

RECORDING STAMP

Plat of
 Lots 1, 2, 3 and 4
SRCC Albuquerque
Carpenters Training Center
 (A Subdivision of Tract A-1-A Comanche Business Park)
 Situate within Section 3, Township 10 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 September 2014

Legal Description

TRACT A-1-A, COMANCHE BUSINESS PARK, WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON PLAT ENTITLED "PLAT OF TRACT A-1-A, COMANCHE BUSINESS PARK, ALBUQUERQUE, NEW MEXICO, SEPTEMBER, 1998" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 05, 2008 IN PLAT BOOK 2008C, PAGE 0172.
 SAID PARCEL CONTAINS 15.7083 ACRES, MORE OR LESS.

Project No. _____
 Application No. 14DRB-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
City Approvals	
Acting <u>Steven M. Rasmussen</u> CITY SURVEYOR	<u>9/25/14</u> DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 9/17/14
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 SECTION 3, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION CARPENTERS TRAINING CENTER

Subdivision Data:

ZONING: M-1
 GROSS SUBDIVISION ACREAGE: 15.7083 ACRES±
 ZONE ATLAS INDEX NO: G-16-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 4
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: SEPTEMBER 16, 2014

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO FOUR NEW LOTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

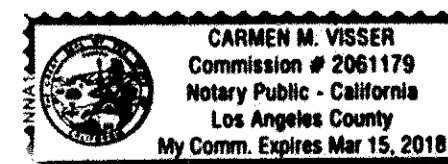
SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Randy J. Sowell 9/22/14
 SOUTHWEST REGIONAL COUNCIL OF CARPENTERS
 RANDY J. SOWELL, DIRECTOR OF REAL ESTATE,
 FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC
 DATE

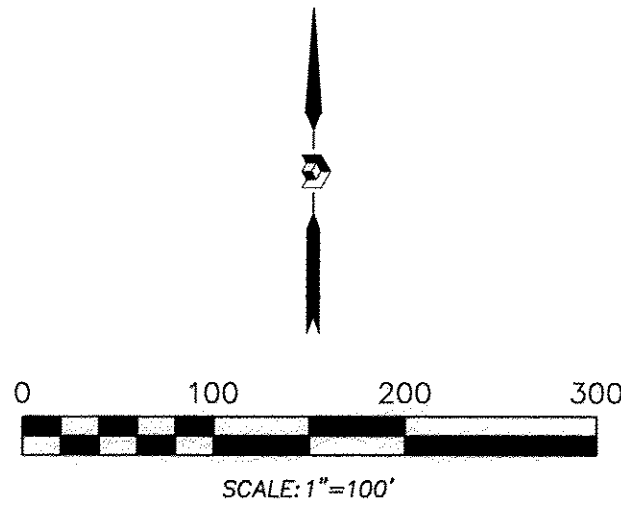
Acknowledgment

STATE OF CALIFORNIA)
 COUNTY OF LOS ANGELES) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF September, 2014 BY RANDY J. SOWELL, DIRECTOR OF REAL ESTATE, FOR UBC & AUTHORIZED SIGNATORY FOR THE SWRCC

