

- SITE LEGEND**
- 1 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
 - 2 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHEET C16)
 - 3 6' EXISTING SIDEWALK
 - 4 6' PEDESTRIAN CROSSWALK (SEE DETAIL SHEET C17)
 - 5 6' PEDESTRIAN SIDEWALK
 - 6 ZERO CURB (ADA PARKING AREA)
 - 7 PARKING LOT LIGHTING
 - 8 4 TO 8 FT. RETAINING WALL (SEE DETAIL SHEET C15)
 - 9 VALLEY GUTTER (PER COA STD DWG 2420)
 - 10 TYPE "A" CURB AND GUTTER (SEE DETAIL SHEET C17)
 - 11 DOUBLE DUMPSTER (SEE DETAILS SHEET C16)
 - 12 STOP SIGN
 - 13 MOTORCYCLE PARKING
 - 14 MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C16)
 - 15 7 SPACE BIKE RACK (SEE DETAIL SHEET C16)
 - 16 EXISTING ADA RAMP
 - 17 EXISTING BILLBOARD
 - 18 WHEEL STOP (SEE DETAIL SHEET C16)
 - 19 FREE STANDING SIGN (SEE SHEET C14 ITEM "H")
 - 20 1 FT. CURB CUT (SEE LANDSCAPE ISLAND WATER HARVESTING DETAIL SHT C15)
 - 21 TRANSFORMER
 - 22 MONUMENT SIGN (SEE SHEET C14 ITEM "I")
 - 23 DIRECTIONAL SIGN (SEE SHEET C14 ITEM "O")
 - 24 PEDESTRIAN LIGHT BOLLARD

SITE DATA

LOT 2-B
PROPOSED USAGE: ENTERTAINMENT (BOWLING LANES, GAMES, DINING)

LOT AREA: 5.03 ACRE
BUILDING AREA: 49,818 SF
PARKING REQUIRED: 22 BOWLING LANES X 4= 88 SPACES
181 PERSONS IN DINING, CAFE & BAR/3= 61 SPACES
15,000 SF / 200 SF= 75 SPACES
REMAINING 19,330 SF / 250 SF= 78 SPACES
TOTAL PARKING REQUIRED: 302 SPACES
PARKING PROVIDED: 342 SPACES
HC PARKING REQUIRED: 12 SPACES
HC PARKING PROVIDED: 12 SPACES
(2 SPACES VAN ACCESSIBLE)

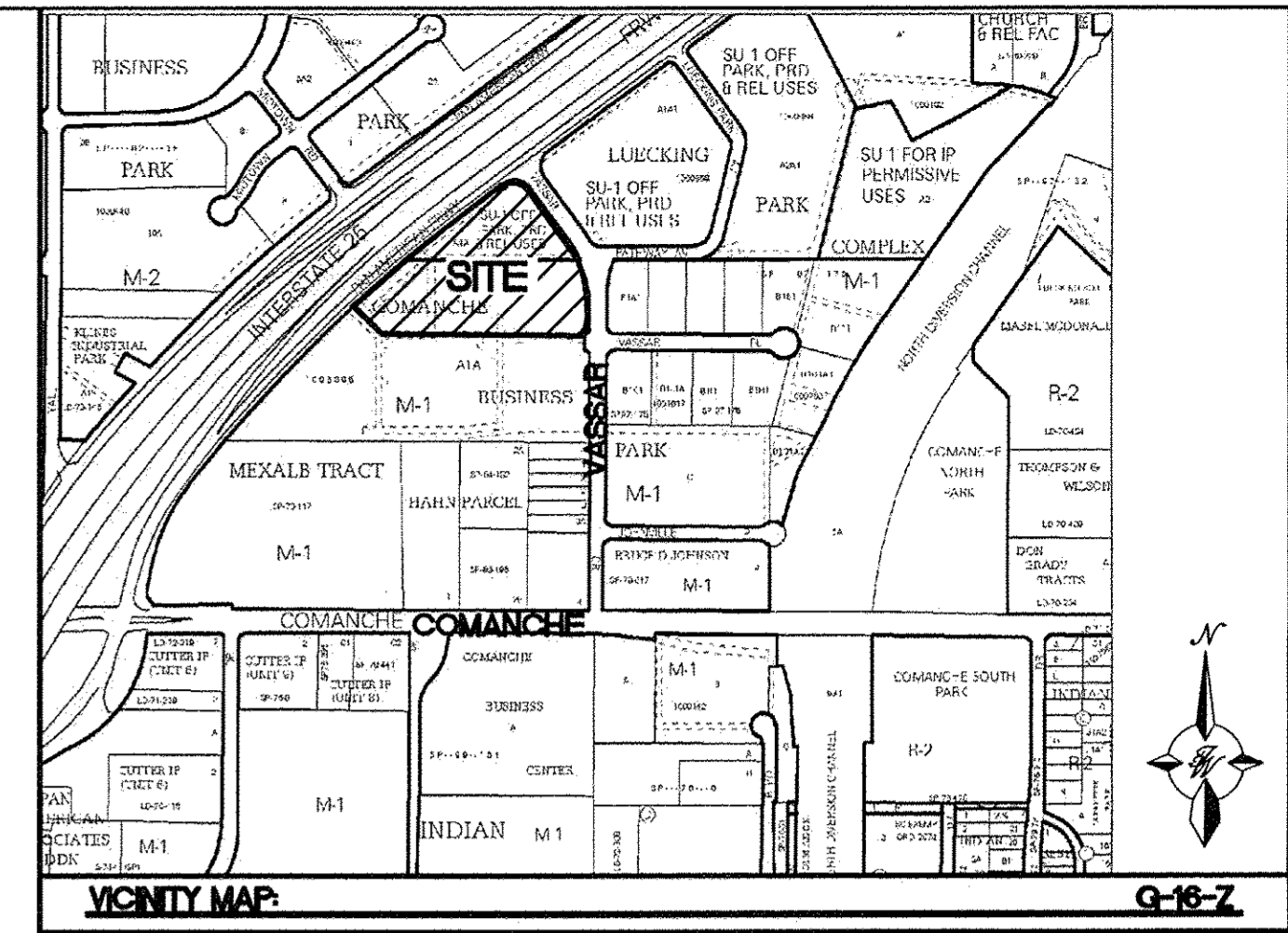
MC PARKING REQUIRED: 6 SPACES
MC PARKING PROVIDED: 6 SPACES
BICYCLE PARKING REQUIRED: 12 SPACES
BICYCLE PARKING PROVIDED: 15 SPACES

LOT 2-A
PROPOSED USAGE: RESTAURANT

LOT AREA: 1.79
BUILDING AREA: 6,500 SQ. FT.
PARKING REQUIRED: 33 SPACES
PARKING PROVIDED: 123 SPACES
HC PARKING REQUIRED: 4 SPACES
HC PARKING PROVIDED: 4 SPACES
(1 SPACE VAN ACCESSIBLE)

MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 2 SPACES
BICYCLE PARKING PROVIDED: 5 SPACES

* PARKING SPACES ARE CONCEPTUAL AND WILL BE BASED ON ACTUAL USE WHEN THE SITE PLAN FOR BUILDING PERMIT IS SUBMITTED.



LEGAL DESCRIPTION
LOTS 2-A AND 2-B, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER

PROJECT NUMBER: 1006865
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Ronald M. Bohannon</i> Traffic Engineer, Transportation Division	5/20/15 Date
<i>Christina Cadiz</i> Water Utility Development	05/20/15 Date
<i>Carol S. Dumont</i> Parks & Recreation Department	8-20-15 Date
<i>John P. J.</i> City Engineer	5-20-15 Date
* Environmental Health Department (conditional)	Date
<i>John M. Mc...</i> Solid Waste Management	7-8-15 Date
<i>John P. J.</i> DRB Chairperson, Planning Department	8-3-15 Date

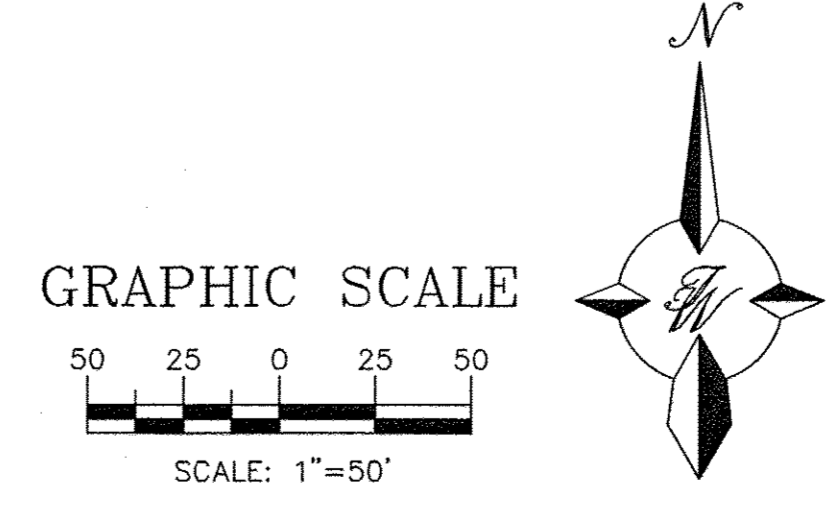
* Environmental Health, if necessary

LEGEND

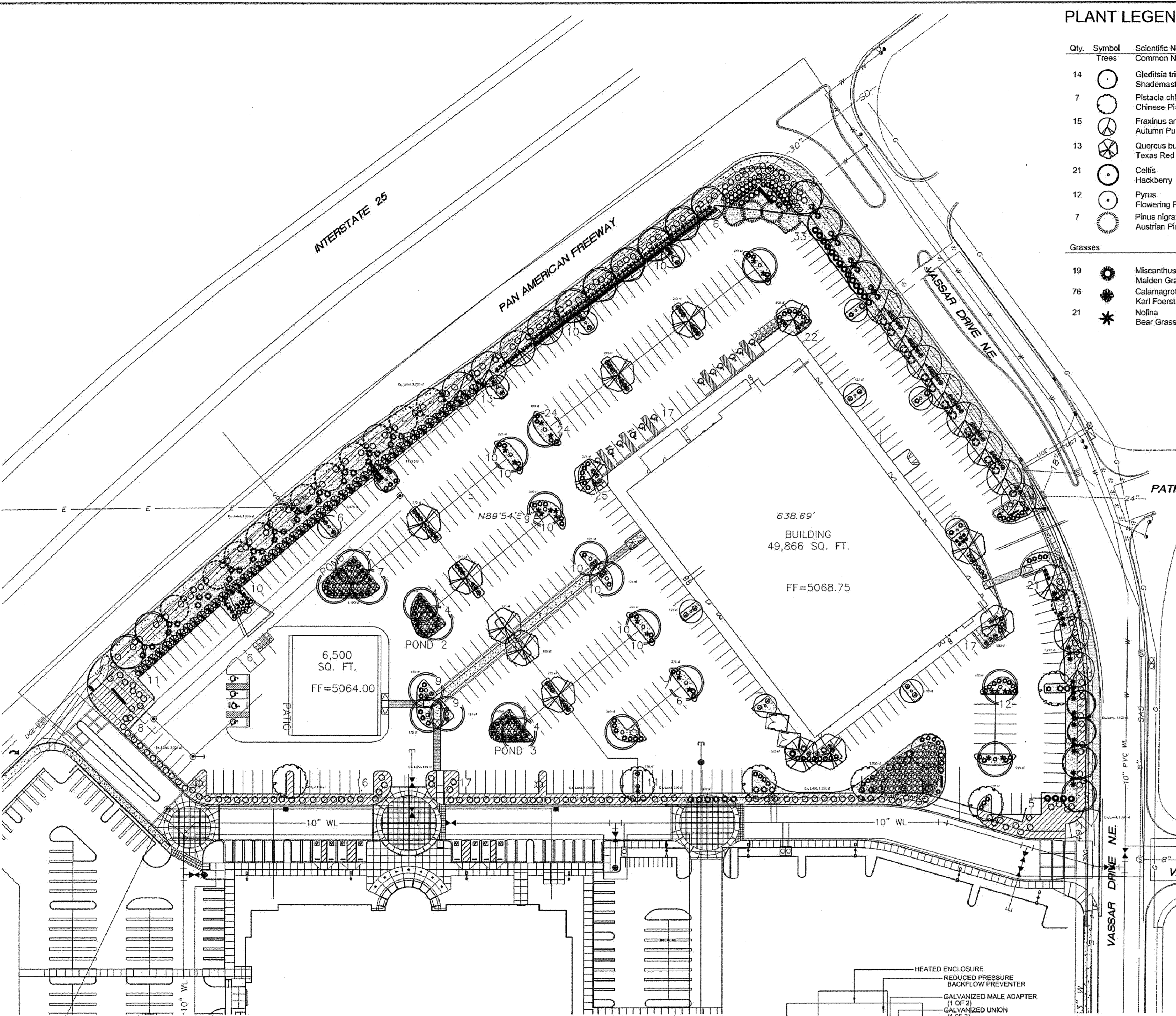
—	CURB & GUTTER	— — — — —	6' WIDE ADA ROUTE
— — — — —	BOUNDARY LINE	— — — — —	FUTURE CURB & GUTTER
— — — — —	EASEMENT	— — — — —	EXISTING CURB & GUTTER
— — — — —	CENTERLINE	— — — — —	EXISTING BOUNDARY LINE
— — — — —	RIGHT-OF-WAY	— — — — —	EXISTING SIDEWALK
— — — — —	BUILDING	— — — — —	EXISTING LANE
— — — — —	SIDEWALK	— — — — —	EXISTING STRIPING
— — — — —	RETAINING WALL	— — — — —	EXISTING STREET LIGHTS
□ □ □ □	PARKING LOT LIGHTS		
— — — — —	LANE		
— — — — —	STRIPING		
— — — — —	PROPOSED EASEMENT		

- NOTES:**
1. ALL OF TRACT 4-4A TO BE A TEMPORARY PUBLIC DRAINAGE FOR RETENTION POND. EASEMENT CAN BE VACATED WHEN PERMANENT DOWNSTREAM IMPROVEMENTS HAVE BEEN CONSTRUCTED AND THE DRB HAS APPROVED THE VACATION REQUEST. (GRANTED BY PLAT)
 2. THERE SHALL BE ON BACKLIT, PLASTIC OR VINYL AWNINGS.
 3. FOR PAVING SECTIONS AND TRUCK ACCESS ROUTE SEE SHEET C17
 4. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 28' (25' PLUS A 3' CONCRETE BASE). LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE A LIMITED TO 16' HIGH.
 5. ALL *RECESSED* SIGNS ON THE DEVELOPMENT SHALL NOT EXCEED 100SF OF SIGN AREA AND SHALL NOT EXCEED 26 FEET IN HEIGHT EXCEPT ON THE ONE EXISTING PYLON SIGN ON LOT 1 WHICH IS ALLOWED 150SF OF SIGN AREA.

6. ONE FREE STANDING SIGN SHALL BE PERMITTED FOR EACH STREET FRONTAGE OF EACH PREMISES OR JOINT SIGN PREMISES WHICH HAS AT LEAST 100 FEET OF STREET FRONTAGE.
7. ALL SIGNS SHALL COMPLY WITH GENERAL SIGN REGULATION OF THE ZONING CODE (SECTION 14-16-3-5)
8. THERE SHALL BE NO ILLUMINATED PLASTIC BONDING ON SIGNAGE.
9. COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY AND VEHICLE ACCESS TO BE GRANTED BY PLAT.
10. BUILDING CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE UP TO 36 FEET IS PERMITTED AT ANY LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 36 FEET HIGH SHALL FALL WITHIN A 45 DEG. PLANE DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT AT 120 FEET.



ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY BJF
	SITE PLAN FOR BUILDING PERMIT	DATE 05/14/15
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015015_SPB
		SHEET # C1
		JOB # 2015015



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht/ Sp. Coverage	Water Use	Drp Emitters	Allergenic Potential
14	(Symbol)	Gleditsia triacanthos Shademaster Honey Locust	2' Cal	50/45'	Medium+	6-2 gph	Low
7	(Symbol)	Pistacia chinensis Chinese Pistache	2' Cal	60/60'	Medium	6-2 gph	Low
15	(Symbol)	Fraxinus americana Autumn Purple Ash	2' Cal	40/35'	Medium +	6-2 gph	Low
13	(Symbol)	Quercus buckleyi Texas Red Oak	2' Cal	40/40'	Medium +	6-2 gph	Low
21	(Symbol)	Celtis Hackberry	2' Cal	40/40'	Medium +	6-2 gph	Low
12	(Symbol)	Pyrus Flowering Pear	2' Cal	25/15'	Medium +	6-2 gph	Low
7	(Symbol)	Pinus nigra Austrian Pine	6' HL	35/25'	Medium +	6-2 gph	Low
Grasses							
19	(Symbol)	Miscanthus Maiden Grass	1-Gal	5/5'	40 sf=760 sf	Medium	2-2 gph Low
76	(Symbol)	Calamagrostis Karl Foerster Grass	5-Gal	3/2'	10 sf=760 sf	Medium	2-2 gph Low
21	(Symbol)	Nolina Bear Grass	5-Gal	5/6'	64 sf=1344 sf	RW	2-1 gph Low

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht/ Sp. Coverage	Water Use	Drp Emitters	Allergenic Potential
24	(Symbol)	Lavandula Lavender	1-Gal	3/3'	12 sf=288 sf	Medium	2-2 gph Low
112	(Symbol)	Hesperaloe parviflora Red Yucca	5-Gal	2/5'	25 sf=2800 sf	Low+	2-1 gph Low
137	(Symbol)	Juniperus horizontalis Blue Chip Juniper	5-Gal	2/5'	50 sf=6850 sf	Low +	2-1 gph Low
14	(Symbol)	Raphiolepis indica India Hawthorn	5-Gal	2/6'	36 sf=504 sf	Low+	2-1 gph Low
60	(Symbol)	Leucophyllum frutescens Texas Ranger	5-Gal	4/4'	50 sf=3000 sf	Low	2-1 gph Low
6	(Symbol)	Buddleia Butterfly Bush	1-Gal	5/5'	50 sf=300 sf	Medium	2-2 gph Low
106	(Symbol)	Ericameria Turpentine Bush	5-Gal	3/4'	25 sf=2650 sf	Low	2-2 gph Low
49	(Symbol)	Chamaebatia Fernbush	5-Gal	5/6'	100 sf=4900 sf	Low+	2-1 gph Low
22	(Symbol)	Salvia greggii Cherry Sage	1-Gal	2/3'	15 sf=330 sf	Low+	2-2 gph Low
16	(Symbol)	Potentilla Shrubby Cinquefoil	5-Gal	3/3'	15 sf=240 sf	Medium	2-2 gph Low
14	(Symbol)	Caryopteris Blue Mist Spirea	5-Gal	3/3'	36 sf=504 sf	Medium	2-2 gph Low
19	(Symbol)	Rhus trilobata 3 Leaf Sumac	1-Gal	6/6'	64 sf=1216 sf	Low	2-2 gph Low

Lot 2-A Total landscape coverage= 7,772 sf
 Lot 2-B Total landscape coverage= 18,674 sf

LANDSCAPE DATA/Lot 2-A

GROSS LOT AREA (1.79 acres)	77,973 SF
LESS BUILDING(S)	6,500 SF
NET LOT AREA	71,473 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	10,721 SF
EXISTING LANDSCAPE	3,375 SF
PROPOSED LANDSCAPE	9,375 SF
TOTAL LANDSCAPE PROVIDED	17,950 SF
PERCENT OF NET LOT AREA	25 %

HIGH WATER USE TURF
NONE PROPOSED

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	10
REQUIRED PARKING LOT TREES AT 1 PER 10 SPACES (123 SPACES/10)	12
PROVIDED PARKING LOT TREES	12

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (9,375 SF x 75%)	7,031 SF MIN.
PROVIDED LANDSCAPE COVERAGE	7,772 SF (83%)

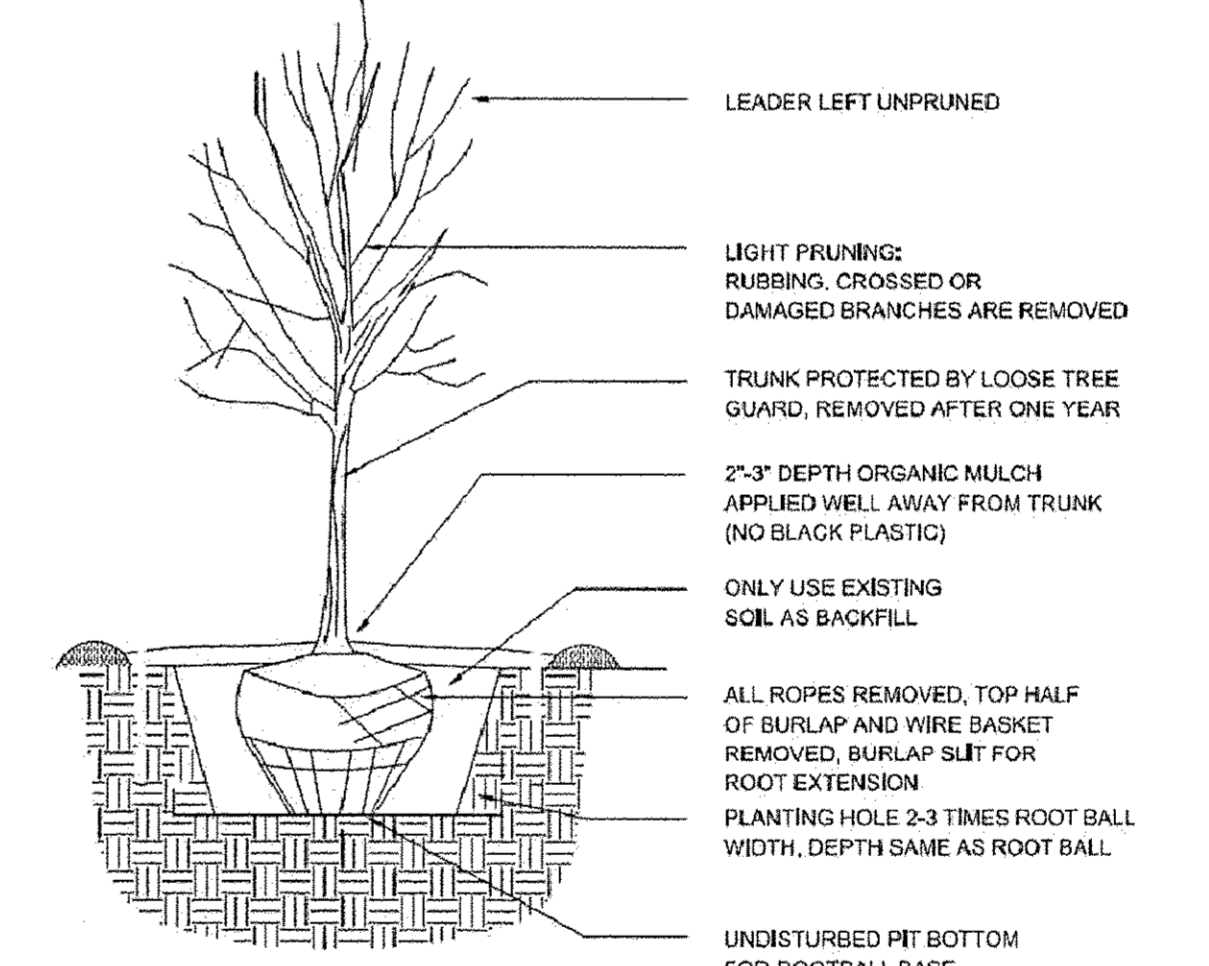
LANDSCAPE DATA/Lot 2-B

GROSS LOT AREA (5.03 acres)	219,108 SF
LESS BUILDING(S)	49,866 SF
NET LOT AREA	169,240 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	25,386 SF
EXISTING LANDSCAPE	9,200 SF
PROPOSED LANDSCAPE	24,410 SF
TOTAL LANDSCAPE PROVIDED	33,610 SF
PERCENT OF NET LOT AREA	20 %

HIGH WATER USE TURF
NONE PROPOSED

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	33
REQUIRED PARKING LOT TREES AT 1 PER 10 SPACES (342 SPACES/10)	34
PROVIDED PARKING LOT TREES	48

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (24,550 SF x 75%)	18,412 SF MIN.
PROVIDED LANDSCAPE COVERAGE	18,674 SF (76%)



TREE PLANTING DETAIL



LANDSCAPE CONTRACTORS
www.headsuplandscape.com
 P O Box 10597
 Albuquerque, NM 87184
 505.899.9615
 505.899.2115 (fax)
 design@hulc.com

NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION NOTE

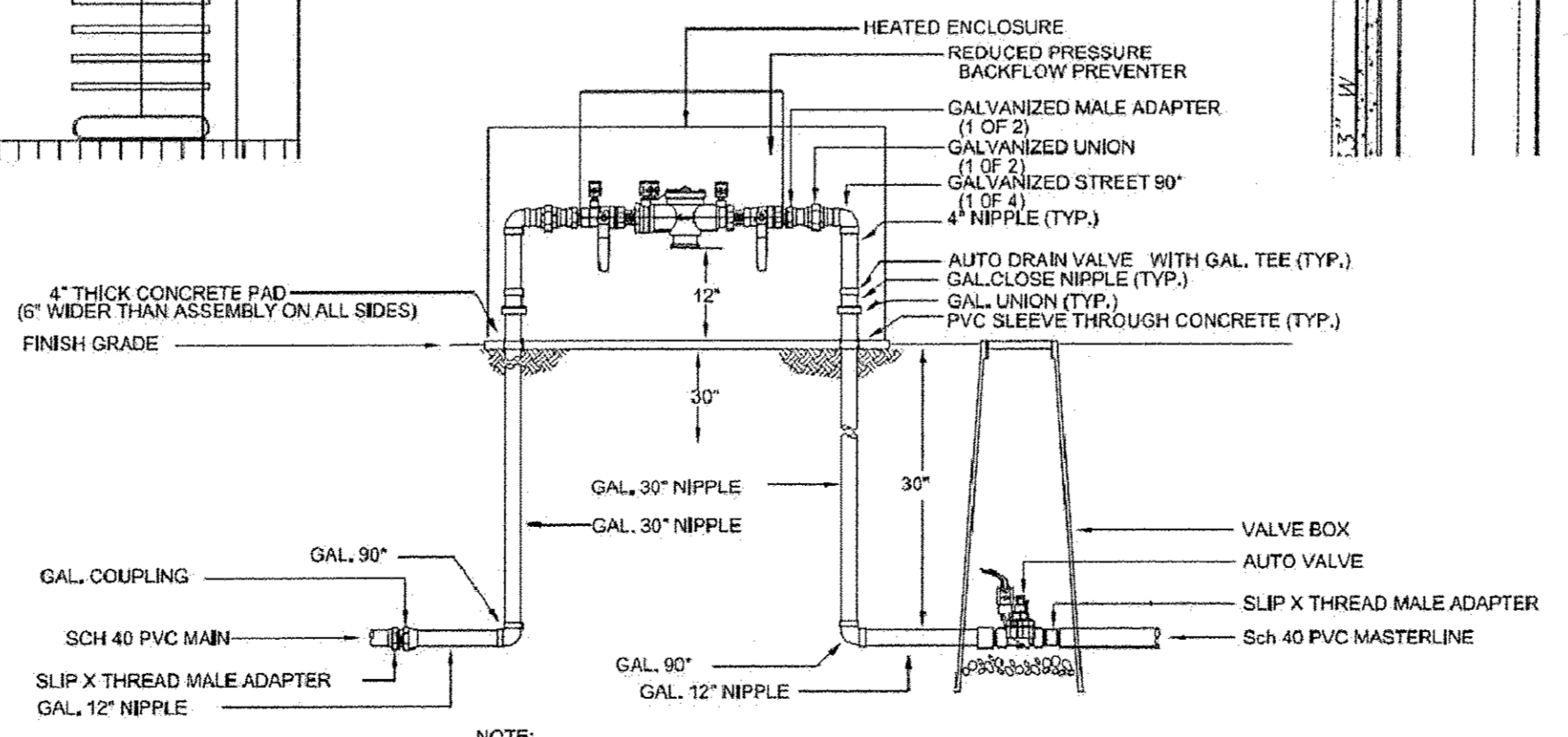
DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

EXISTING LANDSCAPE LEGEND

- (Hatched box) EXISTING LANDSCAPE AREA TO REMAIN (EXISTING 7/8" SANTA FE BROWN GRAVEL)
- (Circle with dot) EXISTING TREES TO REMAIN
A-ASH
DW-DESERT WILLOW
CH-CHITALPA
- (Circle with cross) EXISTING SHRUBS TO REMAIN
JUNIPER, RED YUCCA, SUMAC,
RED BARBERRY, SILVERBERRY,
POTENTILLA

MATERIALS LEGEND

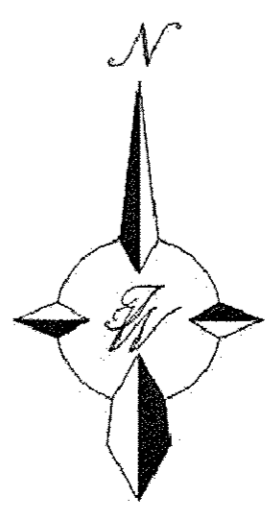
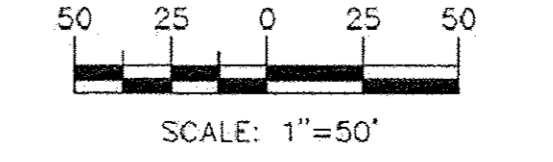
- (Hatched box) 7/8" SANTA FE BROWN GRAVEL (TO MATCH)
- (Square with dots) 2"-4" COBBLESTONE
- (Dotted box) EXISTING 7/8" SANTA FE BROWN GRAVEL AT R.O.W.



