURE RESTAURANT PAD AND WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.46 CFS WHICH DISCHARGES INTO A DROP INLET.

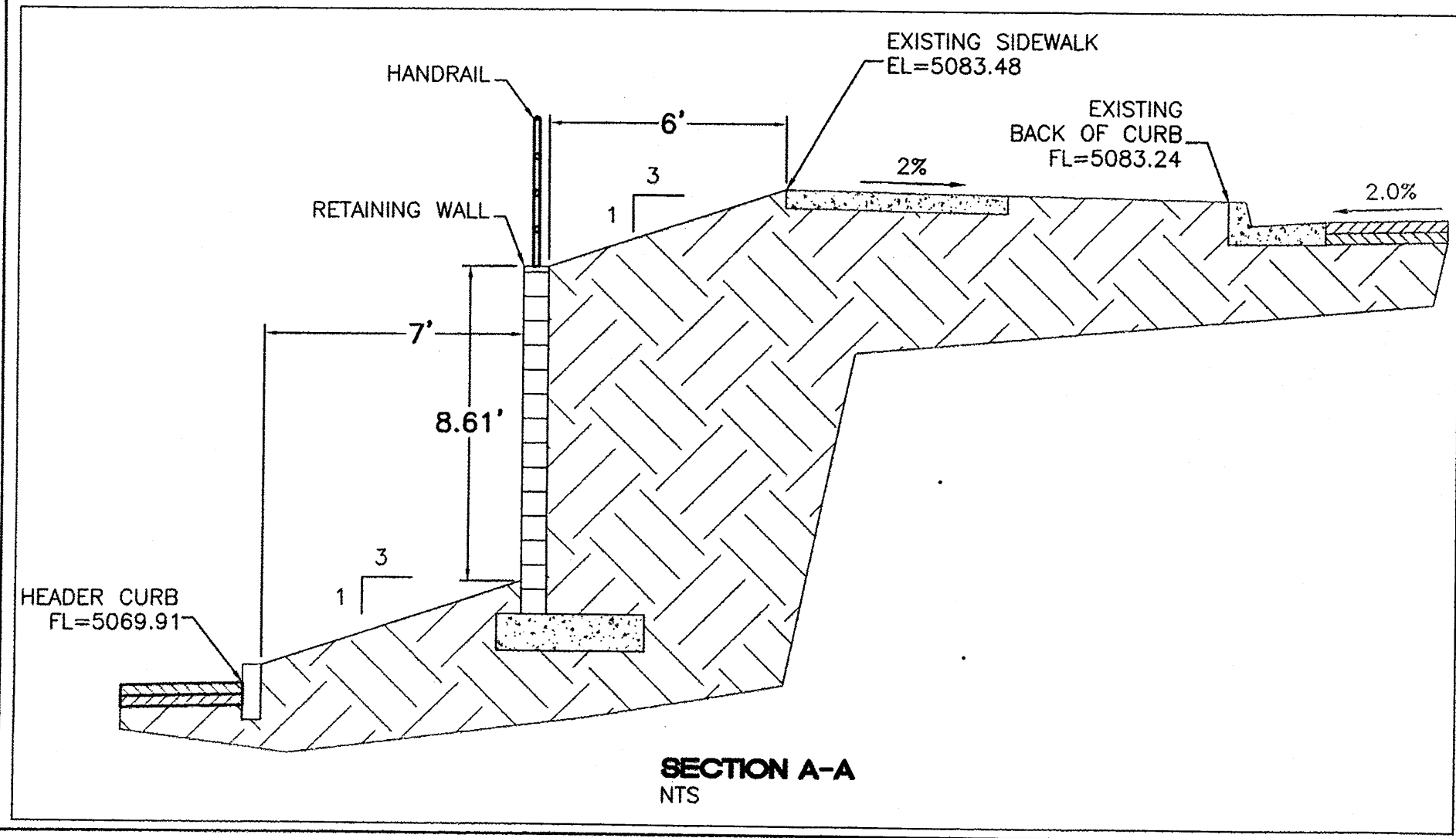
BASIN E CONSISTS OF A PARKING LOT WHERE THE TEMPORARY RETENTION POND IS BEING RECLAIMED. AN EXISTING 42-INCH PUBLIC STORM SEWER (93.4 CFS) ENTERS THIS BASIN FROM THE WEST AND WILL BE REALIGNED TO THE NORTH TO INTERCEPT AN EXISTING PUBLIC 24-INCH STORM SEWER (24.5 CFS) THAT ENTERS THE SITE FROM THE NORTH. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 3.45 CFS AND DISCHARGE TO A DROP INLET CONNECTED TO THE 42-INCH STORM SEWER.

BASIN F CONSISTS OF A PARKING LOT GENERATING A 100-YEAR PEAK FLOW OF 3.44 CFS WHICH DISCHARGES TO A DROP INLET.

BASIN G CONSISTS OF A PARKING LOT AND THE REMAINING PORTION OF THE FUTURE RESTAURANT PAD. THE REALIGNED 42-INCH PUBLIC STORM SEWER WILL BE CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER THAT WAS DESIGNED TO CONTAIN ALL OF THE DEVELOPED FLOW FROM THIS PROPERTY AS WELL AS FROM THE PATHWAY OFFICE PARK. THIS BASIN GENERATES A 100-YEAR PEAK FLOW OF 6.25 CFS.

ALL OF THE STORM SEWER CONSTRUCTED WITH THIS PROJECT WILL BE CONNECTED TO AN EXISTING 48-INCH STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER PROJECT. THE PREVIOUSLY APPROVED DRAINAGE REPORT FOR CARPENTERS CENTER ESTIMATED A TOTAL DEVELOPED DISCHARGE THROUGH THAT PIPE OF 159.55 CFS. THIS PROJECT WILL GENERATE A TOTAL DEVELOPED 100-YEAR FLOW OF 29.88 CFS AND COMBINED WITH THE 117.9 CFS FROM THE PATHWAY OFFICE PARK DEVELOPMENT WILL DISCHARGE A 100-YEAR FLOW OF 147.79 CFS WHICH IS LESS THAN THE 159.55 CFS PREVIOUSLY APPROVED.

SINCE STORM WATER IS BEING CAPTURED IN THE LANDSCAPE ISLANDS AND THE DEVELOPED FLOW FROM THIS PROJECT WAS INCLUDED IN THE DESIGN OF THE REGIONAL GRIEGOS POND CONSTRUCTED WITH SAD 216 THIS SITE MEETS THE CURRENT CITY DRAINAGE ORDINANCE.