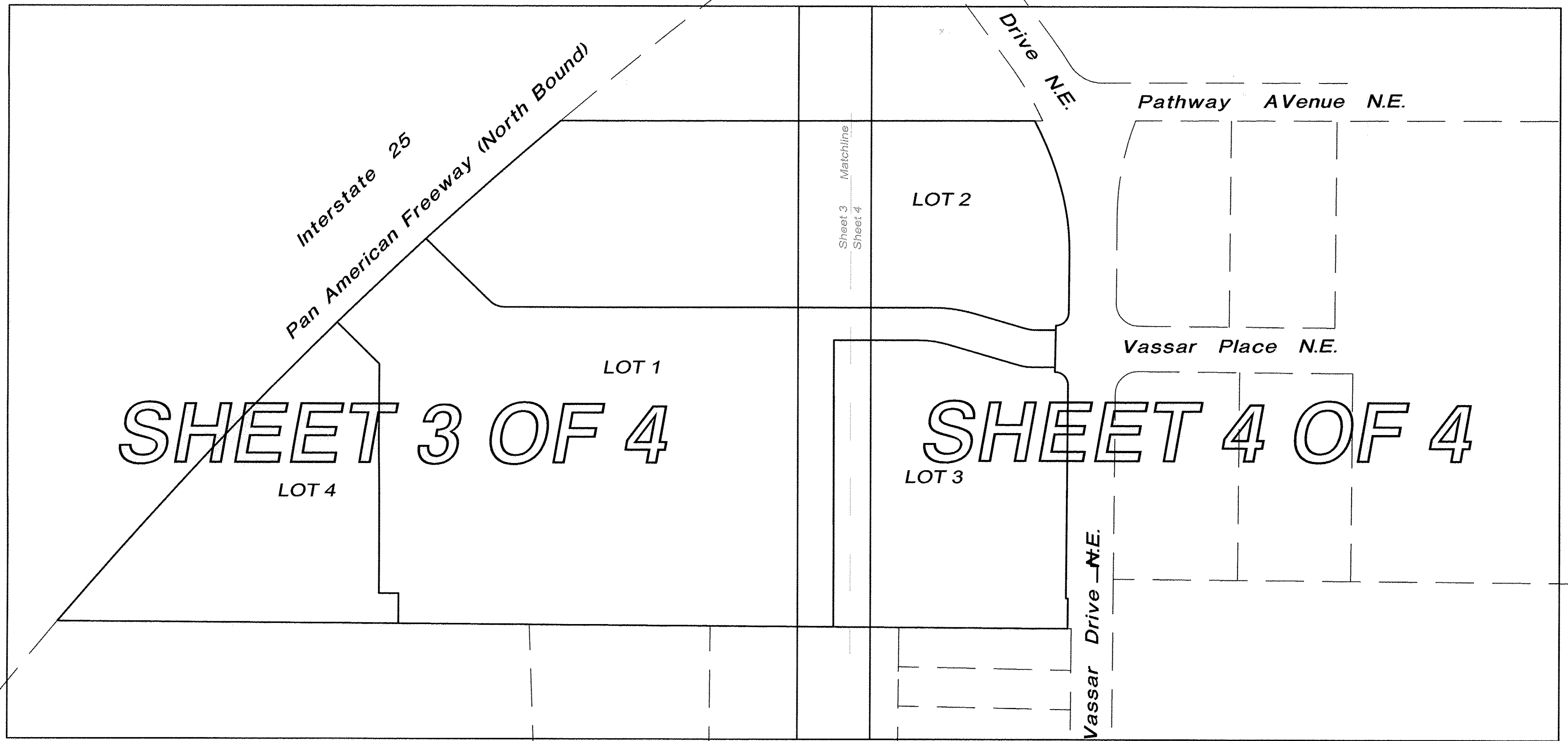


BY Carmen M. Visser MY COMMISSION EXPIRES: March 15, 2018
 NOTARY PUBLIC



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SHEET 3 OF 4

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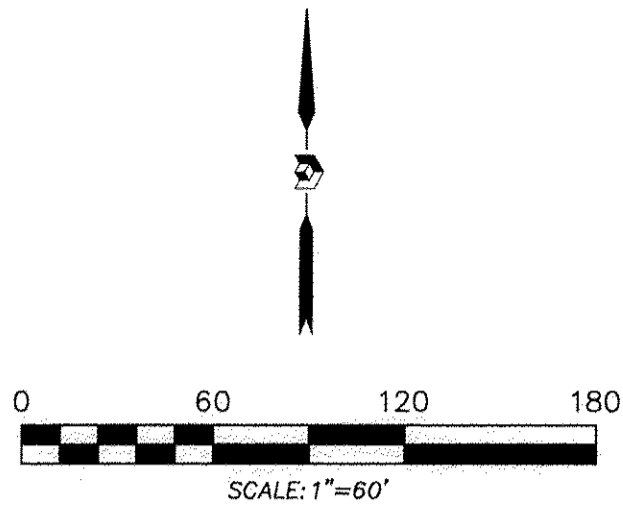
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A.G.R.S. MONUMENT 7.25-.20"
 STANDARD 3 1/4" ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=-1,502,367.51
 E=1,530,649.78
 PUBLISHED EL=N/A (NAVD 1988)
 GROUND TO GRID FACTOR=0.999674593
 DELTA ALPHA ANGLE=-0712'40.48"