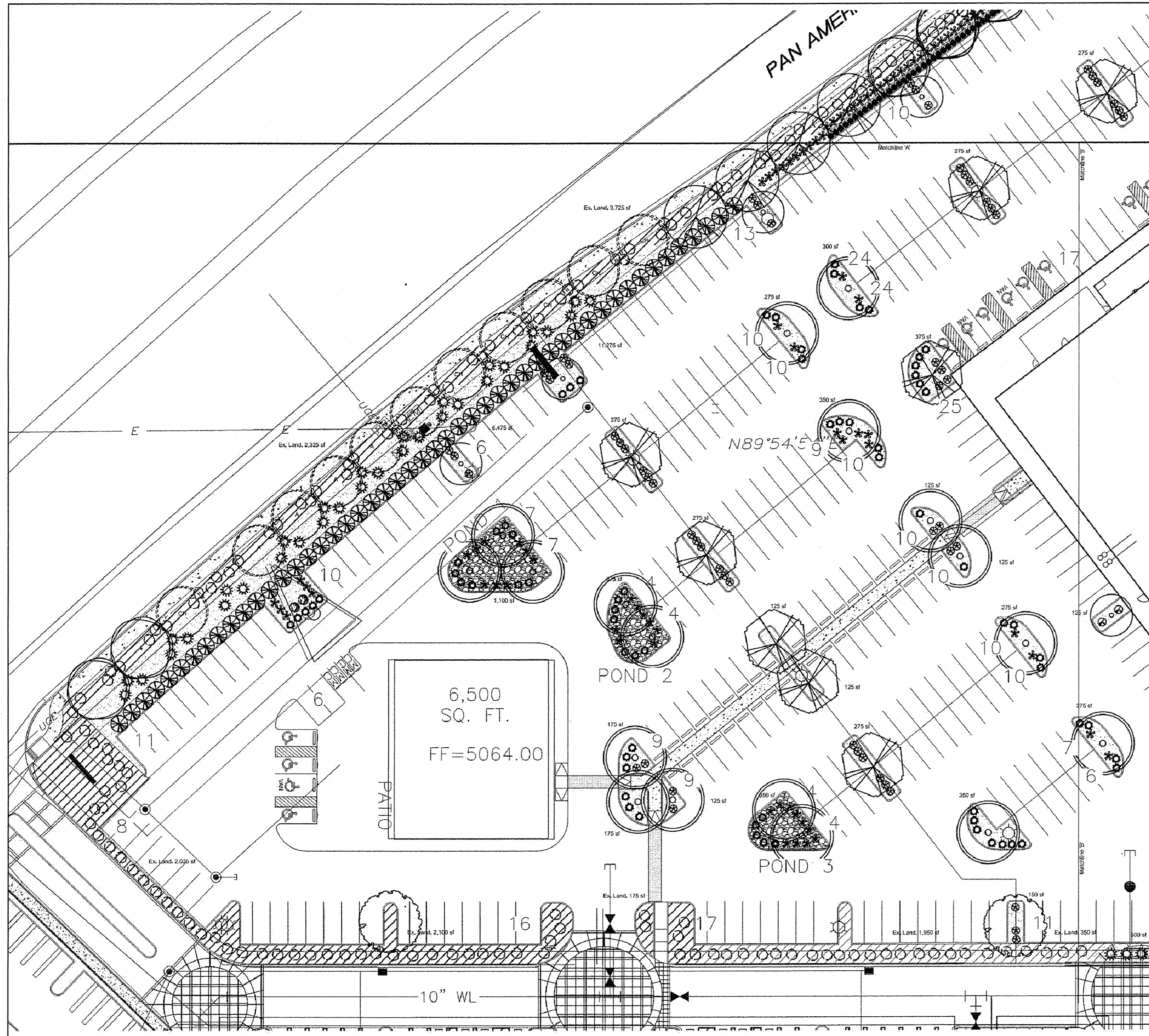
NOTE:
 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL

GRAPHIC SCALE



ENGINEER'S SEAL JOHN GILLETTE BRALY #128 REGISTERED LANDSCAPE ARCHITECT	MAIN EVENT	DRAWN BY HU
	PAN AM FREEWAY AND VASSAR AV.	DATE 05/5/15
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	LANDSCAPE PLAN	CARPENTERS' UNION MAIN EVENT LANDSCAPE 5.5.15
		SHEET # C2
RONALD R. BOHANNAN P.E. #7868		JOB # 2015015



PLANT LEGEND

Qty.	Symbol	Scientific Name	Size	Mature HL/ Sp. Coverage	Water Use	Drip Emitters	Allergenic Potential
14	(Symbol)	Gleditsia triacanthos Shademaster Honey Locust	2" Cal	50/45'	Medium+	6-2 gph	Low
7	(Symbol)	Pistacia chinensis Chinese Pistache	2" Cal	60/80'	Medium	6-2 gph	Low
15	(Symbol)	Fraxinus americana Autumn Purple Ash	2" Cal	40/35'	Medium +	6-2 gph	Low
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12	(Symbol)	Pyrus Flowering Pear	2" Cal	25/115'	Medium +	6-2 gph	Low
7	(Symbol)	Pinus nigra Austrian Pine	6" Ht.	35/25'	Medium +	6-2 gph	Low
Grasses							
19	(Symbol)	Miscanthus Maiden Grass	1-Gal	5/5'	40 sf=760 sf	Medium	2-2 gph Low
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Lot 2-A Total landscape coverage= 7,772 sf
Lot 2-B Total landscape coverage= 18,674 sf

LANDSCAPE DATA/Lot 2-A

GROSS LOT AREA (1.79 acres)	77,923 SF
LESS BUILDING(S)	6,500 SF
NET LOT AREA	71,423 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	10,712 SF
EXISTING LANDSCAPE	8,575 SF
PROPOSED LANDSCAPE	9,375 SF
TOTAL LANDSCAPE PROVIDED	17,950 SF
PERCENT OF NET LOT AREA	25 %

HIGH WATER USE TURF
NONE PROPOSED

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING STREET 10

REQUIRED PARKING LOT TREES
AT 1 PER 10 SPACES (123 SPACES/10)
PROVIDED PARKING LOT TREES 12

REQUIRED LANDSCAPE COVERAGE
75% LIVE VEGETATIVE MATERIAL (9,375 SF x 75%) 7,031 SF MIN.
PROVIDED LANDSCAPE COVERAGE 7,772 SF (83%)

LANDSCAPE DATA/Lot 2-B

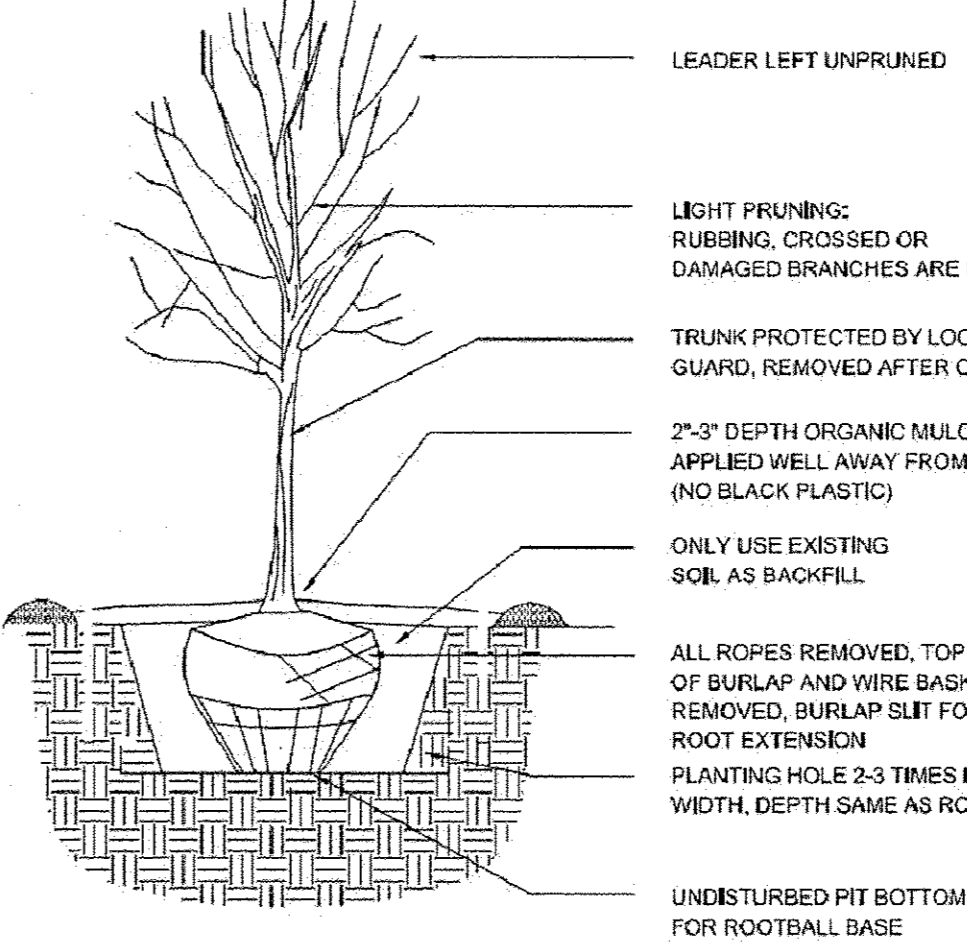
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LESS BUILDING(S)	49,866 SF
NET LOT AREA	169,240 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	25,386 SF
EXISTING LANDSCAPE	9,200 SF
PROPOSED LANDSCAPE	24,460 SF
TOTAL LANDSCAPE PROVIDED	33,660 SF
PERCENT OF NET LOT AREA	20 %

HIGH WATER USE TURF
NONE PROPOSED

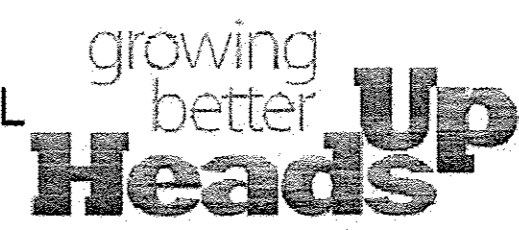
REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING STREET 33

REQUIRED PARKING LOT TREES
AT 1 PER 10 SPACES (342 SPACES/10)
PROVIDED PARKING LOT TREES 48

REQUIRED LANDSCAPE COVERAGE
75% LIVE VEGETATIVE MATERIAL (24,460 SF x 75%) 18,412 SF MIN.
PROVIDED LANDSCAPE COVERAGE 18,674 SF (76%)



TREE PLANTING DETAIL



LANDSCAPE CONTRACTORS
www.headsuplandscapes.com
P.O. Box 10597
Albuquerque, NM 87114
505.898.9615
505.898.2105 (fax)
design@hulc.com

NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
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- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-18-3-10.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

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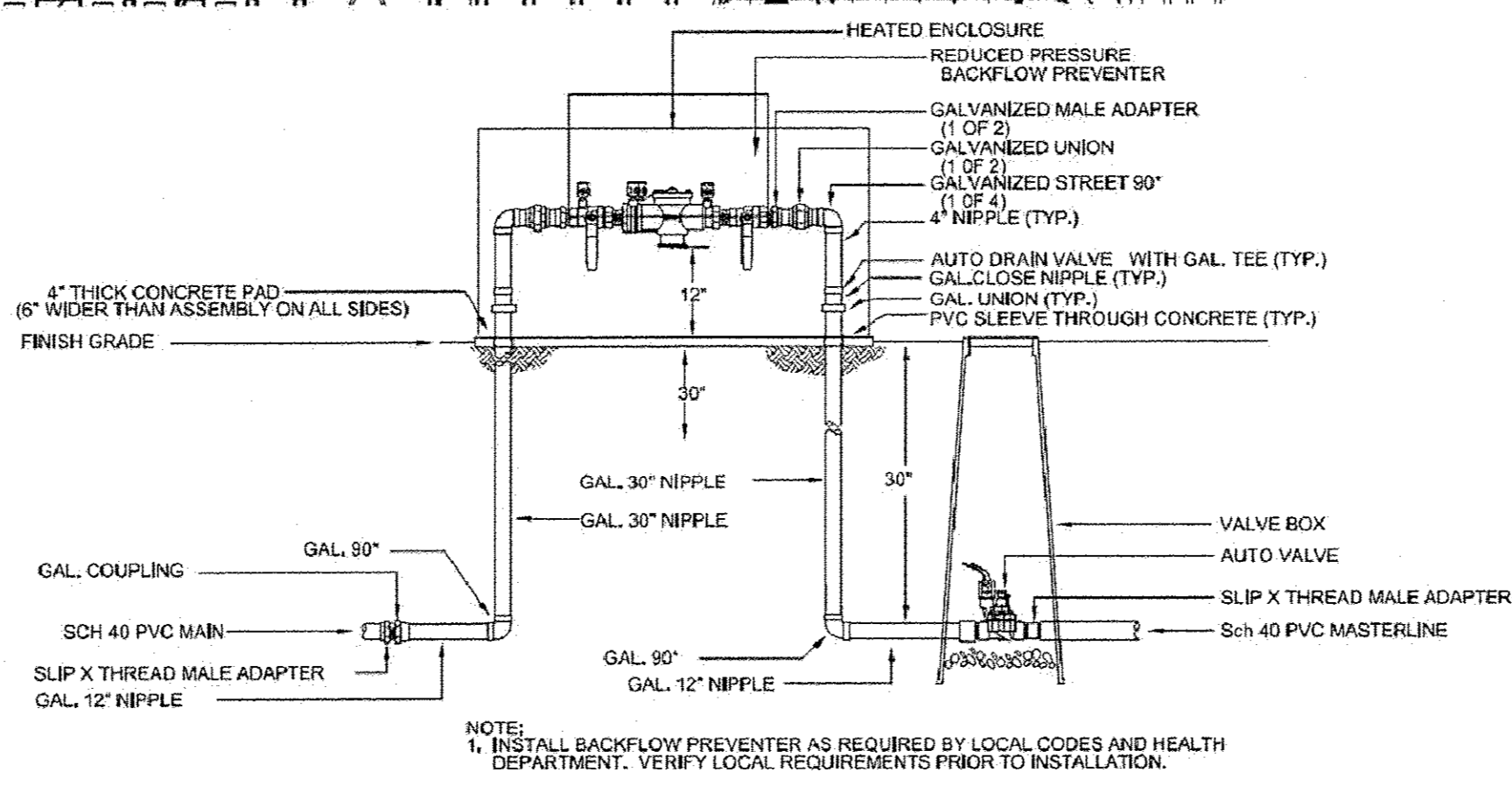
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1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

EXISTING LANDSCAPE LEGEND

- (Symbol) EXISTING LANDSCAPE AREA TO REMAIN (EXISTING 7/8" SANTA FE BROWN GRAVEL)
- (Symbol) EXISTING TREES TO REMAIN
A-ASH
DW-DESERT WILLOW
CH-CHITALPA
- (Symbol) EXISTING SHRUBS TO REMAIN
JUNIPER, RED YUCCA, SUMAC,
RED BARBERRY, SILVERBERRY,
POTENTILLA

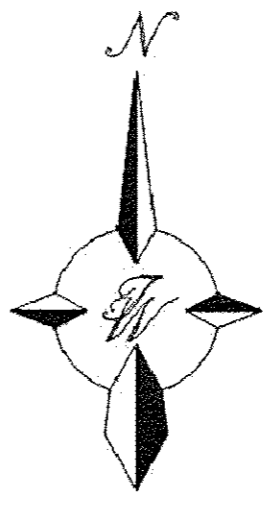
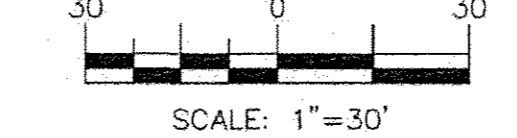
MATERIALS LEGEND

- (Symbol) 7/8" SANTA FE BROWN GRAVEL (TO MATCH)
- (Symbol) 2"-4" COBBLESTONE
- (Symbol) EXISTING 7/8" SANTA FE BROWN GRAVEL AT R.O.W.

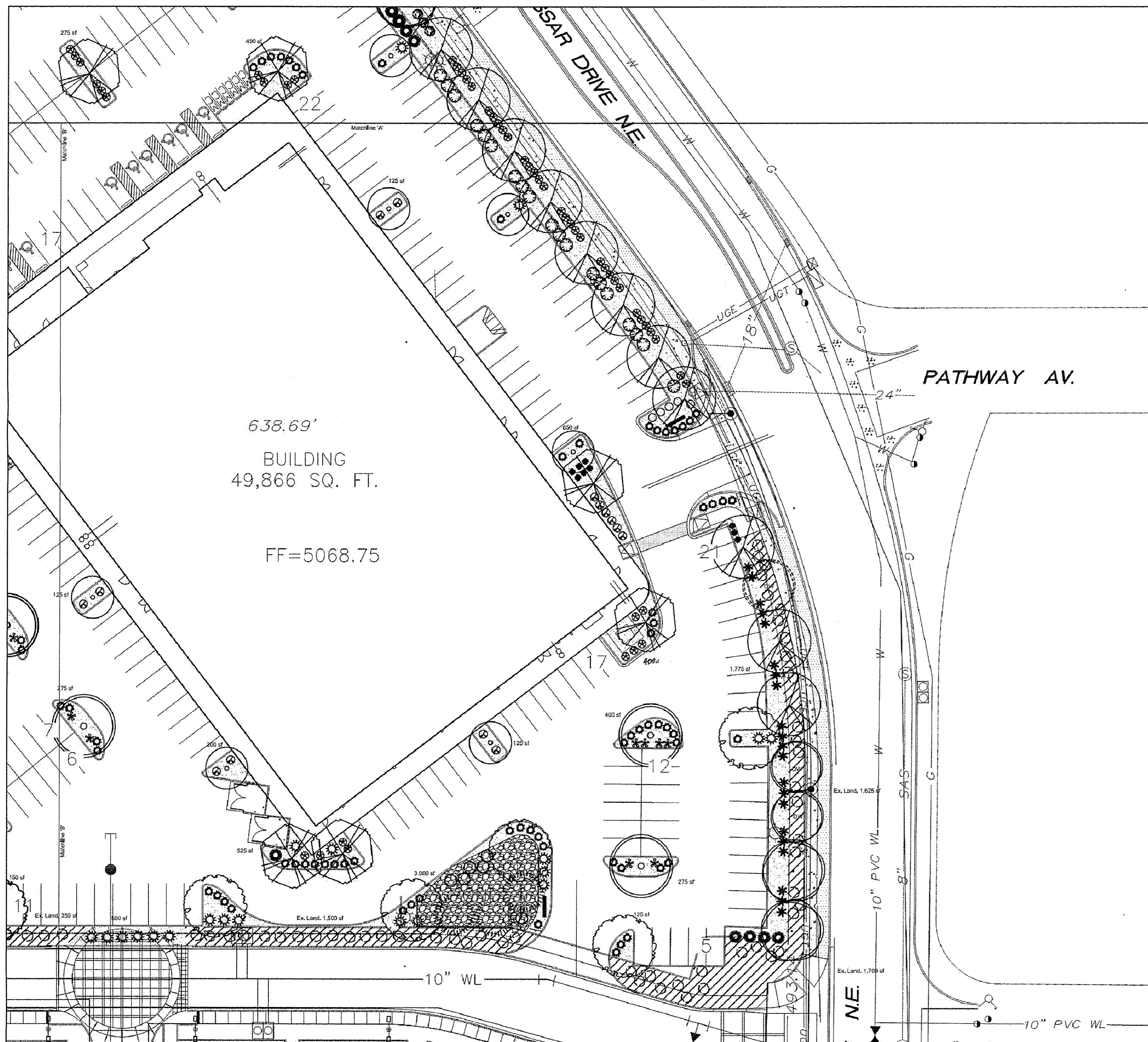


RP BACKFLOW/MASTER VALVE DETAIL

GRAPHIC SCALE



ENGINEER'S SEAL	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY EJF
STATE OF NEW MEXICO JOHN GILLIES BRALY #128 REGISTERED LANDSCAPE ARCHITECT	LANDSCAPE PLAN	DATE 05/5/15
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	CARPENTERS UNION MAIN EVENT LANDSCAPE 5.5.15
RONALD R. BOHANNAN P.E. #7868		SHEET # C3
		JOB # 2015015



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht./ Sp. Coverage	Landscapes	Water Use	Drip Emitters	Allergenic Potential
14	○	Gleditsia triacanthos Shademaster Honey Locust	2" Cal	50/45'	Medium+	6-2 gph	Low	
7	○	Pistacia chinensis Chinese Pistache	2" Cal	60/60'	Medium	6-2 gph	Low	
15	○	Fraxinus americana Autumn Purple Ash	2" Cal	40/35'	Medium	6-2 gph	Low	
13	○	Quercus buckleyi Texas Red Oak	2" Cal	40/40'	Medium	6-2 gph	Low	
21	○	Celtis Hackberry	2" Cal	40/40'	Medium	6-2 gph	Low	
12	○	Pyrus Flowering Pear	2" Cal	25/15'	Medium	6-2 gph	Low	
7	○	Pinus nigra Austrian Pine	6" Ht.	35/25'	Medium	6-2 gph	Low	
Grasses								
19	○	Miscanthus Malden Grass	1-Gal	5/5'	40 sf=760 sf	Medium	2-2 gph	Low
76	○	Calamagrostis Karl Foerster Grass	5-Gal	3/2"	10 sf=760 sf	Medium	2-2 gph	Low
21	○	Nolina Bear Grass	5-Gal	5/6"	64 sf=1344 sf	RW	2-1 gph	Low
24	○	Lavandula Lavender	1-Gal	3/3'	12 sf=288 sf	Medium	2-2 gph	Low
112	○	Hesperaloe parviflora Red Yucca	5-Gal	2/5"	25 sf=2800 sf	Low+	2-1 gph	Low
137	○	Juniperus horizontalis Blue Chip Juniper	5-Gal	2/5"	50 sf=6850 sf	Low+	2-1 gph	Low
14	○	Raphiolepis indica India Hawthorn	5-Gal	2/6"	36 sf=504 sf	Low+	2-1 gph	Low
60	○	Leucophyllum frutescens Texas Ranger	5-Gal	4/4"	50 sf=3000 sf	Low	2-1 gph	Low
6	○	Buddleia Butterfly Bush	1-Gal	5/5"	50 sf=300 sf	Medium	2-2 gph	Low
106	○	Ericameria Turpentine Bush	5-Gal	3/4"	25 sf=2650 sf	Low	2-2 gph	Low
49	○	Chamaebatia Fernbush	5-Gal	5/6"	100 sf=4900 sf	Low+	2-1 gph	Low
22	○	Salvia greggii Cherry Sage	1-Gal	2/3"	15 sf=330 sf	Low+	2-2 gph	Low
16	○	Potentilla Shrubby Cinquefoil	5-Gal	3/3"	15 sf=240 sf	Medium	2-2 gph	Low
14	○	Caryopteris Blue Mist Spirea	5-Gal	3/3"	36 sf=504 sf	Medium	2-2 gph	Low
19	○	Rhus trilobata 3 Leaf Sumac	1-Gal	6/6"	64 sf=1216 sf	Low	2-2 gph	Low

Lot 2-A Total landscape coverage= 7,772 sf
Lot 2-B Total landscape coverage= 18,674 sf

LANDSCAPE DATA/Lot 2-A

GROSS LOT AREA (1.79 acres)	77,973 SF
LESS BUILDING(S)	6,500 SF
NET LOT AREA	71,473 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	10,721 SF
EXISTING LANDSCAPE	8,575 SF
PROPOSED LANDSCAPE	9,375 SF
TOTAL LANDSCAPE PROVIDED	17,950 SF
PERCENT OF NET LOT AREA	25 %

HIGH WATER USE TURF
NONE PROPOSED

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING STREET 10

REQUIRED PARKING LOT TREES
AT 1 PER 10 SPACES (123 SPACES/10) 12
PROVIDED PARKING LOT TREES 12

REQUIRED LANDSCAPE COVERAGE
75% LIVE VEGETATIVE MATERIAL (9,375 SF x 75%) 7,031 SF MIN.
PROVIDED LANDSCAPE COVERAGE 7,772 SF (83%)

LANDSCAPE DATA/Lot 2-B

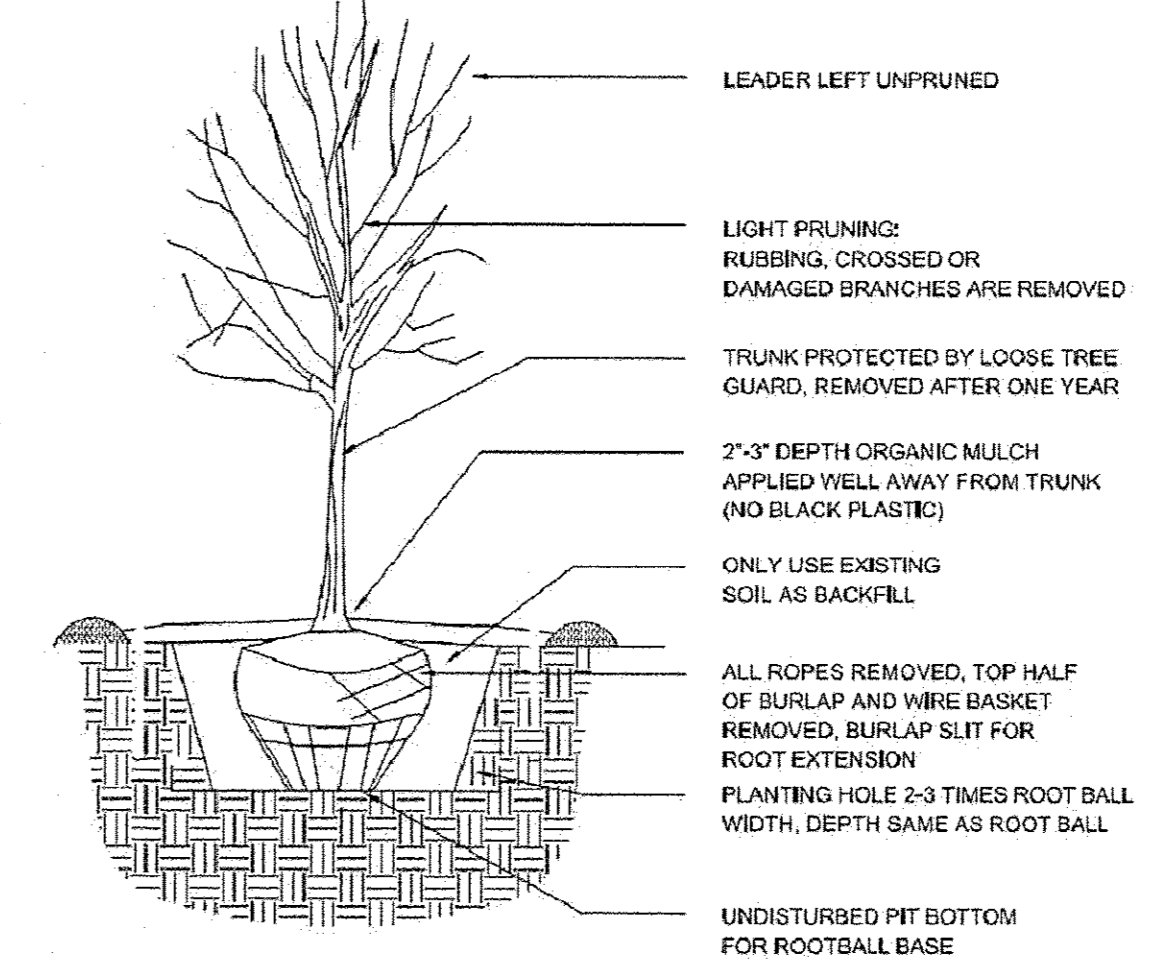
GROSS LOT AREA (5.03 acres)	219,106 SF
LESS BUILDING(S)	49,866 SF
NET LOT AREA	169,240 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	25,386 SF
EXISTING LANDSCAPE	9,200 SF
PROPOSED LANDSCAPE	24,470 SF
TOTAL LANDSCAPE PROVIDED	33,650 SF
PERCENT OF NET LOT AREA	20 %

HIGH WATER USE TURF
NONE PROPOSED

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING STREET 33

REQUIRED PARKING LOT TREES
AT 1 PER 10 SPACES (342 SPACES/10) 34
PROVIDED PARKING LOT TREES 48

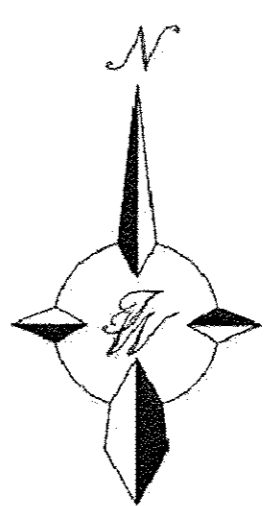
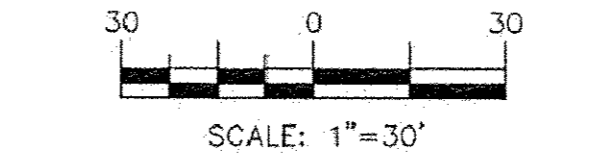
REQUIRED LANDSCAPE COVERAGE
75% LIVE VEGETATIVE MATERIAL (24,450 SF x 75%) 18,412 SF MIN.
PROVIDED LANDSCAPE COVERAGE 18,674 SF (76%)



TREE PLANTING DETAIL

growing better
Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscape.com
P.O. Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

GRAPHIC SCALE



IRRIGATION NOTE

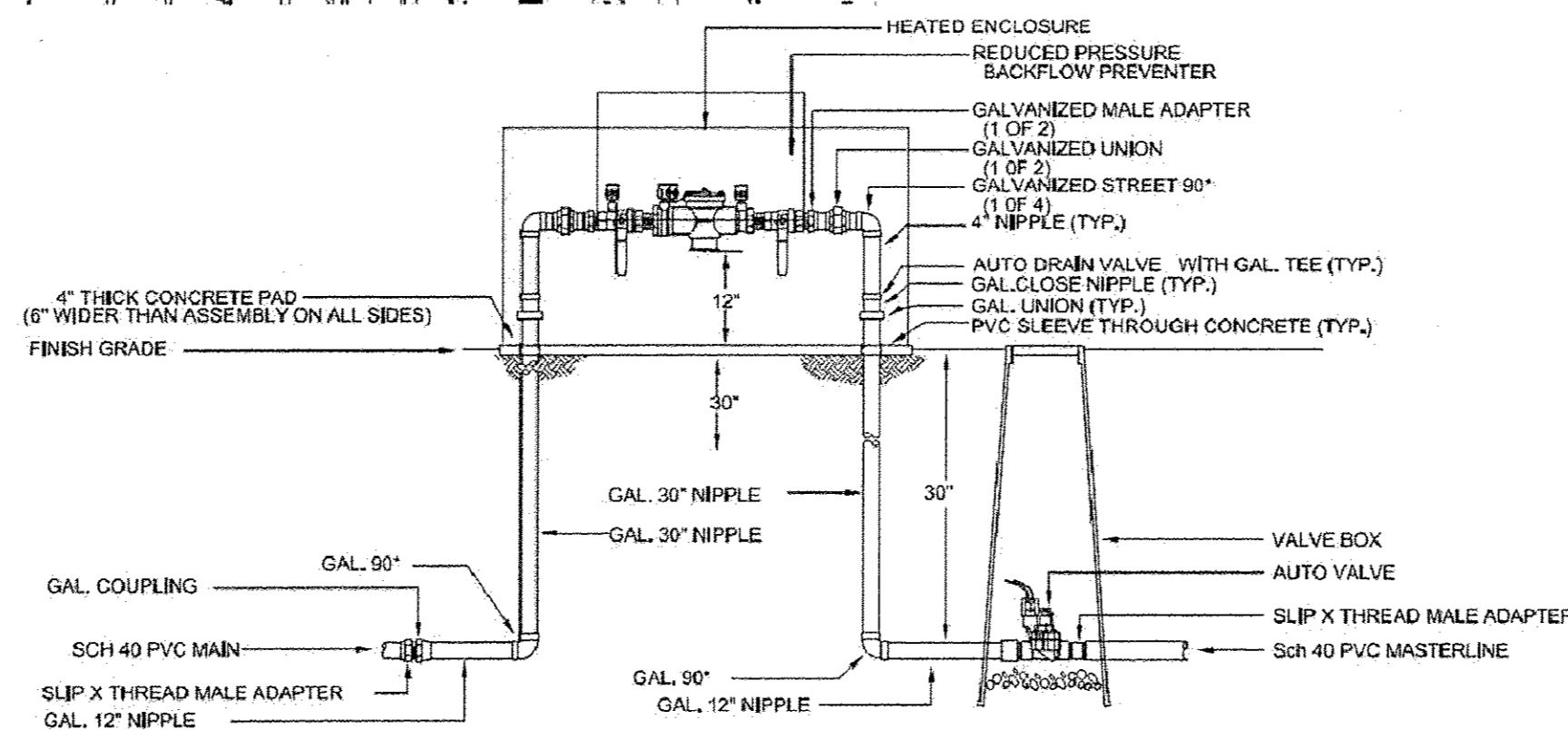
DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND

- 7/8" SANTA FE BROWN GRAVEL (TO MATCH)
- 2"-4" COBBLESTONE
- EXISTING 7/8" SANTA FE BROWN GRAVEL AT R.O.W.