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

EXISTING SITE DRAINAGE

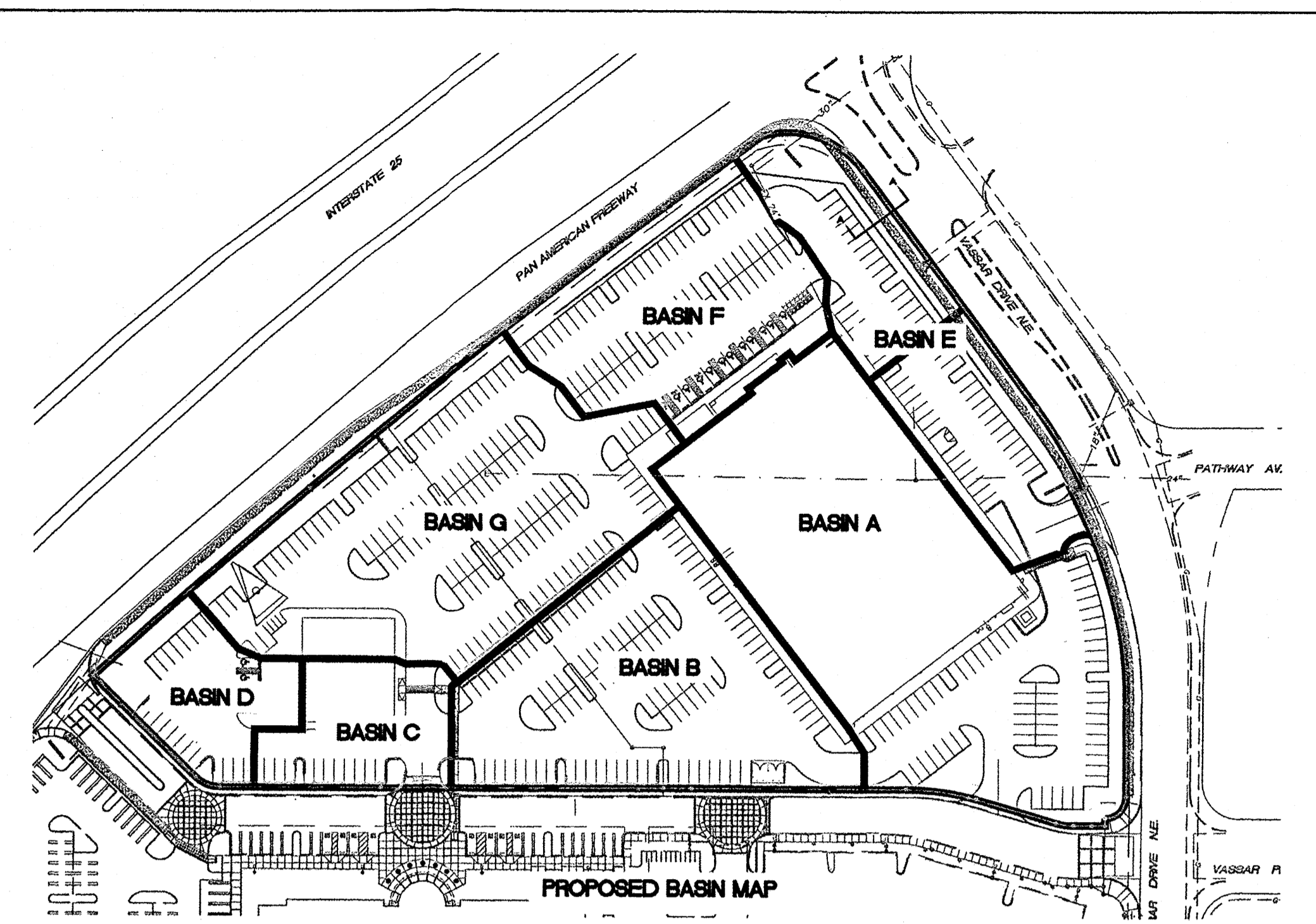
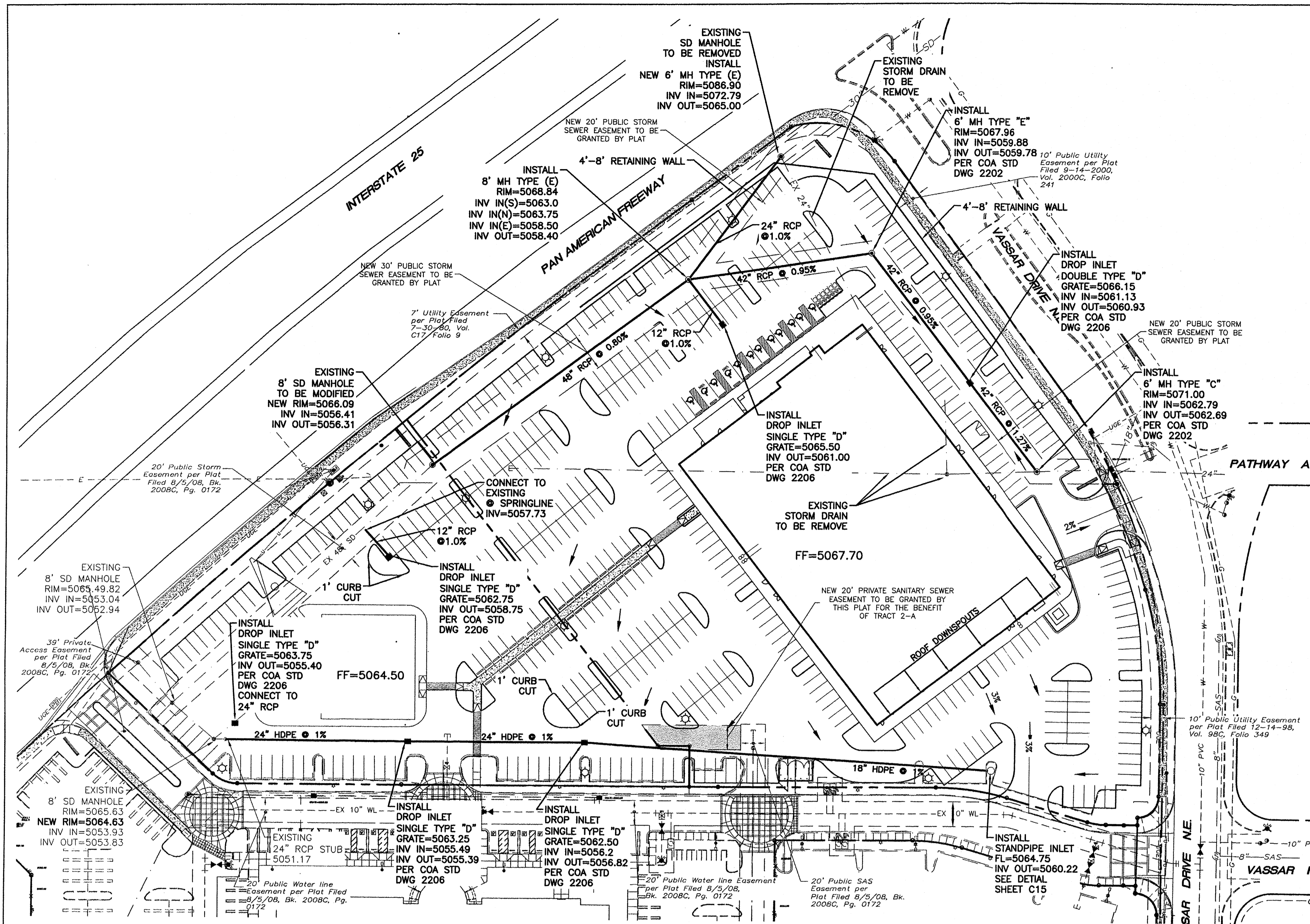
THE 6.82 ACRE SITE IS LOCATED AT THE SOUTHEAST CORNER OF PAN AMERICAN FREEWAY AND VASSAR DRIVE NE. THE SITE IS BOUNDED ON THE NORTH AND WEST BY PAN AMERICAN FREEWAY, ON THE EAST BY VASSAR DRIVE NE AND ON THE SOUTH BY AN INDUSTRIAL/MANUFACTURING DEVELOPMENT.

THE SITE IS CURRENTLY VACANT WITH ONE THIRD OF THE PROPERTY BEING A TEMPORARY RETENTION POND FOR THE PATHWAY OFFICE PARK (G16/D114) AND THE REMAINING TWO THIRDS DRAINING FROM EAST TO WEST TO A TEMPORARY DESILTING POND AND STORM SEWER INLET WHERE THE WATER IS THEN CONVEYED BY STORM SEWER AND OPEN CHANNEL TO THE GRIEGOS POND THAT WAS CONSTRUCTED WITH SAD 216.

THERE ARE OFF-SITE FLOWS ENTERING THE POND AS PART OF THE PATHWAY OFFICE PARK DEVELOPMENT AS WELL AS MINIMAL FLOWS FROM THE PAN AMERICAN FREEWAY. THIS SITE IS LOCATED IN A SHADED "X" ZONE AS SHOWN ON FIRM MAP #35001C0138H.

BASED ON THE APPROVED DRAINAGE REPORT FOR THE CARPENTERS TRAINING CENTER (G16/D145) THIS PROJECT MAY DISCHARGE A TOTAL OF 161 CFS WHICH TAKES INTO ACCOUNT ALL OF THE STORM WATER ENTERING THE TEMPORARY RETENTION POND.

	MAIN EVENT	DRAWN BY
	PAN AM FREEWAY AND VASSAR AV.	BJF
	GRADING PLAN	DATE
		02/26/15
		2015015-GRB
		SHEET #
		C5
		JOB #
		2015015



Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	42	1.27	9.62	0.875	113.69	93.40	9.71
2	42	0.95	9.62	0.875	98.33	96.87	10.07
3	42	0.95	9.62	0.875	98.33	96.87	10.07
4	24	1.25	3.14	0.500	25.36	24.50	7.80
5	12	1.00	0.79	0.250	3.57	3.44	4.38
6	48	0.80	12.57	1.000	128.82	124.81	9.93
7	48	1.17	12.57	1.000	155.79	124.81	9.93
8	12	3.40	0.79	0.250	6.59	6.25	7.96
9	48	1.17	12.57	1.000	155.79	131.06	10.43
10	18	1.00	1.77	0.375	10.53	8.62	4.88
11	24	1.00	3.14	0.500	22.68	13.73	4.37
12	24	1.00	3.14	0.500	22.68	15.27	4.86
13	24	6.97	3.14	0.500	59.89	1.46	0.46
14	24	1.98	3.14	0.500	31.92	16.73	5.33
15	48	2.65	12.57	1.000	234.46	147.79	11.76

Manning's Equation:
 $Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$
 A = Area
 R = D/4
 S = Slope
 n = 0.013

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - RETAINING WALL
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE

Weighted E Method

On-Site Basins

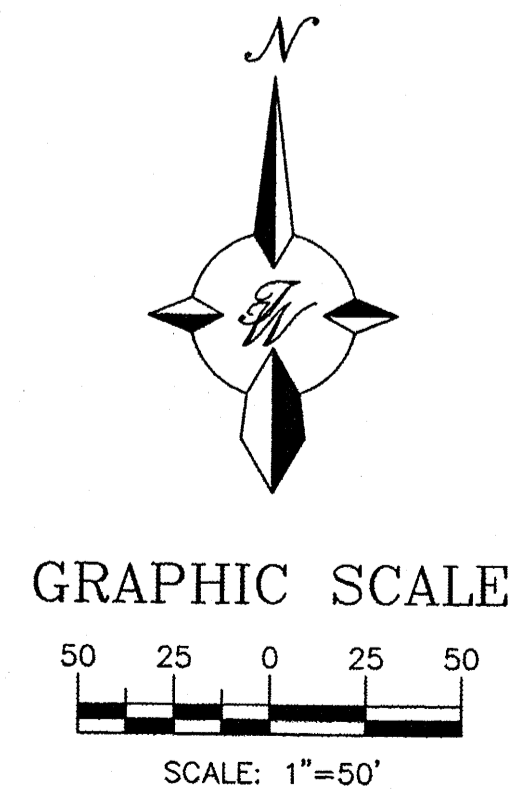
Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs						
A	83,352	1.91	0%	0	8%	0.15	0%	0.00	82%	1.76	2.013	0.321	8.62	1.255	0.200	5.67								
B	49,888	1.15	0%	0	10%	0.11	0%	0.00	90%	1.03	1.986	0.190	5.11	1.234	0.118	3.35								
C	14,756	0.34	0%	0	6%	0.02	0%	0.00	94%	0.32	2.040	0.058	1.54	1.276	0.036	1.02								
D	15,034	0.35	0%	0	19%	0.07	0%	0.00	81%	0.28	1.865	0.054	1.46	1.139	0.033	0.94								
E	36,072	0.83	0%	0	22%	0.18	0%	0.00	78%	0.65	1.825	0.126	3.45	1.107	0.076	2.20								
F	34,639	0.79	0%	0	15%	0.12	0%	0.00	85%	0.67	1.919	0.127	3.44	1.181	0.078	2.23								
G	63,131	1.45	0%	0	16%	0.23	0%	0.00	84%	1.22	1.906	0.230	6.25	1.170	0.141	4.04								
29.88																								