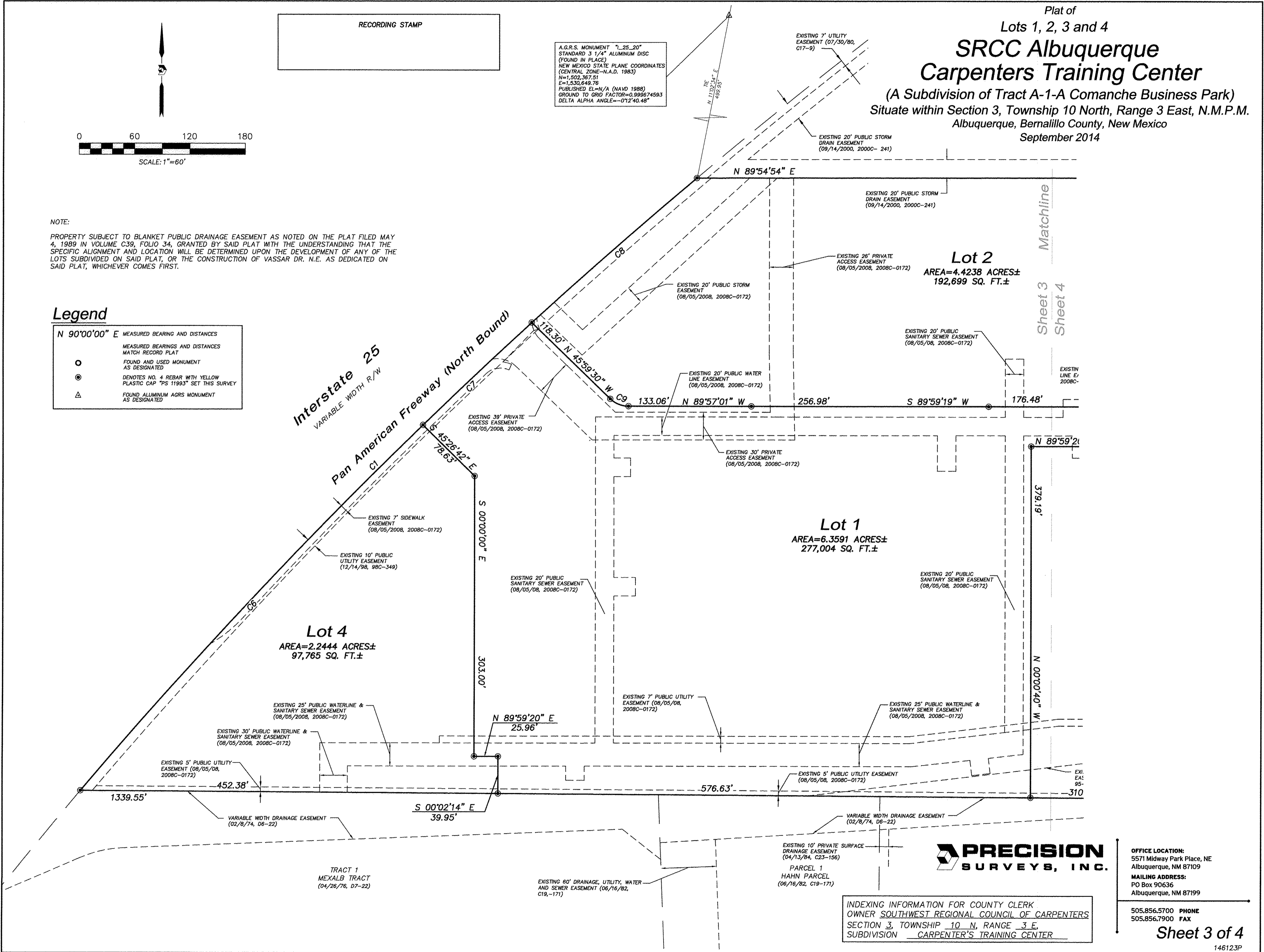


NOTE:
 PROPERTY SUBJECT TO BLANKET PUBLIC DRAINAGE EASEMENT AS NOTED ON THE PLAT FILED MAY 4, 1989 IN VOLUME C39, FOLIO 34, GRANTED BY SAID PLAT WITH THE UNDERSTANDING THAT THE SPECIFIC ALIGNMENT AND LOCATION WILL BE DETERMINED UPON THE DEVELOPMENT OF ANY OF THE LOTS SUBDIVIDED ON SAID PLAT, OR THE CONSTRUCTION OF VASSAR DR. N.E. AS DEDICATED ON SAID PLAT, WHICHEVER COMES FIRST.

Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES

- MEASURED BEARINGS AND DISTANCES MATCH RECORD PLAT
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



PRECISION SURVEYS, INC.

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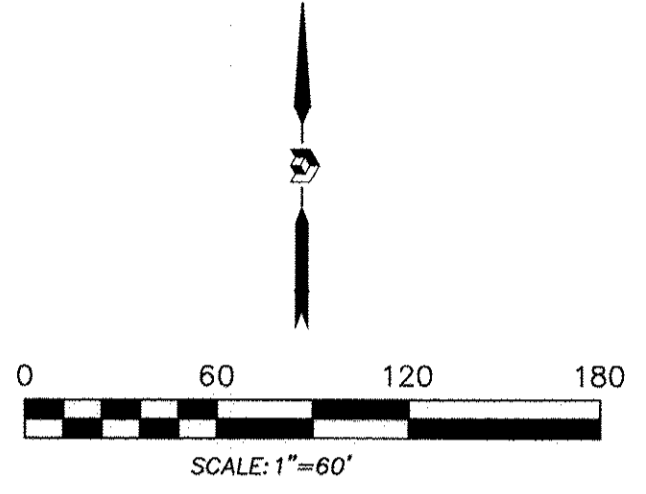
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Sheet 3 of 4

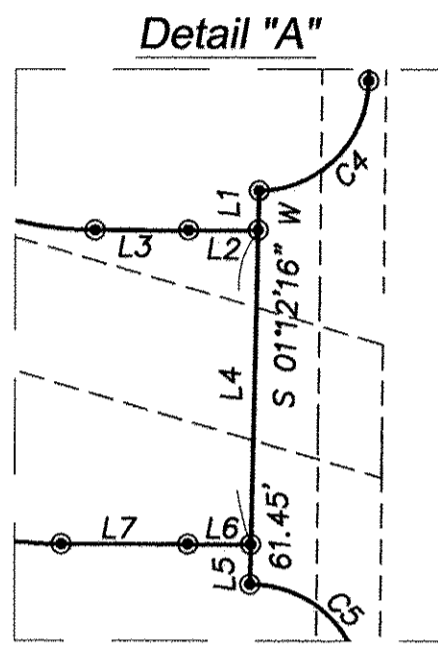
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Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	RECORD BEARINGS AND DISTANCES MATCH MEASURED
●	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
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Line Table

LINE	BEARING	DISTANCE
L1	S 01°12'16" W	6.14'
L2	S 89°48'41" W	10.90'
L3	N 89°57'17" W	14.63'
L4	S 01°12'16" W	49.09'
L5	S 01°12'16" W	6.22'
L6	N 89°44'46" W	9.86'
L7	S 89°59'20" W	19.81'
L8	S 89°38'15" E	2.76'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	5607.00'	940.44'	9°36'36"	S 45°10'29" W	939.34'	471.33'
C2	432.99'	92.19'	12°11'56"	S 21°46'57" E	92.01'	46.27'
C3	314.40'	94.11'	17°09'03"	S 07°34'41" E	93.76'	47.41'
C4	17.33'	26.81'	88°38'55"	S 44°46'32" W	24.22'	16.93'
C5	17.24'	27.50'	91°24'35"	S 45°12'22" E	24.68'	17.67'
C6	5607.00'	541.86'	5°32'14"	N 43°08'18" E	541.65'	271.14'
C7	5607.00'	161.44'	1°38'59"	N 46°43'54" E	161.43'	80.72'
C8	5607.00'	237.14'	2°25'24"	N 48°46'05" E	237.12'	118.59'
C9	28.50'	21.84'	43°54'46"	S 68°03'17" E	21.31'	11.49'
C10	206.50'	58.48'	16°13'30"	S 81°53'56" E	58.28'	29.44'
C11	53.50'	15.15'	16°13'30"	S 81°53'55" E	15.10'	7.63'
C12	66.50'	18.83'	16°13'30"	S 81°53'55" E	18.77'	9.48'
C13	143.49'	40.64'	16°13'31"	S 81°53'56" E	40.50'	20.45'