EXISTING LANDSCAPE LEGEND

- EXISTING LANDSCAPE AREA TO REMAIN (EXISTING 7/8" SANTA FE BROWN GRAVEL)
- EXISTING TREES TO REMAIN
A-A-SH
DW-DESERT WILLOW
CH-CHITALPA
- EXISTING SHRUBS TO REMAIN
JUNIPER, RED YUCCA, SUMAC,
RED BARBERRY, SILVERBERRY,
POTENTILLA



NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

ENGINEER'S SEAL
STATE OF NEW MEXICO
JOHN GILLES BRALY
REGISTERED LANDSCAPE ARCHITECT
RONALD R. BOHANNAN
P.E. #7668

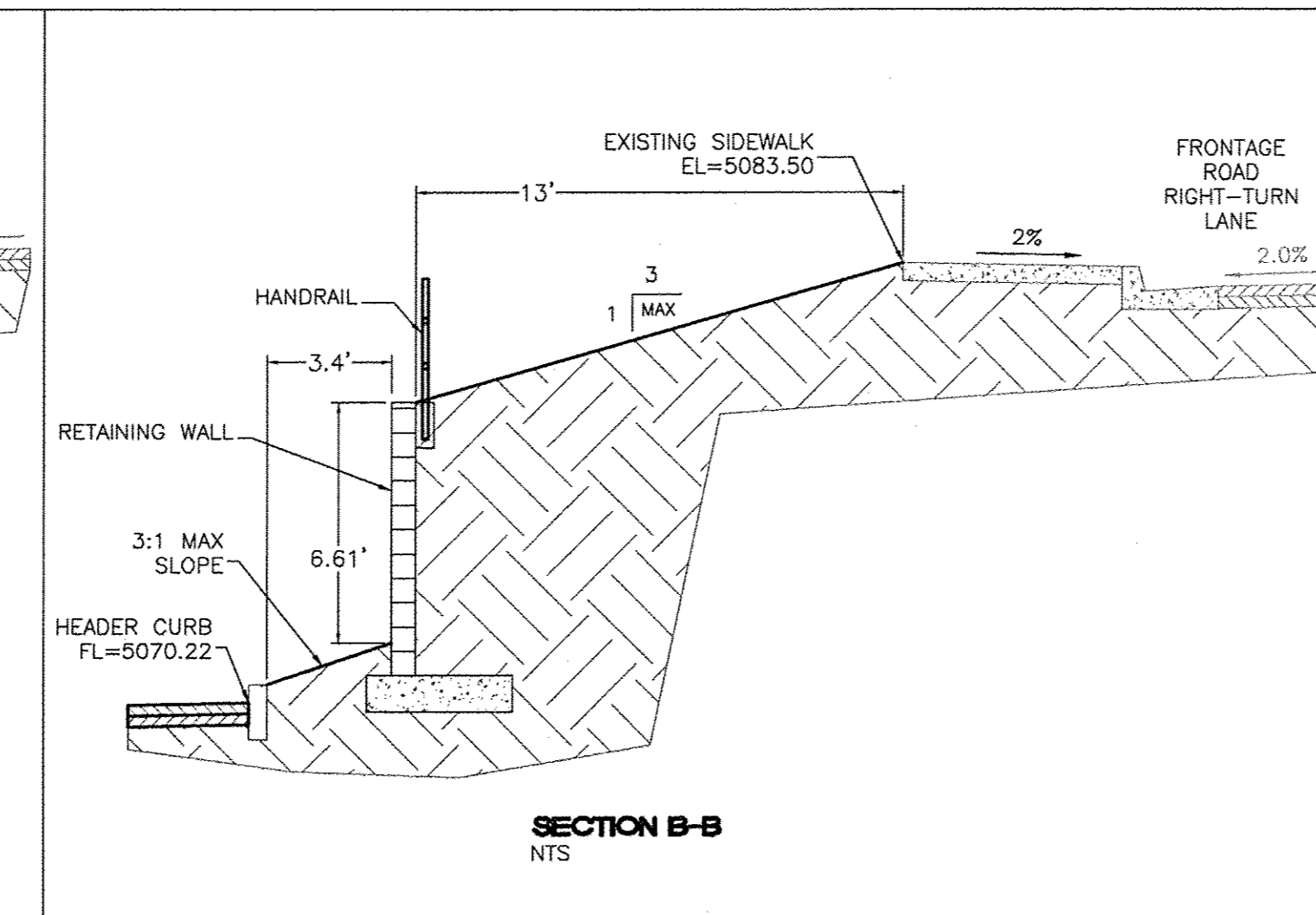
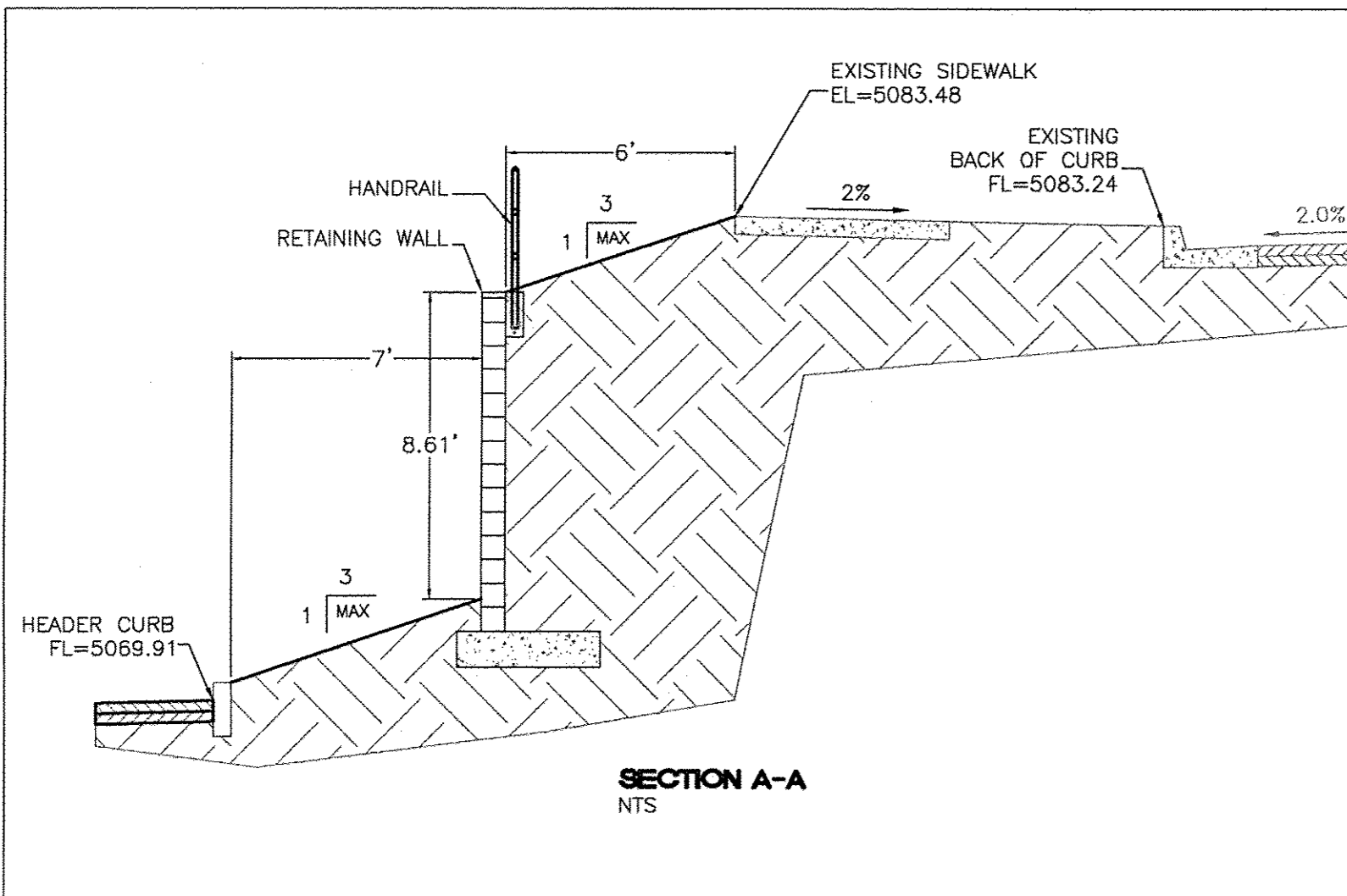
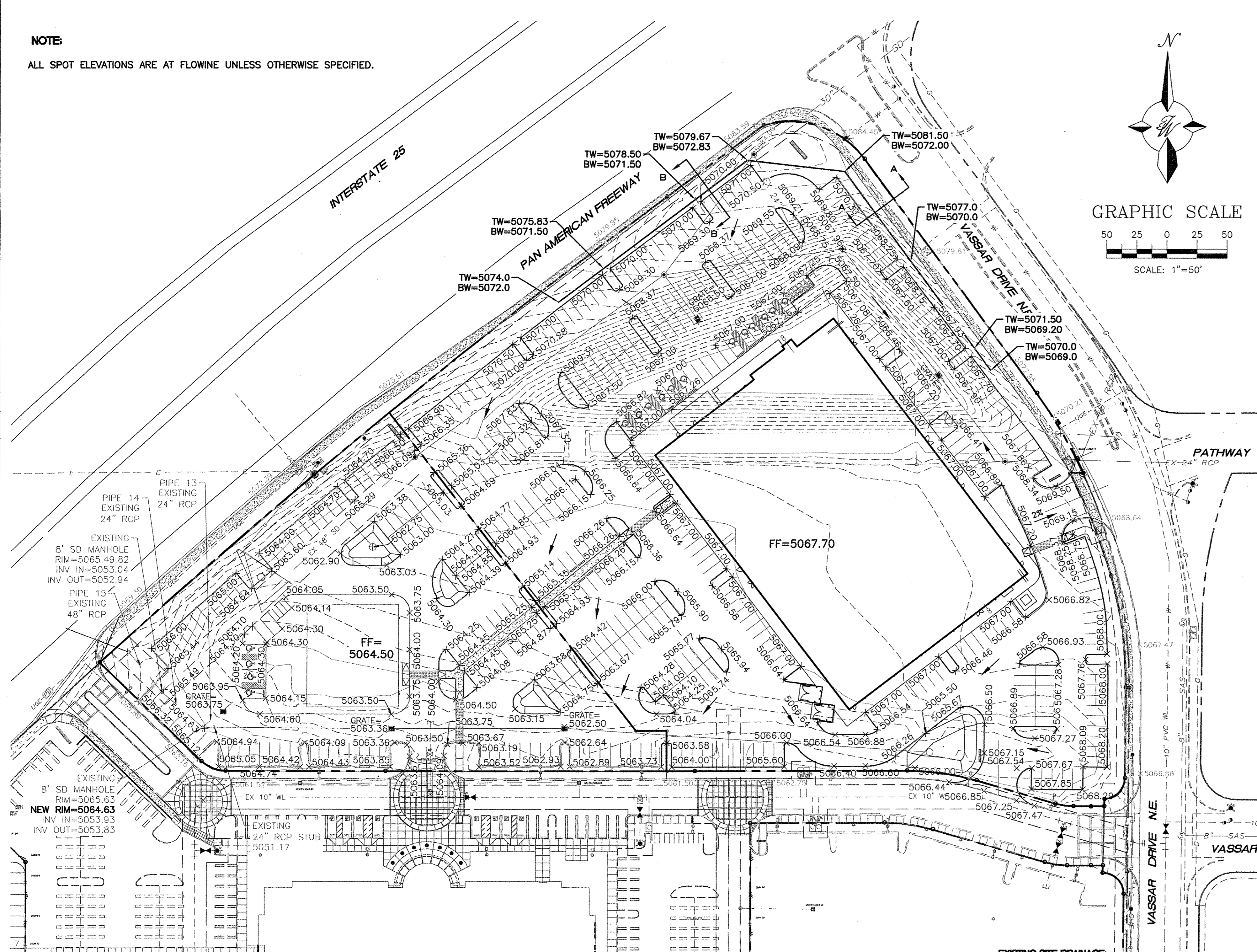
MAIN EVENT
PAN AM FREEWAY AND VASSAR AV.

LANDSCAPE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY HU
DATE 05/5/15
CARPENTERS UNION MAIN EVENT LANDSCAPE 5.5.15
SHEET # C4
JOB # 2015015

NOTE
ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE SPECIFIED.



EXISTING SITE DRAINAGE

THE 6.82 ACRE SITE IS LOCATED AT THE SOUTHEAST CORNER OF PAN AMERICAN FREEWAY AND VASSAR DRIVE NE. THE SITE IS BOUNDED ON THE NORTH AND WEST BY PAN AMERICAN FREEWAY, ON THE EAST BY VASSAR DRIVE NE AND ON THE SOUTH BY AN INDUSTRIAL/MANUFACTURING DEVELOPMENT.

THE SITE IS CURRENTLY VACANT WITH ONE THIRD OF THE PROPERTY BEING A TEMPORARY RETENTION POND FOR THE PATHWAY OFFICE PARK (G16/D114) AND THE REMAINING TWO THIRDS DRAINING FROM EAST TO WEST TO A TEMPORARY DESILTING POND AND STORM SEWER INLET WHERE THE WATER IS THEN CONVEYED BY STORM SEWER AND OPEN CHANNEL TO THE GRIEGOS POND THAT WAS CONSTRUCTED WITH SAD 216.

THERE ARE OFF-SITE FLOWS ENTERING THE POND FROM THE PATHWAY OFFICE PARK DEVELOPMENT AS WELL AS MINIMAL FLOWS FROM THE PAN AMERICAN FREEWAY. THIS SITE IS LOCATED IN A SHADED "X" ZONE AS SHOWN ON FIRM MAP #35001C0138H.

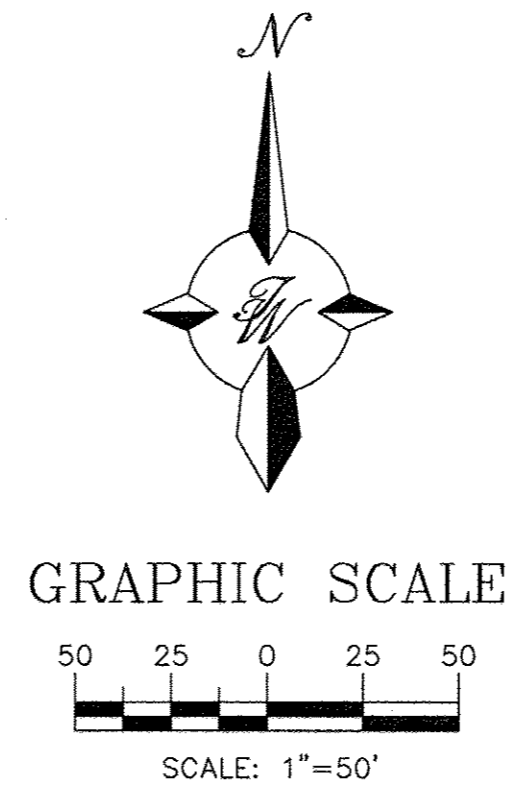
BASED ON THE APPROVED DRAINAGE REPORT FOR THE CARPENTERS TRAINING CENTER (G16/D145) THIS PROJECT MAY DISCHARGE A TOTAL OF 159.55 CFS WHICH TAKES INTO ACCOUNT ALL OF THE STORM WATER ENTERING THE TEMPORARY RETENTION POND AS WELL AS FLOWS FROM INTERSTATE 25. PLEASE SEE THE BASIN MAP ON SHEET C6 FOR ALL OF THE BASINS DRAINING THROUGH THE PIPE UNDER INTERSTATE 25. THE INFORMATION PERTAINING TO THE AMOUNT OF DISCHARGE ALLOWED FROM THIS PARCEL IS DETAILED ON PAGE 12 OF THE CARPENTERS TRAINING CENTER REPORT. ALL OF THE FLOWS WILL PASS THROUGH AN EXISTING 48" RCP UNDER INTERSTATE 25 WHICH HAS A CAPACITY FOR 161 CFS. THIS PIPE DAYLIGHTS INTO A PONDING AREA WEST OF THE INTERSTATE AND EVENTUALLY DRAINS INTO THE GRIEGOS POND.

THE TEMPORARY RETENTION POND RECEIVES 24.5 CFS FROM A STORM SEWER THAT RUNS ALONG INTERSTATE 25 AND ANOTHER 93.4 CFS FROM THE STORM SEWER IN VASSAR DRIVE. ONCE A CONNECTION IS MADE BETWEEN THOSE STORM SEWERS AND THE ONE UNDER INTERSTATE 25 THE POND MAY BE RECLAIMED FOR DEVELOPMENT.

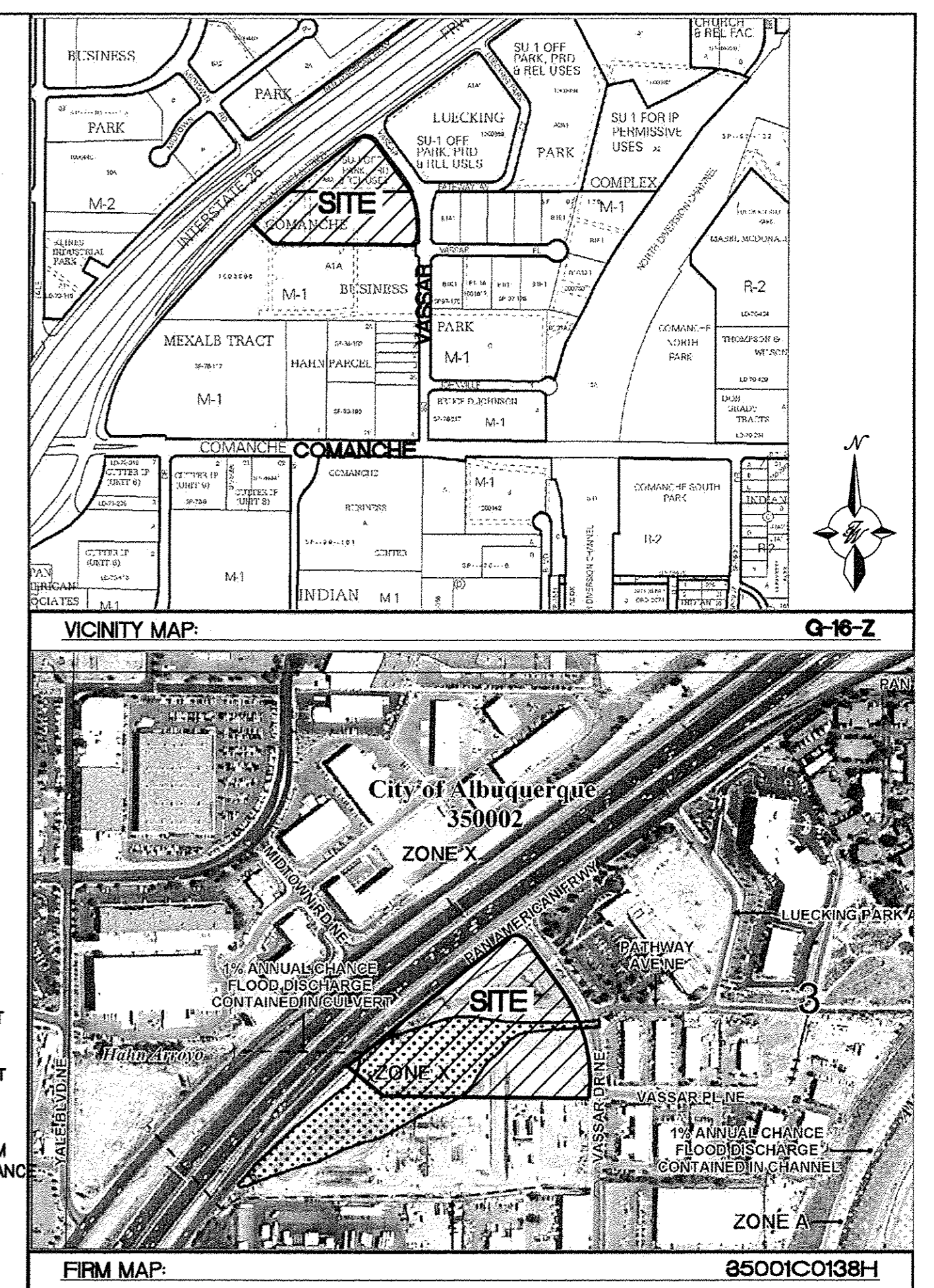
THE CARPENTERS TRAINING CENTER REPORT SHOWS A HIGHER FLOW RATE (159.55 CFS) THAN THE SAD 216 REPORT (101 CFS) DUE TO USING THE RAW BASIN DRAINAGE NUMBERS WITHOUT ROUTING THEM ALONG WITH A CHANGE IN THE PERCENTAGE OF LAND TREATMENTS FROM 15% "A", 15% "B", 70% "D" TO 20% "B" AND 80% "D". THE INCREASE IN FLOW PROVIDES A MORE CONSERVATIVE FLOW AMOUNT TO ENSURE ALL OF THE DOWNSTREAM DRAINAGE FACILITIES HAVE CAPACITY FOR THE UPPLAND FLOWS AS IDENTIFIED IN SAD 216. THE CHANGE IN LAND TREATMENT NUMBERS DID INCREASE THE VOLUME GENERATED FROM THIS AREA AND THAT IS CAPTURED IN A PONDING AREA BETWEEN INTERSTATE 25 AND YALE BOULEVARD AS DISCUSSED ON PAGE 12 OF THE CARPENTERS TRAINING CENTER DRAINAGE REPORT.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 --- EXISTING CONTOUR MAJOR
- 5011 --- EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



PROPOSED SITE DRAINAGE

THIS SITE WILL BE DEVELOPED WITH AN ENTERTAINMENT/RESTAURANT BUILDING ON THE PAD ALONG VASSAR DRIVE AND A FUTURE RESTAURANT PAD SITE ALONG THE PAN AMERICAN FREEWAY. THE TEMPORARY RETENTION POND WILL BE ELIMINATED AND THE EXISTING 42-INCH PUBLIC STORM SEWER WILL BE REROUTED AND CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER DEVELOPMENT (G16/D145). THE SITE WILL UTILIZE LOW IMPACT DEVELOPMENT (LID) WHERE POSSIBLE ALLOWING SURFACE STORM WATER TO FLOW THROUGH LANDSCAPED AREAS PRIOR TO DISCHARGING TO THE STORM SEWER. THERE ARE SEVEN PROPOSED BASINS AS SHOWN ON THE PROPOSED BASIN MAP ON SHEET C6.

BASIN A CONSISTS OF THE BUILDING WITH ALL OF THE ROOF DRAINAGE FLOWING TO THE BACK OF THE BUILDING AND CONVEYED TO THE PARKING LOT VIA EXTERNAL ROOF DRAINS. THESE FLOWS ALONG WITH THE PARKING LOT FLOWS WILL DRAIN TO A LANDSCAPED PONDING AREA WITH A STAND PIPE SO THAT TRASH AND SEDIMENT CAN BE CAPTURED PRIOR TO THE STORM WATER ENTERING A STORM SEWER SYSTEM. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 8.62 CFS.

BASIN B CONSISTS OF THE SOUTHWEST PARKING LOT WHERE SURFACE STORM WATER WILL BE ROUTED THROUGH LANDSCAPING PRIOR TO DISCHARGING TO A DROP INLET AT A 100-YEAR PEAK FLOW OF 5.11 CFS.

BASIN C CONSISTS OF A PART OF THE FUTURE RESTAURANT PAD. THIS BASIN WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.54 CFS AND WILL DISCHARGE INTO A DROP INLET.

BASIN D CONSISTS OF A PORTION OF THE FUTURE RESTAURANT PAD AND WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.46 CFS WHICH DISCHARGES INTO A DROP INLET.

BASIN E CONSISTS OF A PARKING LOT WHERE THE TEMPORARY RETENTION POND IS BEING RECLAIMED. AN EXISTING 42-INCH PUBLIC STORM SEWER (93.4 CFS) ENTERS THIS BASIN FROM THE WEST AND WILL BE REALIGNED TO THE NORTH TO INTERCEPT AN EXISTING PUBLIC 24-INCH STORM SEWER (24.5 CFS) THAT ENTERS THE SITE FROM THE NORTH. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 3.45 CFS AND DISCHARGE TO A DROP INLET CONNECTED TO THE 42-INCH STORM SEWER.