Equations:
 Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$
 Volume = Weighted E * Total Area
 Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

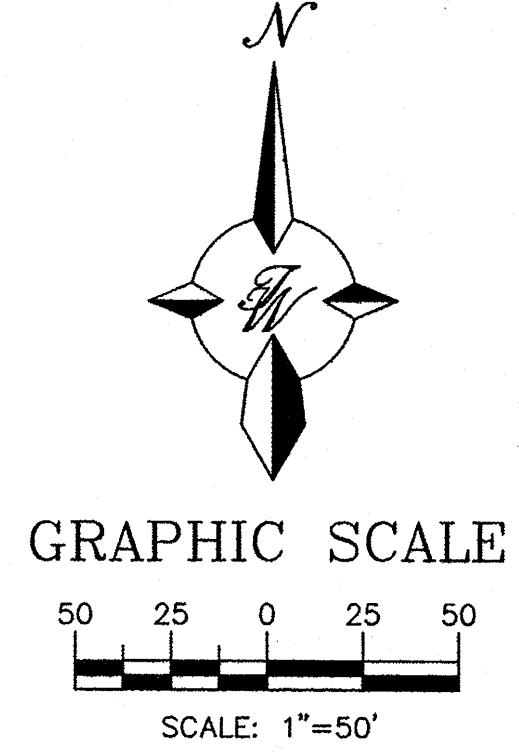
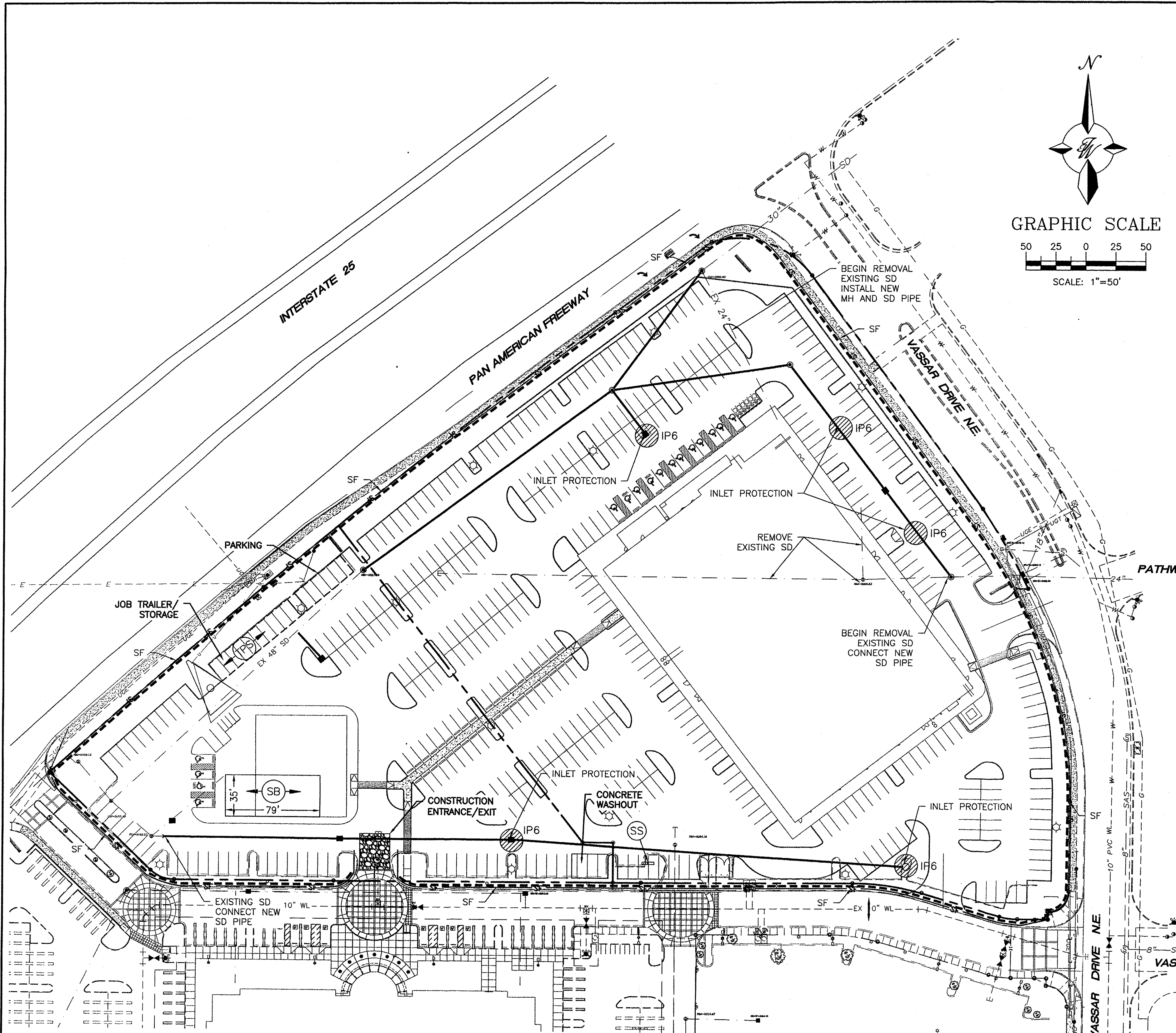
Zone 2	Excess Precipitation, E (inches)		Peak Discharge (cfs/acre)	
	100-Year	10-Year	100-Year	10-Year
E _a	0.53	0.13	1.56	0.38
E _b	0.78	0.28	2.28	0.95
E _c	1.13	0.52	3.14	1.71
E _d	2.12	1.34	4.70	3.14

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY B.J.F. DATE 02/26/15
	DRAINAGE PLAN	SHEET # C6
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		JOB # 2015015



GENERAL EROSION NOTES

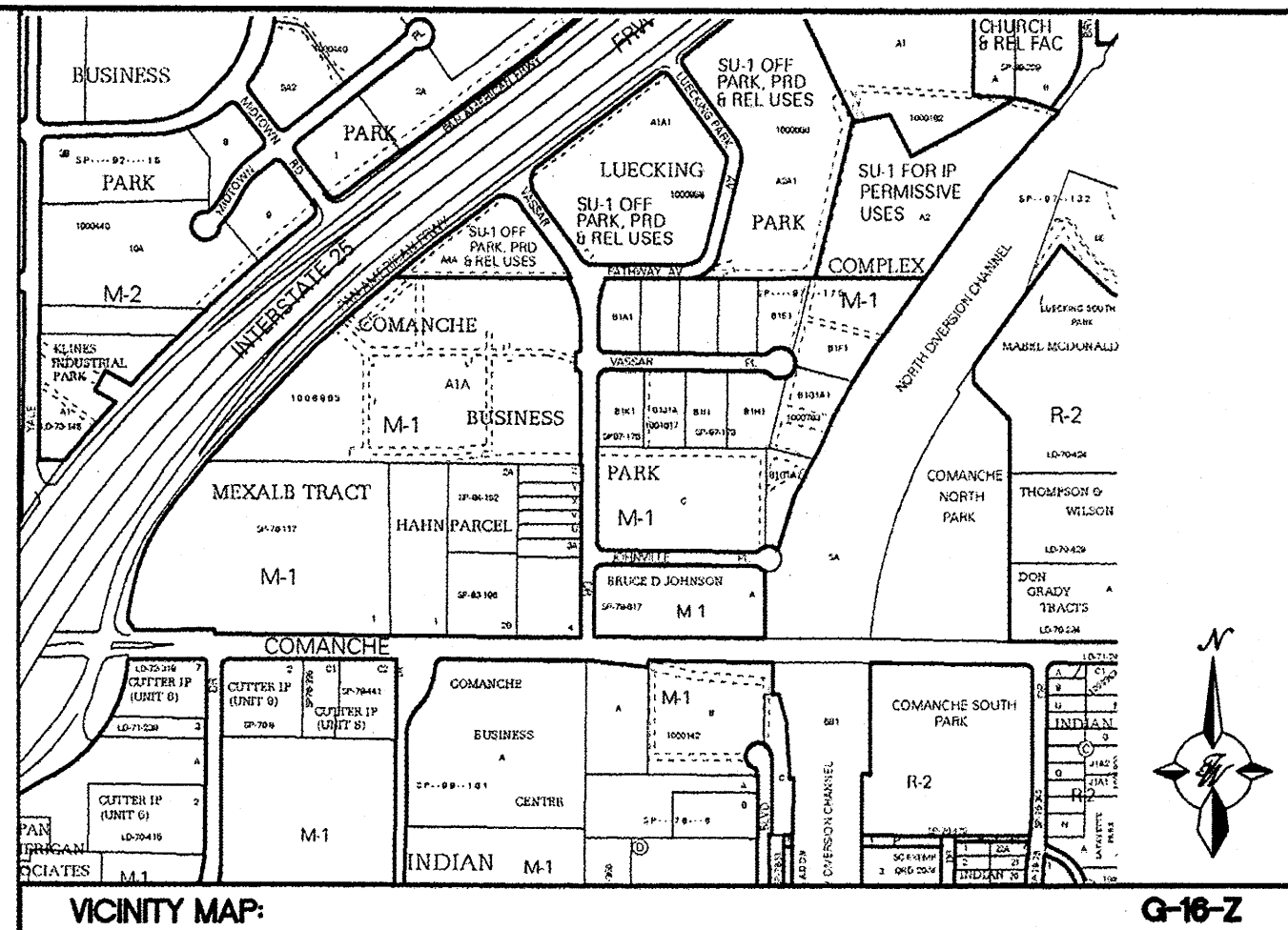
- A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW MEXICO NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. DUST ON THE SITE SHALL BE CONTROLLED THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. PROVIDE ADEQUATE TEMPORARY IRRIGATION FOR GERMINATION.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- R. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
- U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. CLEAR AND GRUB THE SITE.
6. UNDERCUT GRADE AS REQUIRED.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. FINISH GRADING THE SITE. RAISE GRADES TO INDUCE DRAINAGE TOWARD TEMPORARY SEDIMENT BASINS.
9. PROTECT LANDSCAPE DRAINS FROM SEDIMENT AFTER INSTALLATION.
10. STABILIZE GRADED AREAS UPON COMPLETION.