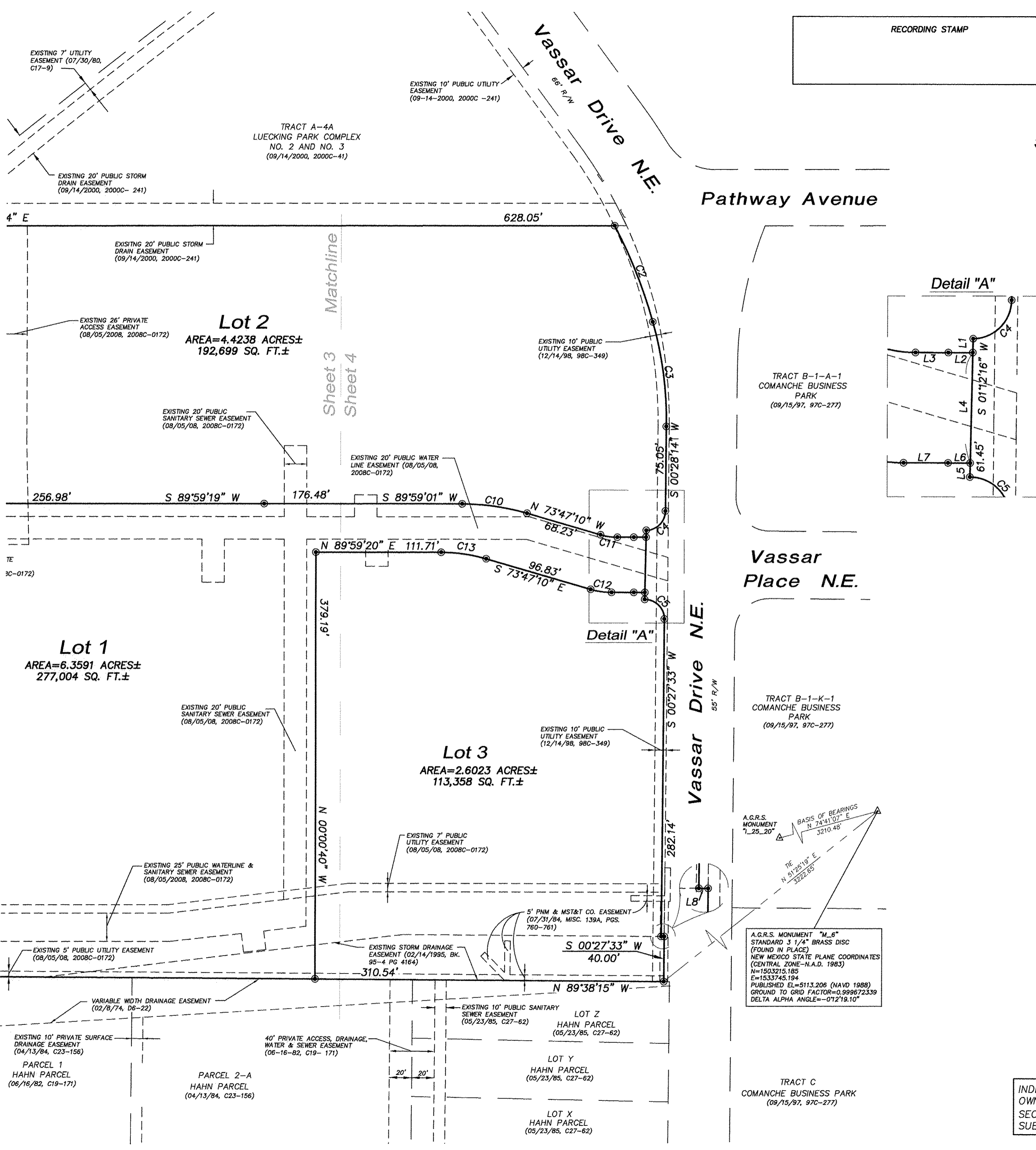
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