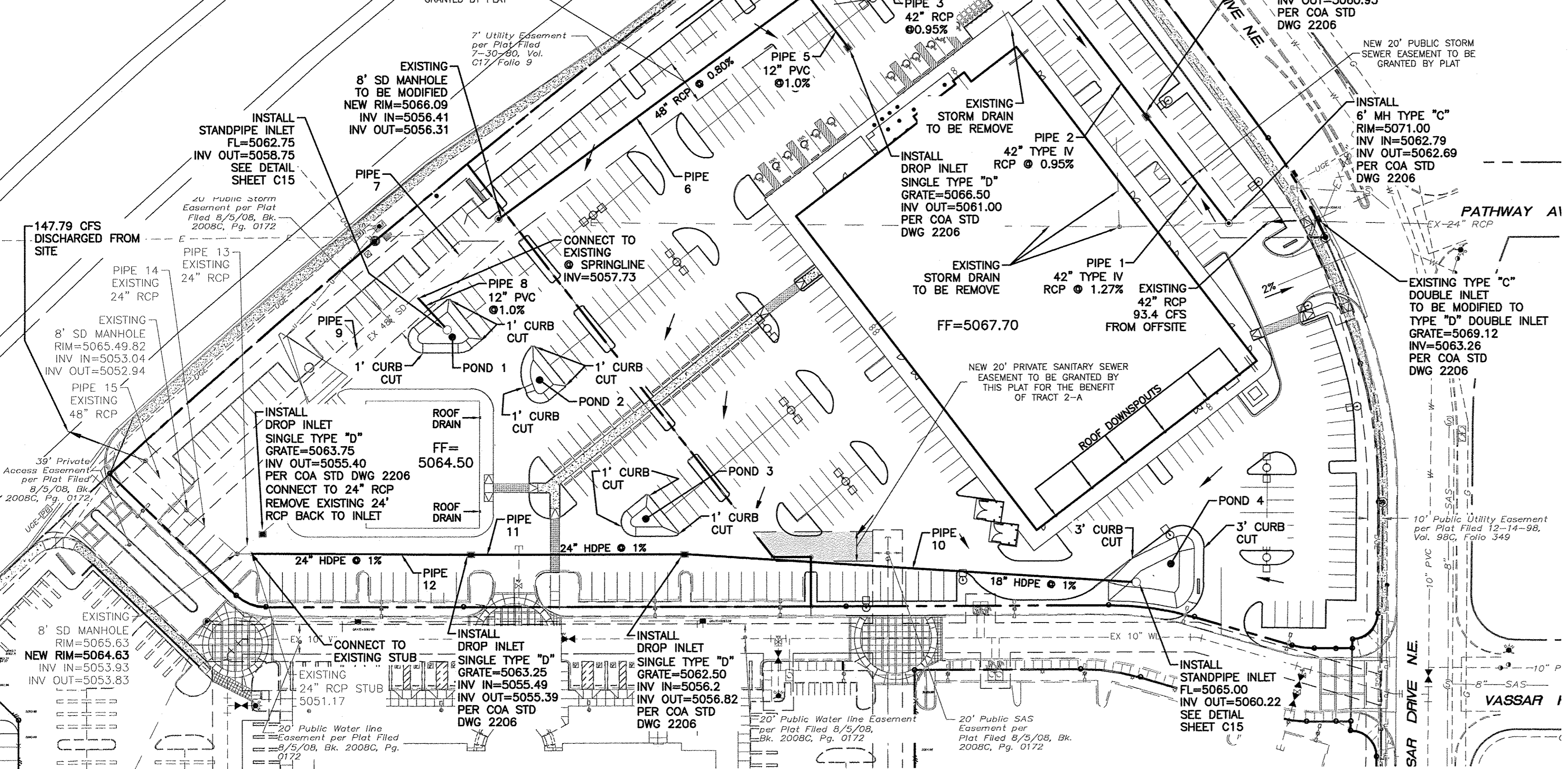
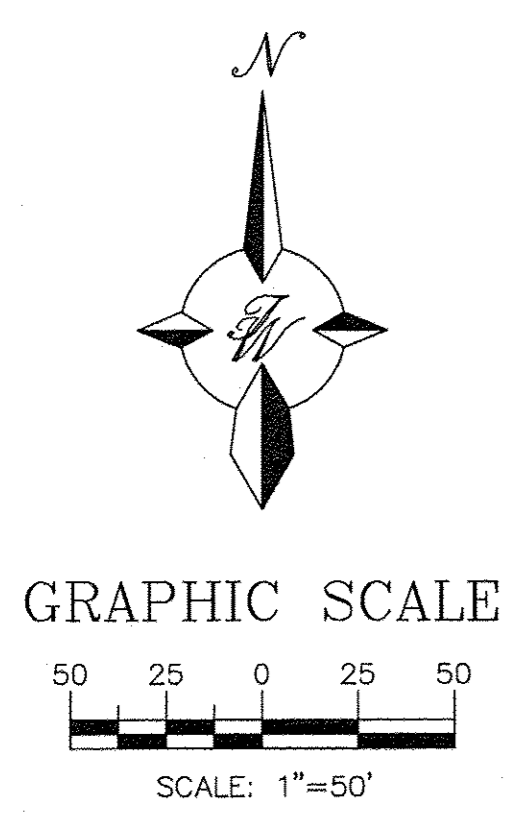
BASIN F CONSISTS OF A PARKING LOT GENERATING A 100-YEAR PEAK FLOW OF 3.44 CFS WHICH DISCHARGES TO A DROP INLET.

BASIN G CONSISTS OF A PARKING LOT AND THE REMAINING PORTION OF THE FUTURE RESTAURANT PAD. THE REALIGNED 42-INCH PUBLIC STORM SEWER WILL BE CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER THAT WAS DESIGNED TO CONTAIN ALL OF THE DEVELOPED FLOW FROM THIS PROPERTY AS WELL AS FROM THE PATHWAY OFFICE PARK. THIS BASIN GENERATES A 100-YEAR PEAK FLOW OF 6.25 CFS.

ALL OF THE STORM SEWER CONSTRUCTED WITH THIS PROJECT WILL BE CONNECTED TO AN EXISTING 48-INCH STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER PROJECT. THE PREVIOUSLY APPROVED DRAINAGE REPORT FOR CARPENTERS TRAINING CENTER ESTIMATED A TOTAL DEVELOPED DISCHARGE THROUGH THAT PIPE OF 159.55 CFS. THIS PROJECT WILL GENERATE A TOTAL DEVELOPED 100-YEAR FLOW OF 29.88 CFS AND COMBINED WITH THE 117.9 CFS FROM THE PATHWAY OFFICE PARK DEVELOPMENT WILL DISCHARGE A 100-YEAR FLOW OF 147.79 CFS WHICH IS LESS THAN THE 159.55 CFS PREVIOUSLY APPROVED. THE PROPOSED STORM SEWER WAS ANALYZED USING STORMCAD AND A PROFILE IS PROVIDED ON SHEET C6. AS SHOWN IN THAT PROFILE THE HGL FOR THE SYSTEM STAYS WELL WITHIN THE STORM SEWER.

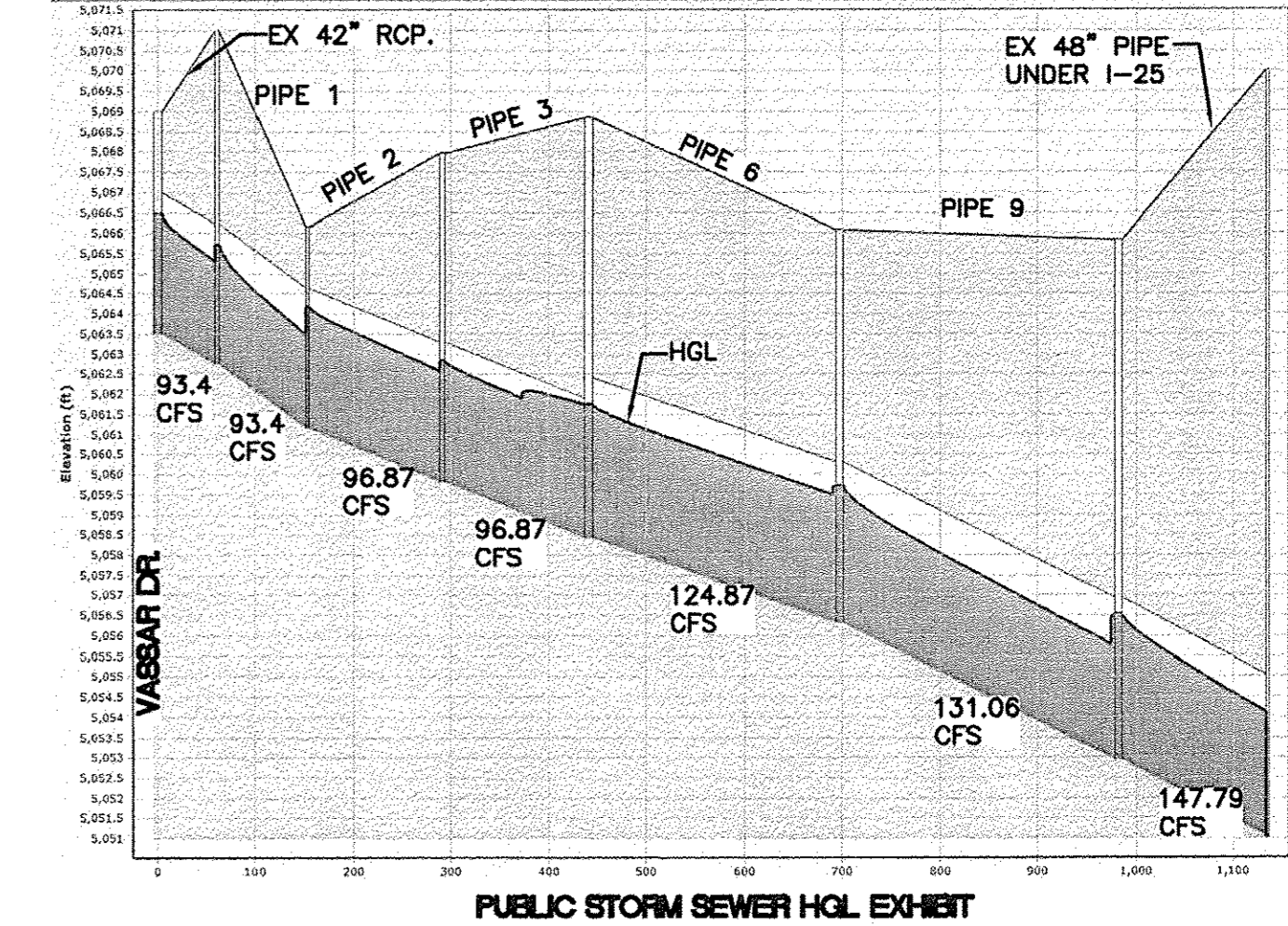
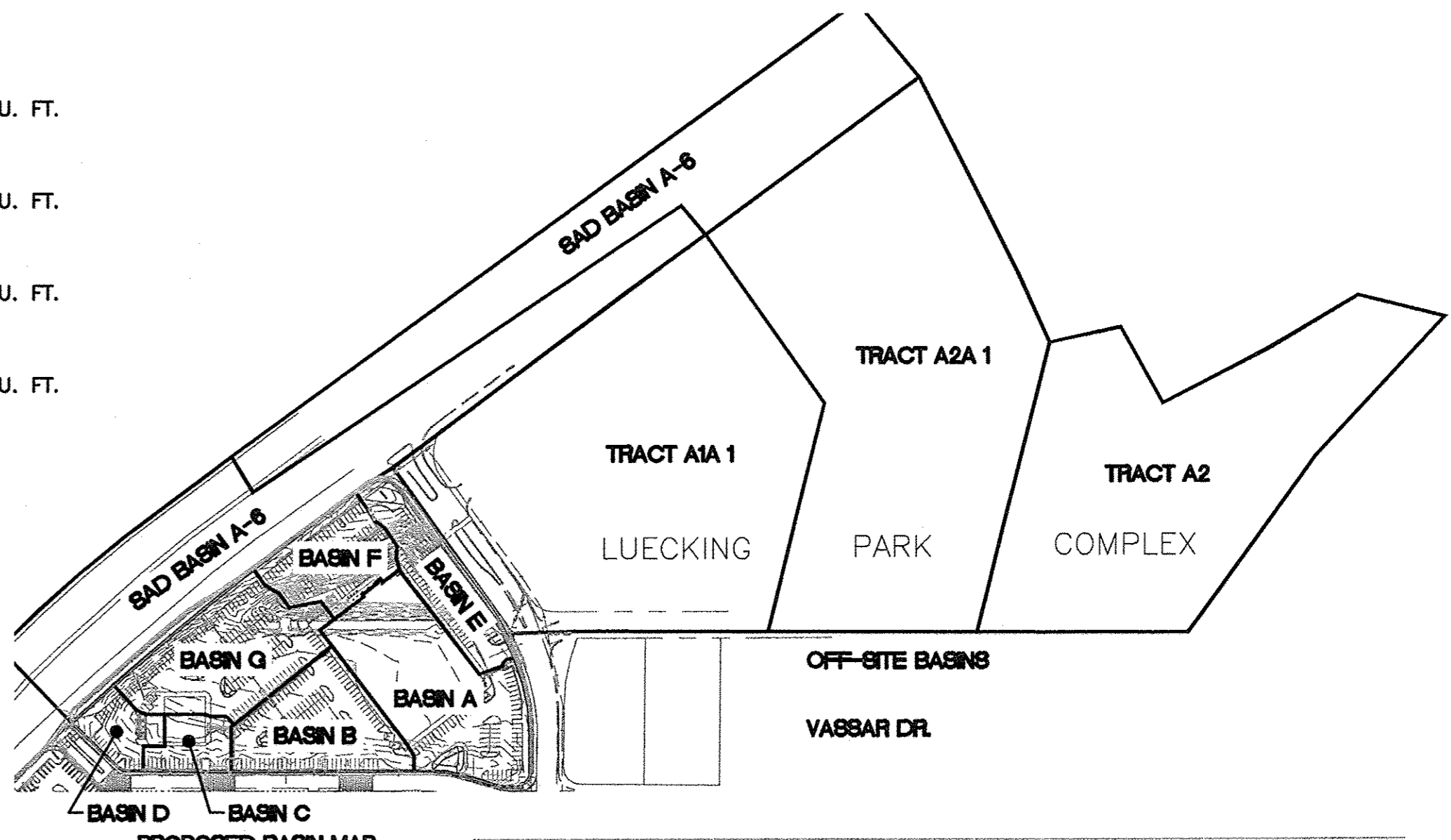
IN ORDER TO MEET THE FIRST FLUSH REQUIREMENTS STORM WATER WILL BE ROUTED THROUGH LANDSCAPED AREAS WHERE POSSIBLE. THERE ARE SMALL RETENTION PONDS LOCATED IN BASINS A, B AND G TO RETAIN THE REQUIRED VOLUME BASED ON THE CALCULATIONS SHOWN SHEET C6.

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
		PAN AM FREEWAY AND VASSAR AV.	BJF
			DATE
			05/14/15
		GRADING PLAN	2015015_GRB
			SHEET #
			C5
		TIERRA WEST, LLC	JOB #
		5571 MIDWAY PARK PLACE NE	2015015
		ALBUQUERQUE, NM 87109	
		(505) 858-3100	
		www.tierrawestllc.com	



POND INFO:

POND 1	VOL=1,751 CU. FT. TOP=5062.90 BOP=5060.90
POND 2	VOL=1,121 CU. FT. TOP=5064.21 BOP=5062.21
POND 3	VOL=1,087 CU. FT. TOP=5063.15 BOP=5061.15
POND 4	VOL=3,398 CU. FT. TOP=5064.00 BOP=5063.00



Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	42	1.27	9.62	0.875	113.69	93.40	9.71
2	42	0.95	9.62	0.875	98.33	96.87	10.07
3	42	0.95	9.62	0.875	98.33	96.87	10.07
4	24	1.25	3.14	0.500	25.36	24.50	7.80
5	12	1.00	0.79	0.250	3.57	3.44	4.38
6	48	0.80	12.57	1.000	128.82	124.81	9.93
7	48	1.17	12.57	1.000	155.79	124.81	9.93
8	12	3.40	0.79	0.250	6.59	6.25	7.96
9	48	1.17	12.57	1.000	155.79	131.06	10.43
10	18	1.00	1.77	0.375	10.53	8.62	4.88
11	24	1.00	3.14	0.500	22.68	13.73	4.37
12	24	1.00	3.14	0.500	22.68	15.27	4.86
13	24	6.97	3.14	0.500	59.89	1.46	0.46
14	24	1.98	3.14	0.500	31.92	16.73	5.33
15	48	2.65	12.57	1.000	234.46	147.79	11.76

Manning's Equation:
 $Q = 1.49n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

A = Area
 R = D/4
 S = Slope
 n = 0.013

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - RETAINING WALL
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
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FIRST FLUSH CALCULATIONS:

5.93 ACRES OF IMPERVIOUS AREA = 258,311 SQ. FT
 258,311 SQ. FT * (0.34"/12) = 7,319 CU. FT = 0.168 AC-FT OF VOLUME REQUIRED TO BE RETAINED ON-SITE.

Capacity of a Single 'D' Storm Drop Inlet

Capacity of the grate:
 $L = 40 \cdot 2(2 \cdot \text{width}) \cdot 7(1/2 \cdot \text{middle bars}) = 32 \cdot 1/2 \cdot 7 = 2.7083'$

$W = 25 \cdot 13(1/2 \cdot \text{middle bars}) = 18.5'$
 $= 1.54'$

Area = 2.7083' x 1.54' = 4.18 ft²

Effective Area = 4.18 - 4.18 (0.5 clogging factor) = 2.09 ft² at the grate

Orifice Equation
 $Q = CA \sqrt{2gh}$
 $Q = 0.6 \cdot 2.09 \sqrt{2 \cdot 32.2 \cdot 0.67} = 9.24 \text{ cfs}$

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs		
A	83,352	1.91	0%	8%	0.15	0%	0.00	1.76	2.013	0.321	8.62	1.255	0.200	5.67
B	49,888	1.15	0%	10%	0.11	0%	0.00	90%	1.986	0.190	5.11	1.234	0.118	3.35
C	14,756	0.34	0%	6%	0.02	0%	0.00	94%	2.040	0.058	1.54	1.276	0.036	1.02
D	15,034	0.35	0%	19%	0.07	0%	0.00	81%	1.865	0.054	1.46	1.139	0.033	0.94
E	36,072	0.83	0%	22%	0.18	0%	0.00	78%	1.825	0.126	3.45	1.107	0.076	2.20
F	34,539	0.79	0%	15%	0.12	0%	0.00	85%	1.919	0.127	3.44	1.181	0.078	2.23
G	63,131	1.45	0%	16%	0.23	0%	0.00	84%	1.906	0.230	6.25	1.170	0.141	4.04

Equations:
 Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
 Volume = Weighted E * Total Area
 Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)

Zone	100-Year	10-Year
E _a	0.53	0.13
E _b	0.78	0.28
E _c	1.13	0.52
E _d	2.12	1.34

Peak Discharge (cfs/acre)

Zone	100-Year	10-Year
Q _a	1.56	0.38
Q _b	2.28	0.95
Q _c	3.14	1.71
Q _d	4.70	3.14

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

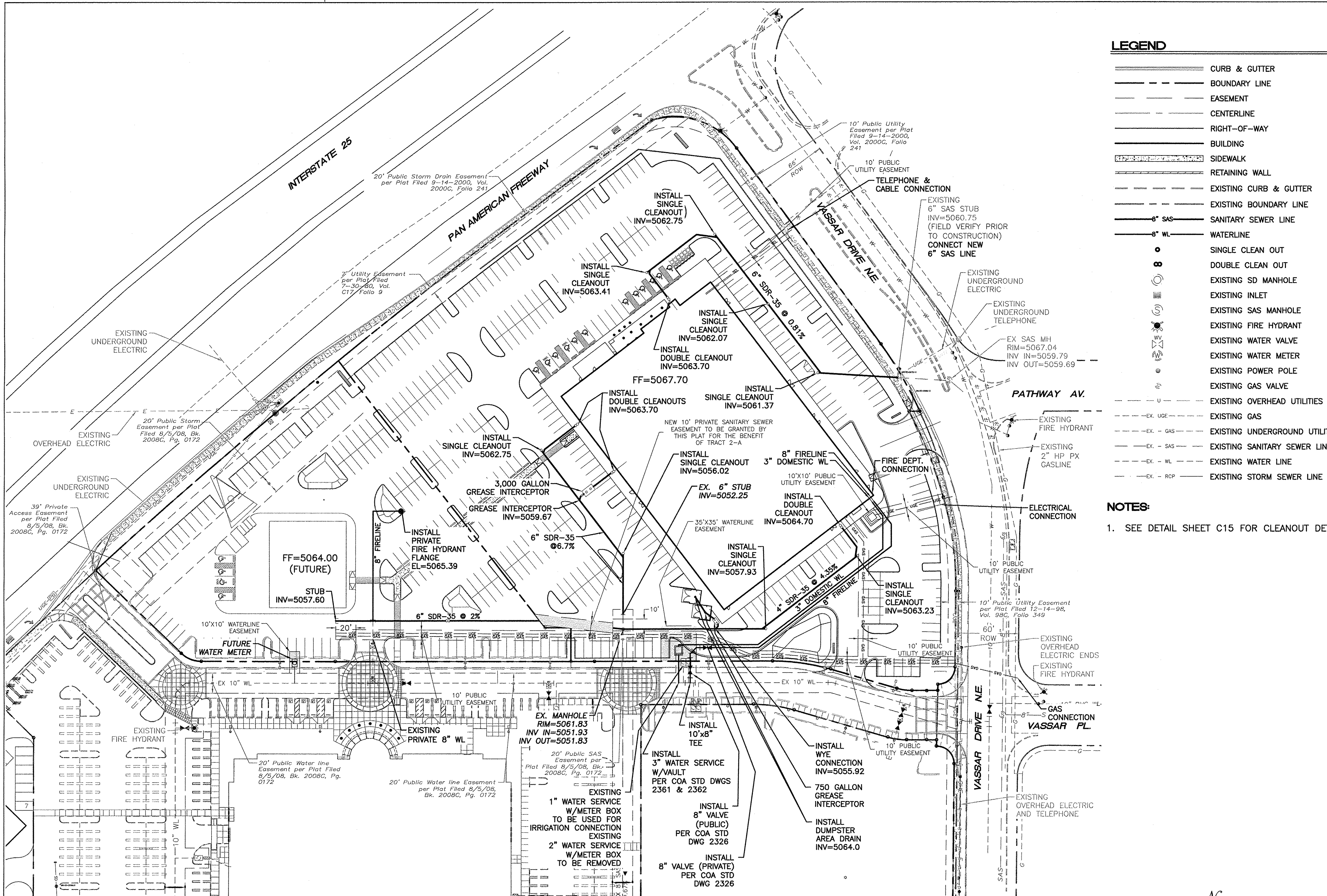
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 PROFESSIONAL ENGINEER

MAIN EVENT
 PAN AM FREEWAY AND VASSAR AV.

DRAINAGE PLAN

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com

DRAWN BY: B/JF
 DATE: 05/14/15
 SHEET #: C6
 JOB #: 2015015



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- ▭ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 6" SAS
- - - 8" WL
- SINGLE CLEAN OUT
- ⊗ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE
- - - EX. GAS
- - - EX. SAS
- - - EX. WL
- - - EX. RCP
- - - EXISTING UNDERGROUND UTILITIES
- - - EX. GAS
- - - EX. SAS
- - - EX. WL
- - - EX. RCP

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

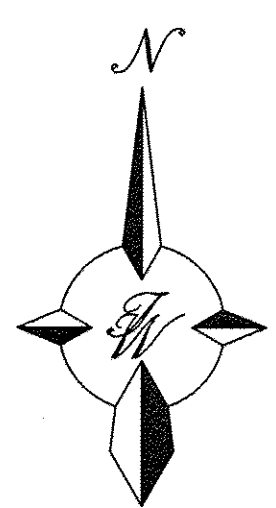
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

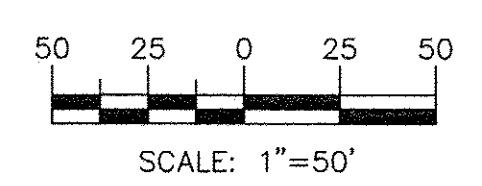
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

NOTES:

- SEE DETAIL SHEET C15 FOR CLEANOUT DETAILS



GRAPHIC SCALE



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY B.J.F.
	MASTER UTILITY PLAN	DATE 06/10/15
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015015_MUB
		SHEET # C7
		JOB # 2015015

EXTERIOR MATERIALS LIST (08/25/14)

METAL COPING

MC-1: Berridge Mfg. Co. / Color: Lead Cote

PREFINISHED METAL

PM-1: Canopy soffit and fascia to be Alpic Materials PE Solid, 4mm Aluminum Composite Metal, Dry Seal System, Color: DYB Blue
 PM-2: Berridge Mfg. Co. / Color: Sierra Tan

MASONRY

BL-1: Trenwyth Trendstone Croundface CMU color: Lincoln
 BL-2: Trenwyth Trendstone Croundface CMU color: Lt. Karmel

FORMLINER

FL-1: Formliner: Fitzgerald Formliner; Pattern #14382 Norfolk Rib

WALL PANEL

WP-1: Nichiha Veneer Panels Color Blend,
 Colors: Sherwin Williams SW0038 Library Pewter
 Benjamin Moore 1077 Great Plains Gold
 Sherwin Williams SW6249 Storm Cloud
 Sherwin Williams SW 7036 Accessible Beige
 Benjamin Moore AF-100 Pashmina

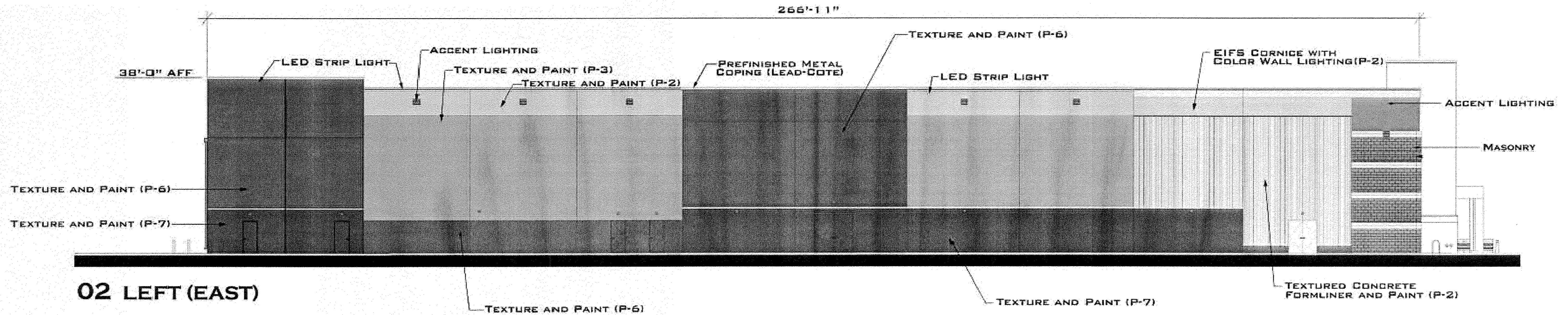
PAINT

P-1: Sherwin Williams, SW7042, Shoji White
 P-2: Sherwin Williams, SW7036, Accessible Beige
 P-3: Benjamin Moore Affinity, AF-100, Pashmina
 P-4: Sherwin Williams, SW7038, Tony Taupe
 P-5: (Not used)
 P-6: Sherwin Williams, SW7039, Virtual Taupe
 P-7: Sherwin Williams, SW7026, Griffin
 P-8: Sherwin Williams, SW7041, Van Dyke Brown
 P-10: Pittsburgh Paints, 347-6 Blue Odyssey