CAUTION:

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LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- - - - - LIMITS OF DISTURBANCE
- STORM DRAIN
- ▲ SILT DIKE DIVERSION

EROSION DETAILS

- CE TEMPORARY STONE CONSTRUCTION EXIT
- SF TEMPORARY SILT FENCE
- IP1 BLOCK AND AGGREGATE INLET SEDIMENT FILTER
- SB TEMPORARY SEDIMENT BASIN

EROSION NOTES

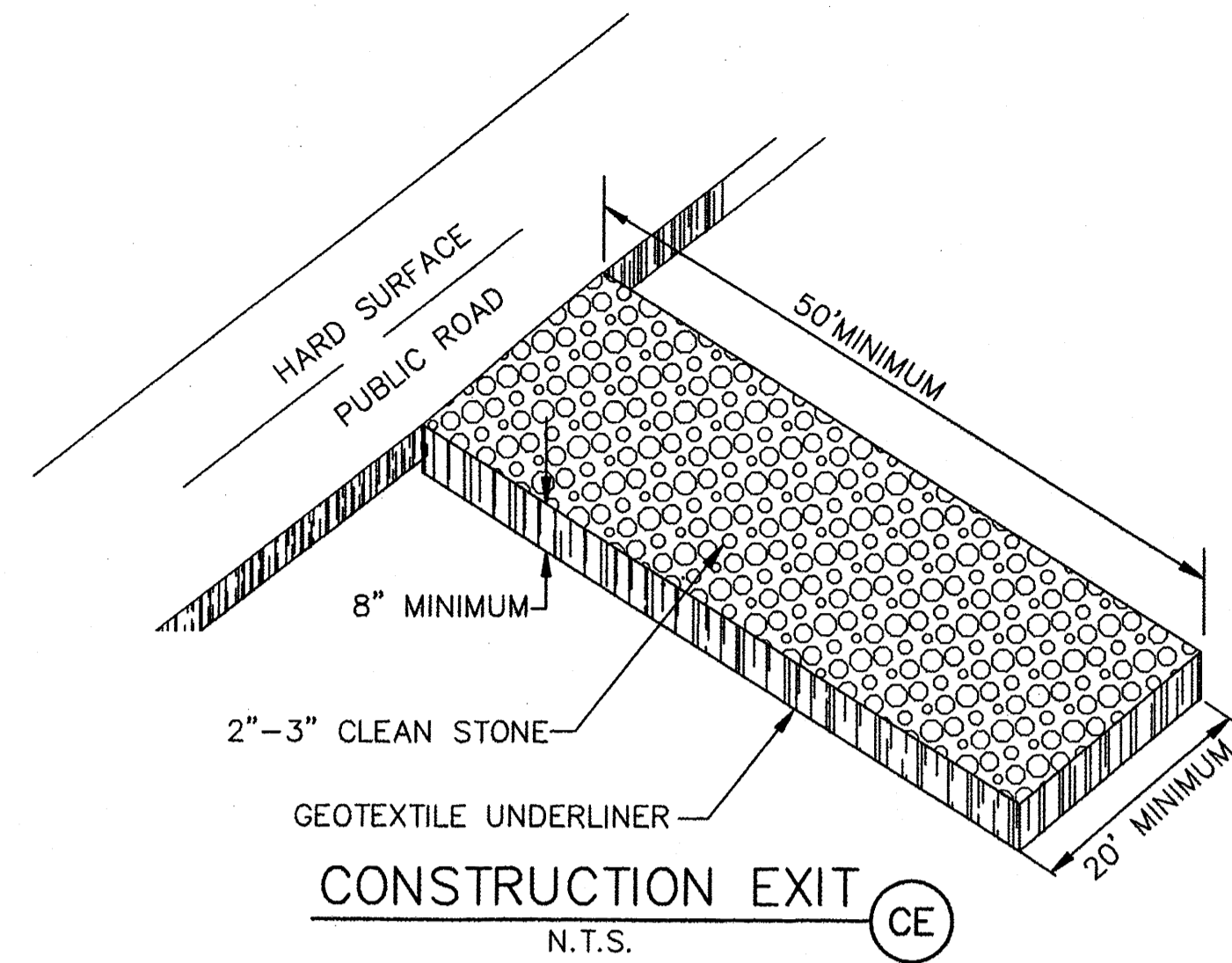
- TPS TEMPORARY PARKING AND STORAGE
- SS SWPPP INFORMATION SIGN
- SD SILT DIKE DIVERSION

MAINTENANCE

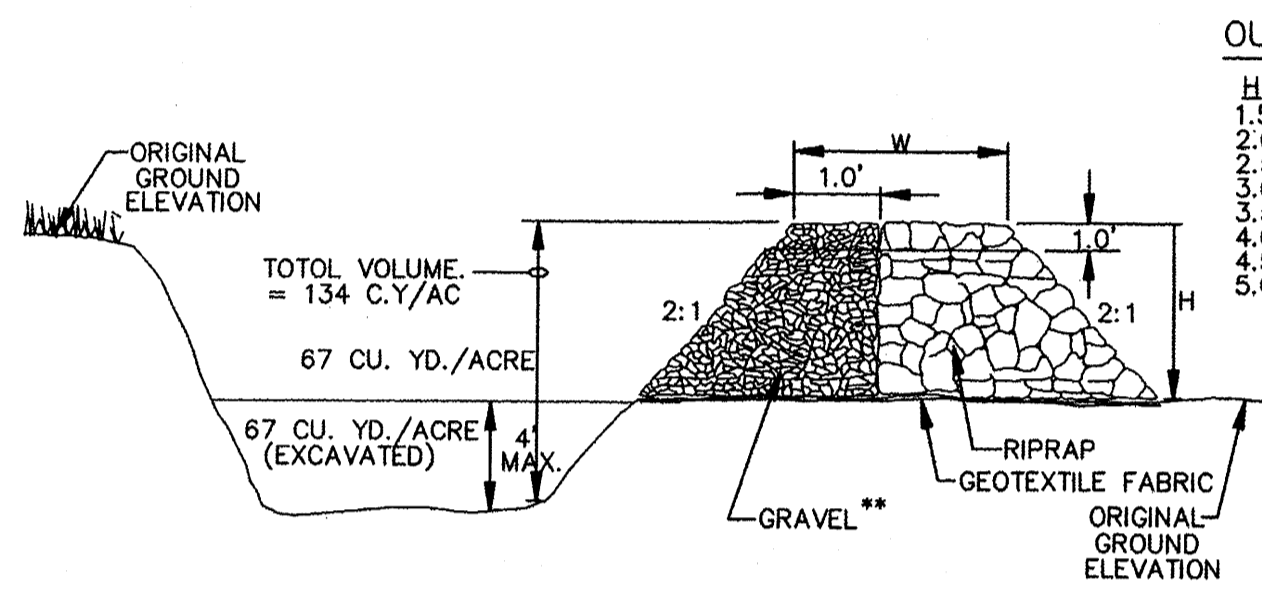
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY BJF
		PAN AM FREEWAY AND VASSAR AV.	DATE 03/23/15
		SEDIMENTATION AND EROSION CONTROL PLAN	2015015-SWPPP
		TERRA WEST, LLC	SHEET # EC-1
		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	JOB # 2015015
	JOEL D. HERNANDEZ P.E. #17893		