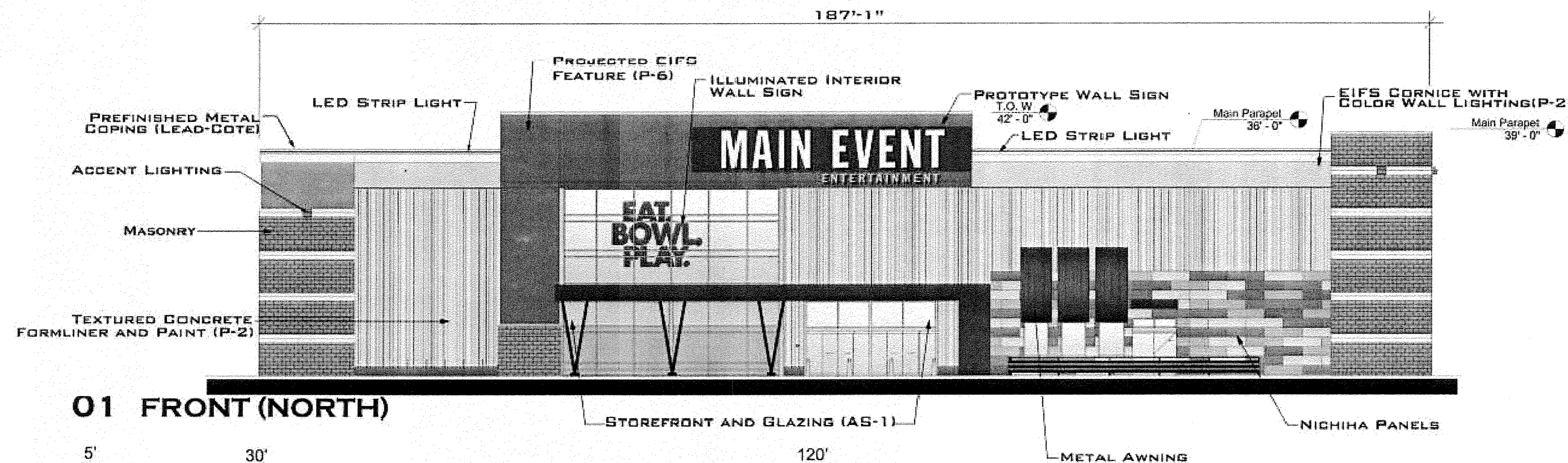
ALUMINUM STOREFRONT

AS-1: Clear Anodized Aluminum Storefront

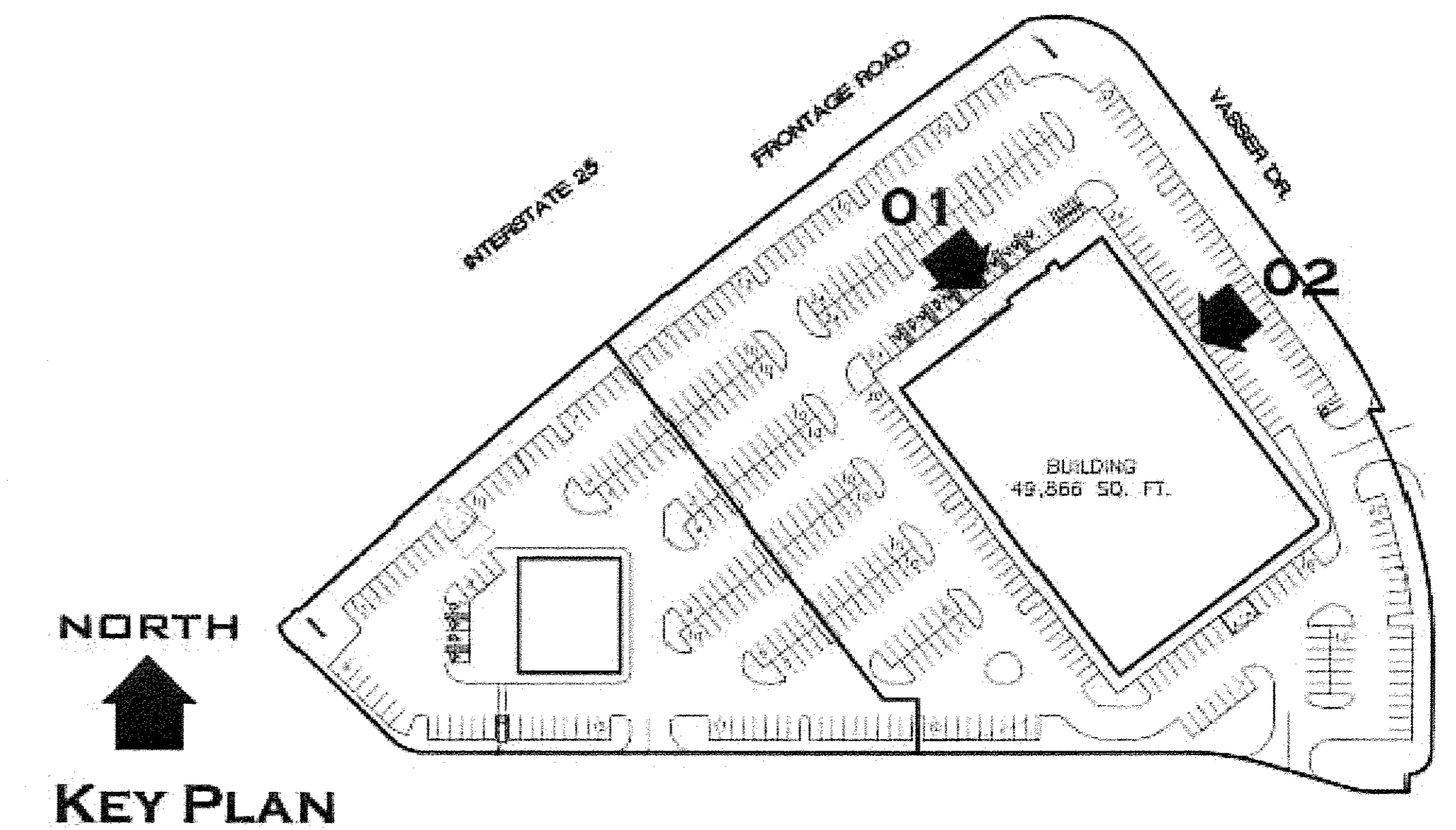
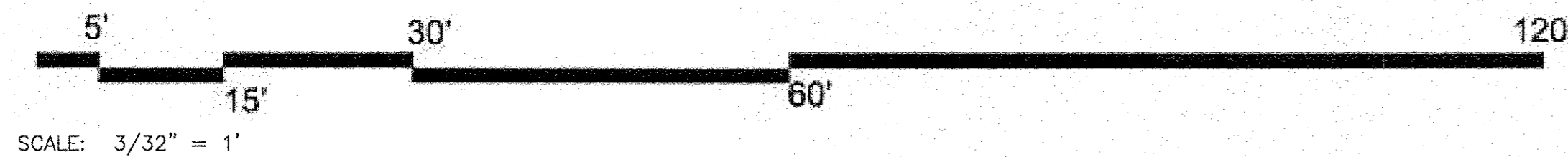
NOTE: MATERIALS SUBJECT TO CHANGE BASED ON AVAILABILITY
 FINAL SELECTIONS TO BE IN SIMILAR COLOR PALETTE

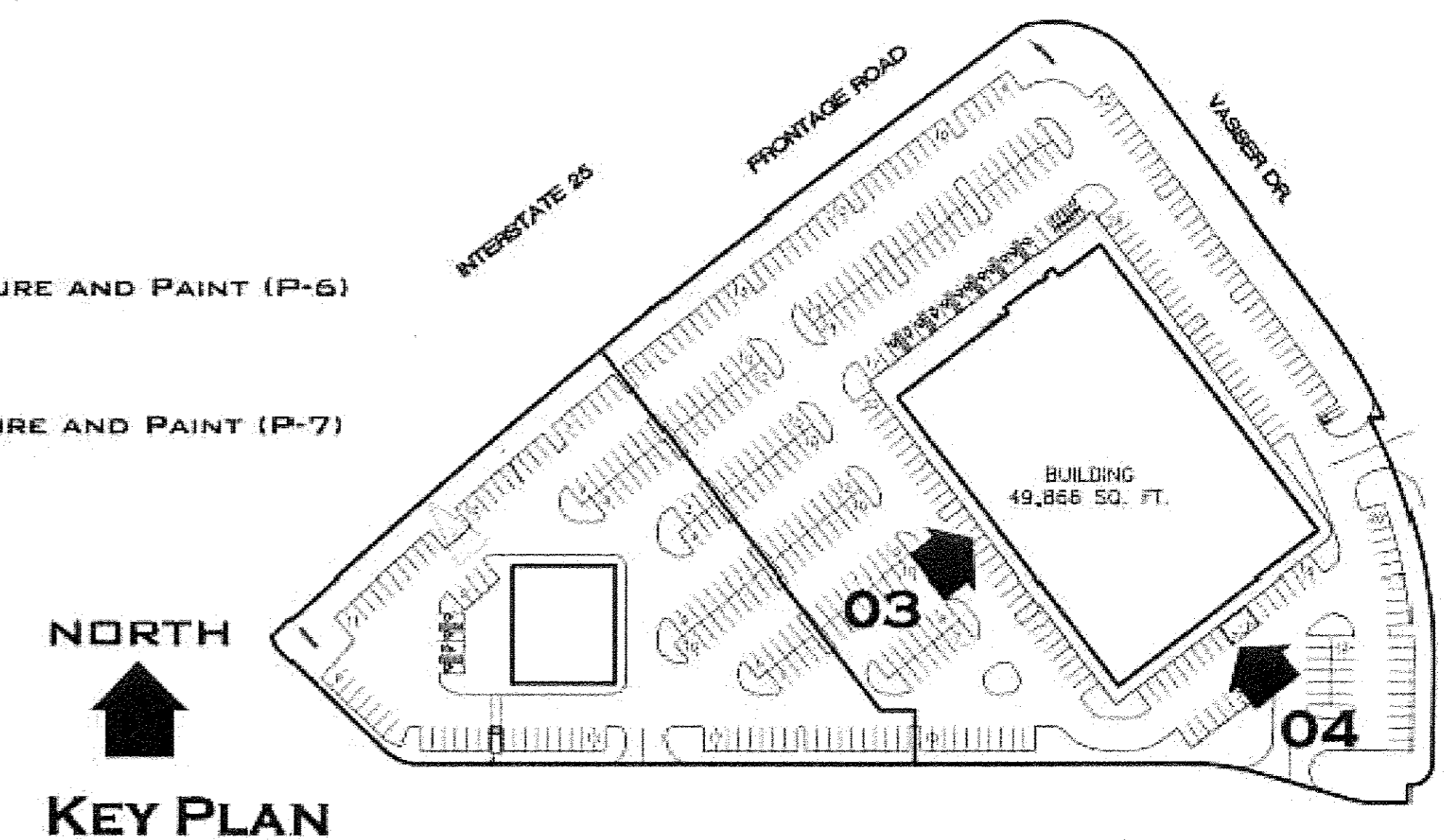
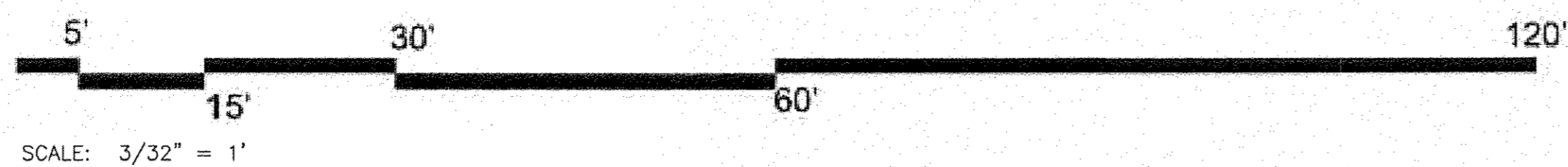
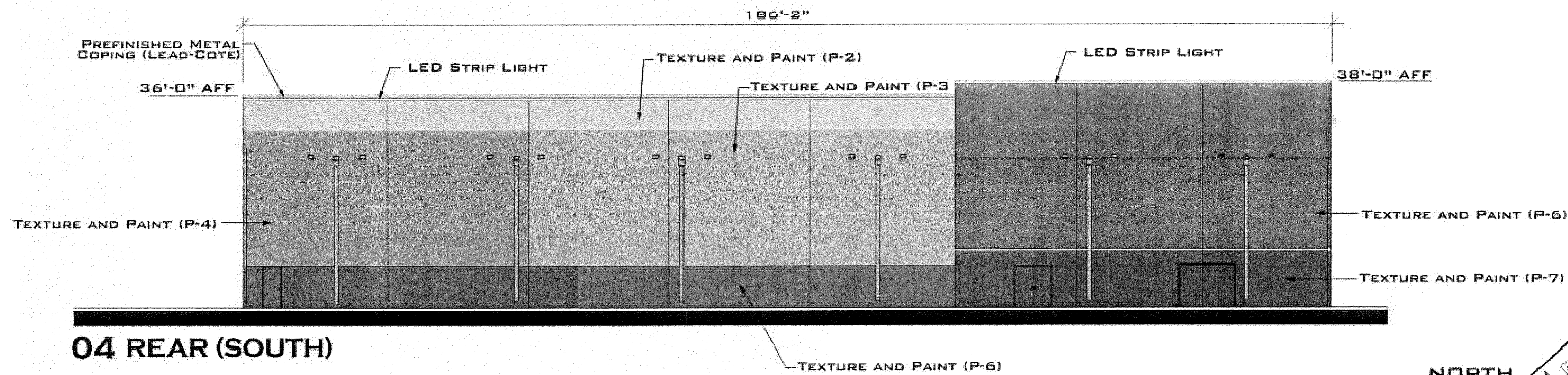
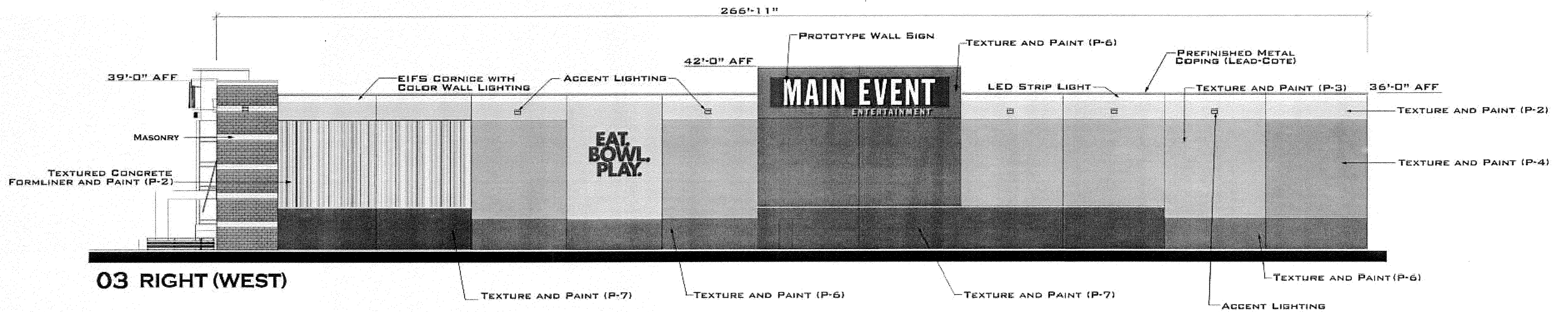


02 LEFT (EAST)

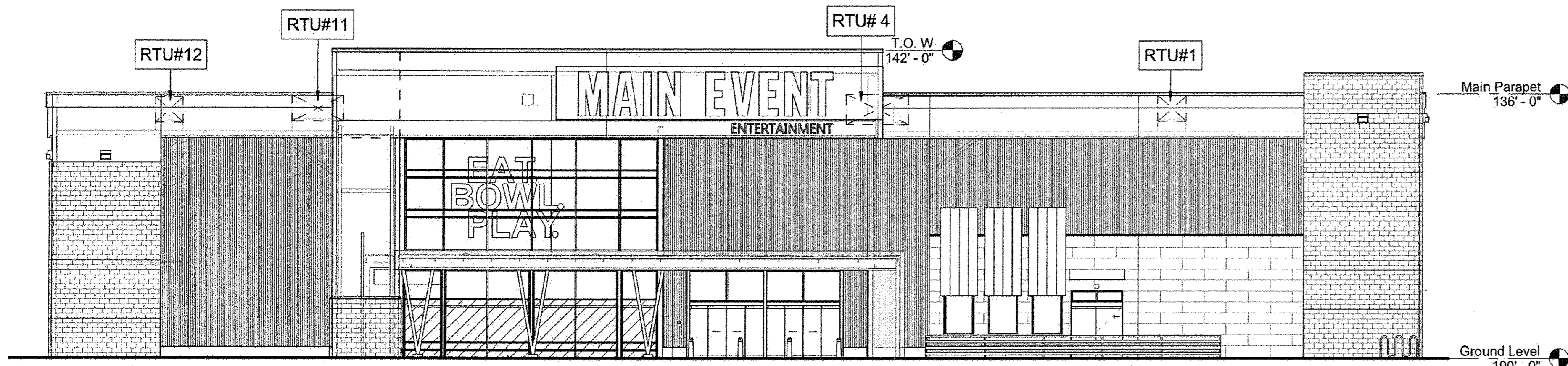


01 FRONT (NORTH)

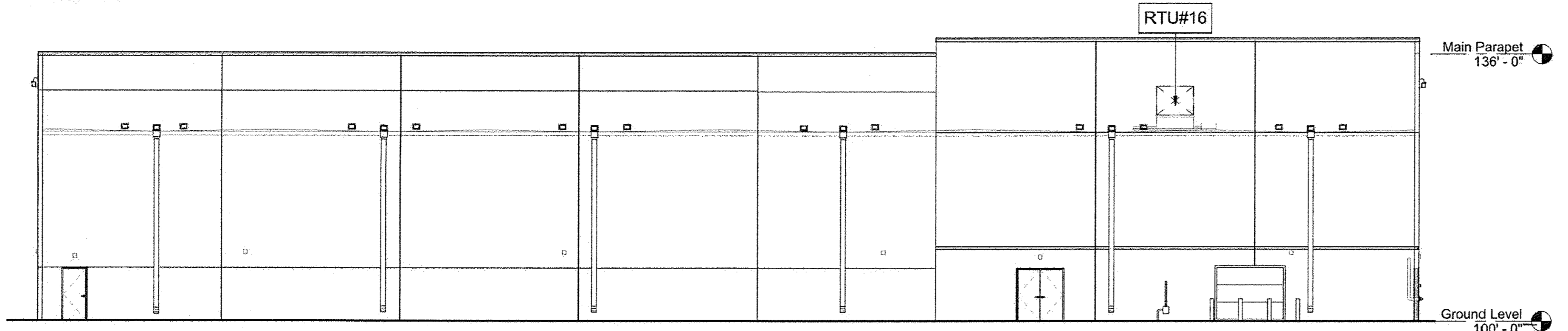




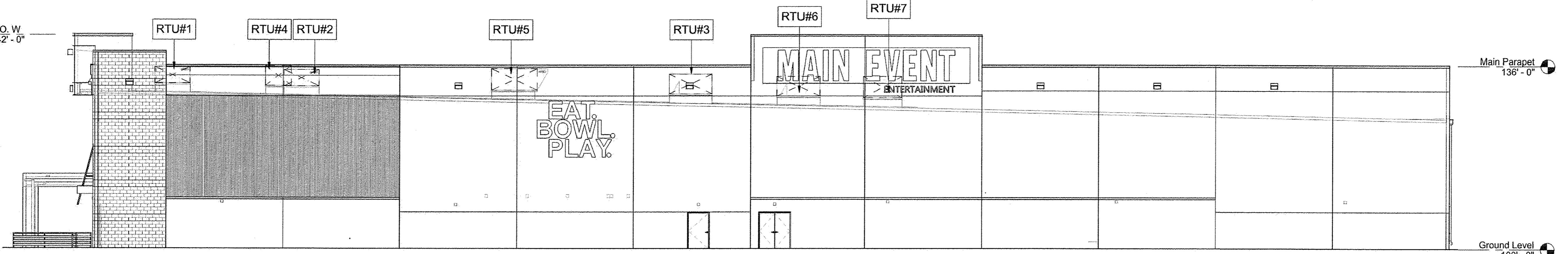
NOTE: THE WALLS HAVE BEEN RENDERED TRANSPARENT IN THE ELEVATIONS PRESENTED ON THIS SHEET SO AS TO ENABLE THE REVIEWER TO SEE THE ROOF LINE AND ROOF TOP UNITS BEYOND. ALL ROOF TOP UNITS WILL BE COMPLETELY SCREENED BY THE PARAPET WALLS.



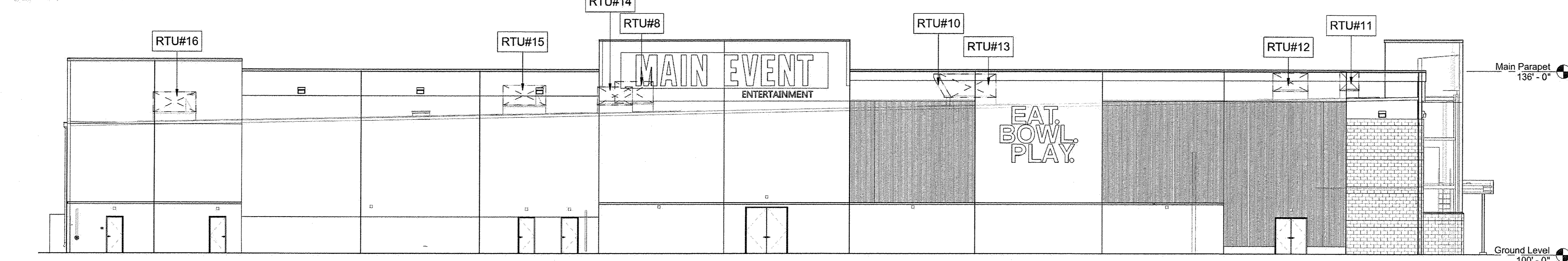
2 Northwest Elevation - RTU
3/32" = 1'-0"



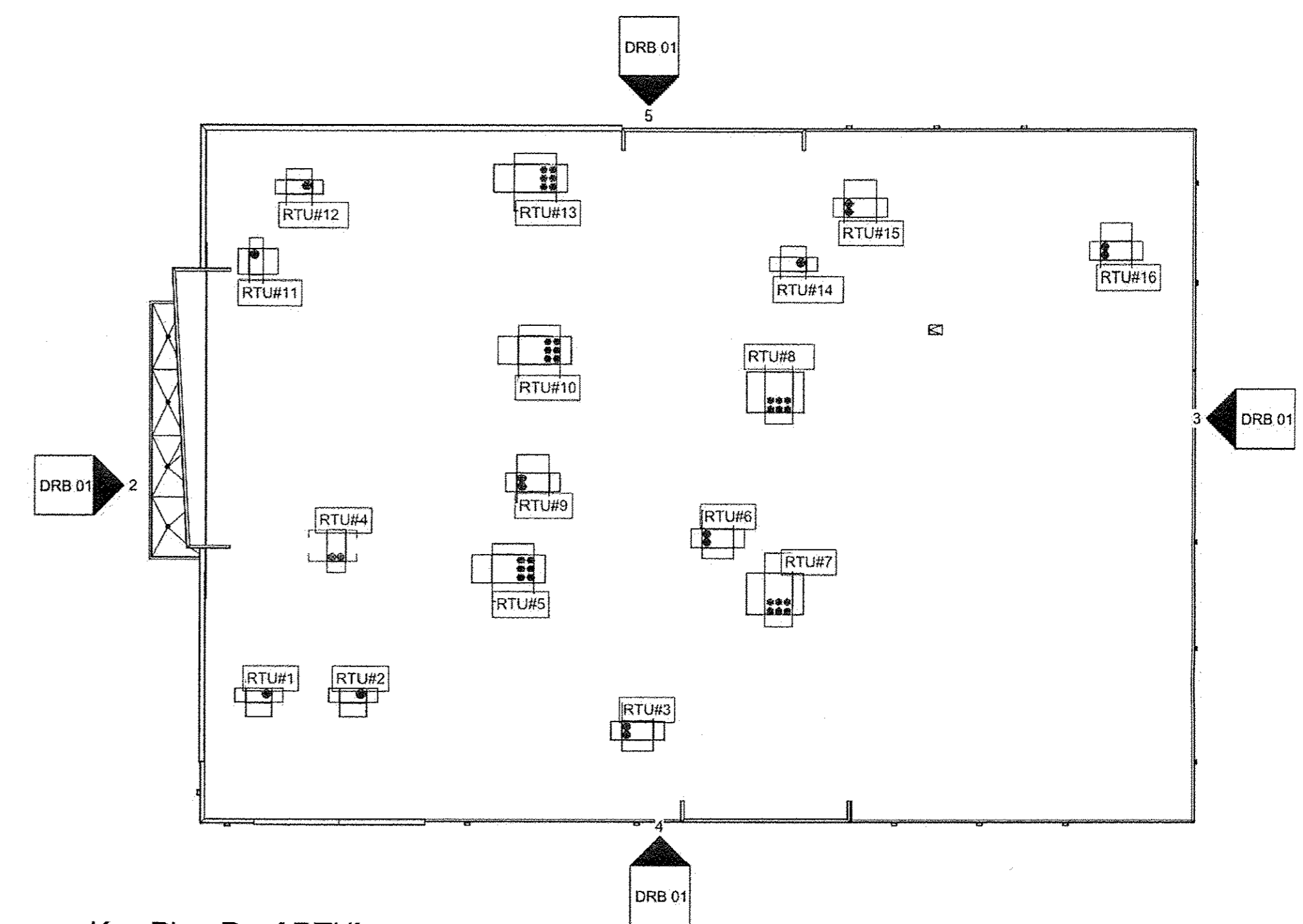
3 Southeast Elevation - RTU
3/32" = 1'-0"



4 Northeast Elevation - RTU
3/32" = 1'-0"



5 Southwest Elevation - RTU
3/32" = 1'-0"



1 Key Plan Roof RTU's
1/32" = 1'-0"

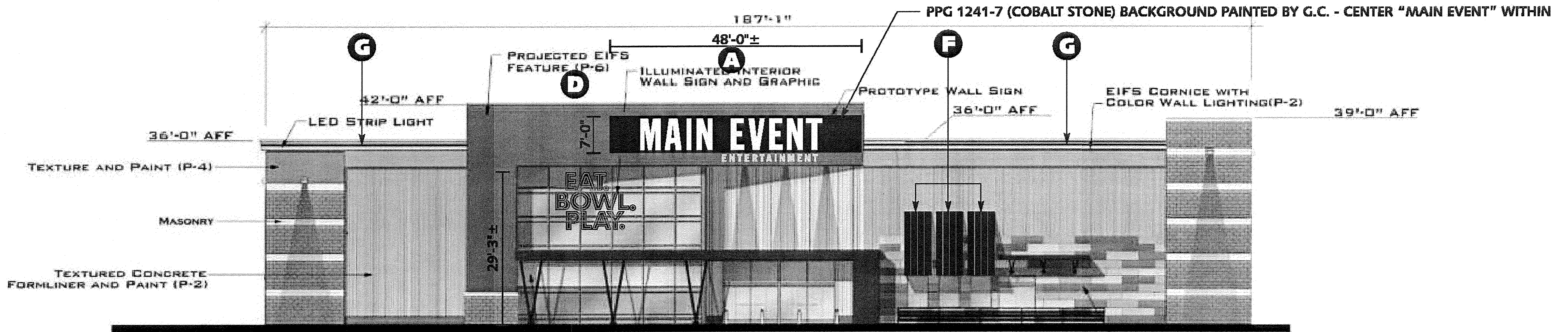
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Architecture Planning Interiors
972.387.1000
www.hodgesusa.com
13642 Omega, Dallas, TX 75244

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Panam Freeway and Vassar Av., Albuquerque, NM 87107

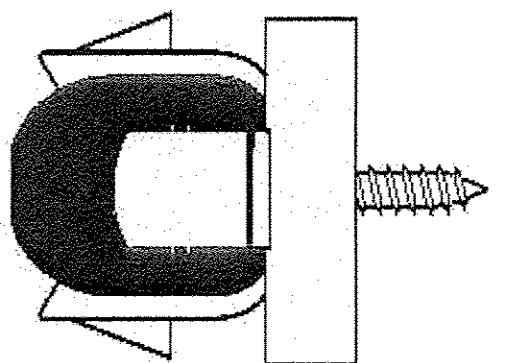
RTU Visibility Check	DRB 01
	Schema/Version:
	C10
Date: 04/29/15	



FRONT (NORTH) ELEVATION

NOT TO SCALE

BLUE GE CONTOUR LED STRIPS MTD. w/ ACRYLIC BUTTONS ON APPROX. 18" CTRS.



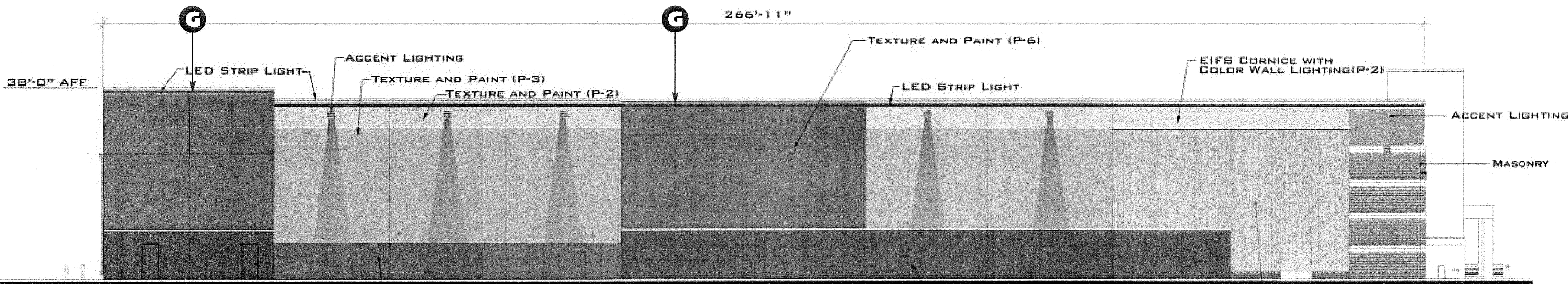
G CONTOUR LEDs NTS
 758'-0"± TOTAL LENGTH OF SINGLE ROW OF GE CONTOUR BLUE LEDS SPANNING TOP OF ELEVATIONS AS SHOWN

INCLUDE COVER AROUND LED CONTOUR - TO BE POINTED DOWNWARDS

277v

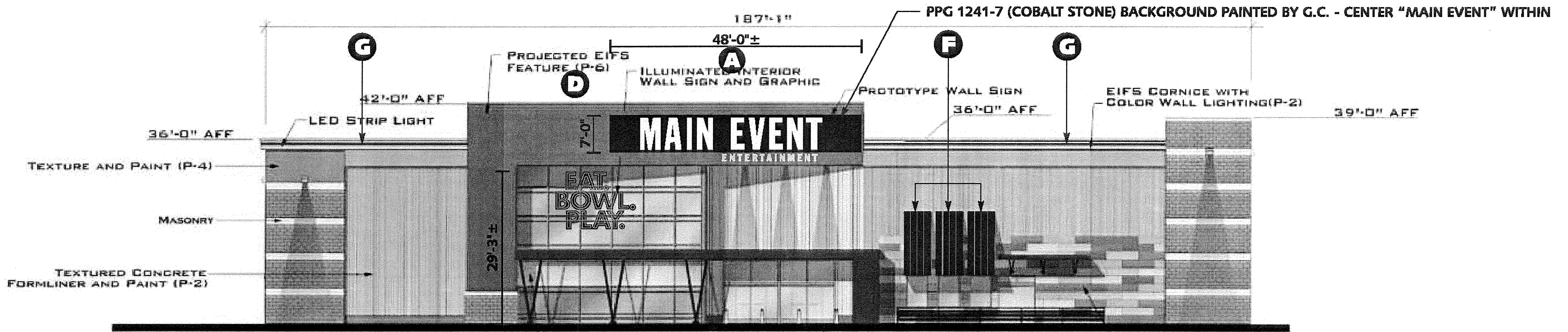
BUILDING MOUNTED SIGNAGE REQUIREMENTS

	TOTAL FACADE AREA	PERMITTED BY CODE	TOTAL SQ. FT. ALLOWED	TOTAL COMBINE SQ. FT.
NORTH	8,393 ft.±	X 6% =	503 sq. ft.±	415 sq ft.
SOUTH	6,954 ft.±	X 6% =	417 sq. ft.±	
EAST	12,001 ft.±	X 6% =	720 sq. ft.±	454.4 sq ft.
WEST	12,580 ft.±	X 6% =	754 sq. ft.±	456 sq ft.