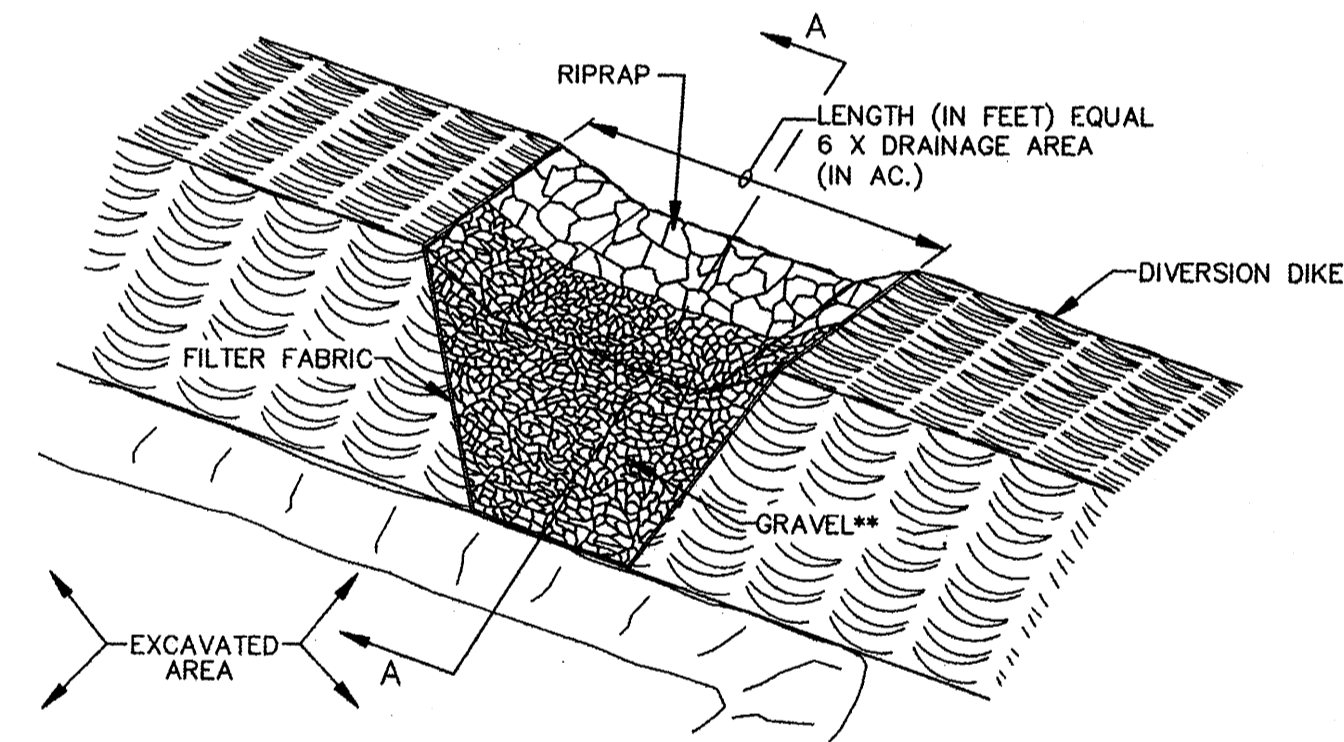


CONSTRUCTION EXIT
N.T.S. (CE)



SECTION A-A

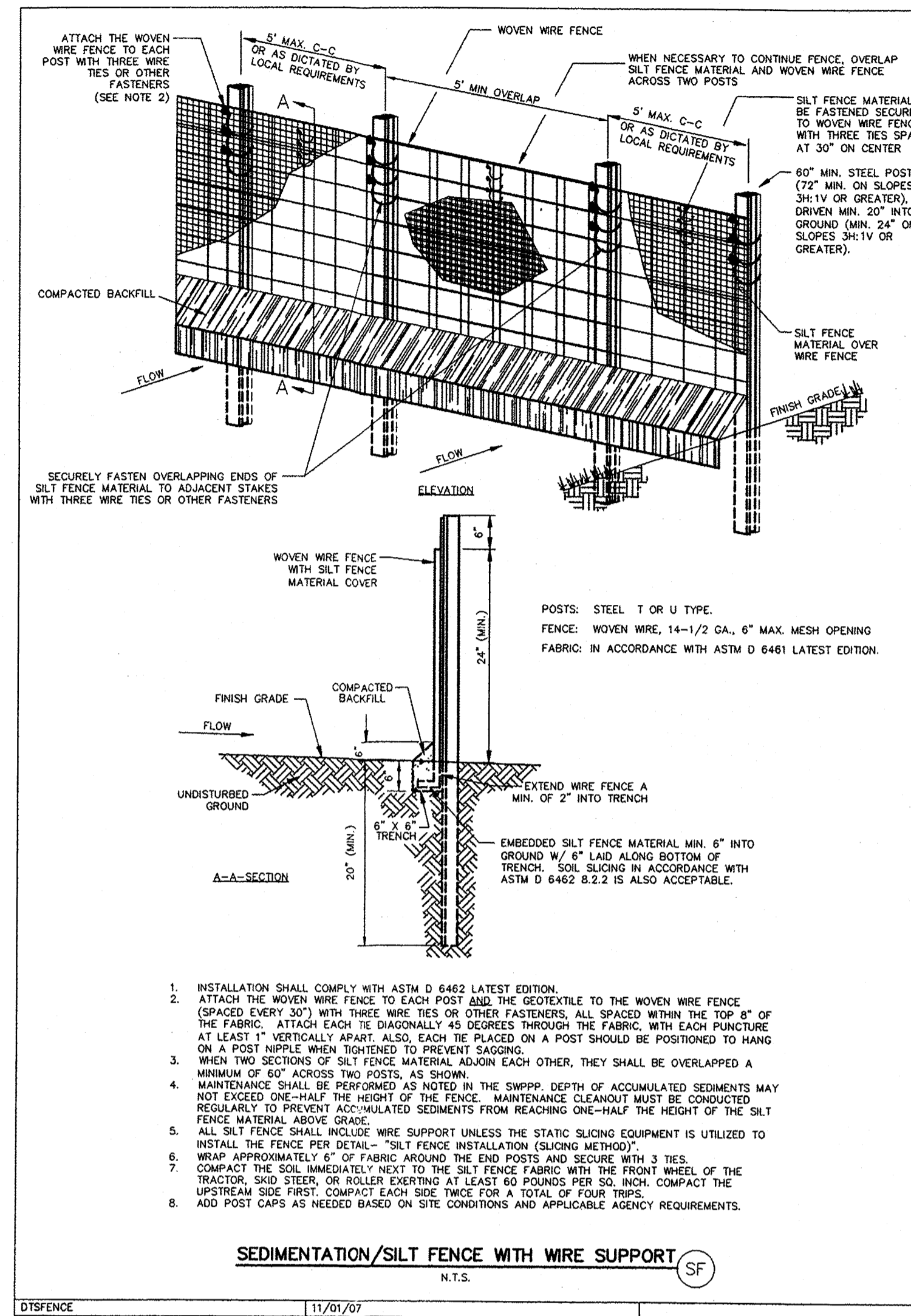
** GRAVEL SHALL BE 2"-3" CLEAN STONE



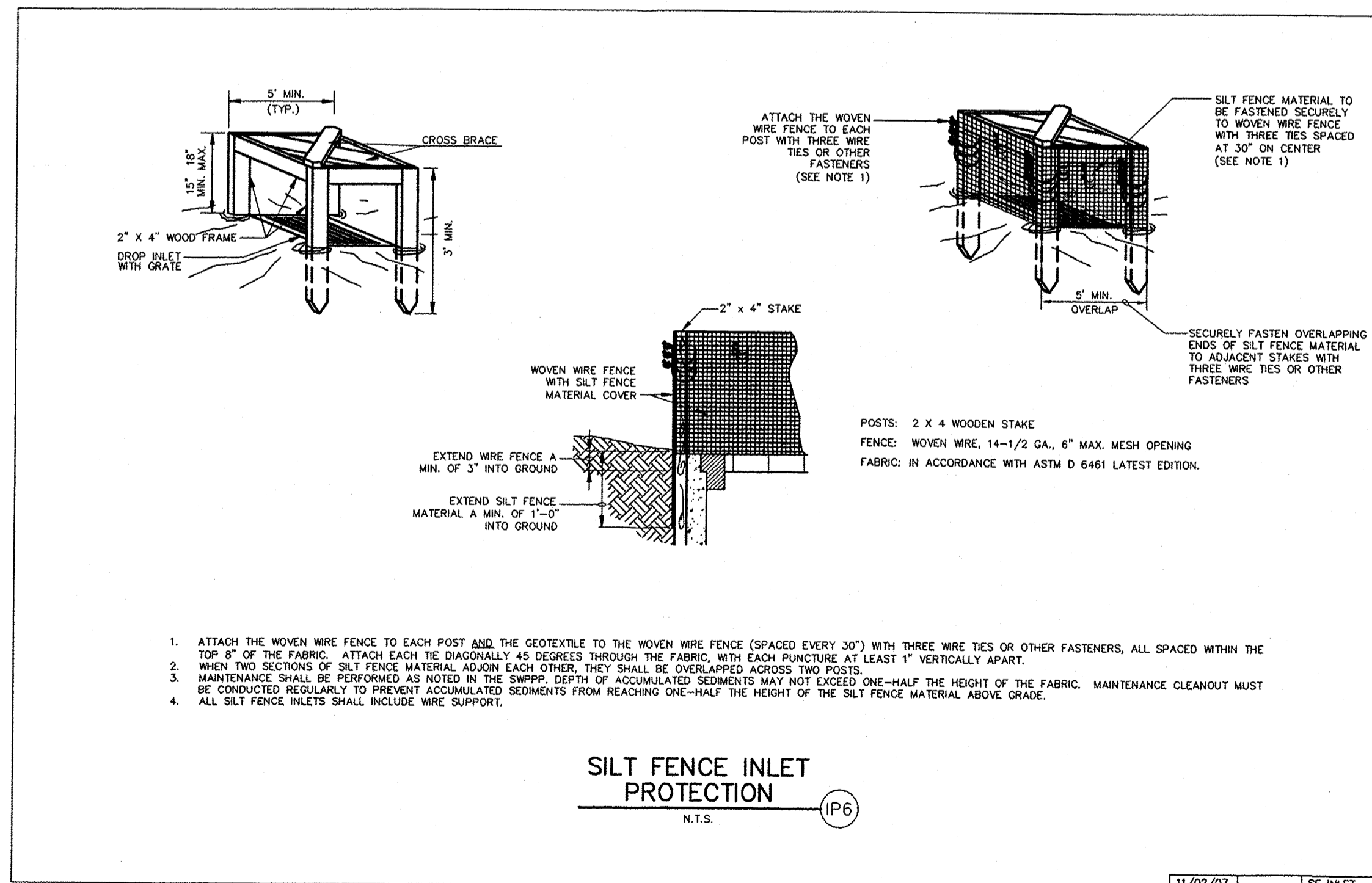
TEMPORARY SEDIMENT TRAP
N.T.S. (ST)

OUTLET DIM (FT.)