LEFT (EAST) ELEVATION

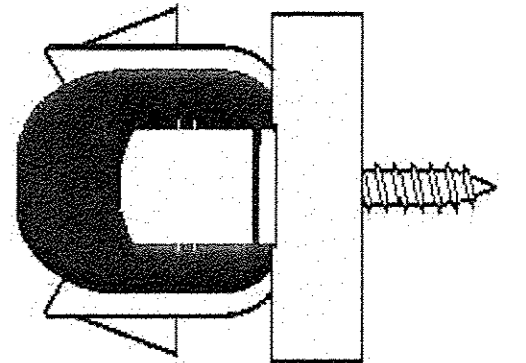
NOT TO SCALE



FRONT (NORTH) ELEVATION

NOT TO SCALE

BLUE GE CONTOUR LED STRIPS MTD. w/ ACRYLIC BUTTONS ON APPROX. 18" CTRS.



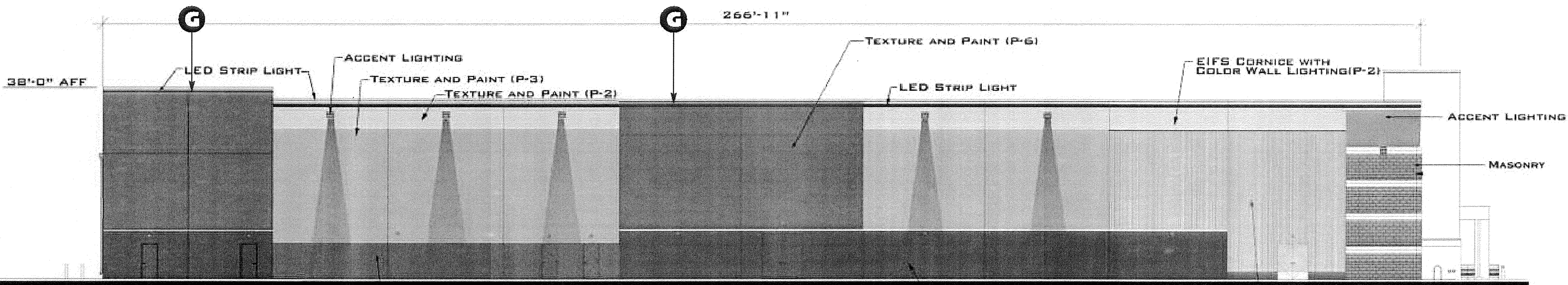
BUILDING MOUNTED SIGNAGE REQUIREMENTS

	TOTAL FACADE AREA	PERMITTED BY CODE	TOTAL SQ. FT. ALLOWED	TOTAL COMBINE SQ. FT.
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WEST	12,580 ft.±	X 6% =	754 sq. ft.±	456 sq. ft.

G CONTOUR LEDs NTS
 758'-0"± TOTAL LENGTH OF SINGLE ROW OF GE CONTOUR BLUE LEDS SPANNING TOP OF ELEVATIONS AS SHOWN

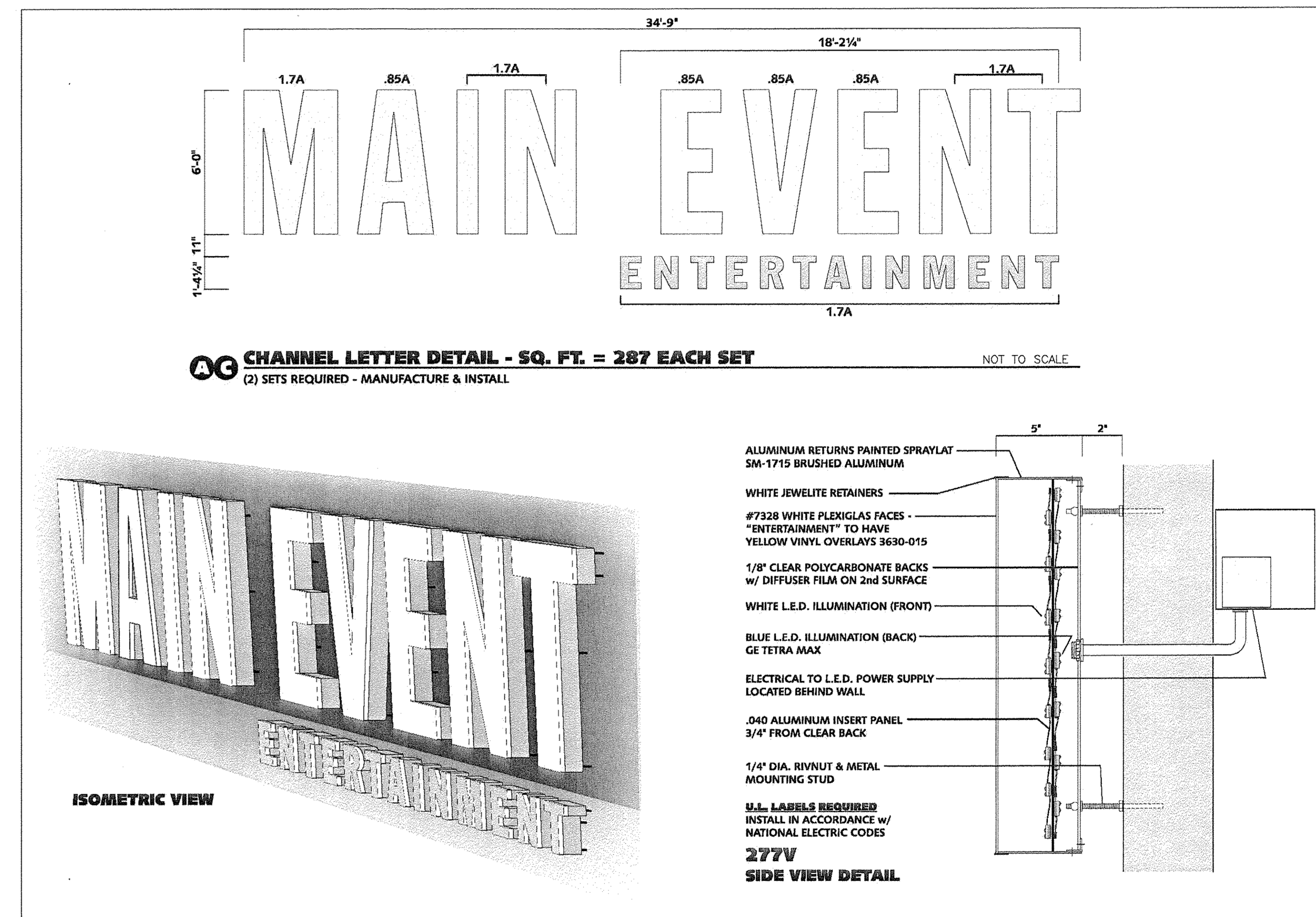
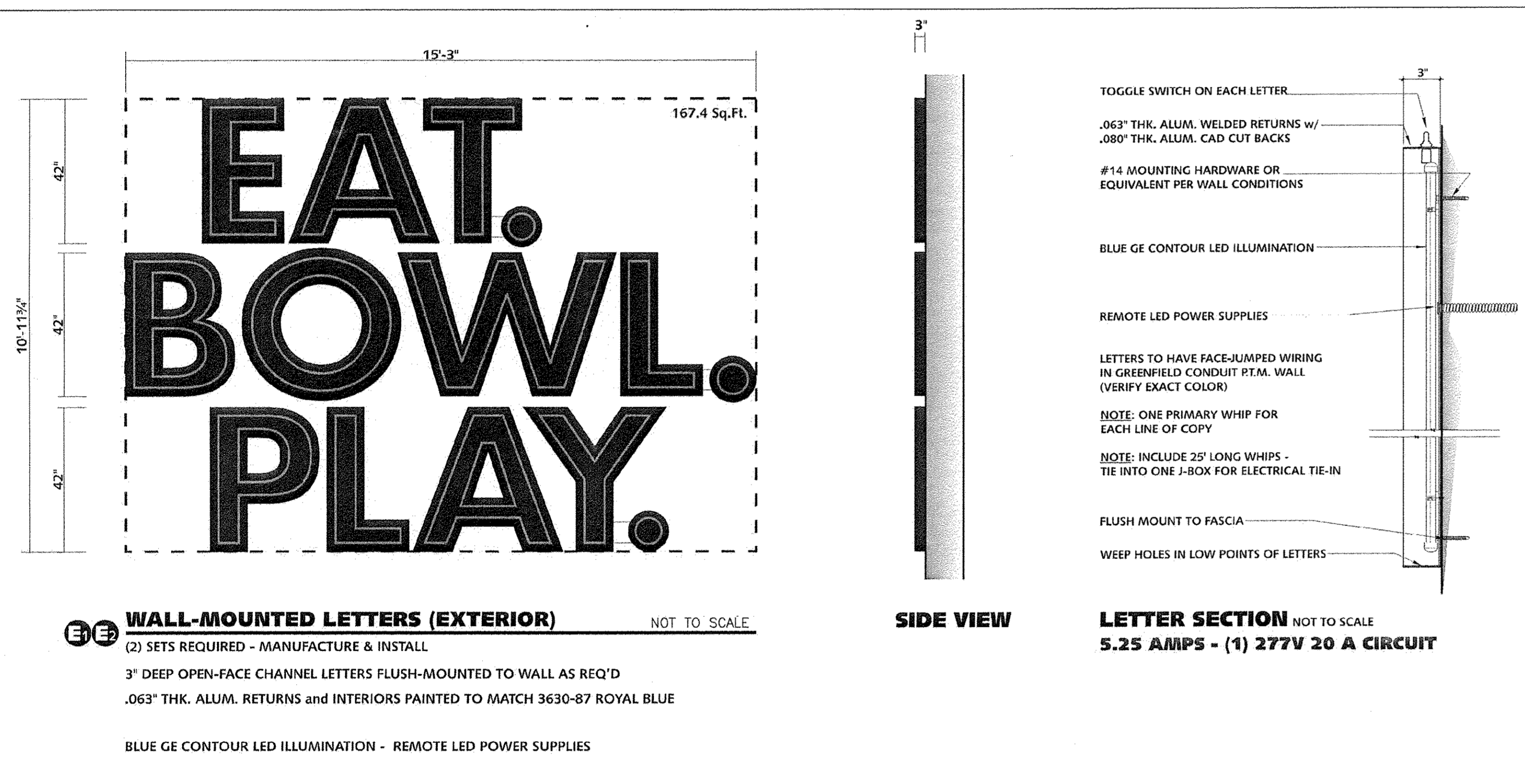
INCLUDE COVER AROUND LED CONTOUR - TO BE POINTED DOWNWARDS

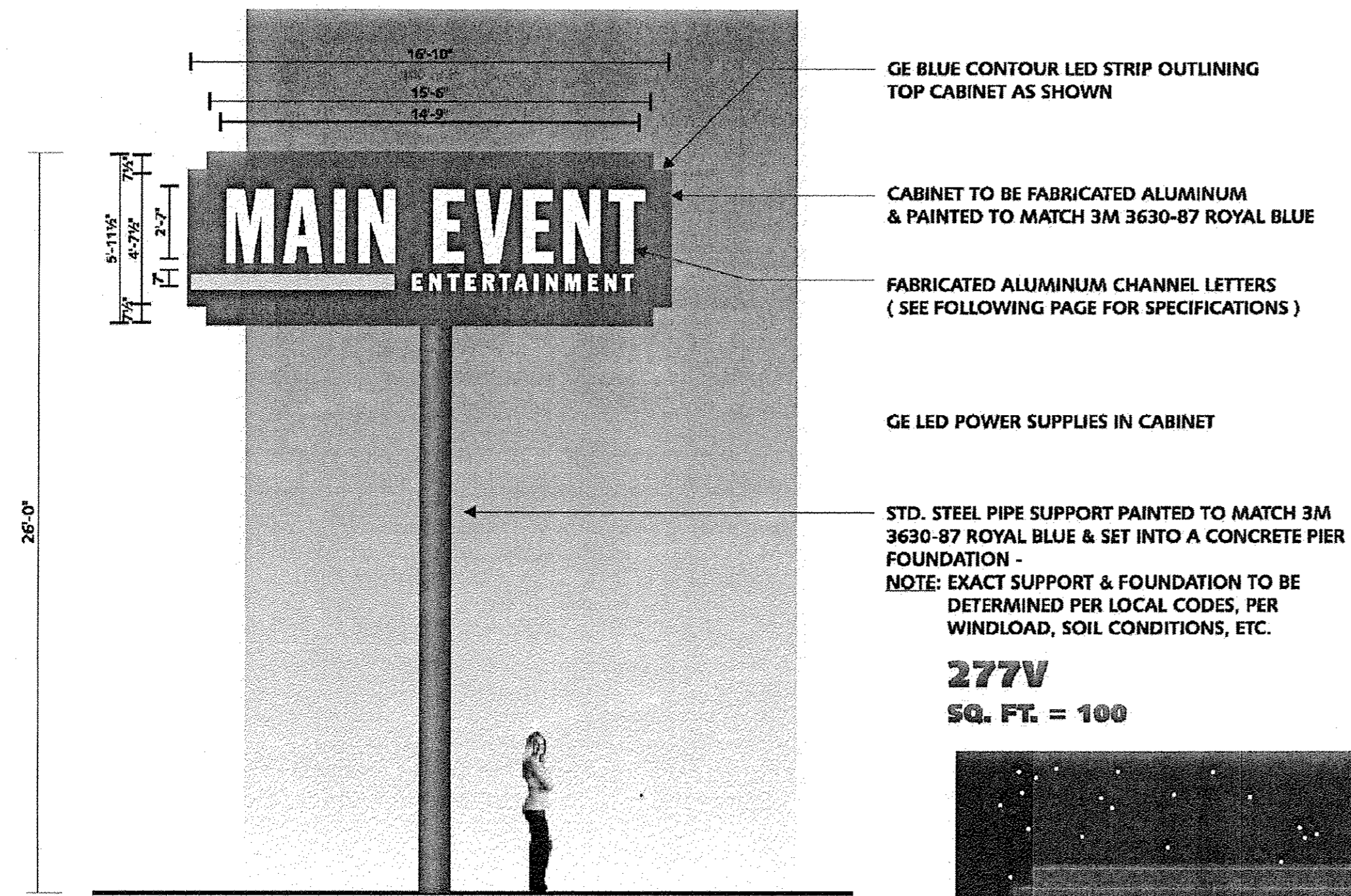
277v



LEFT (EAST) ELEVATION

NOT TO SCALE





GE BLUE CONTOUR LED STRIP OUTLINING TOP CABINET AS SHOWN

CABINET TO BE FABRICATED ALUMINUM & PAINTED TO MATCH 3M 3630-87 ROYAL BLUE

FABRICATED ALUMINUM CHANNEL LETTERS (SEE FOLLOWING PAGE FOR SPECIFICATIONS)

GE LED POWER SUPPLIES IN CABINET

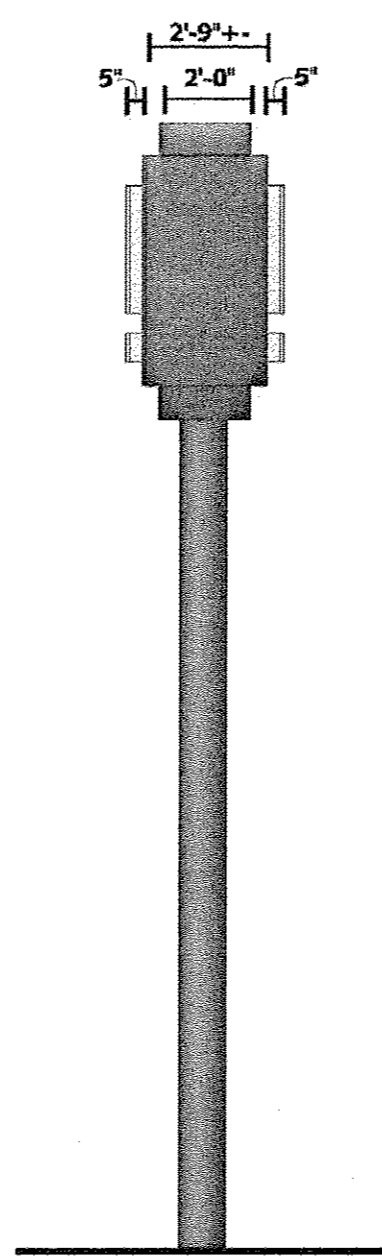
STD. STEEL PIPE SUPPORT PAINTED TO MATCH 3M 3630-87 ROYAL BLUE & SET INTO A CONCRETE PIER FOUNDATION -

NOTE: EXACT SUPPORT & FOUNDATION TO BE DETERMINED PER LOCAL CODES, PER WINDLOAD, SOIL CONDITIONS, ETC.

277V

SQ. FT. = 100

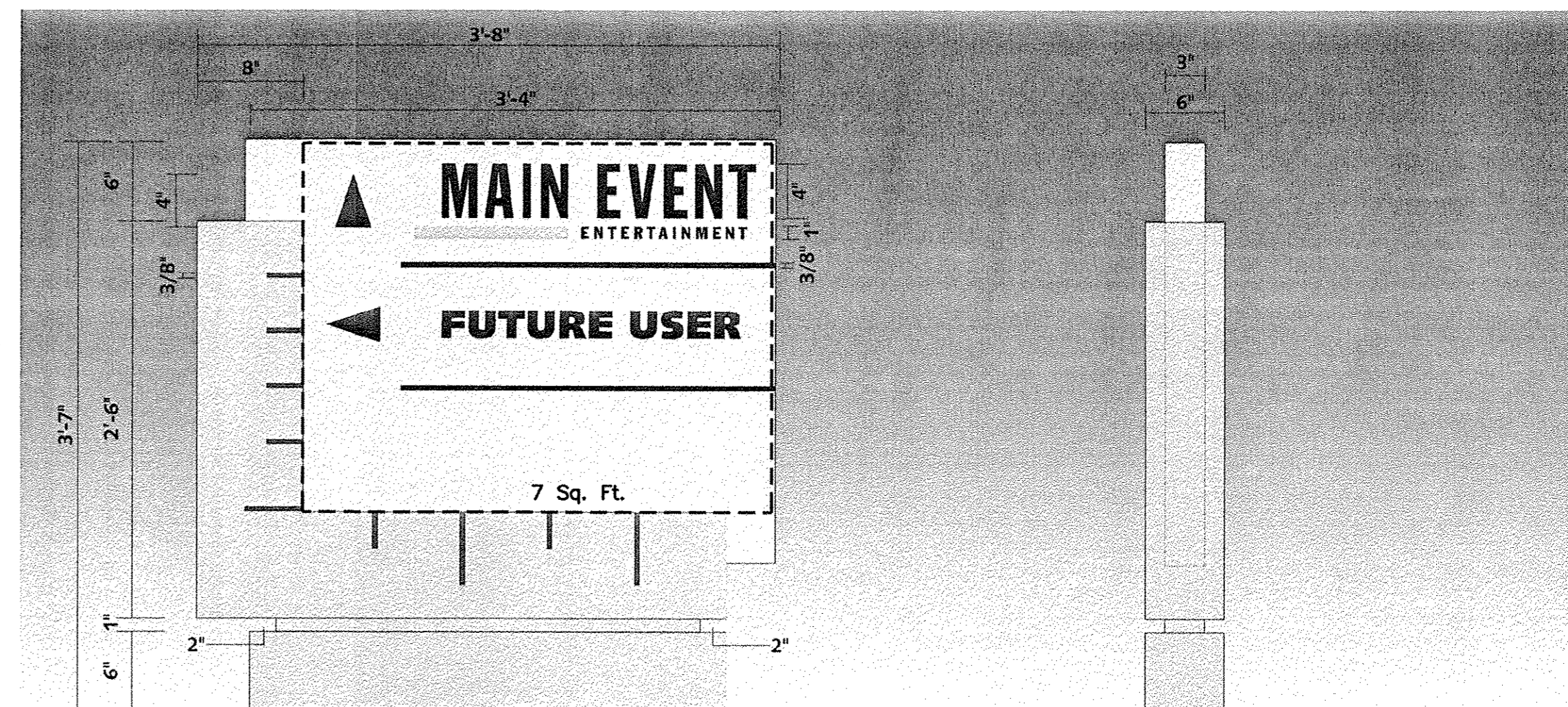
D/F FREE STANDING SIGN SCALE: 3/16"=1'-0"
MFG. & INSTALL ONE (1) DOUBLE FACE PYLON SIGN



END VIEW



NIGHT VIEW OF ILLUMINATION



D/F DIRECTIONAL SIGN

SCALE: 1"=1'-0"

(1) REQUIRED - MANUFACTURE & INSTALL:

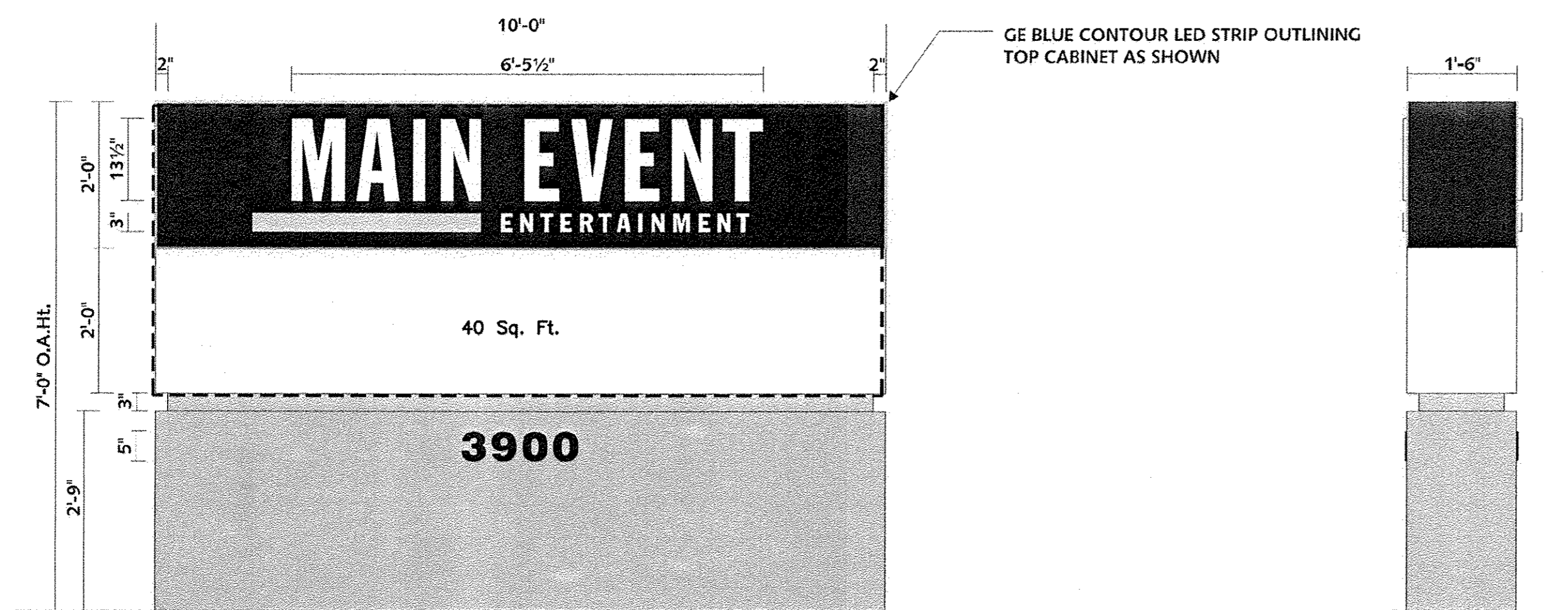
FABRICATED ALUMINUM SIGN CABINET PAINTED (PT-7 LIGHT BEIGE)

APPLY VINYL COPY
3630-87 ROYAL BLUE AND YELLOW 3630-015 VINYL ON STRIPE

"ARROW AND DIVIDER STRIPE" - DURANODIC BRONZE VINYL

FABRICATED ALUMINUM CABINET & REVEAL PAINTED BRUSHED ALUMINUM w/ SLATE GRAY 3630-61 VINYL STRIPES

CONCRETE FOUNDATION TO MEET CITY CODE



GE BLUE CONTOUR LED STRIP OUTLINING TOP CABINET AS SHOWN

END VIEW

D/F MONUMENT SIGN

SCALE: 1/2"=1'-0"

(1) REQUIRED - MANUFACTURE & INSTALL:

FABRICATED ALUMINUM SIGN CABINET
PAINTED TO MATCH PANTONE REFLEX BLUE AND BOTTOM CABINET TO BE PAINTED WHITE-
COPY TO BE ROUT-OUT/PUSH-THRU WHITE ACRYLIC -
YELLOW 3630-015 VINYL OVERLAY ON STRIPE