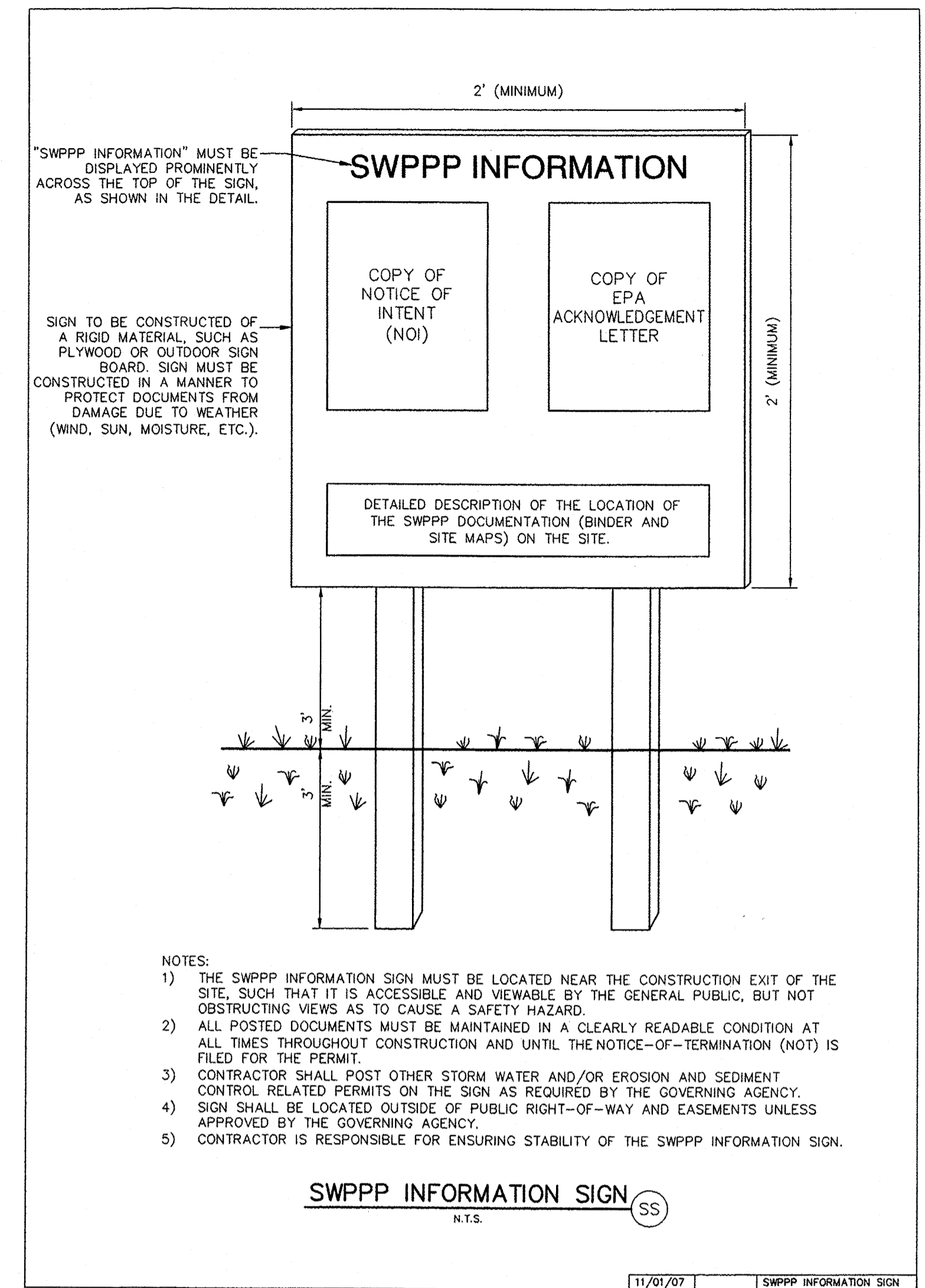
H	W
1.5	2.0
2.0	2.5
2.5	3.0
3.0	3.5
3.5	4.0
4.0	4.5
4.5	5.0
5.0	5.5
5.5	6.0
6.0	6.5
6.5	7.0
7.0	7.5
7.5	8.0
8.0	8.5
8.5	9.0
9.0	9.5
9.5	10.0



SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT
N.T.S. (SF)



SILT FENCE INLET PROTECTION
N.T.S. (IPG)

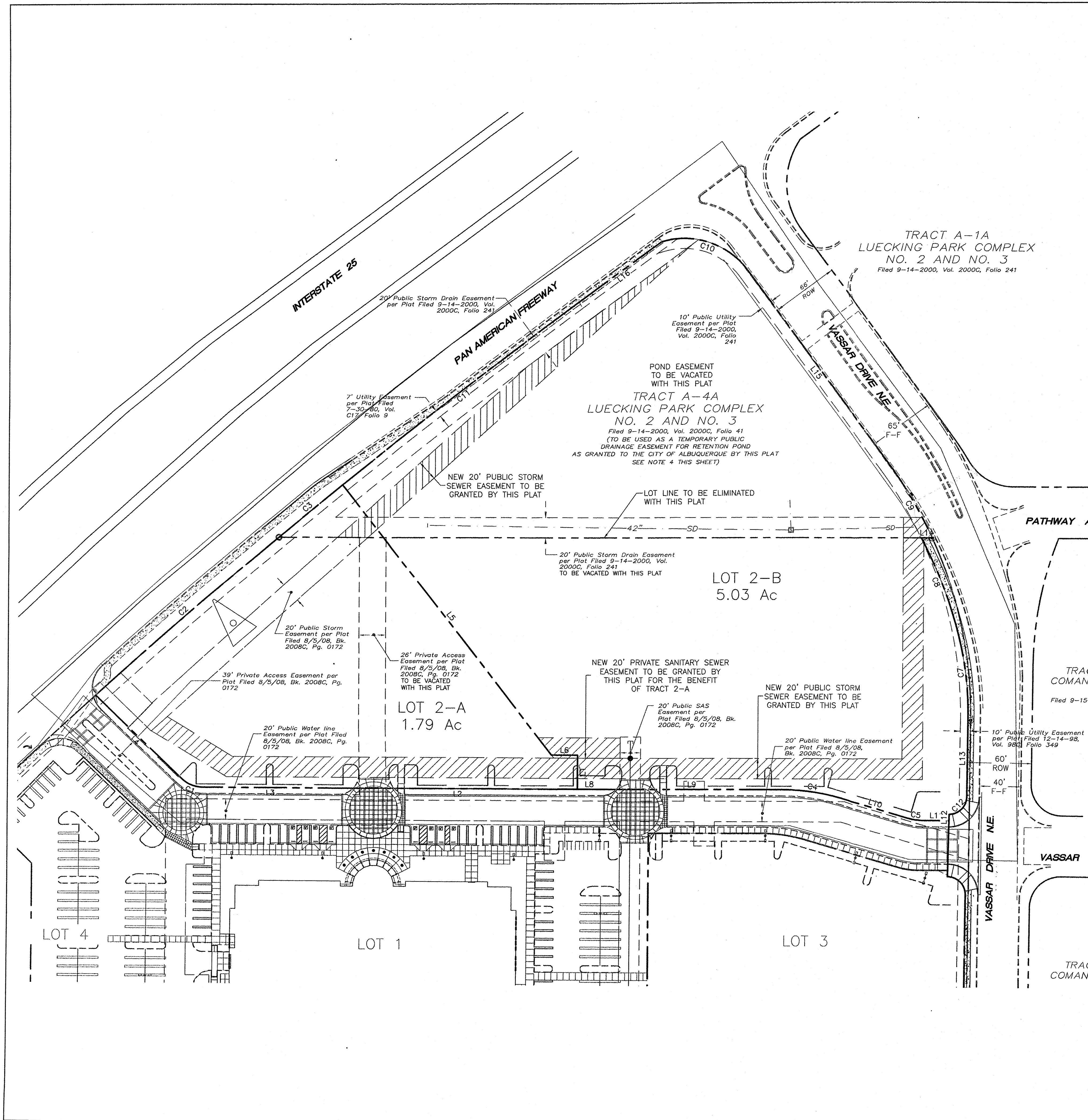


SWPPP INFORMATION SIGN
N.T.S. (SS)

- NOTES:
- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
 - 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