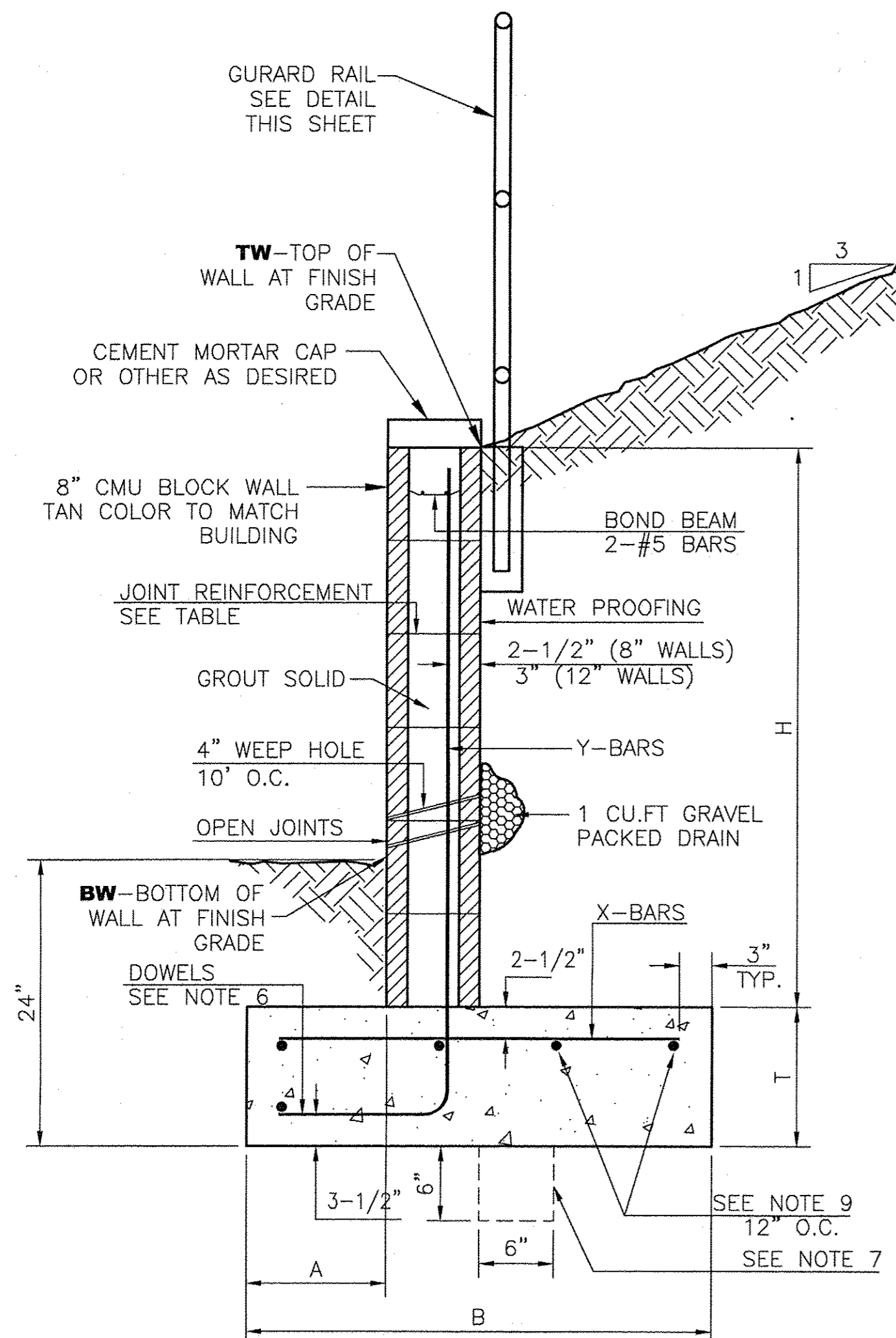
INTERNALLY ILLUMINATED w/ WHITE LED'S

D/F BLUE GE CONTOUR LED STRIPS AROUND TOP BORDER OF SIGN

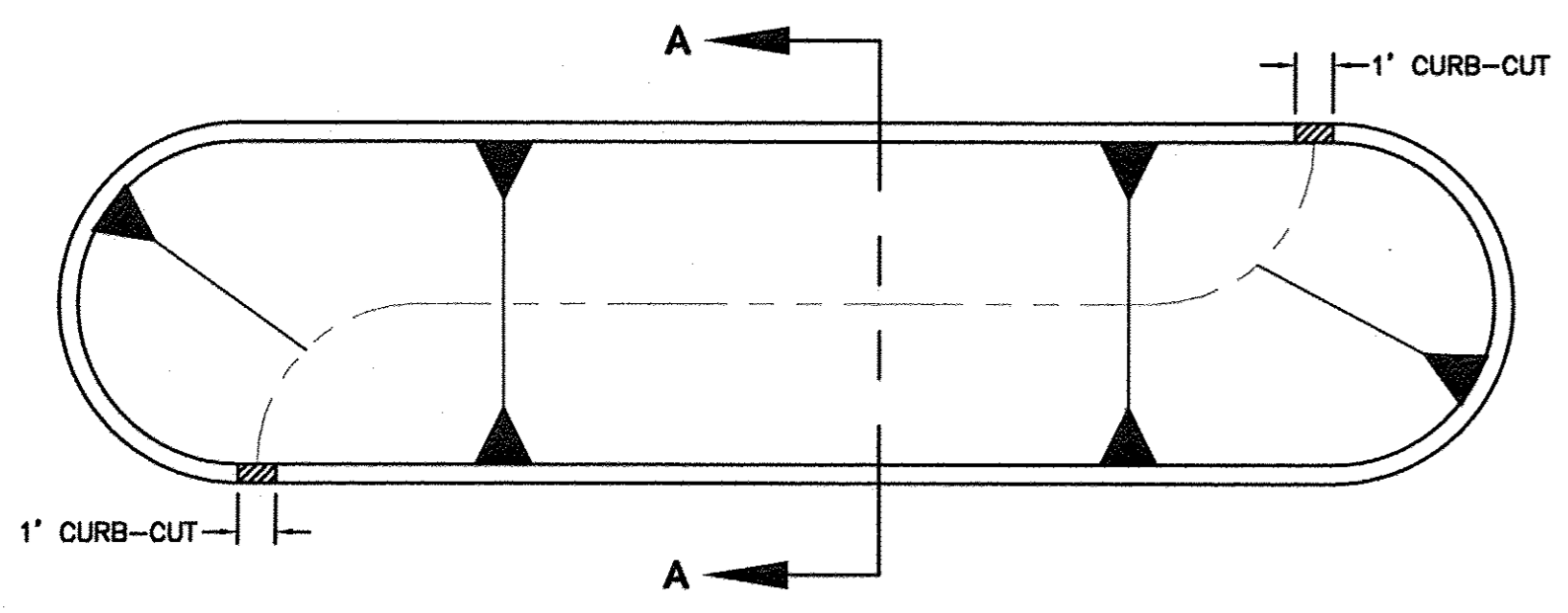
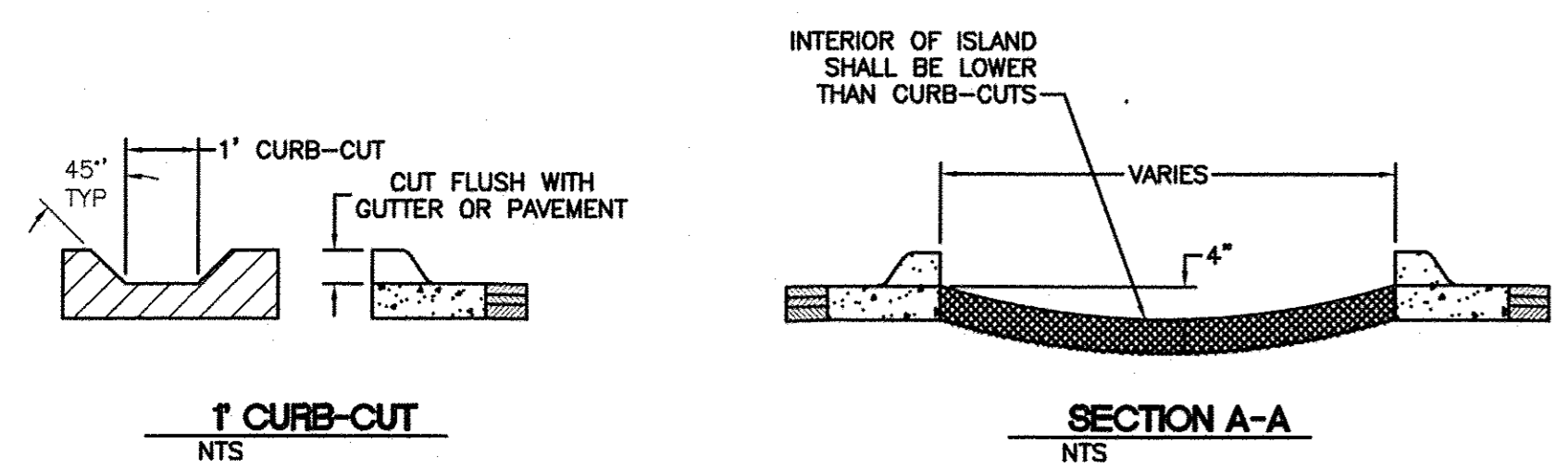
FABRICATED ALUMINUM REVEAL & BASE PAINTED TO MATCH METALLIC SILVER -
(2) SETS 1/4" THICK FLAT CUT-OUT ALUMINUM ADDRESS STUD-MOUNTED TO BASE

INSTALL w/ STEEL SUPPORTS & CONCRETE FOUNDATION TO MEET CITY CODE

	MAIN EVENT PAN AM FREEWAY AND VASSAR AV.	DRAWN BY BJF
	SITE SIGNS FREE STANDING, MOUMENT, DIRECTIONAL	DATE 04/16/15
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015015_PYLON SIGNS
		SHEET # C14
RONALD R. BOHANNAN P.E. #7868		JOB # 2015015



RETAINING WALL DETAIL
NTS



LANDSCAPE ISLAND WATER HARVESTING DETAIL
FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN

8 INCH REINFORCED CONCRETE MASONRY WALL

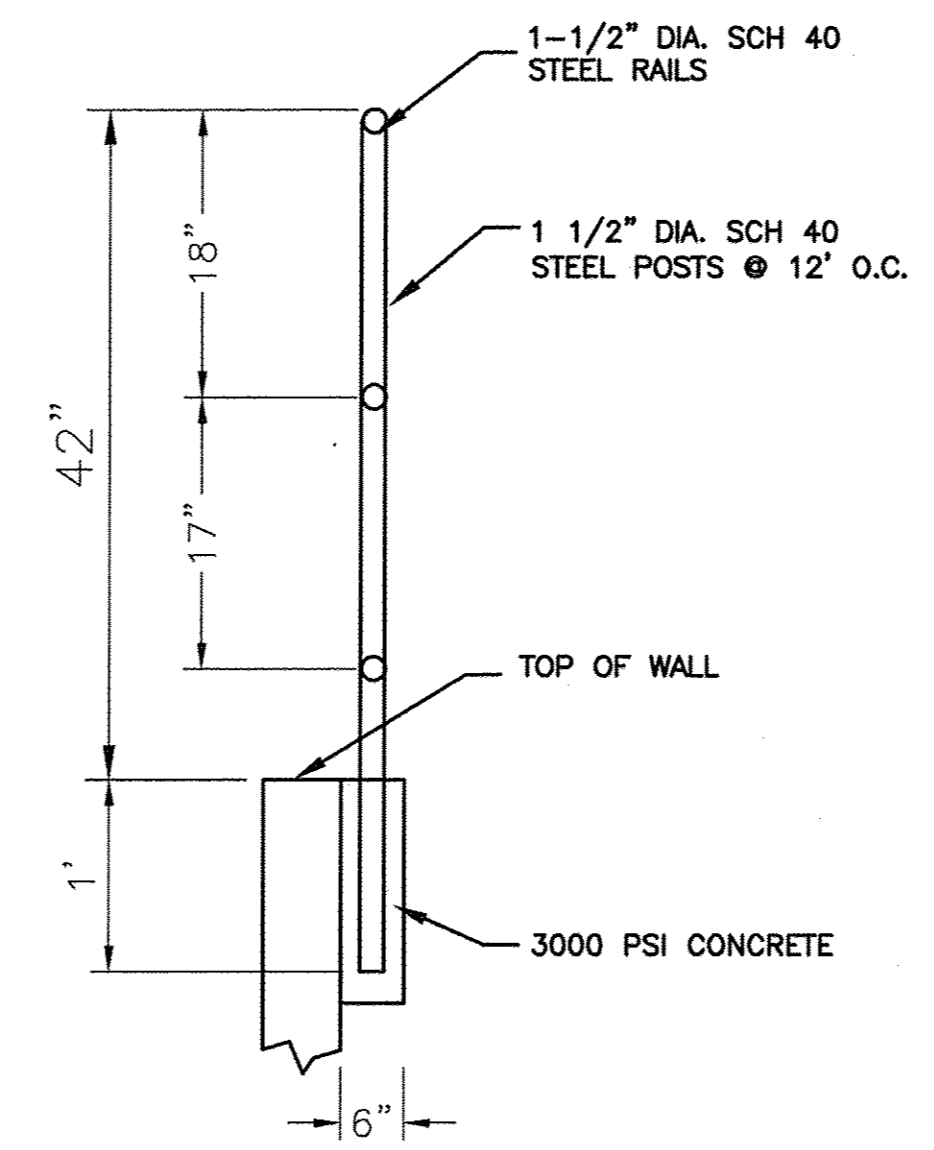
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

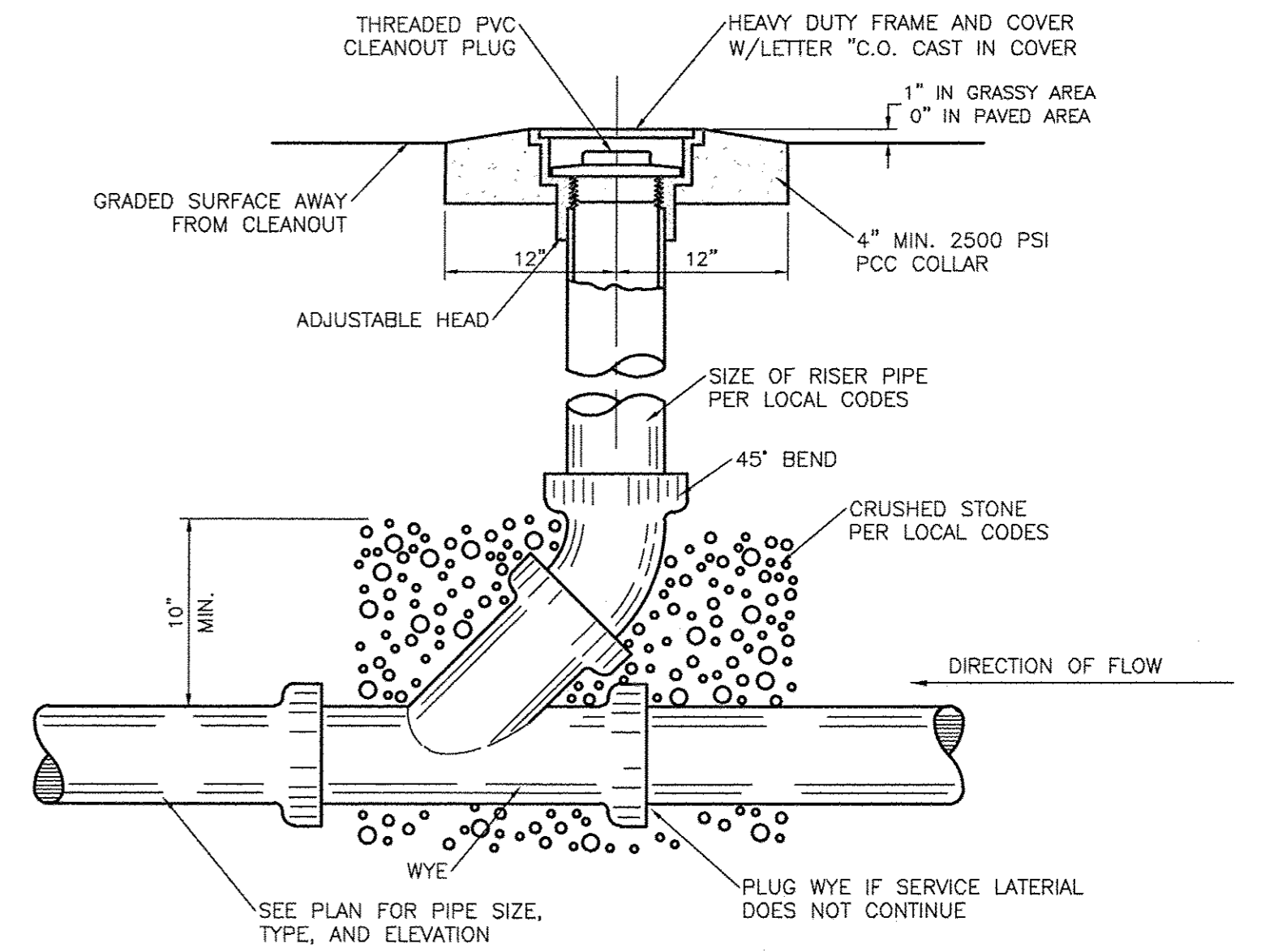
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

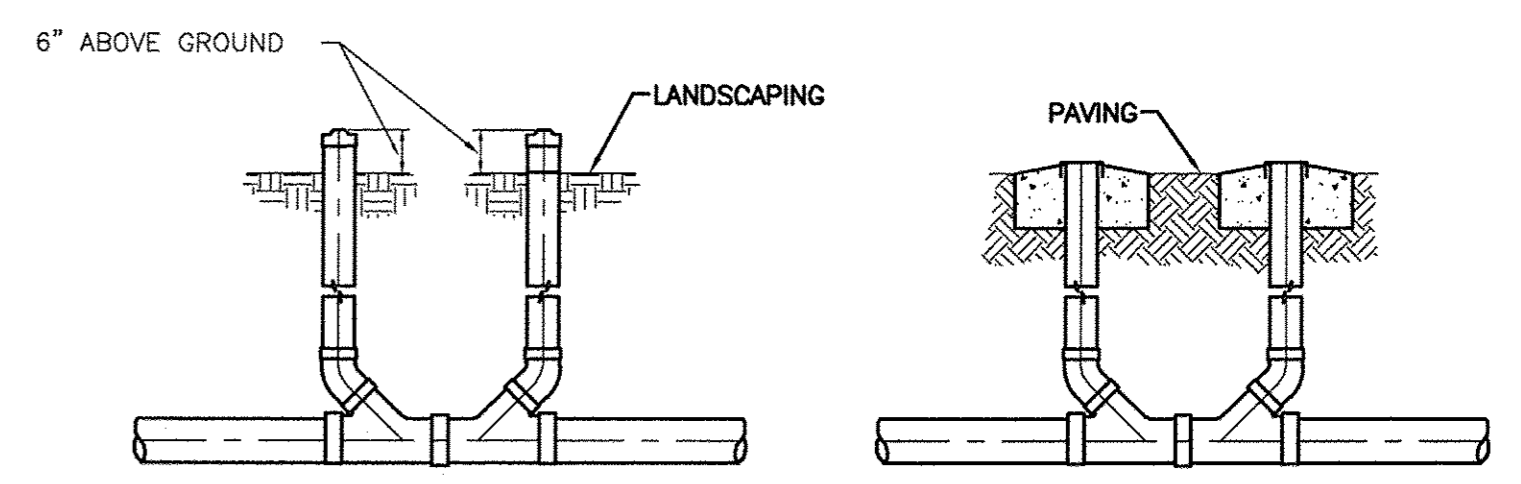


GUARD RAIL DETAIL
NTS

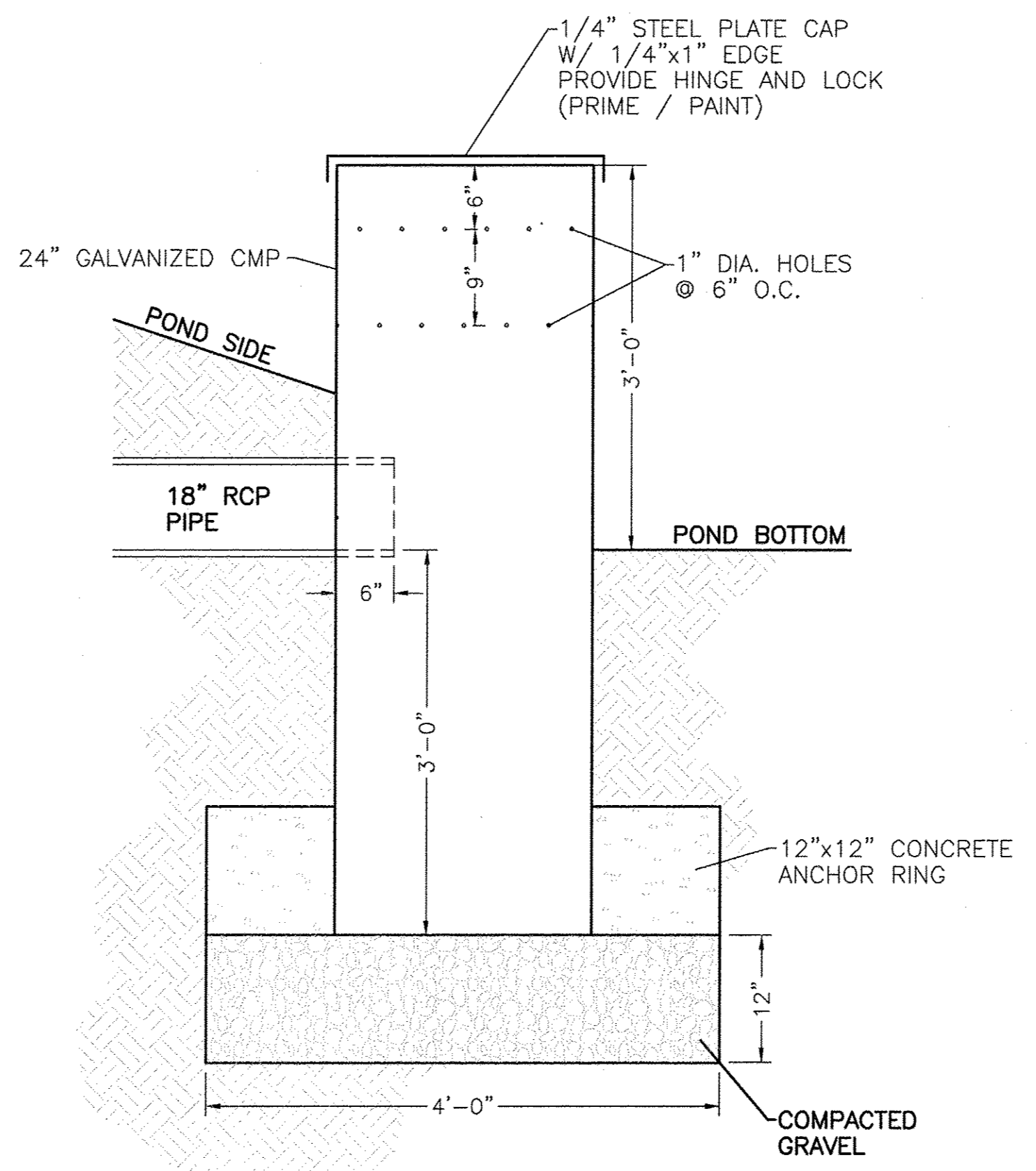
NOTE: CLEAN SURFACE OF PIPE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69)



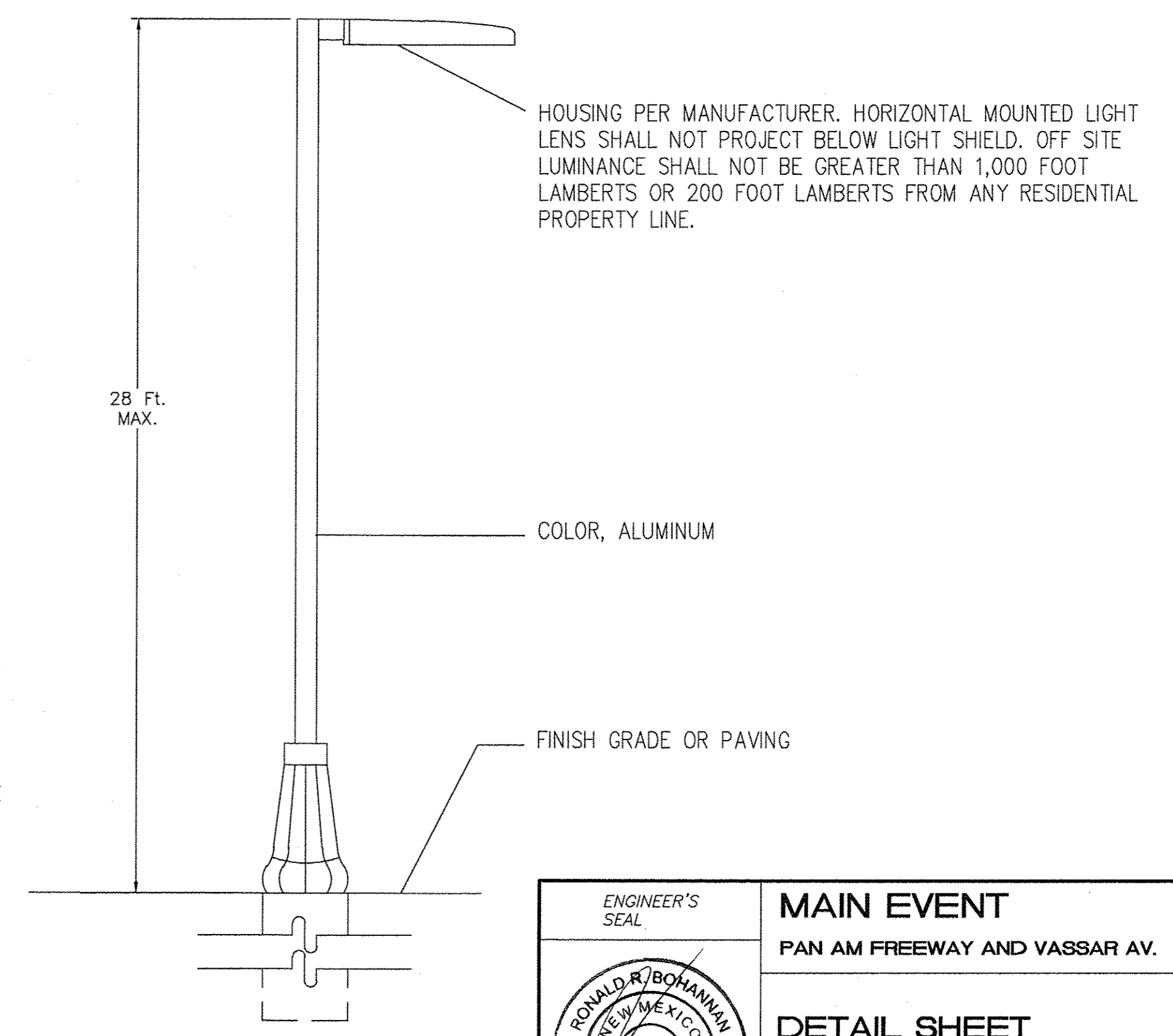
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

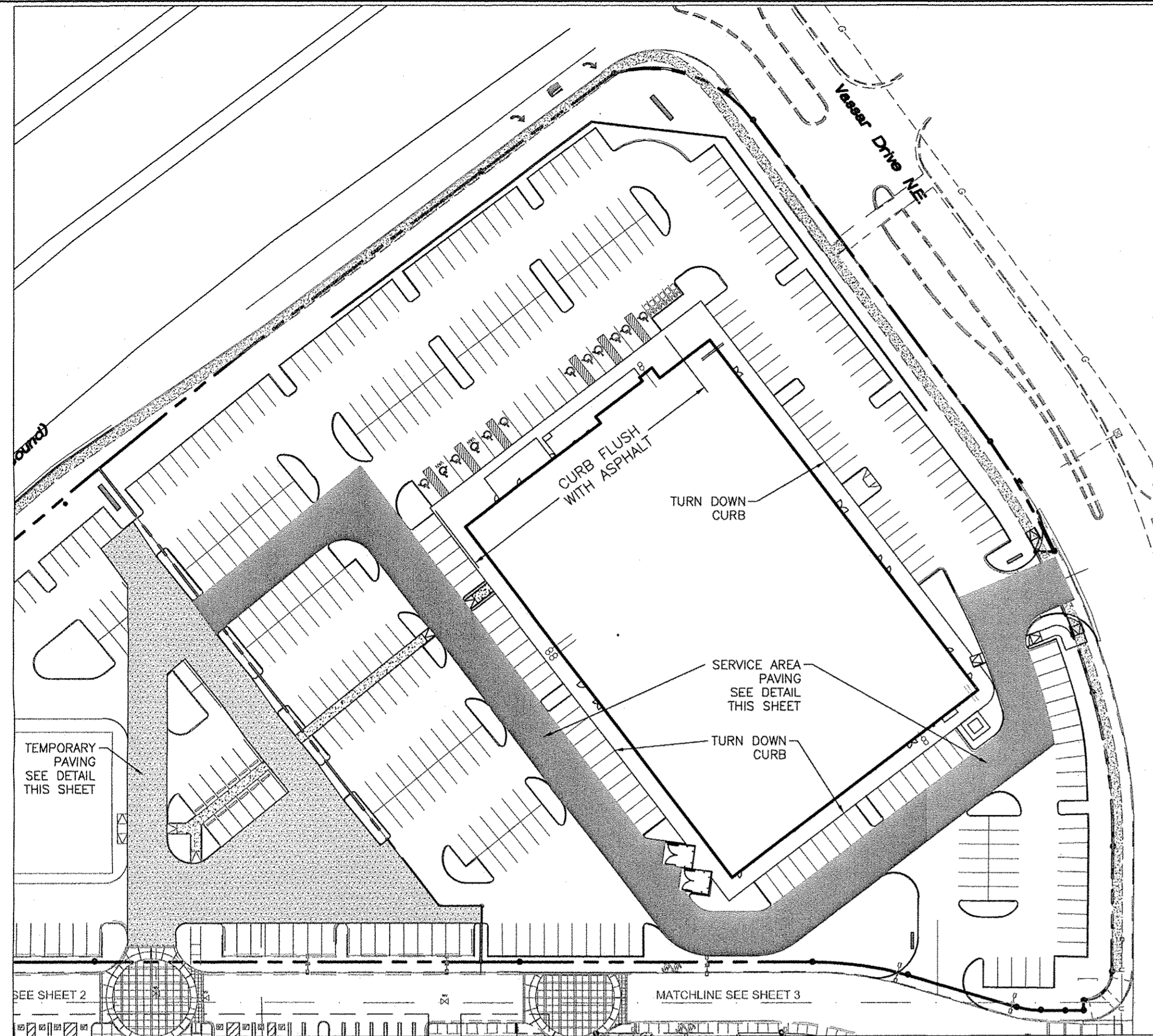


STAND PIPE DETAIL
NTS

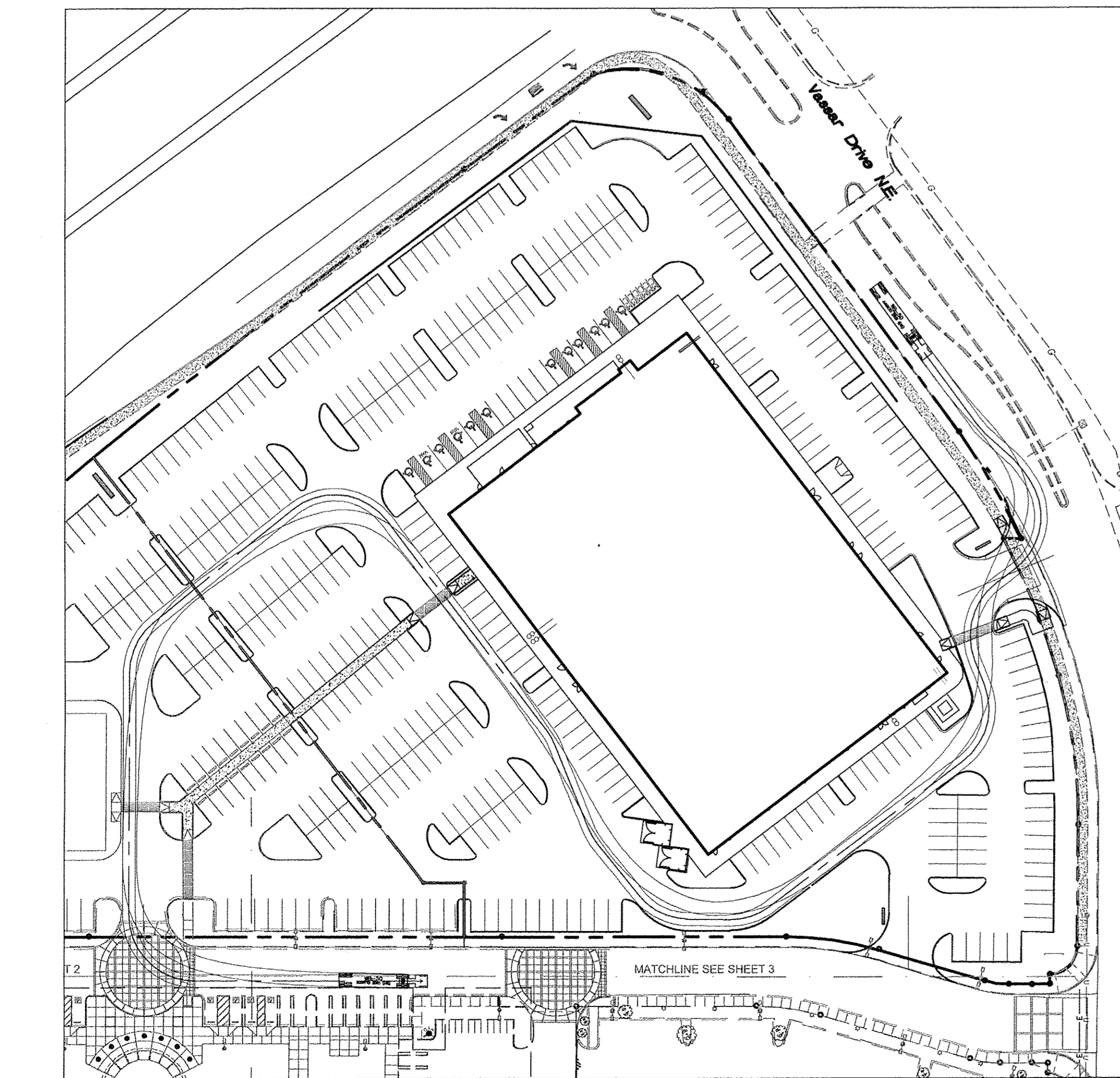


PARKING LOT LIGHT POLE
SCALE: NTS

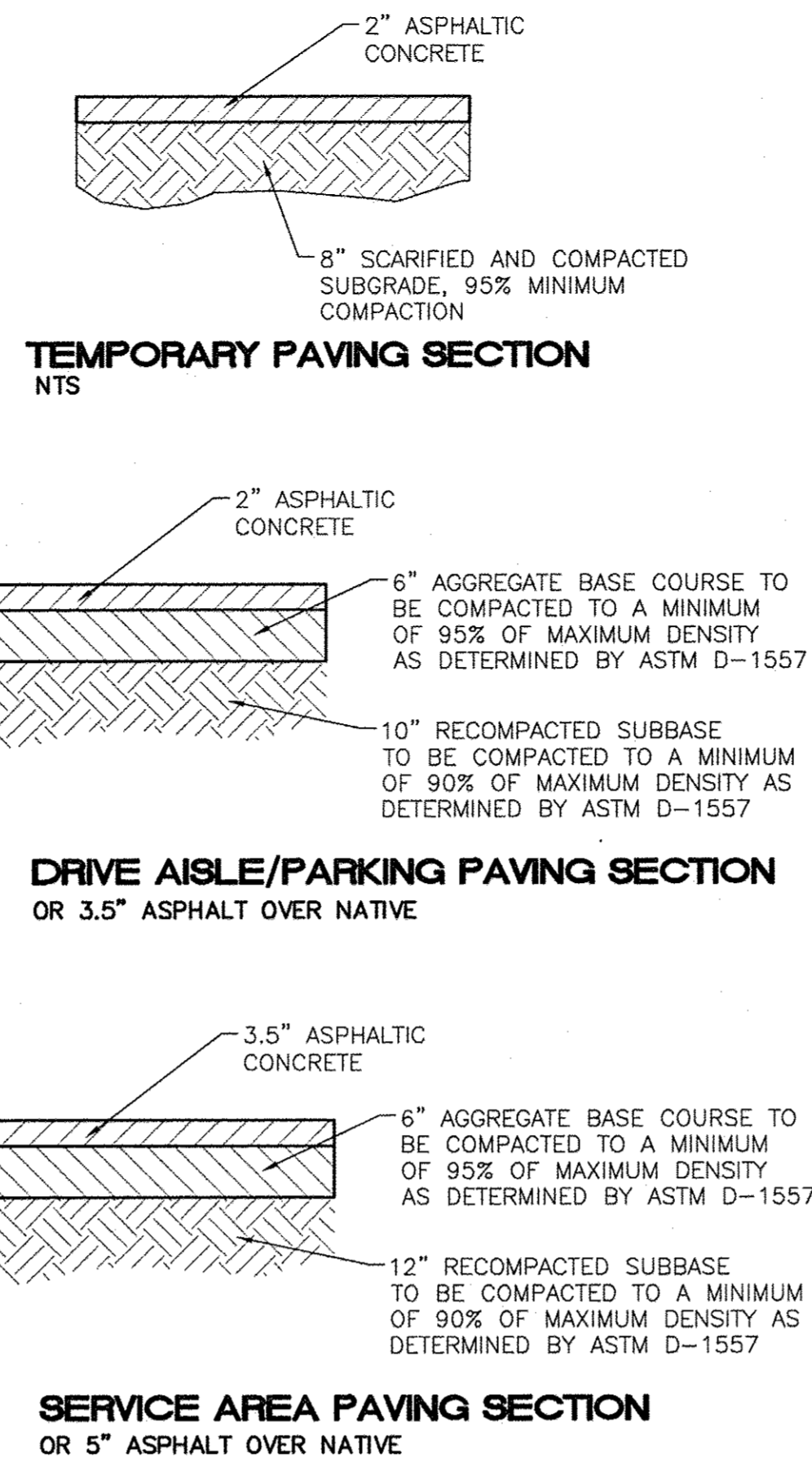
	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY BJF
		PAN AM FREEWAY AND VASSAR AV.	DATE 05/06/15
		DETAIL SHEET	2015015_DTB
			SHEET # C15
			JOB # 2015015
		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	
RONALD R. BOHANNAN P.E. #7868			



PAVING PLAN
SCALE: 1"=60'



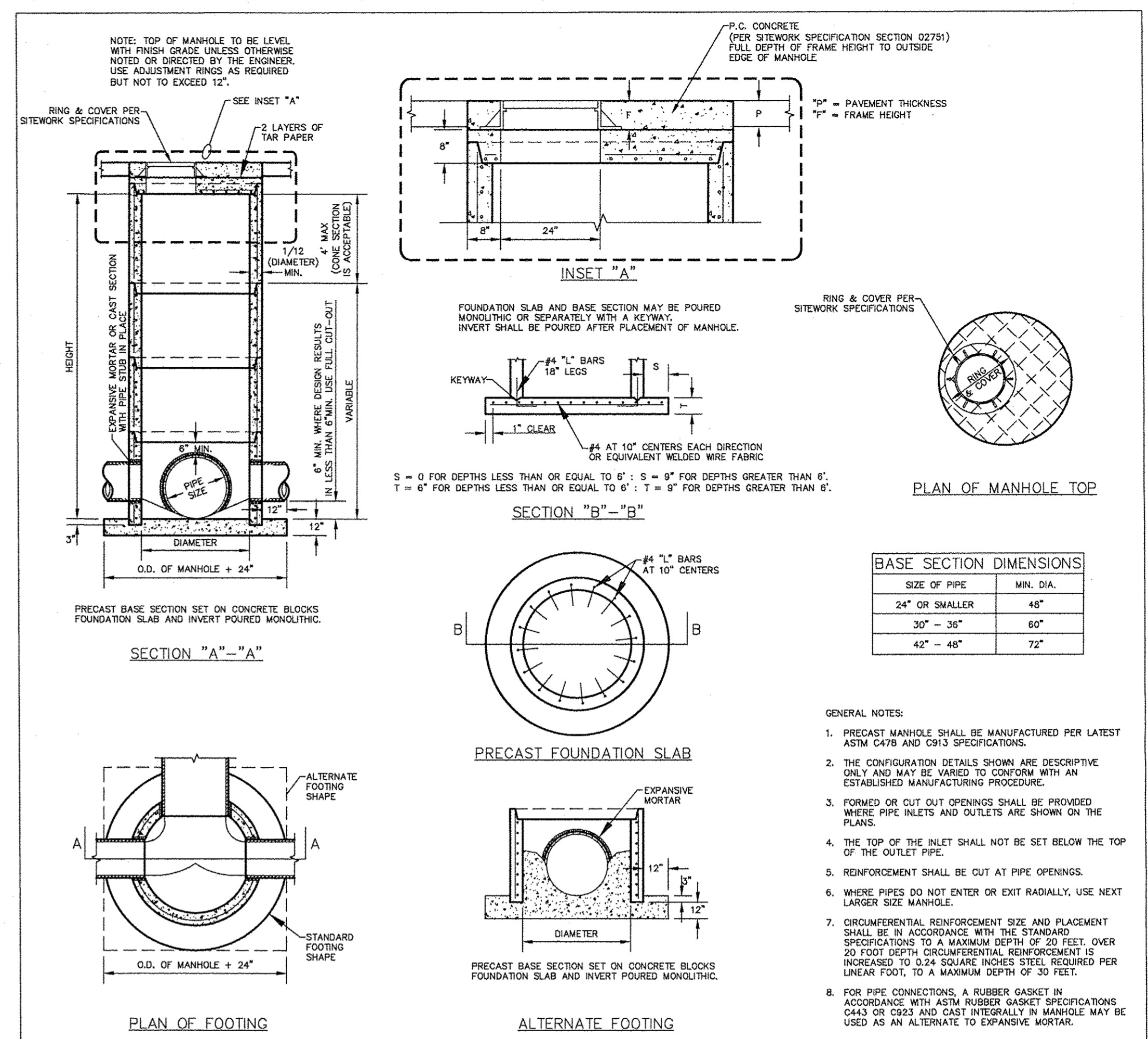
TRUCK ACCESS ROUTE (WB-50)
SCALE: 1"=60'



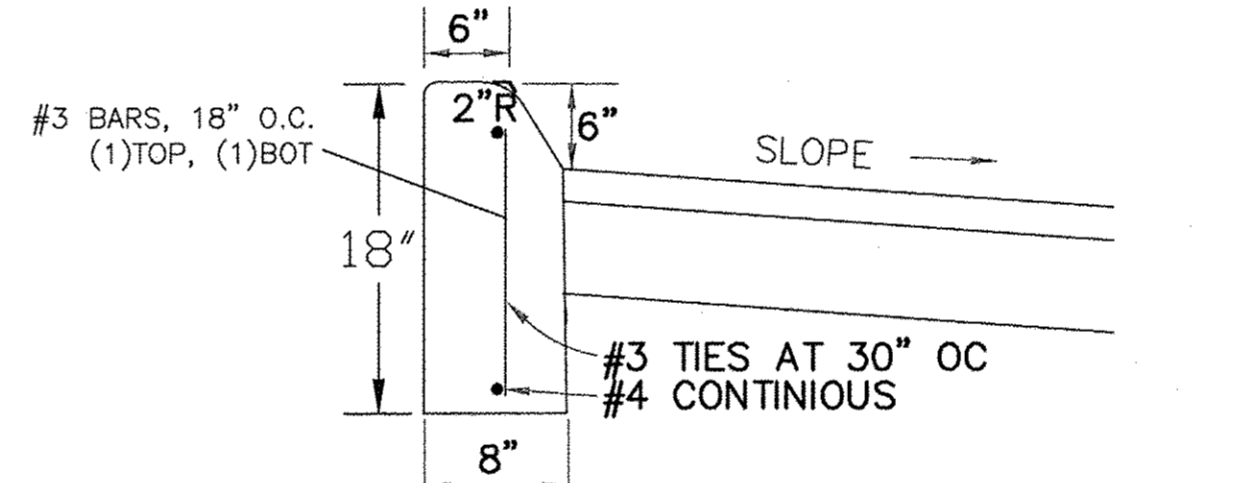
TEMPORARY PAVING SECTION
NTS

DRIVE AISLE/PARKING PAVING SECTION
OR 3.5" ASPHALT OVER NATIVE

SERVICE AREA PAVING SECTION
OR 5" ASPHALT OVER NATIVE

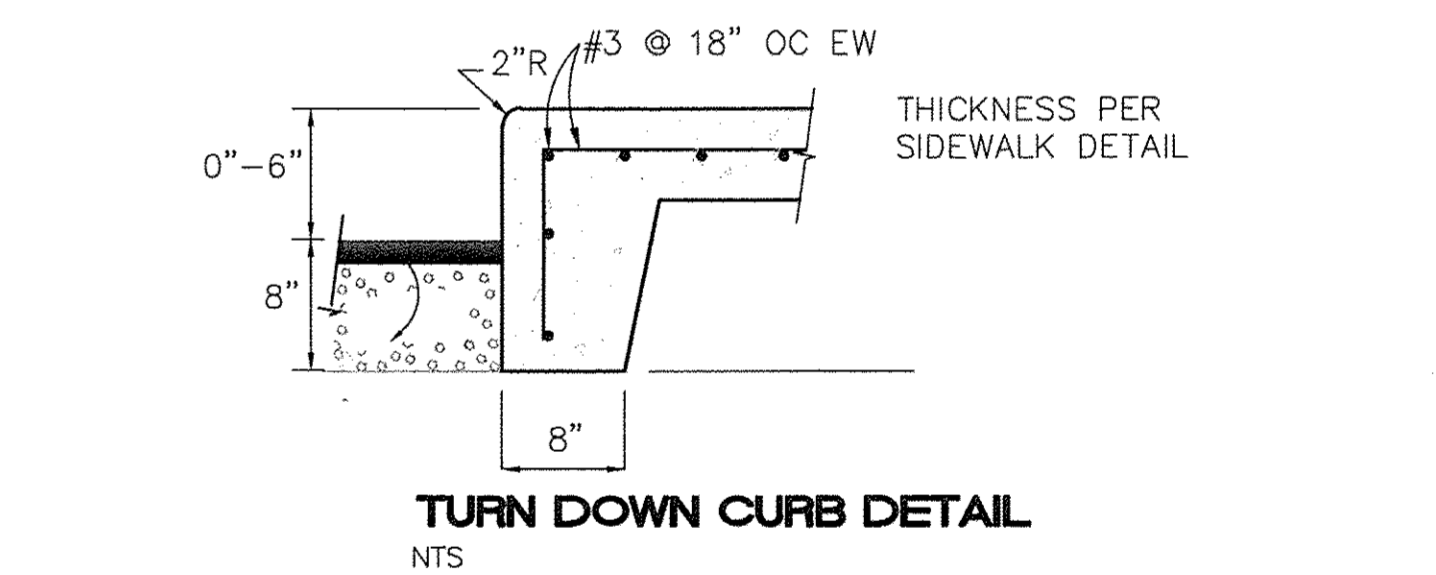


8 FT. MANHOLE DETAIL

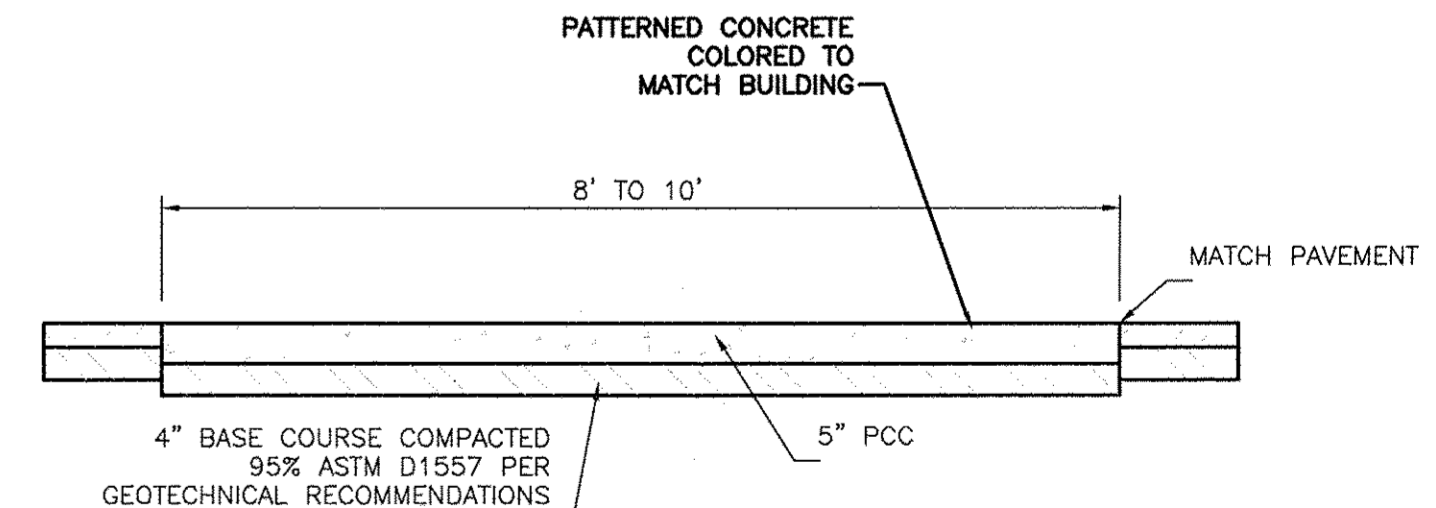


NOTES:
1. 1/2 INCH CAULKABLE EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 50 FEET AT THE ENDS AND MIDPOINT OF RETURNS, AND AT ANY POINT WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.
2. 5 FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER UNLESS OTHERWISE NOTED.

6" HEADER CURB DETAIL
NTS



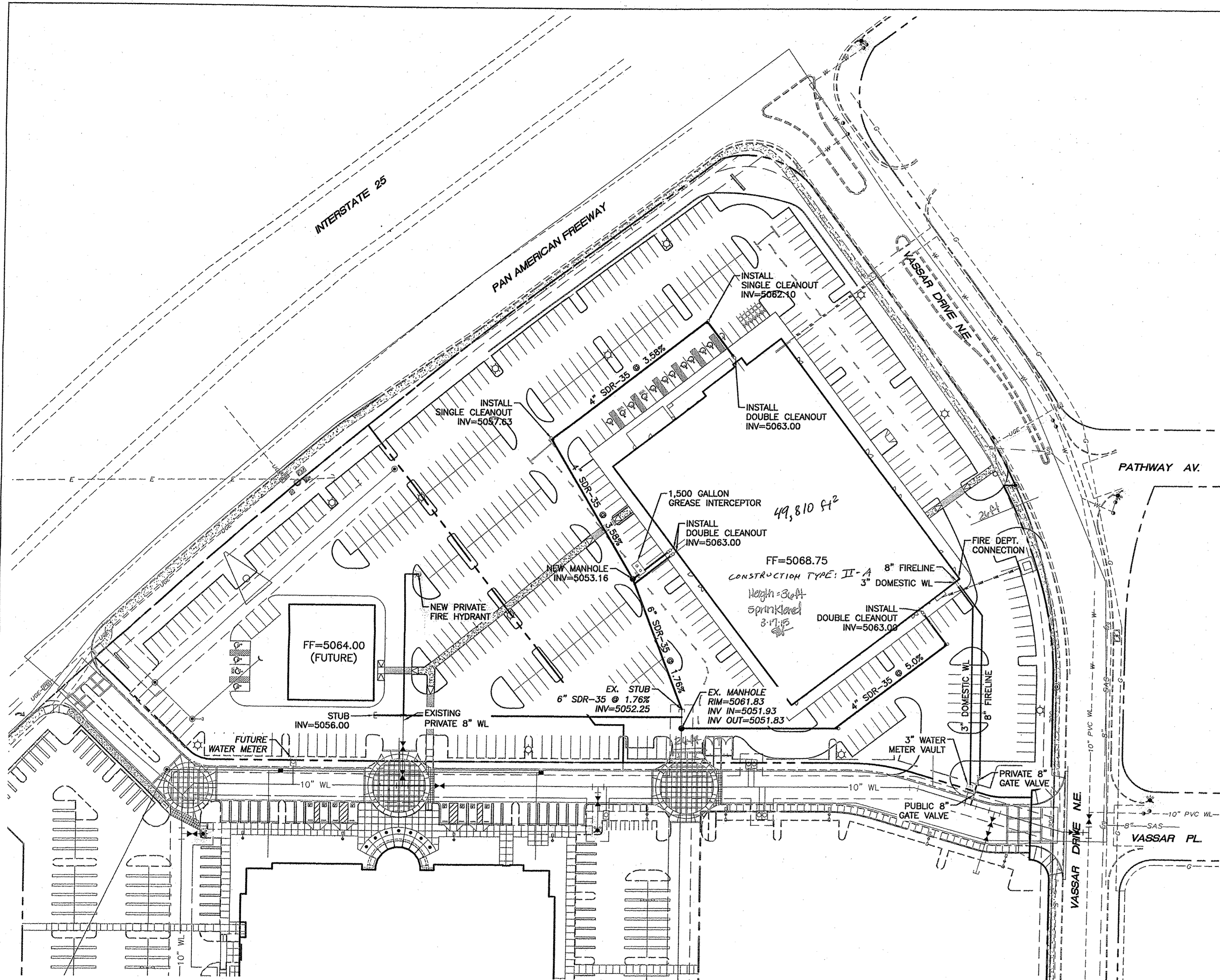
TURN DOWN CURB DETAIL
NTS



PEDESTRIAN CROSSING
NTS

	ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
		PAN AM FREEWAY AND VASSAR AV.	BJF
		DETAIL SHEET	DATE
			05/06/15
			2015015_DTB
			SHEET #
			C17
			JOB #
			2015015

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com



LEGEND

- Curb & Gutter
- - - Boundary Line
- - - Easement
- - - Centerline
- - - Right-of-Way
- ▭ Building
- ▨ Sidewalk
- ▧ Screen Wall
- ▩ Retaining Wall
- - - Existing Curb & Gutter
- - - Existing Boundary Line
- - - 36" SD Storm Sewer Line
- - - 8" SAS Sanitary Sewer Line
- - - 8" WL Waterline
- Single Clean Out
- ⊗ Double Clean Out
- ⊙ Existing SD Manhole
- ⊕ Existing Inlet
- ⊗ Existing SAS Manhole
- ⊙ Existing Fire Hydrant
- ⊕ Existing Water Meter
- ⊙ Existing Power Pole
- ⊕ Existing Gas Valve
- - - Existing Overhead Utilities
- - - EX. UGE Existing Underground Utilities
- - - EX. 2" GAS Existing Gas
- - - EX. 8" SAS Existing Sanitary Sewer Line
- - - EX. 10" WL Existing Water Line
- - - EX. 18" RCP Existing Storm Sewer Line

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

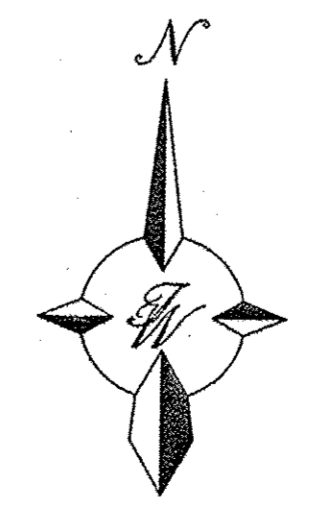
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

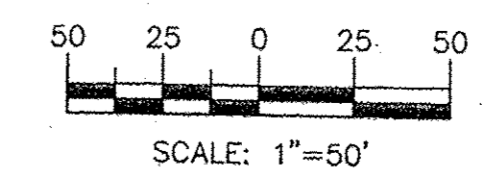
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES
9. MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
11. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

49,810 SF²
 FF=5068.75
 CONSTRUCTION TYPE: II-A
 Height = 30ft
 sprinklered
 3.415

AFD PLANS CHECKING OFFICE
 824-3611
 APPROVED/DISAPPROVED
 SIGNATURE & DATE 02/23/15



GRAPHIC SCALE



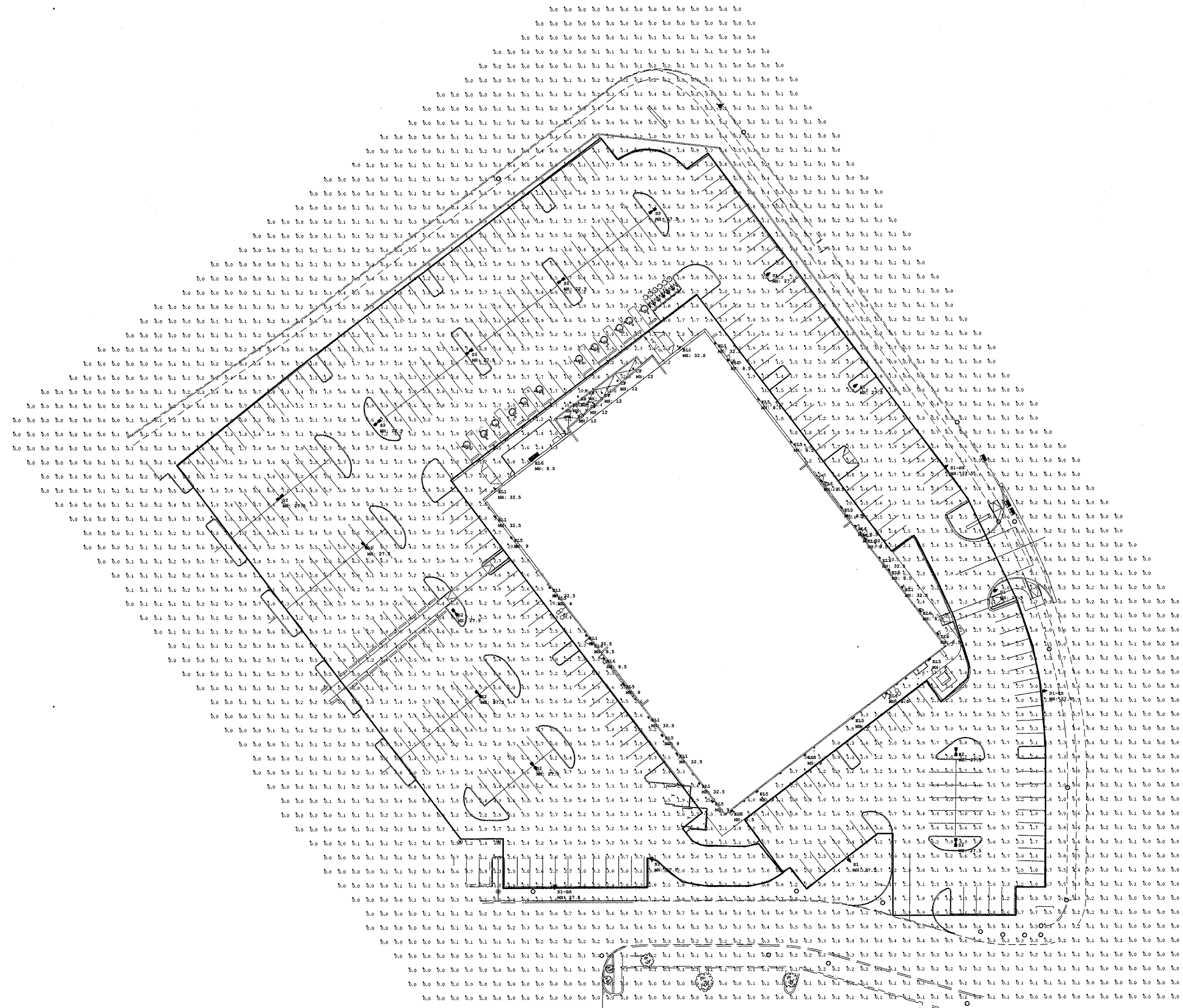
ENGINEER'S SEAL	MAIN EVENT	DRAWN BY
	PAN AM FREEWAY AND VASSAR AV.	BJF
	MASTER UTILITY PLAN	DATE
		02/23/15
		2015015_MUE
		SHEET #
		C3
		JOB #
		2015015
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	

2015 2015015 Main Event\deg\DRB\2015015_MUE.dwg, 3/4/2015 10:57:32 AM

Fire Marshal

Main Event Entertainment Albuquerque

Panam Freeway and Vassar Av.
Albuquerque, NM 87107



StatArea_PARKING LOT
 Illuminance (Fc)
 Average = 3.03
 Maximum = 8.6
 Minimum = 0.6
 Avg/Min Ratio = 5.05
 Max/Min Ratio = 14.33

Luminaire Schedule	Qty	Manufacturer / Catalog Number	Total Lumens Output	Typical Spacing	Mounting Factor	Light Loss Factor	Useful Lumens Output
1	1	IESNA 94-1000	1	1	1.000	0.850	0.850
2	1	IESNA 94-1000	1	1	1.000	0.850	0.850
3	1	IESNA 94-1000	1	1	1.000	0.850	0.850
4	1	IESNA 94-1000	1	1	1.000	0.850	0.850
5	1	IESNA 94-1000	1	1	1.000	0.850	0.850
6	1	IESNA 94-1000	1	1	1.000	0.850	0.850
7	1	IESNA 94-1000	1	1	1.000	0.850	0.850
8	1	IESNA 94-1000	1	1	1.000	0.850	0.850
9	1	IESNA 94-1000	1	1	1.000	0.850	0.850
10	1	IESNA 94-1000	1	1	1.000	0.850	0.850

HODGES & ASSOCIATES ARCHITECTURE
 Architecture • Planning • Interiors
 www.hodgesna.com 972.397.1000
 13842 Omega, Dallas, TX 75244

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Project Number: 15015-01

Drawn By: _____ Checked By: _____
 Author: _____ Checker: _____

Revision Schedule		
No	Description	Date
DRB		2015-05-08

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MEP1.00A

SITE PLAN - LIGHTING CALCULATIONS