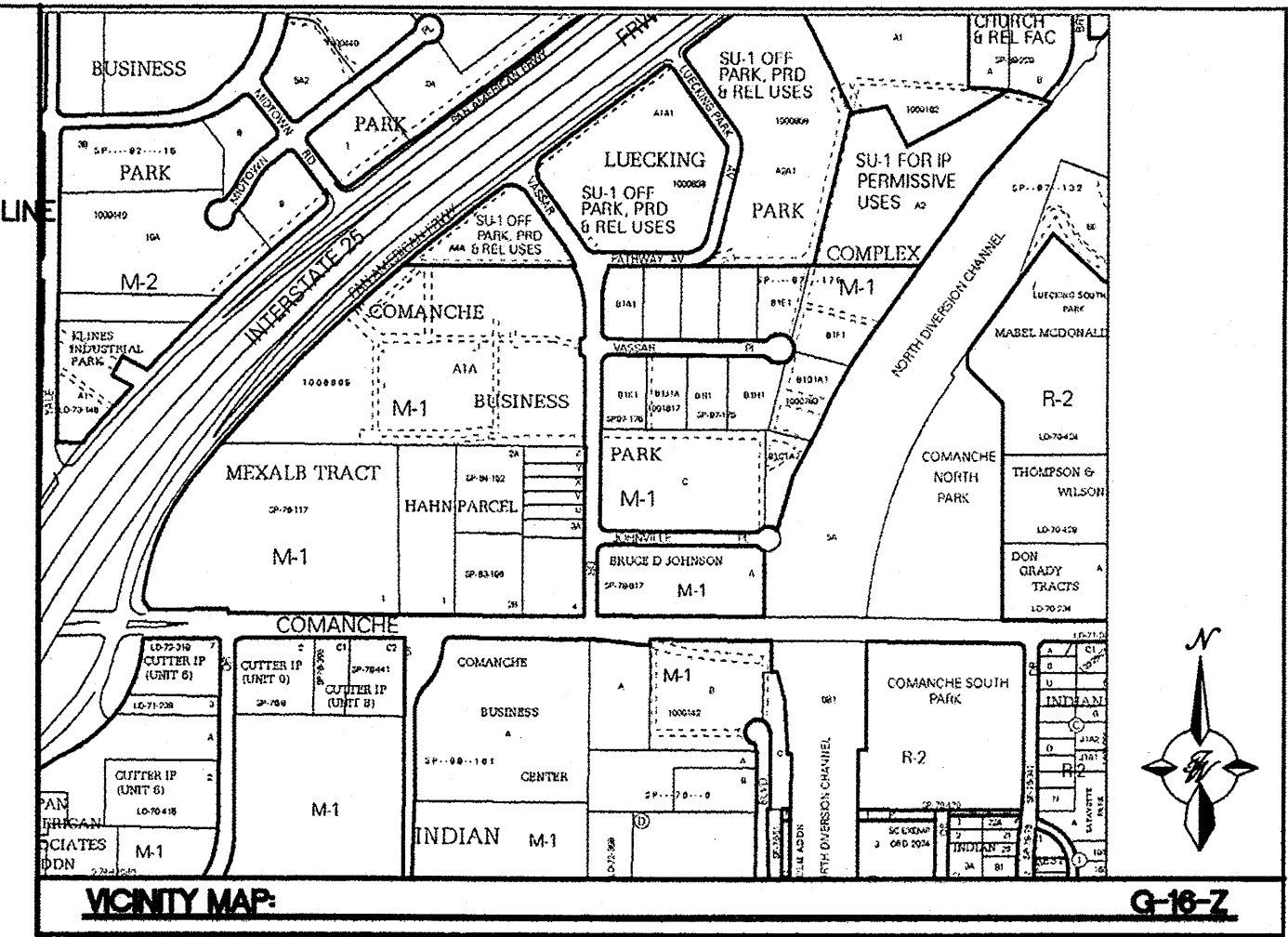
ENGINEER'S SEAL
RONALD R. BOHANNAN
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
17888
(505) 788-8151

MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY BJF
SEDIMENTATION AND EROSION CONTROL PLAN	DATE 03/23/15
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015015-SWPPP
	SHEET # EC-2
	JOB # 2015015



LEGEND

- =====
EXISTING CURB & GUTTER
- PROPOSED ROW/BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- =====
PROPOSED EASEMENTS



Line Table

Line #	Length	Direction
L1	33.485	S0° 00' 41.26"E
L2	233.494	S89° 59' 19.07"W
L3	133.060	N89° 57' 01.34"W
L4	118.302	N45° 59' 30.23"W
L5	335.069	S37° 48' 23.55"E
L6	25.547	N89° 59' 49.70"E
L8	23.489	N89° 59' 19.07"E
L9	176.485	N89° 59' 00.76"E
L10	68.235	S73° 47' 10.35"E
L11	25.530	N89° 56' 43.83"E
L12	6.139	N1° 12' 15.82"E
L13	75.047	N0° 28' 13.63"E
L14	10.643	N89° 54' 53.99"E
L15	241.710	N36° 24' 06.00"W
L16	99.710	S53° 35' 58.00"W

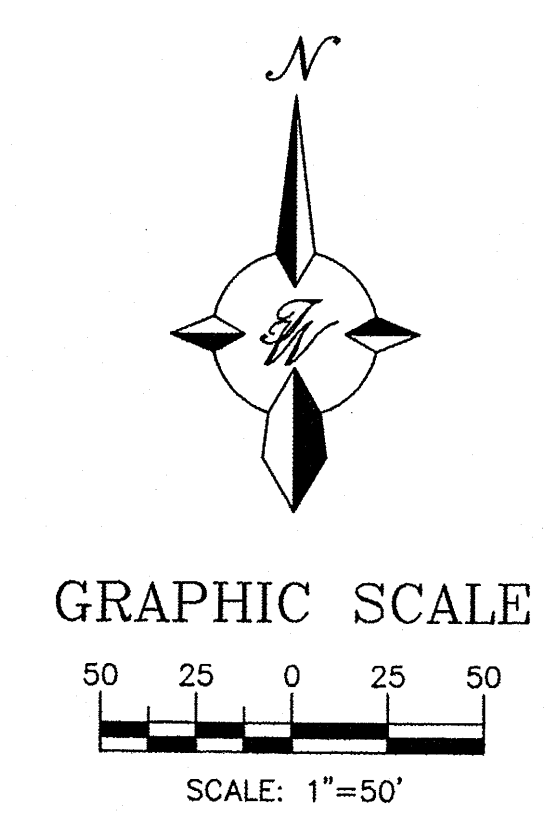
Curve Table

Curve #	Length	Radius	Delta
C1	21.842	28.499	43.9127
C2	237.139	5607.000	2.4232
C3	80.831	5681.290	0.8152
C4	58.475	206.503	16.2243
C5	15.150	53.500	16.2249
C7	94.112	314.399	17.1508
C8	92.189	432.989	12.1990
C9	77.002	414.946	10.6325
C10	94.280	77.000	70.1538
C11	291.924	5681.290	2.9441
C12	26.813	17.330	88.6486

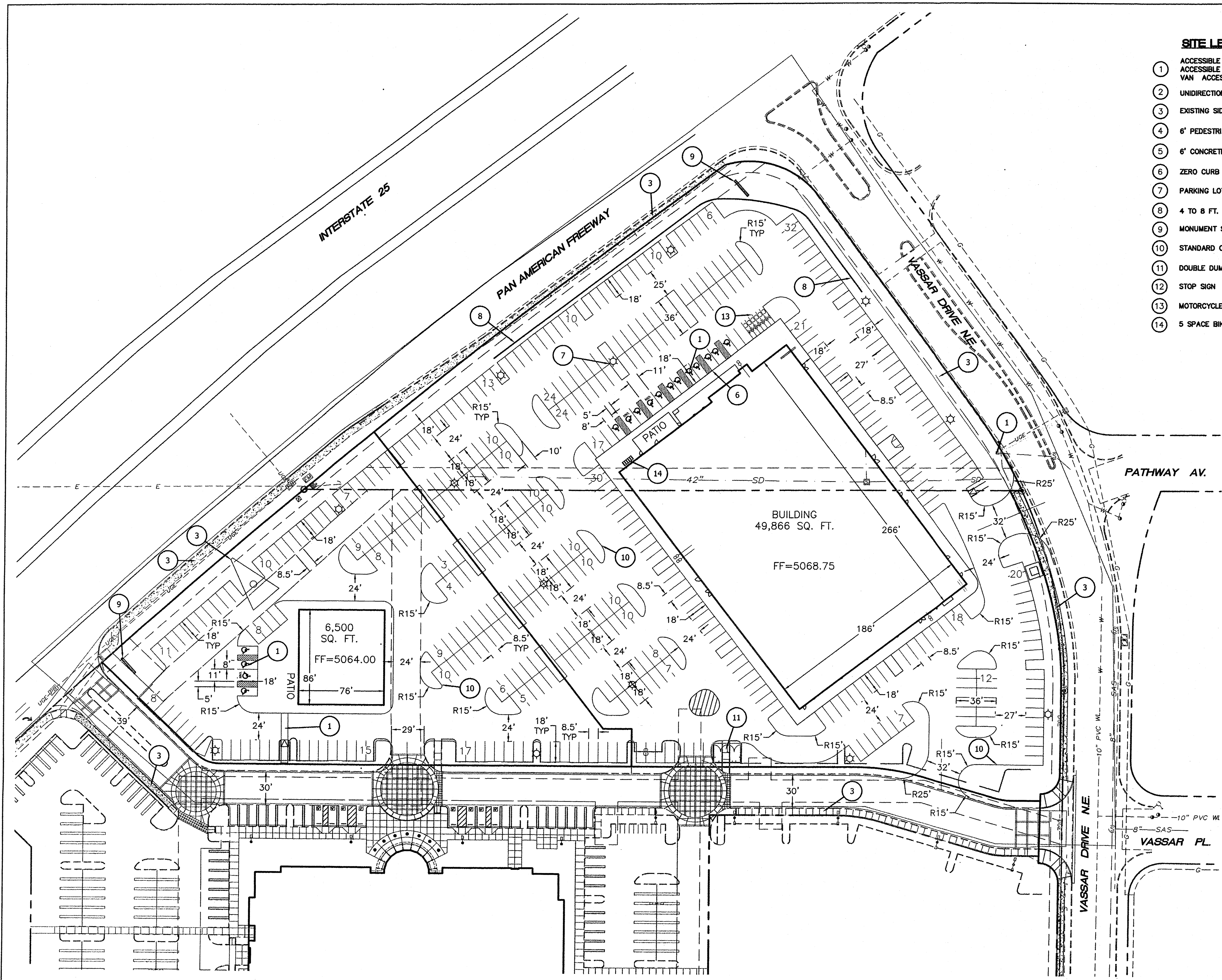
LEGAL DESCRIPTION:

1. ---
PROJECT: 1006865
DATE: 3-11-15 (SK)

- NOTES:**
1. PRIVATE COMMON PARKING, PEDESTRIAN, VEHICULAR ACCESS AND DRAINAGE EASEMENT ACROSS LOTS 1, 2-A, 2-B, 3 AND 4 FOR THE BENEFIT OF EACH TRACT, TO BE MAINTAINED BY THE OWNER OF EACH TRACT, GRANTED BY THIS PLAT
 2. ALL OF TRACT 4-4A TO BE A TEMPORARY PUBLIC DRAINAGE FOR RETENTION POND. EASEMENT CAN BE VACATED WHEN PERMANENT DOWNSTREAM IMPROVEMENTS HAVE BEEN CONSTRUCTED AND THE DRB HAS APPROVED THE VACATION REQUEST. (GRANTED BY THIS PLAT)

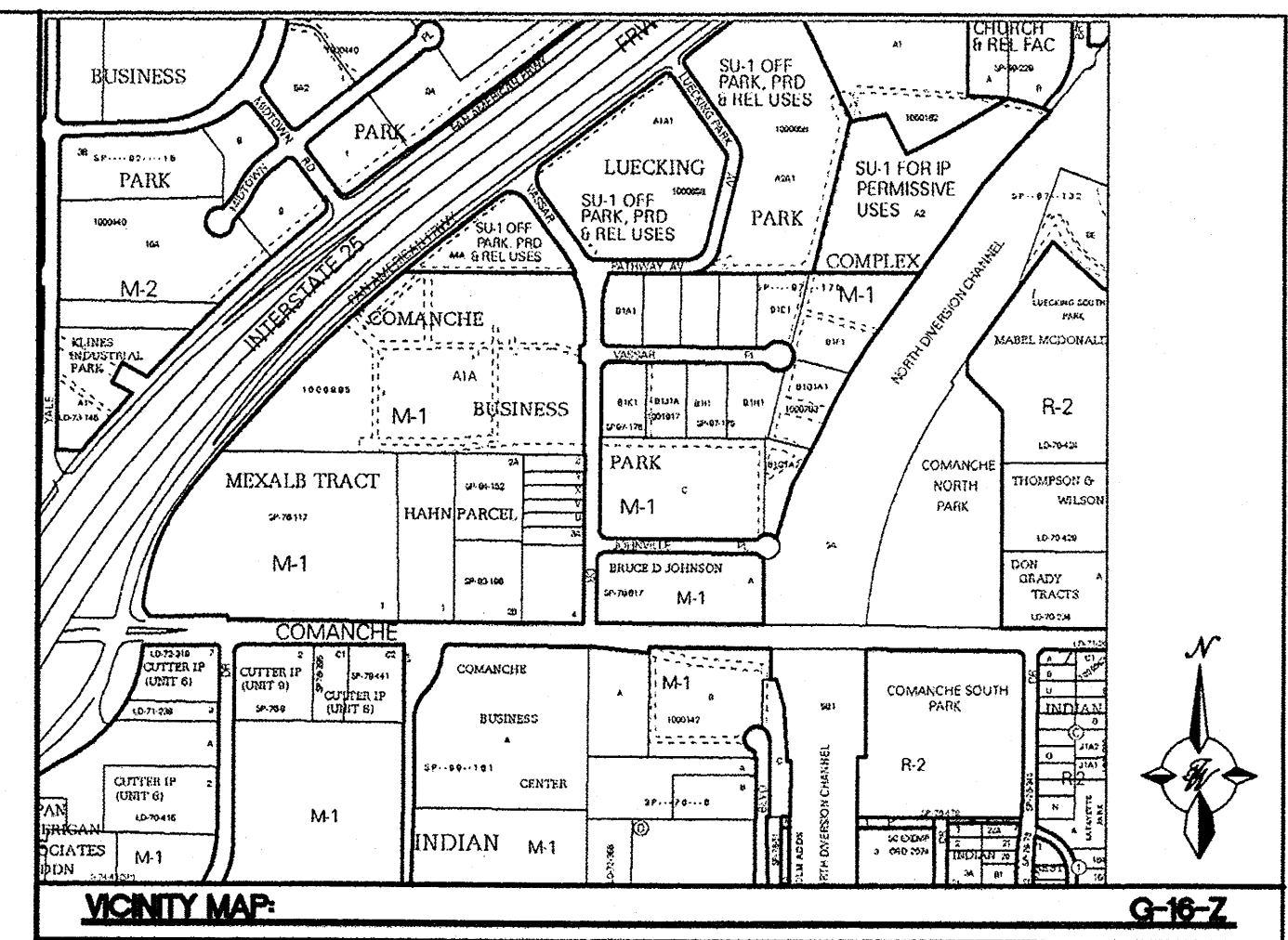


ENGINEER'S SEAL	PALIO SITE	DRAWN BY
	PAN AM FREEWAY AND VASSAR AV.	BJF
SKETCH PLAT	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DATE
		03/02/15
		2014103_SKETCH PLAT
		SHEET #
		C1
RONALD R. BOHANNAN P.E. #7868		JOB #
		2014103

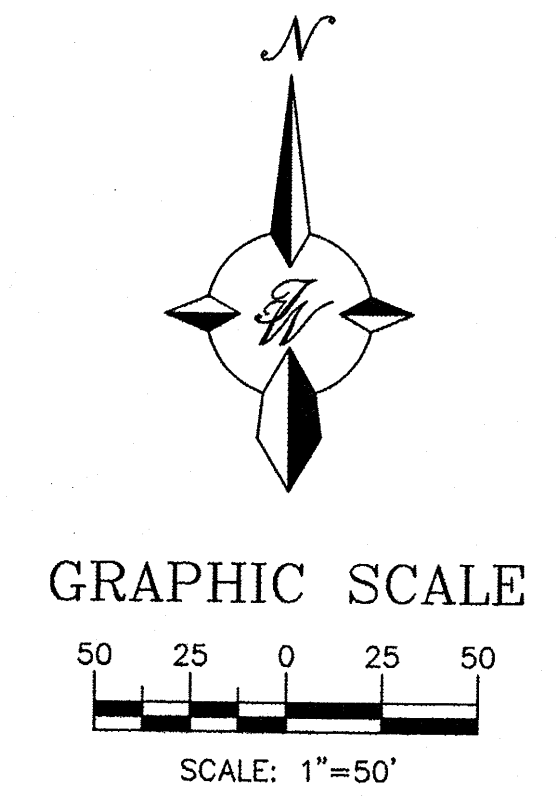


SITE LEGEND

- ① ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- ② UNIDIRECTIONAL HC RAMP. (SEE DETAIL SHEET C15)
- ③ EXISTING SIDEWALK
- ④ 6' PEDESTRIAN CROSSWALK.
- ⑤ 6' CONCRETE SIDEWALK TYPICAL
- ⑥ ZERO CURB
- ⑦ PARKING LOT LIGHTING.
- ⑧ 4 TO 8 FT. RETAINING WALL TYPICAL.
- ⑨ MONUMENT SIGN
- ⑩ STANDARD CURB AND GUTTER
- ⑪ DOUBLE DUMPSTER
- ⑫ STOP SIGN
- ⑬ MOTORCYCLE PARKING
- ⑭ 5 SPACE BIKE RACK TYPICAL.



- LEGEND**
- | | |
|--------------------------|----------------------------------|
| — Curb & Gutter | - - - - - EXISTING CURB & GUTTER |
| — Boundary Line | - - - - - EXISTING BOUNDARY LINE |
| - - - - - EASEMENT | - - - - - EXISTING SIDEWALK |
| - - - - - CENTERLINE | - - - - - EXISTING LANE |
| — RIGHT-OF-WAY | - - - - - EXISTING STRIPING |
| — BUILDING | |
| - - - - - SIDEWALK | |
| - - - - - SCREEN WALL | |
| - - - - - RETAINING WALL | |
| ☼ STREET LIGHTS | |
| - - - - - LANE | |
| - - - - - STRIPING | |



ENGINEER'S SEAL	PALIO SITE	DRAWN BY
	PAN AM FREEWAY AND VASSAR AV.	BJF
CONCEPTUAL SITE PLAN		DATE
		02/23/15
		2014103_CONCEPTUAL SITE PLAN
		SHEET #
		C2
		JOB #
		2014103
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		
RONALD R. BOHANNAN P.E. #7868		